

HERITAGE PERMIT

Application Form

To be submitted to Heritage Planning staff. Please use ink or complete fillable PDF. The accuracy and completeness of this application is the responsibility of the applicant.

Policy Planning & Heritage
Planning Services Department
Town of Oakville

A – Property and Applicant Information

Property Address: 187 Front Street, Oakville

Owner Contact Information:

Agent Contact Information (if applicable):

Name: Gus Ricci **Company Name:** Gus Ricci Architect

Address & Postal Code: 64 Rebecca Street, Oakville, L6K 1J2

Phone: 905-842-9191, ext.22 **E-mail:** gus@gusricciarchitect.com

B – Heritage Permit Application Summary

☐ Alterations to Building ☒ New Construction ☒ Landscaping ☐ Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. Demolition of an existing two storey 1960's era home (non contributing) to make way for a new
2. two storey single family home with side entry garage at basement level. To compliment the home,
3. new landscaping, garden walls, terraces and a rear yard swimming pool are proposed.
- 4.
- 5.
- 6.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

The proposal meets the Old Oakville Downtown Heritage Conservation District Plan as follows:

- 1) Maintaining the existing lot size, orientation to the street and use for single family dwelling
- 2) The massing of the home was reduced by positioning the side entry garage at the basement level thereby providing a much greater side yard setback (and open space) than required by zoning,
- 3) Use of gabled roof lines, divided window panes, painted wood siding with masonry veneer base are design elements consistent with the vernacular design style prevalent in the District.

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

Building Permit	☒ YES	☐ NO
Minor Variance	☒ YES	☐ NO
Site Plan	☒ YES	☐ NO
Site Alteration	☒ YES	☐ NO
Sign Permit	☐ YES	☒ NO
Tree Removals	☒ YES	☐ NO

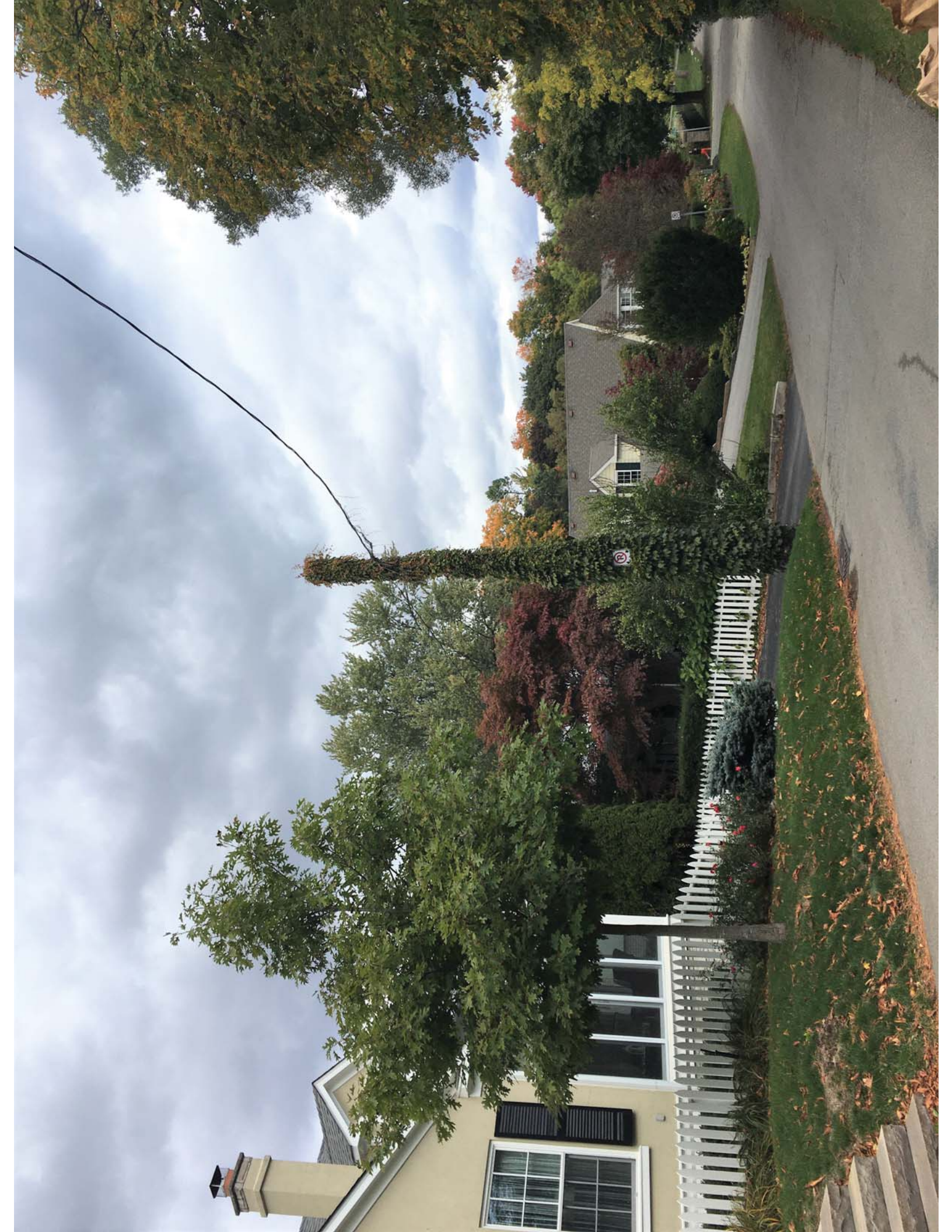
If Yes, please describe the application for all required approvals listed above:

The project is currently in Site Plan Approval (SP.1714.077/01) and has received 2nd round of comments; Site plan includes review of items typically part of a separate Site Alteration permit.

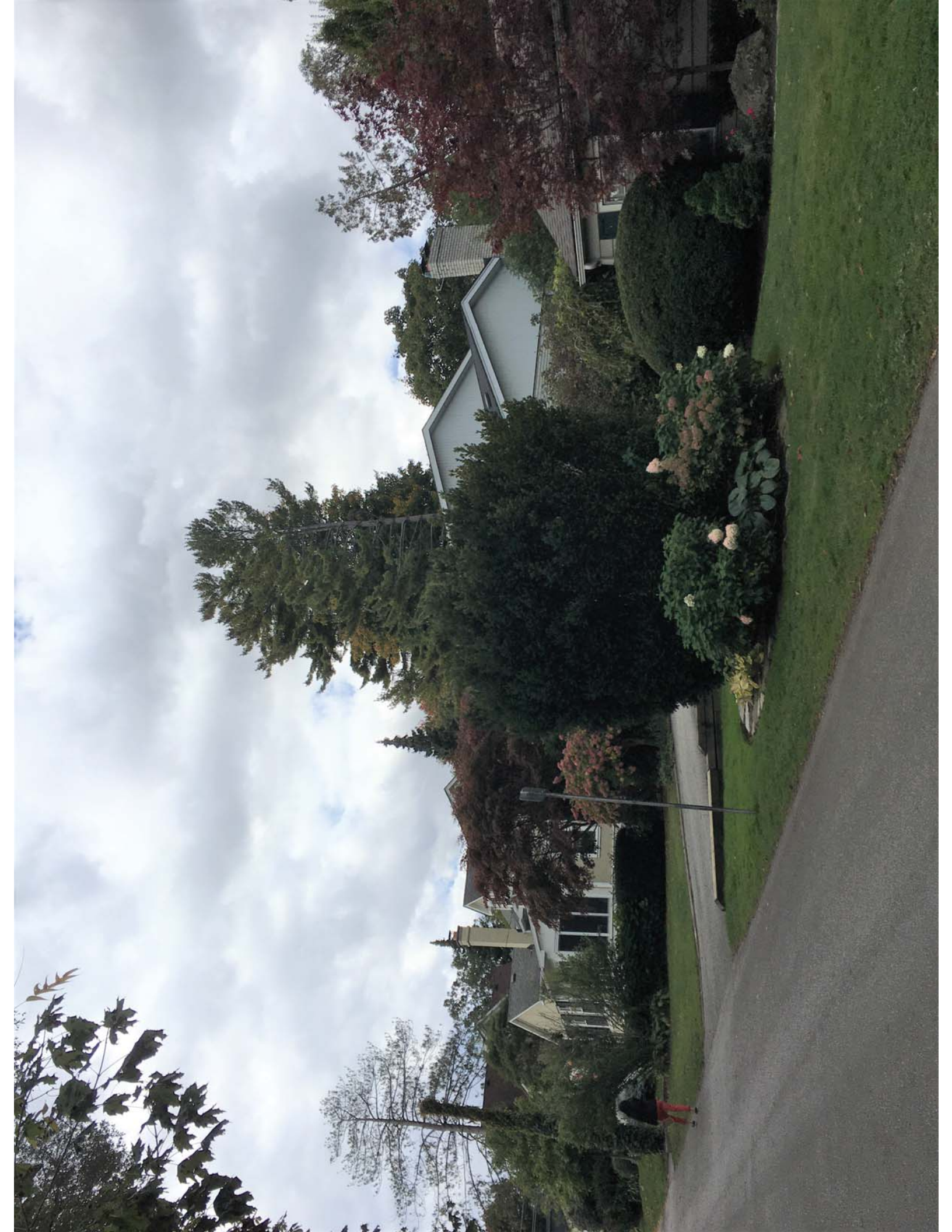
Minor variances are required for: 1) Reduced front yard setback from 6.0m to 4.0m, 2) Increase Residential Floor Area from 30% (186.12s.m.) to 42.3% (262.42 s.m.)

E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	New	Prefinished wood siding	White	Maibec or similar
Roof	New	Asphalt shingles	Charcoal	"Landmark" by Certaineed or similar
Foundation Walls	New	Masonry veneer	Charcoal / Grey	Natural stone
Trim	New	Wood and metal	Grey	Painted
Doors	New	Stained wood and Glass garden doors	Grey	Supplier TBD
Windows	New	Double glazed thermal units with slim SDL's	Grey	Supplier TBD
Porch	New	Entry Canopy over Front Door	Grey fascia with natural wood soffit	Painted wood and stained douglas fir
Fencing	New	Metal / Wood	Black / stained	Supplier TBD
Landscaping	New	Various	Various	TBD
Other	N/A			











S I T E S T A T I S T I C S			
LOT DESCRIPTION	PART OF LOTS E & F, BLOCK 22, REGISTERED PLAN 1	TOWN OF OAKVILLE	REGIONAL MUNICIPALITY OF HALTON
MUNICIPAL ADDRESS	187 FRONT STREET		
	Z O N I N G R E Q U I R E M E N T S	P R O P O S E D	
ZONING	TOWN OF OAKVILLE BYLAW 2014-014 : R13 - SP11		
LOT FRONTAGE	MINIMUM = 18.0m (59.05 ft.)	19.51 m	64.01 ft.
LOT AREA	MINIMUM = 557.5 m ² (6 000.88 sq.ft.)	620.80 m ²	6 682.23 sq.ft.
FRONT YARD SETBACK (SOUTH)	MINIMUM = 6.0 m (19.68 ft.)	4.00 m	13.12 ft.
REAR YARD SETBACK (NORTH)	MINIMUM = 7.5 m (24.60 ft.)	12.20 m	40.02 ft.
SIDE YARD SETBACK (EAST)	MINIMUM = 2.40 m (7.87 ft.) (as per SP11)	5.89 m	19.32 ft.
SIDE YARD SETBACK (WEST)	MINIMUM = 2.40 m (7.87 ft.) (as per SP11)	2.42 m	7.94 ft.
BUILDING HEIGHT	MAXIMUM = 10.5 m (34.44 ft.) (as per SP11) (from Established Grade to Mean Height between the Eave and Ridge of Gabled Roof)	9.62 m	31.56 ft.
LOT COVERAGE	MAX = 25% = 155.20 m ² (1 670.55 sq.ft.) (as per SP11)	143.10 m ² 8.70 m ²	1 540.36 sq.ft. 93.60 sq.ft.
		TOTAL PROPOSED LOT COVERAGE	1 633.96 sq.ft. = 24.45 %
RESIDENTIAL FLOOR AREA	MAX = 30% = 186.12 m ² (2 003.44 sq.ft.) (as per SP11)	143.10 m ² 119.32 m ²	1 540.36 sq.ft. 1 284.30 sq.ft.
		TOTAL FLOOR AREA	262.42 m ² 2 824.66 sq.ft. = 42.3 %
GARAGE SIZE	MAXIMUM FLOOR AREA = 45.0 m ² (484.3 sq.ft.) (as per 5.8.6. - Zoning Bylaw)	44.96 m ²	483.96 sq.ft.

DATA IS AS REQUIRED BY TOWN OF OAKVILLE ZONING BYLAWS

Proposed New Residence at:

187 FRONT STREET, Oakville

SITE DATA • May 10, 2021

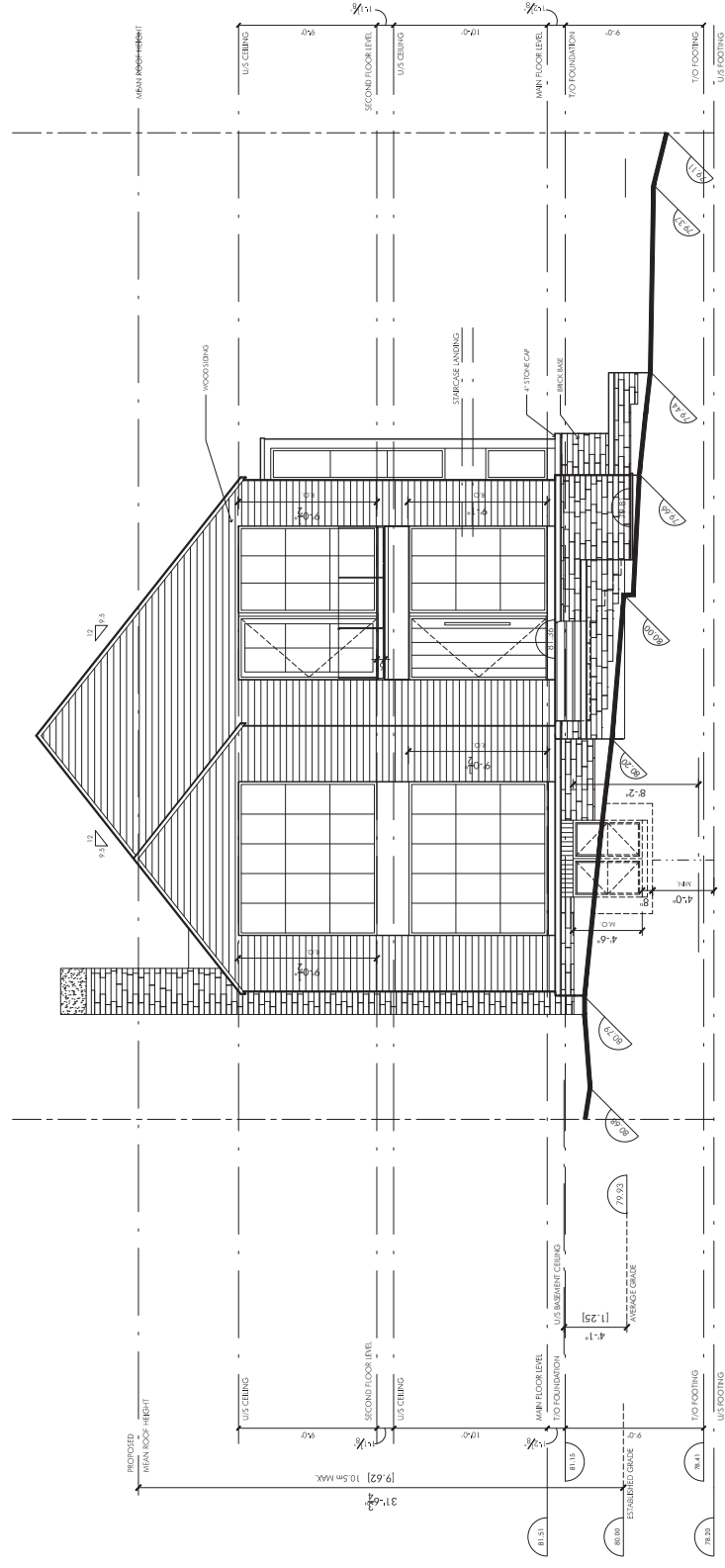
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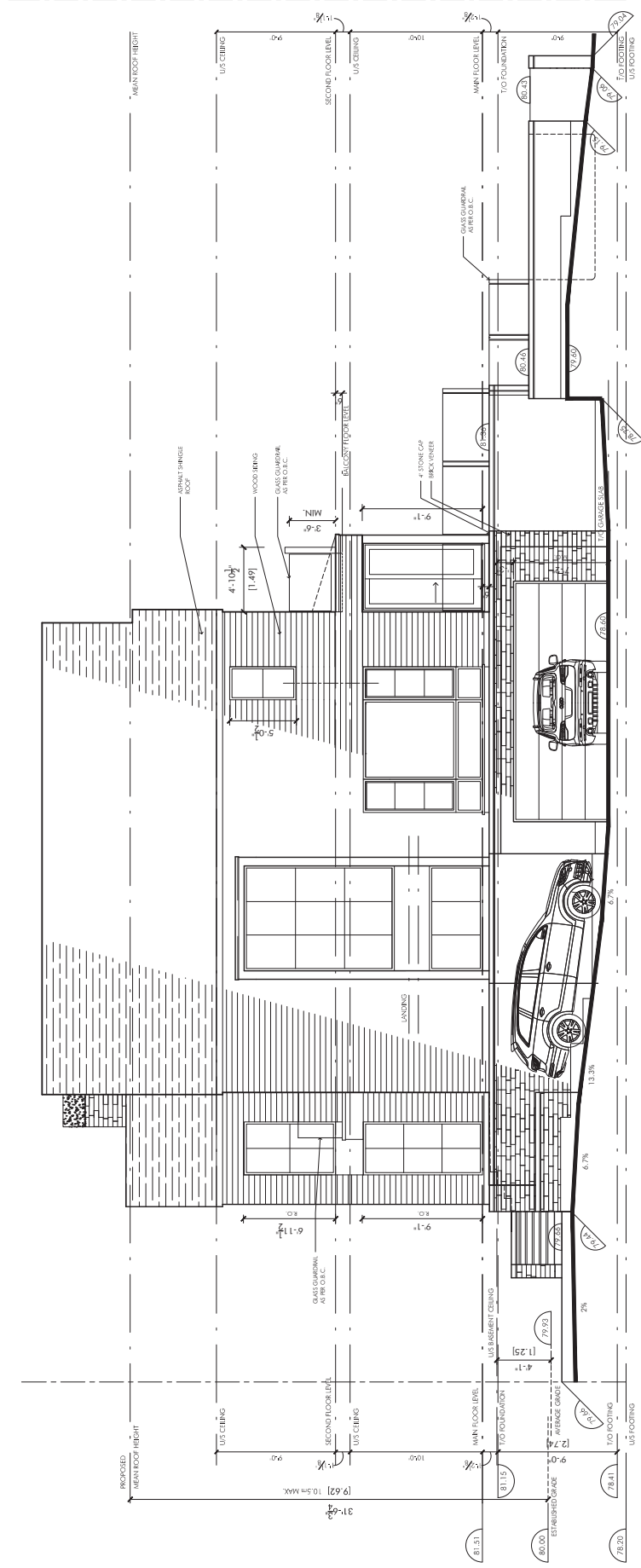


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ARCHITECT

187 FRONT STREET, OAKVILLE
South Elevation at 1/8" = 1'-0" • May 10, 2021
SKA06



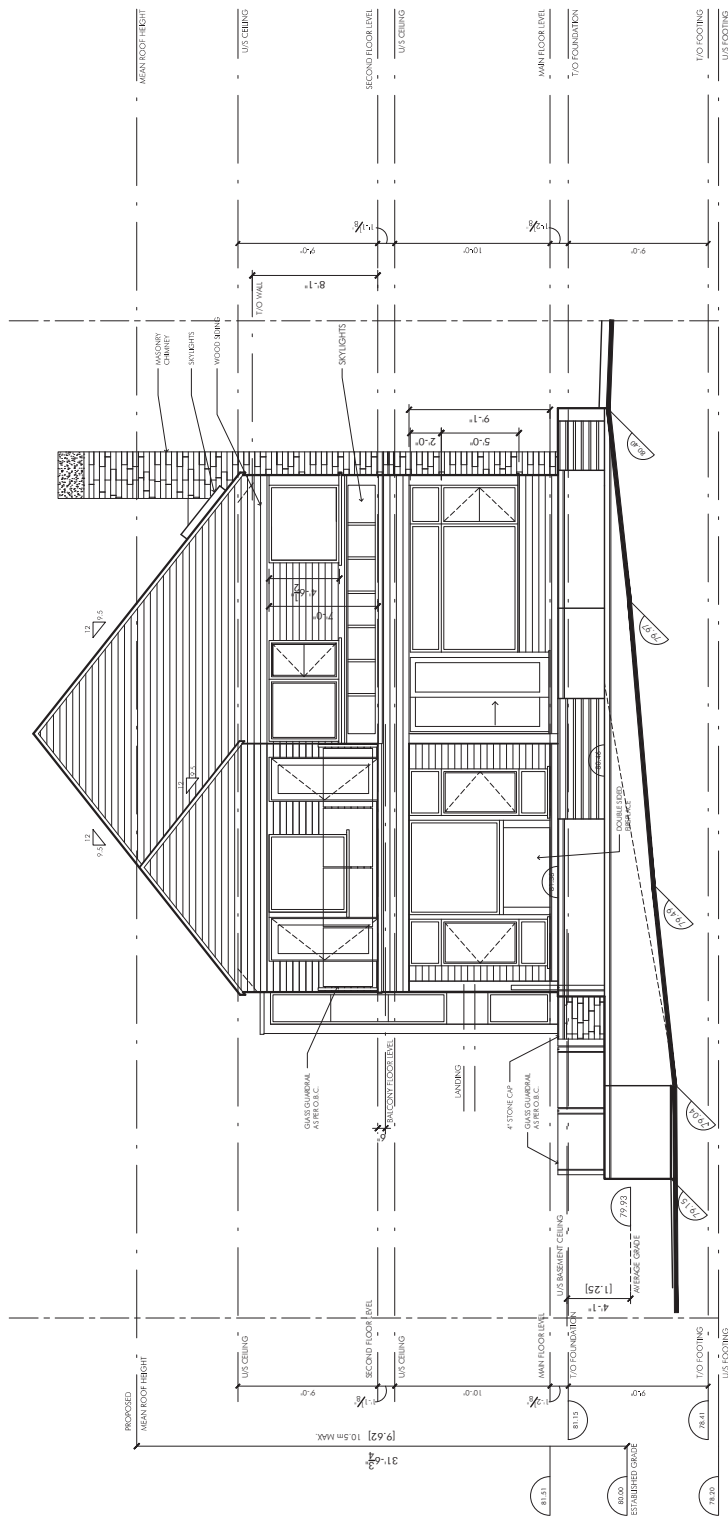


Proposed New Residence at:

187 FRONT STREET, OAKVILLE
East Elevation at 1/8" = 1'-0" • May 10, 2021
SKA08

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Proposed New Residence at:

187 FRONT STREET, OAKVILLE

North Elevation at 1/8" = 1'-0" • May 10, 2021

SKA07

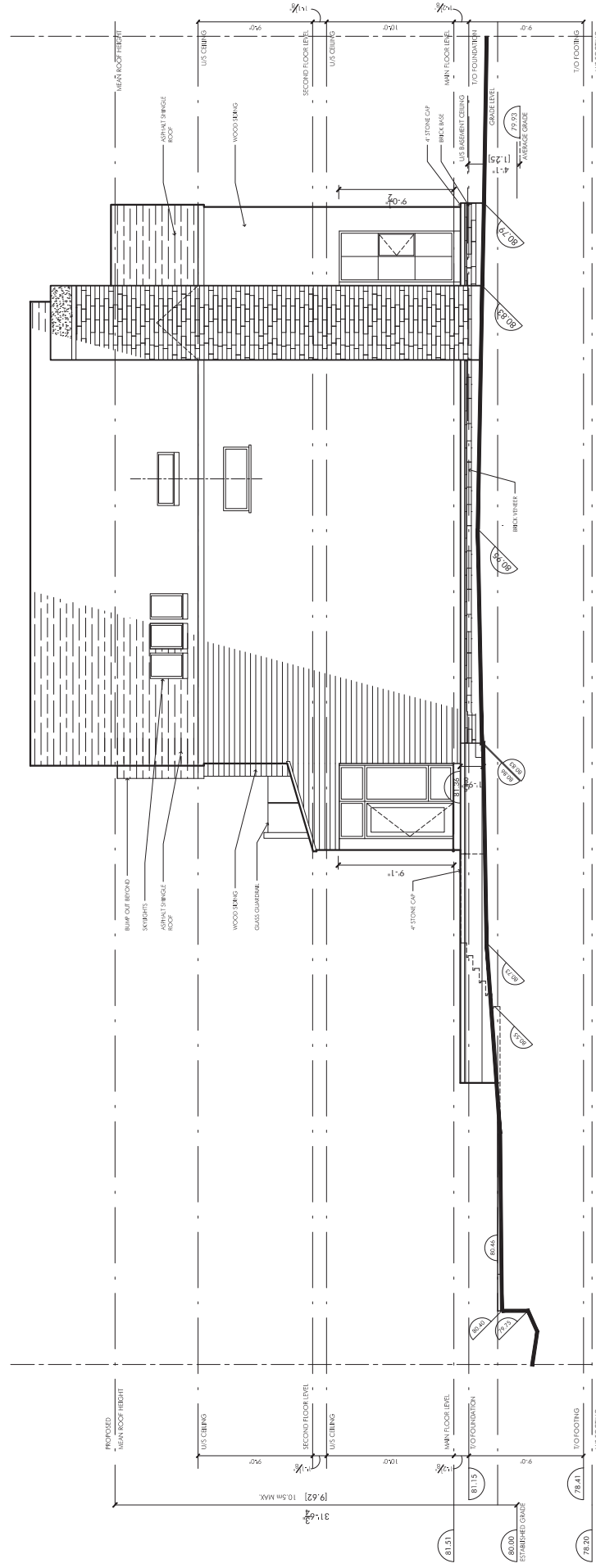


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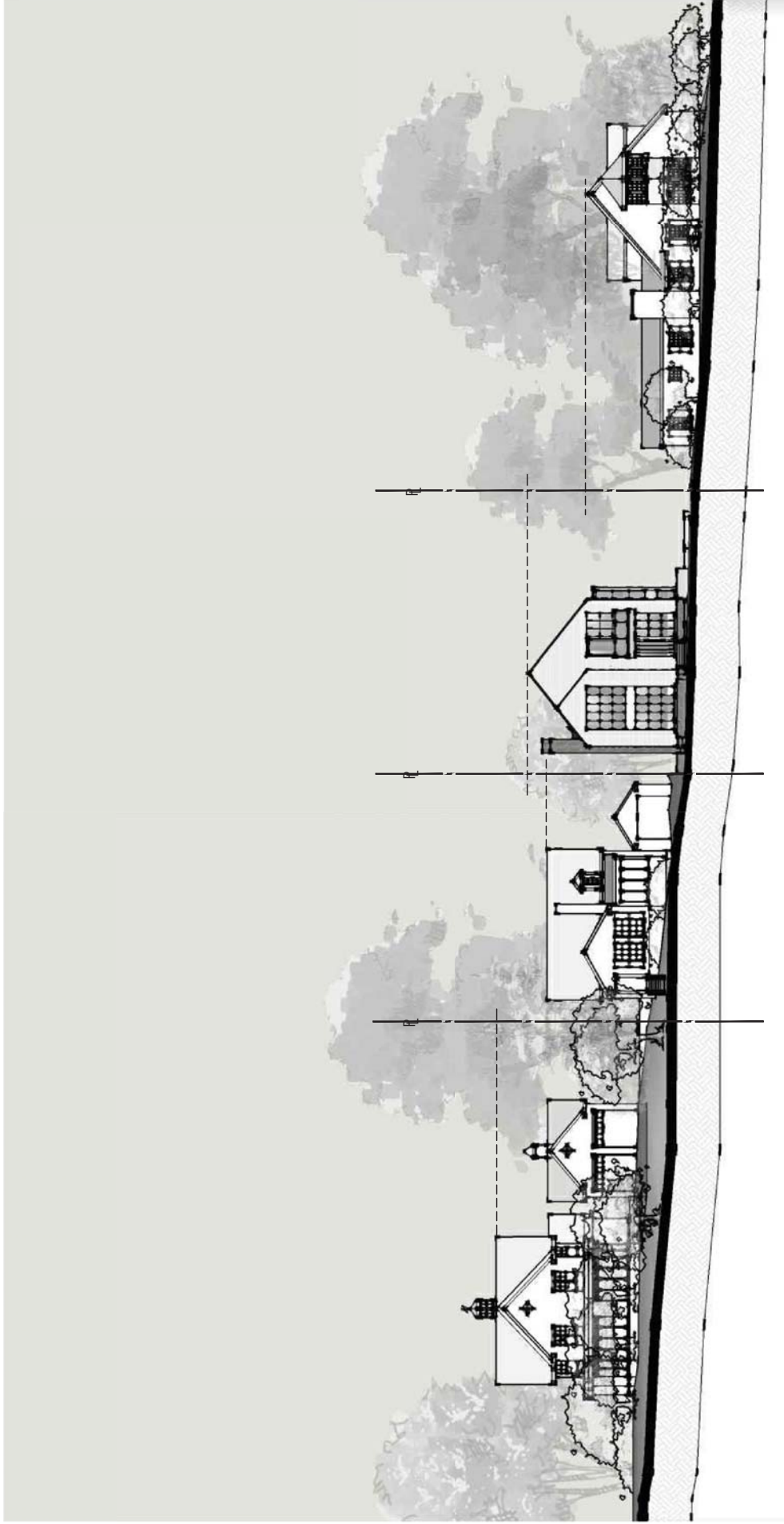


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187 FRONT STREET, OAKVILLE
West Elevation at 1/8" = 1'-0" • May 10, 2021
SKA09







Proposed New Residence at:

187 FRONT STREET, OAKVILLE

Streetscape • May 10, 2021

SKA10

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Proposed New Residence at:

187 FRONT STREET, OAKVILLE

Rendering • May 10, 2021

SKA11

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