

. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND

EQUIPMENT. 2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.

3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.

4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE. 5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO

PREVENT DESICCATION. 6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE PPEARANCE OF THE TREES.

7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE. 8. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ) 9. UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND

AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ. STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT

. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.

2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.

3. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT. 4. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR

5. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

(B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED. . THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS 3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.

4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD. 5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM

WALKWAYS, DRIVEWAYS OR PATIO AREAS. 6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.

7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.

9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.

8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.

10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE. 11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES,

THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION. 12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST

ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION. 13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND

SPECIFICATIONS. 14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP

OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING. 15. OUTSIDE FINISHED GRADE TO BE A MINIUMUM OF 150 mm BELOW BRICK/STONE

VENEER ELEVATION.

16. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.

17. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.

18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%. 19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.

20. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.

21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.

22. ALL WATERMAINS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS. 23. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES. 24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.

25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

1 DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND

PRESERVATION AREA

2 TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE EXISTING DRIVEWAY TO BE RESTORED AND SODDED. THE BOULEVARD IS TO BE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN RESTORED TO THE SATISFACTION OF THE EXISTING PAVED SURFACE, PROVIDED THAT SURFACE ENGINEERING AND CONSTRUCTION DEPARTMENT REMAINS INTACT THROUGHOUT SITE ALTERATION

2xWV √5

OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE The existing sanitary lateral must be inspected at the roperty line by the Regional Inspector, and televised y Regional forces PRIOR to connection. A lateral that does not meet current Regional standards PROPOSED CONNECTIONS nust be disconnected at the main. A revision to 0.35ø CSP the Service Permit, drawings and payment of TO BE HORIZONTALLY BORED ONLY applicable fees is required NO OPEN TRENCHING SANITARY INVERT= 88.1 +/-CALCULATED FROM REGION OF HALTON ENGINEERING DRAWING 0-11971

WINDOW WELL

RUF= 87.70

रे **X** 88.92 X

PROPOSED LOWER -TERRACE

PLANTER

LOT 88

PIN 24852-0017 (R2)

BOARD FENCE 27.43

END OF CLF

11.02

____O.I5 NW

1.26 NE

(CHIMNE)

To re-use existing water service oviding it meets Current Standards therwise, use proposed 25mmø Copper Type-K water service, The existing water service must be nspected at the property line by the eaional Inspector.

SEATON DRIVE (BY REG'D PLAN 852) PIN 24852-0002

8.90

CONCRETE PAD

GARAGE

BRICK

LOT 87

0.09 NW

N 44° 01' 00" E

SUBJECT TO AN EASEMENT IN FAVOUR

OF THE BELL TELEPHONE COMPANY OF

CANADA AS IN INST. NO. 78149

PIN 24852-0018

(C) UTILITIES CONNECTION

1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.

CONCRETE PAD

CLE CORNER

0.20 NE

91.89

0.63ø

PROPOSED

GARAGE

TFW= 92.35

92.30

CRETE WALKWAY T.B.R.

COVERED PORCH

PROPOSED

91.65

OSTAND PIPE

END OF BF

0.31 SW

0.04 NW----

PIN 24852-0040

DINCOVERED PORCH

BF= 88.46

UF**=** 88.16

PROPOSED

∕FF⁄.**=** 92.45∠

BF= 89.07

UF= 88.77

T/FW= 92.15

PROPOSED UNCOVERED PORCH

×91.60

EXISTING GRADES TO REMAIN

R3

0.02 NW

I STOREY

BRICK

DWELLING

No. 343

2-STOREY DWELLING #⁄353

I STOREY

BRICK

DWELLING

No. 355

- S<u>an - - - San - - - - San</u> CENTRELINE OF ASPHALT ROAD 61.24 MH TO MH (NOT TO SCALE)

—₩_{CONCRETE}— HEADWALL — CENTRELINE OF DITCH

PREFERENCE BEARING

⁽N⁾45° 25′ 00″ E

RI-RIO

Tree Protection Barriers

approved by Urban Forestry Services.

a wood frame made of 2"x 4"s .

REGIONAL APPROVAL REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

REPLACEMENT TREES

AND/OR 30 MM Ø DECIDUOUS

COMBINATION OF 150 MM HEIGHT CONIFEROUS

INFRASTRUCTURE PLANNING & POLICY

SCHEDULE 1

OAKVILLE

TREE PROTECTION BARRIER

Tree protection barriers must be 1.2m (4ft) high, waferboard hoarding or an equivalent

(2) Tree protection barriers for trees situated on the Town road allowance where visibility must

be maintained can be 1.2m (4ft.) high and consist of plastic web snow fencing on

(3) Where some excavate or fill has to be temporarily located near a tree protection barrier,

(4) All supports and bracing should be outside the Tree Protection Zone. All such supports

(5) No construction activity, grade changes, surface treatment or excavations of any kind

plywood must be used to ensure no material enters the Tree Protection Zone

The Applicant should be aware that the approval of the water system on private property is thexresponsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (the Water and Wastewater Linear Design Manual may be obtained from the Data Managemen Group at 905-825-6032) Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

NOTE

EAVES DO NOT PROJECT MORE THAN O.60M INTO PROPOSED SETBACKS.

All NEW water and sanitary main taps are to be performed by Region of Halton forces only

DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPERS EXPENSE.

NOTE

APPROXIMATE GROUNDWATER ELEVATION IS TO BE CONFIRMED PRIOR TO CONSTRUCTION. IF GROUND WATER INTERFERES WITH HOUSE CONSTRUCTION/DESIGN, CONTRACTOR TO NOTIFY ENGINEER.

NOTE

Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

Contractor to use existing sevices.

If the existing sanitary service lateral is used,

it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTWITHSTANDING THE CRITERIA SET OUT

PROCEDURES AND GUIDELINES ADDENDUM I

SECTION 3, DUE TO STORM SEWER CAPACITY

SHALL DISCHARGE TO GRADE 0.3-1.0M FROM

THE HOUSE ONTO A SPLASH PAD. WHEN DOING

CONCERNS IN THE AREA, THE SUMP PUMP

WITHIN THE DEVELOPMENT ENGINEERING

SO, PLEASE NOTE THE REQUIREMENTS

SUBSECTION D).

(A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.

(A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE GRADE. COMPLETE WITH BACKFLOW PREVENTER.

Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-11971 The contractor must verify inverts.

MARCH 31, 2022 DATE

KEY PLAN (NOT TO SCALE) SITE, SERVICE & GRADING PLAN

LOT 88 REGISTERED PLAN 852 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

> 10 SCALE 1 : 150 J.H. Gelbloom Surveying Limited Ontario Land Surveyor

METRIC Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048. ITEM DESCRIPTION

2014-014 OAKVILLE BY-LAW ZONING DESIGNATION RL2-0 836.00 SQ.M. 1156.79 SQ.M. OT AREA (MINIMUM) 22.50 27.43 OT FRONTAGE (MINIMUM) OT COVERAGE (MAXIMUM) 289.20 SQ.M. 288.68 SQ.M OT COVERAGE % (MAXIMUM) 25% 24.96% 404.81 SQ.M. RFA (MAXIMUM) 404.88 SQ.M. RFA/LOT RATIO (MAXIMUM) 34.99% FRONT YARD SETBACK (MINIMUM) SIDE YARD SETBACK (MINIMUM) 1.20 & 3.50 2.97 & 2.38 2.29 (CHIMNEY 7.50 12.87 REAR YARD SETBACK (MINIMUM)

OVERALL HEIGHT LEGEND CLF Chain Link Fence Invert Elevation BF Board Fence Established Grade TFW Top of Foundation Wall 92.56 Proposed Elevation Maintenance Hole Finished Floor T.B.R. To Be Removed Utility Pole TOS Top of Slope Deciduous Tree Bottom of Slope CON. Coniferous Tree CSPCorrugated Steel Pipe Diameter WV Water Valve TOC Top of Curb — Hoarding BOC Bottom of Curb

్లు Existing Elevation **▼** Entrance HP High Point **→** Rain Water Leader TRW Top of Retaining Wall TTTT Embankment

BRW Bottom of Retaining Wall 3 Arborist's Tree Number X Tree to be Removed

353 SEATON DRIVE OAKVILLE, ONTARIO

NAVEEN SARIN (OWNER) 2369 ONTARIO STREET OAKVILLE, ONTARIO

> APRIL 16, 2021 SITE & GRADING REVISED SOAK-AWAY PIT & BUILDING PLAN JULY 13, 2021 REVISED HOARDING 4 DEC. 15, 2021 REVISED BUILDING MKTOWN COMMENTS

> > Description

M.K.

REVISIONSINFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S.

Elevations are Referred to the Town of Oakville Benchmark No. 36 having an Elevation of 90.284 m.

SURVEYOR'S CERTIFICATE I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 353 SEATON DRIVE AND HAVE PREPARED THIS PLAN

Date

DATED : JANUARY 27, 2021

TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

Andrew Musil, 6,L.S.

Checked By: | Party Chief: А.М.

Phone:(905) 338-8210 Fax:(905) 338-9446

H. Gelbloom Surveying Limited | Project: Ontario Land Surveyŏr 476 Morden Road, Unit 102, Oakville, Ont., L6K 3W4 office@jhgsurveying.ca



RIGHT ELEVATION

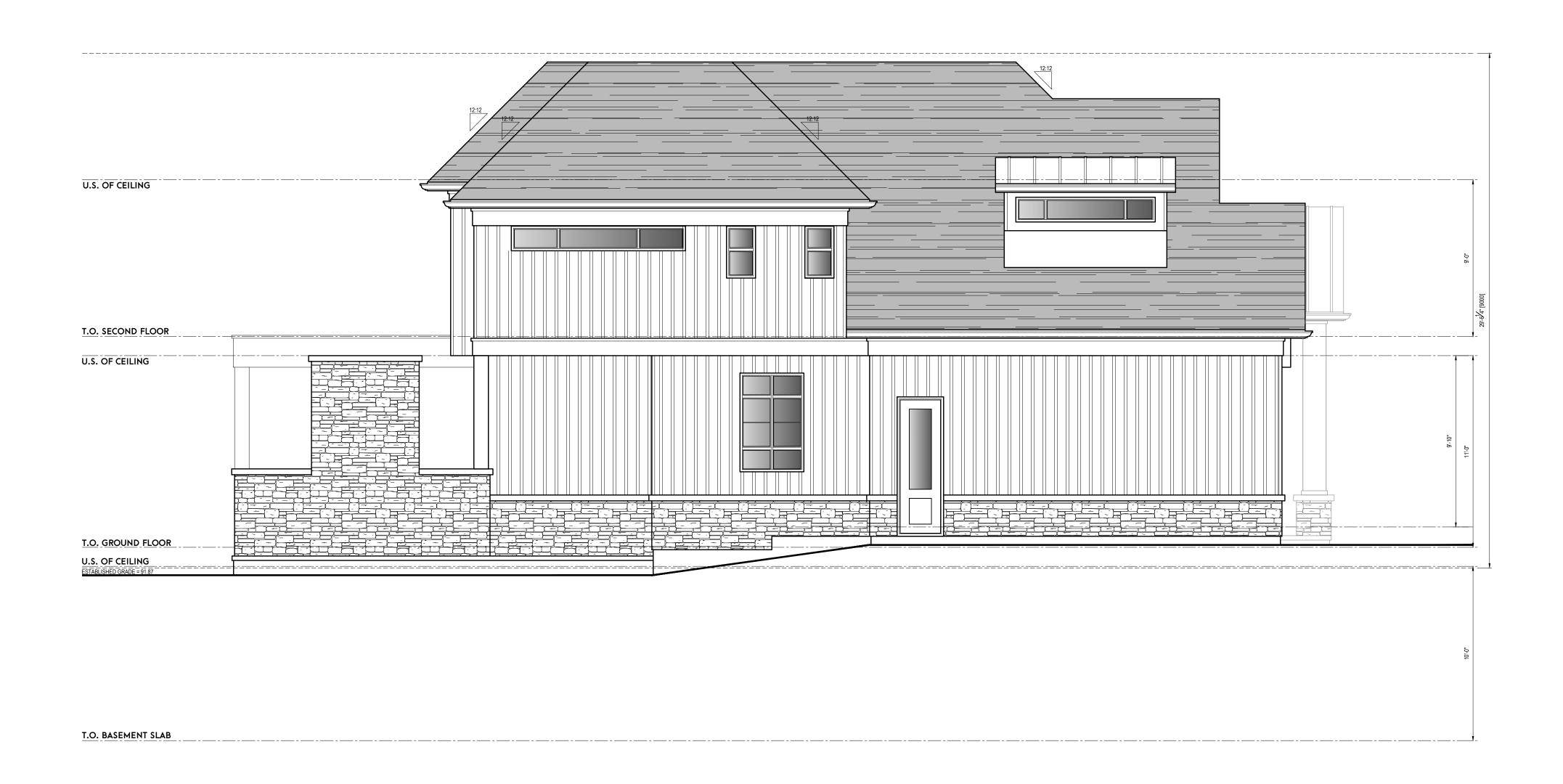


GENERAL NOTES
DRAWINGS ARE TO BE READ NOT SCALED, DO NOT
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MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF
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B.C.I.N.

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LEFT ELEVATION



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FRONT ELEVATION



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SCALE: 1/4": 1'-0" **A201**



REAR ELEVATION



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