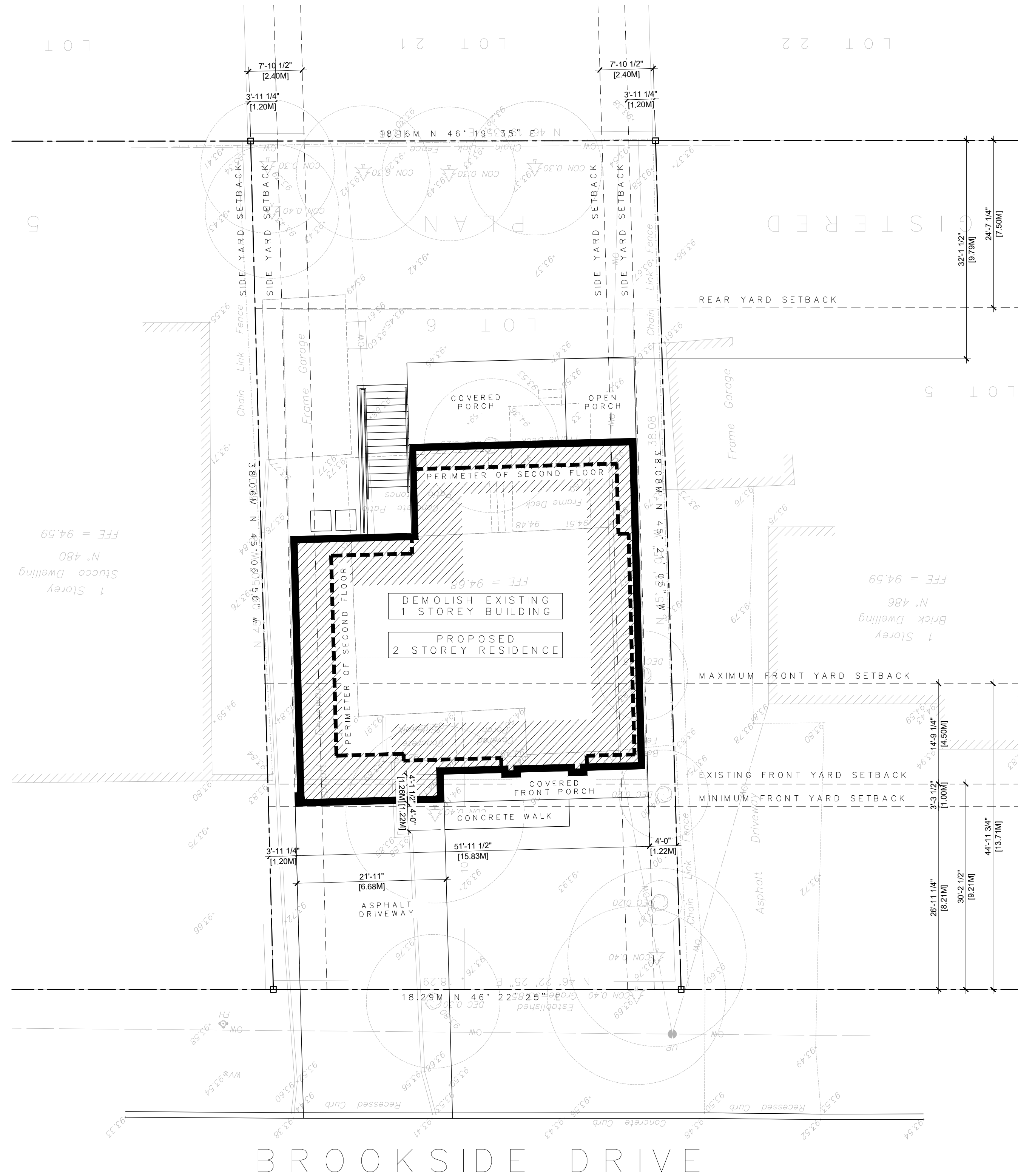
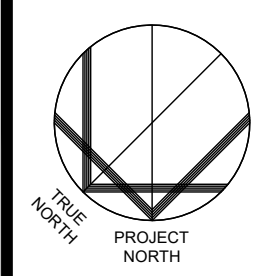




SITE DATA:	
ZONING:	RL3-0
LOT AREA:	693.27 SQM (7462.25 SQFT)
LEGAL SETBACKS:	
EXIST. FRONT YARD SETBACK:	9.21 M
MIN. FRONT YARD SETBACK:	9.21 - 1.0 = 8.21 M
MAX. FRONT YARD SETBACK:	8.21 + 5.50 = 13.71 M
SIDE YARD SETBACKS:	2.40 M 1.20 M
REAR YARD SETBACK:	7.50 M
PROPOSED SETBACKS:	
FRONT YARD SETBACK:	8.21 M
EAST SIDE YARD SETBACK:	1.20 M
WEST SIDE YARD SETBACK:	1.22 M
REAR YARD SETBACK:	9.79 M
LOT COVERAGE:	
MAXIMUM PERMISSIBLE - 35%:	0.35 x 693.27 SQM = 242.64 SQM (2611.79 SQFT)
PROPOSED: 37.3%:	2782.4 SQFT 258.5 SQM
BUILDING FOOTPRINT AREA:	
MAIN HOUSE - PROPOSED:	2352.9 SQFT 218.6 SQM
COVERED FRONT PORCH:	120.0 SQFT 11.1 SQM
COVERED REAR PORCH:	301.2 SQFT 28.0 SQM
TOTAL:	2774.1 SQFT 257.7 SQM
GROSS FLOOR AREA (EXTERIOR FACE):	
MAX. PERMISSIBLE: 41%:	0.41 x 693.27 SQM = 284.24 SQM (3059.52 SQFT)
PROPOSED: 44.5%:	3320.7 SQFT 308.5 SQM
MAIN FLOOR:	
SECOND FLOOR:	1678.3 SQFT 155.9 SQM
TOTAL:	1642.4 SQFT 152.6 SQM
TOTAL:	
3320.7 SQFT 308.5 SQM	
GARAGE AREA:	
MAX. PERMISSIBLE:	45.0 SQM (484.4 SQFT)
PROPOSED:	57.4 SQM 617.9 SQFT
MAXIMUM BUILDING HEIGHT:	
MAX. PERMISSIBLE:	9.0 M
PROPOSED HEIGHT:	9.00 M
MAX. DRIVEWAY WIDTH:	
MAX. PERMISSIBLE:	9.00 M
PROPOSED WIDTH:	6.68 M



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general notes:

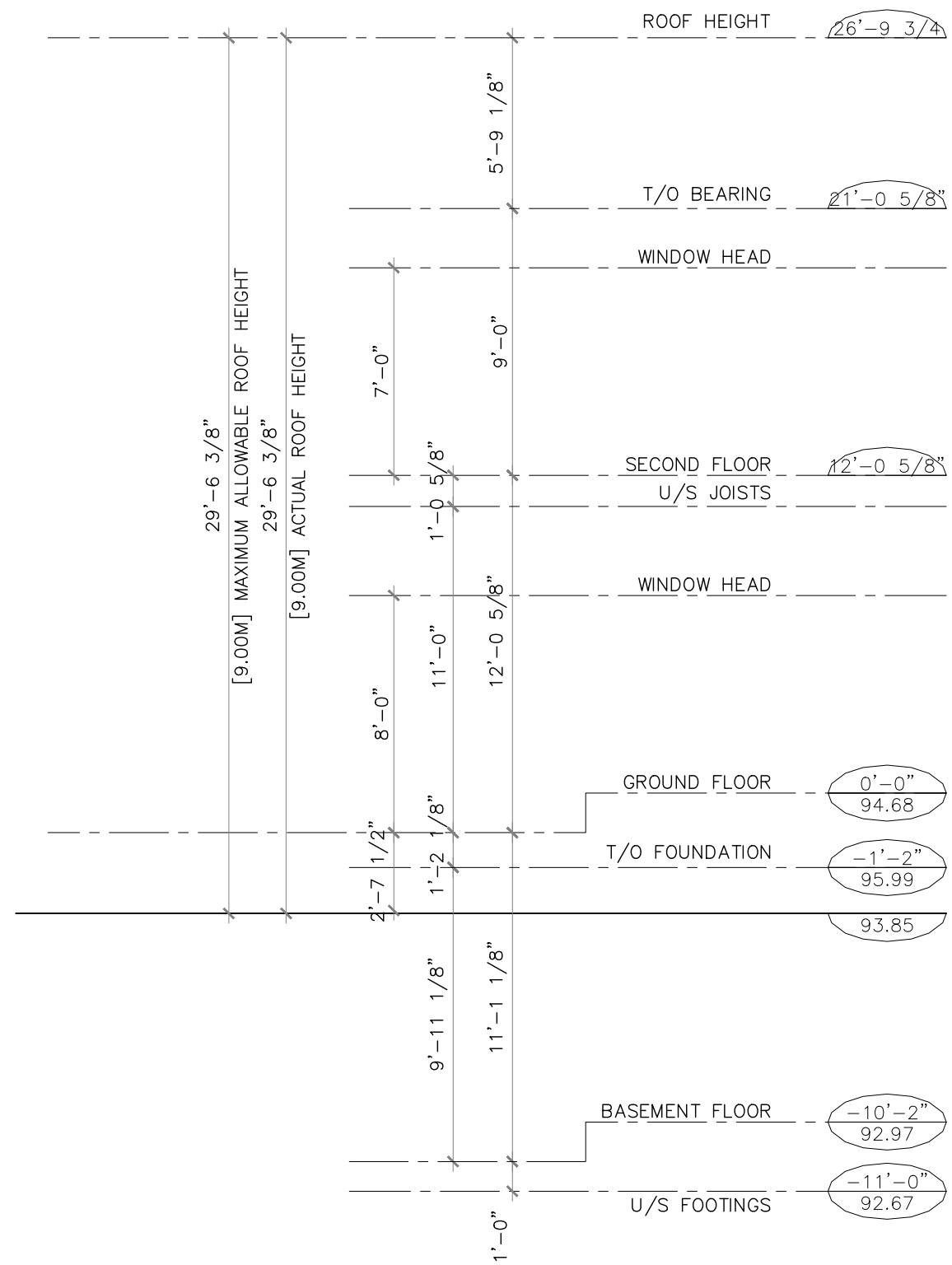
1. ALL DIMENSIONS IN IMPERIAL.
2. VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DRAWINGS.
4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
5. USE THE LATEST REVISED DRAWINGS ONLY.
6. REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS, TO THE OWNER BEFORE PROCEEDING.
7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION, AND INFORM OWNER OF ALL DISCREPANCIES. DO NOT SCALE THESE DRAWINGS.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE AND LOCAL BY-LAWS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND BE AQUAINTED GENERALLY WITH PART 9 OF THE BUILDING CODE

ISSUE				
#	DATE	DESCRIPTION	INITIAL	
1	09/22/21	PRELIMINARY SITE PLAN	TK	
2	12/07/21	SPA REVIEW	TK	
3	01/20/22	REVIEW	TK	
4	01/24/22	REVIEW	TK	
5	02/17/22	SPA	TK	

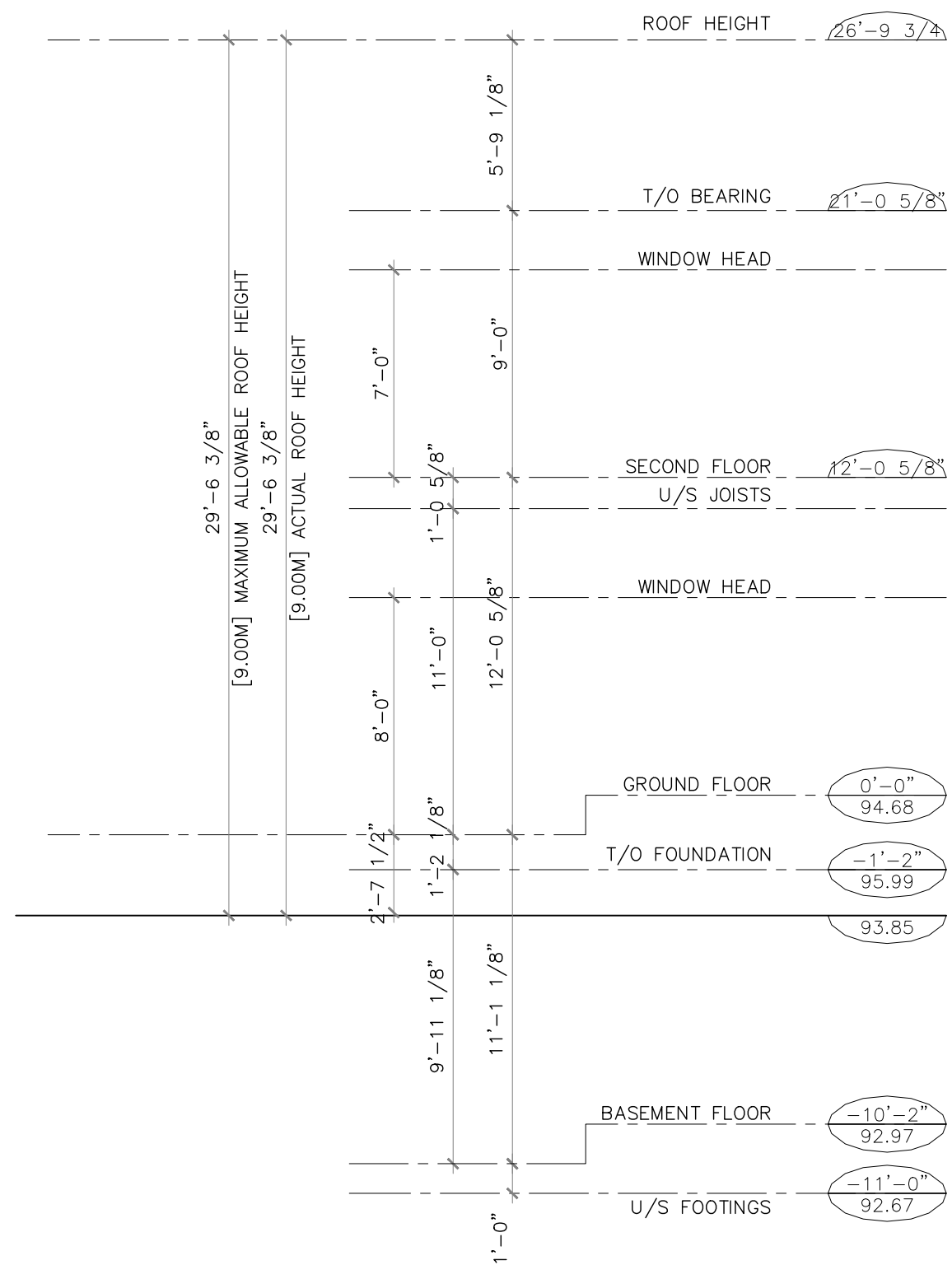
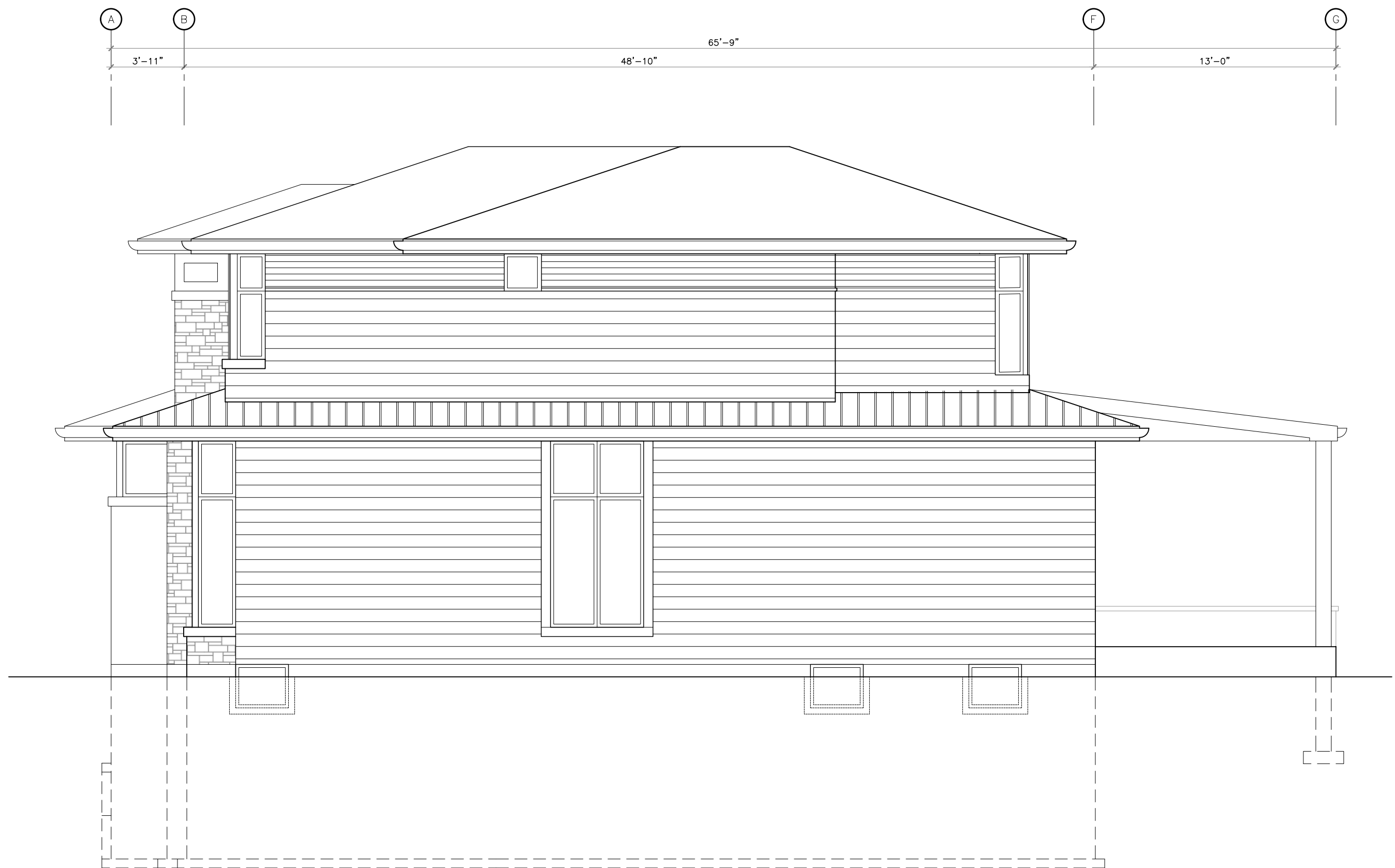


SPA
Issued for:
FEBRUARY 17, 2022
Issue date:
Project No. DRL TK
Drawn by Checked by
482 Brookside Drive
Oakville Ontario
Project
Site Plan
Drawing title

A1.1



1 NORTH ELEVATION
A3.1 3/16" = 1'-0"



LIMITING DISTANCE: 1.33 M
AREA OF EXPOSING BUILDING FACE: 1092.2 SQFT
101.5 SQM
MAXIMUM % OF UNPROTECTED OPENINGS: 7%
ACTUAL UNPROTECTED OPENINGS: 76.3 SQFT
7.1 SQM = 6.9%

1 WEST ELEVATION
A3.1 3/16" = 1'-0"



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OCBA

general notes:

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9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND BE AQUAINTED GENERALLY WITH PART 9 OF THE BUILDING CODE

#	DATE	DESCRIPTION	INITIAL
1	09/22/21	PRELIMINARY SITE PLAN	TK
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Exterior Elevations

A3.1



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general notes:

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9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND BE AWARE THAT GENERALLY WITH PART 9 OF THE BUILDING CODE

#	DATE	DESCRIPTION	INITIAL
1	09/22/21	PRELIMINARY SITE PLAN	TK
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4	01/24/22	REVIEW	TK
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482 Brookside Drive
Oakville Ontario

Exterior Elevations

Drawing title

A3.2

Sheet no.



29'-6 3/8"	MAXIMUM ALLOWABLE ROOF HEIGHT	26'-9 3/8"	ROOF HEIGHT
29'-6 3/8"	ACTUAL ROOF HEIGHT	26'-9 3/8"	ROOF HEIGHT
7'-0"	T/O BEARING	8'-0 5/8"	T/O BEARING
9'-0"	WINDOW HEAD	8'-0 5/8"	WINDOW HEAD
1'-0 5/8"	SECOND FLOOR U/S JOISTS	12'-0 5/8"	SECOND FLOOR U/S JOISTS
1'-0 5/8"	WINDOW HEAD	12'-0 5/8"	WINDOW HEAD
8'-0"	GROUND FLOOR	0'-0"	GROUND FLOOR
1'-2 1/2"	T/O FOUNDATION	-1'-2"	T/O FOUNDATION
2'-7 1/2"	ESTABLISHED GRADE	93.85	ESTABLISHED GRADE
9'-11 1/8"	BASEMENT FLOOR	-10'-2"	BASEMENT FLOOR
11'-1 1/8"	U/S FOOTINGS	-11'-0"	U/S FOOTINGS
1'-0"		92.67	

1 SOUTH ELEVATION
3/16" = 1'-0"



29'-6 3/8"	MAXIMUM ALLOWABLE ROOF HEIGHT	26'-9 3/8"	ROOF HEIGHT
29'-6 3/8"	ACTUAL ROOF HEIGHT	26'-9 3/8"	ROOF HEIGHT
7'-0"	T/O BEARING	8'-0 5/8"	T/O BEARING
9'-0"	WINDOW HEAD	8'-0 5/8"	WINDOW HEAD
1'-0 5/8"	SECOND FLOOR U/S JOISTS	12'-0 5/8"	SECOND FLOOR U/S JOISTS
1'-0 5/8"	WINDOW HEAD	12'-0 5/8"	WINDOW HEAD
8'-0"	GROUND FLOOR	0'-0"	GROUND FLOOR
1'-2 1/2"	T/O FOUNDATION	-1'-2"	T/O FOUNDATION
2'-7 1/2"	ESTABLISHED GRADE	93.85	ESTABLISHED GRADE
9'-11 1/8"	BASEMENT FLOOR	-10'-2"	BASEMENT FLOOR
11'-1 1/8"	U/S FOOTINGS	-11'-0"	U/S FOOTINGS
1'-0"		92.67	

LIMITING DISTANCE: 1.20 M
AREA OF EXPOSING BUILDING FACE: 1101.4 SQFT
102.3 SQM
MAXIMUM % OF UNPROTECTED OPENINGS: 7%
ACTUAL UNPROTECTED OPENINGS: 65.9 SQFT
6.1 SQM = 6%

2 EAST ELEVATION
3/16" = 1'-0"