

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF SURVEY OF
Part of LOT 20
REGISTERED PLAN 409
TOWN of OAKVILLE
Regional Municipality of Halton
SCALE 1 : 150
GTA SURVEYING INC.
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METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
NORTH-WEST LIMIT OF LEIGHLAND AVENUE, HAVING A BEARING
OF N361°00'E ACCORDING TO REGISTERED PLAN 409.

ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
TOWN OF OAKVILLE BENCHMARK No. 227, HAVING A
PUBLISHED ELEVATION OF 131.8305 METRES.

LEGEND	
□	DENOTES SURVEY MONUMENT SET
■	SURVEY MONUMENT FOUND
RP	REGISTERED PLAN 409
PL	PLAN 20-1892
FC	PLAN BY F.G. CUNNINGHAM INC., O.L.S.
GTA	DATED MARCH 15, 2001 PLAN BY GREATER TORONTO ACRES SURVEYING INC., O.L.S.
HDS	DATED OCTOBER 25, 2016 PLAN BY H.D. SEWELL, O.L.S.
VH	DATED JANUARY 5, 1956 VAN HARTEN SURVEYING INC., O.L.S.
N.S.E.W.	NORTH-SOUTHEAST, WEST
M	MEASURED
CP	CONCRETE PIN
IB	IRON BAR
RS	ROUND IRON BAR
SB	STANDARD IRON BAR
P.L.N.	PROPERTY IDENTIFIER NUMBER
UP	UTILITY POLE
AC	AIR CONDITIONER
BB	BELL BOX
BC	BOTTOM OF CURB
TC	TOP OF CURB
CB	CATCH BASIN
CT	CONFEROUS TREE
DT	DECIDUOUS TREE
FH	FIRE HYDRANT
GM	GAS METER
WH	WATER VALVE
LS	LIGHT STANDARD
WV	WINDOW WELL
WV	WATER VALVE
T.R.E.	TOP OF ROOF ELEVATION

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2099371
THIS PLAN IS NOT VALID
UNLESS IT IS APPROVED
BY THE SURVEYOR
In accordance with
Regulation 1028, Section 29(3).

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 22nd DAY OF
JULY, 2019.
AUGUST 7, 2019
DATE
JACEK WALCZAK
ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR ATD CONTRACTING SERVICES INC.
PART 2 - SURVEY REPORT
1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS

IGTA
Greater Toronto Acres
SURVEYING INC.
7003 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2
Tel: (416) 679-0572
E-MAIL: jw@gtasurveying.ca

DRAWN: B.D. CHECKED: P.W. PROJECT 19255

ESC Notes:

a. The Contractor Is Ultimately Responsible For Controlling Sediment & Erosion Within The Construction Site For The Total Period Of The Construction. The Sediment Laden Water Will Not Be Allowed To Discharge To The Lake.

b. An After Hours Contact Number Is To Be Visibly Posted On-Site For Emergencies. All The Plans Should Have Name And Contact Info Of The Person Responsible For ESC Measures.

c. Any Sediment Spill From The Site Must Be Reported To Ministry Of Environment And Climate Change (Call Spill Action Center At 1 800 268 6060).

d. All Activities, Including Maintenance Procedure Shall Be Controlled To Prevent The Entry Of Petroleum Products, Debris, Rubble, Concrete Or Other Deleterious Substances Into Water. Vehicular Maintenance Shall Be Conducted 30 M From The Water.

e. Any Operation That Creates Dust, Such As Stone Cutting, Concrete Cutting, Shall Be Carried Out Away From The Water.

f. Maintain Temporary Erosion Control And Pollution Control Features Installed Under This Contract. Erosion And Sediment Controls Methods Are To Be Continuously Evaluated, And Upgrades Are To Be Implemented, When Necessary.

g. All Temporary Oil Or Dirt Stockpiles Are To Be Provided With Necessary Sediment And Erosion Control Features, Including Seeding If Anticipated To Be Stored More Than One Month.

h. Additional Erosion And Sediment Control Materials (I.E. Silt Fence, Straw Bales, Clear Stones, ... Etc) Are To Be Kept On Site For Emergencies And Repairs.

i. Erosion And Sediment Controls Methods Are To Be Continuously Evaluated; And Upgrades Are To Be Implemented, When Necessary.

PERPECTIVE VIEW

PLAN

JOINT DETAIL

SECTION A-A

NOTE: Dimensions are in millimeters unless otherwise stated.

CONCRETE PROTECTIVE SEDIMENT BARRIER

NO. 1011 1011-1

SILT FENCE BARRIER

OPSD 219.110

Underground Utilities:	Site Data
The Location Of Underground Services Shown On This Plan Is Only Approximate And Is For Planning And Design Purposes Only. This Information Must Not Be Assumed To Be Complete Or Up-To-Date And An On-Site Locate Must Be Ordered Prior To Any Excavation. David W. Small Designs Inc. Accepts No Responsibility For Any Claims Or Losses Due To Improper Use Of This Information.	Lot Area 1,408.76 sm (0.1409 ha)
	Zoning RL-3.0
	Average Grade 110.73
	Floor Area
	Ground Floor 256.75 sm 2763.7 sf
	(includes 85.3 sf of Stairs)
	Second Floor 169.74 sm 1827.1 sf
	(includes 85.3 sf of Stairs)
	Total Area RFA = 30%
	426.49 sm 4590.8 sf
	Garage 61.00 sm 656.6 sf
	(Measured to Inside Face of Garage Walls)
	Finished Basement 219.22 sm 2359.7 sf
	(Measured to Inside Face of Finished Basement Walls)
	Lot Coverage
	Proposed Footprint 23.06%
	(including Garage)
	Proposed Cov'd Front Porch 1.12%
	Proposed Cov'd Rear Porch 2.38%
	33.58 sm
	Total Proposed Coverage 26.57%
	374.24 sm
	Max Allowed Coverage 35.00%
	493.07 sm
	Landscape Area
	Front Yard Area 237.22 sm
	Driveway Area 108.25 sm
	45.63%

Notes:

There Are To Be No Grad Changes Within 0.3m Of Common Property Lines.

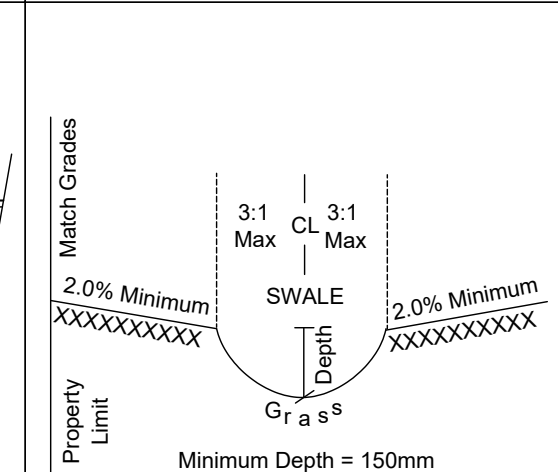
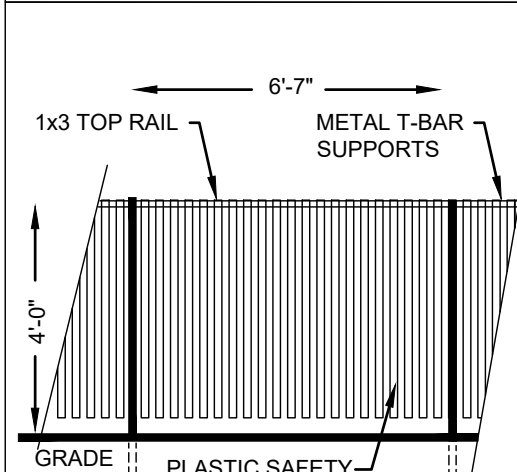
The Existing Sanitary Lateral Must Be Inspected At The Property Line By Regional Inspector, And Televised By Regional Forces Prior To Connection. A Lateral That Does Not Meet Current Regional Standards Must Be Disconnected At The Main. A Revision To The Service Permit Drawings And Payment Of Applicable Fees Is Required.

Existing Services Must Be Disconnected At The Main By The Contractor.

All Water And Sanitary Main Taps Are To Be Prefirmed By Region Of Halton Forces Only.

Contractor To Determine Existing Inverts And Report Any Discrepancies To The Engineer.

Contractor To Determine San. Inverts On Site And Determine If San. Ejector Pump Is Required.



Regional Approval

Region Design Of Water &/or Wastewater Services Approval Subject To Detail Construction Conforming To Halton Region Standards & Specifications & Location Approval From Area Municipality.

Signed: _____ Date: _____

Infrastructure Planning & Policy

The Approval Of The Water System On Private Property Is The Responsibility Of The Local Municipality. Regardless, The Applicant Must Ensure That The Region Of Halton's Standards Are Met. (The Water And Wastewater Linear Design Manual May Be Obtained On Halton.ca Or By Calling 311) All Water Quality Tests Must Be Completed To The Region Of Halton's Satisfaction Before The Water Supply Can Be Turned On.

Tree Protection Barrier Detail

Legend

3R Main Level

3R Lower Level

Property Line

Existing To Be Removed

Existing Spot Elevation

Proposed Spot Elevation

Rainwater Downspouts

Air Conditioner

Solid Hoarding

Framed Hoarding

Area Drain

Denotes Coniferous Tree (with trunk diameter) To Remain

Denotes Deciduous Tree (with trunk diameter) To Remain

Denotes Tree (with trunk diameter) To Be Removed

Denotes Replacement Tree Native Species Min 10mm Caliper For Deciduous And 1.8m Height For Coniferous (SM) Refers To Sugar Maple (RM) Refers To Red Maple

General Notes:

1. Do Not Scale Drawings

2. These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.

3. All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 7

Typical Swale Detail

Base Information:

Base Information Taken From Plan Of Survey BY: GTA Surveying Inc. Dated: August 07, 2019

Location

Part Of Lot 20 Registered Plan 409 Town Of Oakville Regional Municipality Of Halton

City Benchmark

Elevations Are Referred To The Town Of Oakville No. 227, Having An Elevation Of 131.53 Meters

*TFW (Top Of Foundation Wall)

Floor Sill Plate On Inside Face Of Foundation. See Reduced Thickened Foundation Wall Detail & Reverse Veneer Detail For Foundation Wall Ledger Condition On Outside Face Of Foundation Walls.

Extent Of Each Type To Be Determined By Contractor On Site During Construction

*U/F (Under Side Of Footing)

- U/F Denotes Minimum Depth Of Under Side Of Footing.

- Under Side Of Footing May Differ Depending On Basement Conditions. See Floor Plans And Elevations For Specific Under Side Of Footing Conditions

- Footings To Be Min 1.2m Below Grade

Waterboard Or As Approved By Urban Forestry Services

Snow Fencing

Tree Protection Barriers

Tree Protection Barriers Must Be 1.2m (4ft.) High, Waterboard Hoarding Or An Equivalent Approved By Urban Forestry Services.

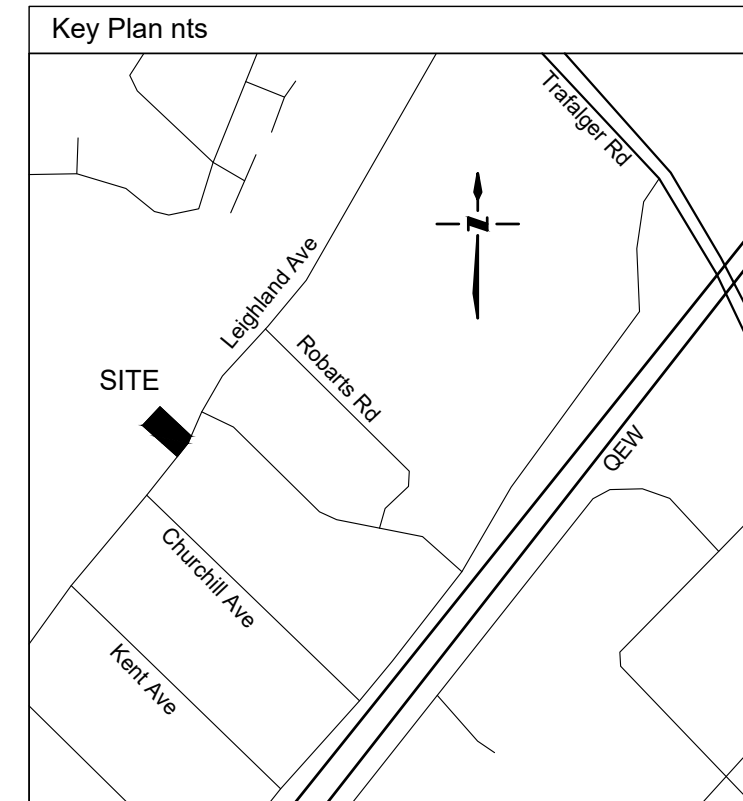
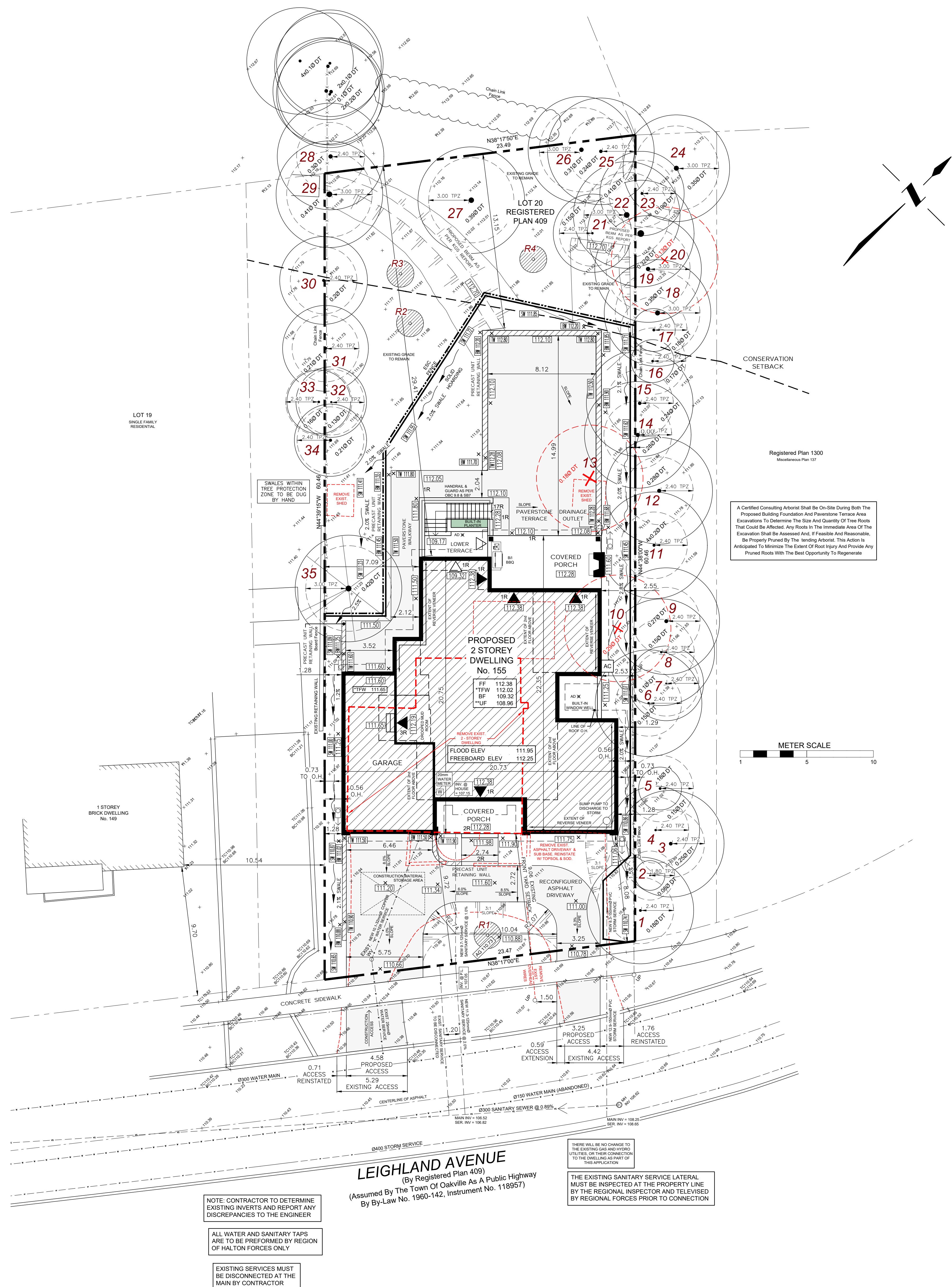
1 Tree Protection Barriers For Trees Situated On The Town Road Allowance Where Visibility Must Be Maintained Can Be 1.2m (4ft.) High And Consist Of Orange Plastic Web Snow Fencing On A Wood Frame Made Of 2x4's

2 Where Some Excavate Or Fill Has To Be Temporarily Located Near A Tree Protection Barrier, Plywood Must Be Used To Ensure No Material Enters The Tree Protection Zone.

3 All Supports And Bracing Should Be Outside The Tree Protection Zone. All Such Supports Should Minimize Damaging Roots Outside The Tree Protection Barrier.

4 No Construction Activity, Grade Changes, Surface Treatment Or Excavation Of Any Kind Is Permitted Within The Tree Protection Zone.

5



ENGINEER'S CERTIFICATE

I have reviewed this plan as it relates to site grading and drainage. It is my belief that adherence to the proposed grades as shown will produce adequate surface drainage without any detrimental effect to the existing drainage patterns of adjacent properties.

Van Harten

LAND SURVEYORS AND ENGINEERS

The Undersigned Has Reviewed And Takes Responsibility For This Design, And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer. Qualification Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code.

Peter Giordano Signature 25061

Name BCIN

Registration Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code. DAVID W. SMALL DESIGNS INC. 29999

Firm Name BCIN

no.	date	revision / comment
10	Nov 2021	As Per BP Comments
9	Nov 09/21	As Per DESP Comments
8	Aug 17/21	As Per DESP Comments
7	Jul 14/21	As Per Updated Flood Elevation Coordination
6	Jun 08/21	As Per Flood Elevation Coordination
5	Dec 09/20	As Per Lot Grading Coordination
4	Nov 18/20	Owner Requested Revisions
3	Oct 26/20	Issued To Owner For Building Permit
2	Oct 20/20	As Per Arbolist Coordination
1	Oct 01/20	Issued To Owner For Zoning Review

Project:

The Kler Home
155 Leighton Avenue
Part of Lot 20
Registered Plan 409
Town of Oakville
Regional Municipality of Halton

Drawing:

Site Plan

Scale: 1:150

Date: Oct 2020

Dwn by: HD

Proj. no.: 19-1786

SP

David Small Designs

Elevation Notes

② All stucco to be 'DuROCK' EIFS P.U.C.C.S. exterior insulation and finish system CCMC 12959R approved -metal as per OBC, 9.28, and manufacturer's specifications -note use 'Polar Bear' by DuROCK for airtightness barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco

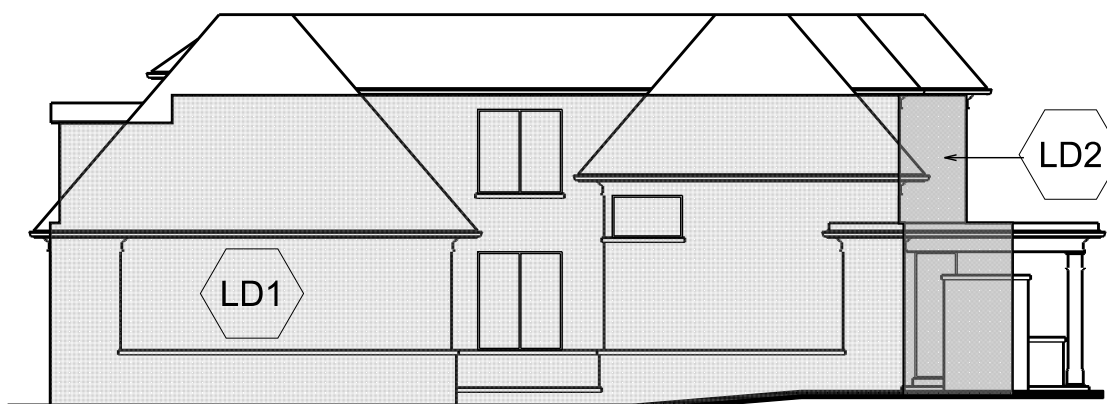
Note: All overhangs are 4" inset from stone facing on ground floors (typical)

Note: Refer to roof plan for all roof slopes and overhang info

① Stepped footing per OBC 9.15.3.9.

③ Glazing to be tempered glass (if operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)

④ 16" Reinforced Poured Concrete Wall w/ 36" Wide x 12" Deep Concrete Footing c/w 2-Runs 15M Rebar



Right (North) Elevation

Unprotected Openings Calculations - LD1

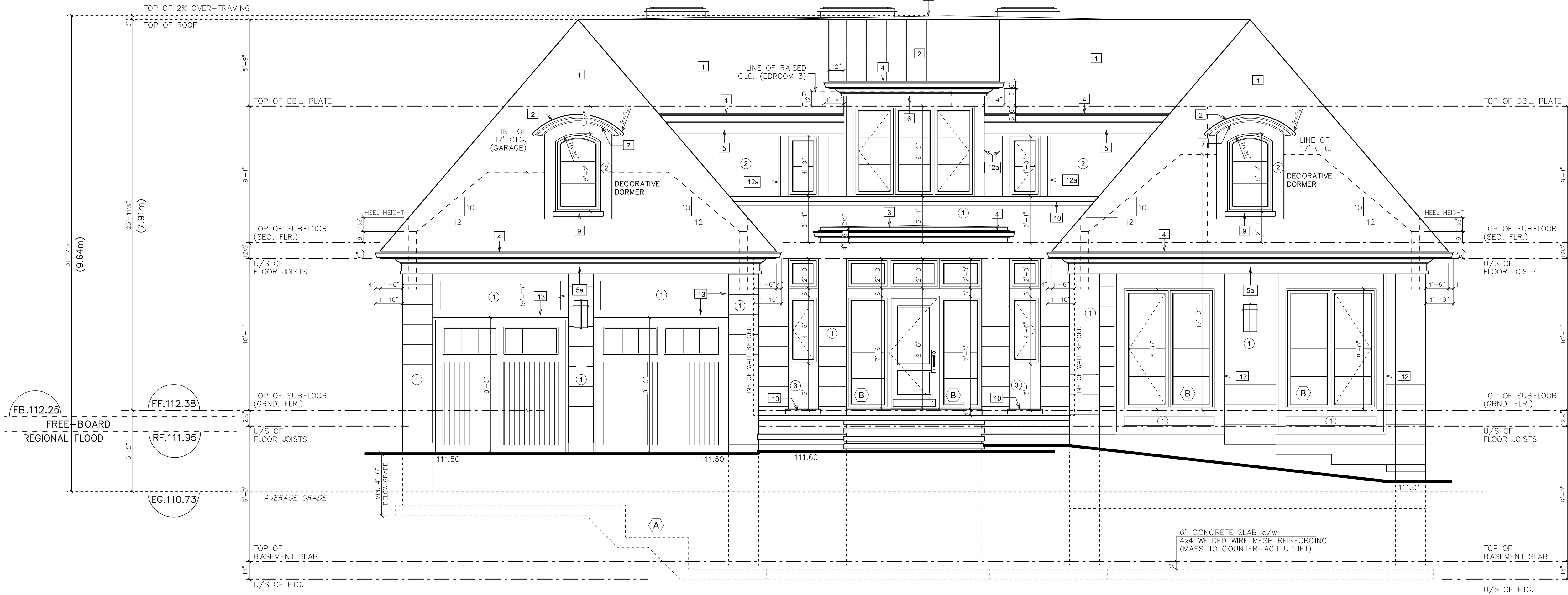
Limiting Distance - LD1	1.28m
Total Exposed Building Face	1446.6 sf (134.4sm)
Wall Area: Plane - A1	1310.1 sf (121.7 sm)
Opening Area Allowed	91.7 sf (7.0 %)
Opening Area Proposed	83.4 sf (6.4 %)

Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.

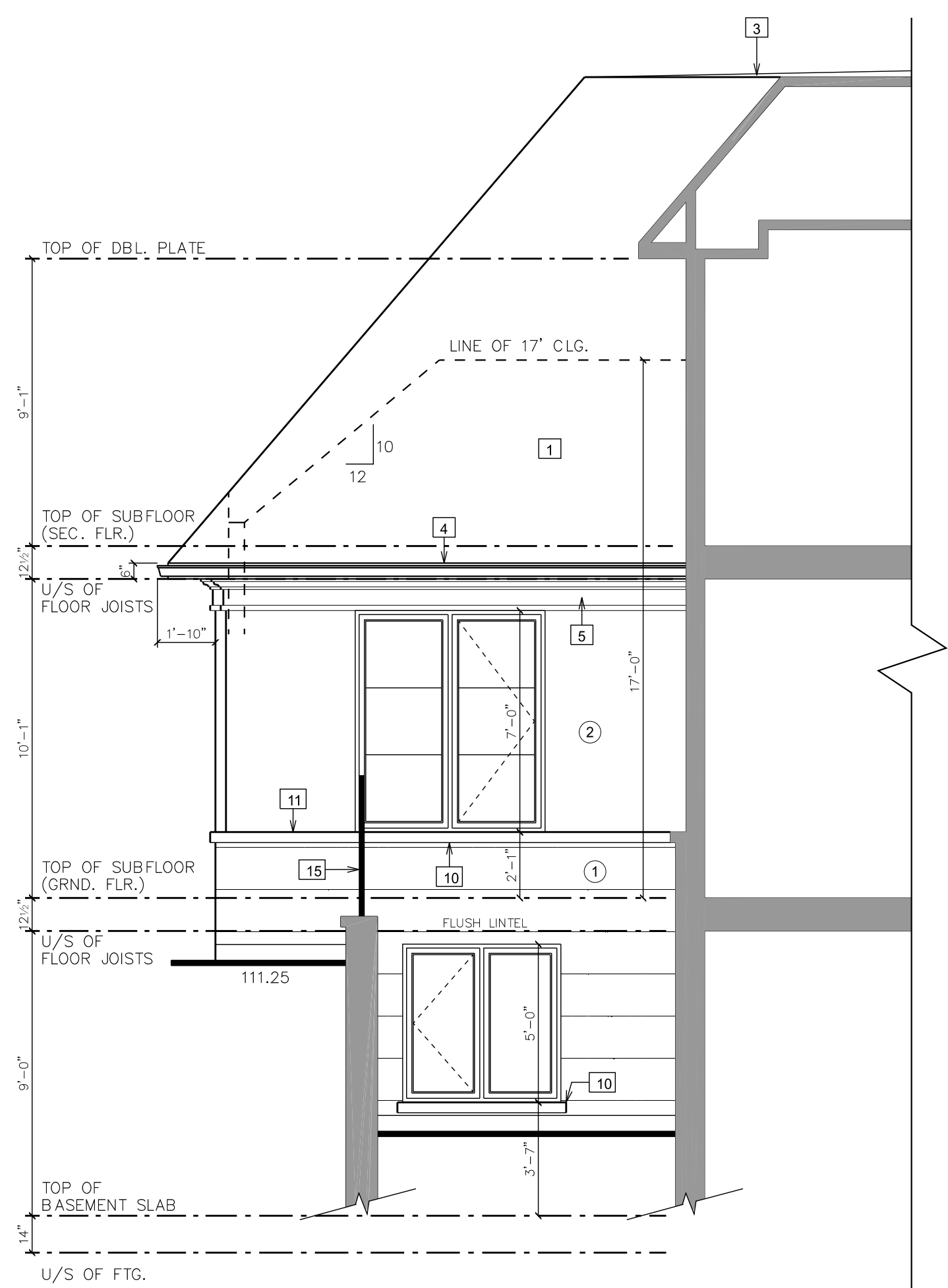
Unprotected Openings Calculations - LD2

Limiting Distance - LD2	10.78m
Total Exposed Building Face	1446.6 sf (134.4sm)
Wall Area: Plane - A1	138.5 sf (12.7 sm)
Opening Area Allowed	62.6 sf (45.9 %)
Opening Area Proposed	24.1 sf (17.6 %)

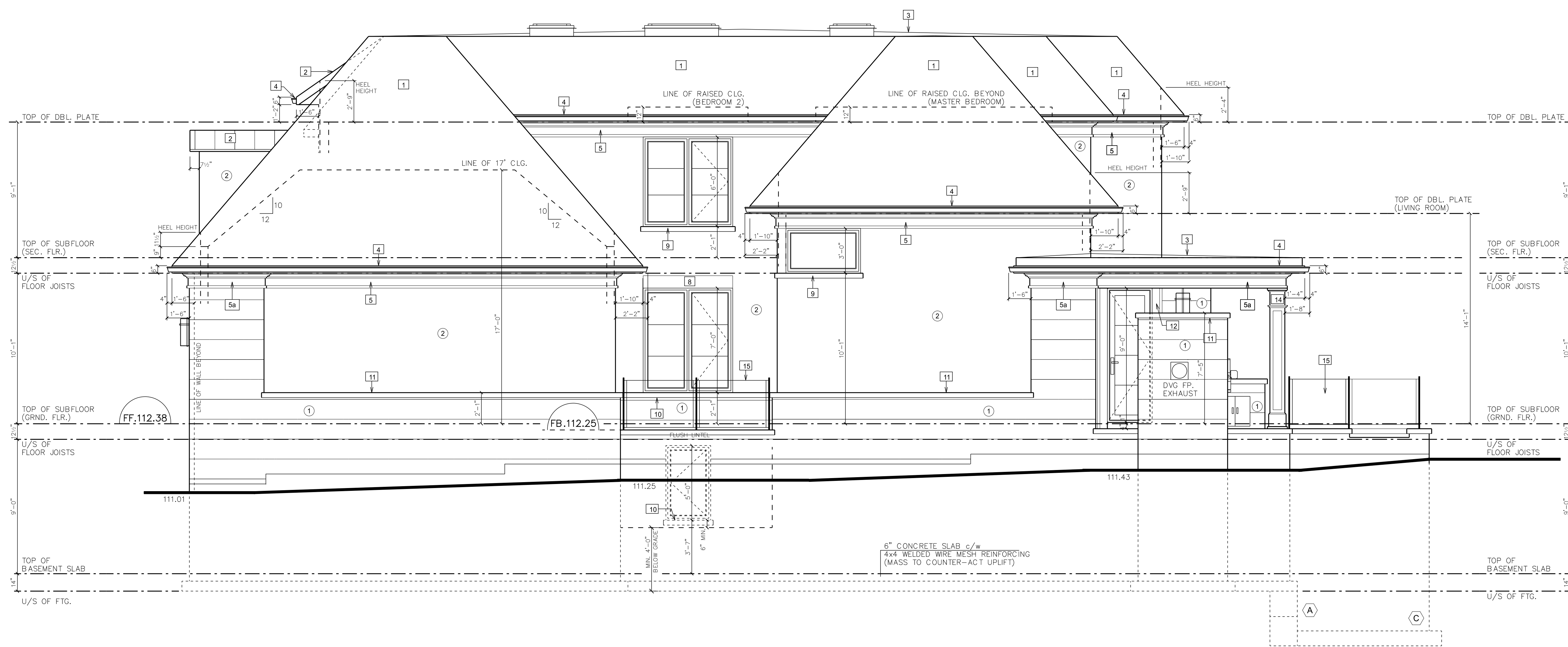
Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.



Front (East) Elevation



Hidden Elevation "A"



Right (North) Elevation

Drawing Legend

1.0 Materials

- ① Smooth Face Cut Stone
- ② Pigmented Epoxy Stucco
- ③ Prefinished Aluminum Panel - Dark

2.0 Roofing

- ① 40 Year Asphalt Shingles
- ② Raised Seam Prefinished Metal Roofing
- ③ 2-Ply Trenched On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

3.0 Trim, Cornice, Moulding, & Gutter Notes

- ④ Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
- ⑤ Typical Cornice Trim
- ⑥ 4" Stucco covered Crown Mould on Crezon Flat Stock w/ 2" High x 1/4" Deep Bottom Trim (Total 12" High)
- ⑦ 4" Stucco covered Crown Mould on Crezon Flat Stock (Total 6" High)
- ⑧ Stucco Arch c/w 2" Top Edge Trim & 4" Crown Mould Trim
- ⑨ 10" Stucco Lintel
- ⑩ 10" Cut Stone Lintel
- ⑪ 4" Stucco Sill Projected 2"
- ⑫ 2" Stucco Sill Projected 2"
- ⑬ 4" Cut Stone Sill C/W 2" Projection
- ⑭ 4" Cut Stone Coping W/ 2" Projection
- ⑮ 8" Cut Stone Surrounding W/2" Edge Reveal
- ⑯ 8" Stucco Covered Surrounding W/2" Edge Reveal
- ⑰ 6" Cutstone Trim
- ⑱ 6" Stucco Covered Trim

4.0 Railing, Post

- ⑲ 12"x12" Cast Stone Post As Shown
- ⑳ Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect Of OBC, 9.8 & SB-13 Of The Supplement

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario building code to be a designer. Qualification information required unless the design is exempt under Division C-3.2.4.1. of the 2012 Ontario Building Code.

Peter Giordano
Name Signature BCN

Registration information required unless the design is exempt under Division C-3.2.4.1. of the 2012 Ontario Building Code.
David W. Small Designs Inc. 2999 BCN
Firm Name

no.	date	revision / comment
7	Oct 29/21	Roof Truss Coordination - Turkeys Lumber
6	Sep 08/21	Skylight Added to rear Porch
5	Jul 14/21	Revised As Per CH Flood Design
4	Jun 06/21	Revised As Per PERG Flood Design
3	MAY 06/21	Revised As Per Conservation Halton Comments
2	Oct 25/20	Issued to Owner for Building Permit Application
1	Oct 01/20	Issued to Owner for Zoning Review

Project:

The Kler Home
155 Lehigh Avenue

Part of Lot 20
Registered Plan 409
City of Oakville,
Regional Municipality of Halton

Drawing:

Front & Right-Side Elevations

Scale: 1/4" = 1'-0"

Date: Oct 2020

Drawn by: MM

Proj. no.: 19-1786

A5

David
Small
Designs

Elevation Notes

② All stucco to be 'DuROCK' EIFS PU.C.C.S. exterior insulation and finish system CCMC 1266R approved -install as per OBC 9.26. and manufacturer's specifications -note use 'Polar Bear' by DuROCK for air/moisture barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco

Note: All over-hangs are 4" inset from stone facing on ground floors (typical)

Note: Refer to roof plan for all roof slopes and overhang info

① Stepped footing per OBC 9.15.3.9.

③ Glazing to be tempered glass (If operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)

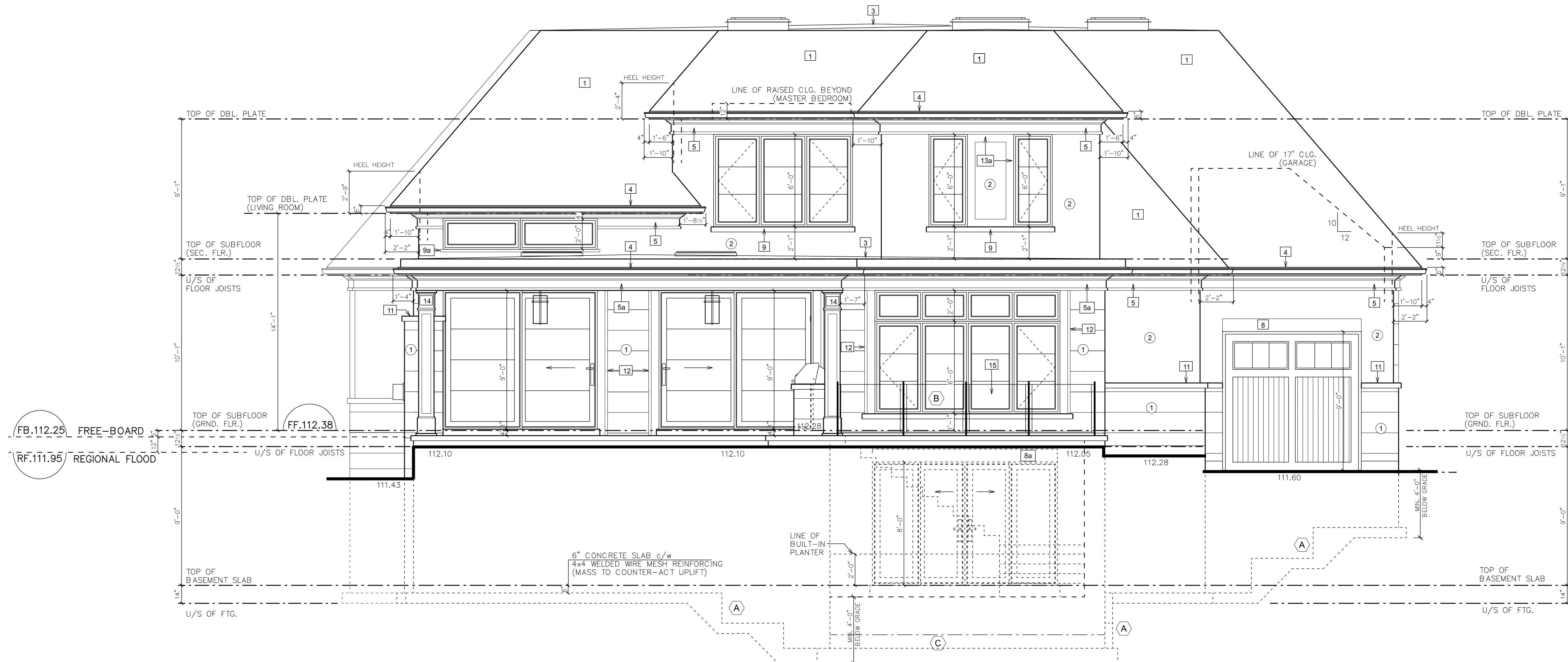
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Left (South) Elevation

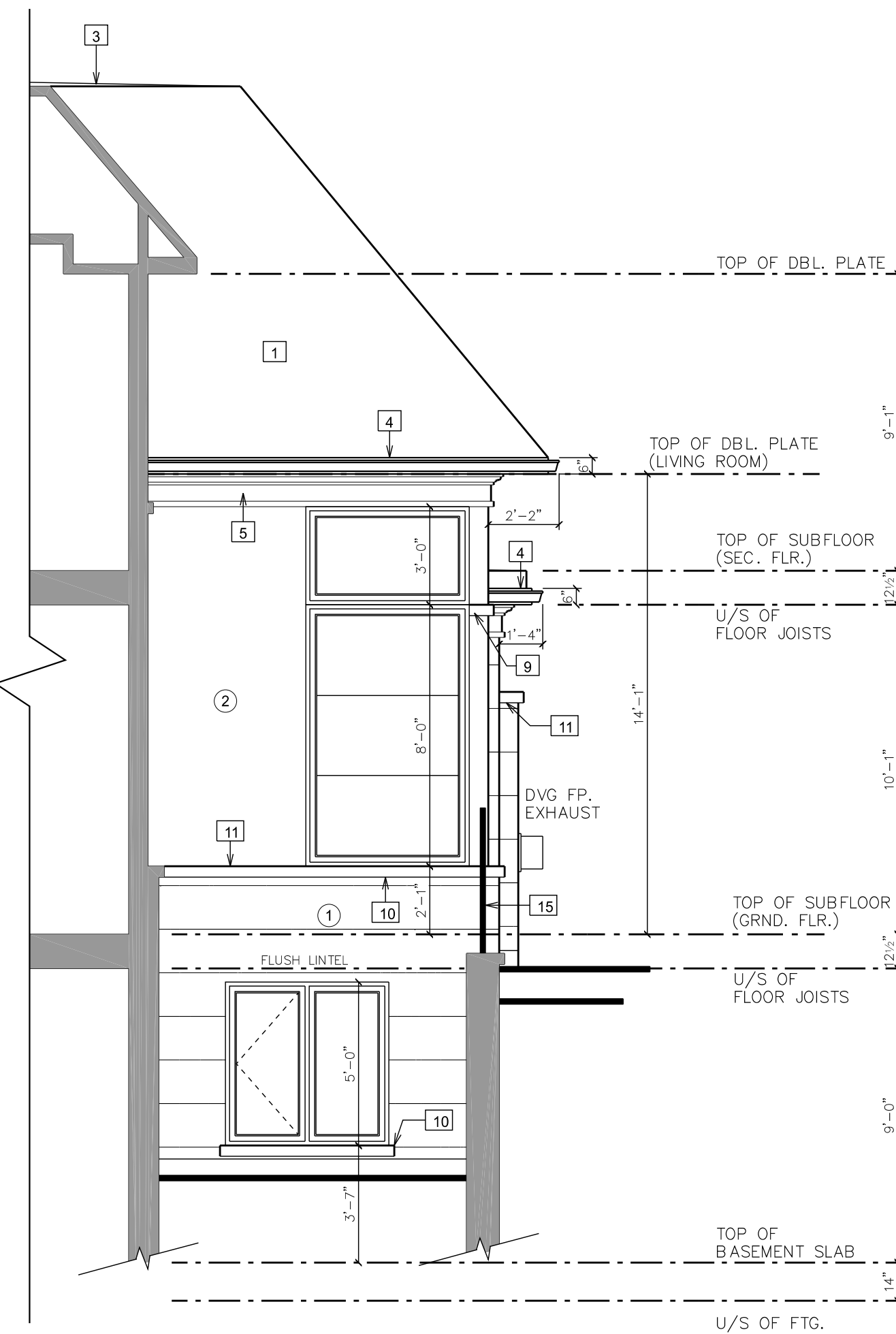
Unprotected Openings Calculations

Limiting Distance	1.28m
Wall Area	1415.3 sf (131.5 sm)
Opening Area Allowed	99.1 sf (7.0 %)
Opening Area Proposed	59.8 sf (4.2 %)

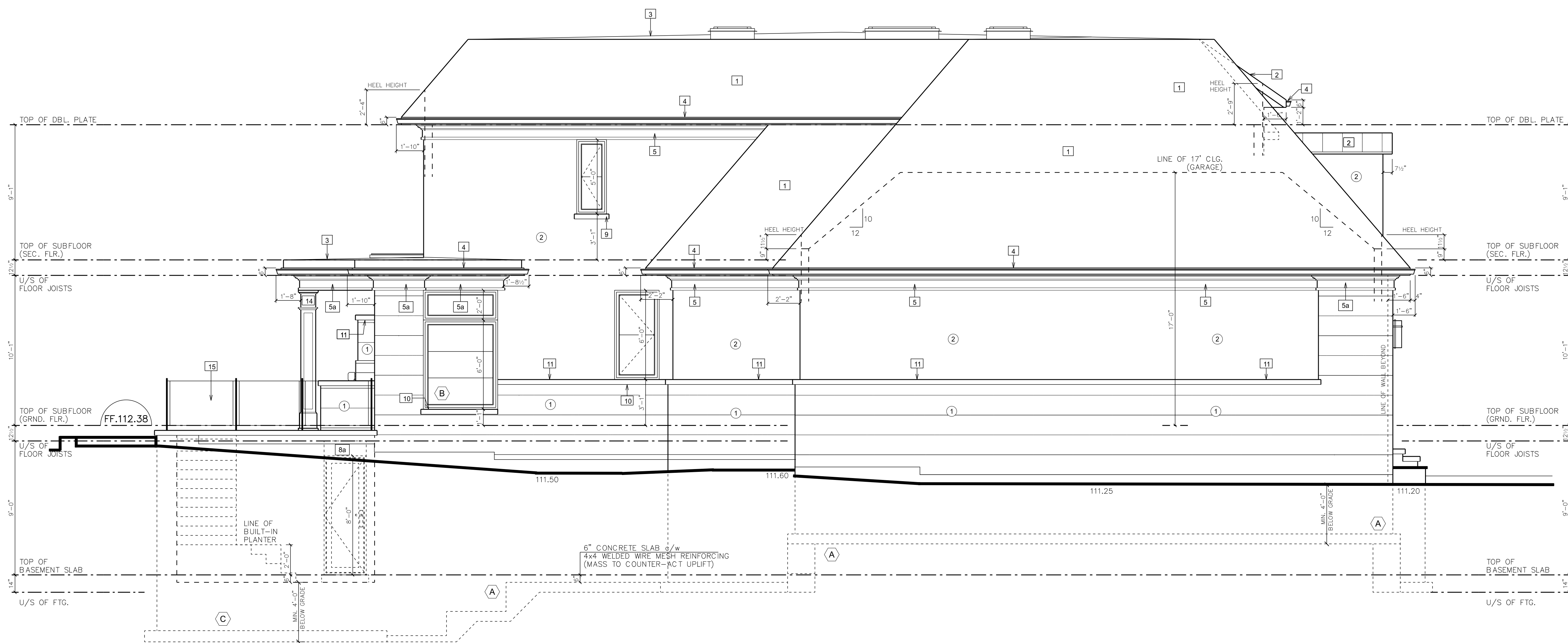
Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.



Rear (West) Elevation



Hidden Elevation "B"



Left (South) Elevation

Drawing Legend

1.0 Materials

- ① Smooth Face Cut Stone
- ② Pigmented Epoxy Stucco
- ③ Prefinished Aluminum Panel - Dark

2.0 Roofing

- ① 40 Year Asphalt Shingles
- ② Raised Seam Prefinished Metal Roofing
- ③ 2-Fly Torch On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code for a designer. Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2015 Ontario Building Code.

Peter Giordano
Name
Signature
20061
BCIN
Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.
David W. Small Designs Inc.
Firm Name
20090
BCIN

no.	date	revision / comment
7	Oct 29/21	Roof Truss Coordination - Tusketro Lumber
6	Sep 08/21	Skylight Added to rear Porch
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