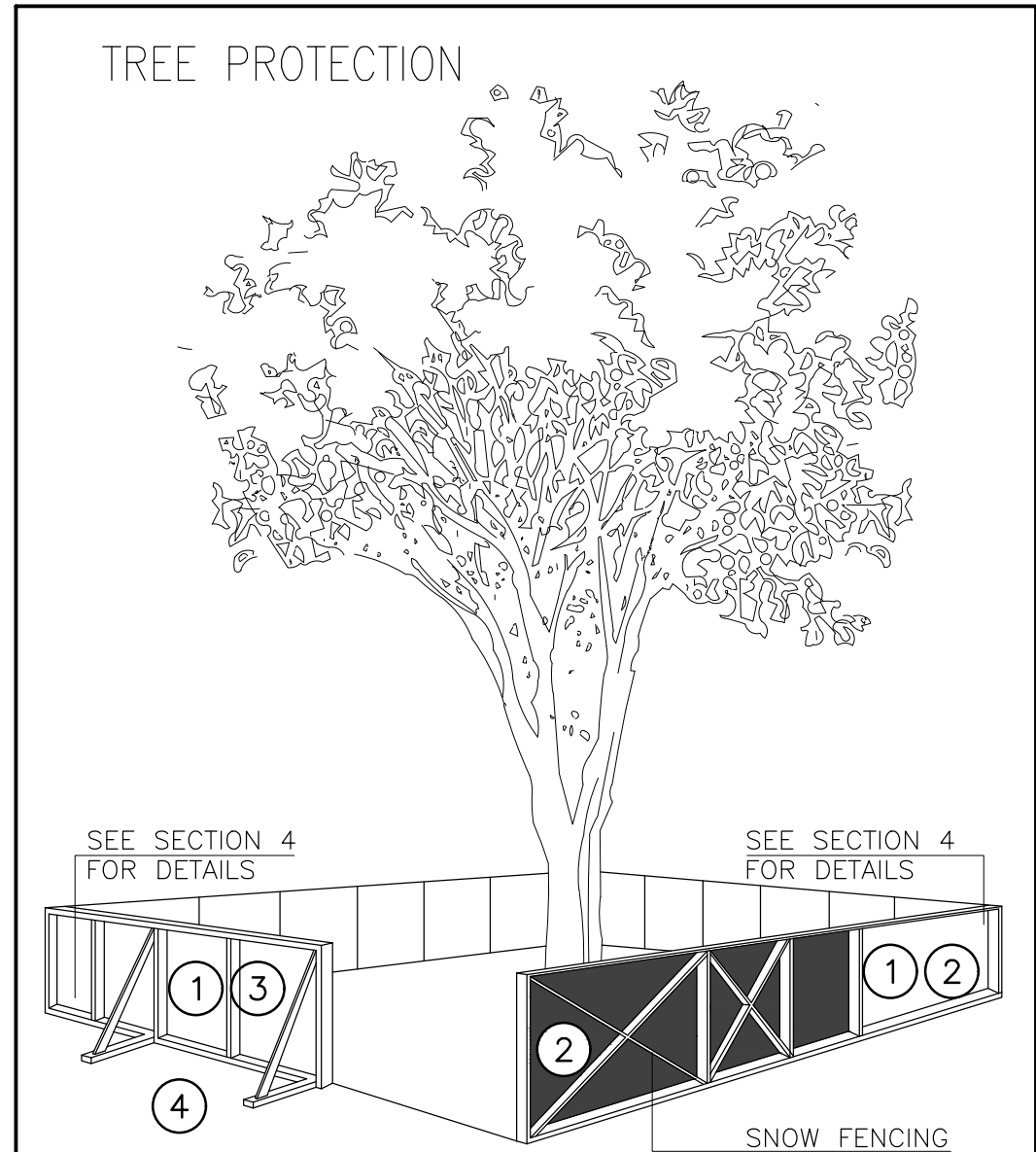




TREE PROTECTION BARRIERS

1. TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
2. TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
3. WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
4. ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
5. NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
6. ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

SECTION 4, SIGNAGE

1. A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmx60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

"TREE PROTECTION ZONE
NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE."

TOWN OF OAKVILLE PARKS AND RECREATION DEPARTMENT

NAME: TREE PROTECTION BARRIERS

DATE:

FILE NO.:

- A** ————— SOLID HOARDING (PLYWOOD BOARDS)
- B** - - - - - FRAMED HOARDING (PLASTIC SAFETY FENCING)

1 OAKVILLE SITE REQUIREMENTS

A2.1 SCALE: DNS

1. GENERAL NOTES:
A) SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF SITE GRADING WORKS, TO SATISFACTION OF THE CITY AND HALTON CONSERVATION.

B) IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/ BASE AREAS SHALL BE STABILIZED BY SEEDING.

C) THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/ OR EVERY WEEK.

D) THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/ OR REPLACED IF NECESSARY OR AS DIRECTED BY THE ENGINEER. CONSERVATION AUTHORITY OR THE CITY.

E) ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION, GRADING, TOPSOILING AND SODDING ARE COMPLETE.

F) WHEN ALL CONSTRUCTION, GRADING AND SODDING IS COMPLETED, THE SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS REINSTATED.

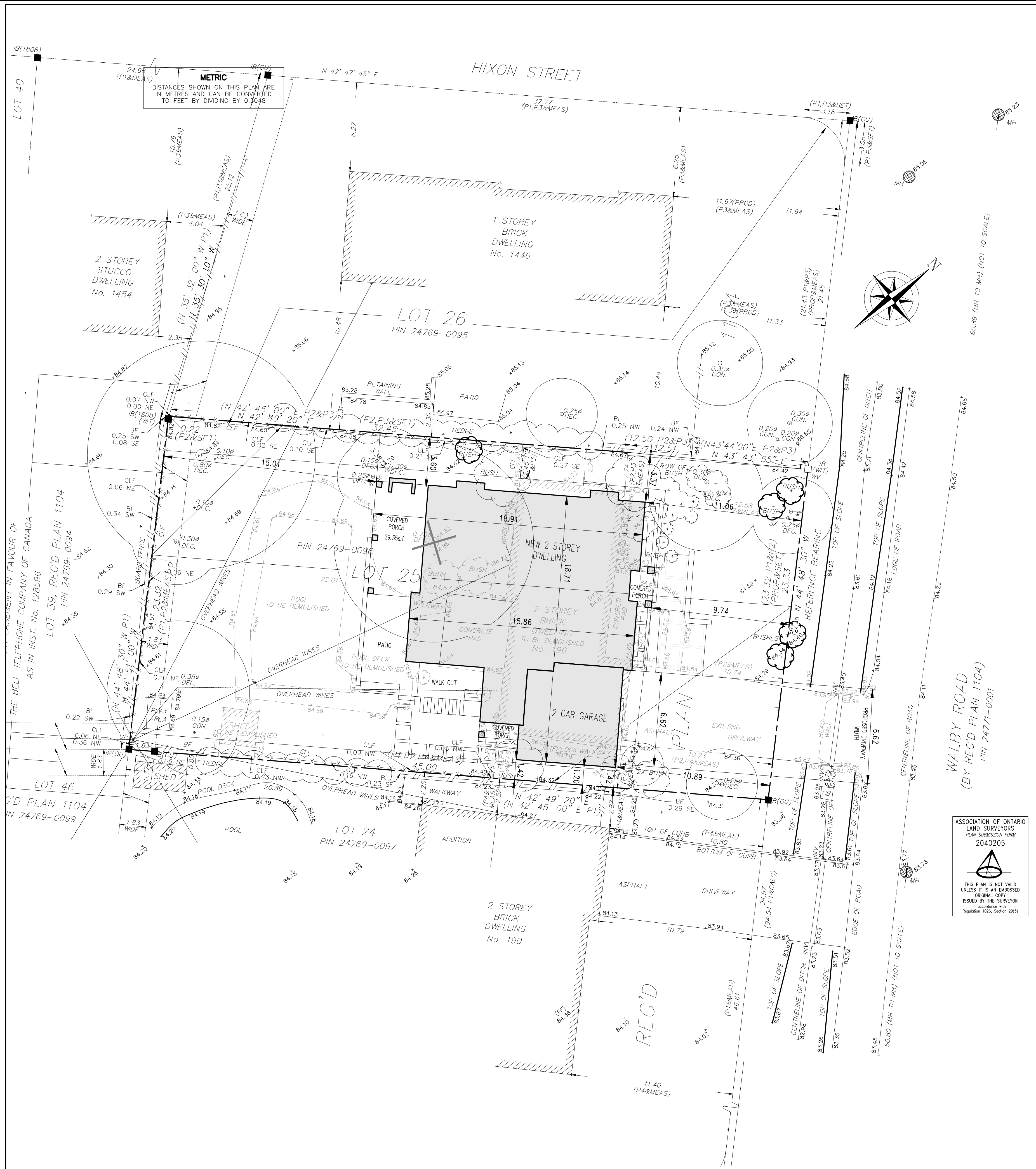
2. ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.

3. THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILED.

4. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

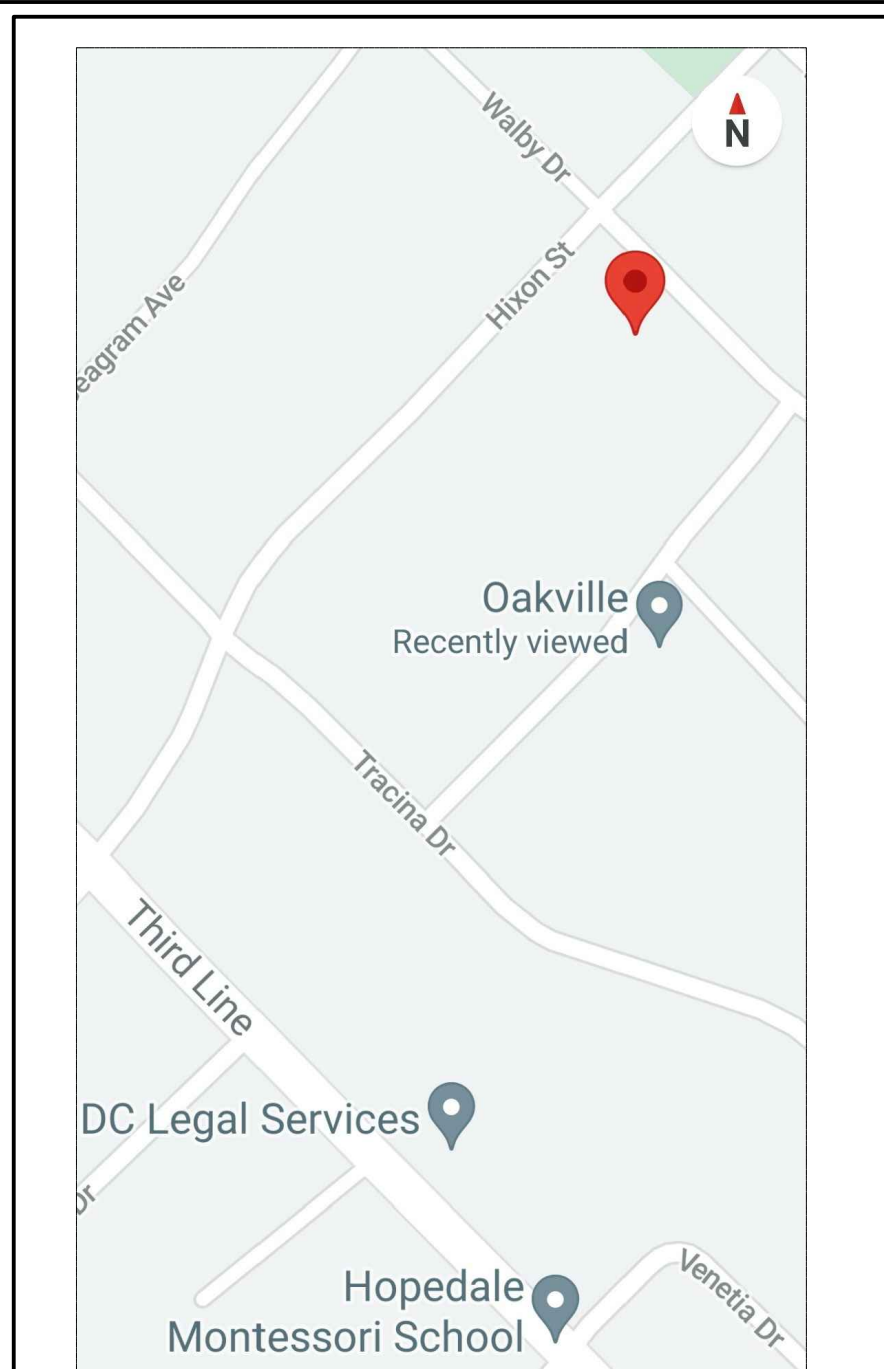
2 EROSION AND SEDIMENT CONTROL

A2.1 SCALE: DNS



3 SITE PLAN

A2.1 SCALE: 1:150



4 KEY PLAN

A2.1 SCALE: DNS

ZONING 196 WALBY DR.

ZONE RL2-0	
LOT AREA:	1,056.57 m ² (11,372 SQ.FT.)
MIN. LOT FRONTAGE:	20.5m.
MAXIMUM HEIGHT:	9.0m.
MAX. LOT COV. 25% :	264.14m ² (2,843 s.f.)
MAX. R.F.A. 37% :	390.93m ² (4,207 s.f.)
MIN FRONT SETBACK:	
MIN SIDE SETBACK:	2.4m.
MIN SIDE SETBACK:	1.2m.
MIN REAR SETBACK:	10.5 m.
MAX. ROOF HEIGHT	9.0 m
PROPOSED GROUND FLOOR	2,163 s.f.
SECOND FLOOR	2,257 s.f.
EXT. GARAGE	500 s.f.
INT. GARAGE	450 s.f.
COVERED PORCHES (& COV'D AREAS)	395 s.f.
PROPOSED LOT COV.:	(26.89%) 3,058 s.f. *
(GARAGE & PORCHES INCL'D.)	
PROPOSED R.F.A. (38.86%) :	410.63m ² (4,420.f.) *
PROPOSED ROOF HEIGHT	9.0 m

5 SITE STATISTICS

A2.1 SCALE: DNS

REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE AREA MUNICIPALITY.

DATED..... SIGNED.....

INFRASTRUCTURE PLANNING AND POLICY

THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-825-6032) FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED ON.

6 REGION OF HALTON

A2.1 SCALE: DNS

CERTIFICATION FOR PROPOSED GRADING

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT 1060 MELVIN AVE. AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

DATE: _____
MISSISSAUGA, ONTARIO _____
FILE No. 8785-SRPR-T _____
BORYS KUBICKI,
Ontario Land Surveyor

TARASICK McMillan KUBICKI LIMITED
ONTARIO LAND SURVEYORS
4181 SLADEVIEW CRESCENT, UNIT 42 TEL: (905) 569-8849
MISSISSAUGA, ONTARIO L5L 5R2 FAX: (905) 569-3160

7 GRADING CERTIFICATE

A2.1 SCALE: NA

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

SITE LEGEND:

---	PROPERTY LINE
---	EXISTING GRADE
---	FINISHED GRADE
F.F.E.	FINISHED FLOOR ELEVATION
F.B.E.	FINISHED BASEMENT ELEVATION
F.D.E.	FINISHED DECK ELEVATION
---	MAIN ENTRANCE
---	SECONDARY ENTRANCE
---	PROPOSED ADDITION AREA
---	TREE HOARDING
---	EXISTING TREE TO REMAIN
---	EXISTING TREE TO BE REMOVED
---	RAIN WATER DOWNSPOUT

SITE ACCREDITATION:

PLAN OF TOPOGRAPHY OF
LOT 25 AND PART OF LOT 26
REGISTERED PLAN 1104

TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

INFORMATION TAKEN FROM A SURVEY PREPARED BY:
J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
2021

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

1 01.30.21 ISSUED FOR C.O.A.

REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:

1 01.30.21 ISSUED FOR C.O.A.

REF. DATE: DESCRIPTION:

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REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:



4

FRONT ELEVATION 'F2'



7



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NOT FOR CONSTRUCTION

**MARK
RESIDENCE**
196 WALBY DR.
OAKVILLE, ON.

REAR
ELEVATION 'F2'

DRAWN BY: **G. CASTILLO**

A4.4





KEYSTONE
HOME DESIGNS

251 NORTH SERVICE RD.
SUITE 303
OAKVILLE, ON.
L6M 3E7
905-616-2221
info@keystonehomedesigns.com
www.keystonehomedesigns.com

© 2021

NOT FOR CONSTRUCTION

PROJECT:

MARK
RESIDENCE
196 WALBY DR.
OAKVILLE, ON.

LEFT
ELEVATION 'F2'

PROJECT:

21-08

DATE:

SEP. 27.21

SCALE:

N.T.S.

DRAWN BY:

G. CASTILLO

A4.2