

HERITAGE PERMIT

Application Form

To be submitted to Heritage Planning staff. Please use ink or complete fillable PDF. The accuracy and completeness of this application is the responsibility of the applicant.

Policy Planning & Heritage
Planning Services Department
Town of Oakville

A – Property and Applicant Information

Property Address: 105 Paliser Court

Owner Contact Information:

Agent Contact Information (if applicable):

Name: Fernando Lima

Company Name: Lima Architects Inc

Address & Postal Code: 59-5100 South Service Road, Burlington ON

Phone: 289-337-8887

E-mail: info@limaarchitectsinc.com

B – Heritage Permit Application Summary

☐ Alterations to Building ☒ New Construction ☐ Landscaping ☐ Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. Want to add detached double car garage approx 378 sq feet

2.

3.

4.

5.

6.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

Due to the lack of an appropriate covered parking structure, a detached garage of a moderate size has been proposed. Using material such as wood siding, we look to preserve the Heritage aesthetic of the property

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

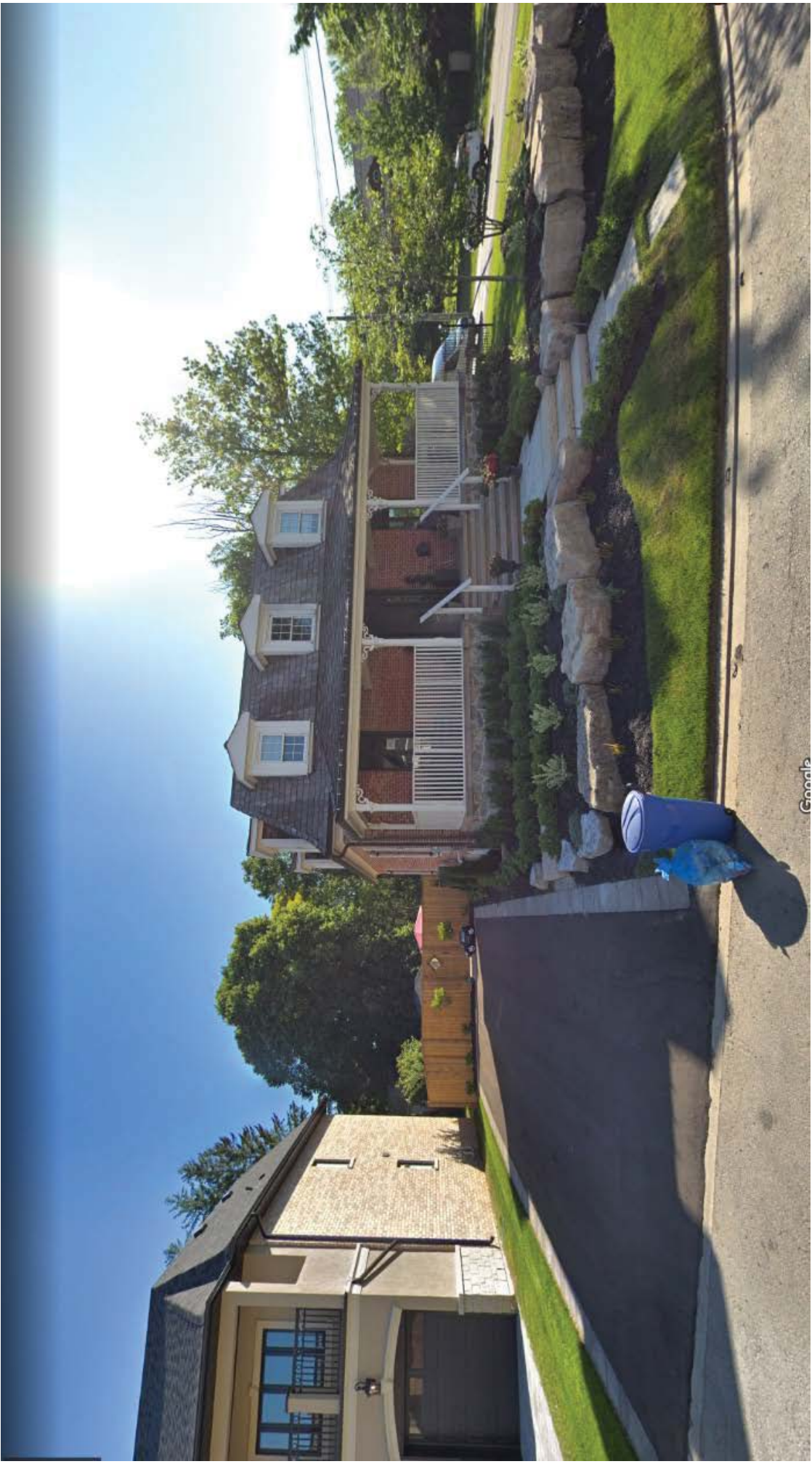
Building Permit	☒ YES	☐ NO
Minor Variance	☐ YES	☒ NO
Site Plan	☐ YES	☒ NO
Site Alteration	☐ YES	☒ NO
Sign Permit	☐ YES	☒ NO
Tree Removals	☐ YES	☒ NO

If Yes, please describe the application for all required approvals listed above:

A Building Permit is required for the construction of the Garage

E – Product and Manufacturer Details (fill in all applicable information)

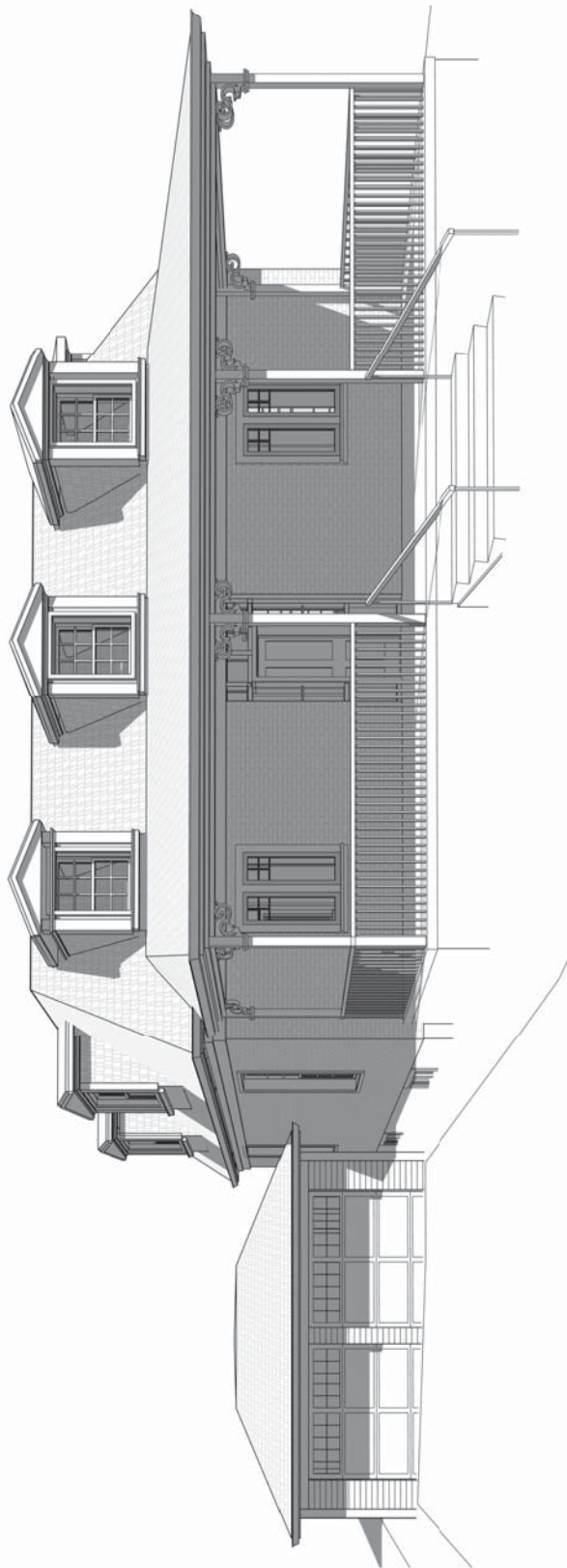
Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	New	Wood Siding	White	
Roof	New	Asphalt Shingles	Dark Grey	
Foundation Walls	New	Poured Concrete	Concrete	
Trim	New	Wood Trim	White	
Doors	New Garage Doors 8'-0" x 8'-0"	n/a	Dark Grey / Black	
Windows				
Porch				
Fencing				
Landscaping				
Other				











LIMA
ARCHITECTS INC.

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info@limaarchitectinc.com
www.limaarchitectinc.com

SEAL 5


 OF
 ARCHITECTS
 FERNANDO F. S. LIMA
 LICENCE
 6901

PROJECT TITLE

NEW GARAGE

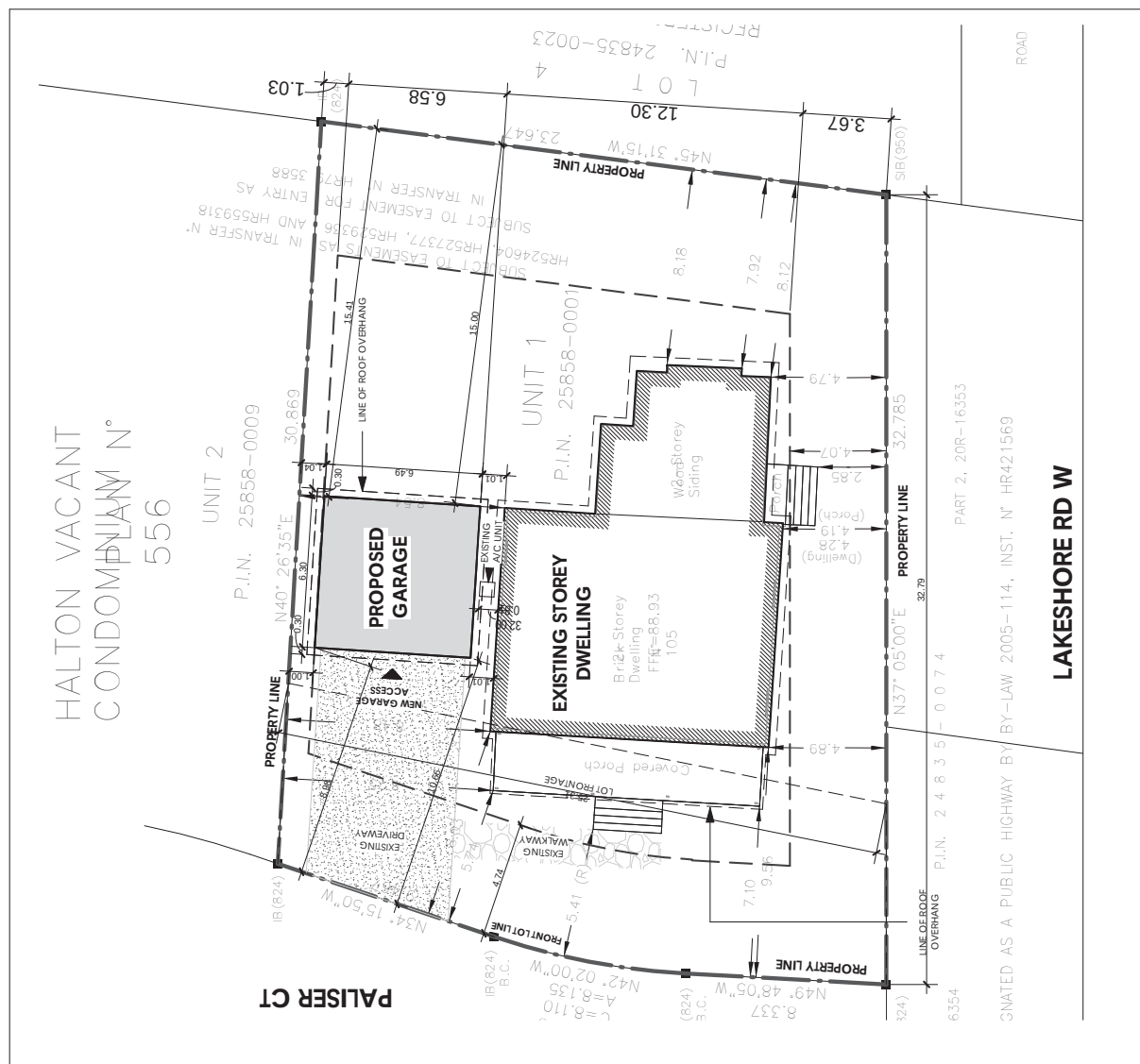
105 Paliser Ct Oakville, ON

DRAWING TITLE	DQ
COVERSHEET & DRAWING LIST	
DRAWN BY	
SCALE	

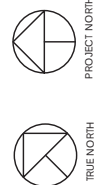
DATE	CHECKED BY	PROJECT NUMBER
JULY 2021		FL

DRAWING NUMBER

A-0.0



1 SITE PLAN
A-1.0 1/16" = 1'-0"



ADDRESS: 105 Paliser Ct Oakville, ON

**SITE STATISTICS - RL2-0 sp:271 Block 1 Lands
(Town of Oakville Zoning By-law 2014-014)**

LOT AREA: 799.86 M2

	REQUIRED	PROPOSED
MIN. LOT AREA (M2)	836.0 M2	799.86 M2 (EXIST.)
MIN. LOT FRONTAGE (M)	22.5 M	25.31 M (EXIST.)
MAX. NUMBER OF STOREYS	2	2 (EXIST.)
MAX. HEIGHT (M)	4.0 M	
MAX. HEIGHT FOR AN ACCESSORY BUILDING (M)	4.0 M	
MAX. RES. FLOOR AREA RATIO (M2) LOT AREA: 799.86 M2	40% (319.94 M2)	
MAX. DWELLING DEPTH		N/A
GROSS FLOOR AREA:	EXISTING DWELLING	
LOT COVERAGE:	NOTING BY LAW 66.5X167: THE MAXIMUM LOT COVERAGE SHALL BE THE GREATER OF 5% OF 42.42 SQUARE METERS OF BUILDING AREA, EXCEPT AS SPECIFIED OTHERWISE BY THIS BY-LAW. THIS LOT COVERAGE SHALL BE ADDITIONAL TO THE MAXIMUM LOT COVERAGE FOR THE DWELLING.	
EXISTING DWELLING: TOTAL GROSS COVERED AREA = 147.39 M2 PORCH COVERED AREA = 27.19 M2 TOTAL = 174.57 M2 (EXISTING)	50% TOTAL (216.46 M2)	26.94 % (TOTAL)
ACCESSORY STRUCTURE: PROPOSED GARAGE COVERED AREA = 40.99 M2		5.11% (ACCESSORY STRUCTURE)
LOT COVERAGE FOR AN ACCESSORY BUILDING (M)	42 M2	40.89 M ² -41 M ²
MIN. FRONT YARD (M) TO GARAGE	3	8.98M
MIN. SIDE YARD (M) TO GARAGE	1.0 M & 0.3 M	1.0 M
MIN. REAR YARD (M) TO GARAGE	5.5 M	15.0 M
MIN. SEPARATION DISTANCE BETWEEN DWELLINGS (M)	1.3 M	3.02 M
MINIMUM FLANKAGE YARD (LAKESHORE ROAD WEST) (M)	4.0 M	12.33 M

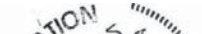
ACCESSORY BUILDING:

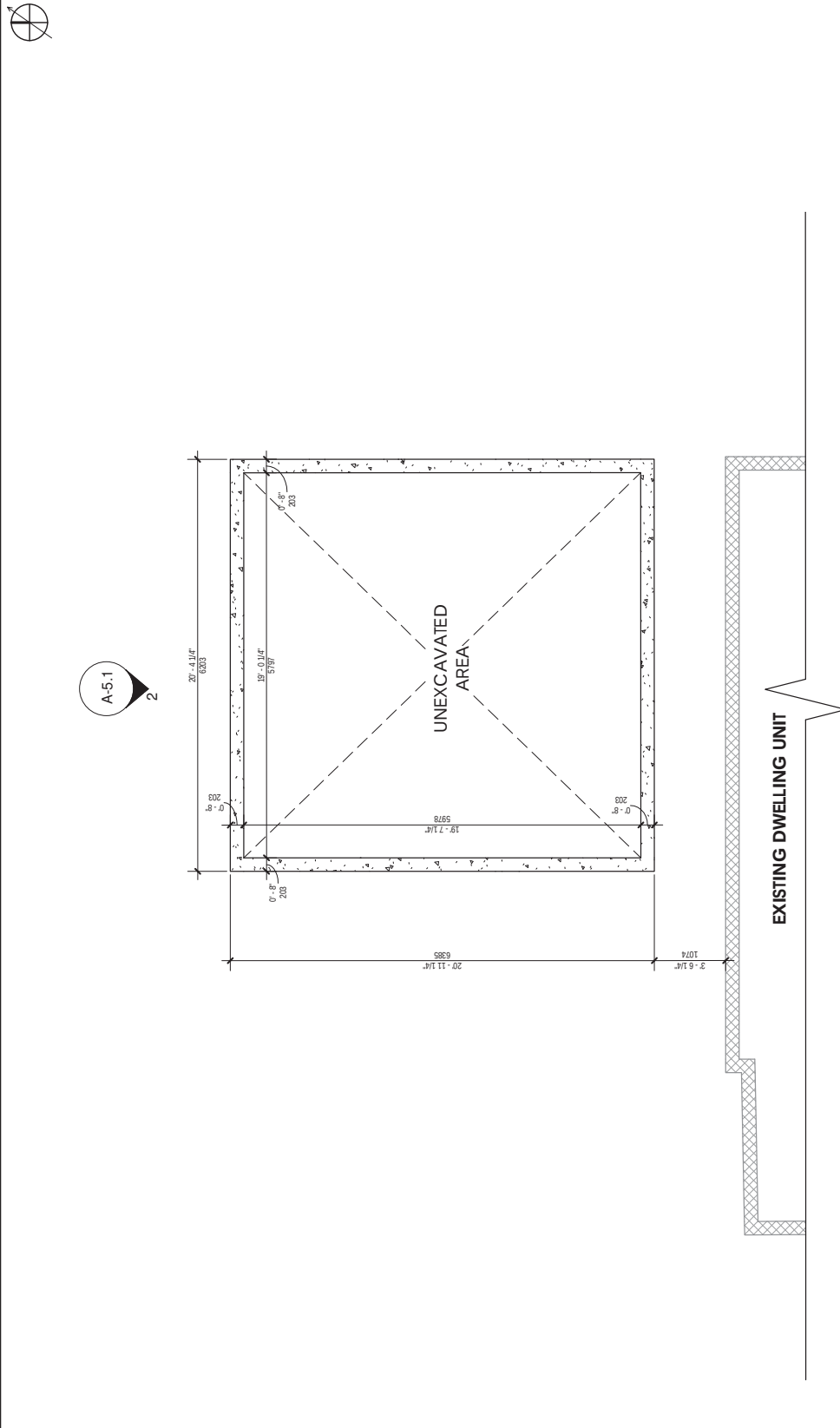
(1) IN A FRONT OR INTERIOR SIDE YARD THE MINIMUM YARD FOR AN ACCESSORY BUILDING OR STRUCTURE SHALL BE THE SAME AS FOR THE DWELLING ON THE LOT.

(2) IN A FLANKAGE OR REAR YARD, THE MINIMUM YARD FROM ANY LOT LINE SHALL BE 0.6 METRES, PROVIDED THAT THE ACCESSORY BUILDING OR STRUCTURE HAS A MINIMUM SEPARATION DISTANCE OF 2.0 METRES FROM THE DWELLING.

(3) THE MAXIMUM LOT COVERAGE SHALL BE THE GREATER OF 5% OF THE LOT AREA OR 42.0 SQUARE METRES OF BUILDING AREA, EXCEPT AS SPECIFIED OTHERWISE BY THIS BY-LAW. THIS LOT COVERAGE SHALL BE ADDITIONAL TO THE MAXIMUM LOT COVERAGE FOR THE DWELLING.

(4) THE FOLLOWING ADDITIONAL PROVISION APPLIES: HEIGHT SHALL BE MEASURED AT THE CENTRE POINT OF BASE OF THE FRONT WALL OF EACH DWELLING.

REVIEWS			
NUMBER	DATE	REMARKS	
001	2021-07-28	ISSUED FOR HERITAGE INMAT	
CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED CONSTRUCTION WORK TO THE PROJECT BEFORE PROVIDING ANY INFORMATION TO THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.			
 LIMA ARCHITECTS INC. #69 - 5100 South Service Road Burlington T 289 337 8887 info@limarchitectinc.com www.limarchitectinc.com			
SFAR 5			
 ONTARIO ASSOCIATION OF ARCHITECTS FERNANDO F. S. LIMA LICENCE 6801			
PROJECT TITLE			
NEW GARAGE			
105 Paliser Ct Oakville, ON			
DRAWING TITLE			
SITE PLAN			
DRAWN BY			
DQ			
SCALE			
As indicated			
DATE			
CHECKED BY			
JULY 2021			
FL			
PROJECT NUMBER			
21-495			
DRAWING NUMBER			
A-1.0			

[illegible]



A-2.1

ONTARIO ASSOCIATION
 OF ARCHITECTS
 FERNANDO F. S. LIMA
 LICENCE 6901

PROJECT TITLE

NEW GARAGE

105 Paliser Ct Oakville, ON

DRAWING TITLE	PROPOSED FLOOR PLAN		
DRAWN BY	DQ / RM	3/16 = 1'-0"	JULY 2021
SCALE			
DATE			
CHECKED BY			FL
PROJECT NUMBER			21-495
DRAWING NUMBER			



A-2.2

MATERIAL LEGEND:

- 1 - ASPHALT SHINGLES - DARK GREY / BLACK
- 2 - WOOD SIDING - WHITE
- 3 - EXPOSED CONCRETE - GREY
- 4 - WOOD TRIM - WHITE

1 EAST ELEVATION
A-5.1
1/8" = 1'-0"

2 NORTH ELEVATION
A-5.1
1/8" = 1'-0"

[illegible]

