

Wall No.	Wall Average Grade	Wall Length (m)	Product
1	84.60	12.31	1041.43
2	84.65	6.72	566.85
3	84.54	11.84	1000.95
4	83.26	3.96	329.71
5	82.61	3.80	313.90
6	82.52	11.89	981.16
7	82.66	5.61	463.72
8	82.77	9.55	790.49
9	83.97	10.10	848.06
Total	751.58	75.78	6338.27
Average Grade =	Total Product Divided By Total Wall Length =		
			83.64

**Underground Utilities:**

The Location Of Underground Services Shown On This Plan Is Only Approximate And Is For Planning And Design Purposes Only. This Information Must Not Be Assumed To Be Complete Or Up-To-Date And An On-Site Location Must Be Ordered Prior To Any Excavation. David W. Small Designs Inc. Accepts No Responsibility For Any Claims Or Losses Due To Improper Use Of This Information.

**Notes:**

There Are To Be No Grad Changes Within 0.3m Of Common Property Lines.

The Existing Sanitary Lateral Must Be Inspected At The Property Line By Regional Inspector, And Televised By Regional Forces Prior To Connection. A Lateral That Does Not Meet Current Regional Standards Must Be Disconnected At The Main. A Revision To The Service Permit Drawings And Payment Of Applicable Fees Is Required.

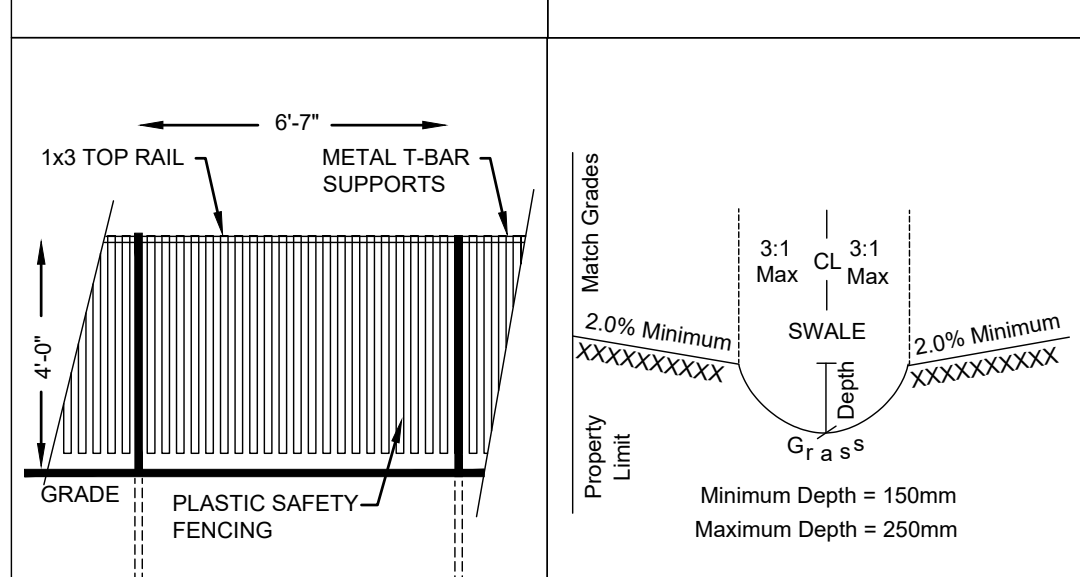
Existing Services Must Be Disconnected At The Main By The Contractor.

All Water And Sanitary Main Taps Are To Be Performed By Region Of Halton Forces Only.

Contractor To Determine Existing Inverts And Report Any Discrepancies To The Engineer.

Contractor To Determine San. Inverts On Site And Determine If San. Ejector Pump Is Required.

Lot Coverage	Site Data
House Footprint 282.45 sm	Lot Area 1377.53 sm (0.137 ha)
Front Porch 7.12 sm	Zoning RL2-0
Rear Porch 47.33 sm	Established Grade 84.11
Total Coverage 336.90 sm 24.46%	Average Grade 83.64
	Floor Area
	Ground Floor 213.43 sm 2297.4 sf
	Second Floor 202.69 sm 2181.8 sf
	Total Area 416.12 sm 4479.2 sf
	Garage 60.57 sm 652.0 sf
	Finished Basement 209.53 sm 2255.4 sf
	Lot Coverage
	Proposed Footprint 282.45 sm
	Proposed Covered Porches 3.95% 54.45 sm
	Total Proposed Coverage 24.46% 336.90 sm
	Max Allowed Coverage 25.00% 344.38 sm



**Regional Approval**

Region Design Of Water &/or Wastewater Services Approval Subject To Detail Construction Conforming To Halton Region Standards & Specifications & Location Approval From Area Municipality.

Signed: \_\_\_\_\_ Dated: \_\_\_\_\_

Infrastructure Planning & Policy

The Approval Of The Water System On Private Property Is The Responsibility Of The Local Municipality. Regardless, The Applicant Must Ensure That The Region Of Halton's Standards Are Met. (The Water And Wastewater Linear Design Manual May Be Obtained On Halton.ca Or By Calling 311) All Water Quality Tests Must Be Completed To The Region Of Halton's Satisfaction Before The Water Supply Can Be Turned On.

**Tree Protection Barrier Detail** nts

**Legend**

- 3R Main Level
- 3R Lower Level
- Property Line
- Existing To Be Removed
- Existing Spot Elevation
- Proposed Spot Elevation
- Rainwater Downspouts
- Air Conditioner
- Solid Hoarding
- Framed Hoarding
- Area Drain
- Denotes Confiscated Tree (with trunk diameter) To Remain
- Denotes Deciduous Tree (with trunk diameter) To Remain
- Denotes Tree (with trunk diameter) To Be Removed
- Denotes Replacement Tree Native Species Min 10mm Caliper For Deciduous And 1.5m Height For Coniferous (SM) Refers To Sugar Maple (RM) Refers To Red Maple

**General Notes:**

- Do Not Scale Drawings
- These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
- All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 7

**Typical Swale Detail** nts

**Base Information:**

Base Information Taken From Plan Of Survey BY: Trakick McMillan Kutick Ltd. Dated: November 6, 2020

**Location**

Lot 43 Registered Plan 1252 Town of Oakville Regional Municipality of Halton

**City Benchmark**

Elevations Are Referred To The Town Of Oakville No. 36, Having An Elevation Of 50.24 Meters

**\*TFW (Top Of Foundation Wall)**

Floor Slab Place On Inside Face Of Foundation - See Reduced Thickened Foundation Wall Detail & Reverse Veneer Detail For Foundation Wall Ledger Condition On Outside Face Of Foundation Walls.

Extent Of Each Type To Be Determined By Contractor On Site During Construction

**\*U/F (Under Side Of Footing)**

- U/F Denotes Minimum Depth Of Under Side Of Footing.

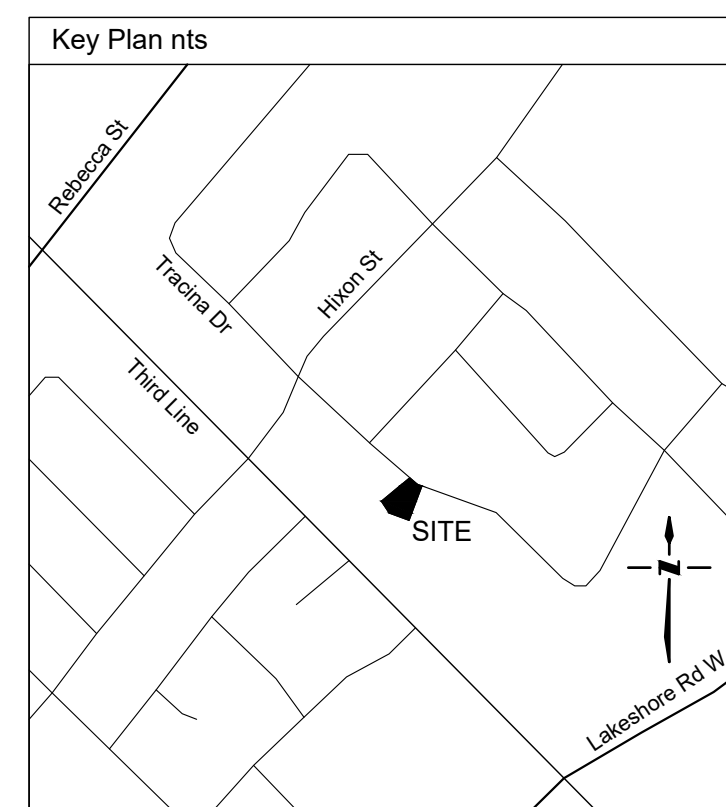
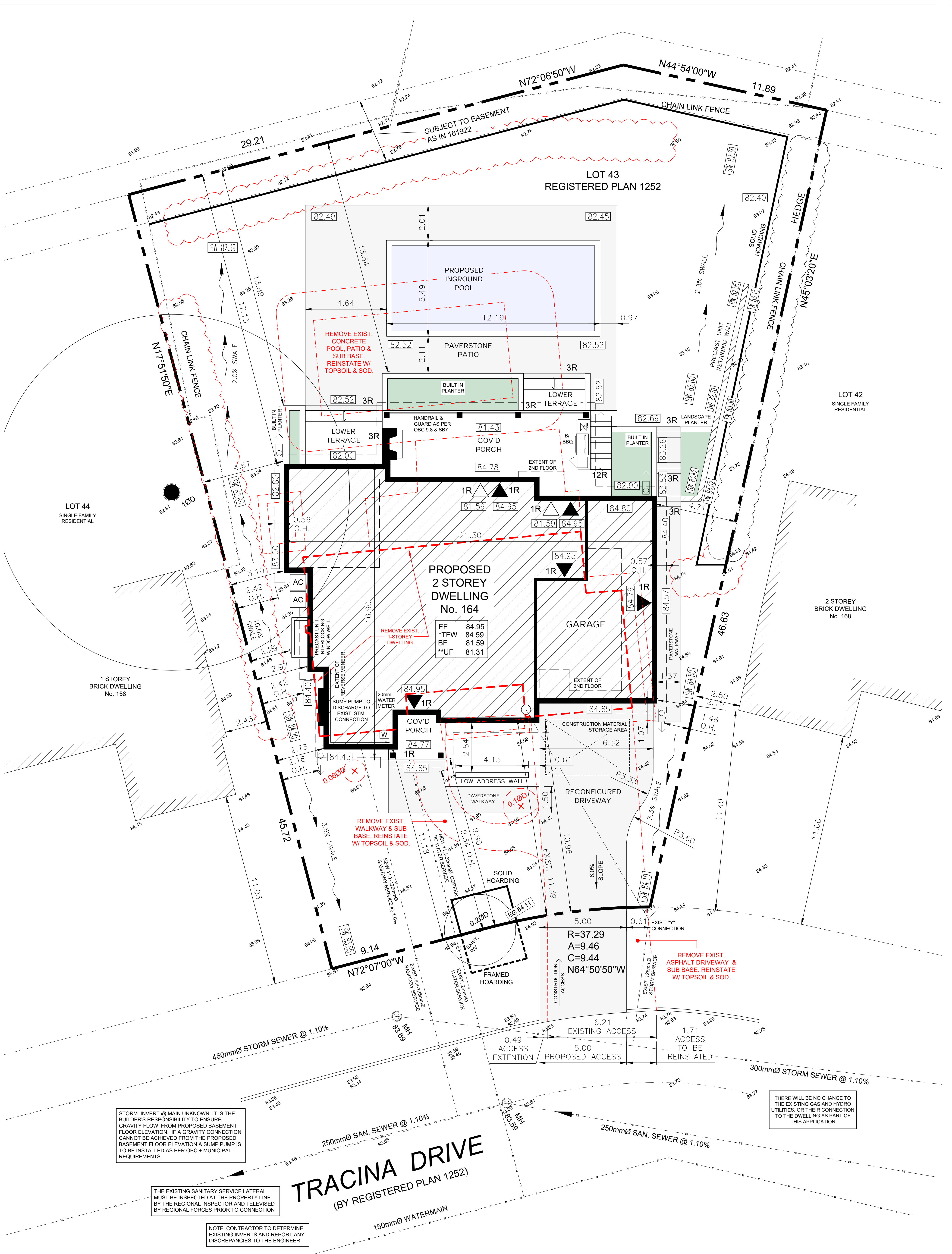
- Under Side Of Footing May Differ Depending On Foundation Conditions. See Floor Plans And Elevations For Specific Under Side Of Footing Conditions.

- Footings To Be Min 1.2m Below Grade

**Tree Protection Barriers**

Tree Protection Barriers Must Be 1.2m (4ft) High, Waferboard Hoarding Or An Equivalent Approved By Urban Forestry Services.

- Tree Protection Barriers For Trees Situated On The Town Road Allowance Where Visibility Must Be Maintained Can Be 1.2m (4ft) High And Consist Of Orange Plastic Web Snow Fencing On A Wood Frame Made Of 2x4s.
- Where Some Excavate Or Fill Has To Be Temporarily Located Near A Tree Protection Barrier, Plywood Must Be Used To Ensure No Material Enters The Tree Protection Zone.
- All Supports And Bracing Should Be Outside The Tree Protection Zone. All Such Supports Should Minimize Damaging Roots Outside The Tree Protection Barrier.
- No Construction Activity, Grade Changes, Surface Treatment Or Excavation Of Any Kind Is Permitted Within The Tree Protection Zone.
- 



The Undersigned Has Reviewed And Takes Responsibility For This Design, And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer. Qualification Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code.

Peter Giordano Signature 25061

Name Registration Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code. DAVID W. SMALL DESIGNS INC. 29999

Firm Name BCIN

no.	date	revision / comment
1	Feb 09/21	Issued To Owner For Building Permit Application

**Project:**

**The Squire Home**  
164 Tracina Drive  
Lot 43  
Registered Plan 1252  
Town of Oakville  
Regional Municipality of Halton

**Drawing:**

Scale: 1:100  
Date: Feb 2021  
Dwn by: HD  
Proj. no.: 20-1855

**Site Plan**

**David Small Designs**



### Elevation Notes

③ All stucco to be 'DuROCK' EIFS PU C.C.S. exterior insulation and finish system CCMC-1269R approved - install as per OBC, 9.28, and manufacturer's specifications - note use 'Polar Bear' by DuROCK for air/moisture barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco

Note: All over-hangs are 4" inset from stone facing on ground floors (typical)

Note: Refer to roof plan for all roof slopes and overhang info

Ⓐ Stepped footing per OBC 9.15.3.9.

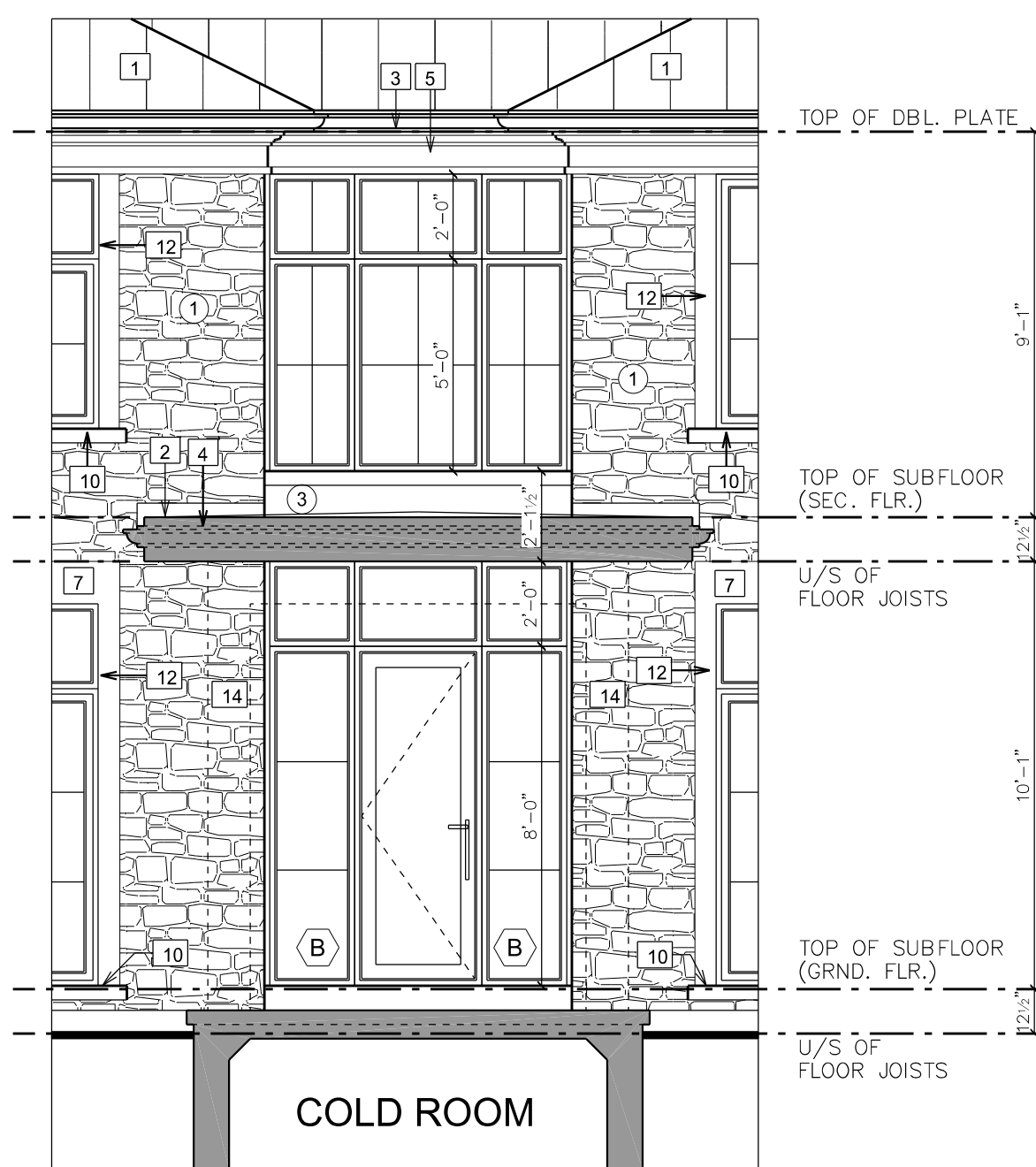
Ⓑ Glazing to be tempered glass (If operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)

### Right (West) Elevation

#### Unprotected Openings Calculations

Limiting Distance	2.15m
Wall Area	1178.5 sf (109.5 sm)
Opening Area Allowed	97.8 sf (8.3 %)
Opening Area Proposed	27.9 sf (2.4 %)

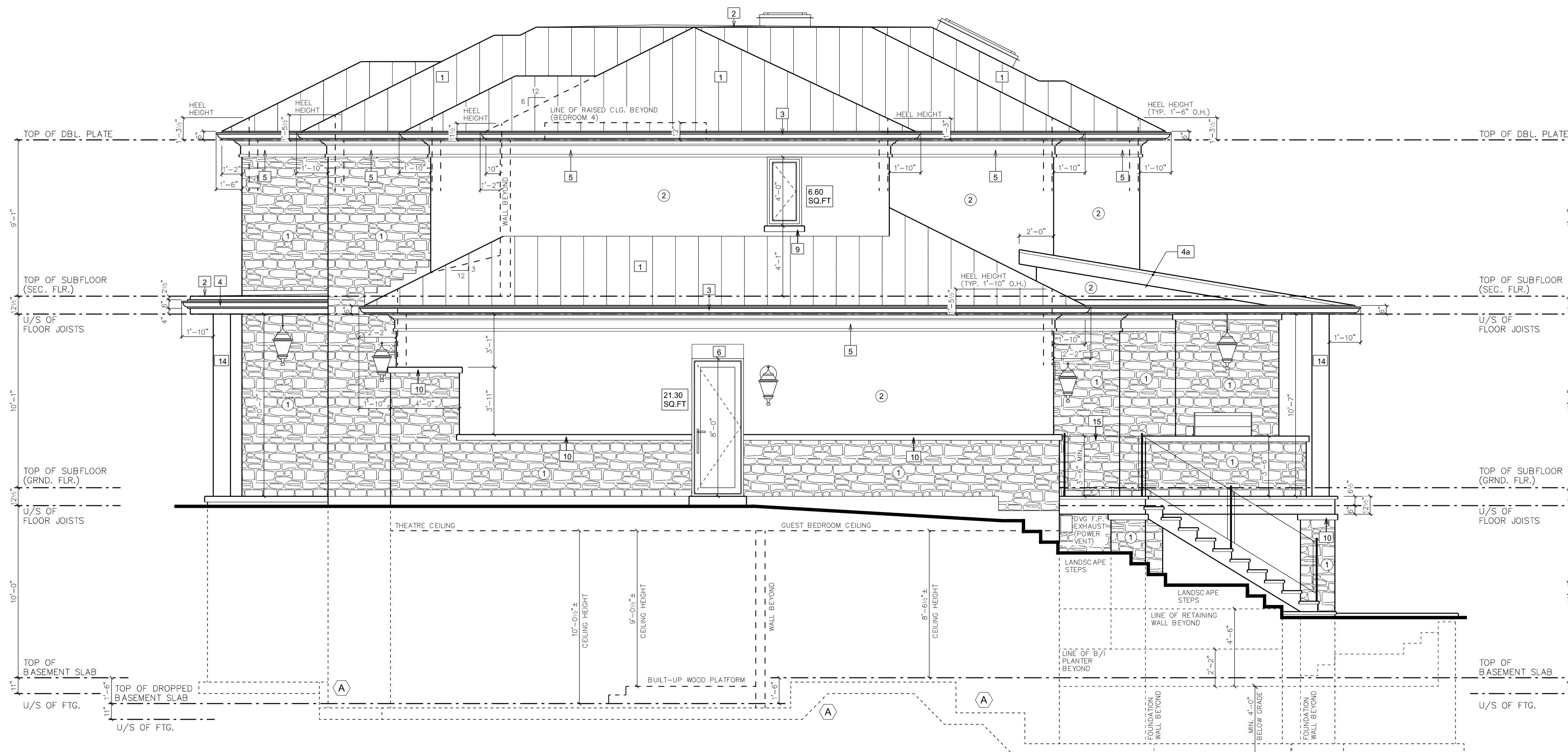
Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.



## Front Entry Profile



## Front (North) Elevation



## Right (West) Elevation

### Drawing Legend

#### 1.0 Materials

- ① Natural Stone
- ② Pigmented Epoxy Stucco
- ③ Prefinished Aluminum Panel
- ④ Precast Panel

#### 2.0 Roofing

- ① Raised Seam Prefinished Metal Roofing
- ② 2-Ply Torch On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

#### 3.0 Trim, Cornice, Moulding, & Gutter Notes

- ③ Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
- ④ 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 5" Square Bent Prefinished Aluminum Eaves Trough
- ④a 10" Wide Fascia w/ 2" Top Edge Reveal Typical Cornice Trim
- ⑤ 4" Wood Trim w/ Crown on Crezon Flat Stock w/ 2" High x +/- 1-1/4" Deep Bottom Trim (Total 12" High)
- ⑥ 10" Stucco Covered Lintel
- ⑦ 12" Precast Lintel
- ⑦a 6" Precast Lintel
- ⑧ 8" Stucco Trim w/ 3" Edge Reveal
- ⑨ 4" Stucco Covered Sill c/w 2" Projection
- ⑩ 4" Cut Stone Sill c/w 2" Projection
- ⑪ 4" Cut Stone Coping w/ 2" Projection
- ⑫ 6" Precast Trim
- ⑬ 6" Stucco Covered Trim

#### 4.0 Railing & Post

- ⑭ 12"x12" Crezon Clad Site-Painted Wood Post
- ⑮ Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect Of OBC, 9.8. & SB-13 Of The Supplement

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code for a designer. Qualification information required unless the design is exempt under Division C - 3.2.1.1 of the 2012 Ontario Building Code.

Peter Giordano  
Name: 25561 BCN  
Registration Information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.  
David W. Small Designs Inc.  
Firm Name: 25999 BCN

no.	date	revision / comment
1	Feb 09/21	Issued To Owner For Building Permit Application

Project:

The Squire Home

164 Tracina Drive

Part of Lot 43

Registered Plan 1252

City of Oakville

Regional Municipality of Halton

Drawing:

## Front & Right-Side Elevations

Scale: 1/4"=1'-0"

Date: Feb 2021

Dwn by: MM

Proj. no.: 20-1855

A5

David  
Small  
Designs



### Elevation Notes

③ All stucco to be "DuROCK" EIFS P.U.C.S. exterior insulation and finish system CCMC 12969R approved -install as per OBC, 9.28, and manufacturer's specifications -note use "Polar Bear" by DuROCK for airtightness barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco

Note: All over-hangs are 4" inset from stone facing on ground floors (typical)

Note: Refer to roof plan for all roof slopes and overhang info

A Stepped footing per OBC 9.15.3.9.

B Glazing to be tempered glass (If operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)

### Left (East) Elevation

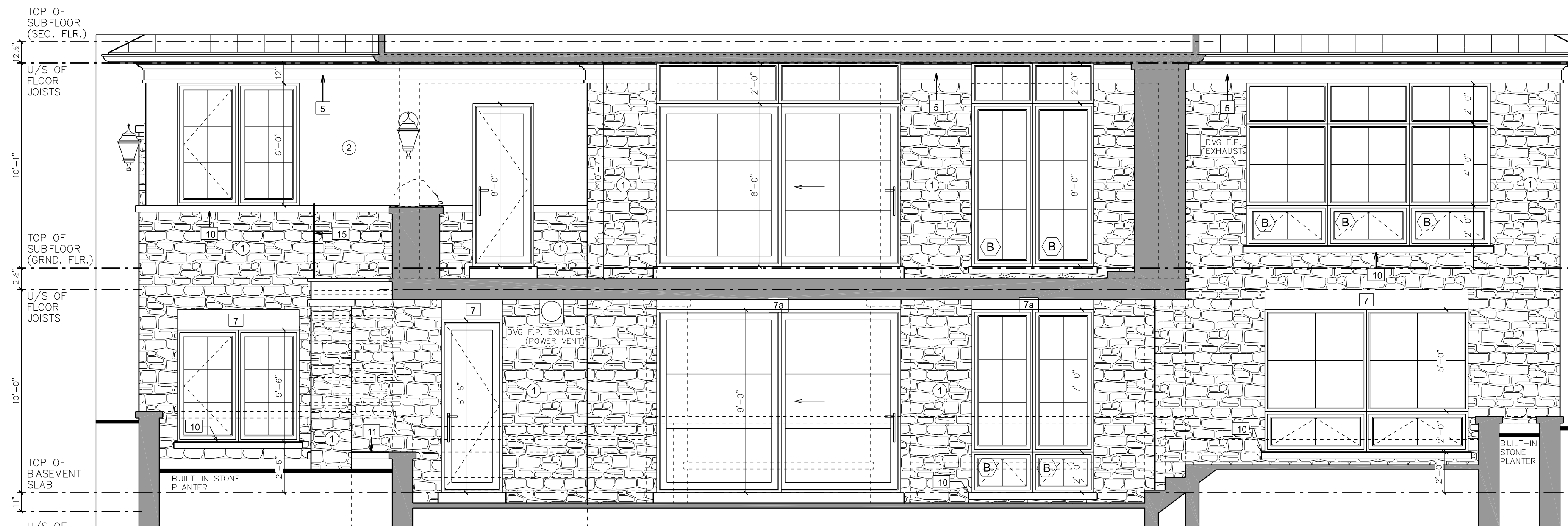
#### Unprotected Openings Calculations

Limiting Distance	2.73m
Wall Area	1300.0 sf (120.8 sm)
Opening Area Allowed	123.0 sf (9.5 %)
Opening Area Proposed	78.5 sf (6.0 %)

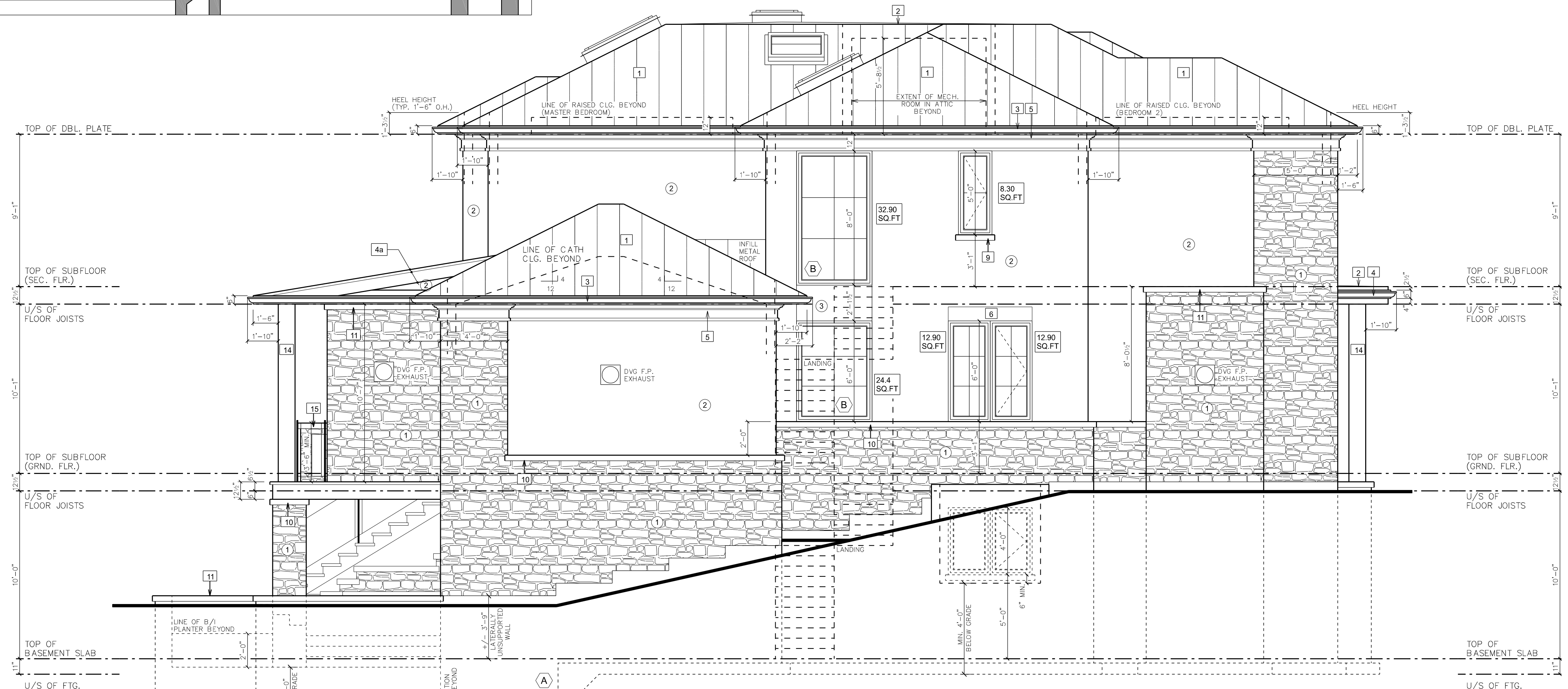
Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.



## Rear (South) Elevation



## Rear Hidden Profile



## Left (East) Elevation

### Drawing Legend

#### 1.0 Materials

- ① Natural Stone
- ② Pigmented Epoxy Stucco
- ③ Prefinished Aluminum Panel
- ④ Precast Panel

#### 2.0 Roofing

- ① Raised Seam Prefinished Metal Roofing
- ② 2-Ply Torch On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

#### 3.0 Trim, Cornice, Moulding, & Gutter Notes

- ③ Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
- ④ 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 5" Square Bent Prefinished Aluminum Eaves Trough
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- ⑫ 6" Precast Trim
- ⑬ 6" Stucco Covered Trim

#### 4.0 Railing & Post

- ⑭ 12"x12" Crezon Clad Site-Painted Wood Post
- ⑮ Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect Of OBC, 9.8. & SB-13 Of The Supplement

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Qualification information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

Peter Giordano  
Name  
Signature  
25061  
BCN  
Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.  
David W. Small Designs Inc.  
Firm Name  
2999  
BCN

1	Feb 09/21	Issued To Owner For Building Permit Application
no.	date	revision / comment

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The Squire Home

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Part of Lot 43

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City of Oakville  
Regional Municipality of Halton

Drawing:

## Rear & Left-Side Elevations

Scale: 1/4"=1'-0"

Date: Feb 2021

Dwn by: MM

Proj. no.: 20-1855

# A6

# David Small Designs