

### TREE PROTECTION NOTE

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE (CLUMPS). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
8. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ).
9. UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ.
10. AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.

### STANDARD DEVELOPMENT NOTES:

#### (A) TRANSPORTATION AND WORKS DEPARTMENT

1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
3. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
4. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
5. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

#### (B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
2. THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
15. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
16. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
17. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
20. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
22. ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
23. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

1. DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
2. TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

EXISTING DRIVEWAY TO BE RESTORED AND SODDED. THE BOULEVARD IS TO BE RESTORED TO THE SATISFACTION OF THE ENGINEERING AND CONSTRUCTION DEPARTMENT.

The existing sanitary lateral must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection.  
A lateral that does not meet current Regional standards must be disconnected at the main. A revision to the Service Permit, drawings and payment of applicable fees is required

SEATON DRIVE  
(BY REG'D PLAN 852)  
PIN 24852-0002

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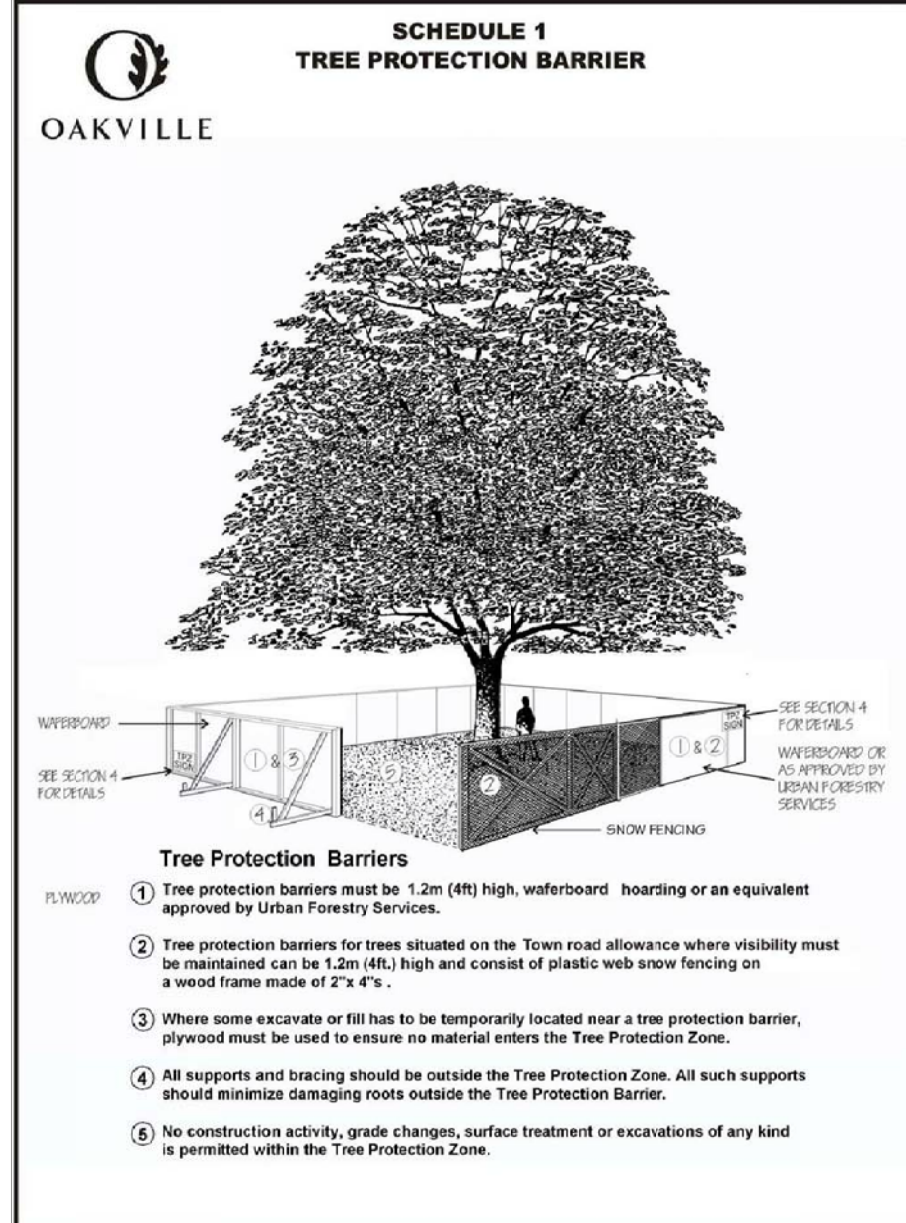
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### (C) UTILITIES CONNECTION

1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
2. WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE "K" SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
3. STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.



REPLACEMENT TREES  
COMBINATION OF 150 MM HEIGHT CONIFEROUS  
AND/OR 30 MM # DECIDUOUS

REGIONAL APPROVAL  
REGION DESIGN OF WATER &/OR WASTEWATER SERVICES  
APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING  
TO HALTON REGION STANDARDS & SPECIFICATIONS &  
LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: \_\_\_\_\_  
INFRASTRUCTURE PLANNING & POLICY

The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. The Water and Wastewater Engineering Design Manual may be obtained from the Data Management Group at 905-829-6030. Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

NOTE  
EAVES DO NOT PROJECT MORE THAN 0.60M INTO PROPOSED SETBACKS.

All NEW water and sanitary main  
taps are to be performed by  
Region of Halton forces only

NOTE  
DOWN SPOUT DISCHARGE LOCATIONS ARE  
TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES  
NOT MEET CURRENT REGIONAL STANDARDS MUST  
BE DISCONNECTED AT THE MAIN, AND A NEW  
SERVICE CONSTRUCTED AT THE SITE DEVELOPERS  
EXPENSE.

NOTE  
APPROXIMATE GROUNDWATER ELEVATION IS TO BE  
CONFIRMED PRIOR TO CONSTRUCTION. IF GROUND WATER  
INTERFERES WITH HOUSE CONSTRUCTION/DESIGN,  
CONTRACTOR TO NOTIFY ENGINEER.

NOTE  
Sewer contractor to verify in the field and provide  
2.5m (MIN.) separation between the Water and  
Sanitary Lines.  
Contractor to use existing services.

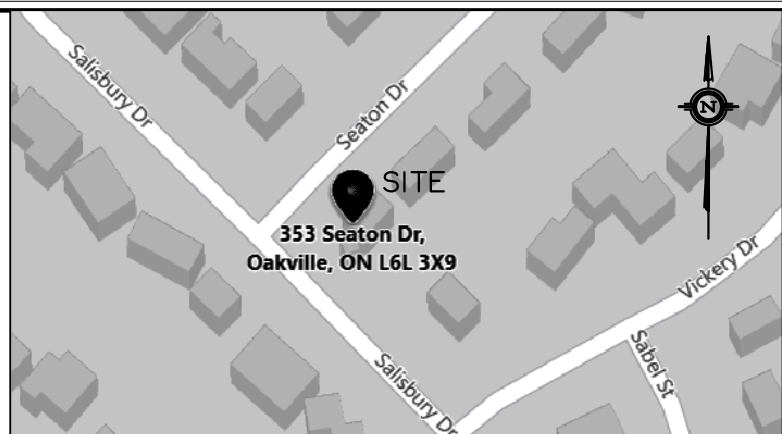
NOTE  
If the existing sanitary service lateral is used,  
it must be inspected at the property line  
by the Regional Inspector, and televised  
by Regional forces PRIOR to connection

NOTE  
THIS LOT REQUIRES A SUMP PUMP FOR THE  
FOUNDATION DRAINS AND SHALL DISCHARGE TO  
THE GRADE. COMPLETE WITH BACKFLOW  
PREVENTER.

NOTE  
Service sizes, inverts and types are derived from the Region  
of Halton Engineering Department Dwg. No. 0-11971  
The contractor must verify inverts.

**J. H. Gelbloom Surveying Limited**  
Ontario Land Surveyor  
476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4  
office@jhgsurveying.ca  
Phone:(905) 338-8210 Fax:(905) 338-9446

Project: 20-231  
Checked By: A.R.  
Drawn By: M.K.  
Party Chief: A.M.



**SITE ADDRESS**  
353 SEATON DRIVE  
OAKVILLE, ONTARIO

NAVEEN SARIN (OWNER)  
2369 ONTARIO STREET  
OAKVILLE, ONTARIO

No.	Date	Description	By
1	APRIL 16, 2021	SITE & GRADING	M.K.
2	JUNE 16, 2021	REVISED SOAK-AWAY PIT & BUILDING PLAN	M.K.
3	JULY 13, 2021	REVISED HOARDING	A.M.
4	DEC. 15, 2021	REVISED BUILDING	M.K.
5	MAR. 28, 2022	TOWN COMMENTS	M.K.

INFORMATION TAKEN FROM A SURVEY PREPARED BY  
J.H. GELBLOOM SURVEYING LTD., O.L.S.  
DATED : JANUARY 27, 2021

**BENCHMARK**  
Elevations are Referred to the Town of Oakville Benchmark No. 36  
having an Elevation of 90.294 m.

**SURVEYOR'S CERTIFICATE**  
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY  
DWELLING LOCATED AT 353 SEATON DRIVE AND HAVE PREPARED THIS PLAN  
TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT  
PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT  
ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL  
PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE  
MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING  
DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE  
CORRECTLY SHOWN.

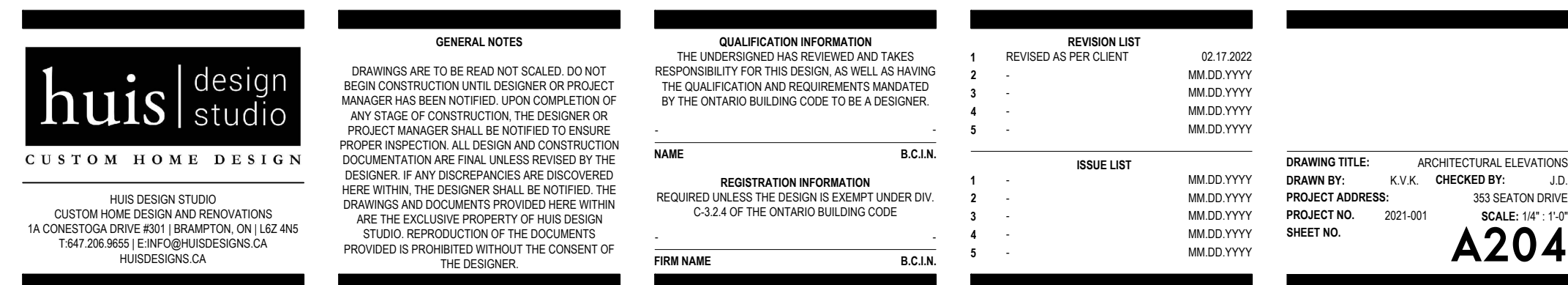
MARCH 31, 2022  
DATE

Andrew Musil, O.L.S.  
2020





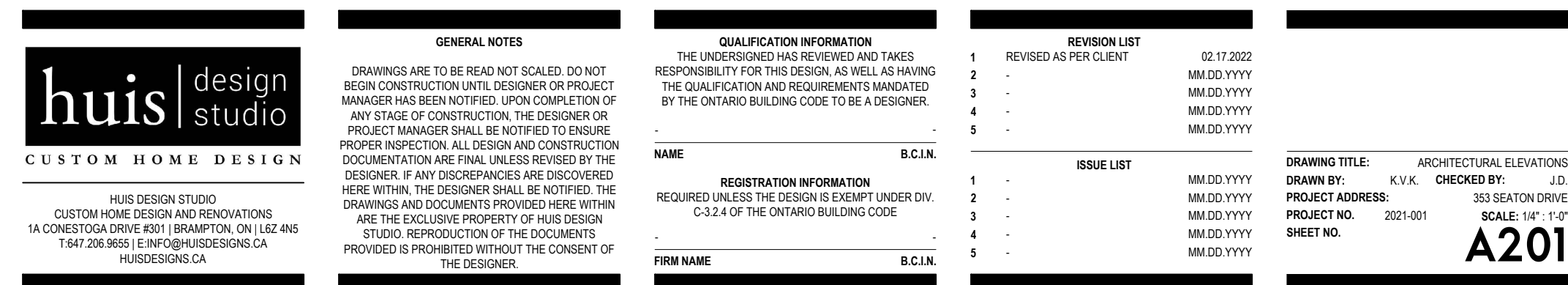
1/4":1'-0"  
**LEFT ELEVATION**





14'11"0"

**FRONT ELEVATION**



1/8"=1'-0"

REAR ELEVATION



**huis** | design studio

CUSTOM HOME DESIGN

HUIS DESIGN STUDIO

CUSTOM HOME DESIGN AND RENOVATIONS

1A CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5

T:905.298.8650 | E:INFO@HUISDESIGNS.CA

HUISDESIGNS.CA

**GENERAL NOTES**

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL, UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

**QUALIFICATION INFORMATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANAGED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME	B.C.I.N.
REGISTRATION INFORMATION	
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE	
FIRM NAME	B.C.I.N.

**REVISION LIST**

1	REVISED AS PER CLIENT	02.17.2022
2		MW.DD.YYYY
3		MW.DD.YYYY
4		MW.DD.YYYY
5		MW.DD.YYYY

**ISSUE LIST**

1		MW.DD.YYYY
2		MW.DD.YYYY
3		MW.DD.YYYY
4		MW.DD.YYYY
5		MW.DD.YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS

DRAWN BY: K.V.K. CHECKED BY: J.D.

PROJECT ADDRESS: 353 SEATON DRIVE

PROJECT NO. 2021-001

SHEET NO.

SCALE: 1/8" = 1'-0"

**A203**