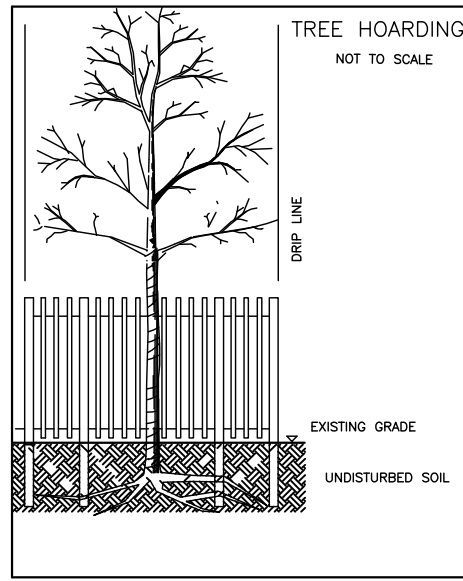


## TREE PROTECTION NOTE

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDINGS, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
8. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ).
9. UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.



OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW, THE TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

TRUNK DIAMETER (DBH)*	MINIMUM PROTECTION DISTANCES REQUIRED*
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

## EROSION AND SILTATION NOTES

1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
  - A. WEEKLY
  - B. BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
  - C. FOLLOWING AN UNPREDICTED RAINFALL EVENT
  - D. ONLY DURING EXTENDED DURATION RAINFALL EVENTS
  - E. AFTER SIGNIFICANT SNOW MELT EVENTS
3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
4. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER WQEC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES, INCLUDING BUT NOT LIMITED TO EROSION, FLOODING-- NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS/REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
6. IN THE EVENT OF A SPILL/RELEASE OF DELETERIOUS MATERIAL ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE WQEC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

## STANDARD DEVELOPMENT NOTES:

### (A) TRANSPORTATION AND WORKS DEPARTMENT

1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
3. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
4. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
5. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

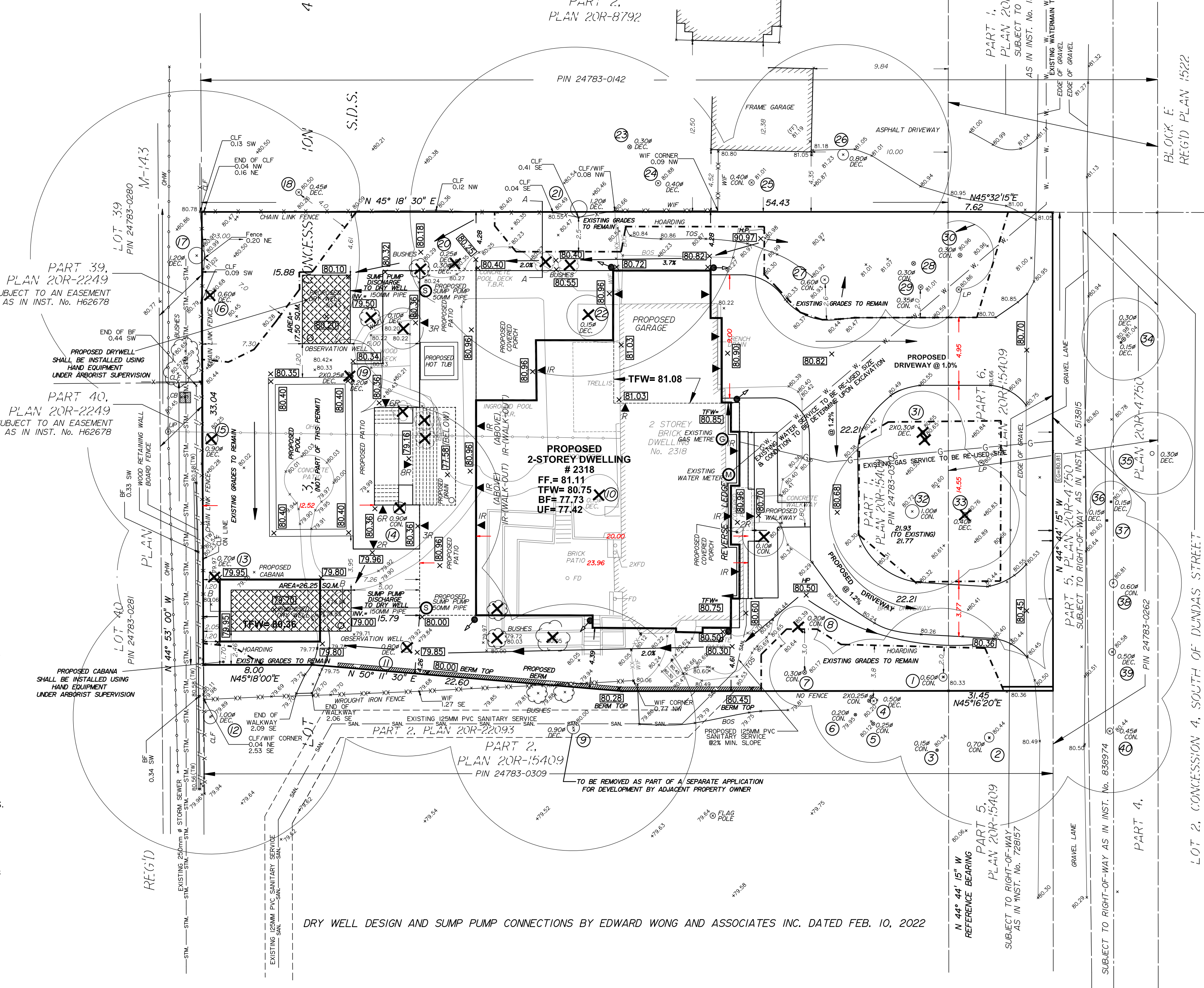
### (B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
2. THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
15. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
16. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
17. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
20. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
22. ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
23. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

### (C) UTILITIES CONNECTION

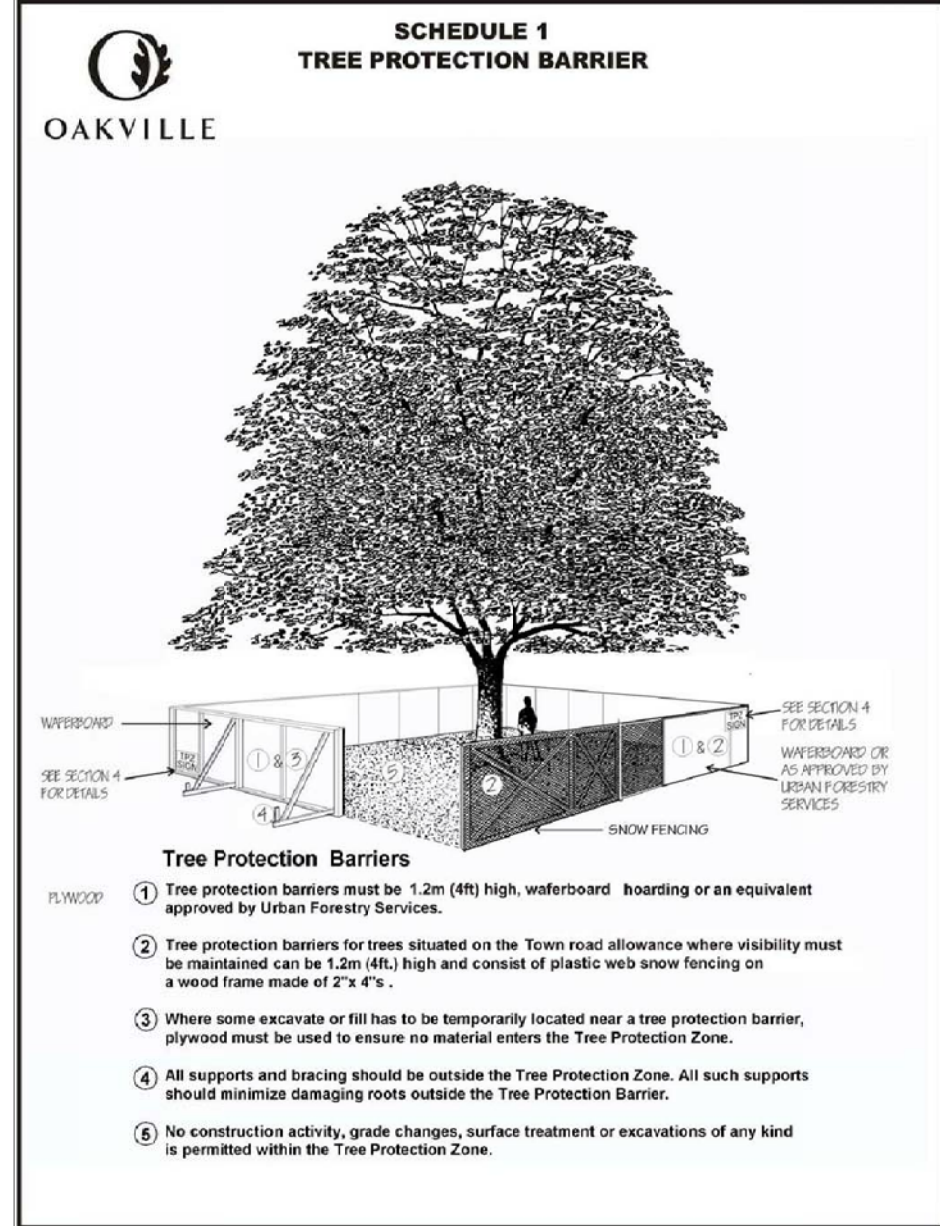
1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
2. WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
3. STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

1. DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
2. TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION



DRY WELL DESIGN AND SUMP PUMP CONNECTIONS BY EDWARD WONG AND ASSOCIATES INC. DATED FEB. 10, 2022

## BENNINGTON GATE

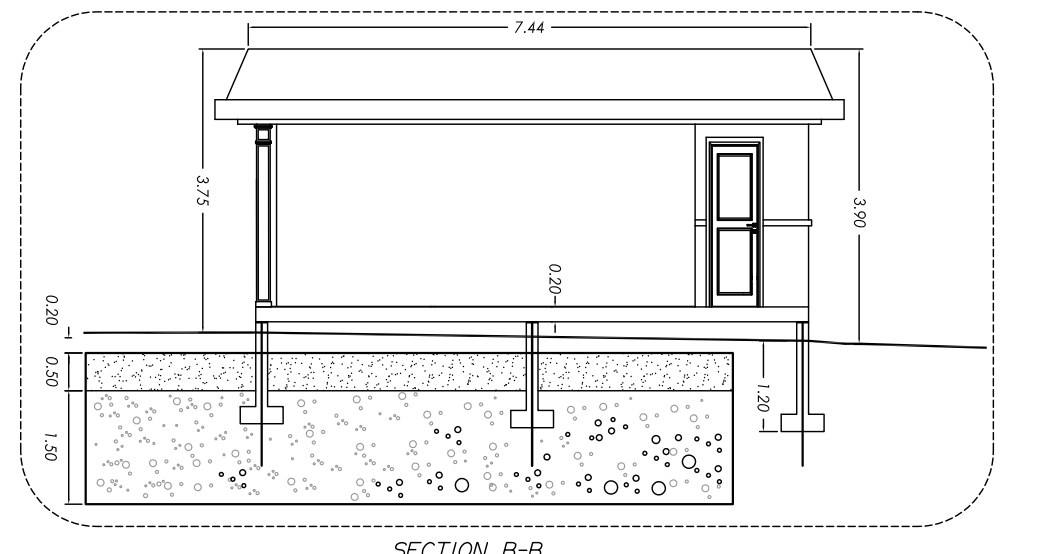
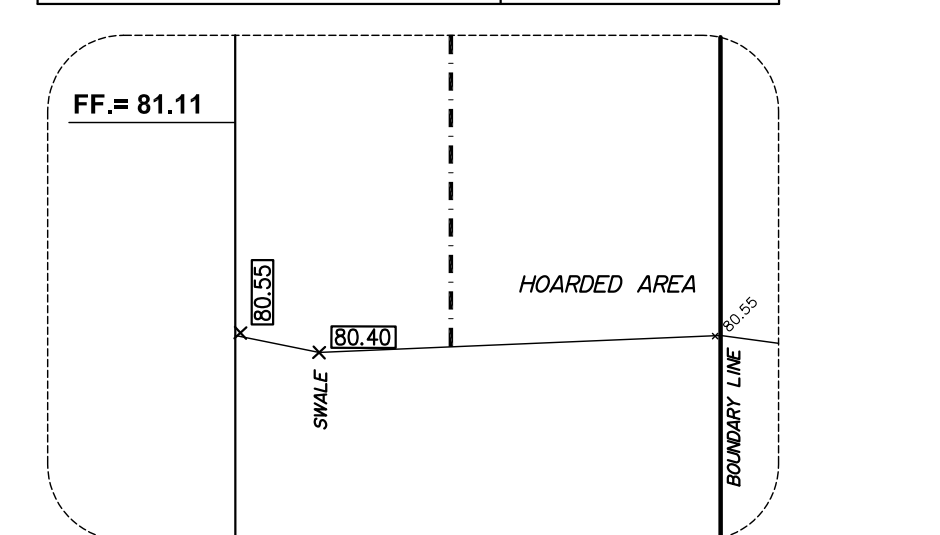


Tree Protection Barriers

1. Tree protection barriers must be 1.5m (5ft) high, weatherboard hoarding or an equivalent approved by Urban Forestry Services.
2. Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft.) high and consist of plastic web snow fencing on a wood frame made of 2"x 4"s.
3. Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
4. All supports and bracing should be outside the Tree Protection Zone. All such supports should ensure no material enters the Tree Protection Zone.
5. No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

LANDSCAPE AREA CALCULATION:

TOTAL FRONT YARD AREA	816.08 SQ.M.
DRIVEWAY AREA	317.71 SQ.M.
WALKWAY AREA	32.84 SQ.M.
TOTAL HARD SURFACE AREA	350.55 SQ.M.
TOTAL HARD SURFACE AREA %	42.96%



NOTE

Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

Contractor to use existing services.

NOTE

If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTE

THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO DRY WELL. COMPLETE WITH BACKFLOW PREVENTER.

J. H. Gelbloom Surveying Limited  
Ontario Land Surveyor  
476 Morden Road, Unit 102, Oakville, Ont. L6K 3W4  
office@jhgsurveying.ca  
Phone(905) 338-8210 Fax(905) 338-9446



## SITE, SERVICE & GRADING PLAN

PART OF LOT 3,  
CONCESSION 4, S.D.S.  
SOUTH OF DUNDAS STREET  
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR, COUNTY OF HALTON)  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 200  
J.H. Gelbloom Surveying Limited  
Ontario Land Surveyor  
2021

METRIC

Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED (METERS)	ACTUAL OR PROPOSED (METERS)
OAKVILLE BY-LAW	204-04	
ZONING DESIGNATION	RL-0	
LOT AREA (MINIMUM)	1593.50 SQ.M.	2130.42 SQ.M.
LOT FRONTAGE (MINIMUM)	30.50	34.95
LOT COVERAGE (MAXIMUM)	532.61 SQ.M.	518.24 SQ.M.
LOT COVERAGE % (MAXIMUM)	25%	24.37%
RFA (MAXIMUM)	617.62 SQ.M.	615.58 SQ.M.
RFA/LOT RATIO (MAXIMUM)	29%	28.89%
FRONT YARD SETBACK (MINIMUM)	20.93	21.77
SIDE YARD SETBACK (MINIMUM)	4.20 & 4.20	4.28 & 4.26
REAR YARD SETBACK (MINIMUM)	10.50	15.79
OVERALL HEIGHT	9.00	9.00

LEGEND

CLF	Chain Link Fence	INV.	Invert Elevation
BF	Board Fence	EG	Established Grade
TFW	Top of Foundation Wall	81.00	Proposed Elevation
MH	Maintenance Hole		
FF	Finished Floor		
UP	Utility Pole	T.B.R.	To Be Removed
DEC.	Deciduous Tree	TOS	Top of Slope
CON.	Coniferous Tree	BOS	Bottom of Slope
Ø	Diameter	CSP	Corrugated Steel Pipe
TOC	Top of Curb	WV	Water Valve
BCC	Bottom of Curb	HO	Hoarding
HP	High Point	EE	Existing Elevation
TRW	Top of Retaining Wall	TL	Tree to be Removed
BRW	Bottom of Retaining Wall		
3	Arborist's Tree Number		

SITE ADDRESS  
2318 Bennington Gate  
OAKVILLE, ONTARIO

C H WORLD DESIGN & CONSTRUCTION LTD. (OWNER)  
2038 DUNCAN ROAD  
OAKVILLE, ONTARIO

No.	Date	Description	By
1	MAR. 5, 2021	SITE & GRADING	M.K.
2	MAY 7, 2021	REVISED BUILDING	M.K.
3	AUG 30, 2021	ADDED DRY WELLS & GAS LINE	M.A.
4	OCT. 8, 2021	REVISED GRADING	A.M.
5	NOV. 22, 2021	ZONING COMMENTS	A.M.
6	DEC. 15, 2021	ZONING COMMENTS	A.M.
7	MAR. 4, 2022	REVISED DRY WELLS & TOWN COMMENTS	A.M.

REVISIONS

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S.  
DATED : JANUARY 6, 2021

BENCHMARK

Elevations are Referred to the Town of Oakville Benchmark No. 182 having an Elevation of 82.2683 m.

SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 2318 Bennington Gate AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PROVIDE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

DATE

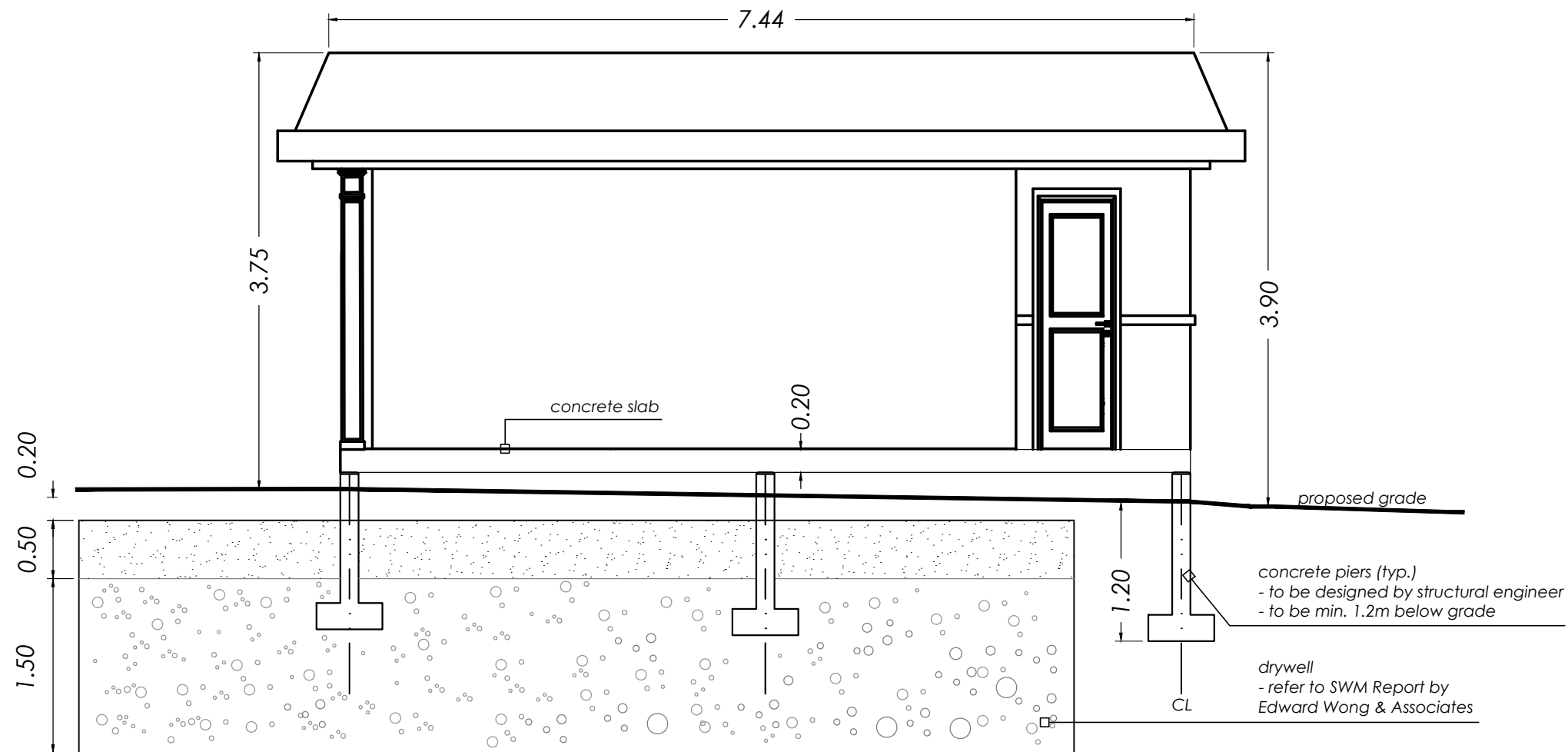
Andrew Musil, O.L.S.

Project: 20-216  
Checked By: A.M.  
Drawn By: M.K.  
Party Chief: D.L.



- NOTES:
1. All details shall be reviewed and approved by a structural engineer prior to construction.
  2. Contractor to provide shop drawings for approval to structural engineer prior to construction.
  3. Contractor shall verify and be responsible for all dimensions. Do NOT scale the drawings. Any errors or omissions shall be reported to structural engineer

- NOTES:
1. All materials, components and workmanship to conform to building and local by-laws.
  2. All fasteners shall have exterior grade finishes suitable for use with concrete. Stainless steel, galvanized, zinc-dipped or ceramic-coated screws are acceptable.
  3. All galvanizing to be hot dipped in conformance to CSA standard C164.
  4. Drive all fastener heads below surface of concrete. Use sufficient size and quantity of fasteners to ensure a stable, secure structure.
  5. Drawing is in meters unless otherwise noted.



Cabana - Section 'a'

SCALE: 1:50

PROJECT  
2318 Bennington Gate  
Town of Oakville

CLIENT  
C.H. World Design & Construction Ltd.

adesso design inc.  
landscape architecture



218 Locke Street South, 2nd Floor  
Hamilton, ON L8P 4B4  
t. 905.526.8876  
www.adessodesigninc.ca



FRONT ELEVATION



REAR ELEVATION

C. H. WORLD DESIGN & CONSTRUCTION Ltd.

1559 Watersedge Road, Mississauga, ON. L5J 1A6. (647) 298-1206

DESIGNED BY: Ni Ni

B. C. I. N. #: 41885

GENERAL NOTES

- 1) Contractor to check all dimensions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.
- 2) These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- 3) These drawings are for permit application purpose. Contractor must check all applicable By-laws and OBC. Any discrepancy must be reported to the designer.

SIGN.	DATE	REVISION	NO.
	17.02.27	REVISED PER CITY'S COMMENTS	1

DRAWING

FRONT ELEVATION  
&  
REAR ELEVATION

PROJECT

DHADWAR  
RESIDENCE

PROJECT

2318 BENNINGTON GATE,  
OAKVILLE,  
ONTARIO  
L6J 6C2

DATE JAN 2022

SHEET

SCALE

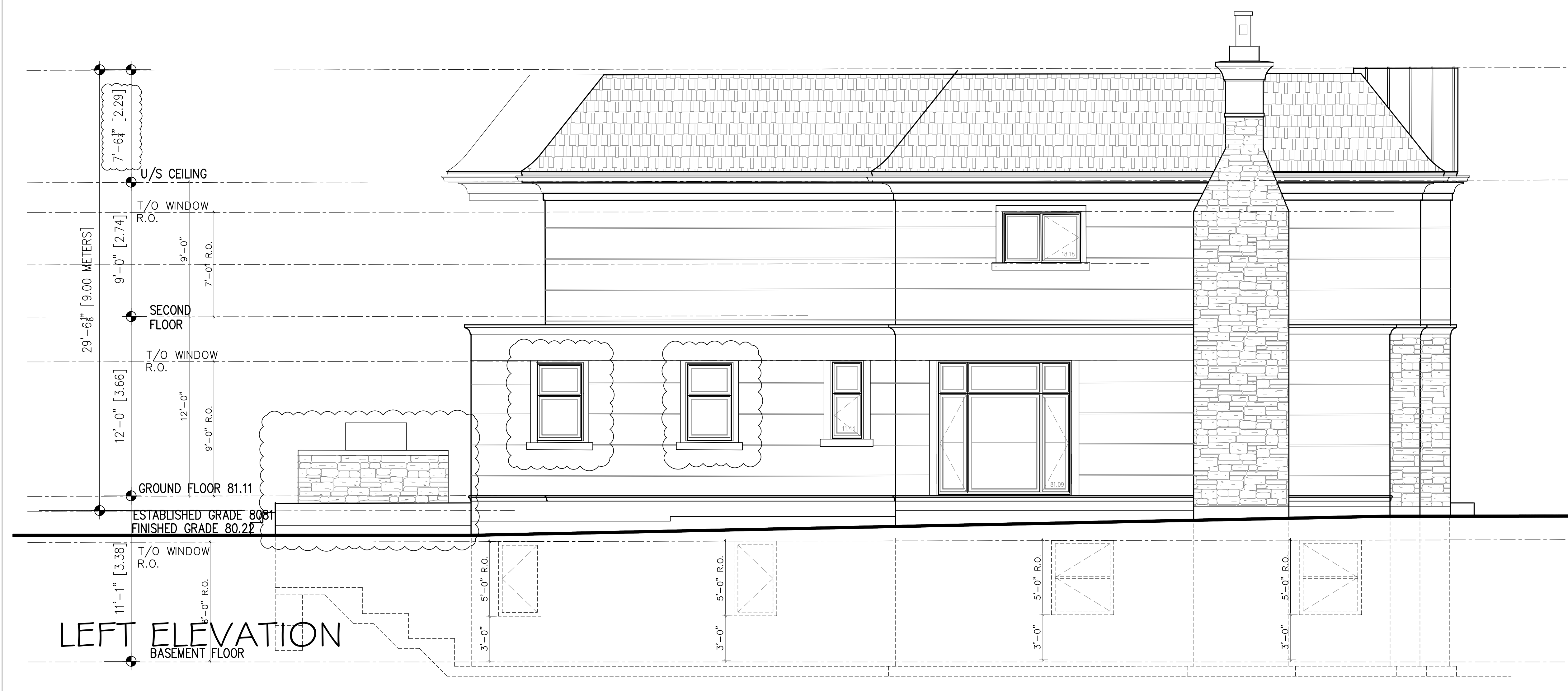
1/4" = 1'-0"

A7





RIGHT ELEVATION



LEFT ELEVATION

C. H. WORLD DESIGN &  
CONSTRUCTION Ltd.

1559 Watersedge Road, Mississauga,  
ON. L5J 1A6. (647) 298-1206

*[Signature]*

DESIGNED BY: Ni Ni

B. C. I. N. #: 41885

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SIGN.	DATE	REVISION	NO.
	17.02.27	REVISED PER CITY'S COMMENTS	1

DRAWING

SIDE ELEVATIONS

PROJECT

DHADWAR  
RESIDENCE

PROJECT

2318 BENNINGTON GATE,  
OAKVILLE,  
ONTARIO  
L6J 6C2

DATE JAN 2022

SHEET

SCALE

1/4" = 1'-0"

A8



PLANT SCHEDULE

TREES		COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
6	BOTANICAL NAME	Pyramidal European Hornbeam	60mm Cal.	W.B.	14.0	5.0	As Shown	
1	Ginkgo biloba	Maidenhair Tree	60mm Cal.	W.B.	15.0	11.0	As Shown	
47	Thuja occidentalis	Eastern White Cedar	180cm Ht.	W.B.	10.0	4.0	As Shown	Native to Ontario
SHRUBS		COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
32	Buxus x 'Green Velvet'	Green Velvet Boxwood	40cm	#3 cont.	0.90	0.80	0.70	
18	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	30cm	#3 cont.	1.1	1.0	0.90	
32	Juniperus sabinia	Savin Juniper	40cm	#3 cont.	1.0	1.25	1.0	
21	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	40cm	#3 cont.	1.0	1.5	1.25	
GRASSES		COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
24	Calamagrostis x acutiflora 'Avalanche'	Avalanche Feather Reed Grass	#1 cont.	1.1	0.50	0.40		
21	Hakonechloa macroa 'All Gold'	Golden Japanese Forest Grass	#1 cont.	0.30	0.40	0.40		
14	Pennisetum alopecuroides 'Hamein'	Hamein Fountain Grass	#1 cont.	0.70	0.50	0.40		
PERENNIALS		COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
41	Hemerocallis x 'Gentle Shepherd'	Gentle Shepherd Daylily	#1 cont.	0.70	0.70	0.40		
32	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1 cont.	0.40	0.50	0.40		
GROUND COVERS		COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
66	Eucyrtus fortunei 'Coloratus'	Purpleleaf Wintercreeper	40cm	#2 cont.	0.30	1.25	0.80	
171	Phlox divaricata	Woodland Phlox	#1 cont.	0.20	0.30	0.20		Native to Ontario

POOL ENCLOSURE:

- Every swimming pool on private property must be enclosed by a fence complying with Pool Enclosure By-law.
- All types doors that form part of the pool enclosure to be equipped with a bolt or chain latch at a minimum 1.2m (4 feet) from the ground on the pool side, inside of the gate.
- All gates that form part of the pool enclosure to be equipped with a self-closing mechanism and a locking device as per the bylaw.
- All framing and bracing, including horizontal structural members must be located on the inside (pool side) of the enclosure.
- If a Town of Oakville owned fence is being utilized to enclose a pool and the fence requires maintenance, the Owner must notify the Town immediately.
- Spaces or gaps from the underside of the pool enclosure to the ground level cannot exceed 50mm (2 inches).
- All works approved under the Pool Enclosure Permit including the pool, hard and soft landscaping, sheds, etc. shall be in conformance with the Town of Oakville's Zoning By-law.
- Pool equipment must be located as per the bylaw.
- All pool water (back wash, seasonal discharge, etc.) to be drained to the street at the front of the property.
- Any works within the Town's right-of-way including material and equipment storage require a permit from the Engineering Construction Department.
- All electrical installations must be inspected by the Electrical Safety Authority.
- All pool heaters and pool heater locations must comply with Union Gas regulations.
- The Owner and the Owner's agents shall not trespass on any publicly or privately owned land, other than on public road allowances and highways, without permission.
- The Owner and the Owner's agents shall not permit the throwing, placing or depositing of refuse or debris on any highway, or public or private property unless authorized.

SITE ALTERATION:

- All erosion and sediment controls are to be installed according to the approved plans prior to the commencement of any other work on the site and shall remain in place for the duration of the works outlined in the Site Alteration Permit.
- All erosion and sediment controls are to be maintained and inspected regularly (and after every storm event) and maintained in proper working order at all times.
- Existing storm sewers adjacent to the works shall be protected at all times. All inlets (rear lot catch basins, road catch basins, pipe inlets, etc.) must be secured/ fitted with siltation control measures.
- Existing drainage patterns to remain, unless otherwise identified on the site plans as part of the works outlined in the Site Alteration Permit.
- If a Town of Oakville owned fence is being utilized to enclose a pool and the fence requires maintenance, the Owner must notify the Town immediately.
- The construction of the pool and associated works shall not interfere with the existing drainage pattern of adjacent properties and/ or lot line drainage swales. Grading alteration within 300mm (1 foot) of the property line is not permitted.
- Finished grade adjacent to any building must be a minimum 150mm (6 inches) below top of foundation and drain away from buildings at a minimum 2% slope (for soft surfaces) or 1% (for paved or hard surfaces).
- Retaining walls (including all tie backs and footings) must be located wholly within the property line and shall be a minimum of 300mm (1 foot) from property line. Retaining walls exceeding 1.2m (4 feet) in exposed height require details reviewed and stamped by a Structural Engineer. Top and bottom elevations are required at the ends of the walls and at all steps in the wall.
- All works approved under this Permit shall be in conformance with the Town's Zoning By-law and any setbacks required by external agencies (e.g. Conservation Authority).
- All downspouts are to be located so they do not adversely affect adjacent properties and do not drain directly onto adjacent properties. All downspouts must drain onto splash pads.
- Mud tracking onto Municipal or regional right-of-ways must be mitigated with siltation measures and cleaned daily should there be any accumulation. In some circumstances accumulations may be removed at the direction of the Town. Failure to comply may result in a stop work order and/ or charges.

PERMITS/ REQUIREMENTS/ GUIDELINES:

- All work to be carried out in accordance with by-laws and codes having jurisdiction over site location. A number of agencies may be consulted in addition to the Town of Oakville, including but not limited to the following:
  - Zoning By-law
  - Pool Enclosure By-law
  - Site Alteration By-law
  - Tree Protection Guidelines
  - Municipal Tree By-law
  - Discharge from Private Swimming Pools By-law
- For all types of pools, hot tubs, spas and ponds, the following may be required:
  - Pool Enclosure Permit
  - Site Alteration Permit
  - Lot Grading Certificate
  - An Arborescens Report
  - Temporary Street Occupation Permit
  - Driveway Permit (new or abandoned driveways)
  - Park Access Permit (for access through Town lands only)
  - Neighbouring Access Consent Agreement (for construction or access)

EXTERNAL AGENCIES:

- All work to be carried out in accordance with by-laws and codes having jurisdiction over site location. A number of agencies may be consulted in addition to the Town of Oakville, including but not limited to the following:
  - Ontario 1 Call (for underground utilities)
  - Conservation Authority (for properties that back onto Lake Ontario, creeks, valley edges, or green open spaces)
  - Horizon Utilities/ Ontario Hydro (access and/ or overhead lines)
  - TransCanada Pipelines (for properties that back onto pipeline corridors)

KEY MAP - N.T.S.



LEGEND

- property line
- existing tree to remain
- proposed deciduous tree
- proposed shrub
- proposed perennial
- existing elevation
- proposed elevation
- min. 150mm topsoil, fine grade & sod
- acid etched concrete
- natural stone unit pavers with banding
- 1.8m height wood privacy fence
- 1.2m height decorative metal fence

DRAFT  
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2021-02-03	Issued for review
2	2021-02-25	Issued for review
3	2021-03-16	Issued for coordination
4	2021-04-14	Issued for submission
5	2021-05-06	Issued for submission
6	2021-09-17	Issued for review
7	2021-10-07	Issued for SPA submission
8	2022-02-25	Issued for SPA submission

STAMP



CLIENT  
C.H. World Design & Construction Ltd.

MUNICIPALITY  
Town of Oakville

PROJECT  
Private Residence  
2318 Bennington Gate

MUNICIPAL FILE NUMBER  
SP. 1703.011/01

SHEET  
Landscape Plan

adesso design inc.  
landscape architecture



218 Locke Street South, 2nd Floor  
Hamilton, ON L8P 4B4  
t. 905.526.8876  
www.adessodesigninc.ca