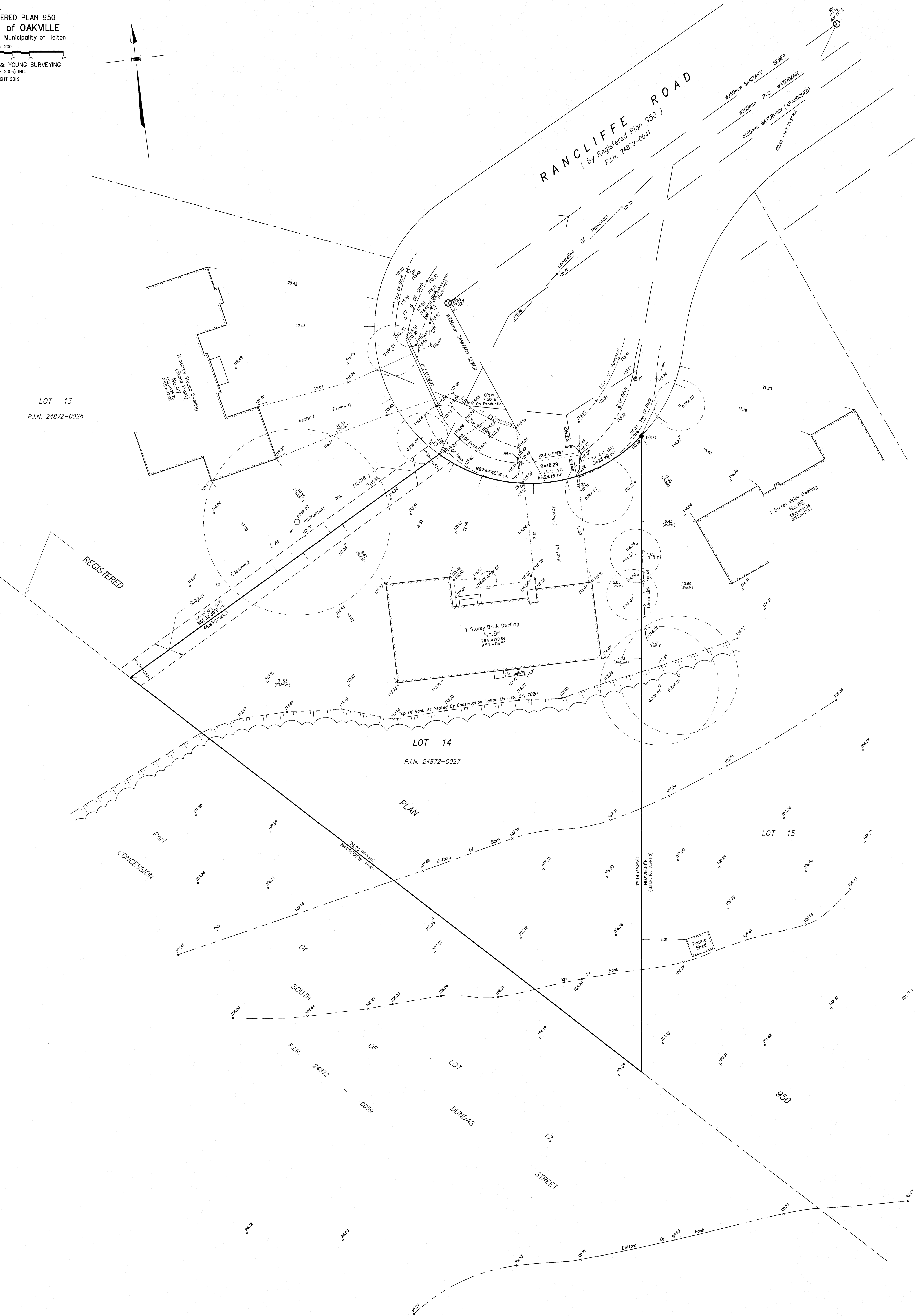
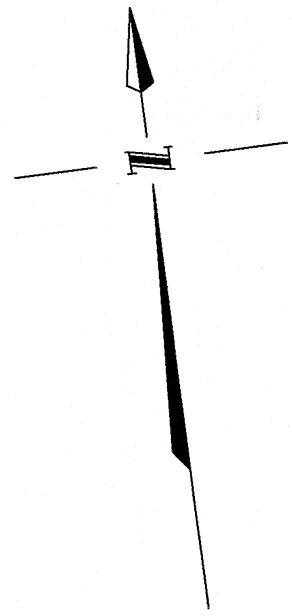


SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
LOT 14
REGISTERED PLAN 950
TOWN of OAKVILLE
Regional Municipality of Halton
SCALE 1 : 200
6m 4m 2m 0m 4m
YOUNG & YOUNG SURVEYING
(ETOBICOKE 2006) INC.
© COPYRIGHT 2019



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

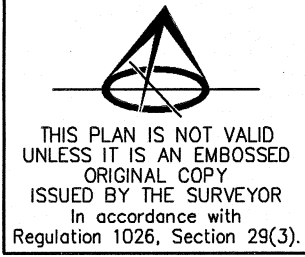
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 13th DAY OF
DECEMBER, 2019.

DECEMBER 17, 2019
DATE

CHRIS BERESNIEWICZ
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2113267



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

LEGEND

□	DENOTES	SURVEY MONUMENT SET
■	REGISTERED PLAN 950	
RP	NORTH SOUTH/EAST/WEST	
N	MEASURED	
IT	IRON TUBE	
OP	CONCRETE PIN	
P.I.N.	PROPERTY IDENTIFIER NUMBER	
CLF	CHAIN LINK FENCE	
BRW	BRICK RETAINING WALL	
A/C	AIR CONDITIONER	
CB	CATCH BASIN	
MH	MANHOLE	
WV	WATER VALVE	
BT	BELL TELEPHONE	
WT	WITNESS	

LEGEND (...cont.)

DSE	DOORSILL ELEVATION
TRE	TOP OF ROOF ELEVATION
DT	DECIDUOUS TREE
CT	CONIFEROUS TREE
Ø	DIAMETER
PH	FIRE HYDRANT
LS	LIGHT STANDARD
OU	ORIGIN UNKNOWN
D	INSTRUMENT NO.
JV	PLAN BY J. VINKLERS, OLS
SS	DATED DECEMBER 5, 2001
ST	PLAN BY SEMELL & SEMELL, OLS
	DATED JUNE 2, 1972
	PLAN BY STARR & TARASICK, OLS
	DATED OCTOBER 15, 1962

ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO
THE TOWN OF OAKVILLE BENCHMARK NUMBER 225,
HAVING A PUBLISHED ELEVATION OF 122.99 METRES.

BEARING NOTE

BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO
THE EASTERLY LIMIT OF LOT 14, HAVING A BEARING
OF N07°25'30"E ACCORDING TO REGISTERED PLAN 950.

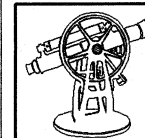
REVISION DATE

THIS PLAN WAS REVISED ON JUNE 25, 2020

THIS PLAN WAS PREPARED FOR :
DAVID SMALL DESIGNS

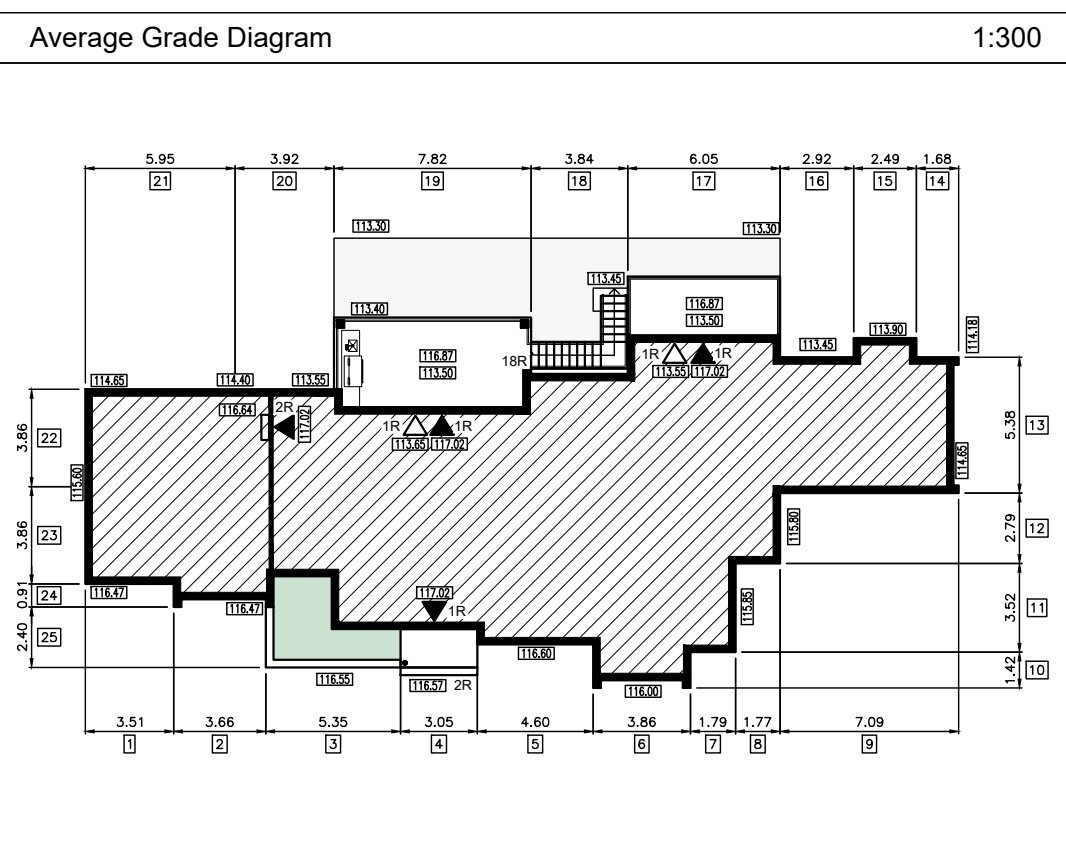
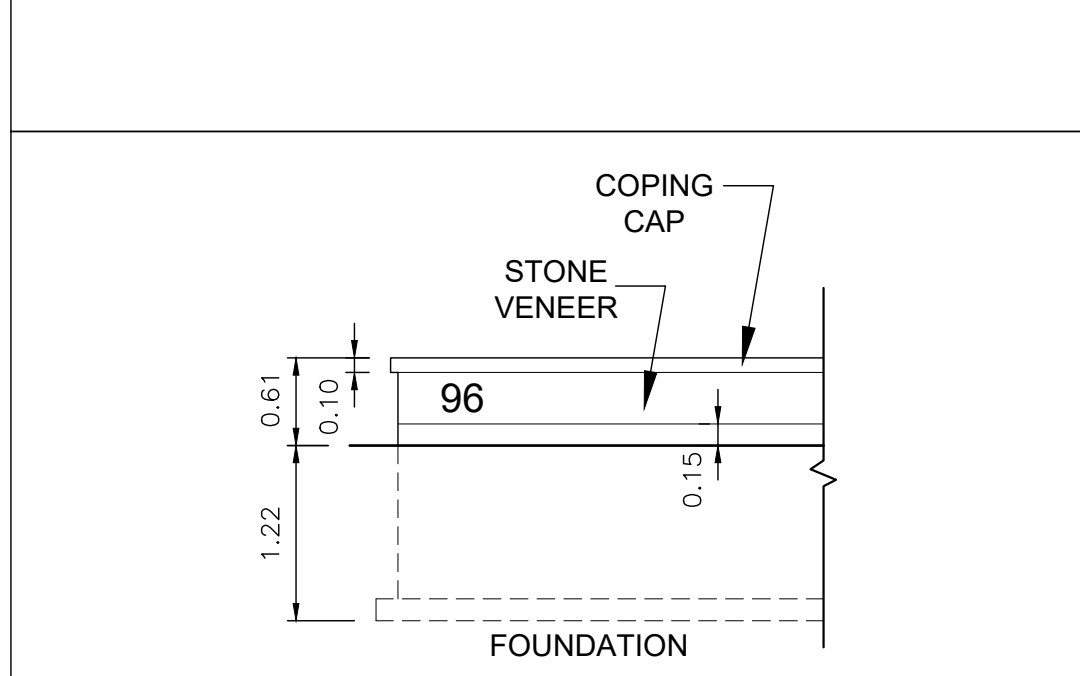
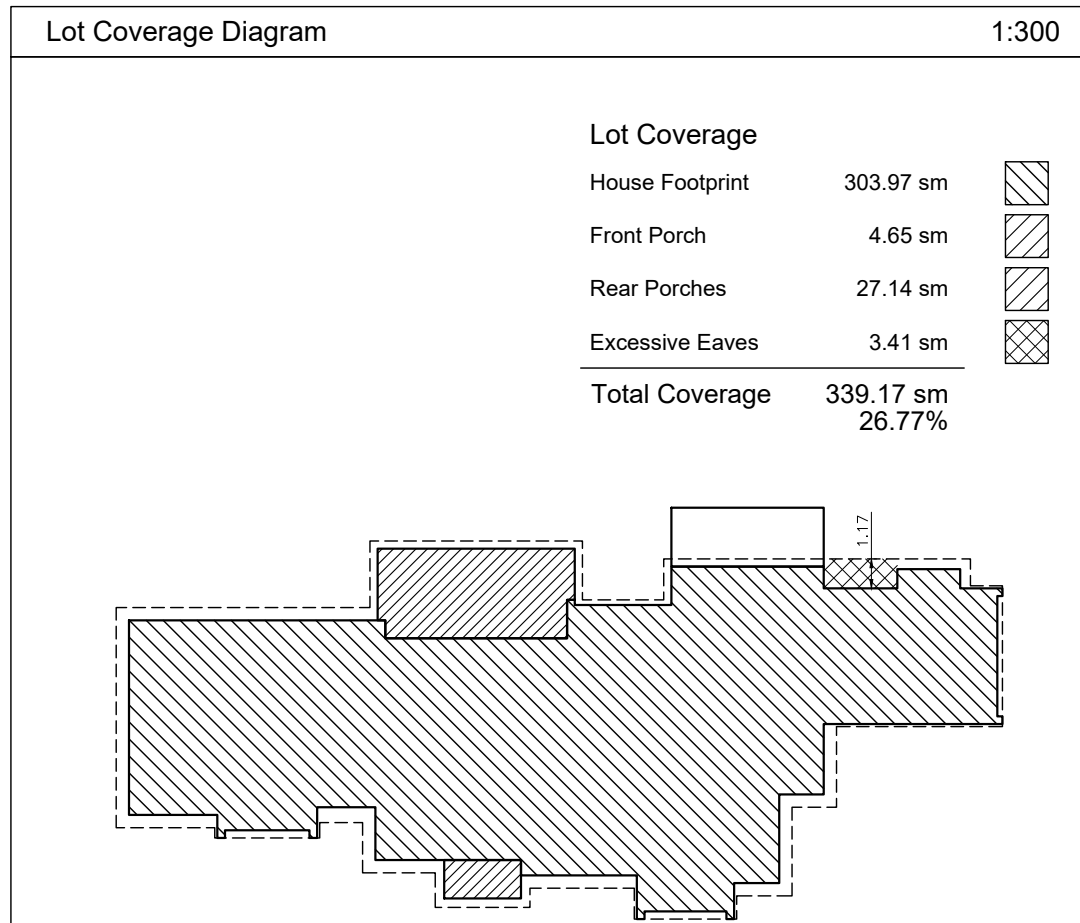
PART 2 - SURVEY REPORT

1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY :
SUBJECT TO EASEMENT AS IN
INSTRUMENT NO. 112016
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS



YOUNG & YOUNG
SURVEYING (ETOBICOKE 2006) INC.
310 North Queen St., Unit 102, Toronto ON M8C 5K4
Tel: (416) 621-8876 - Fax: (416) 621-3360
EMAIL : info@youngandyoung.ca

DRAWN: PAT/AM CHECKED: C.B. PROJECT 19-T10308



Underground Utilities:

The Location Of Underground Services Shown On This Plan Is Only Approximate And Is For Planning And Design Purposes Only. This Information Must Not Be Assumed To Be Complete Or Up-To-Date And An On-Site Locate Must Be Ordered Prior To Any Excavation. David W. Small Designs Inc. Accepts No Responsibility For Any Claims Or Losses Due To Improper Use Of This Information.

Notes:

There Are To Be No Grad Changes Within 0.3m Of Common Property Lines

The Existing Sanitary Lateral Must Be Inspected At The Property Line By Regional Inspector And Televised By Regional Forces Prior To Connection. A Lateral That Does Not Meet Current Regional Standards Must Be Disconnected At The Main. A Revision To The Service Permit Drawings And Payment Of Applicable Fees Is Required.

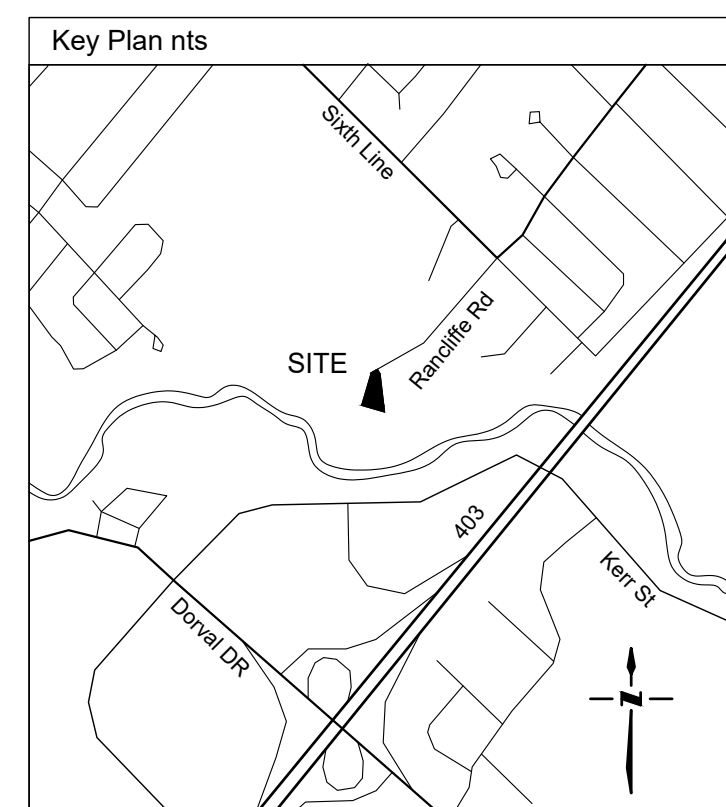
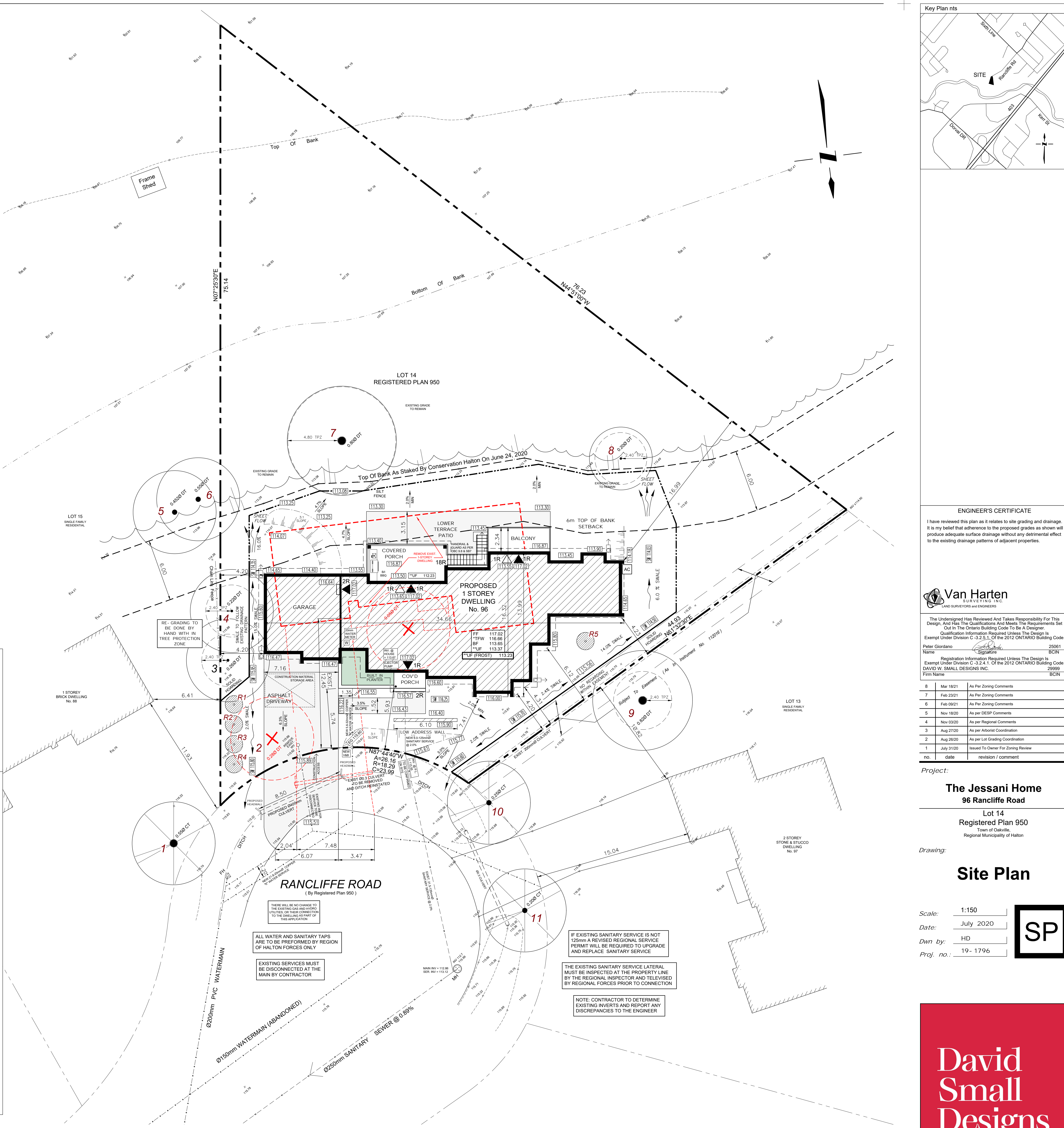
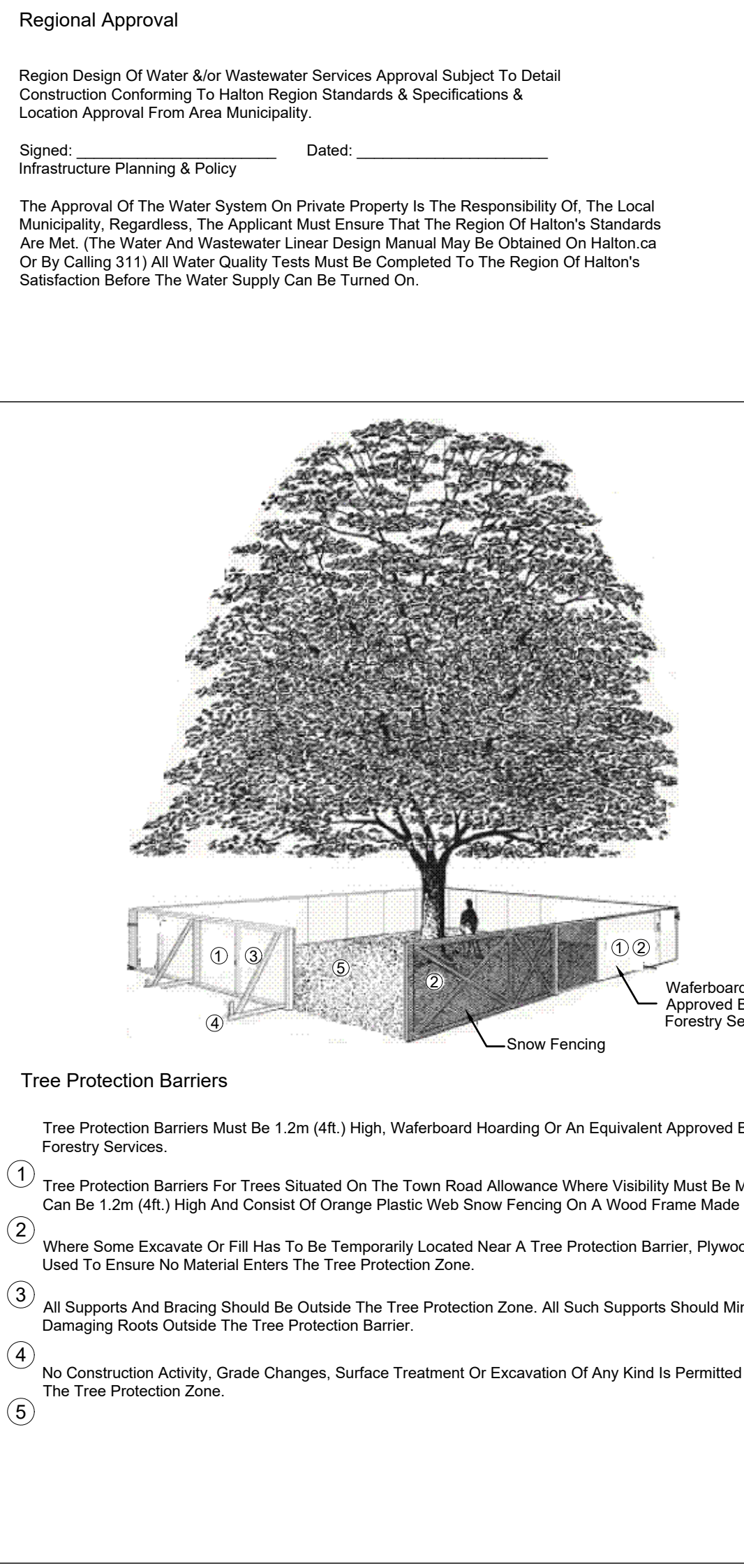
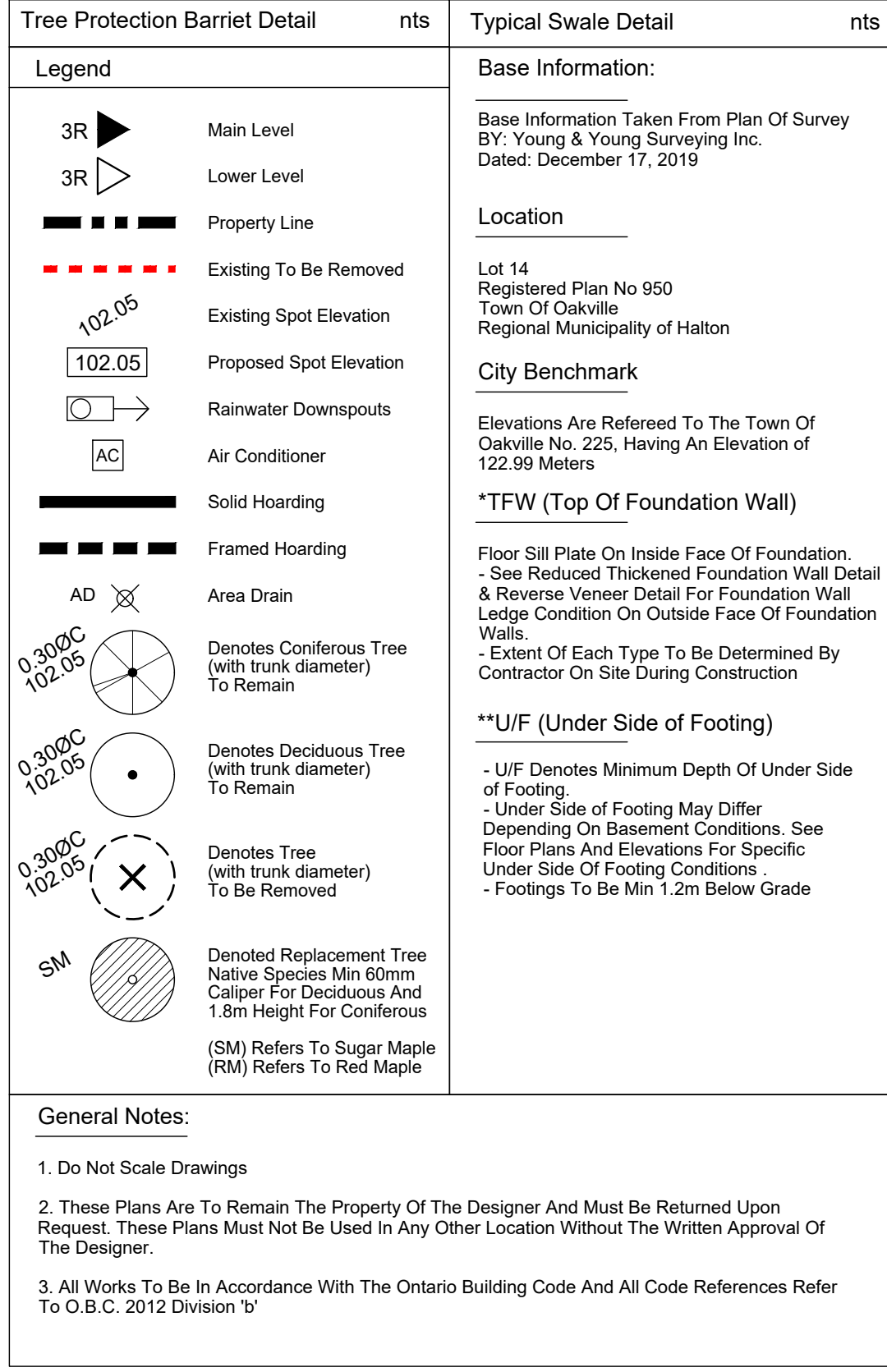
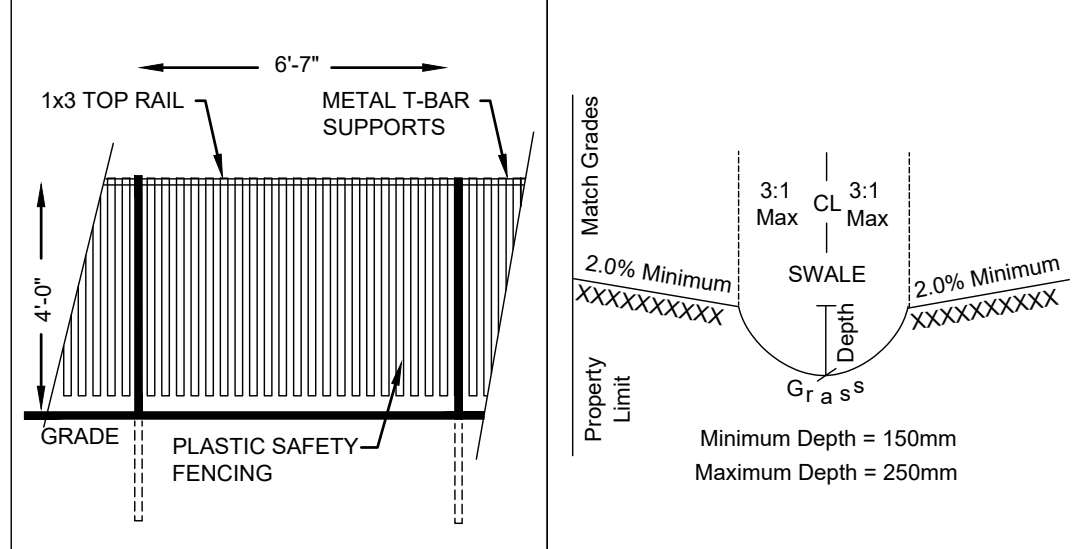
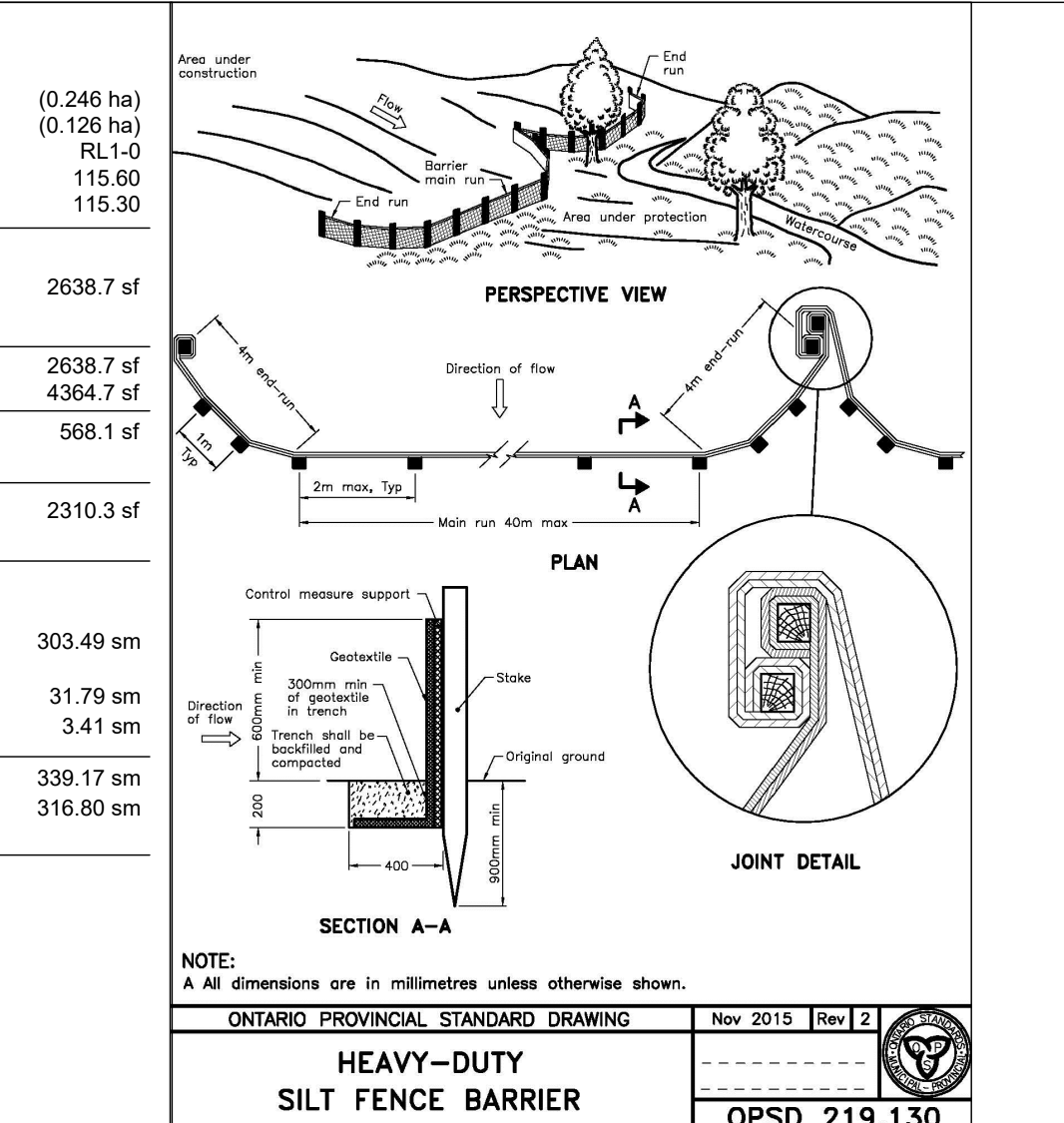
Existing Services Must Be Disconnected At The Main By The Contractor

All Water And Sanitary Main Taps Are To Be Performed By Region Of Halton Forces Only

Contractor To Determine Existing Inverts And Report Any Discrepancies To The Engineer

Contractor To Determine San. Inverts On Site And Determine If San. Ejector Pump Is Required

Approximate Ground Water Elevation Is To Be Confirmed Prior To Construction. If Ground Water Interferes With House Construction/Design, Contractor To Notify Designer/Engineer.



ENGINEER'S CERTIFICATE

I have reviewed this plan as it relates to site grading and drainage. It is my belief that adherence to the proposed grades and drainage will produce adequate surface drainage without any detrimental effect to the existing drainage patterns of adjacent properties.

Van Harten
LAND SURVEYORS AND ENGINEERS

The Undersigned Has Reviewed And Takes Responsibility For This Design. And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer. Qualification Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code.

Peter Giordano 25061
Name Signature BCIN
Registration Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code. DAVID W. SMALL DESIGNS INC. 29999
Firm Name BCIN

8	Mar 18/21	As per Zoning Comments
7	Feb 23/21	As per Zoning Comments
6	Feb 09/21	As per Zoning Comments
5	Nov 18/20	As per DESP Comments
4	Nov 03/20	As per Regional Comments
3	Aug 27/20	As per Ad Hoc Comments
2	Aug 26/20	As per Lot Grading Coordination
1	July 31/20	Issued To Owner For Zoning Review
no.	date	revision / comment

The Jessani Home
96 Rancliffe Road
Lot 14
Registered Plan 950
Town of Oakville
Regional Municipality of Halton

Site Plan

Scale: 1:150
Date: July 2020
Dwn by: HD
Proj. no.: 19- 1796

SP

David Small Designs

Drawing Legend

1.0 Materials

- 1 Natural Stone
- 2 Pigmented Epoxy Stucco
- 3 4" Prefinished Horizontal Wood Siding
- 4 Prefinished 16 Gauge Aluminum Panel -see detail
- 5 Prefinished Insulated Aluminum Panel
- 6 Prefinished Wood Louvers Spaced 3" Projecting 1/2" Beyond Wall Face

2.0 Roofing

- 1 16" Spaced Standing Seam Prefinished Metal Roofing Installed As Per Manufacturer's Specifications
- 2 2-Ply Torch On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

3.0 Trim, Cornice,

Moulding, & Gutter Notes

- 3 12" Prefinished Aluminum Gable Fascia
- 4 16" Standing Seam Prefinished Metal Wall Cladding to Match Roof - Installed As Per Manufacturer's Specifications
- 5 12" Prefinished Aluminum Stepped Fascia c/w Starter Strip & Drip Edge Composed of 5" Square Bent Prefinished Aluminum Eaves Trough and Downspouts
- 7 5" Prefinished Metal Roofing Fascia Trim C/W 5" Square Bent Prefinished Aluminum Eaves Trough and Downspouts
- 8 4" Cut Stone Sill c/w 2" Projection
- 9 4" Cut Stone Coping Cap w/ 2" Projection
- 10 2" Prefinished Metal Sill projected 2" C/W Drip Flashing
- 11 2" Stucco Covered Sill projected 2" C/W Drip Cove

4.0 Railing & Post

- 12 4" Dia. Round Primed and Site Painted Steel Column
- 13 Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect Of OBC 9.8. & SB-13 Of The Supplement
- 14 12"x12" Crezon Clad Site-Painted Wood Post W/ 1x Wood Trim As Shown

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Qualification information required unless the design is exempt under Division C-3.2.1.1 of the 2012 Ontario Building Code.

Peter Giordano
Name
Signature
2021 BCN
Registration information required unless the design is exempt under Division C-3.2.4.1. of the 2012 Ontario Building Code.
David W. Small Designs Inc.
Firm Name
2021 BCN

Exterior walls - R22 Wall area= 528.4 sm
Bent walls - R12+10ci Window area= 135.7 sm
Roof w/ attic - R60 ** Ratio = 25.7%
Roof w/o attic - R31 Window/skylight Eff. = U-1.4**
Exposed floors - R31 SB-12 3.1.2
Exposed slab - R10 Performance Climate zone 1
** house must be 'modelled'
U-Value to be confirmed

Energy efficiency compliance standard SB-12 3.1.2. requirements 1.B.D. by consultant - Target Table 3.1.1.2.A (F) plg. -AT-

5	Feb. 23/21	As Per Zoning Comments
4	Feb. 09/21	As Per Zoning Comments
3	Sept. 14/20	Client Requested Revisions
2	Sept. 01/20	Issued to Owner for Building Permit Application
1	July 31/20	Issued to Owner For Zoning Approvals
no.	date	revision / comment

Project:

The Jessani Home
96 Rancilffe Road

Lot 14
Registered Plan 950
Town of Oakville,
Regional Municipality of Halton

Drawing:

Front & Right-Side Elevations

Scale: 1/4"=1'-0"
Date: July 2020
Dwn by: PG/NM
Proj. no.: 19-1796

David
Small
Designs



Front (North) Elevation



Right-Side (West) Elevation

Elevation Notes

- 3 Prefinished 'natural' wood siding to comply with O.N.T. Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.
- Blocking or furring for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3. and as per manufacturer's specifications
- 2 All stucco to be 'DuROCK' EIFS P.U.C.C.S. exterior insulation and finish system COMC 1286RR approved -install as per OBC 9.28. and manufacturer's specifications -note use 'Polar Bear' by DuROCK for air/moisture barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco
- Note: All over-hangs are 4" inset from stone facing on ground floors (typical)
- Note: Refer to roof plan for all roof slopes and overhang info
- A Stepped footing per OBC 9.15.3.9.
- B Glazing to be tempered glass (If operable window provide opening restrictor) - Comply with OBC 9.8.6.1 (5) and (6)
- E 12" dia. Poured concrete Sono tubes min. 48" below finished grade or to undisturbed soil (Typ.)
- F All specialty windows to be site measured and templated once framing is in place to ensure a correct fit and alignment
- All exposed structural steel posts & beams shall be painted - base plates and anchor bolts located below soil-supported floors shall be protected against corrosion

Unprotected Openings Calculations

Limiting Distance	4.20m
Wall Area	697.8 sf (64.83 sm)
Opening Area Allowed	174.45 sf (25.0 %)
Opening Area Proposed	40.70 sf (5.8 %)

Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.

