

# Appendix B

DRAFT OPA

## THE CORPORATION OF THE TOWN OF OAKVILLE

### BY-LAW NUMBER 2021-XXX

Official Plan Amendment Number XX

A by-law to adopt an amendment to the Livable Oakville Plan, Official Plan Amendment Number XX (Town of Oakville, 530, 550, 588 Kerr Street, and, 131, 171 Speers Road; File XX.XX.XXX)

WHEREAS the Livable Oakville Official Plan, which applies to the lands west of Kerr Street and north of Speers Road, was adopted by Council on June 22, 2009, and approved with modifications adjudicating the majority of appeals by the Ontario Municipal Board on May 10, 2011; and,

WHEREAS subsection 21(1) of the *Planning Act*, R.S.O. 1990, C.P.13, as amended, states that a council of a municipality that is within a planning area may initiate an amendment to any official plan that applies to the municipality, and section 17 applies to any such amendment; and,

WHEREAS it is deemed necessary to pass an amendment to the Livable Oakville Plan to implement the comprehensive development plan on the lands municipally known in the year 2021 as 530, 550, 588 Kerr Street and 131, 171 Speers Road.

#### COUNCIL ENACTS AS FOLLOWS:

1. The attached Amendment Number XX to the Livable Oakville Plan is hereby adopted.
2. Pursuant to subsection 17(27) of the Planning Act, R.S.O. 1990, c.P.13, as amended, this Official Plan Amendment comes into effect upon the day after the last day for filing a notice of appeal, if no appeal is filed pursuant to subsections 17(24) and (25). Where one or more appeals have been filed under subsection 17(24) and (25) of the said Act, as amended, this Official Plan Amendment comes into effect when all such appeals have been withdrawn or finally disposed of.
3. In the event that the Regional Municipality of Halton, being the Approval Authority, declares this Official Plan Amendment to be not exempt, the Clerk is hereby authorized and directed to make application to the Approval Authority for approval of the aforementioned Amendment Number XX to the Livable Oakville Official Plan.

PASSED this \_\_ day of \_\_\_\_\_, 2021

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

Town of Oakville By-law No. XX-2021

**AMENDMENT NO. XXX TO THE OFFICIAL PLAN**

**LANDS MUNICIPALLY KNOWN IN THE YEAR 2021 AS 530, 550, 588 Kerr Street, and 131, 171 Speers Road**

The Official Plan of the Town of Oakville is amended as follows:

1. Repealing and replacing Official Plan Policies 23.7.1 and 23.8.2 a) with the following policies to apply to the lands identified in Schedule A:
  - a. The overall development of the lands shall be in accordance with a Comprehensive Development Plan attached in Schedule A. The Comprehensive Development Plan is conceptual and the precise location and dimensions of blocks, buildings, open spaces and streets may vary through site specific development applications.
  - b. Area Policies

The following policies apply to the comprehensive development on the areas identified in Schedule B:

- i. Area A
  - A maximum building height of 26 storeys is permitted as shown on Schedule C.
  - A maximum of FSI of 4.5 is permitted.
  - A minimum non-residential area of 500 m<sup>2</sup> is required.
  - At-grade animated frontages are encouraged where buildings front Kerr Street and Shepherd Road extension, as shown on Schedule A.
  - Active frontages and at-grade retail are required for portions of buildings fronting the proposed Shepherd Road extension, as shown on Schedule A.
- ii. Area B
  - A maximum building height of 24 storeys is permitted as shown on Schedule C.
  - A maximum FSI of 4.4 is permitted.
  - A minimum non-residential floor area of 950 m<sup>2</sup> is required.

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- At-grade animated frontages are encouraged where buildings front Kerr Street and the private street, as shown on Schedule A.
- Active frontages and at-grade retail are encouraged for portions of buildings fronting the proposed Shepherd Road extension, as shown on Schedule A.
- Architecture treatment will be provided to ensure the buildings framing the streets and public space are human-scaled and the height and bulk of the building above 6 storeys is mitigated.
- Where the policies above conflict with any other Official Plan policies or urban design direction, the above shall prevail.

### iii. Area C

- A maximum building height of 28 storeys is permitted, as shown on Schedule C.
- A maximum FSI of 3.6 is permitted.
- A minimum non-residential gross floor area of 2000 m<sup>2</sup> is required.
- At-grade animated frontages are encouraged where buildings front midblock connections and private street, as shown on Schedule A.
- Active frontages and at-grade retail are required for portions of buildings fronting Kerr Street and Speers Road, as shown on Schedule A.

### iv. Area D

- A maximum building height of 23 storeys is permitted as shown on Schedule C.
- A maximum FSI of 2.3 is permitted.
- A minimum non-residential gross floor area of 500 m<sup>2</sup> is required.
- At-grade animated frontages are encouraged where buildings front private roads and the future St. Augustine Drive extension, as shown on Schedule A.
- Active frontages and at-grade retail are required for portions of buildings fronting Speers Road, as shown on Schedule A.

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- v. All areas
- A minimum density of 1.5 FSI will be required within each of the Areas identified in Schedule B.
  - A maximum FSI of 3.4 of development is permitted for the lands outlined in Schedule B.
  - Increases up to 10 percent of the maximum **FSI** occupied uses permitted within each Area identified above, provided the maximum **FSI** occupied in all **buildings** provided on Areas A, B, C and D as shown on Schedule B does not exceed 3.4 FSI.
  - Tower floorplates will be no more than 770 m<sup>2</sup> with tower walls no longer than 40 metres.
  - Balconies will be permitted to encroach into any setback, stepback, or separation distance provisions.
  - Building podiums may be up to 8 storeys in height and a stepback will be provided at no higher than 6 storeys.
  - Parking structures above the first storey may be located to the full extent of the outer walls of the first storey with an architectural treatment wrapping the façade.

c. Parks and Open Space

- i. A one-acre public park shall be provided in the approximate centre of the development block, which will, in part, be located on the Area B, Area C, and Area D lands.
- ii. The parkland delivered through this redevelopment shall be dedicated to the Town of Oakville in a stratified form and is conceptually located in Schedule C.
- A total of 4,037 m<sup>2</sup> (1 acre) of park space shall be delivered, located on the each of Area B, Area C, and Area D lands, as conceptually shown on Schedule D.
  - Parkland may be delivered in a phased and interim manner across parcels B, C and D lands.
  - The precise location and configuration of the park space will be determined at the site-specific development application stage.
- iii. Publicly accessible pedestrian connections will be provided as identified on the Comprehensive Development Plan and as shown on Schedule D.

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- d. Urban Square (POPS)
  - i. An urban square shall be provided at the northwest corner of Kerr Road and Speers Street, at a minimum area of 500 m<sup>2</sup>. The urban square location is conceptually shown on Schedule D.
- e. Streets and Parking
  - i. Shepherd Road and St Augustine Drive will be extended through the site as a public road and will be secured during the development application stage for Areas A, B, and D as shown on Schedule D.
  - ii. A private road, designed to Town of Oakville road standards, will provide internal access within Areas B, C, D as shown on Schedule D.
  - iii. A reduced parking ratio will be permitted on the development block to support policy objectives for increasing transit use and active transportation in Kerr Village, and will be established at the development application stage
  - iv. Underground parking for private use will be permitted below private roads that are internal to the development block and below the Park.
- f. A non-sensitive land use may be located adjacent to the rail corridor, located on the Area A and D lands.
- g. The development block shall be identified as a Class 4 area pursuant to the Environmental Noise Guideline – Stationary and Transportation Sources – Approval and Planning (NPC 300) issued by the Ministry of the Environment and Climate Change.
- h. Redevelopment in accordance with a) and b), above, will only occur upon confirmation of adequate water and wastewater services, the suitability of the adjoining roads to accommodate traffic and the submission of a phasing plan.
- i. Redevelopment in accordance with a), above, will be subject to the urban design guidelines outlined in the *Livable by Design Manual Part A and Part B: Urban Design Direction for Kerr Village Growth Area*.

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- j. Notwithstanding the above, the lands may continue to be used for the existing retail/commercial uses until such time as phased redevelopment across the site occurs.
- k. At the time of submission of a site-specific development application for any of the lands in Areas A, B, C, and D, a phasing plan is required that demonstrates how the development application can be realized without precluding the implementation of the overall development potential outlined in the Comprehensive Development Plan, the manner in which infrastructure and parkland will be provided and that there is no undue adverse impact on the continued operation of remaining existing uses.
- l. At the time of submission of a site-specific development application and as part of filing a complete application for development within any of the lands in Areas A,B,C, and D, the current and/or future owners of 530, 550, 588 Kerr Street, and 131, 171 Speers Road are required to become a party to the cost sharing agreement or provide the Town with an acknowledgement from a Trustee of a cost sharing agreement that the benefitting landowner has made satisfactory arrangements to pay its proportion of the shared development costs.
- m. Bonusing provisions to be added.

# Schedule A Comprehensive Development Plan




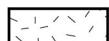
SHEPHERD ROAD



KERR STREET




 Tower Zone

**530, 550, 588 Kerr Street  
& 131, 171 Speers Road**

**Legend**

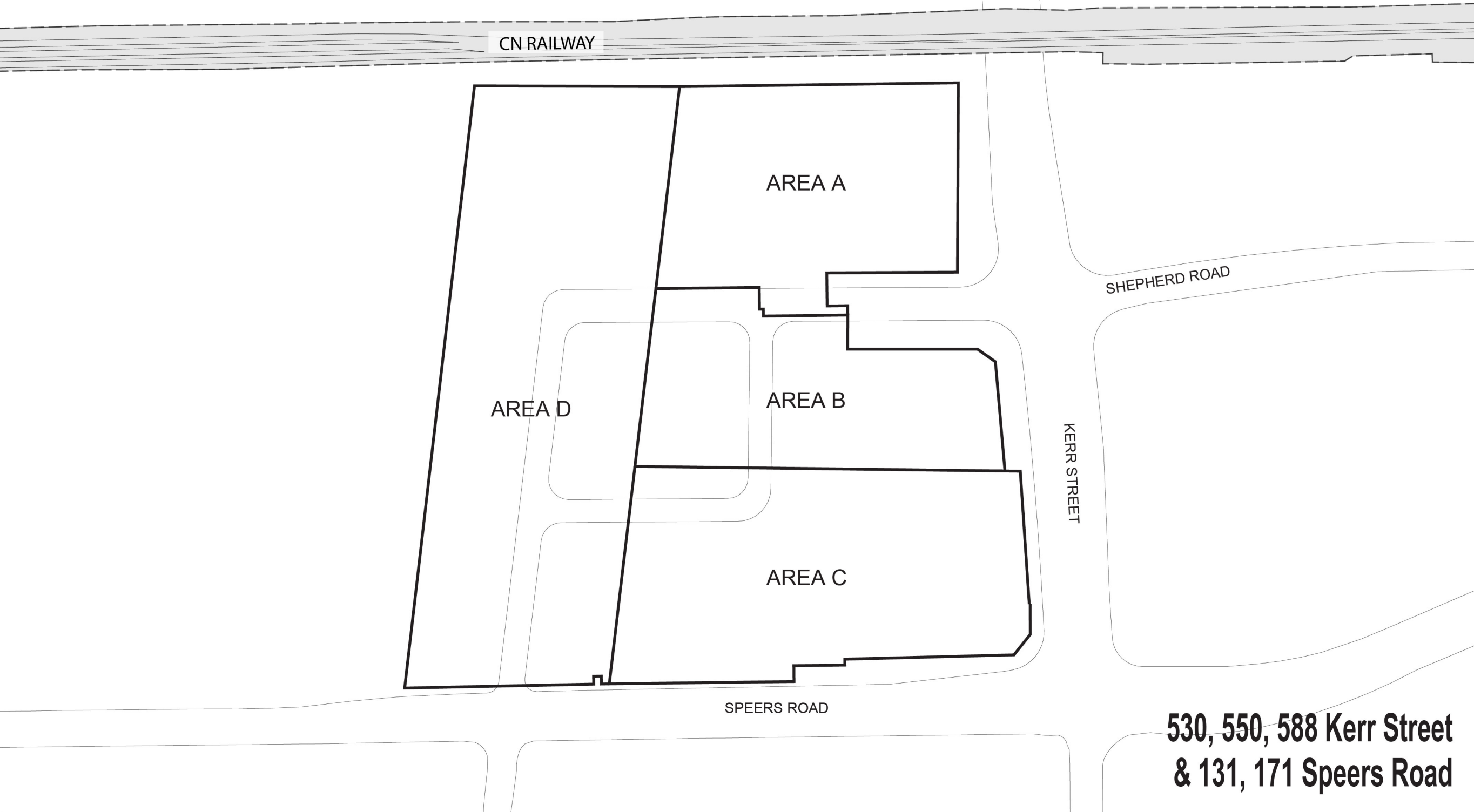
-  30m No Residential Zone
-  Park

-  Open Space
-  Potential Grocery Store

-  Potential Parking Structure
-  At Grade Retail and Active Frontages
-  At Grade Animated Frontages



# Schedule B Development Blocks



**530, 550, 588 Kerr Street  
& 131, 171 Speers Road**

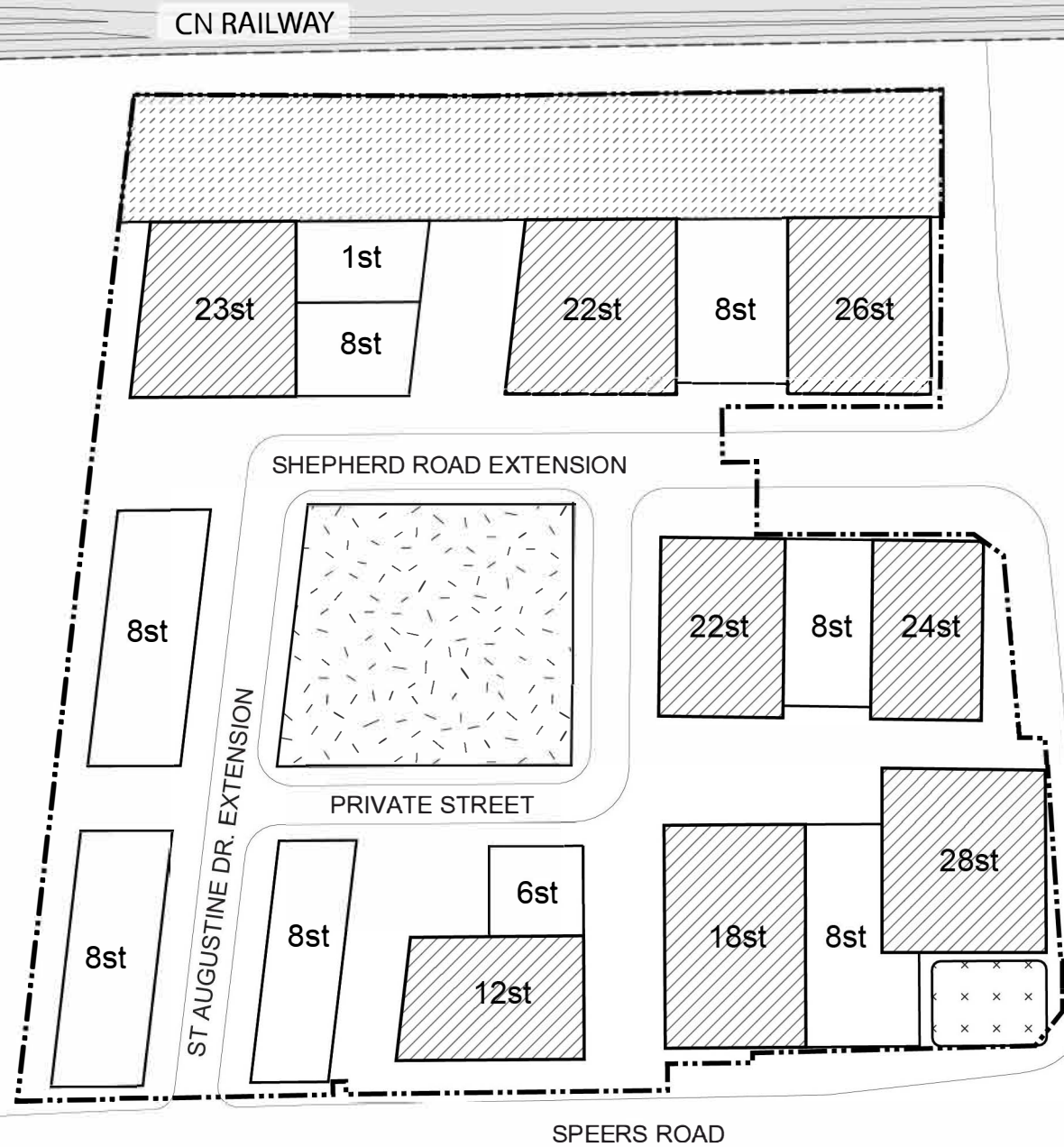
## Legend

 Development Blocks





# Schedule C Max Heights



SHEPHERD ROAD

KERR STREET

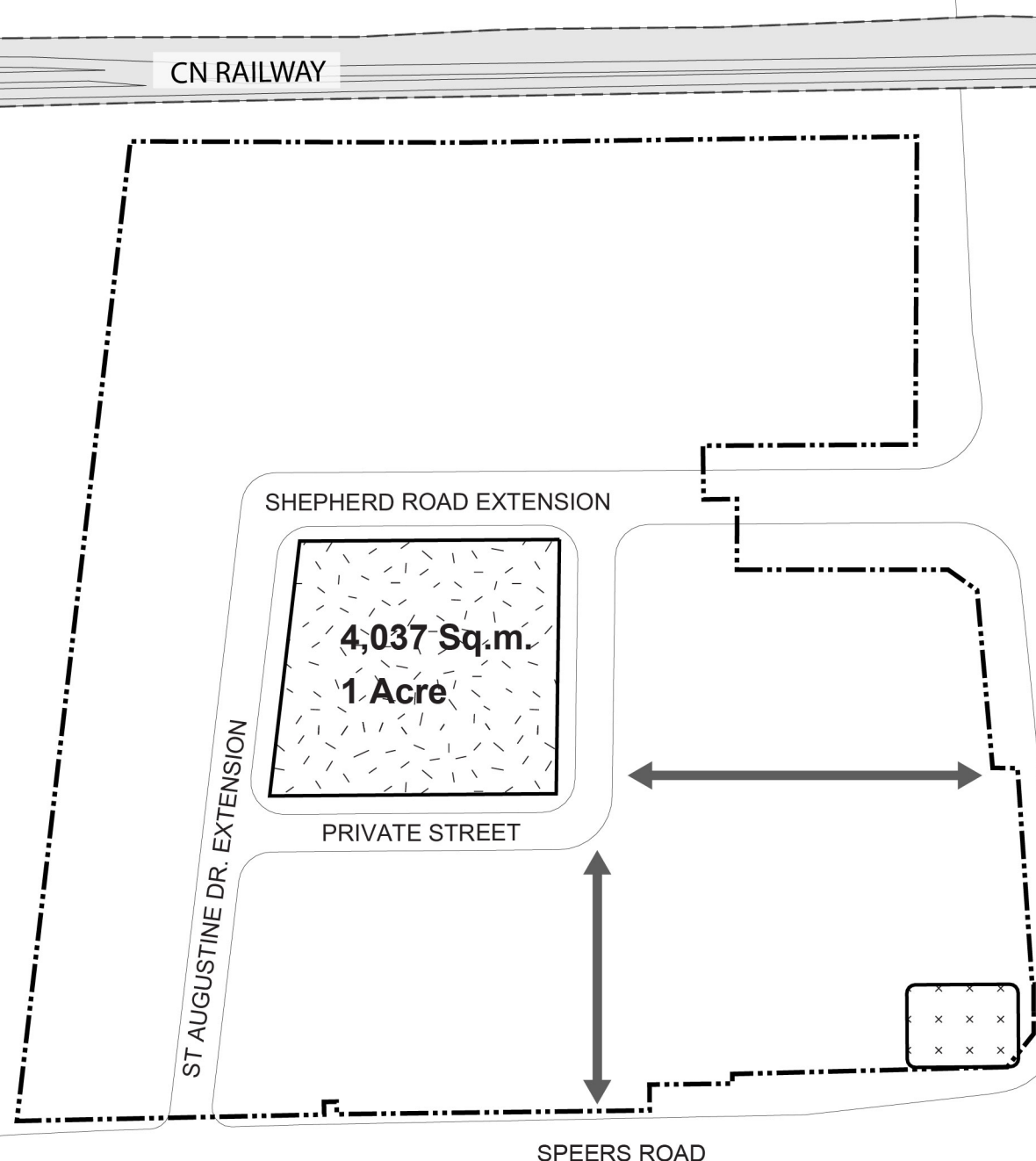
**530, 550, 588 Kerr Street  
& 131, 171 Speers Road**

## Legend

-  30m No Residential Zone
-  Open Space
-  Tower Zone
-  Park
-  Podium Zone



# Schedule D Parks and Open Space



SHEPHERD ROAD

CN RAILWAY

SHEPHERD ROAD EXTENSION

ST AUGUSTINE DR. EXTENSION

4,037 Sq.m.  
1 Acre

PRIVATE STREET

KERR STREET

SPEERS ROAD

**530, 550, 588 Kerr Street  
& 131, 171 Speers Road**

## Legend

Park

Open Space

Mid-block Connection

