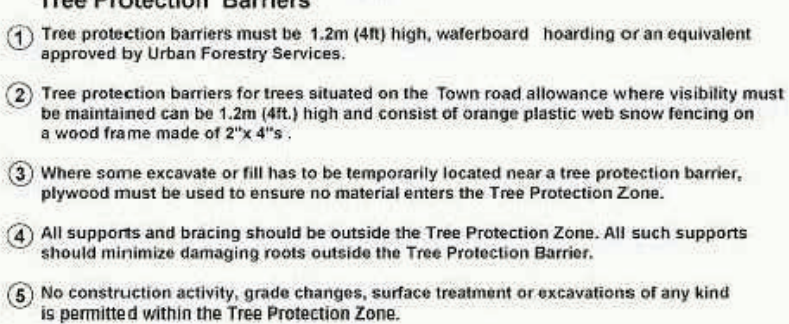
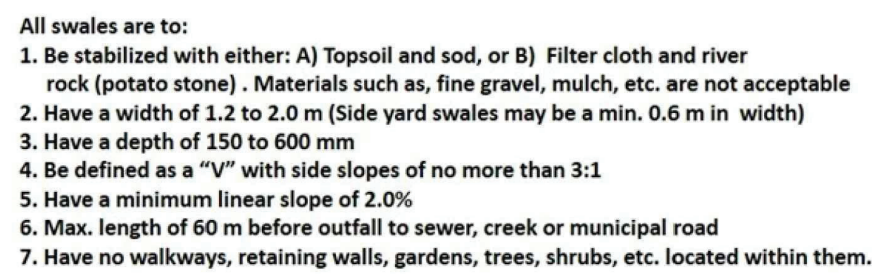
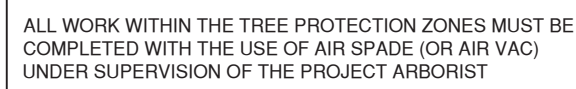


SITE STATISTICS			
ADDRESS:	541 Sandmere Place		
ZONING:	RL3-O		
LOT AREA	Proposed	703.78 m ²	Required 557.5 m ²
LOT FRONTAGE		20.08 m	18.00 m ²
ESTABLISHED GRADE			N/A
HEIGHT TO MID-POINT		N/A m	N/A
HEIGHT TO HIGHEST RIDGE		8.79 m	9.00 m
HEIGHT TO EAVE		N/A m	N/A
RFA (FLOOR AREA)			
GROUND FLOOR	Proposed	134.87 m ²	Required N/A
SECOND FLOOR		156.39 m ²	N/A
GARAGE (NOT INCL.)		39.51 m ²	N/A
SUBTOTAL		291.26 m²	N/A
OPEN AREAS (TO BE DEDUCTED)		14.19 m ²	
TOTAL RFA		277.07 m²	285.9 m ²
RFA TO LOT AREA (MAX 41%)		39.37 %	41 %
LOT COVERAGE			
DWELLING FOOTPRINT (INCL GARAGE)	Proposed	174.38 m ²	Required N/A
FRONT PORCH		2.84 m ²	N/A
REAR PORCH		45.23 m ²	N/A
OTHER		10.53 m ²	N/A
TOTAL LOT COVERAGE:		232.98 m²	246.32 m ²
MAX ALLOWED = 35%	=	33.10 %	35 %
SETBACKS			
FRONT YARD	Proposed	8.56 m	Required 8.56 m
FLANKAGE YARD		2.09 m	1.2 m
INTERIOR SIDE YARD		2.71 m	1.2 m
REAR YARD		7.1 m	7.5 m



Name: Tree Protection Barriers	 OAKVILLE	Town of Oakville Parks and Recreation Department Drawn by: Planning Services Department Drafting and Design Office	
Date: February 2002			
Scale: N.T.S.			
File No: *			



ANY EXCAVATION FOR VERIFICATION OF THE EXISTING
SANITARY LATERAL MUST BE DONE UNDER THE
SUPERVISION OF THE PROJECT ARBORIST. IN THE CASE IT
MUST BE REPLACED, IT MUST BE OUTSIDE THE MINIMUM
TREE PROTECTION ZONE OF ALL TREES. IF RELOCATION
OUTSIDE THE TREE PROTECTION ZONES CANNOT BE
ACHIEVED, IT SHALL BE INSTALLED USING A TRENCHLESS
METHOD, SUCH AS DIRECTIONAL BORING.

SANDMERE PLACE
(BY REGISTERED PLAN 646)

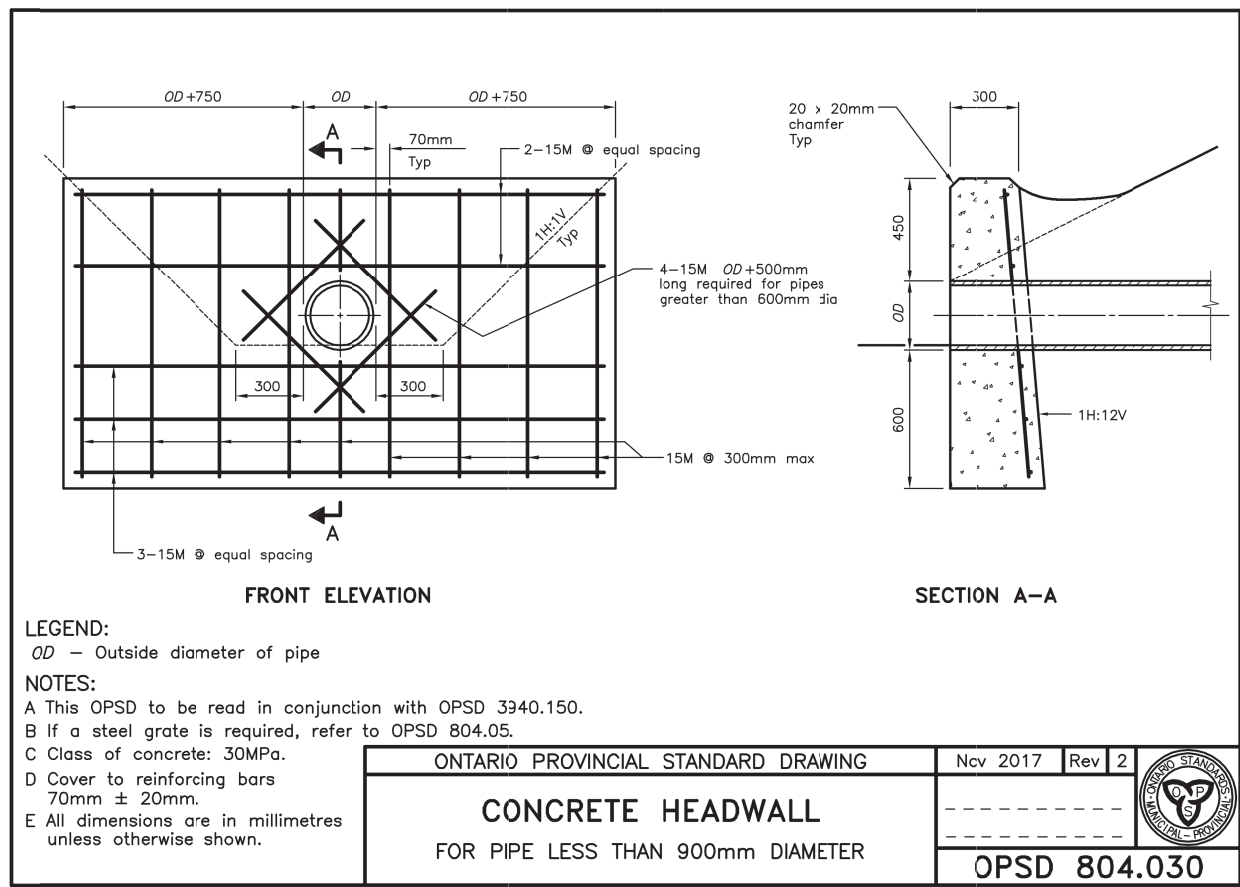
THE EXISTING SANITARY SERVICE LATERAL MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR AND TELEVIEWED BY REGIONAL FORCES PRIOR TO CONNECTION. A LATERAL THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN. A REVISION TO THE SERVICE PERMIT DRAWINGS AND PAYMENT OF APPLICABLE FEES IS REQUIRED.

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW OF THE SANITARY SEWER FROM PROPOSED BASEMENT FLOOR ELEVATION. IF A GRAVITY CONNECTION CANNOT BE ESTABLISHED, A SEWAGE EJECTOR PUMP IS TO BE INSTALLED AS PER O.B.C. & MUNICIPAL REQUIREMENTS

LOCATION OF EXISTING SANITARY LATERAL IS APPROXIMATE BASED ON AVAILABLE RECORDS. EXACT LOCATION TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION.

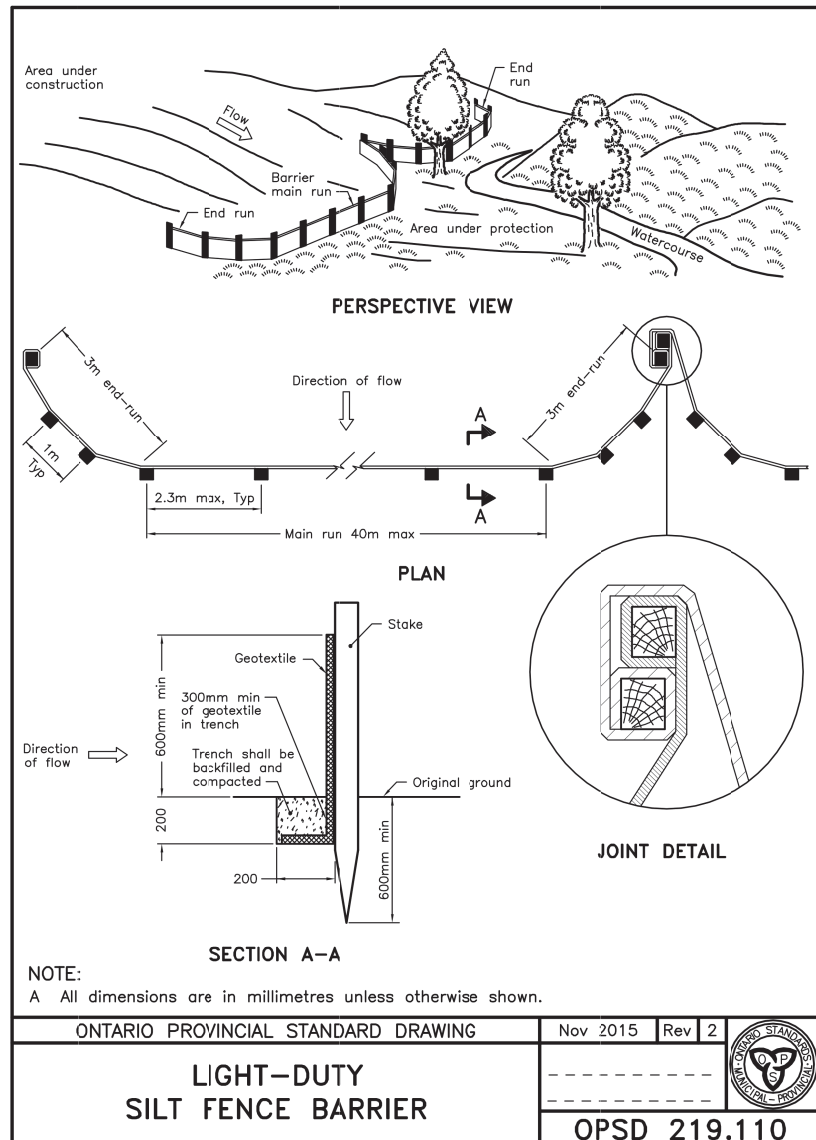
NOTE: CONTRACTOR TO DETERMINE
EXISTING INVERTS AND REPORT
ANY DISCREPANCIES TO THE ENGINEER

WATER MAIN TAPS ARE TO
BE PERFORMED BY REGION
OF HALTON FORCES ONLY



EROSION AND SILTATION NOTES

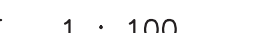
1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL BE REMOVED OR PLACED UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER:
 - A) WEEKLY
 - B) BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - C) FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - D) DAILY DURING EXTENDED DURATION RAINFALL EVENTS
 - E) AFTER SIGNIFICANT SNOW MELT EVENTS
3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
4. WHERE A SITE REQUIRES Dewatering AND WHERE THE EXPELLED WATER CAN BE FREELY DISPOSED OF, THE EXPELLED WATER SHALL BE TREATED TO MEET THE REQUIREMENTS FOR SUSPENDED PARTICLES GREATER THAN 40micron IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOEC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT CREATE A SOURCE OF POLLUTION OR DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO: EROSION, FLOODING - NUISANCE OR OTHERWISE, INTERFERENCE ISSUES.
5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE INSPECTED AT ALL STAGES OF CONSTRUCTION THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS (REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED FIRST WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: ALL DITCHES MUST BE SECURED FIRST WITH SILTATION CONTROL MEASURES. SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3.



LEGAL DESCRIPTION:

LOT 235
REGISTERED PLAN 646
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 100



A horizontal scale bar with a black and white checkered pattern. It is marked with numbers 1, 0, 1, 2, 3, 4, 5, and 6, representing metres. The bar is divided into segments corresponding to these numbers.

SURVEY INFORMATION

SURVEY INFORMATION IS TAKEN FROM PLAN PREPARED BY
TARASICK MULLIAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, DATED NOVEMBER 16, 2021.







ELEVATION NOTE

ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 34, HAVING A PUBLISHED ELEVATION OF 94.232 metres.

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE OBTAINED PRIOR TO ANY EXCAVATION. TARRISAC, MAILMAN LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

LEGEND

CB	DENOTES	CATCH BASIN
FH	DENOTES	FIRE HYDRANT
MH	DENOTES	MANHOLE
WUP	DENOTES	WOOD UTILITY POLE
EW	DENOTES	WATER VALVE
▲	DENOTES	ENTRY POINT AT LOWER LEVEL
▼	DENOTES	ENTRY POINT AT GROUND FLOOR
• 102.70	DENOTES	EXISTING SPOT ELEVATION
• 102.00	DENOTES	PROPOSED SPOT ELEVATION
○ DS	DENOTES	PROPOSED RAINWATER DOWNSPOUT
● AD	DENOTES	AREA DRAIN
	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER
0.300		
	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
0.300		
	DENOTES	TREE TO BE REMOVED
	DENOTES	TREE PROTECTION ZONE
2.0%		
	DENOTES	DIRECTION AND GRADIENT OF DRAINAGE
	DENOTES	DIRECTION OF SWALE

DO NOT SCALE DRAWINGS


- 1) CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.
- 2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
- 3) ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

1	NOV. 16, 2021	REVISION AS PER CITY COMMENTS

REVISIONS

CERTIFICATION FOR PROPOSED GRADING

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT **541 SANDHURST PLACE** AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADING AND DRAINAGE WILL PRODUCE ADEQUATE DRAINAGE AND PROPER FUNCTION OF MUNICIPAL SERVICES AND WILL NOT HAVE A SIGNIFICANT EFFECT TO THE EXISTING DRAINAGE PATTERNS OF THE ADJACENT PROPERTIES.



DATE: NOVEMBER 16, 2021

MISSISSAUGA, ONTARIO

BORYS MIKULAK, P. Eng. *Professional Engineer*

APPLICANT
HUIS DESIGN STUDIO
KURTIS VAN KEULEN

DESP File No. 21-126137

SHEET TITLE:

SITE GRADING & SERVICING PLAN

PROJECT:

PROPOSED 2 STOREY DWELLING

541 SANDMERE PLACE, OAKVILLE

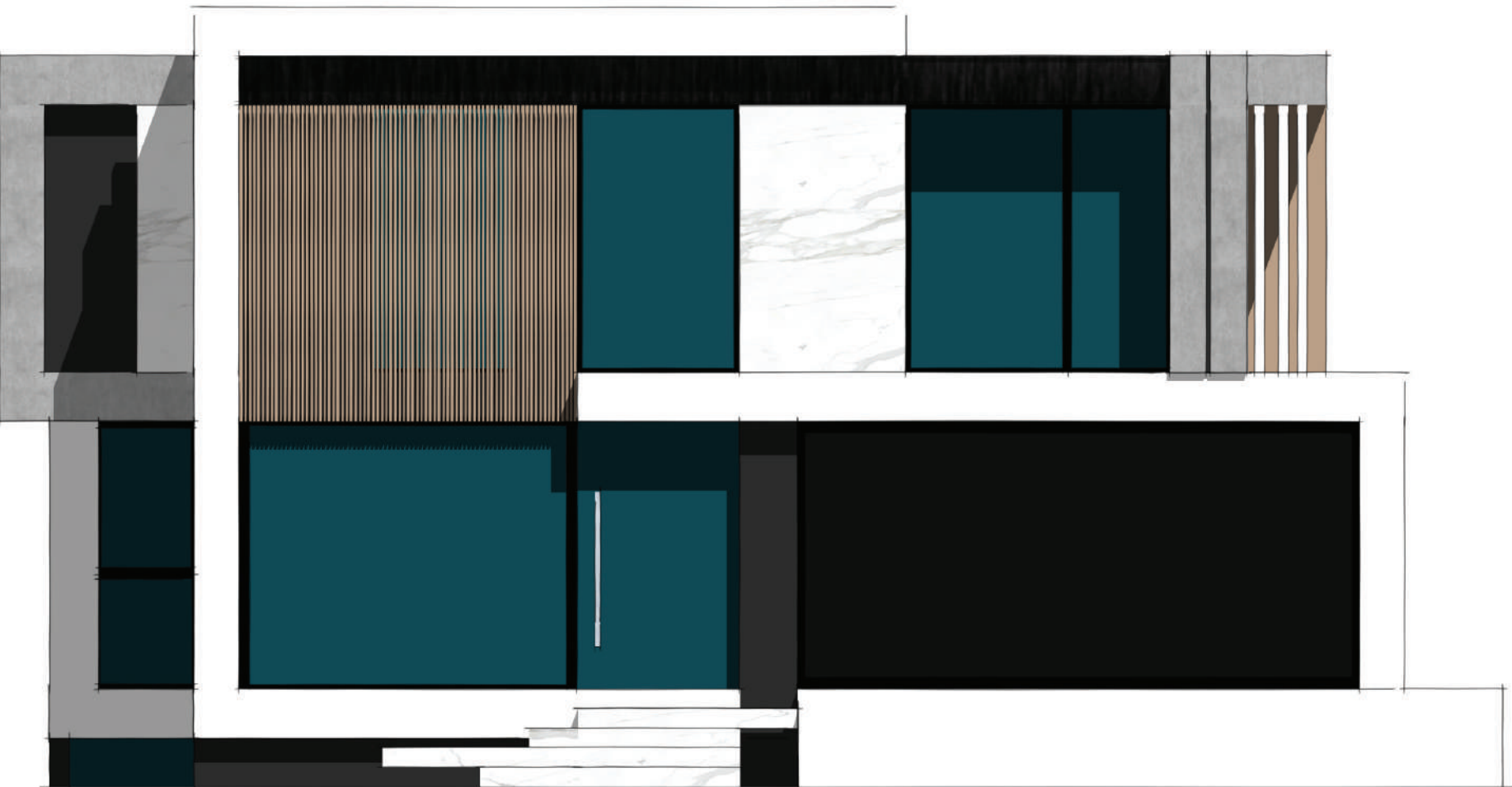
TARASICK McMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS

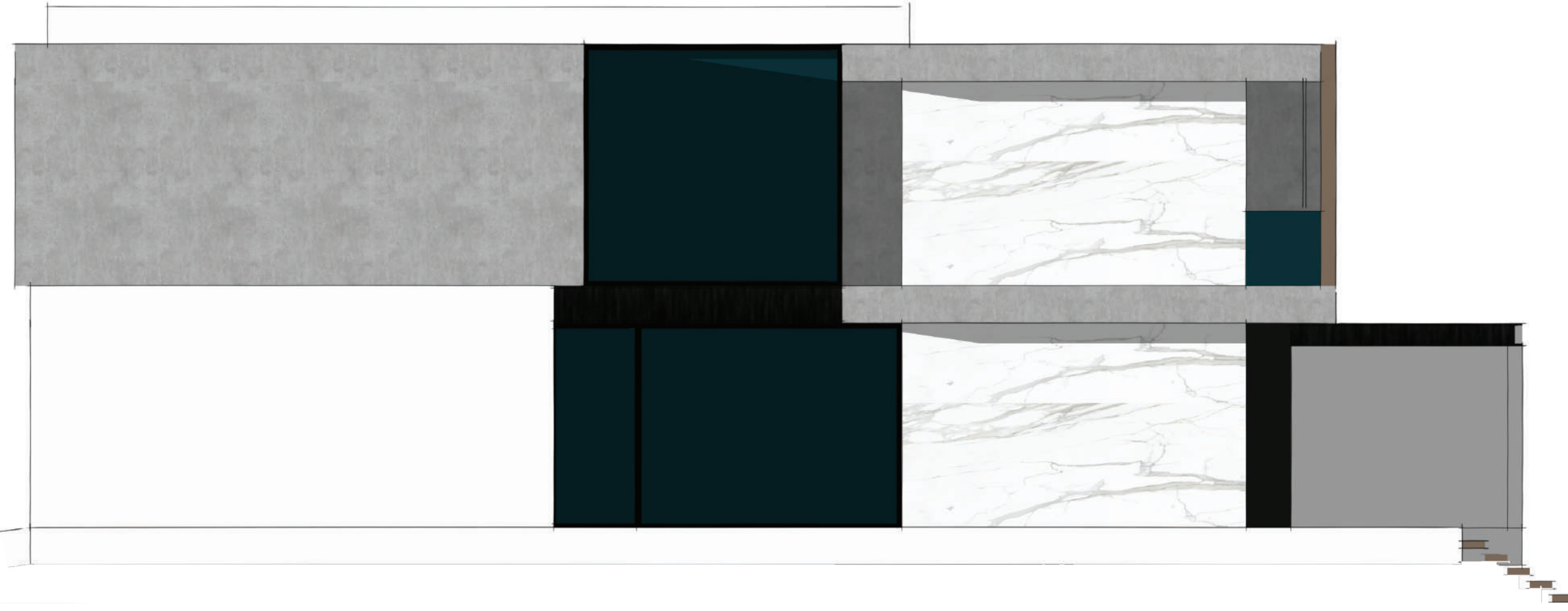
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5M2
 TEL: (905) 569-8849 FAX: (905) 569-3160
 E-MAIL: office@tmksurveyors.com

SCALE: 1:100

DRAWN BY: J.H./T.K.	FILE No. 8713-SP-2021-10-13
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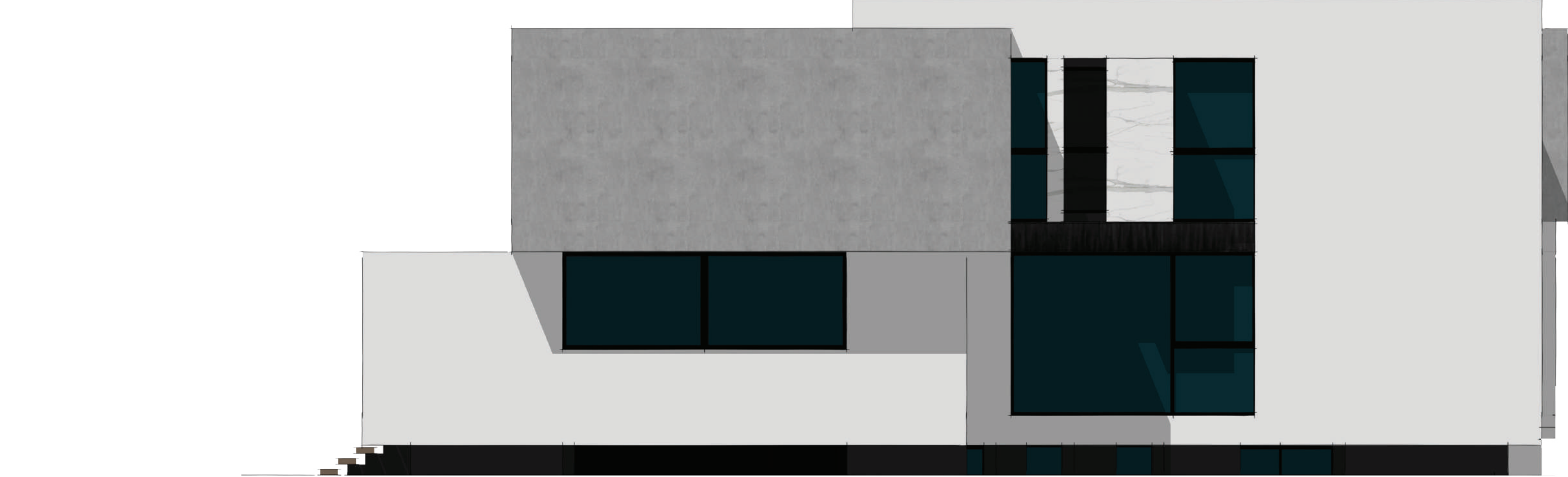
FRONT ELEVATION



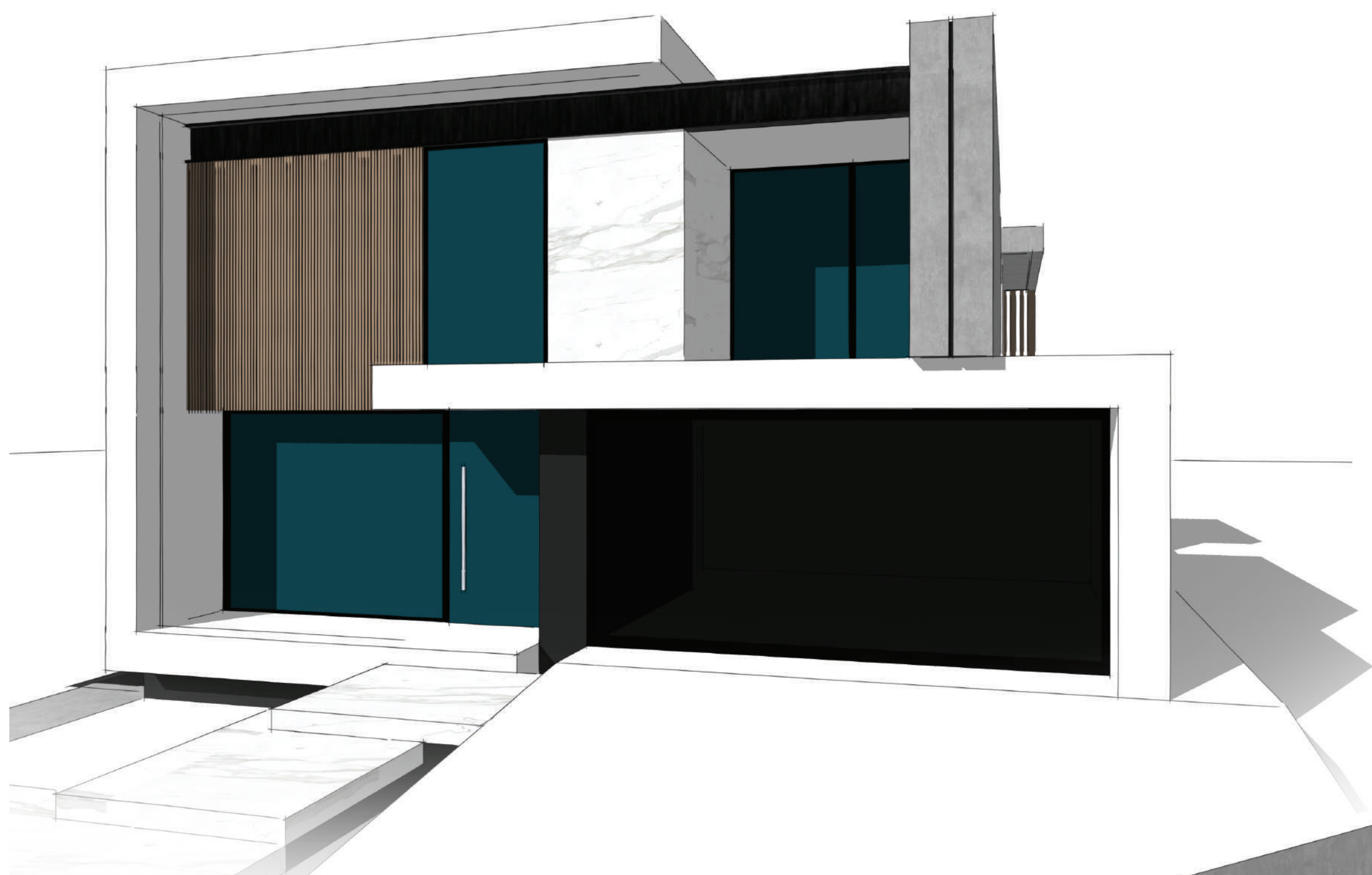
RIGHT ELEVATION



REAR ELEVATION



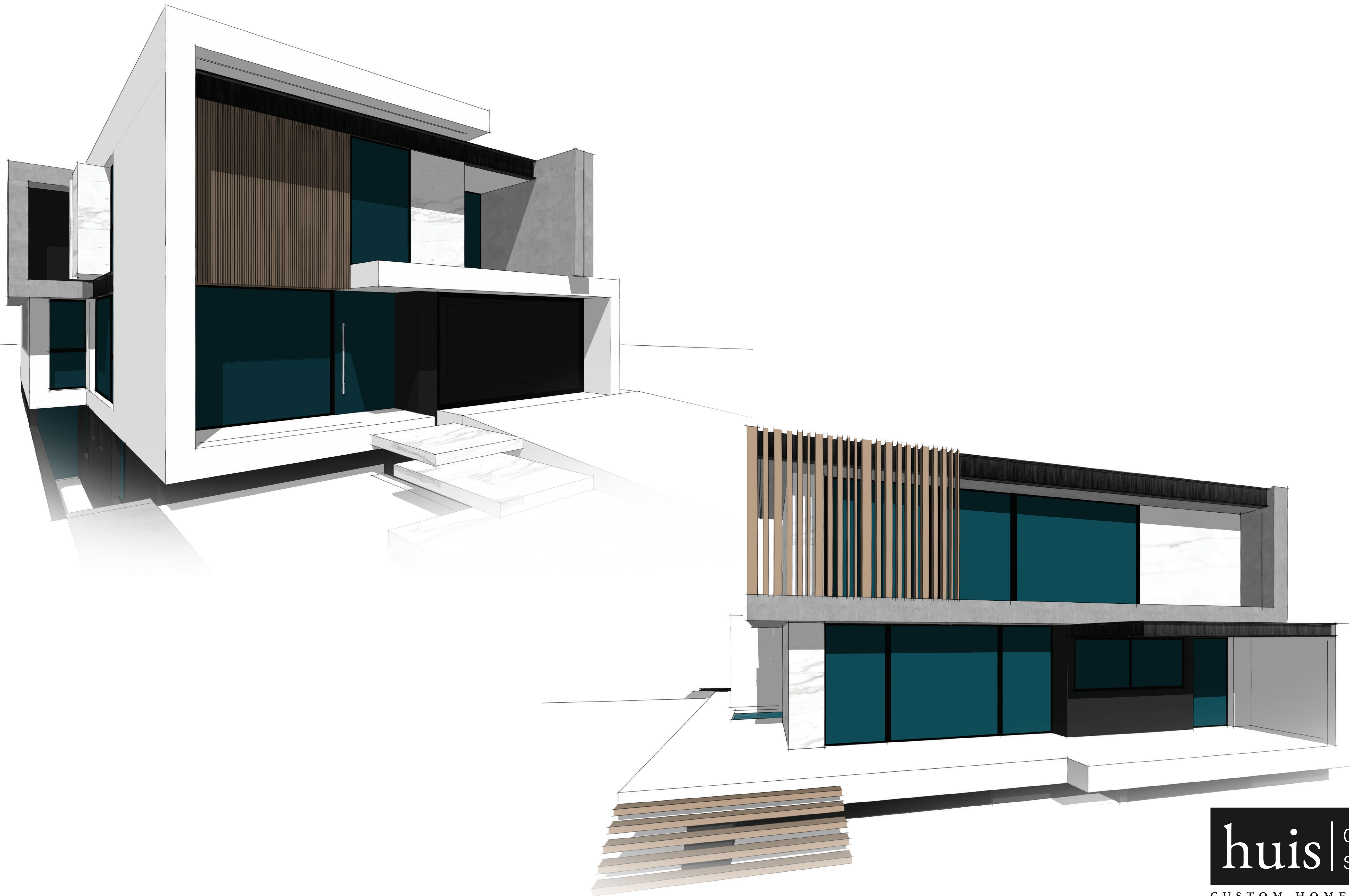
LEFT ELEVATION



huis | design studio

CUSTOM HOME DESIGN

541 SANDMERE PLACE
OAKVILLE, ON

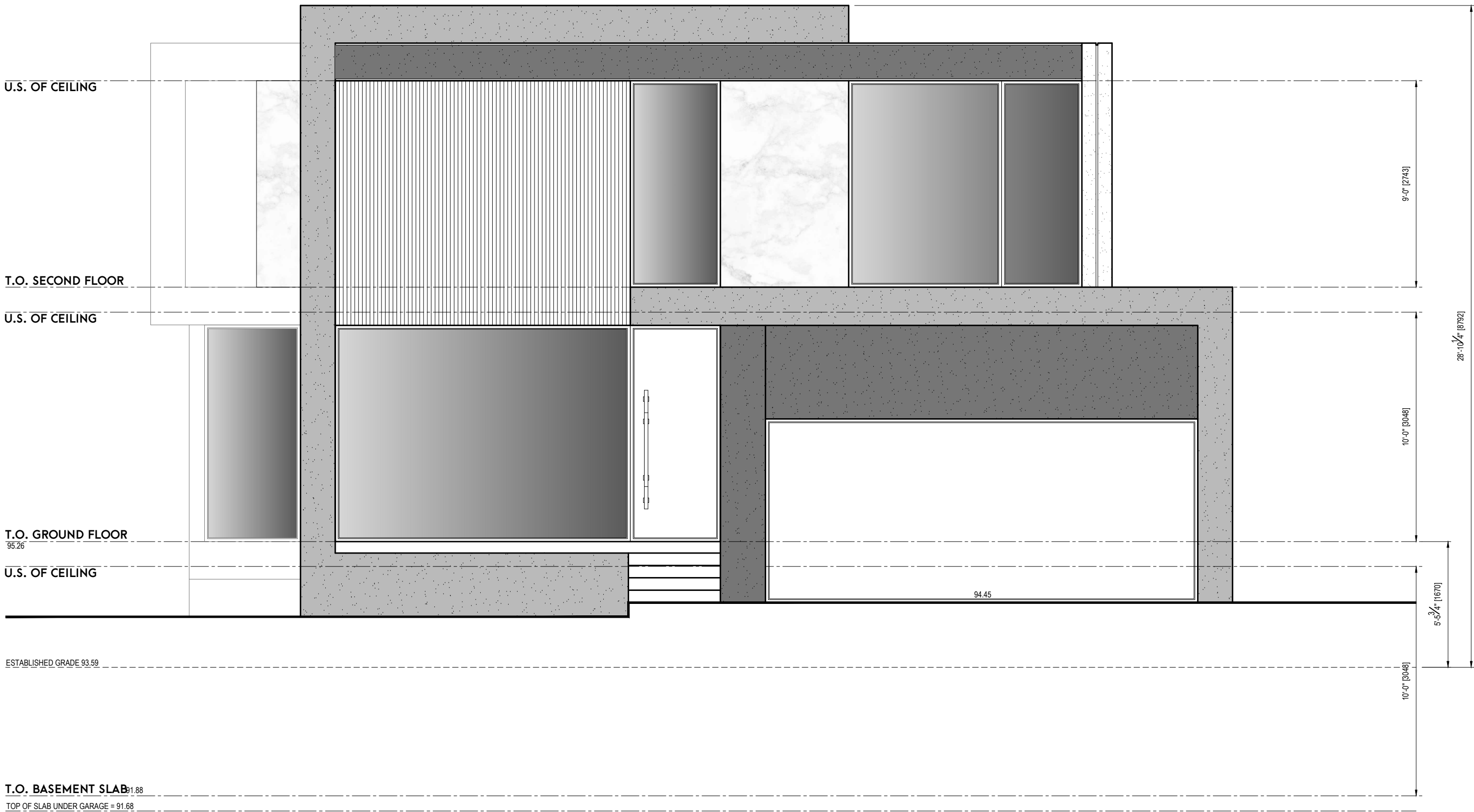


huis | design
studio

CUSTOM HOME DESIGN

541 SANDMERE PLACE
OAKVILLE, ON

FRONT ELEVATION



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CUSTOM HOME DESIGN

HUIS DESIGN STUDIO

CUSTOM HOME DESIGN AND RENOVATIONS

1A CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5

T: 905.298.8655 | E: INFO@HUISDESIGNS.CA

HUISDESIGNS.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL, UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HEREIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HEREIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME	B.C.I.N.
REGISTRATION INFORMATION	
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE	
FIRM NAME	B.C.I.N.

REVISION LIST

1	REVISED AS PER C.A.	09.24.2021
2	-	M.V.D. YYYY
3	-	M.V.D. YYYY
4	-	M.V.D. YYYY
5	-	M.V.D. YYYY

ISSUE LIST

1	-	M.V.D. YYYY
2	-	M.V.D. YYYY
3	-	M.V.D. YYYY
4	-	M.V.D. YYYY
5	-	M.V.D. YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS

DRAWN BY: K.V.K. **CHECKED BY:** J.D.

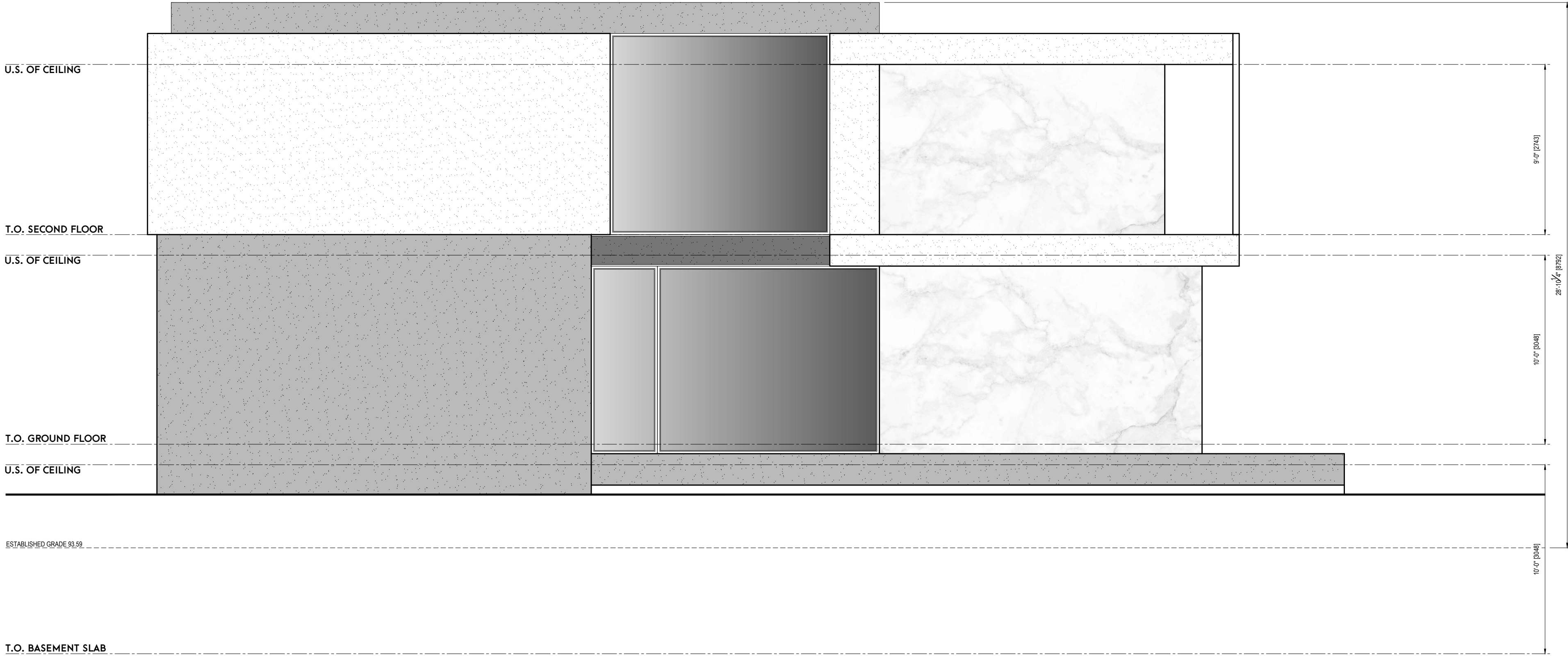
PROJECT ADDRESS: 541 SANDMERE PLACE

PROJECT NO. 2021 **SCALE:** 1/4" = 1'-0"

SHEET NO. **A201**



150
RIGHT ELEVATION



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CUSTOM HOME DESIGN

HUIS DESIGN STUDIO

CUSTOM HOME DESIGN AND RENOVATIONS

1A CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5

T: 905.298.8655 | E: INFO@HUISDESIGNS.CA

HUISDESIGNS.CA

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REGISTRATION INFORMATION	
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FIRM NAME	B.C.I.N.

REVISION LIST

1	REVISED AS PER C.A.	09.24.2021
2	-	MW.D0.YYYY
3	-	MW.D0.YYYY
4	-	MW.D0.YYYY
5	-	MW.D0.YYYY

ISSUE LIST

1	-	MW.D0.YYYY
2	-	MW.D0.YYYY
3	-	MW.D0.YYYY
4	-	MW.D0.YYYY
5	-	MW.D0.YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS

DRAWN BY: K.V.K. CHECKED BY: J.D.

PROJECT ADDRESS: 541 SANDMERE PLACE

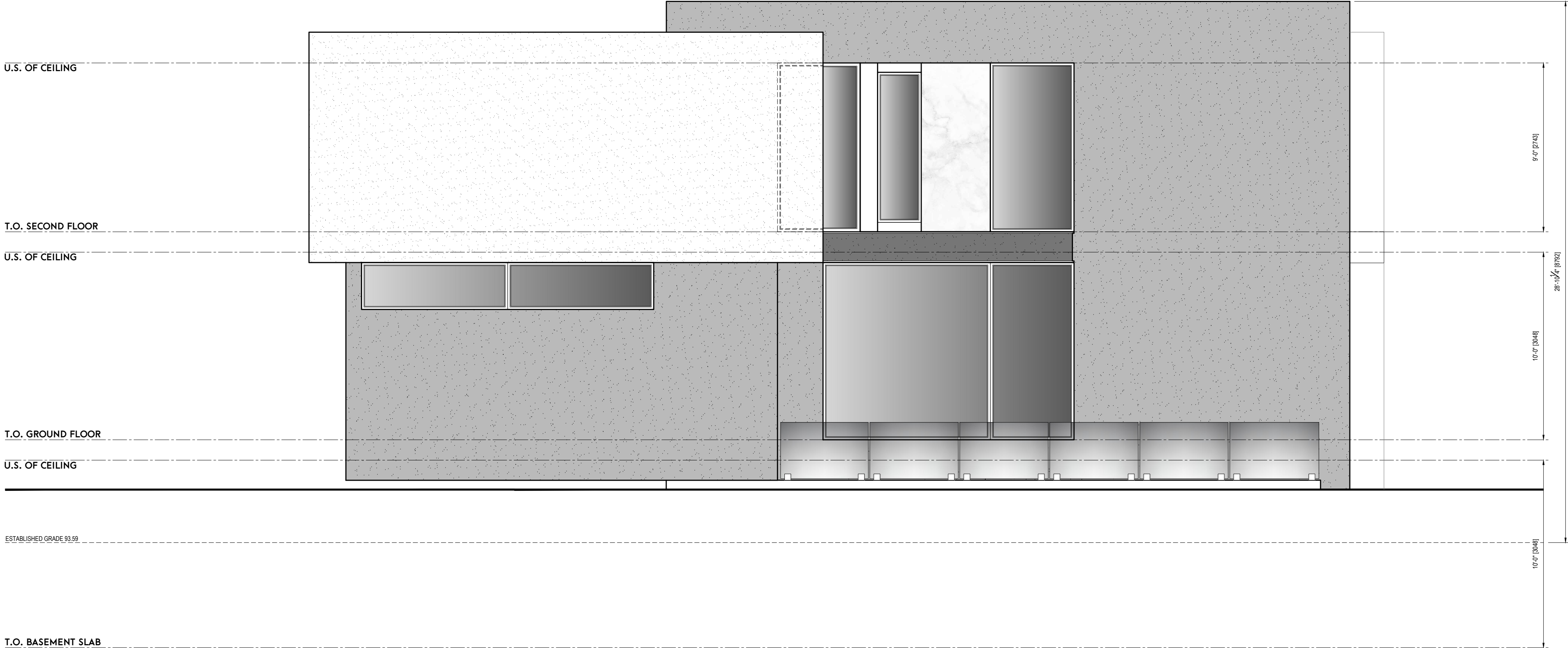
PROJECT NO. 2021


SHEET NO.

SCALES: 1:10

A202

LEFT ELEVATION





CUSTOM HOME DESIGN

HUIS DESIGN STUDIO
CUSTOM HOME DESIGN AND RENOVATIONS
1A CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5
T447.298.8655 | E-INFO@HUISDESIGNS.CA
HUISDESIGNS.CA

GENERAL NOTES

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NAME	B.C.I.N.
-	-

REGISTRATION INFORMATION

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE

FIRM NAME	B.C.I.N.
-	-

REVISION LIST	
NO.	REVISION
1	REVISED AS PER C.A.
2	-
3	-
4	-
5	-

ISSUE LIST	
NO.	ISSUE
1	-
2	-
3	-
4	-
5	-

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: K.V.K. **CHECKED BY:** J.D.
PROJECT ADDRESS: 541 SANDMERE PLACE
PROJECT NO. 2021 **SCALE:** 1:10
SHEET NO. **A204**