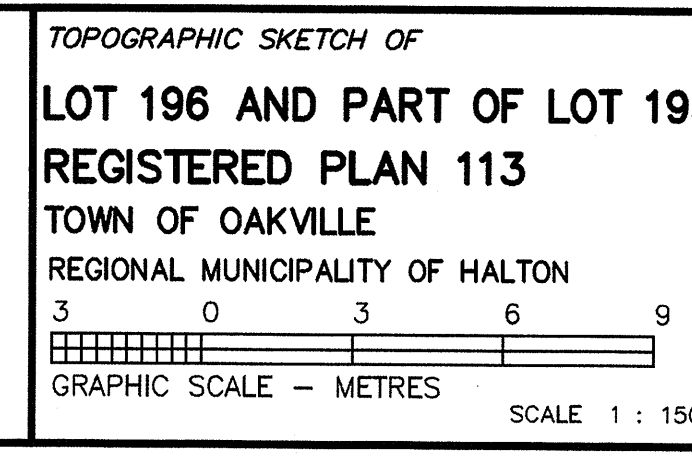


DESIGN LEGEND	
	DENOTES PROPOSED GRADE
	DENOTES EXISTING GRADE
	DENOTES DOOR ENTRANCE
	DENOTES DRAINAGE DIRECTION
	DENOTES PROPOSED WATER METER
	DENOTES PROPOSED SUMP PIT
	DENOTES PROPOSED TREE HOARDING
	DENOTES TREE TO BE REMOVED
	DENOTES DOWNSPOUT C/W SPLASHPAD



**BOUNDARY NOTE**  
ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.

**ELEVATION NOTE**  
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK N° 153 HAVING AN ELEVATION OF 96.479m (CGVD-1928).

**TREE NOTE**  
ONLY TREES OF A DIAMETER GREATER THAN 0.15 m WERE LOCATED FOR THIS PLAN.

**METRIC NOTE**  
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

LEGEND	
	DENOTES ANCHOR WIRE(S)
	DENOTES BELL BOX
	DENOTES U/G BELL CABLE
	DENOTES CONSPICUOUS TREE 0.20 DIA
	DENOTES DECIDUOUS TREE 0.20 DIA
	DENOTES FIRE HYDRANT
	DENOTES GAS METER
	DENOTES GAS VALVE
	DENOTES U/G GAS MAIN
	DENOTES U/G HYDRO CABLE
	DENOTES LIGHT STANDARD (LAMP)
	DENOTES MANHOLE
	DENOTES STORM SEWER
	DENOTES UTILITY POLE/LIGHT STANDARD
	DENOTES WATER VALVE (KEY)
	DENOTES U/G WATER MAIN

**UNDERGROUND SERVICES NOTE**  
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.  
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

**SURVEYOR'S NOTE**  
1. THIS PLAN WAS PREPARED FOR DESIGN PURPOSES ONLY AND IS NOT SUITABLE FOR ANY LEGAL TRANSACTIONS.  
2. THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS COMPLETED ON MAY 7, 2020.

DATE: MAY 20, 2020

**CUNNINGHAM McCONNELL LIMITED**  
ONTARIO LAND SURVEYORS  
1200 SPEERS ROAD, UNIT 38  
OAKVILLE, ONTARIO L6L 2K4  
PHONE (905) 845-3497  
FAX (905) 845-3519  
E-mail: info@cunningham-mcconnell.com

205 MAIN STREET  
MILTON, ONTARIO L7T 1N7  
PHONE (905) 878-7810  
FAX (905) 878-8672

CLIENT: GILBAH REAL ESTATE DEV.  
O.L.S. FILE N° 22-20

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KEY PLAN  
(Not to Scale)

(Professional Seal)

### STANDARD DEVELOPMENT NOTES

**(A) ENGINEERING AND CONSTRUCTION DEPARTMENT**

- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

**(B) GENERAL NOTES**

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS NO EASEMENT REGISTERED ON TITLE AFFECTING THE SUBJECT LANDS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE SIDE OF THE PROPOSED DWELLING ON PROPOSED DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESGUTTERS TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGIONAL STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N°1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0%.
- WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RET. WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAINED.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 1.5 m FROM THEMSELVES AND OTHER UTILITIES AND 2.5m MINIMUM FROM ALL SEWERS.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

**(C) UTILITIES CONNECTION**

- SANITARY:**  
(A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.  
(B) EXISTING CONNECTION TO BE RE-USED.  
(C) BASEMENT FACILITIES MAY REQUIRE A SEWAGE EJECTOR PUMP.
- STORM:**  
(A) MUNICIPAL STORM SEWER AVAILABLE ON THE SITE.  
(B) PROPOSED CONNECTION TO BE INSTALLED SUBJECT TO TOWN APPROVAL.  
(C) PROPOSED FLOOR DRAINS TO CONNECT TO EXISTING STORM MAIN.
- WATER:**  
(A) SERVICE CONNECTIONS TO BE 32 mm TYPE 'K' SOFT COPPER TUBING ON PRIVATE-SIDE AS PER TOWN OF OAKVILLE REQUIREMENTS.  
(B) SERVICE CONNECTIONS TO BE 25 mm TYPE 'K' SOFT COPPER TUBING ON PUBLIC-SIDE AS PER REGION OF HALTON REQUIREMENTS.

**SITE STATISTICS – ZONE RL3-0, SP:10 ZONING BY-LAW 2014-014**

- LOT AREA = 789.8 m<sup>2</sup> (557.5 m<sup>2</sup> Minimum).
- LOT FRONTAGE = 15.99 m @ 7.5m Setback (18.0 m Minimum)
- AREAS FOR COVERAGE:  
(A) MAIN DWELLING = 149.86 m<sup>2</sup>;  
(B) GARAGE = 45.81 m<sup>2</sup>;  
(C) TOTAL = 195.67 m<sup>2</sup>.
- LOT COVERAGE = 24.72% (19.0% Maximum).
- ESTABLISHED GRADE = 96.37 m.
- BUILDING HEIGHTS:  
- ROOF PEAK = 10.74 m (9.00 m Maximum);
- SETBACKS:  
- FRONT = 6.37 (5.37 m Min.-10.87 m Max.);  
- REAR = 18.23 m (Garage) (0.6 m Minimum);  
- SIDES = 1.02 m AND 4.22 m;  
(2.40 m & 1.20 m Minimum);
- RESIDENTIAL FLOOR AREA = 296.42 m<sup>2</sup>
- RFA/LOT RATIO = 37.54% (40% Maximum).

**REGION OF HALTON CERTIFICATE**

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES  
APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.

IGNED: \_\_\_\_\_ DATED: \_\_\_\_\_  
INFRASTRUCTURE PLANNING & POLICY

The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Water and Wastewater Linear Design Manual may be obtained thru Data Management Group at 905-825-6032).

Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

**N° 340 WATSON AVENUE, OAKVILLE**

**SITE PLAN**

**SITE GRADING AND SERVICING PLAN**

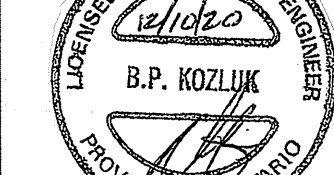
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REGIONAL DRAWING N° \_\_\_\_\_ PLAN 22-20-1



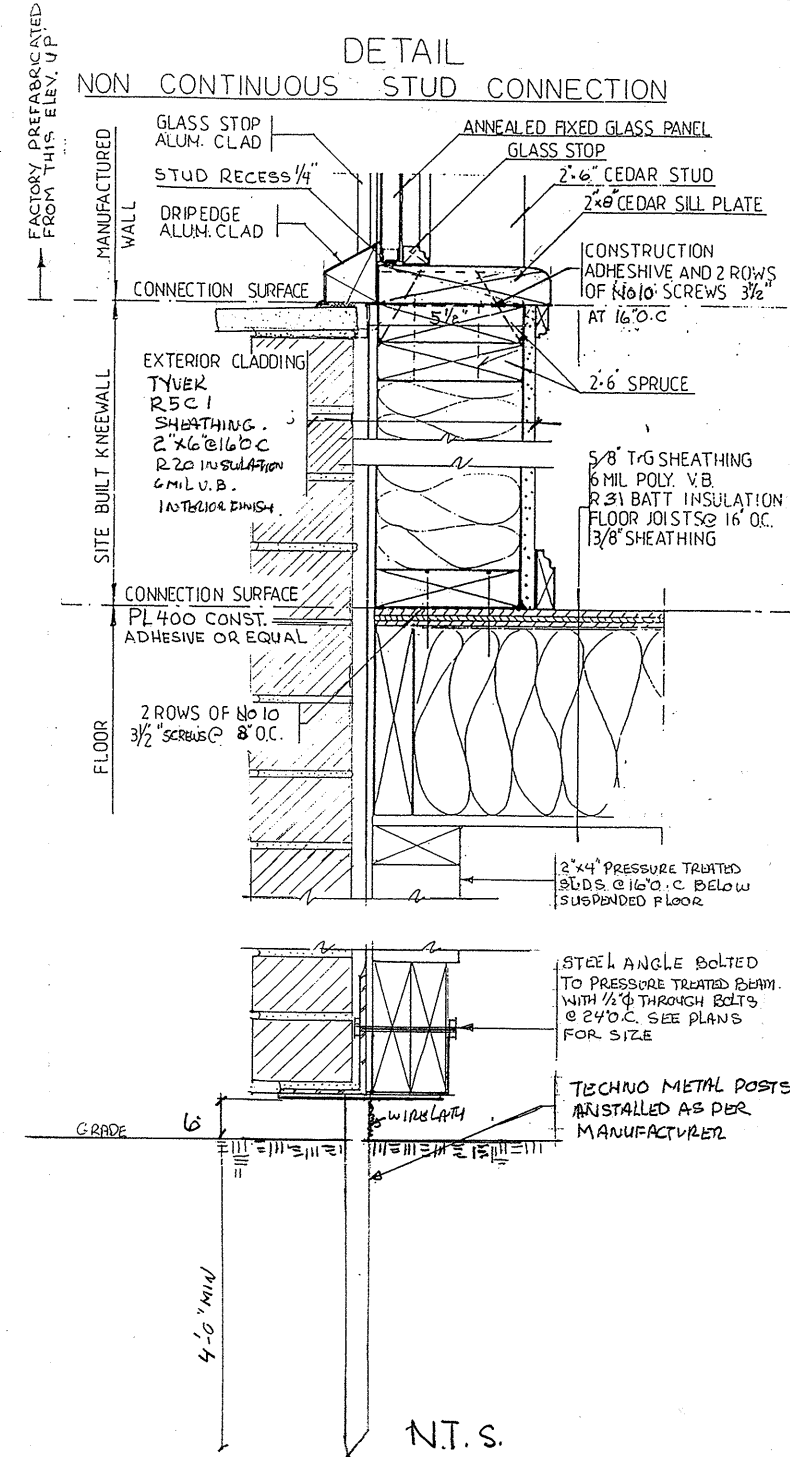


EBF =  $96.2 \text{ m}^2$   
 L.D. =  $3.80 \text{ m}$  Allowable U.P.O =  $17\% = 16.36 \text{ m}^2$   
 PROPOSED U.P.O =  $10.70 \text{ m}^2$

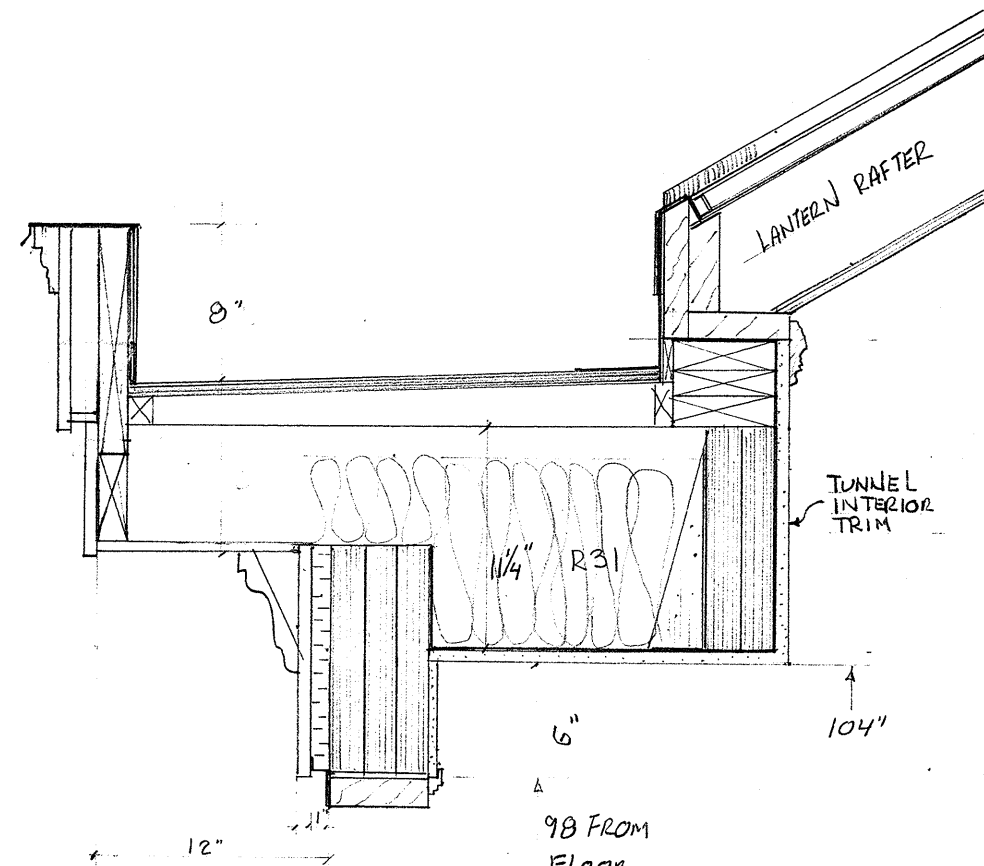
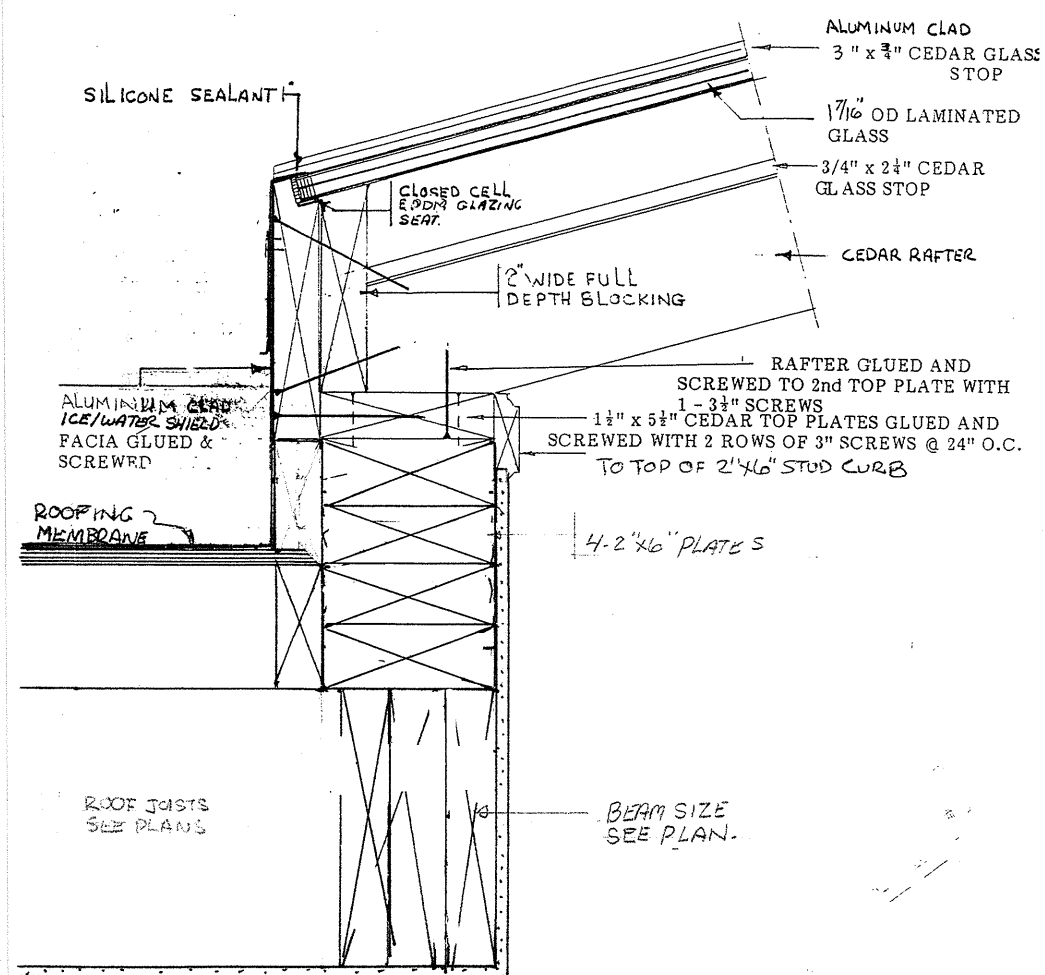


 <p>12/020</p> <p>B.P. KOZLUK</p> <p>PROVINCE OF ONTARIO</p>	<p>THE INFORMATION HEREIN IS APPROVED AND IS RELEASED FOR FABRICATION</p> <p>DATED THIS _____ DAY OF _____ 20____</p> <p>PER: _____</p>																		
<p>Revisions</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">No.</th> <th style="width: 40%;">Date</th> <th style="width: 50%;">By</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	By																<p>— DESIGN PROPERTY OF: —</p> <div style="text-align: center; border: 2px solid black; padding: 10px; margin: 10px 0;"> <p><b>PERMA-WOOD</b></p> </div> <p style="text-align: center;">SOLARIUMS</p> <p style="text-align: center;">170 Esna Park Drive, Unit #17 Markham, Ontario L3R 1E3 Phone: (905) 475-5466 / (416) 491-1275 Fax: (905) 475-7711</p>
No.	Date	By																	
<p>Prepared For: <u>ANNETTE GILGAN</u></p> <p style="text-align: center; font-size: 1.2em;"><u>340 WATSON AVE. OAKVILLE L6J 3V6</u></p>																			
<p>Res.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">Drawings No. 97720G</td> <td style="width: 33%;">A-3</td> <td style="width: 33%;"> </td> </tr> </table>	Drawings No. 97720G	A-3		<p>Bus.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">Drawing By J. Y. K</td> <td style="width: 33%;">Scale AS NOTED</td> <td style="width: 33%;">Date  </td> </tr> </table>	Drawing By J. Y. K	Scale AS NOTED	Date 												
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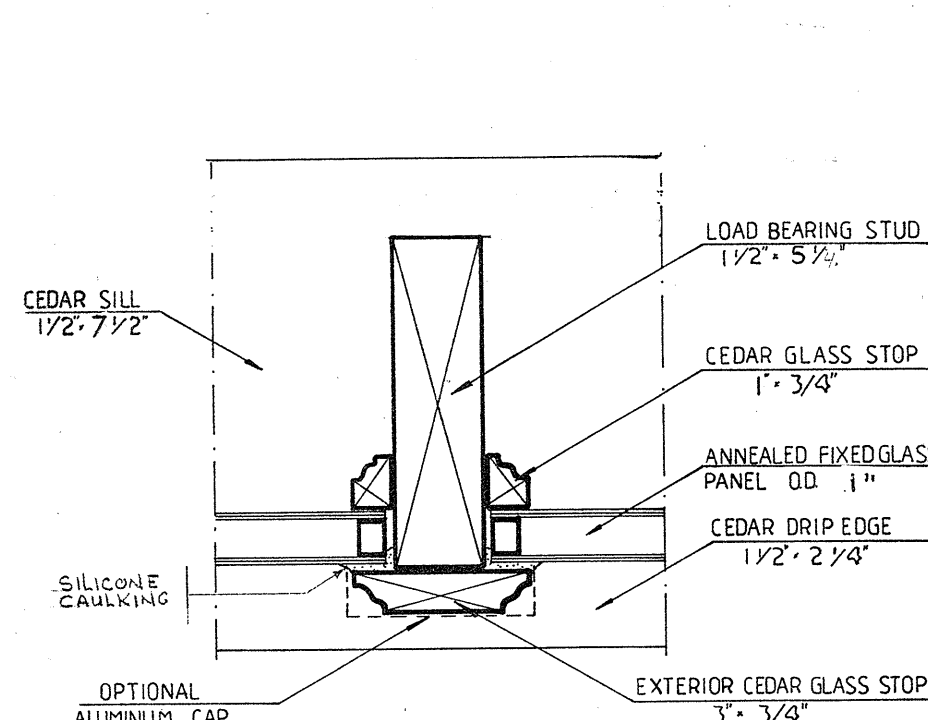




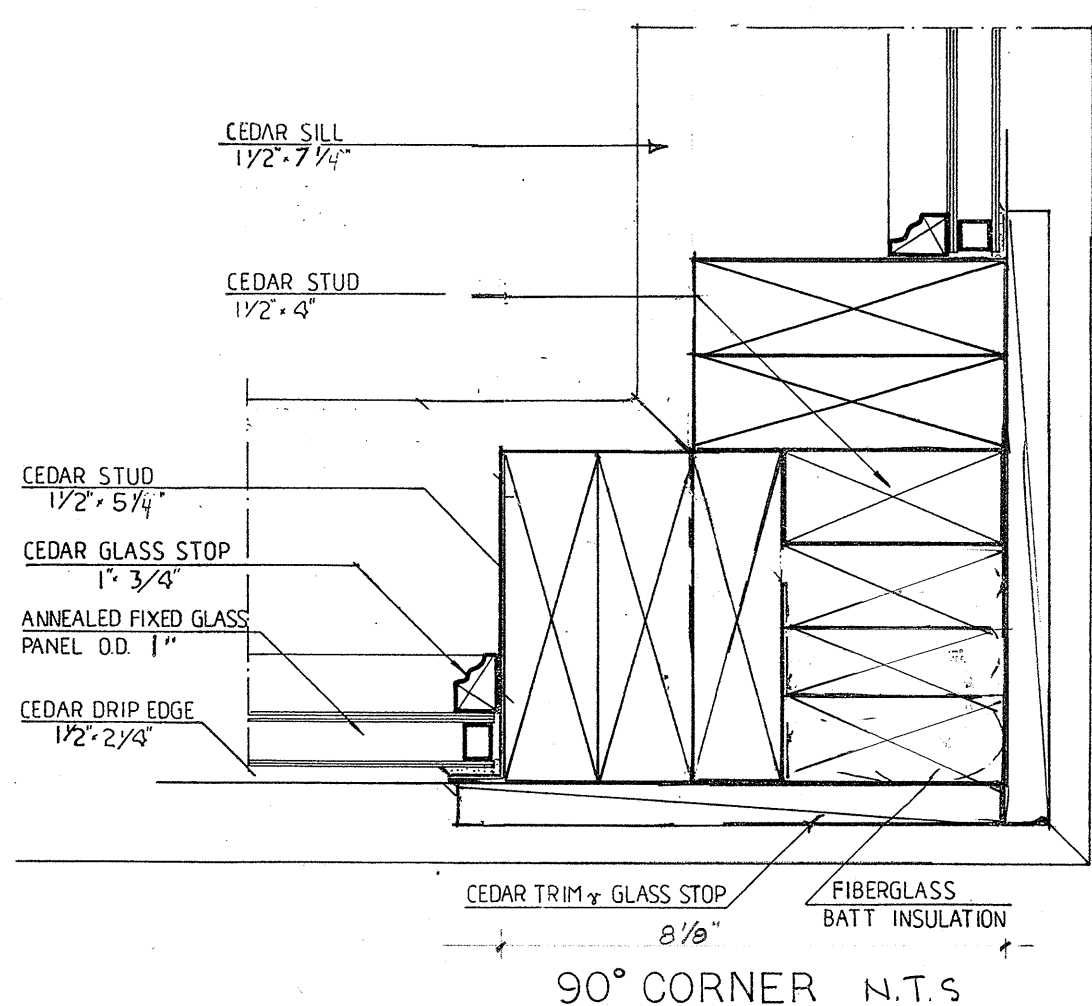
SKYLIGHT CURB DETAIL N.T.S.



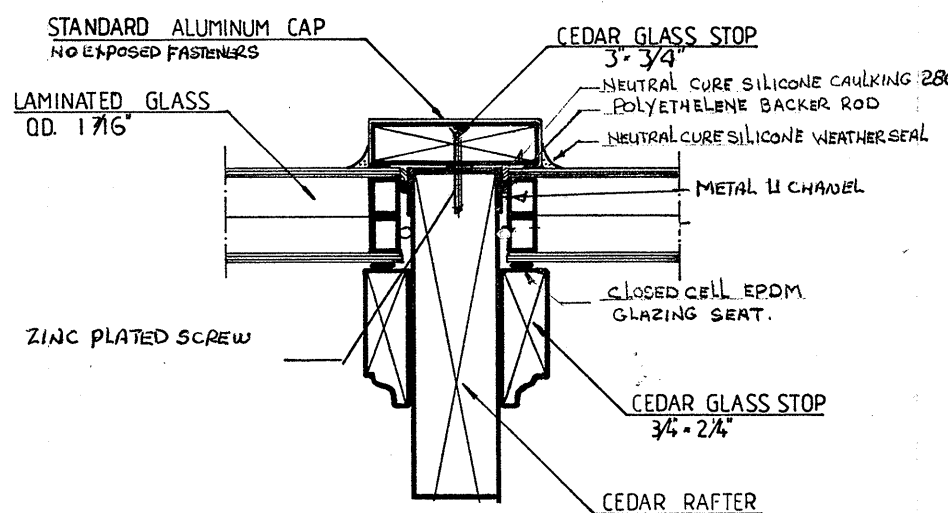
SOFFIT DETAIL



LOAD BEARING STUD N.T.S.



RAFTER N.T.S.



# PERMA-WOOD™ STANDARD SPECIFICATIONS

- GLASS ROOF SKYLIGHT**  
Ext. Finish = Alum  
1/2" x 3" Cedar Roof Stops.  
1-7/16" o.c.  
units 6mm annealed o/s, 6mm laminated i/s  
2" x 8" cedar select Rafters @ 16" o.c.  
2" x 2 1/2" glass stops.
- GLASS WALL**  
Ext. Finish = Alum  
1/2" x 3" exterior glass stops 1" o/c annealed units  
Glass Type 2" x 8" cedar load bearing studs @ 16" o.c.  
2" x 12" cedar stops. 2-2" x 6" cedar top plates.  
1/2" x 2 1/2" cedar sill with drip edge.
- KNEEWALL High/SOLIDWALL**  
Ext. Finish = Alum  
Air barrier, 7/16" exterior sheathing 1" RIGID R5 C1  
2" x 6" SPF No. 2 @ 16" o/c R Batt insulation  
Rigid Poly ISO R 6mil Poly V.B.  
Int. Finish = Alum
- FLOOR**  
5/8" T & G Plywood, 6mm Poly V.B. on warm side.  
R 40 Batt insulation; Rigid Poly ISO R 6mil Poly V.B.  
2" x 12" SPF joists @ 16" o.c.  
3/8" waferboard sheathing on underside.
- PIER FOUNDATION**  
2-2" x 10" built up wood beams with metal anchor in T.M.P.  
Max. 4ft. below grade @ 4'-0" o.c.
- Cathedral Ceiling**  
210 lb. Asphalt shingles, eaves protection, 7/16" sheathing, 2"x2" @ 16" o.c. 90° to framing, 2"x 12" rafters @ 16" o.c., R Batt insulation, Rigid Poly ISO R 6mil Poly V.B. on warm side.  
Int. Finish = Alum
- FLAT ROOF**  
EPDM  
Perimeter flashing min. slope 1:50, 5/8" T&G plywood sheathing, 2"x2" @ 16" o.c. 90° to framing, 2" x 12" Rafters @ 16" o.c., R Batt insulation, Rigid Poly ISO R 6mil Poly V.B. on warm side.  
Int. Finish = Alum
- SLOPED ROOF**  
210 LB. Asphalt shingles, eaves protection, 3/8" sheathing, 2" x 4" @ 16" o.c., rafters max. span 9'-3" 2" x 6" @ 16" o.c. rafters max. span 14'-7", new attic space vented to existing attic.
- CONCRETE SLAB FLOOR**  
5" concrete floor slab 6" x 8", 6/6 wire mesh, 6mm Poly V.B. on warm side. 2" R10 rigid insulation, 5" crushed stone.
- BLOCK FOUNDATION WALL**  
Damp-proofing, parging on concrete block, insulation.
- FOOTING FOR EXTERIOR WALL**  
8" x 20" concrete footing, 2200 psi set on undisturbed soil @ maximum 4ft. below grade. Assumed bearing capacity of 3000 p.s.f.
- WEEPING TILE**  
4" diameter plastic weeping tile laid in crushed rock, minimum 6" cover, connected to existing if possible.
- BRICK VENEER WALL/KNEEWALL**  
4" face brick, 1" airspace, galv. metal ties 16" hor, 24" V.B. R5 RIGID C1, 7/16" sheathing, 2" x 6" studs @ 16" o.c. R20 Batt insulation, rigid Poly ISO R 6mil V.B. Int. Finish = Alum
- ALL STAIRS**  
Max. Rise 7-7/8", Min. Rise 5"  
Min. Tread 8 1/2", Max. Tread 15"  
Guards 42" high where distance from grade to deck exceeds 5'-11", guards 35" for lesser heights. Maximum 4" between vertical pickets.
- FOUNDATION WALLS**  
Max. vert. rise of 23-5/8" for firm soil, 15 1/2" for sand/gravel; min. horizontal distance 23-5/8" between risers.
- STEEL LINTEL BRICK VENEER**  
L1-3/4" x 3 1/2" x 1/2" (8'-0" max)  
L2-4" x 3 1/2" x 1/2" (8'-0" max)  
L3-5" x 3 1/2" x 1/2" (10'-0" max)  
L4-5" x 3 1/2" x 3/8" (11'-5" max)

# CONSTRUCTION NOTES

- ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.
- ALL LUMBER SHALL BE SPRUCE NO. 2 GRADE UNLESS OTHERWISE NOTED.
- STUDS SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.
- LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS OTHERWISE NOTED.
- LAMINATED VENEER LUMBER (L.V.L.) BEAMS, ORIED TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED BY TRUSS MANUFACTURER.
- L.V.L. BEAMS SHALL BE 2.0E SP MICRO-LAM L.V.L. OR EQUIVALENT NAIL EACH PLY OF L.V.L. WITH 58mm (2 1/4") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184mm, 235mm & 298mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED 3 ROWS FOR GREATER DEPTHS.
- JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILD-UP WOOD MEMBERS. INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

- STRUCTURAL STEEL SHALL CONFORM TO CAN S-340-21 GRADE 300W HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN S-340-12 GRADE 350W CLASS "H"
- REINFORCING STEEL SHALL CONFORM TO CSA-C30.1 Fy=60ksi

# NOTES:

- THINGS TO DO
- FIRE PLACE MODEL, TYPE & SIZE
- EXISTING KITCHEN WINDOW DRIVEWAY REMAINS AS IS
- FINISHED FLOORING: ENG. WOOD THICKNESS
- INTERIOR PAINT COLOUR: DRYWALL, V.S. WINDOWS V.S.
- KITCHEN PLAN: PLANNED BY D. KELLY
- POWDER ROOM PLAN: PLANNED BY T. KELLY
- FIREPLACE MANTLE V.S. BUILT IN DESIGN: ANDREW
- ELECTRICAL: KITCHEN PLAN: AWAIT. KITCHEN PLAN
- ROOF: ROOF CLASS SAMPLE
- PAINT: 4 PANEL DOOR HARDWARE COLOUR: T.B.C.
- FIRE PLACE BOX TREATMENT
- SOURCE MATCHING BRICK VENEER: SAMPLE REQUIRED
- LANDSCAPE DESIGN: PLAN TO FOLLOW: R. H. TO CALL: MAT
- QUOTE TO CHANGE WHOLE HOUSE TO 6" CENTRAL AIR CONDITIONING: EAVES
- FINAL STYLE: PROVIDE: BALL SPIRE SAMPLE
- H.V.A.C. CALC. (HYDRAUNICS) (2) ALUM. (2) RADS
- SOFFIT DETAIL: CROWN MOULDING: FINALIZED
- CASEMENT HARDWARE: WHITE V.S.?
- NEW: GLASS ALG. & CEILING MOUNTED: KITCHEN
- UNIT: BRACKET V.S. DECK V.S. FRONT YARD: T.B.C.
- V.S. BASEMENT AIR HANDLER: & AC
- ROOF: DETAIL MOULDING: FINALIZED

- P.W. TO RELOCATE: ROSE B.B., G.F.I. CENTRAL VAC. OUTLET AND BOILER EXHAUST
- HOT WATER RADIANT FLOOR HEATING
- MATCH EXISTING BASEBOARD TRIM

- PAINTING BY: P.W. COLOUR: T.B.C.
- FRAME (INT): (EXT): ALUM. CLAD/LESS FASCIA
- DRYWALL (WALL): CEILING:
- HEATING BY: P.W. DRYWALL BY: P.W.
- ELECT BY: P.W.

# DOORS

- 1-4 PANEL SLIDING DOOR: CLW S.D.L. SHOWN
- EXT. CENTRAL WICKER (INT. (PAINTED))
- MULTI-POINT LOCK: HARDWARE (COLOUR)
- CLW S.D.L. CONFIRM PATTERN (T.B.C.)
- DOUBLE PHANTOM SCREEN: COLOUR: T.B.C.

# OPERATING WINDOWS

- 4-CASEMENTS
- EXT. CENTRAL WICKER (INT. (PAINTED))
- MULTI-POINT LOCK: WHITE HARDWARE: T.B.C.
- SCREEN: WHITE: T.B.C.

# ALUMINUM COLOURS

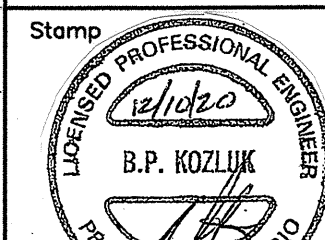
- FLASHING: CENTRAL BROWNSTONE FASCIA: CENTRAL BROWNSTONE
- EAVES: N/A PAINTED SOFFIT: CENTRAL BROWNSTONE

# SOLARIUM FINISHES

- EXT. ROOF: LANTERN A/C CENTRAL BROWNSTONE
- INT. ROOF: PAINTED BY P.W. COLOUR:
- EXT. WALL: ALUM. CLAD G-ENTER WICKER
- INT. WALL: PRIMER & PAINTED COLOUR
- TRIM PROFILE: ROMAN OGEE
- DOOR GLASS: TO MATCH WALLS
- ROOF GLASS: LANTERNS: CLEAR V.S. TINT LOWE 3/6 ALGON TUPPLE GLAZED (SAMPLE)
- WALL GLASS: CLEAR LOWE 3/6 KRYPTON GAS

# SITE STATISTICS

LEGAL DESCRIPTION	LOT 196 AND PART OF LOT 195 REGISTERED PLAN H3 TOWN OF OAKVILLE		
ZONED	RL3-0 SP:10	ZONING BY LAW 2014-014	
REQUIREMENT	PERMITTED	EXISTING	PROPOSED
LOT AREA	557.2 m <sup>2</sup>	789.8 m <sup>2</sup>	NO CHANGE
LOT FRONTAGE	18.00 m	15.28 m	NO CHANGE
LOT COVERAGE	19% = 150.06 m <sup>2</sup>	18.13% = 143.71 m <sup>2</sup>	24.72% = 195.21 m <sup>2</sup>
GROUND FLOOR AREA		97.55 m <sup>2</sup>	149.86 m <sup>2</sup>
SECOND FLOOR AREA		94.76 m <sup>2</sup>	94.76 m <sup>2</sup>
THIRD FLOOR AREA		51.88 m <sup>2</sup>	51.88 m <sup>2</sup>
TOTAL FLOOR AREA		244.19 m <sup>2</sup>	296.49 m <sup>2</sup>
MAX RESIDENTIAL FLOOR AREA (RFA)	40% = 315.92 m <sup>2</sup>	31% = 244.19 m <sup>2</sup>	37.54% = 296.49 m <sup>2</sup>
HEIGHT		10.74 m TO ROOF PEAK	4.27 m
SETBACK NORTH SIDE YARD		4.22 m	3.80 m
SETBACK EAST FRONT YARD		6.37 m	NO CHANGE
SETBACK SOUTH SIDE YARD		0.62 m TO BAY WINDOW	1.50 m
SETBACK WEST REAR YARD		29.25 m	24.30 m
DEPTH OF DWELLING		9.83 m	14.87 m
EXISTING GARAGE	MAX OF 5% OF LOT OR 42 m <sup>2</sup>	45.62 m <sup>2</sup>	NO CHANGE
EXISTING HOUSE	97.55 m <sup>2</sup>		
PROPOSED ADDITION	52.30 m <sup>2</sup>		



THE INFORMATION HEREIN IS APPROVED AND IS RELEASED FOR FABRICATION

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_

PER: \_\_\_\_\_

# Revisions

No.	Date	By
5	NOV 25/20	WJ
6	FEB 9/21	WJ
3	NOV 25/20	WJ
4	DEC 7/20	WJ

# DESIGN PROPERTY OF



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Prepared For: ANNETTE GILGAN  
340 WATSON AVENUE OAKVILLE ON L6T 3V6

Drawings No.	Drawing By	Scale	Date
97720G	A-1	W.J.K.	AS NOTED

The undersigned has reviewed and takes responsibility for this design.  
W. J. K. KOZLUK  
Stamp of a Professional Engineer, B.P. KOZLUK, Province of Ontario.