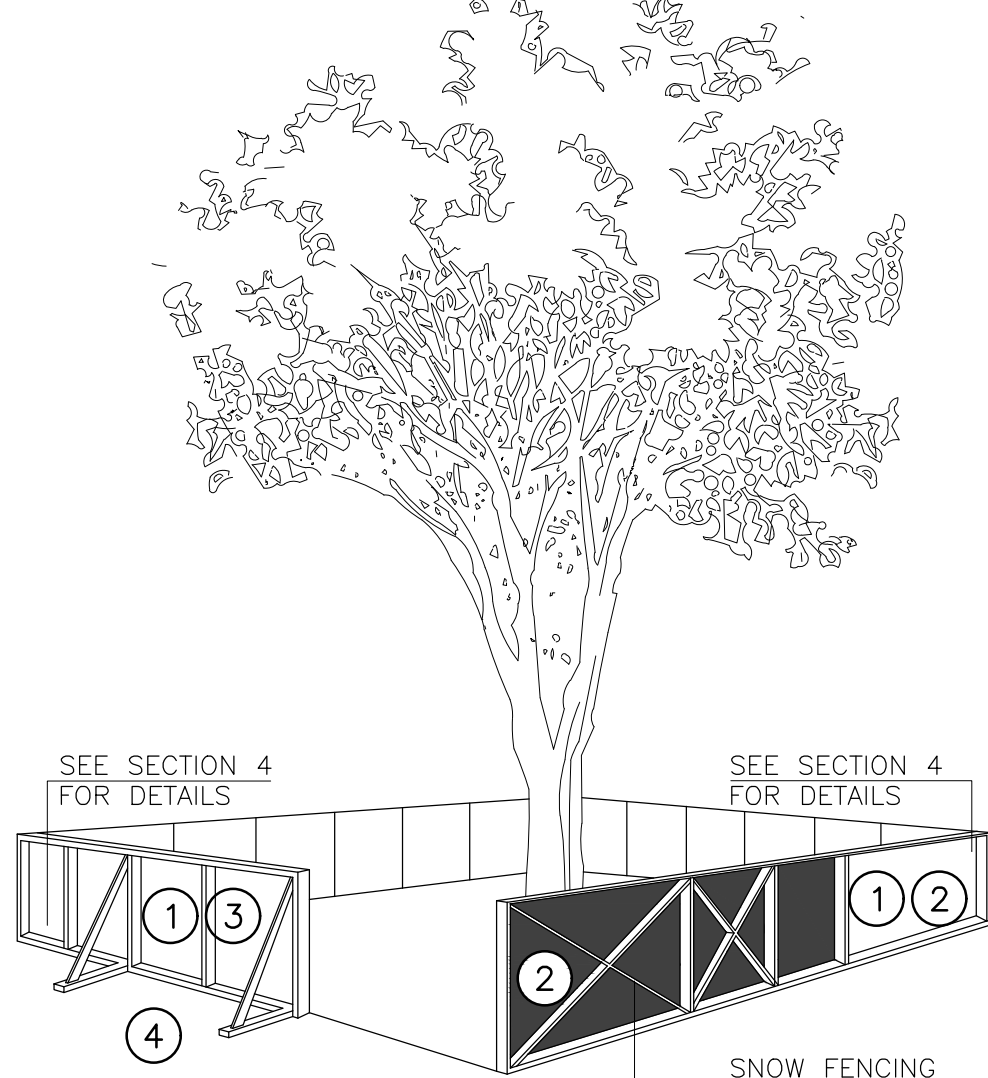


TREE PROTECTION



TREE PROTECTION BARRIERS

- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WATERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
- TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
- WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
- ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

SECTION 4, SIGNAGE

- A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmx60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

"TREE PROTECTION ZONE
NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE."

TOWN OF OAKVILLE PARKS AND RECREATION DEPARTMENT

NAME: TREE PROTECTION BARRIERS

DATE:

FILE NO.:

A ——— SOLID HOARDING (PLYWOOD BOARDS)

B ——— FRAMED HOARDING (PLASTIC SAFETY FENCING)

1 OAKVILLE SITE REQUIREMENTS

A1.2 SCALE: DNS

1. GENERAL NOTES:
A) SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF SITE GRADING WORKS. TO SATISFACTION OF THE CITY AND HALTON CONSERVATION.

B) IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/ BASE AREAS SHALL BE STABILIZED BY SEEDING.

C) THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/ OR EVERY WEEK.

D) THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/ OR REPLACED IF NECESSARY OR AS DIRECTED BY THE ENGINEER. CONSERVATION AUTHORITY OR THE CITY.

E) ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION, GRADING, TOPSOILING AND SODDING ARE COMPLETE.

F) WHEN ALL CONSTRUCTION, GRADING AND SODDING IS COMPLETED. THE SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS REINSTATED.

2. ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.

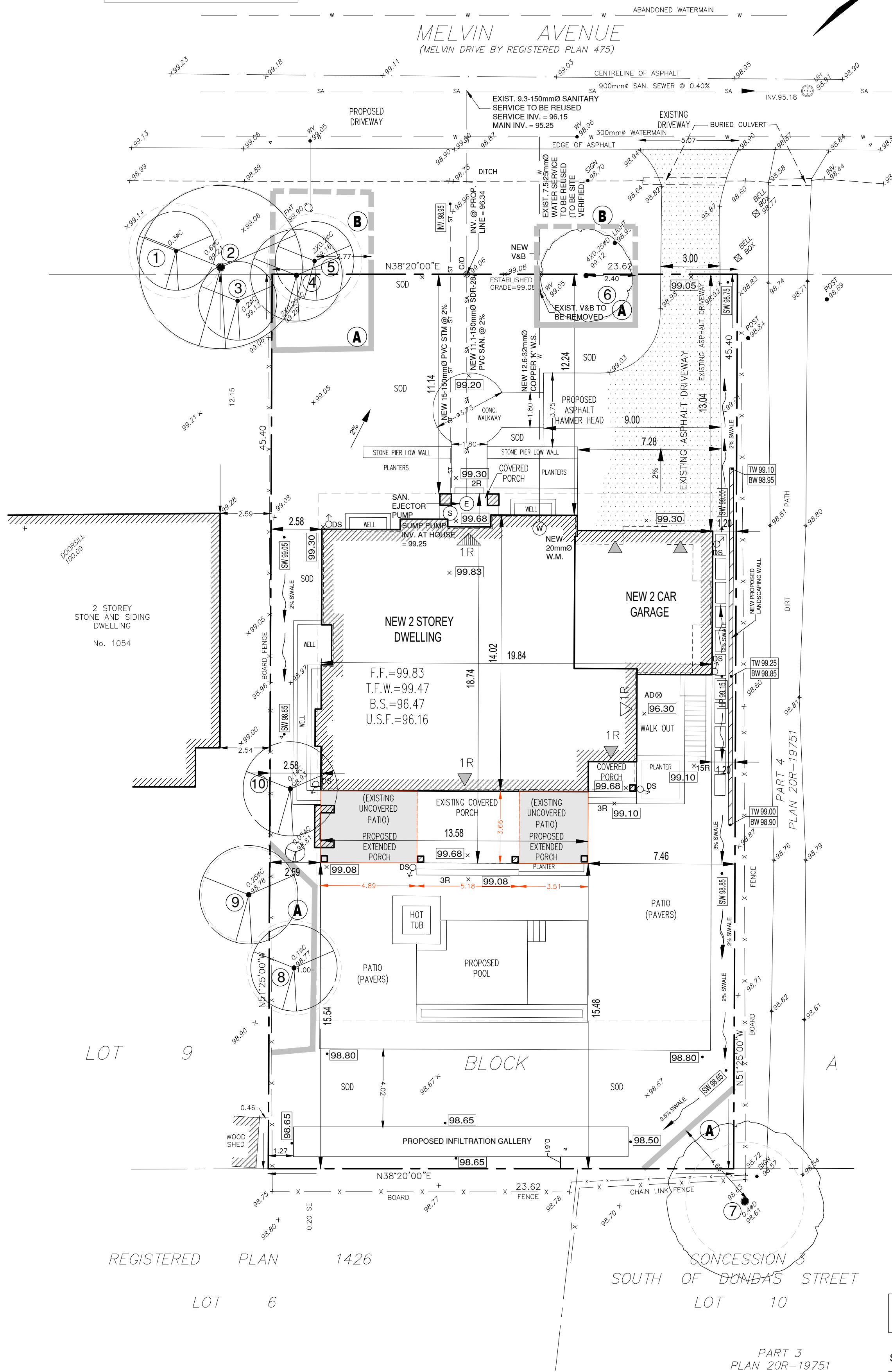
3. THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILED.

4. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

2 EROSION AND SEDIMENT CONTROL

A2.1 SCALE: DNS

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048



ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

SEWERS

EXISTING SANITARY SEWER WILL BE USED.

DEPTH OF SANITARY SEWER CONNECTION AT THE STREET LINE TO BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION TO ENSURE GRAVITY FLOW.

SUMP PUMP

FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SUMPED AND PUMPED TO THE MUNICIPAL DITCH ALONG MELVIN AVENUE

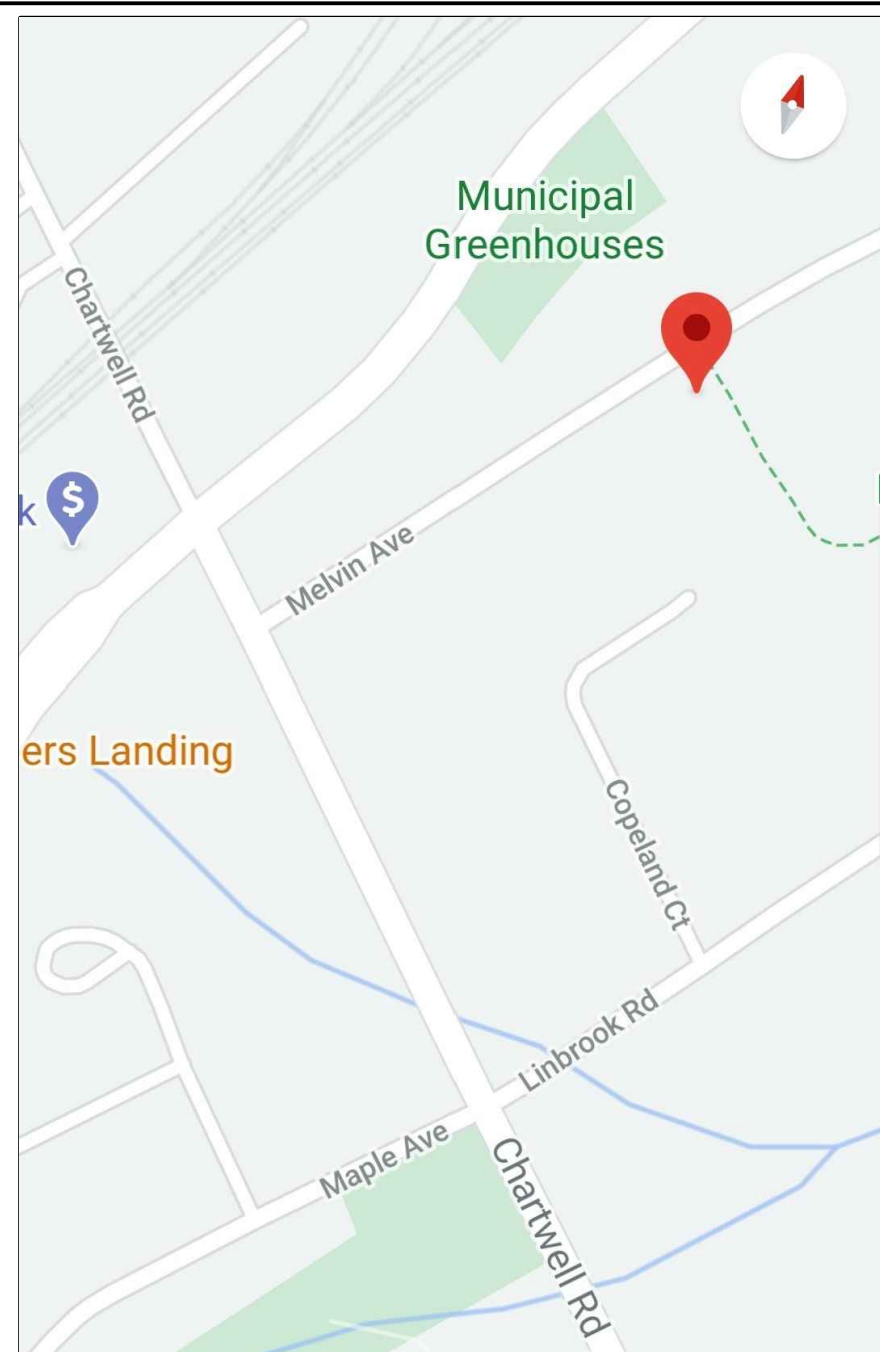
THE EXISTING WATER SERVICE
MUST BE INSPECTED AT THE
PROPERTY LINE BY THE
REGIONAL INSPECTOR

NOTE: CONTRACTOR TO DETERMINE
EXISTING INVERTS AND REPORT
ANY DISCREPANCIES TO THE TARASICK
MCMILLAN KUBICKI LTD.

ALL WORK WITHIN THE TREE PROTECTION ZONES MUST BE
COMPLETED WITH THE USE OF AIR SPADE (OR AIR VAC)
UNDER SUPERVISION OF THE PROJECT ARBORIST

ANY EXCAVATION FOR VERIFICATION OF THE EXISTING
SANITARY LATERAL MUST BE DONE UNDER THE
SUPERVISION OF THE PROJECT ARBORIST. IN THE CASE IT
MUST BE REPLACED, IT MUST BE OUTSIDE THE MINIMUM
TREE PROTECTION ZONE OF ALL TREES. IF RELOCATION
OUTSIDE THE TREE PROTECTION ZONES CANNOT BE
ACHIEVED, IT SHALL BE INSTALLED USING A TRENCHLESS
METHOD, SUCH AS DIRECTIONAL BORING.

For construction encroachment into minimum TPZ of tree #6, the
arborist report indicates that root pruning is to be implemented,
under arborist supervision.
Existing water service is inside the TPZ zone of tree #6. In the event
that the water service line cannot be relocated, no excavation shall
occur within the minimum TPZ. The water service line shall be
installed using a trenchless method such as directional boring.
For any bore verification pit, this must be dug using hydro-vac or
air-vac, under arborist supervision. In addition, the applicant shall
commit to retaining a Certified & Licensed Arborist to carry out any
arboricultural measures deemed necessary in order to minimize the
impact to the tree.



4 KEY PLAN

A2.1 SCALE: DNS

ZONING 1060 MELVIN RD.

ZONE RL2-0	
LOT AREA:	1,100 m ² (11,840 SQ.FT.)
LOT FRONTAGE:	22.28m.
MAXIMUM HEIGHT:	9.0m.
MAX. LOT COV. 25% :	274.99m ² (2,960s.f.)
MAX G.F.A. 35% :	384.99m ² (4,144 s.f.)
MIN FRONT SETBACK:	9m.
MIN SIDE SETBACK:	2.4m. & 1.2m.
MIN REAR SETBACK:	7.5 m.
MAX. ROOF HEIGHT	9.0 m
EXISTING GROUND FLOOR	2,055 s.f.
EXISTING SECOND FLOOR	2,064 s.f.
EXISTING EXT. GARAGE	539 s.f.
EXISTING INT. GARAGE	484 s.f.
EXISTING COVERED PORCHES	294s.f.
EXISTING G.F.A. : (34.78%)	382.66m ² = 4,119 s.f.
EXISTING ROOF HEIGHT	9.0 m
PROPOSED COVD. PORCHES	338s.f.
PROPOSED LOT COV.:	(27.24 %) 3,226s.f.
(GARAGE & PORCHES INCL'D.)	

5 SITE STATISTICS

A2.1 SCALE: DNS

REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED
SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION
STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE
AREA MUNICIPALITY.

DATED..... SIGNED.....
INFRASTRUCTURE PLANNING AND POLICY

THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER
SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL
MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE
REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE
WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED
FROM THE DATA MANAGEMENT GROUP AT 905-825-6032) FURTHERMORE,
ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF
HALTON'S SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED
ON.

6 REGION OF HALTON

A2.1 SCALE: DNS

CERTIFICATION FOR PROPOSED GRADING

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING
LOCATED AT 1060 MELVIN AVENUE AND HAVE PREPARED THIS PLAN TO
INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT
PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT
ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE
ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES
WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE
PATTERNS OR ADJACENT PROPERTIES.

K:\MISCELLANEOUS\BKC-legendump.JPG

DATE: JULY 29, 2021
MISSISSAUGA, ONTARIO
FILE No. 8785

BORYS KUBICKI,
Ontario Land Surveyor

TARASICK MCMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS
4181 SLADEVIEW CRESCENT, UNIT 42 TEL: (905) 569-8849
MISSISSAUGA, ONTARIO L5L 5R2 FAX: (905) 569-3160

7 GRADING CERTIFICATE

A2.1 SCALE: NA

Drawings must NOT be scaled. Contractor must
check and verify all dimensions, specifications and
drawings on site and report any discrepancies to the
architect prior to proceeding with any of the work.

SITE LEGEND:

---	PROPERTY LINE
—	EXISTING GRADE
—	FINISHED GRADE
F.F.E.	FINISHED FLOOR ELEVATION
F.B.E.	FINISHED BASEMENT ELEVATION
F.D.E.	FINISHED DECK ELEVATION
▲	MAIN ENTRANCE
▲	SECONDARY ENTRANCE
▲	PROPOSED PORCHES (EXISTING FOUNDATION)
▲	TREE HOARDING
▲	EXISTING TREE TO REMAIN
▲	EXISTING TREE TO BE REMOVED
○	RAIN WATER DOWNSPOUT

SITE ACCREDITATION:

PLAN OF TOPOGRAPHY OF
PART OF BLOCK A
REGISTERED PLAN 475
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

INFORMATION TAKEN FROM A SURVEY PREPARED BY:
TARASICK MCMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS
JAN. 29, 2021 ©COPYRIGHT, 2021

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE CONVERTED TO FEET
BY DIVIDING BY 0.3048.
ELEVATION NOTE
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC
VERTICAL DATUM-1928, AND WERE DERIVED FROM
TOWN OF OAKVILLE BENCHMARK No. 7, HAVING A
PUBLISHED ELEVATION OF 101.554 metres.

6	11.17.21	ISSUED FOR C.O.A. (REAR PORCHES)
5	07.29.21	REVISED FOR D.E.S.P. & B.P.
4	07.13.21	REVISED FOR D.E.S.P. & B.P.
3	05.05.21	REVISED FOR D.E.S.P.
2	03.25.21	ISSUED FOR D.E.S.P.
1	01.25.21	ISSUED FOR GRADING
REF.	DATE:	DESCRIPTION:
		REVISIONS / ISSUANCE:



www.keystonehomedesigns.com

INFO@KEYSTONEHOMEDESIGNS.COM
905.616.2221

251 North Service Rd. Suite 303
Oakville, ON. L6M 3E7
T: 905-616-2221
info@keystonehomedesigns.com
www.keystonehomedesigns.com

CLIENT:

**ZAIDI
RESIDENCE**

ADDRESS: 1060 MELVIN AVE.
CITY: OAKVILLE, ON.

DRAWING TITLE:
**SITE SERVICING &
GRADING PLAN**
DESP FILE No. 21-107566

DRAWN: G.C.

DATE: 03/01/21

JOB NUMBER:

20-14

SCALE: AS SHOWN

SHEET NUMBER:

A2.1



Proposed new roof over existing
open patios (former pergolas)



EXISTING NORTH ELEVATION



KEYSTONE
HOME DESIGNS

PROJECT:

Zaidi Residence

ADDRESS:

1060 MELVIN AVE.
OAKVILLE, ON

SCALE:	N.T.S.
DATE:	NOV. 17, 2021
BY:	G. CASTILLO

PAGE:

A3.7



KEYSTONE
HOME DESIGNS

PROJECT:

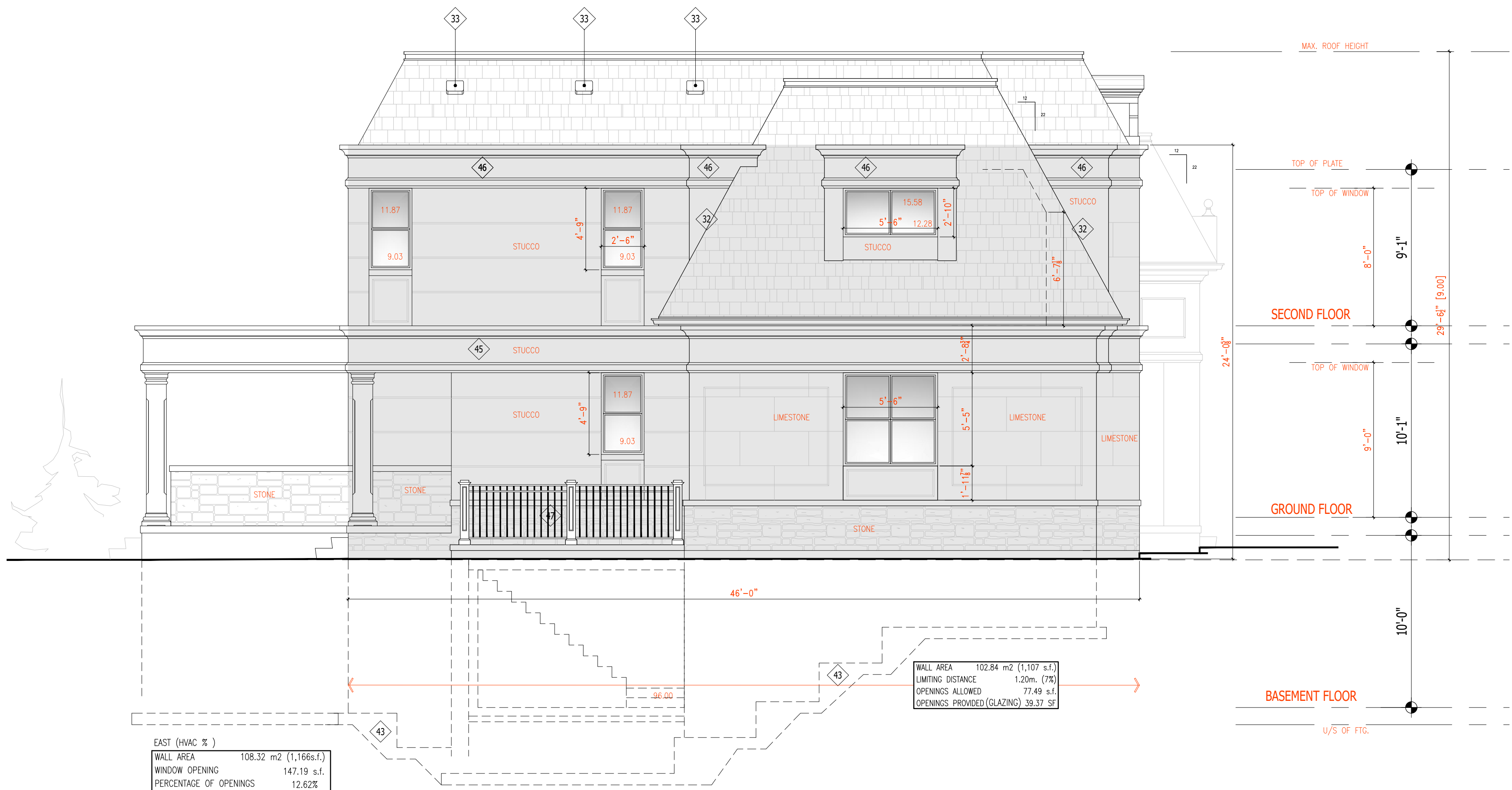
Zaidi Residence

ADDRESS:

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OAKVILLE, ON**

SCALE: N.T.S.
DATE: NOV. 17, 2021
BY: G. CASTILLO

PAGE: **A3.4**



EXISTING EAST ELEVATION



KEYSTONE
HOME DESIGNS

PROJECT:

Zaidi Residence

ADDRESS:

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OAKVILLE, ON**

SCALE: N.T.S.
DATE: NOV. 17, 2021
BY: G. CASTILLO

PAGE: **A3.5**

