

SURVEYOR'S REAL PROPERTY REPORT
 PART 1
 PLAN OF
 LOT 179
 REGISTERED PLAN 113
 IN THE
 CITY OF OAKVILLE
 (REGIONAL MUNICIPALITY OF HALTON)

SCALE & NOTES
 Scale 1:150

ALTIMAP LAND SURVEYORS INC.
 © COPYRIGHT 2020

METRIC
 DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE
 ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM
 (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF OAKVILLE BENCHMARK
 No. 277 HAVING AN ELEVATION OF 88.967m.

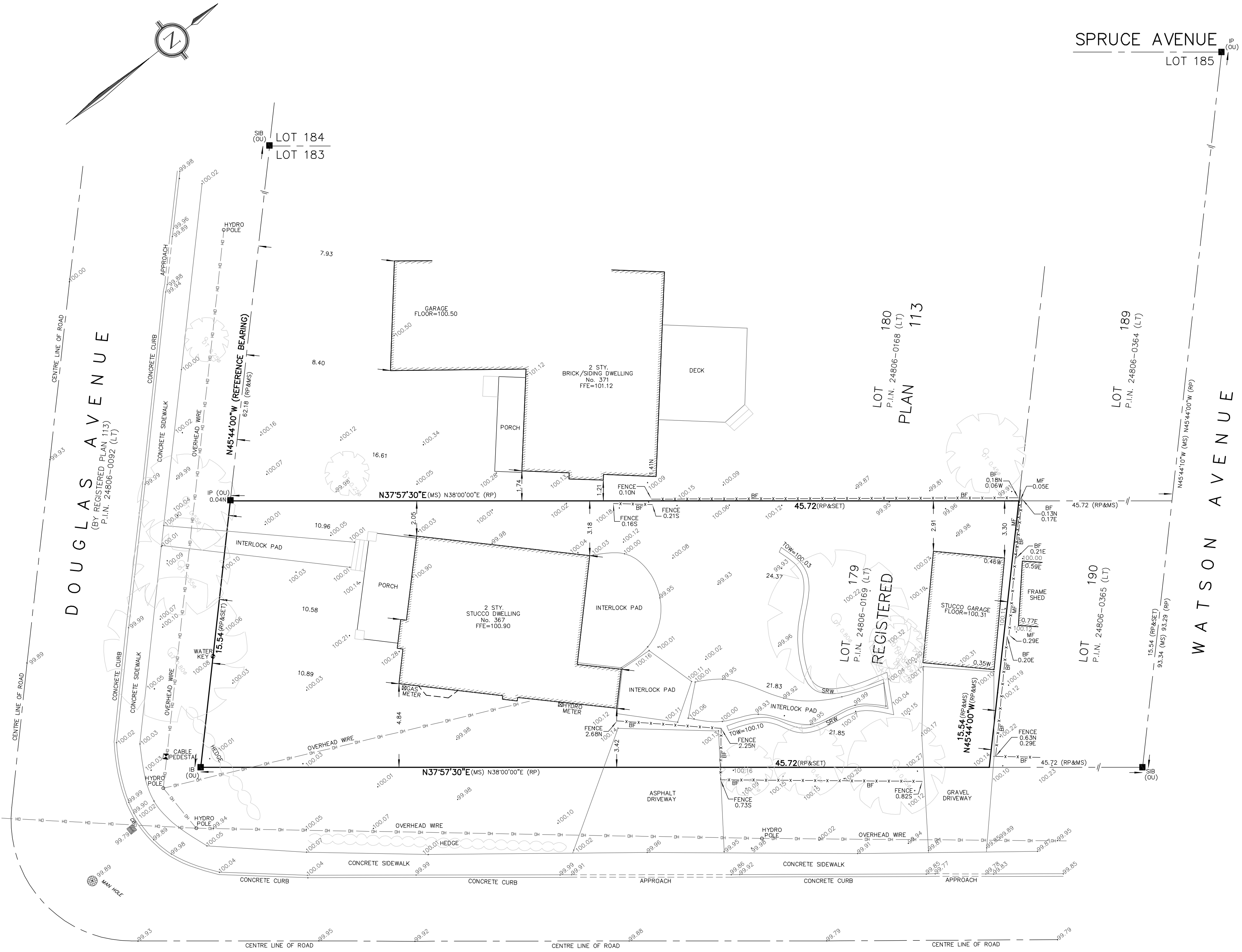
BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT
 OF DOUGLAS AVENUE AS SHOWN ON PLAN 113 HAVING A BEARING
 OF N45°44'00"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
IP	DENOTES	IRON PIPE
PK	DENOTES	SURVEYORS NAIL SET IN WASHER
OU	DENOTES	ORIGIN UNKNOWN
CC	DENOTES	CUT CROSS
MH	DENOTES	MANHOLE
BC	DENOTES	BEGINNING OF CURVE
EC	DENOTES	END OF CURVE
TC	DENOTES	TANGENT OF CURVE
PRC	DENOTES	POINT OF REVERSE CURVE
OH	DENOTES	OVERHEAD UTILITY CABLES
DT	DENOTES	DECIDUOUS TREE
CT	DENOTES	CONIFEROUS TREE
LS	DENOTES	LIGHT STANDARD
INV	DENOTES	INVERT ELEVATION
HYD	DENOTES	FIRE HYDRANT
CRW	DENOTES	CONCRETE RETAINING WALL
SRW	DENOTES	STONE RETAINING WALL
WRW	DENOTES	WOOD RETAINING WALL
TOW	DENOTES	TOP OF WALL ELEVATION
TOC	DENOTES	TOP OF CONCRETE CURB ELEVATION
BOC	DENOTES	BOTTOM OF CURB ELEVATION
FN	DENOTES	FOUNDATION
BR	DENOTES	BRICK
ST	DENOTES	STUCCO
SI	DENOTES	SIDDING
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE
MF	DENOTES	METAL FENCE
FFE	DENOTES	FINISHED FLOOR ELEVATION
GFE	DENOTES	GARAGE FLOOR ELEVATION
RP	DENOTES	REGISTERED PLAN 113

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
2140559

 THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
In accordance with
 Regulation 1026, Section 29(3)



PART 2
 REGISTERED EASEMENTS/RIGHTS-OF-WAY - NONE FOUND ON TITLE

ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND
 PHYSICAL FEATURES AS DEPICTED ON THE FACE OF THIS PLAN.
 THIS PLAN WAS PREPARED FOR LISA PYNENBURG AND THE UNDERSIGNED
 ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
 ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON DECEMBER 04, 2020.

DECEMBER 07, 2020

 GUIDO V. CONSOLI
 ONTARIO LAND SURVEYOR

MACDONALD ROAD
 (BY REGISTERED PLAN 113)
 P.I.N. 24806-0212 (LT)

ALTIMAP LAND SURVEYORS INC.
 222 FINCH AVE W, UNIT 212, TORONTO, ON M2R 1M6
 TEL 416 990 3001 INFO@ALTIMAP.CA

DWN BY: AH
 CHK BY: CVC
 JOB No. : 20-1536

LOT COVERAGE		
	AREA	PERCENTAGE
BUILDING FOOTPRINT	142.19 SM	20.13%
COVERED FRONT PORCH	14.91 SM	2.11%
DETACHED GARAGE	26.97 SM	3.82%
TOTAL LOT COVERAGE:	184.07 SM	26.06% (19% MAX.)

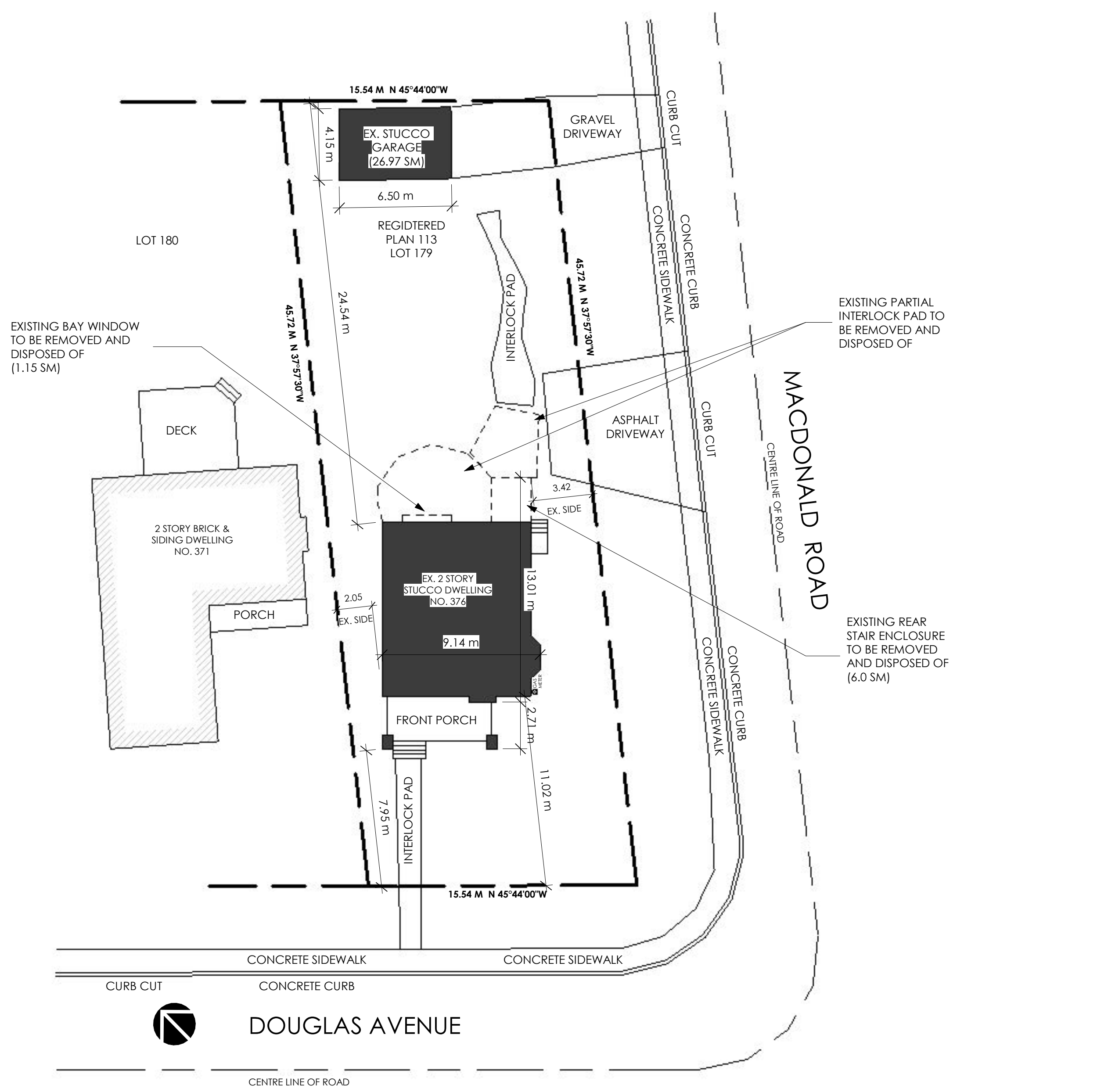
ESTABLISHED GRADE CALCULATION	
FRONT LOT LINE	100.08 M
INTERIOR SIDE LOT LINE	100.18 M
REAR LOT LINE	100.11 M
FLANKAGE LOT LINE	100.14 M
SUM OF GRADE ELEVATIONS	400.51 M
ESTABLISHED GRADE	100.13 M

LANDSCAPED SOFT AREA		
	AREA	PERCENTAGE
FRONT YARD AREA:	SM	%
HARD LANDSCAPE AREA:	SM	%
TOTAL SOFT LANDSCAPE AREA:	SM	%

PROJECT STATISTICS			
ADDRESS:	367 DOUGLAS AVE., OAKVILLE, ONTARIO, L6J 3S8		
ZONING:	RL3-0 (SP 10)		
	BY-LAW	EXISTING	PROPOSED
MIN. LOT AREA:	557.5 SM	706.19 SM	N/A
MIN. LOT FRONTAGE:	18.0 M	15.54 M	N/A
MIN. LOT DEPTH:	30.0 M	45.44 M	N/A

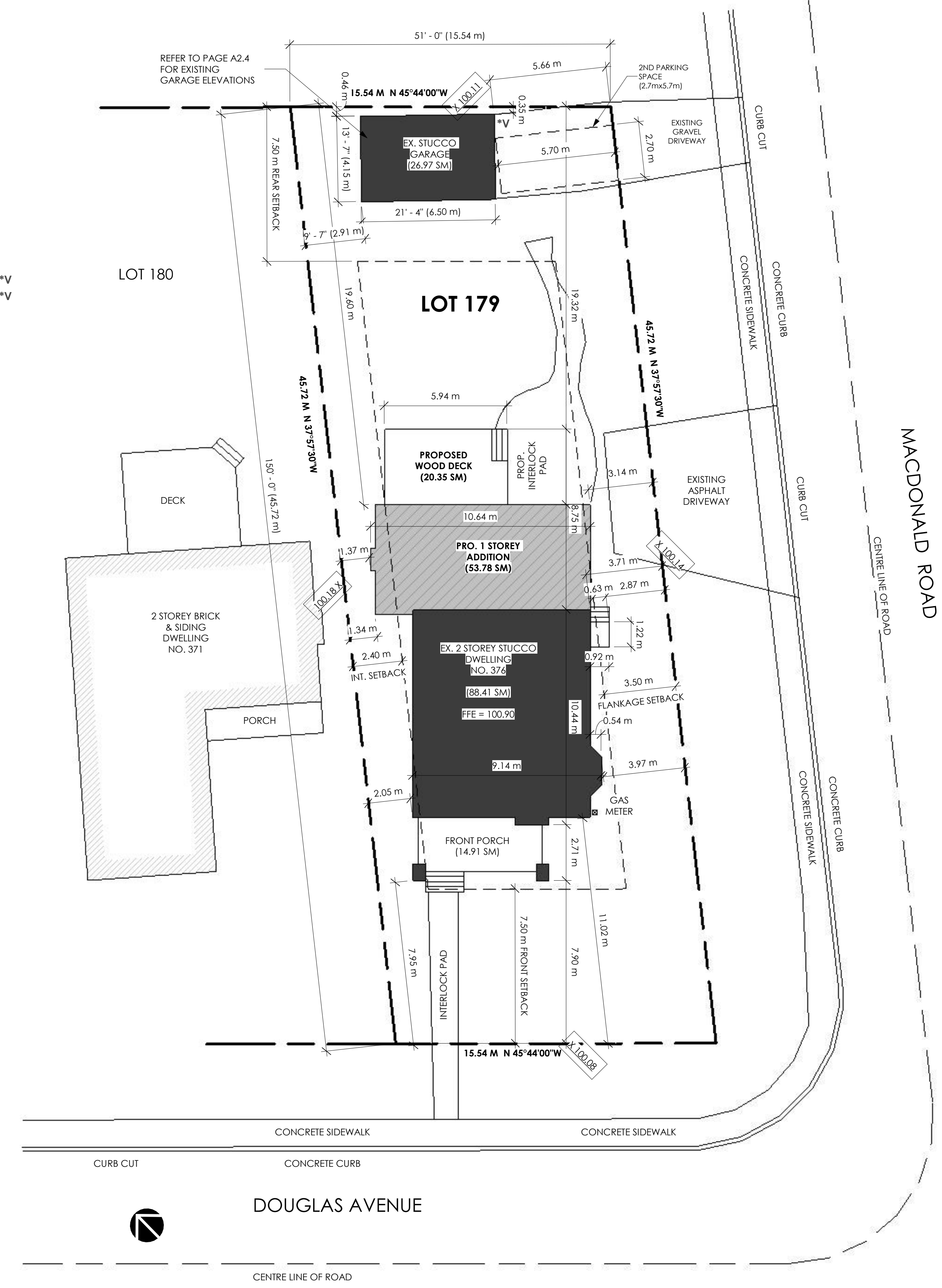
RESIDENTIAL FLOOR AREA			
	EXISTING	PROPOSED	TOTAL
BASEMENT FLOOR (NOT INCLUDED)	87.84 SM	53.22 SM	141.06 SM
GROUND FLOOR	88.41 SM	53.78 SM	142.19 SM
SECOND FLOOR	92.53 SM	N/A	92.53 SM
THIRD FLOOR	43.17 SM	N/A	43.17 SM
TOTAL RFA (42% MAX.)	224.11 SM	53.78 SM	277.89 SM (39.35%)

SETBACKS			
	BY-LAW	EXISTING	PROPOSED
FRONT SETBACK	6.5 M	7.9 M	N/A
REAR SETBACK	7.5 M	21.83 M	19.32 M
INTERIOR SETBACK	2.4 M	2.05 M	1.34 M
FLANKAGE SETBACK	3.5 M	3.42 M	3.14 M
MAX. HEIGHT	9.0 M	9.91 M	N/A



EXISTING SITE PLAN
1/16" = 1'-0"

PROPOSED SITE PLAN
3/32" = 1'-0"

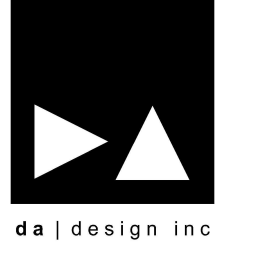


THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED CONSENT OF THE CONSULTANT. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.

- NOTES:**
- THESE DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND ARE TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ORIGINALLY PURCHASED AND BY THE ORIGINAL PURCHASER. THEY MAY NOT BE COPIED IN ANY WAY, SHAPE OR FORM, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CONSULTANT.
 - ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REQUIREMENTS, AND ANY OTHER GOVERNING AUTHORITIES.
 - DRAWINGS NOT TO BE SCALED.
 - DIMENSIONS AND SPECIFICATIONS OF ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER OR OTHER APPROVED AUTHORITY.
 - CONSULTANT DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS OF THESE DOCUMENTS, UNLESS ADVISED IN WRITING OF SUCH DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - DOOR SIZES SHOWN ON DRAWINGS DENOTE DOOR LEAF DIMENSIONS (FRAMES EXCLUDED) WHILE WINDOW SIZES DENOTE EXTERIOR FRAME DIMENSIONS UNLESS OTHERWISE NOTED.

APR/21	01	COA SUBMISSION
DATE	NO.	DESCRIPTION
DATE	ISSUED	

CONSULTANT:
da design inc.
1470 Hurontario Street
Lower Suite, Ontario
Mississauga, Ontario
L5G 3H4
447-242-0164
dan@dadesigninc.ca



CONSULTANT'S STAMP:
ONTARIO ASSOCIATION OF ARCHITECTS
LICENCED TECHNOLOGIST
DRAGAN ACIMOVIC
LICENCE 8585

ENGINEER'S STAMP:

STRUCTURAL CONSULTANT:
FARAZ FARZAM PIVOT ENGINEERING INC.
10-201 MILLWAY AVE.
CONCORD, ONTARIO L4K 5K8
T: 416-858-3648
E: FARAZ@PIVOTENGINEERING.CA

HVAC CONSULTANT:

OWNER CONTACT INFORMATION:
367 DOUGLAS AVE.
OAKVILLE, ON. L6J 3S8

PROJECT:
367 DOUGLAS AVE.
OAKVILLE, ON. L6J 3S8

PROJECT NO. 2021-0107	SCALE As indicated
DRAWN BY GC	REVIEWED BY DA
TITLE SITE PLAN	DRAWING NO.

PROPOSED REAR ADDITION & INTERIOR RENOVATION

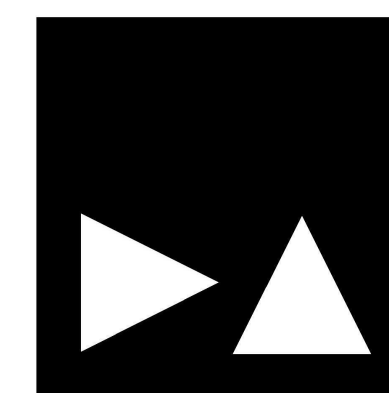
367 DOUGLAS AVE. OAKVILLE, ON. L6J 3S8



PROPOSED REAR VIEW



PROPOSED REAR VIEW



da | design inc

OWNERS:

APRIL 2021



EXISTING FRONT VIEW

EXISTING 12'1.75" (3.70M)
GARAGE HEIGHT TO PEAK



EXISTING DISTANCE TO PROPERTY LINE

EXISTING 15" (0.33M)
ROOF OVERHANG



EXISTING SHARED PROPERTY LINE VIEW



EXISTING OVERHANG

THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED CONSENT OF THE CONSULTANT. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.

NOTES:

1. THESE DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND ARE TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ORIGINALLY PURCHASED AND BY THE ORIGINAL PURCHASER. THEY MAY NOT BE COPIED IN ANY WAY, SHAPE OR FORM, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CONSULTANT.
2. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REQUIREMENTS, AND ANY OTHER GOVERNING AUTHORITIES.
4. DRAWINGS NOT TO BE SCALED.
5. DIMENSIONS AND SPECIFICATIONS OF ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER OR OTHER APPROVED AUTHORITY.
6. CONSULTANT DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS OF THESE DOCUMENTS, UNLESS ADVISED IN WRITING OF SUCH DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. DOOR SIZES SHOWN ON DRAWINGS DENOTE DOOR LEAF DIMENSIONS (FRAMES EXCLUDED) WHILE WINDOW SIZES DENOTE EXTERIOR FRAME DIMENSIONS UNLESS OTHERWISE NOTED.


APR/21	01	COA SUBMISSION


DATE	NO.	DESCRIPTION

DATE	ISSUED

CONSULTANT:
da design inc.
 1470 Hurontario Street
 Lower Suite
 Mississauga, Ontario
 L5G 3H4
 447-242-0164
 dan@dadesigninc.ca



CONSULTANT'S STAMP:


ENGINEER'S STAMP:


STRUCTURAL CONSULTANT:
 HVAC CONSULTANT:

OWNER CONTACT INFORMATION:
 367 DOUGLAS AVE.
 OAKVILLE, ON. L6J 3S8

PROJECT:
 367 DOUGLAS AVE.
 OAKVILLE, ON. L6J 3S8

PROJECT NO. 2021-0107
 SCALE
 DRAWN BY GC
 REVIEWED BY DA

TITLE: **EXISTING GARAGE**
 DRAWING NO.

THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED CONSENT OF THE CONSULTANT. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.

NOTES:

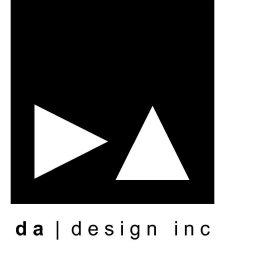
1. THESE DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND ARE TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ORIGINALLY PURCHASED AND BY THE ORIGINAL PURCHASER. THEY MAY NOT BE COPIED IN ANY WAY, SHAPE OR FORM, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CONSULTANT.
2. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REQUIREMENTS, AND ANY OTHER GOVERNING AUTHORITIES.
4. DRAWINGS NOT TO BE SCALED.
5. DIMENSIONS AND SPECIFICATIONS OF ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER OR OTHER APPROVED AUTHORITY.
6. CONSULTANT DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS OF THESE DOCUMENTS, UNLESS ADVISED IN WRITING OF SUCH DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. DOOR SIZES SHOWN ON DRAWINGS DENOTE DOOR LEAF DIMENSIONS (FRAMES EXCLUDED) WHILE WINDOW SIZES DENOTE EXTERIOR FRAME DIMENSIONS UNLESS OTHERWISE NOTED.



APR/21 01 COA SUBMISSION

DATE	NO.	DESCRIPTION

DATE	ISSUED

CONSULTANT:
da design inc.
 1470 Hurontario Street
 Lower Suite
 Mississauga, Ontario
 L5G 3H4
 447-242-0164
 dan@dadesigninc.ca



CONSULTANT'S STAMP: 	ENGINEER'S STAMP: 
--	--

STRUCTURAL CONSULTANT:
**FARAZ FARZAM
 PIVOT ENGINEERING INC.**
 10-201 MILLWAY AVE.
 CONCORD, ONTARIO L4K 5K8
 T: 416-858-3648
 E: FARAZ@PIVOTENGINEERING.CA

HVAC CONSULTANT:
 (Blank)

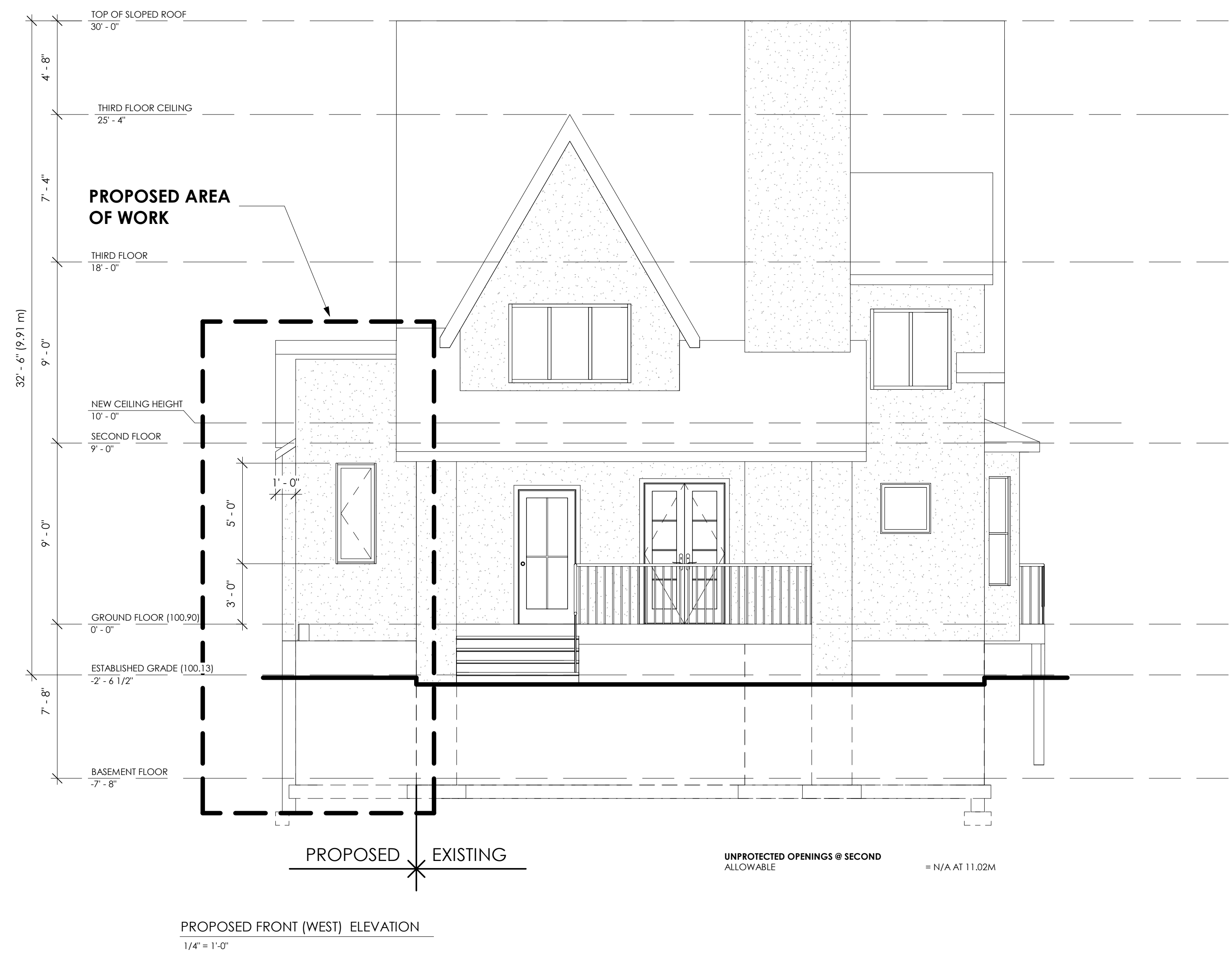
OWNER CONTACT INFORMATION:

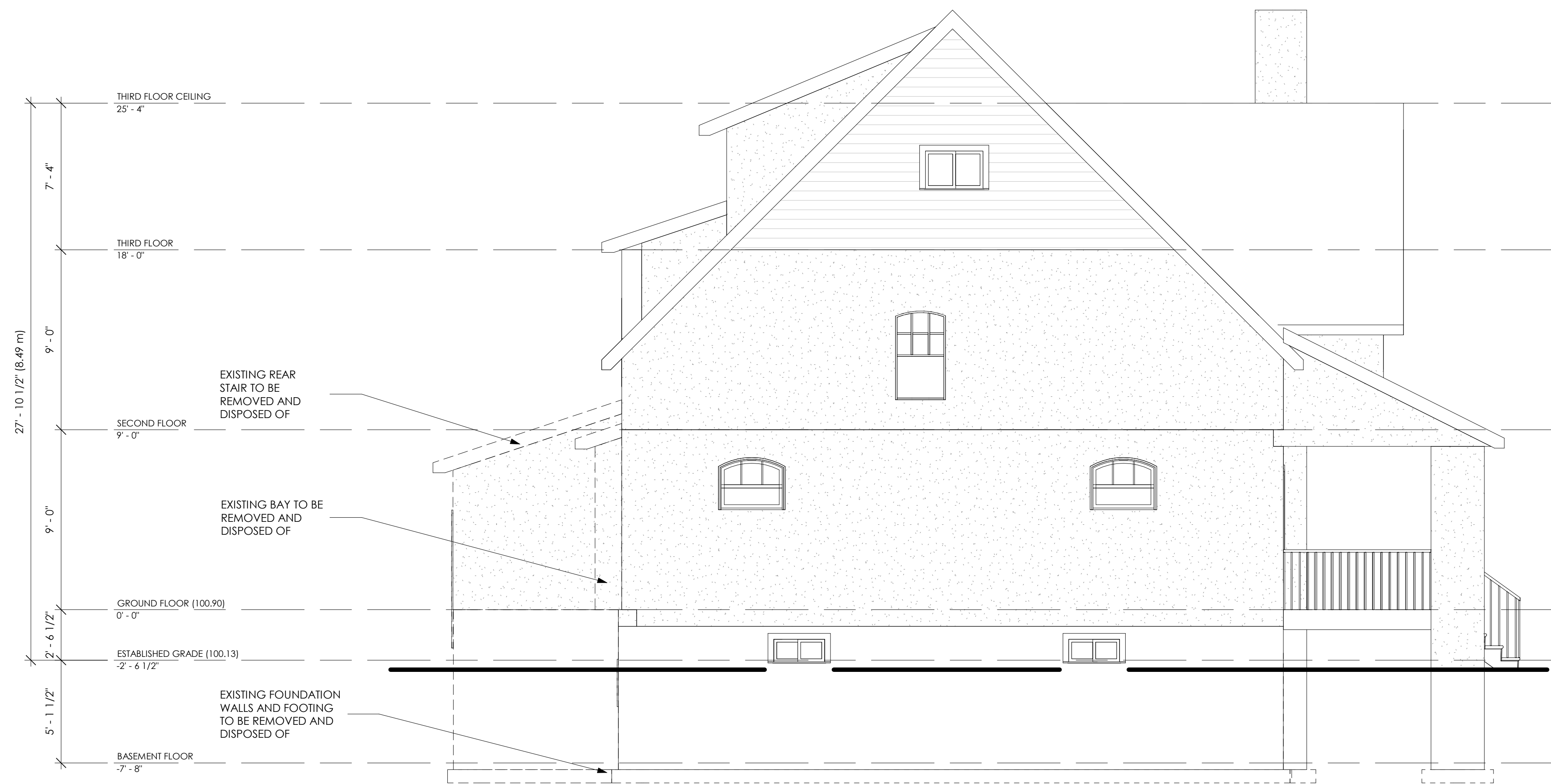
367 DOUGLAS AVE.
 OAKVILLE, ON. L6J 3S8

PROJECT:

367 DOUGLAS AVE.
 OAKVILLE, ON. L6J 3S8

PROJECT NO. 2021-0107	SCALE 1/4" = 1'-0"
DRAWN BY OB/SC/GC	REVIEWED BY DA
TITLE FRONT ELEVATION	DRAWING NO.

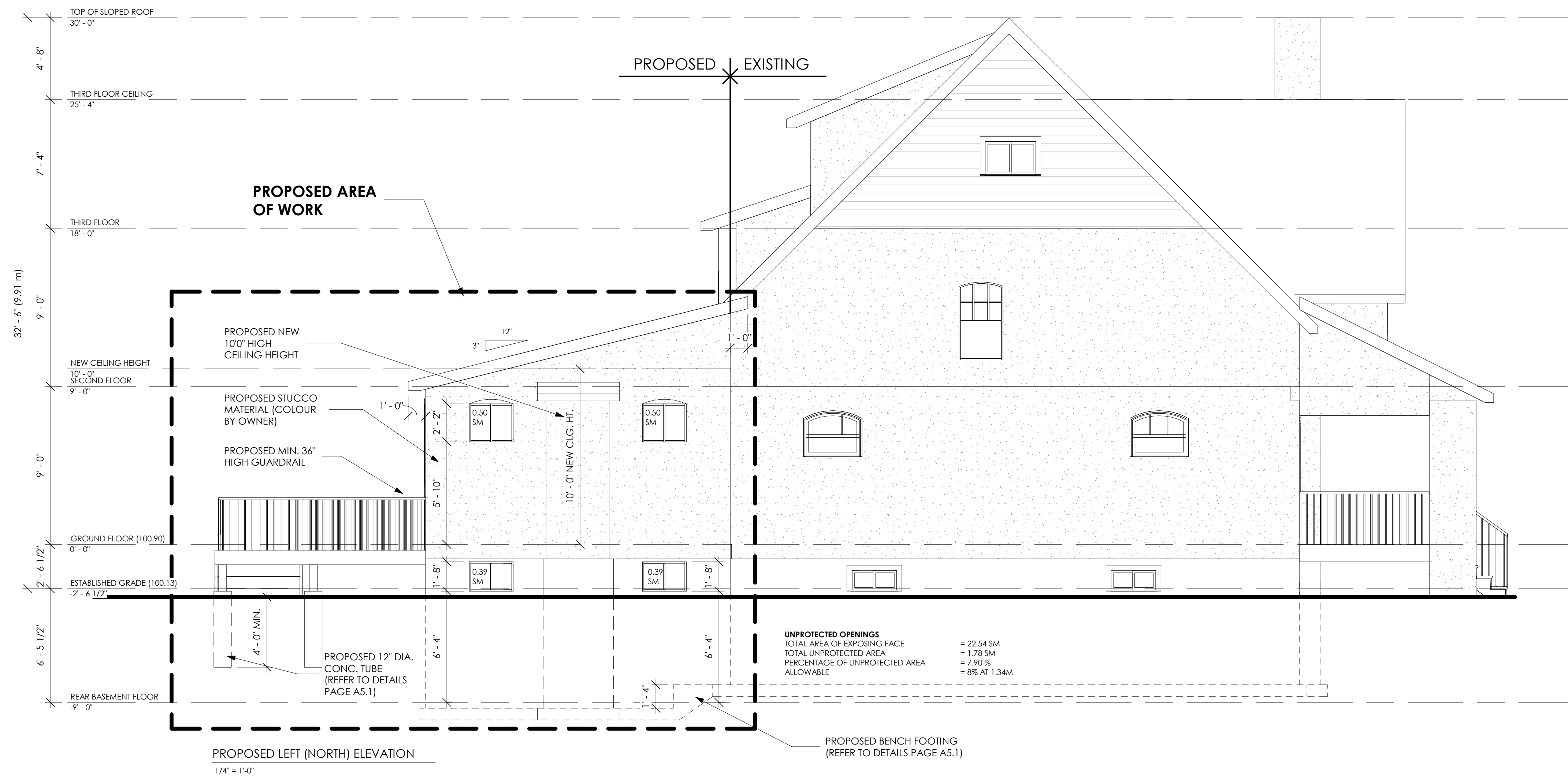




EXISTING LEFT (NORTH) ELEVATION
1/4" = 1'-0"

LEGEND

REMOVE AND DISPOSE OF EXISTING STRUCTURE (INTERIOR, EXTERIOR WALL AND/OR FOUNDATION) TO ALLOW FOR NEW CONSTRUCTION, GC TO PROVIDE TEMPORARY SHORING AS REQUIRED.



PROPOSED LEFT (NORTH) ELEVATION
1/4" = 1'-0"

UNPROTECTED OPENINGS
 TOTAL AREA OF EXPOSING FACE = 22.54 SM
 TOTAL UNPROTECTED AREA = 1.78 SM
 PERCENTAGE OF UNPROTECTED AREA = 7.90 %
 ALLOWABLE = 8% AT 1.34M

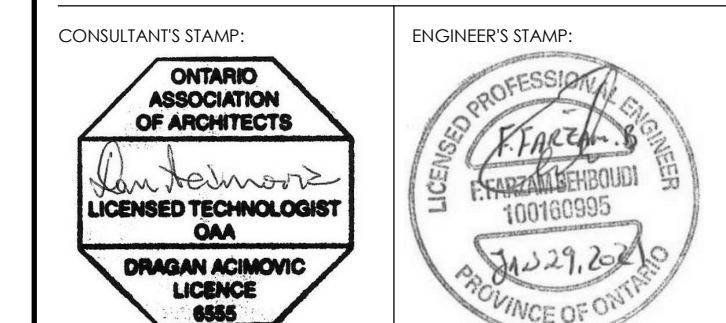
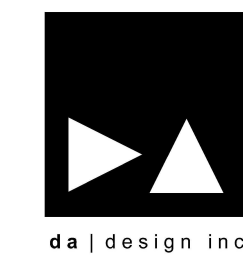
THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED CONSENT OF THE CONSULTANT. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.

NOTES:

1. THESE DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND ARE TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ORIGINALLY PURCHASED AND BY THE ORIGINAL PURCHASER. THEY MAY NOT BE COPIED IN ANY WAY, SHAPE OR FORM, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CONSULTANT.
2. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REQUIREMENTS, AND ANY OTHER GOVERNING AUTHORITIES.
4. DRAWINGS NOT TO BE SCALED.
5. DIMENSIONS AND SPECIFICATIONS OF ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER OR OTHER APPROVED AUTHORITY.
6. CONSULTANT DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS OF THESE DOCUMENTS, UNLESS ADVISED IN WRITING OF SUCH DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. DOOR SIZES SHOWN ON DRAWINGS DENOTE DOOR LEAF DIMENSIONS (FRAMES EXCLUDED) WHILE WINDOW SIZES DENOTE EXTERIOR FRAME DIMENSIONS UNLESS OTHERWISE NOTED.

APR/21	01	COA SUBMISSION
DATE	NO.	DESCRIPTION
DATE	ISSUED	

CONSULTANT:
da design inc.
 1470 Hurontario Street
 Lower Suite
 Mississauga, Ontario
 L5G 3H4
 447 242 0164
 dan@dadesigninc.ca



STRUCTURAL CONSULTANT:
**FARAZ FARZAM
 PIVOT ENGINEERING INC.**
 10-201 MILLWAY AVE.
 CONCORD, ONTARIO L4K 5K8
 T: 416-858-3648
 E: FARAZ@PIVOTENGINEERING.CA

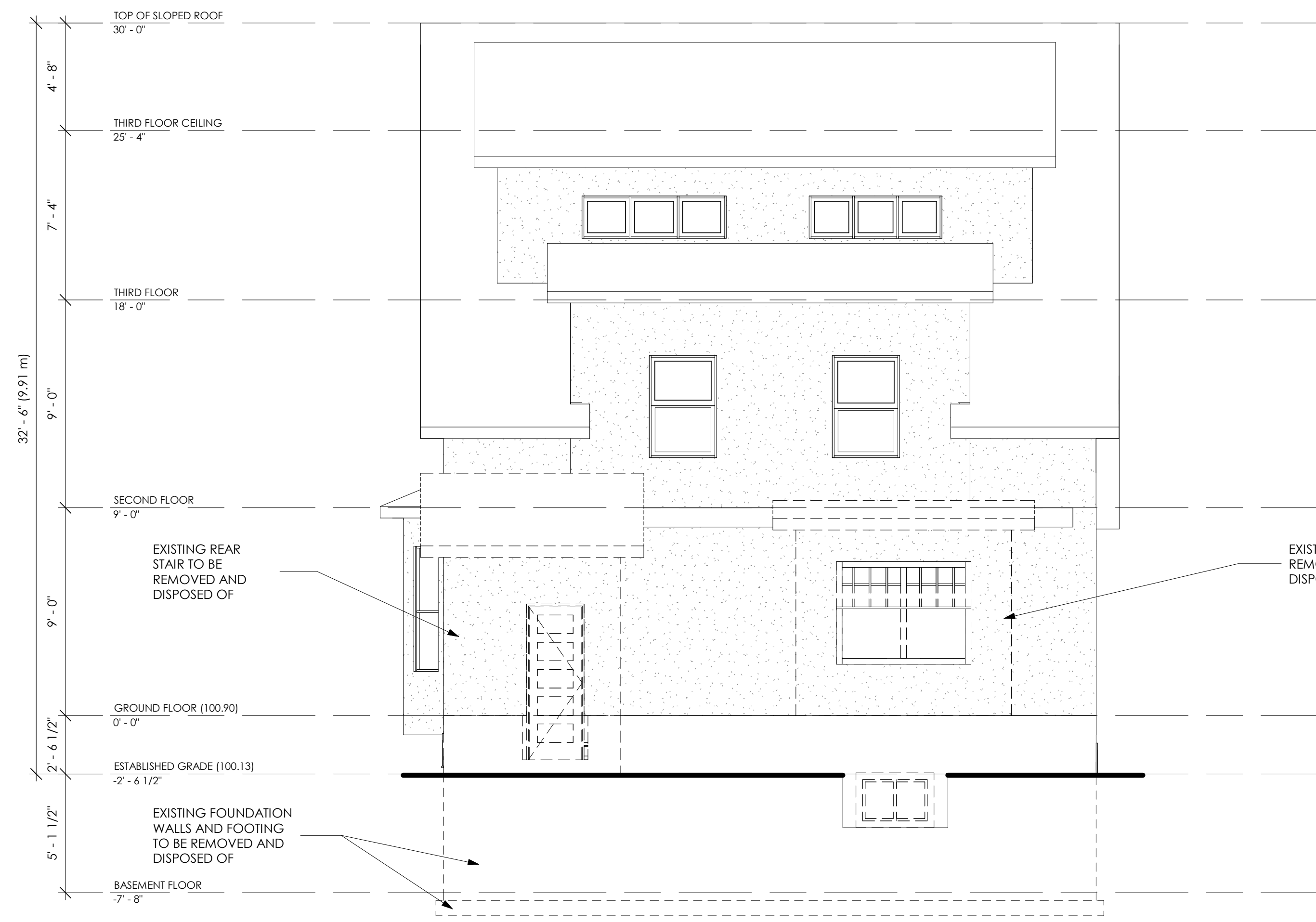
OWNER CONTACT INFORMATION:
 367 DOUGLAS AVE.
 OAKVILLE, ON. L6J 3S8

367 DOUGLAS AVE.
 OAKVILLE, ON. L6J 3S8

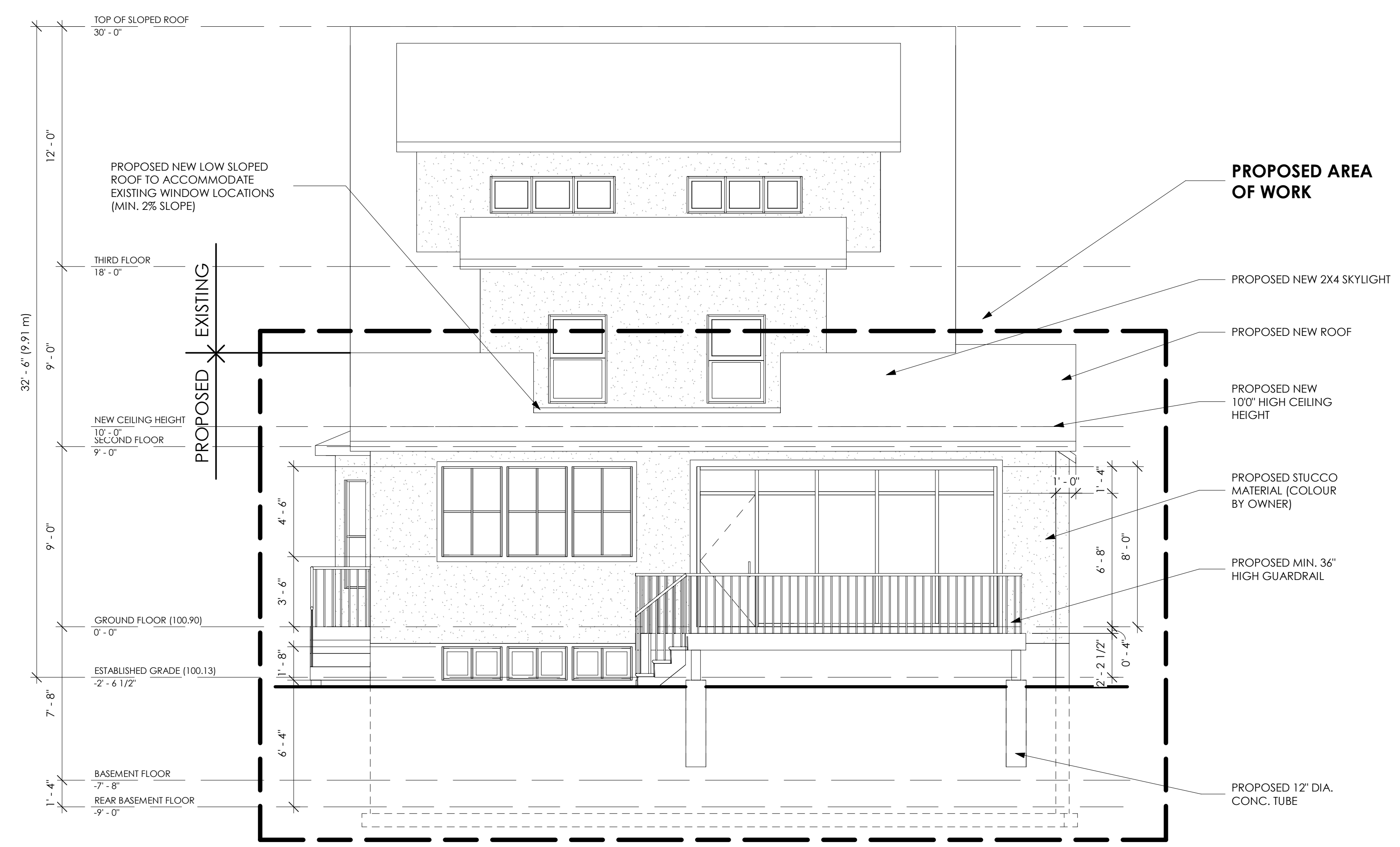
PROJECT NO.	SCALE
2021-0107	1/4" = 1'-0"
DRAWN BY	REVIEWED BY
OB/SC/GC	DA
TITLE	DRAWING NO.

LEFT SIDE ELEVATIONS

A3.2



EXISTING REAR (EAST) ELEVATION
1/4" = 1'-0"



PROPOSED REAR (EAST) ELEVATION
1/4" = 1'-0"

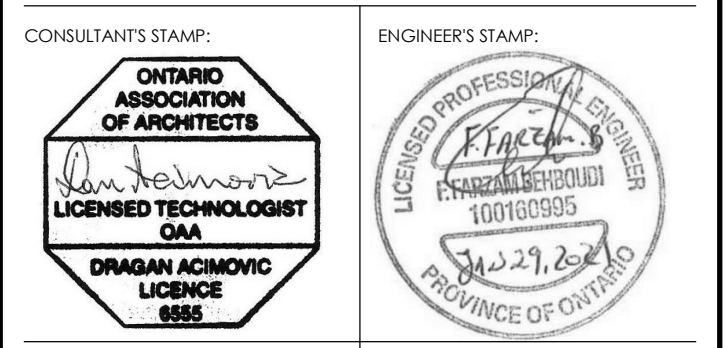
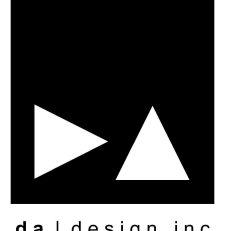
THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED CONSENT OF THE CONSULTANT. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.

NOTES:

1. THESE DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND ARE TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ORIGINALLY PURCHASED AND BY THE ORIGINAL PURCHASER. THEY MAY NOT BE COPIED IN ANY WAY, SHAPE OR FORM, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CONSULTANT.
2. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REQUIREMENTS, AND ANY OTHER GOVERNING AUTHORITIES.
4. DRAWINGS NOT TO BE SCALED.
5. DIMENSIONS AND SPECIFICATIONS OF ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER OR OTHER APPROVED AUTHORITY.
6. CONSULTANT DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS OF THESE DOCUMENTS, UNLESS ADVISED IN WRITING OF SUCH DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. DOOR SIZES SHOWN ON DRAWINGS DENOTE DOOR LEAF DIMENSIONS (FRAMES EXCLUDED) WHILE WINDOW SIZES DENOTE EXTERIOR FRAME DIMENSIONS UNLESS OTHERWISE NOTED.

APR/21	01	COA SUBMISSION
DATE	NO.	DESCRIPTION
DATE	ISSUED	

CONSULTANT:
da design inc.
1470 Hurontario Street
Lower Suite
Mississauga, Ontario
L5G 3H4
447-242-0164
dan@dadesigninc.ca



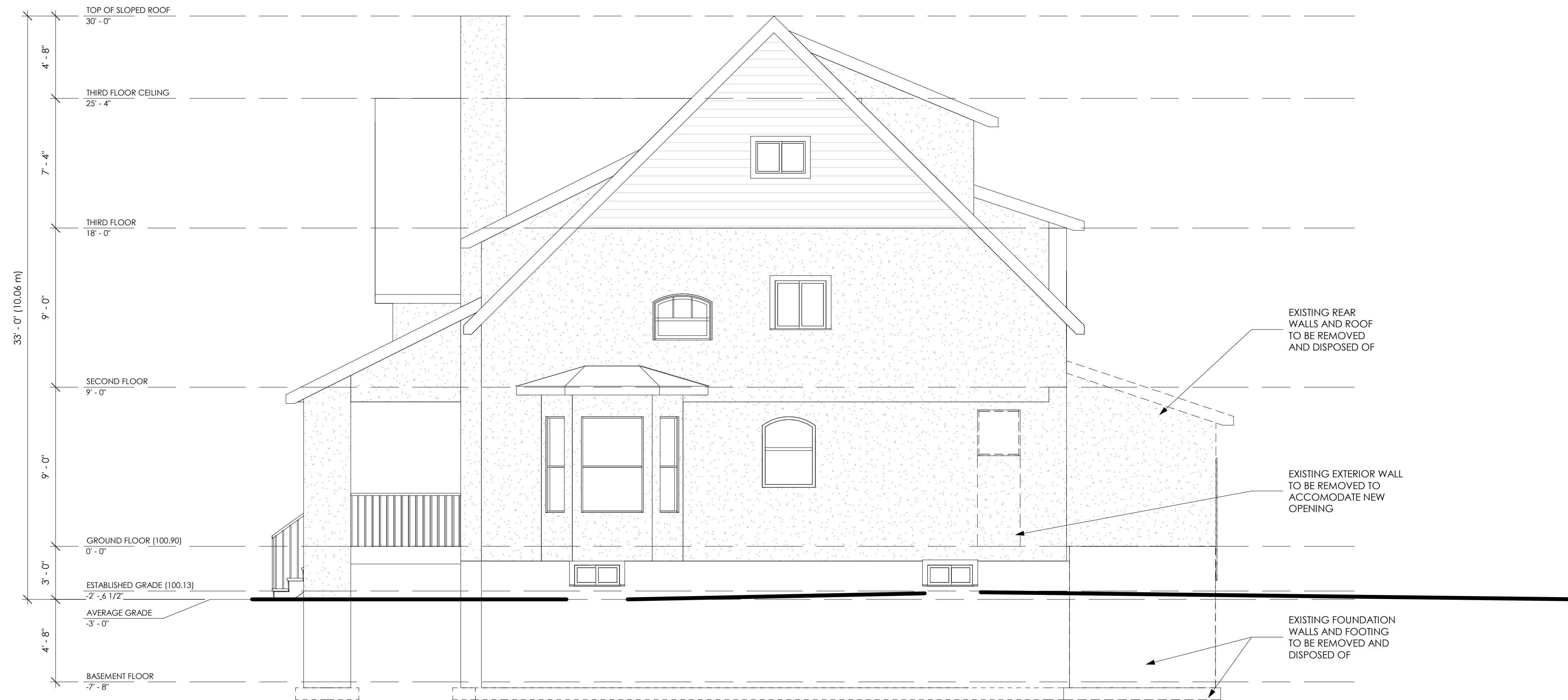
STRUCTURAL CONSULTANT:
**FARAZ FARZAM
PIVOT ENGINEERING INC.**
10-201 MILLWAY AVE.
CONCORD, ONTARIO L4K 5K8
T: 416-858-3648
E: FARAZ@PIVOTENGINEERING.CA

OWNER CONTACT INFORMATION:
OAKVILLE, ON. L6J 3S8

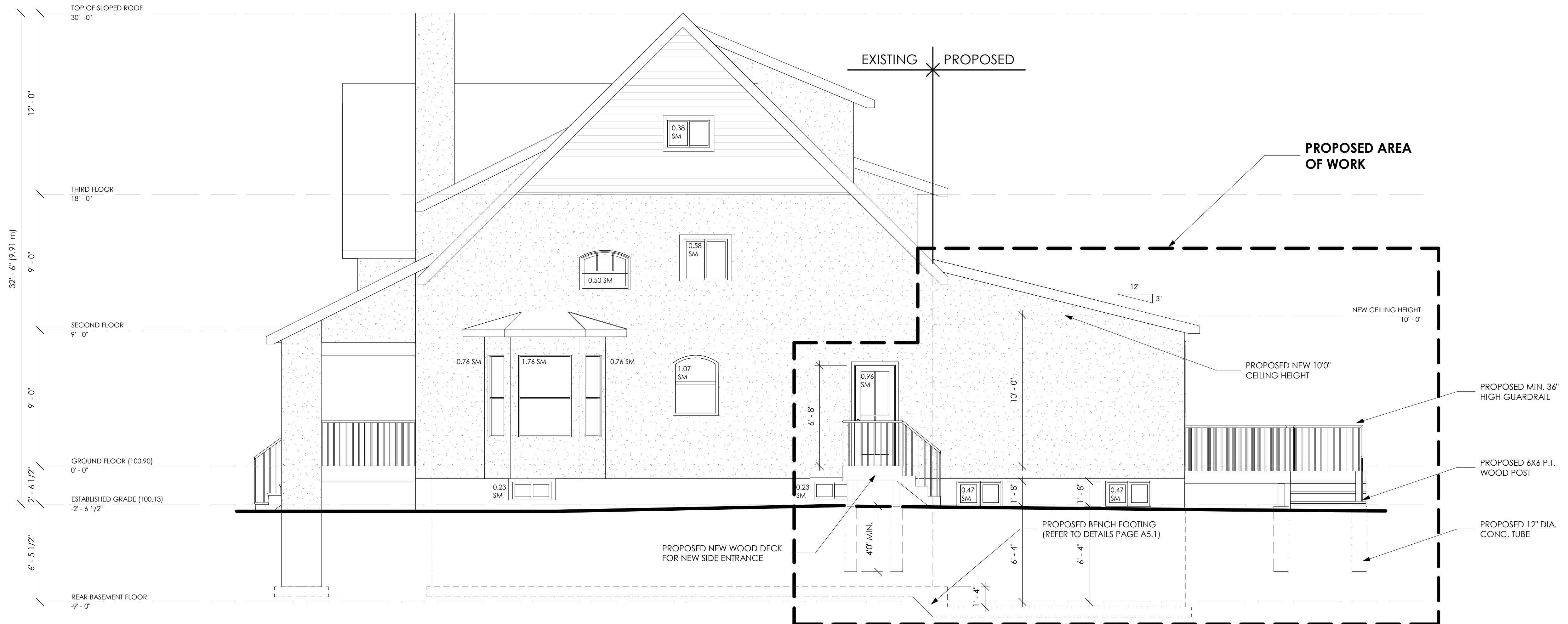
PROJECT:
367 DOUGLAS AVE.
OAKVILLE, ON. L6J 3S8

PROJECT NO. 2021-0107	SCALE 1/4" = 1'-0"
DRAWN BY OB/SC/GC	REVIEWED BY DA
TITLE REAR ELEVATIONS	DRAWING NO.

A3.3



EXISTING RIGHT (SOUTH) ELEVATION
1/4" = 1'-0"



PROPOSED RIGHT (SOUTH) ELEVATION
1/4" = 1'-0"

UNPROTECTED OPENINGS	
TOTAL AREA OF EXPOSING FACE	= 94.09 SM
TOTAL UNPROTECTED AREA	= 8.17 SM
PERCENTAGE OF UNPROTECTED AREA ALLOWABLE	= 8.68 %
	= 13% AT 3.14M

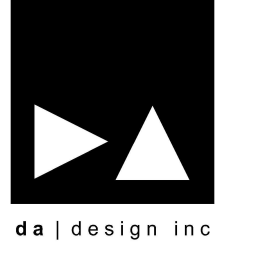
THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED CONSENT OF THE CONSULTANT. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE CONSULTANT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.

NOTES:

1. THESE DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND ARE TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ORIGINALLY PURCHASED AND BY THE ORIGINAL PURCHASER. THEY MAY NOT BE COPIED IN ANY WAY, SHAPE OR FORM, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CONSULTANT.
2. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REQUIREMENTS, AND ANY OTHER GOVERNING AUTHORITIES.
4. DRAWINGS NOT TO BE SCALED.
5. DIMENSIONS AND SPECIFICATIONS OF ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER OR OTHER APPROVED AUTHORITY.
6. CONSULTANT DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS OF THESE DOCUMENTS, UNLESS ADVISED IN WRITING OF SUCH DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. DOOR SIZES SHOWN ON DRAWINGS DENOTE DOOR LEAF DIMENSIONS (FRAMES EXCLUDED) WHILE WINDOW SIZES DENOTE EXTERIOR FRAME DIMENSIONS UNLESS OTHERWISE NOTED.

APR/21	01	COA SUBMISSION
DATE	NO.	DESCRIPTION
DATE	ISSUED	

CONSULTANT:
da design inc.
1470 Hurontario Street
Lower Suite
Mississauga, Ontario
L5G 3H4
447-242-0164
dan@dadesigninc.ca



CONSULTANT'S STAMP: 	ENGINEER'S STAMP:
-------------------------	-----------------------

STRUCTURAL CONSULTANT:
**FARAZ FARZAM
PIVOT ENGINEERING INC.**
10-201 MILLWAY AVE.
CONCORD, ONTARIO L4K 5K8
T: 416-858-3648
E: FARAZ@PIVOTENGINEERING.CA

HVAC CONSULTANT:
**FARAZ FARZAM
PIVOT ENGINEERING INC.**
10-201 MILLWAY AVE.
CONCORD, ONTARIO L4K 5K8
T: 416-858-3648
E: FARAZ@PIVOTENGINEERING.CA

OWNER CONTACT INFORMATION:
OAKVILLE, ON. L6J 3S8

PROJECT:
**367 DOUGLAS AVE.
OAKVILLE, ON. L6J 3S8**

PROJECT NO. 2021-0107	SCALE 1/4" = 1'-0"
DRAWN BY OB/SC/GC	REVIEWED BY DA
TITLE RIGHT SIDE ELEVATIONS	DRAWING NO.