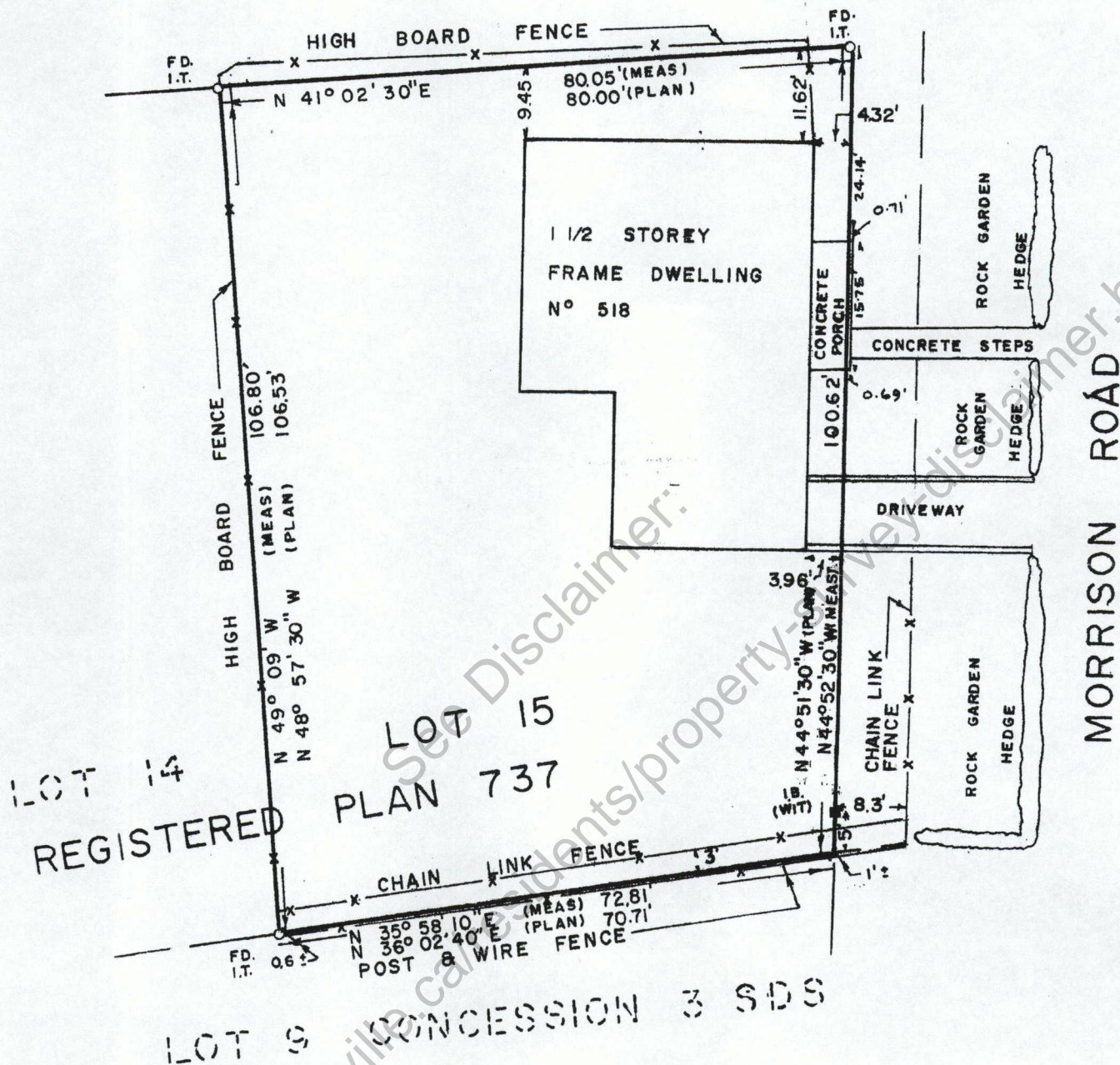


CAUTION

USE OF THIS PLAN SUBSEQUENT TO ORIGINAL ISSUE MAY CONSTITUTE A MISREPRESENTATION OF CURRENT CONDITIONS AND MUST BE UPDATED BY AN ONTARIO LAND SURVEYOR.

Cunningham McConnell Ltd
ONTARIO LAND SURVEYORS

CYNTHIA LANE



REVISED 4 APRIL '68 : PORCH ENCROACHMENT DIMENSIONS ADDED. 80%

NOTES

1. BEARINGS :

BEARINGS ARE ASTRONOMIC, DERIVED FROM :

A- OBSERVATIONS ON _____ AND ARE
REFERRED TO THE MERIDIAN _____

B- THE SOUTH EAST _____ LIMIT OF CYNTHIA LANE AS
SHOWN REGISTERED PLAN 737 _____ ASSUMED TO BE
N 41° 02' 30" E

2. MONUMENTS :

STANDARD IRON BARS (1"X1"X4')	SHOWN THUS	⊕	S.I.B.
IRON BARS (5/8"X5/8"X2')	SHOWN THUS	⊙	I.B.
SUBDIVISION BARS (1/2"X1/2"X2')	SHOWN THUS	⊛	S.B.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE THEREUNDER.

2. THE SURVEY WAS COMPLETED ON THE 20th DAY
OF MARCH, 1968

DATED MARCH 20, 1968 SIGNED *Thomas H. H. McConnell*
PRINT H K McCONNELL
ONTARIO LAND SURVEYOR

TITLE PLAN OF SURVEY OF

HOUSE LOCATION ON
LOT 15
REGISTERED PLAN 737
TOWN OF OAKVILLE
COUNTY OF HALTON

SCALE ONE INCH = 20 FEET

M'CONNELL - JACKSON
ONTARIO LAND SURVEYORS

293 CHURCH STREET
OAKVILLE, ONTARIO
TEL. 845-3497

1885 WILSON AVENUE
WESTON, ONTARIO
TEL. 249-4791

FOR: WEISS & WEISS SOLICITORS

FILE N°

ADDRESS: OAKVILLE

T-2395

FIELD WORK BY: R.M.
SKETCH BY: B.M.

CHECKED BY
80%

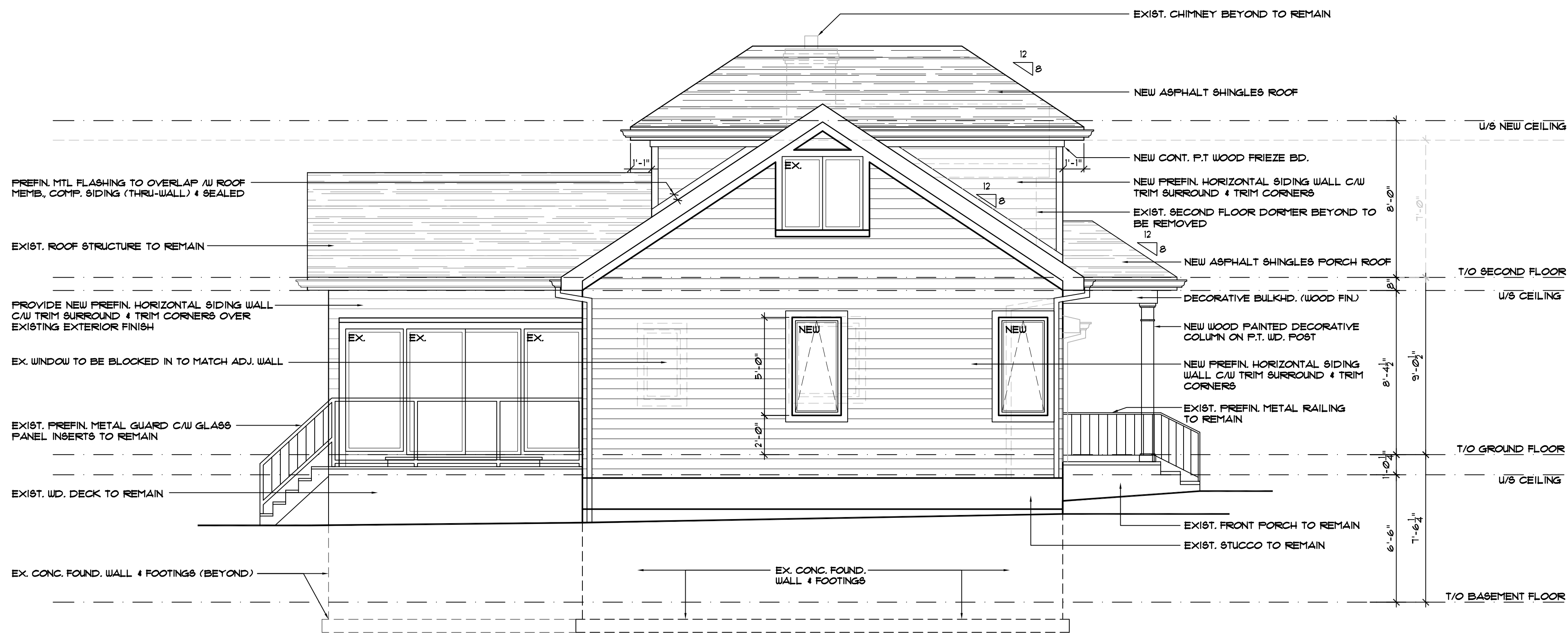
CAV-A 1063/2005

?

1. Flankage Yard to the proposed dwelling (former) proposing 1.21m, required 3.5m Table 6.3.1 Row 4 (Note Variance VV/063/2005 permitted 2.1m Flankage of 1.32m (at that time this yard was considered front, but now, under 2014-014, is considered Flankage)
2. Flankage Yard to the proposed porch roof 0.0m, required Table 6.3.1 Row 4 3.5m, same as the dwelling as per Table 4.3 Row 13 covered porches are subject to the regulations of the parent zone.
3. Contact/Vince regarding an Encroachment Agreement which would cover the existing porch, the porch roof, the parking space on town land, possibly the shed and fence which are full or partially on town land.

?

4. The existing shed height is 2.6m whereas 2.5m is max. required.



1
A6 EAST ELEVATION

- ALL NEW INT. WALLS TO BE 2"x4" @16 o.c. w/ 1/2" GWB B.S. EXCEPT WHERE NOTED

NOTE:
EX.: EXIST. WINDOW TO REMAIN
NEW: NEW WINDOW IN NEW OPENING
EX/NEW: NEW WINDOW IN EXIST. OPENING

LEGEND

	NEW WALL (SEE NOTES)
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED

Revisions

JAN2022	04	ISSUED FOR COTA
OCT2021	03	ISSUED FOR PERMIT
AUG3021	02	ISSUED FOR ZONING REVIEW
AUG3021	01	ISSUED FOR AS-BUILTS

Date	No.	Description
JAN2022		Issued

DBM
DESIGN • BUILD • MANAGEMENT



130 BRIDGELAND AVE., M6A-1Z4, TORONTO, ONTARIO, CANADA
TEL: 416-782-1758 FAX: 416-782-4754

Project
ADDITION & ALTERATION
to
518 Morrison Road
Oakville, Ont.

Project No. Scale
1/4" = 1'-0"

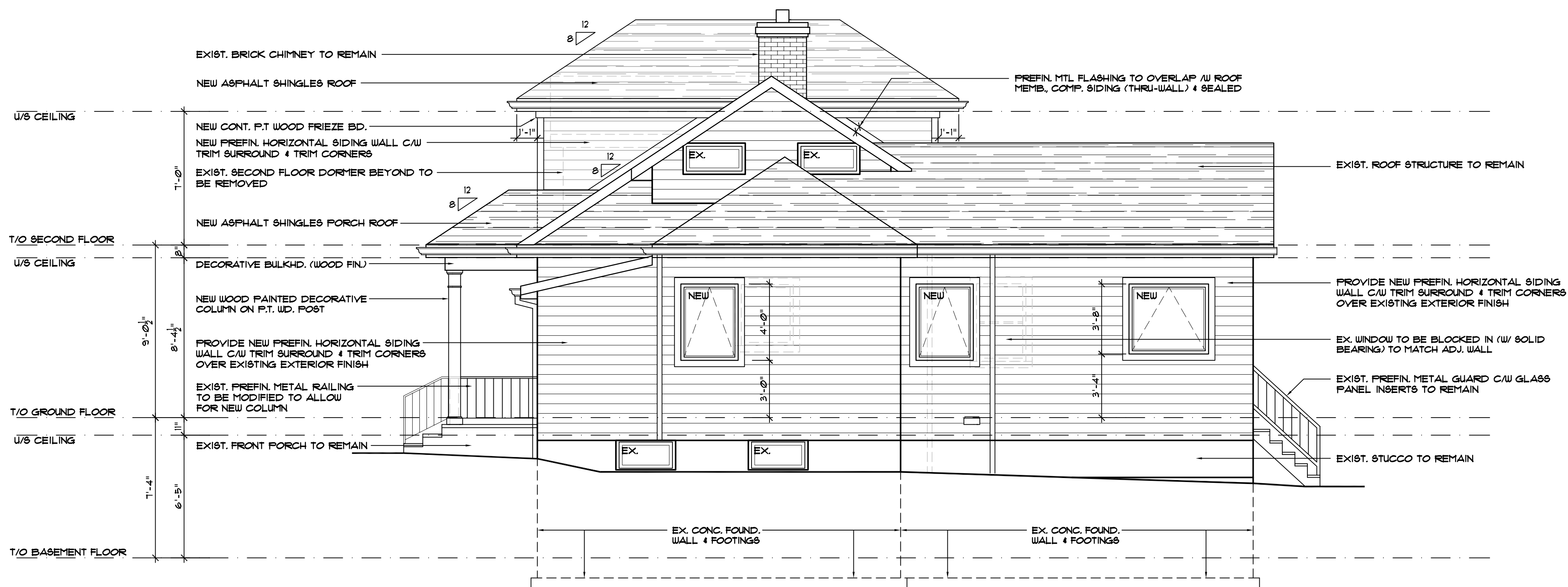
Drawn by Reviewed by
CV el

Title Drawing No.

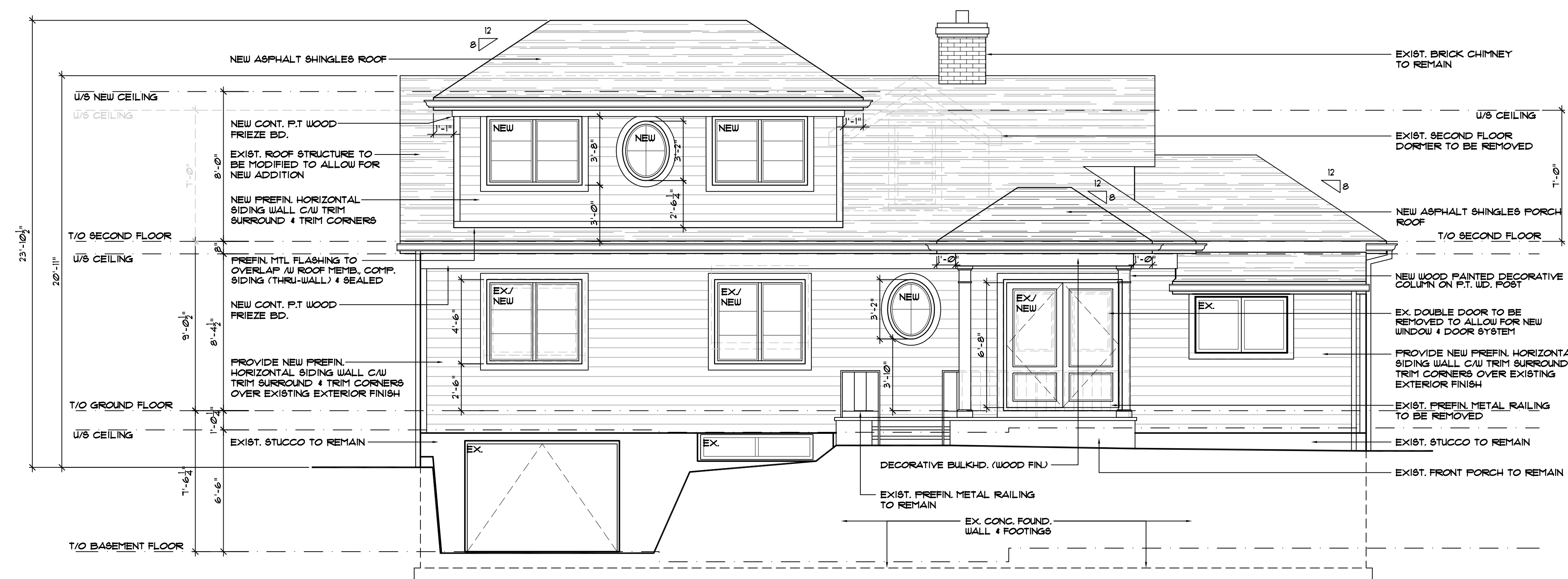
EAST & WEST
ELEVATIONS

A6

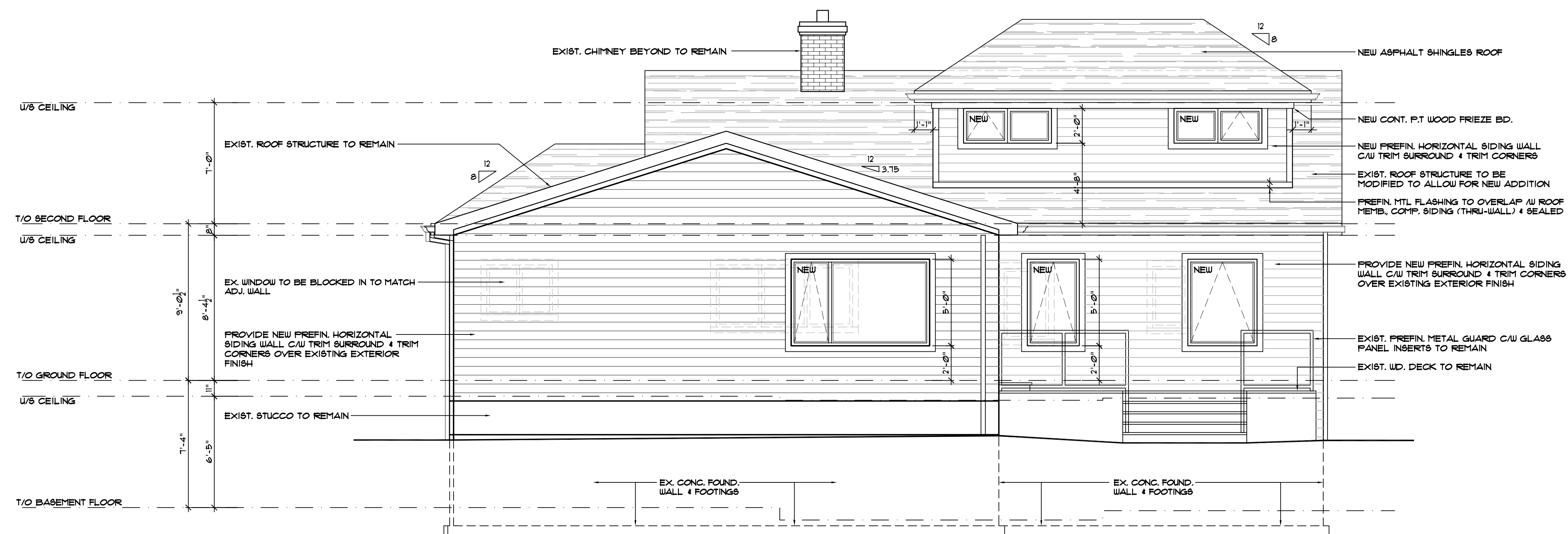
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2
A6 WEST ELEVATION



1 NORTH ELEVATION
A5



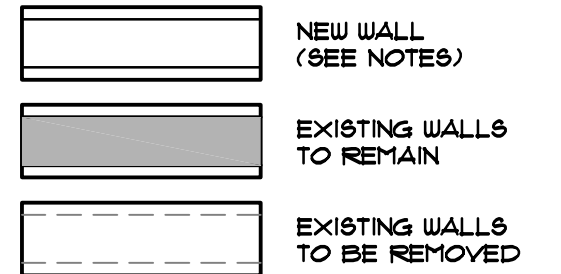
2 SOUTH ELEVATION
A5

- ALL NEW INT. WALLS TO BE 2"x4" @16 o.c. W/ 1/2" GWB B.S.
EXCEPT WHERE NOTED

NOTE:

EX.:	EXIST. WINDOW TO REMAIN
NEW:	NEW WINDOW IN NEW OPENING
EX/NEW:	NEW WINDOW IN EXIST. OPENING

LEGEND

[illegible]

Revisions

JAN.20.22	04	ISSUED FOR CoTA
OCT.22.21	03	ISSUED FOR PERMIT
AUG.30.21	02	ISSUED FOR ZONING REVIEW
AUG.16.21	01	ISSUED FOR AS-BUILT'S

Date	No.	Description
Date		Issued
JAN 20 22		

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DESIGN • BUILD • MANAGEMENT



130 BRIDGELAND AVE., M6A-1Z4, TORONTO, ONTARIO, CANADA
TEL: 416-782-1758 FAX: 416-782-4754

Project
ADDITION & ALTERATION
0
518 Morrison Road
Oakville, Ont.

Project No. _____ Scale $1/4" = 1'-0"$

Drawn by	Reviewed by
CV	el

Title
Drawing No.

NORTH & SOUTH
ELEVATIONS

A5

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