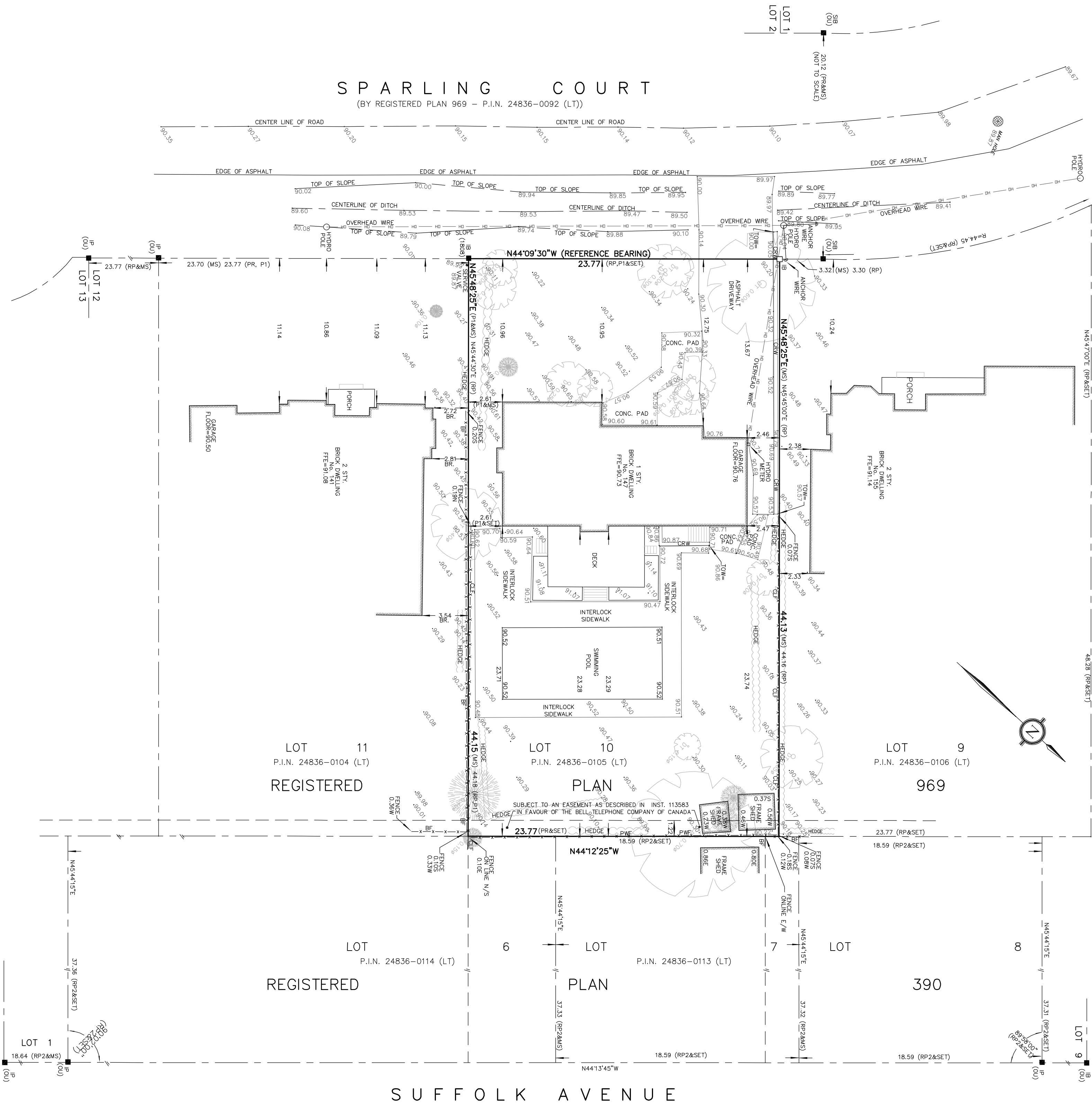


SPARLING COURT
(BY REGISTERED PLAN 969 - P.I.N. 24836-0092 (LT))



SURVEYOR'S REAL PROPERTY REPORT
PART 1

LOT 10
REGISTERED PLAN 969
IN THE
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE & NOTES

Scale 1:200

ALTIMAP LAND SURVEYORS INC.

© COPYRIGHT 2020

METRIC
DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE

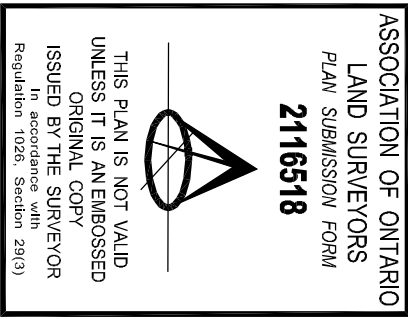
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM
(CGVD-1928/1978) AND ARE DERIVED FROM TOWN OF OAKVILLE BENCHMARK
No. 21 HAVING AN ELEVATION OF 88.151 m.
ELEVATION DEPICTED ON THE FACE OF THIS PLAN ARE FOR DESIGNING PURPOSES ONLY.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT
OF SPARLING COURT AS SHOWN ON REGISTERED PLAN 969 HAVING A BEARING
OF N44°09'30" W.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- PK DENOTES SURVEYOR'S NAIL SET IN WASHER
- OU DENOTES ORIGIN UNKNOWN
- OC DENOTES CUT CROSS
- MH DENOTES MANHOLE
- BC DENOTES BEGINNING OF CURVE
- EC DENOTES END OF CURVE
- TC DENOTES TANGENT OF CURVE
- PRC DENOTES POINT OF REVERSE CURVE
- OH DENOTES OVERHEAD UTILITY CABLES
- DT DENOTES DECIDUOUS TREE
- CT DENOTES CONIFEROUS TREE
- LS DENOTES LIGHT STANDARD
- INV DENOTES INVERT ELEVATION
- HYD DENOTES FIRE HYDRANT
- GRW DENOTES CONCRETE RETAINING WALL
- SRW DENOTES STONE RETAINING WALL
- TRW DENOTES TOW RETAINING WALL
- TOW DENOTES TOP OF WALL ELEVATION
- TOC DENOTES TOP OF CONCRETE CURB ELEVATION
- BOC DENOTES BOTTOM OF CURB ELEVATION
- FN DENOTES FOUNDATION
- BR DENOTES BRICK
- ST DENOTES STUCCO
- SL DENOTES SIDING
- CLF DENOTES CHAIN LINK FENCE
- BF DENOTES BOARD FENCE
- PWF DENOTES POST AND WIRE FENCE
- MF DENOTES METAL FENCE
- FEE DENOTES FINISHED FLOOR ELEVATION
- GFE DENOTES GARAGE FLOOR ELEVATION
- RP2 DENOTES REGISTERED PLAN 969
- D1 DENOTES DENOTES
- P1 DENOTES PLAN BY J/H GELBLOOM SURVEYING LTD
DATED JUNE 11, 2018
- 1808 DENOTES J/H GELBLOOM SURVEYING LTD



PART 2

REGISTERED EASEMENTS/RIGHTS-OF-WAY - AS
DESCRIBED IN INSTRUMENT NO. 113583

ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND
PHYSICAL FEATURES AS DEPICTED ON THE FACE OF THIS PLAN.

THIS PLAN WAS PREPARED FOR ZIAD MALAKI AND THE UNDERSIGNED
ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY
ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON MARCH 06, 2020.

MARCH 11, 2020

GUIDO W. CONSOLI
ONTARIO LAND SURVEYOR

ALTIMAP LAND SURVEYORS INC.

222 FINCH AVE W. UNIT 212, TORONTO, ON M2R 1M6
TEL 416 969 3001 INFO@ALTIMAP.CA

DWN BY: AH
CHK BY: GVC
JOB No. : 20-1244

Diagram illustrating the installation of snow fencing around a tree. The tree is shown with a trunk and a dense canopy of leaves. The snow fencing is installed around the base of the tree. Callouts 1, 2, 3, and 4 indicate specific details of the installation:

- 1: Detail of the snow fence panel.
- 2: Detail of the snow fence panel.
- 3: Detail of the snow fence panel.
- 4: Detail of the snow fence panel.

SEE SECTION 4 FOR DETAILS

SEE SECTION 4 FOR DETAILS

SNOW FENCING

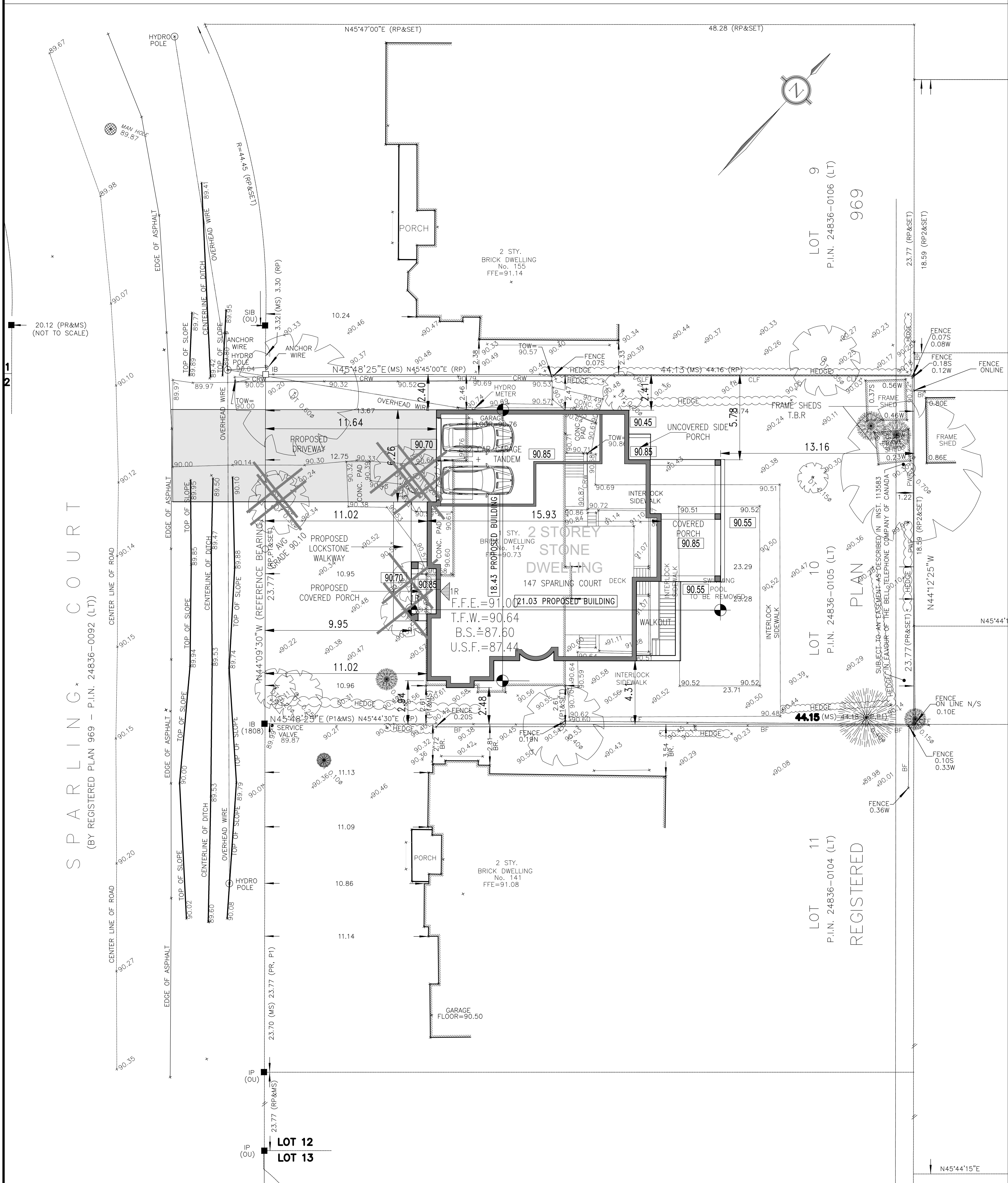
1. TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WATERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
2. TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4" S.
3. WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
4. ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
5. NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
6. ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

1. A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmX60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

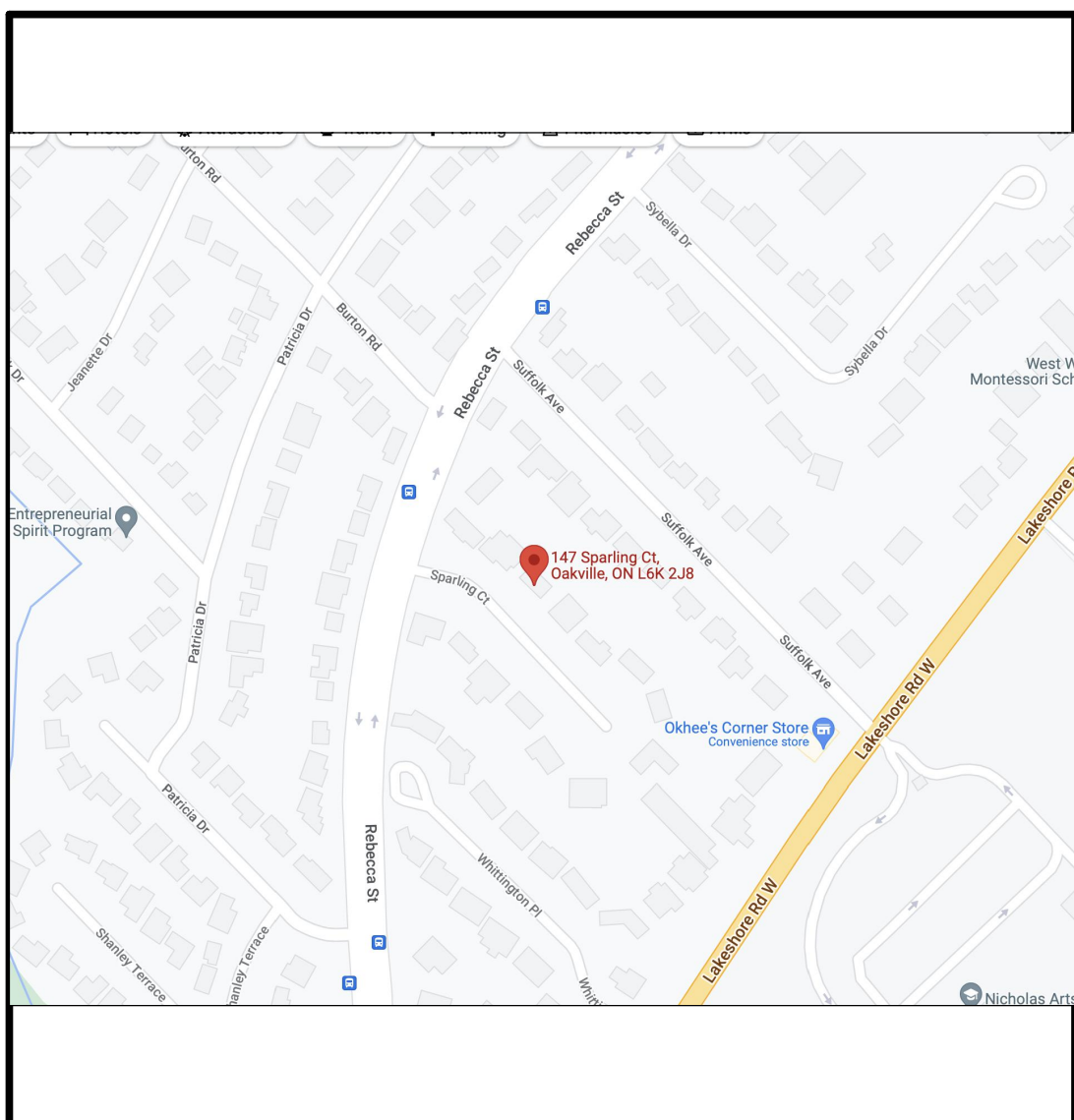
"TREE PROTECTION ZONE
NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS
AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN
AUTHORIZATION OF THE TOWN OF OAKVILLE."

DESIGNER:		APPLICANT:		OWNER:	
HDS DWELL INC		HDS DWELL INC		OLISOLA ADEOSUN	
20 SHUR ROAD		20 GLOMOUR ROAD		147 SPARLING COURT	
PUSLIN, ON, N0B 2J0		PUSLIN, ON, N0B 2J0		OAKVILLE, ON	
ATTENTION: JASON HUETHER		ATTENTION: CYNTHIA GIBSON		L6K 2A8	
PH: 226 978-4465		PH: 905 339-1212			
SITE STATISTICS					
ADDRESS:		147 SPARLING COURT OAKVILLE, ON L6K 2J8			
LEGAL DESCRIPTION:		LOT 10 REG'D PLAN 969 RL-0			
ZONING:					
DESCRIPTION		REQUIRED		EXISTING - DEMO	
		METRIC	IMPERIAL	METRIC	IMPERIAL
LOT AREA:					
LOT AREA		536,000	8,999	1,049,250	11,294
LOT WIDTH:					
17.1 AT STREET				23.77	78
25.3 AS PER DEFINITION		22.5	74	23.77	78
(9.1m back from property line)					
LOT COVERAGE:					
COVERED ENTRY PORCH					
SECOND FLOOR OVERHANG					
REAR COVERED PORCH					
TOTAL		262.313			
COVERAGE (%)		25.0%			
GROSS FLOOR AREA:					
GROUND FLOOR					
SECOND FLOOR					
TOTAL				253,254	2,726
COVERED ENTRY PORCH				6,132	66
SECOND FLOOR OVERHANG				2,415	26
REAR COVERED PORCH				26,332	300
TOTAL				268,033	3,208
COVERAGE (%)				28.46%	
RESIDENTIAL FLOOR AREA RATIO					
TOTAL		388,223	4,179		
O.F.A (%)		37.0%			
ON 20/26					
DWELLING DEPTH		N/A	N/A		
BASEMENT					
FINISHED AREA					
UNFINISHED AREA					
TOTAL BASEMENT				395,674	4,259
				37.73%	
PARKING GARAGE					
FLOOR AREA (INC. STORAGE)		45	484.4		
DRIVEWAY WIDTH			0.0		
YARDS:					
MINIMUM FRONT YARD					
FRONT YARD		9.95	27.0	0.0	
REAR YARD		7.5	24.5	0.0	
SIDE YARD NORTH		1.2	3.9	0.0	
SIDE YARD SOUTH		2.4	7.9	0.0	
MAXIMUM HEIGHT 2 STOREY:					
MAXIMUM HEIGHT TO RIDGE		9.00	29.5		
				9.000	29.5
GARAGE WALL PROJECTION:			0.00		

3 SITE PLAN
A1.2 SCALE: 1:150



5 RESERVED
A.1.2 SCALE: NTS



4 KEYPLAN
A1.2 SCALE: NTS

The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

JASON HUETHER		39381
NAME	SIGNATURE	ICIN

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

HDS Dwell Inc.	118699
FIRM NAME	ICIN

Drawings must NOT be scaled.
Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

	PROPERTY LINE
EXISTING GRADE	
FINISHED GRADE	
FINISHED FLOOR ELEVATION	
FINISHED BASEMENT ELEVATION	
FINISHED DECK ELEVATION	
MAIN ENTRANCE	
SECONDARY ENTRANCE	
EXISTING STRUCTURES TO BE REMOVED	
BORE HOLE LOCATION & No. PER SOILS REPORT	
ROOF DOWNSPOUT LOCATION, DISCHARGE ON 600X60 CONC. PAPER	
DIMENSIONS DIMENSIONS TO NEW STRUCTURES	
EXISTING DIMENSIONS TO EXISTING STRUCTURES	
NEW SUMP WITH DISCHARGE DIRECTION	

	TREE HOARDING
TR 7	TREE NUMBER PER ARBOURIST REPORT
	EXISTING TREE TO REMAIN – DASHED LINE INDICATES TPZ (TREE PROTECTION ZONE PER ARBOURIST REPORT
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE REMAIN.

TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

REGION OF HALTON CERTIFICATE

REGIONAL APPROVAL
REGION DESIGN OF WATER &/OR WASTEWATER SERVICES

APPROVED SUBJECT TO DETAIL CONSTRUCTION
CONFORMING TO HALTON REGION STANDARDS &
SPECIFICATIONS & LOCATION APPROVAL FROM AREA

SIGNED: _____ DATED: _____
INFRASTRUCTURE PLANNING & POLICY

The applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless of the outcome of the application, the applicant must ensure that the Region of Hella's standards and specifications are met, (the Water and Wastewater Linear Design Manual may be obtained from Data Management Group at 905-825-6032)

Furthermore, all water quality tests must be completed to the Region of Hella's satisfaction, before the water supply can be turned on.

1	04.12.22	ISSUED FOR C OF A
---	----------	-------------------

REF.	DATE:	DESCRIPTION:
------	-------	--------------

REVISIONS / ISSUANCE:



HDS DWELL INC.
20 GILMOUR ROAD, PUSLINCH ON, CAN N0B 2J0
WWW.HICKSDESIGNSTUDIO.CA T.(226)979-4493

CLIENT:

THE ADEOSUN RESIDENCE

ADDRESS: 147 SPARLING COURT
CITY: OAKVILLE

DRAWING TITLE
SITE PLAN

DRAWN: J.W.H

DATE: 08.09.21

JOB NUMBER:

SCALE: 1:150

SHEET NUMBER:

20-019

A102

The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

JASON HUETHER		39281
NAME		ICIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

HDS Dwell Inc.	118669
FIRM NAME	ICIN

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1	04.12.22	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



HICKS DWELL INC.
20 GILMOUR ROAD, PUSLINCH ON, CAN N0B 2J0
WWW.HICKSDESIGNSTUDIO.CA T.(226)979-4493

CLIENT:
THE ADEOSUN
RESIDENCE

ADDRESS: 147 SPARLING COURT
CITY: OAKVILLE

WEST
ELEVATION

DRAWN: ??	
DATE: 11.02.21	SCALE: 1/4"=1'-0"
JOB NUMBER: 21-035	SHEET NUMBER: A4.1

4/12/2022 - J:\USERS\JASON\HETHER\L\BIBRARY\CLOUDS\STORAGE\ONE\DRIVE\HDS\DWELL\SHARED DOCUMENTS\HDS - DWELL\HDS DWELL PROJECTS\21-035 - ADEOSUN RESIDENCE - 147 SPARLING COURT\OAKDRAWINGS\THE ADEOSUN RESIDENCE 030322.DWG

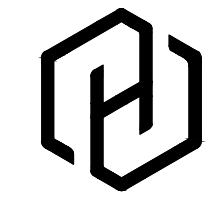


CITY OF MISSISSAUGA STAMP:

This undertaking has occurred and hereby responsibility for the design and the qualifications and meets the requirements set out in the Ontario Building Code for a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 2.1.1.1 of the building code	
NAME	30381
REGISTRATION INFORMATION	
Required unless design is exempt under 2.1.1.1 of the building code	
HDS DWELL INC.	118899
FIRM NAME	SCN

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1	04.12.22	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



H.D.S.
DWELL

HDS DWELL INC.
20 GILMOUR ROAD, PUSLINCH ON, CAN N0B 2J0
WWW.HICKSDSIGNSTUDIO.CA T. (226) 879-4483

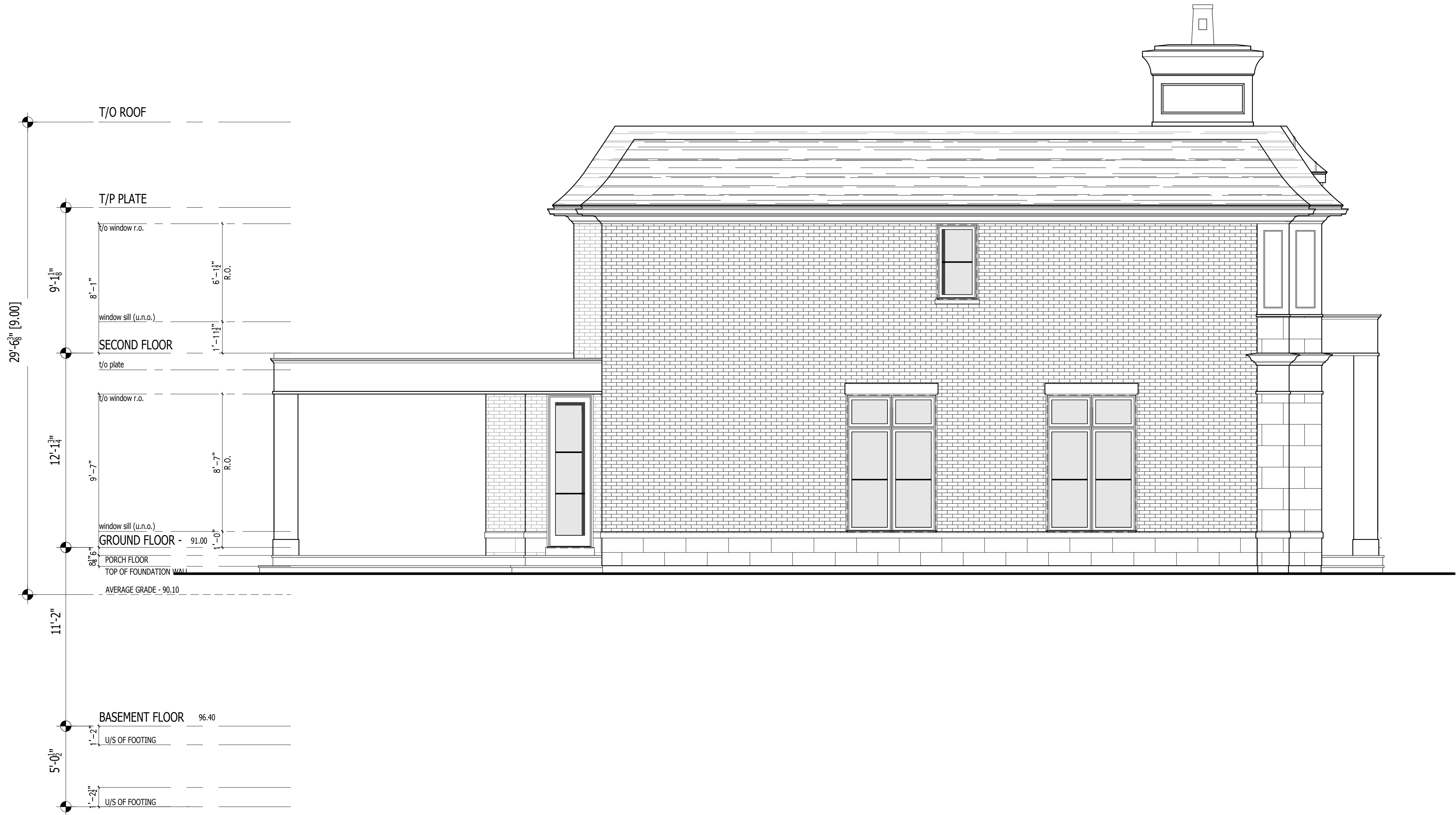
CLIENT:
THE ADEOSUN
RESIDENCE

ADDRESS: 147 SPARLING COURT
CITY: OAKVILLE

DRAWING TITLE:
EAST
ELEVATION

DRAWN: ??	DATE: 11.02.21	SCALE: 1/4"=1'-0"
JOB NUMBER: 21-035	SHEET NUMBER: A4.2	

4/12/2022 C:\USERS\JASON\HETHER\LIBRARY\CLOUDSTORAGE\ONE-DRIVE\HDS\DWELL\PROJECTS\21-035 - ADEOSUN RESIDENCE - 147 SPARLING COURT\OAKDRAWINGS\THE ADEOSUN RESIDENCE 030322.DWG

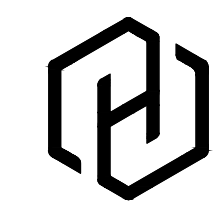


CITY OF MISSISSAUGA STAMP:

This undertaking has occurred and herein responsibility for the design and the qualifications and scope of the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 2.1.1.1 of the building code	
NAME	30381
JASON HAETHER	
REGISTRATION INFORMATION	
Required unless design is exempt under 2.1.1.1 of the building code	
FIRM NAME	118899
HDS DWELL INC.	
SCIN	

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1	04.12.22	ISSUED FOR C OF A
REF:	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



H.D.S.
DWELL

HDS DWELL INC.
20 GILMOUR ROAD, PUSLINCH ON, CAN N0B 2J0
WWW.HICKSDSIGNSTUDIO.CA T. (226) 879-4483

CLIENT:
THE ADEOSUN
RESIDENCE

ADDRESS: 147 SPARLING COURT
CITY: OAKVILLE

DRAWING TITLE:
NORTH
ELEVATION

DRAWN: ??		
DATE:	11.02.21	SCALE: 1/4"=1'-0"
JOB NUMBER:	21-035	SHEET NUMBER:
		A4.3

The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code	
JASON HUETHER NAME	39381 RCIN
REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code	
HDS Dwell Inc. FIRM NAME	118669 RCIN

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1	04.12.22	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



CLIENT:
THE ADEOSUM
RESIDENCE

ADDRESS: 147 SPARLING COURT
CITY: OAKVILLE

DRAWING TITLE:
SOUTH
ELEVATION

DRAWN: ??	
DATE: 11.02.21	SCALE: 1/4"=1'-0"
JOB NUMBER: 21-035	SHEET NUMBER: A4.4



HDS
DWELL INC.

April 13, 2022

Committee of Adjustment
Town of Oakville
1225 Trafalgar Road
Oakville, ON
L6H 0H3

RE: Minor Variance Application, 147 Sparling Court

To Whom It May Concern:

We are the Designers working on behalf of the new Property Owner at 147 Sparling Court, Oakville. This property is zoned RL2-0. We have designed a new 2 storey single family dwelling that requires some minor variances. Below are the proposed variances and rationale.

Zoning Bylaw 2014-014 RL2-0

Residential Floor Area: Permitted: 37% - Proposed: 37.71%

We are seeking a minor variance for Residential floor area whereby the permitted is 37% and we are proposing 37.71%. The intent of regulating floor area is to ensure that the dwelling is not larger in mass or scale as compared to the surrounding Neighbourhood. This dwelling meets all of the setbacks and Height requirements. We are seeking a variance for an additional 7.45sqm, all of which is contributed to the main floor breakfast and office extension under the rear covered porch. This is a single storey feature, centre mass and concealed under a covered porch roof. It does not present any negative impacts to the neighbours nor result in the dwelling appearing larger than other homes in the Neighbourhood. The proposed dwelling is consistent with the mass and scale of other new homes in the Neighbourhood given the size and nature of this lot.

Maximum Lot Coverage: Permitted: 25% - Proposed: 28.40%

The coverage variance is related specifically to the single storey flat roof covered porch on the rear of the home. The dwelling including cantilevered second floor and the covered front porch comply with the requirements as of right. The porch element is centred on the rear of the dwelling thus has large setbacks to any of the neighbouring dwellings. The additional coverage is well concealed, and poses no impact to the neighbouring dwellings nor does it contribute additional massing and scale, given the single storey nature of the covered porch.

Maximum area of a Garage: Permitted: 45sqm - Proposed: 52.97sqm

This variance relates to the tandem depth garage being proposed. The garage presents as a typical 2 car setup from the street, there is additional depth included internally within the home for the additional parking space. There are no impacts to the neighbours and does not contribute to additional coverage for the home.



HDS
DWELL INC.

In closing, we believe these variances meet the intent and purpose of the Official Plan and Bylaw. The design of the dwelling complies with the infill design guidelines and results in desirable and appropriate development in the Neighbourhood, and the variances are minor in nature.

Thank you for your consideration.

Sincerely,

JASON HUETHER

Director

HDS Dwell Inc

20 Gilmour Road

Puslinch, ON

N0B 2J0

jhuether@hdsdwell.ca