

KEY PLAN
NOT TO SCALE

GENERAL NOTES

NO NEW OR EXISTING RETAINING WALL WITH MORE THAN 2'-0" (0.60M) DIFFERENCE ON BOTH SIDES AT SUBJECT PROPERTY.
ALL MUNICIPAL SERVICES TO REMAIN.
ANY EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE.
GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
GRADES TO REMAIN UNCHANGED ALONG PROPERTY LINES.

THE EXISTING WATER SERVICE MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR. A SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

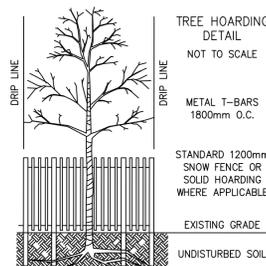
THE EXISTING SANITARY LATERAL MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR AND TELEVIEWED BY REGIONAL FORCES PRIOR TO CONNECTION. A LATERAL THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW LATERAL CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

SITE STATISTICS RL2-0

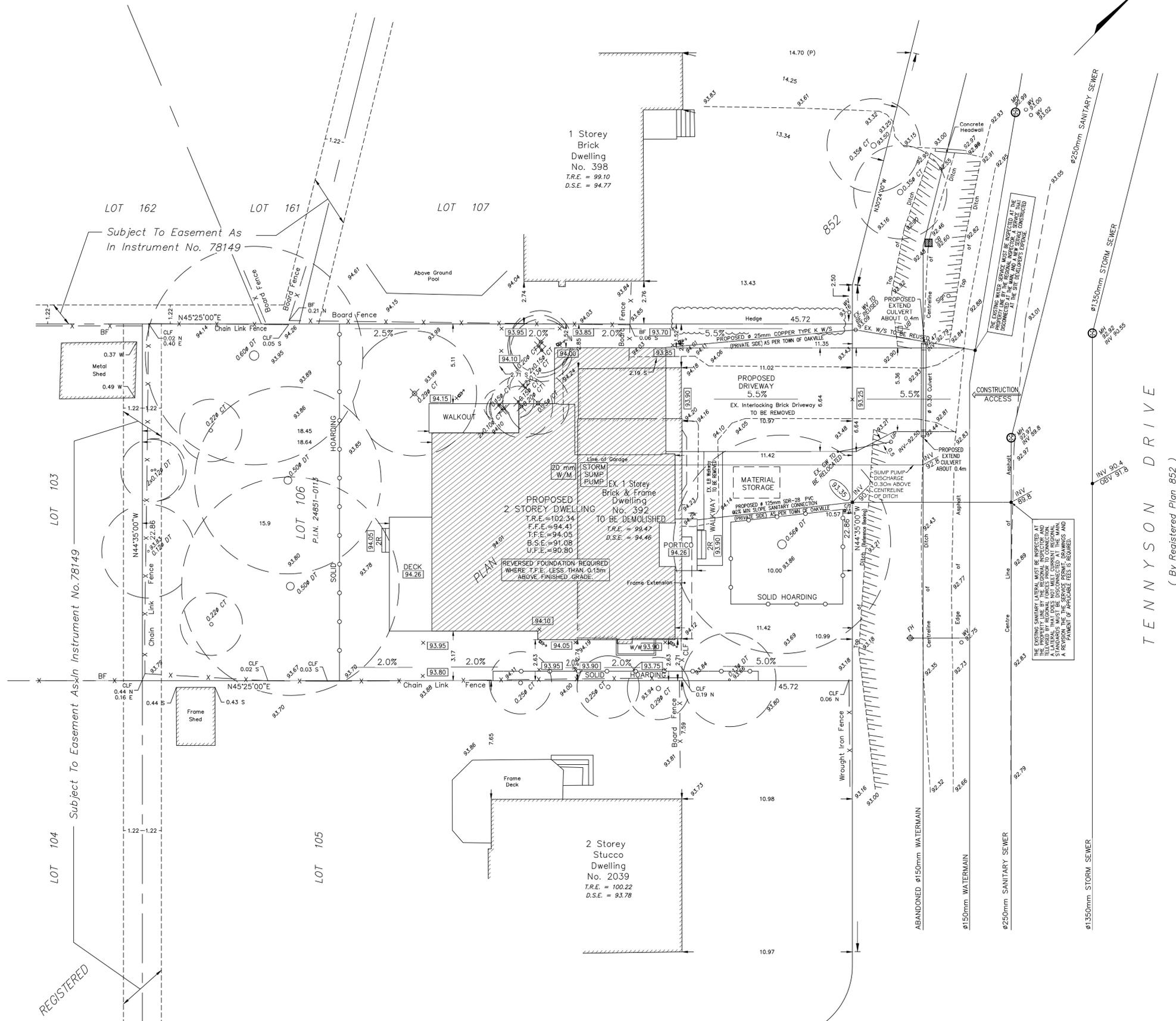
SITE AREA	1045.16 m ²
SITE FRONTAGE	22.86 m
GROSS FLOOR AREA	PROPOSED
GROUND FLOOR	198.61 m ²
SECOND FLOOR	228.7 m ²
SUB TOTAL	427.31 m ²
GARAGE	44.92 m ²
BUILDING FOOTPRINT	243.56 m ²
PORCH	7.58 m ²
DECK	20.03 m ²
LOT COVERAGE (MAX. 25%)	23.3%
LOT COVERAGE (PORCH&DECK)	25.9%
SETBACKS	PROPOSED
SIDEYARD	1.52 m / 2.63 m
FRONTYARD (TO HOUSE)	11.42 m
FRONTYARD (TO PORCH)	10.00 m
REARYARD	18.64 m

ELEVATIONS

ESTABLISHED GRADE	93.35 m
BASEMENT FLOOR ELEVATION	90.75 m
FIRST FLOOR ELEVATION	94.15 m
SECOND FLOOR ELEVATION	97.55 m
ROOF RIDGE	102.1 m
OVERALL HEIGHT (MAX. 9.00 m)	8.75 m



TREE HOARDING
DETAIL
NOT TO SCALE
METAL T-BARS
1800mm O.C.
STANDARD 1200mm
SNOW FENCE OR
SOLID HOARDING
WHERE APPLICABLE
EXISTING GRADE
UNDISTURBED SOIL



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
SOUTHWEST LIMIT OF TENNYSON DRIVE, HAVING A BEARING OF
N44°35'00"W ACCORDING TO REGISTERED PLAN 852

ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
TOWN OF OAKVILLE BENCHMARK NO. 034 HAVING A
PUBLISHED ELEVATION OF 94.23 METRES.

LEGEND

P.I.N. DENOTES	PROPERTY IDENTIFIER NUMBER
—○—	OVERHEAD WIRES & UTILITY POLE
N.S.E.W	NORTH/SOUTH/EAST/WEST
WV	WATER VALVE
UB	UTILITY BOX
INV	INVERT
DSE	DOORSILL ELEVATION
DT	DECIDUOUS TREE
CT	CONIFEROUS TREE
Ø	DIAMETER
CB	CATCH BASIN
MH	MANHOLE
ILB	INTERLOCKING BRICK
CLF	CHAIN LINK FENCE
BF	BOARD FENCE
GW	GUY WIRE
FH	FIRE HYDRANT
UP	UTILITY POLE
P	PRODUCTION TIE
T.R.E.	TOP OF ROOF ELEVATION
F.F.E.	FINISHED FLOOR ELEVATION
T.F.E.	TOP OF FOUNDATION WALL ELEVATION
B.S.E.	BASEMENT SLAB ELEVATION
U.F.E.	UNDERSIDE OF FOOTING ELEVATION
92.78	EXISTING ELEVATION
92.80	PROPOSED ELEVATION
95.14	ESTABLISHED GRADE
AD	AREA DRAIN
W/W	WINDOW WELL
DS	DOWNSPOUT & SPLASHPAD
A/C	AIR CONDITIONER
T/W	TOP OF WALL
B/W	BOTTOM OF WALL

SURVEYOR'S CERTIFICATE
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THIS
PROPERTY AND HAVE PREPARED THIS PLAN TO INDICATE THE
COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT
PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT
ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL
PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY
OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT
TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

NO: DATE: REVISION:
ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR
IN THE COURSE OF WORK. ANY DISCREPANCIES SHALL BE
REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT
OF WORK. ALL DRAWINGS, SPECIFICATIONS ETC PREPARED
BY THE ARCHITECT ARE HIS PROPERTY AS INSTRUMENTS OF
SERVICE TO BE RETURNED AT HIS REQUEST.

DATE ISSUED

**RAJINDER
CHAKU
ARCHITECT
INC.**

CERTIFICATE OF PRACTICE NO: 4588 NOT TO BE USED FOR CONSTRUCTION
UNLESS SIGNED BY ARCHITECT.
70 Ravenswood Dr., Brampton, Ontario L6Y 3Z4
Tel: (416) 841-8010 Fax: (416) 840-5835 Email: rajinderchaku@yahoo.co.uk

PROJECT:
**SINGLE FAMILY DWELLING
CUSTOM HOME**

PROJECT NORTH:	LOCATION:	392 TENNYSON DRIVE OAKVILLE, ON	
	DRAWN BY:	CHECKED BY:	
	PROJECT DATE:	JANUARY, 2021	
ORIENTATION:	SCALE:	1:125	

DRAWING NAME: **SITE PLAN** DRAWING NO: **A-1**



2	11/11/20	comments
1	10/28/20	comments
NO:	DATE:	REVISION:

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ARCHITECT
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CERTIFICATE OF PRACTICE NO: 4588
8 Annual Circle
Brampton, Ontario L6X 2M2
Tel: (416) 841-8010
Email: rajinderchaku@yahoo.co.uk

PROJECT:
**SINGLE FAMILY
CUSTOM DWELLING**

LOCATION:
**392 TENNYSON DRIVE
OAKVILLE, ON**

DRAWN BY: R.R. CHECKED BY: R.C.

PROJECT DATE: JANUARY, 2021

SCALE: 1/8" = 1'-0"

DRAWING NAME:
**FRONT/EAST
ELEVATION**

DRAWING NO:
A-6



NO: DATE: REVISION:

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LOCATION:
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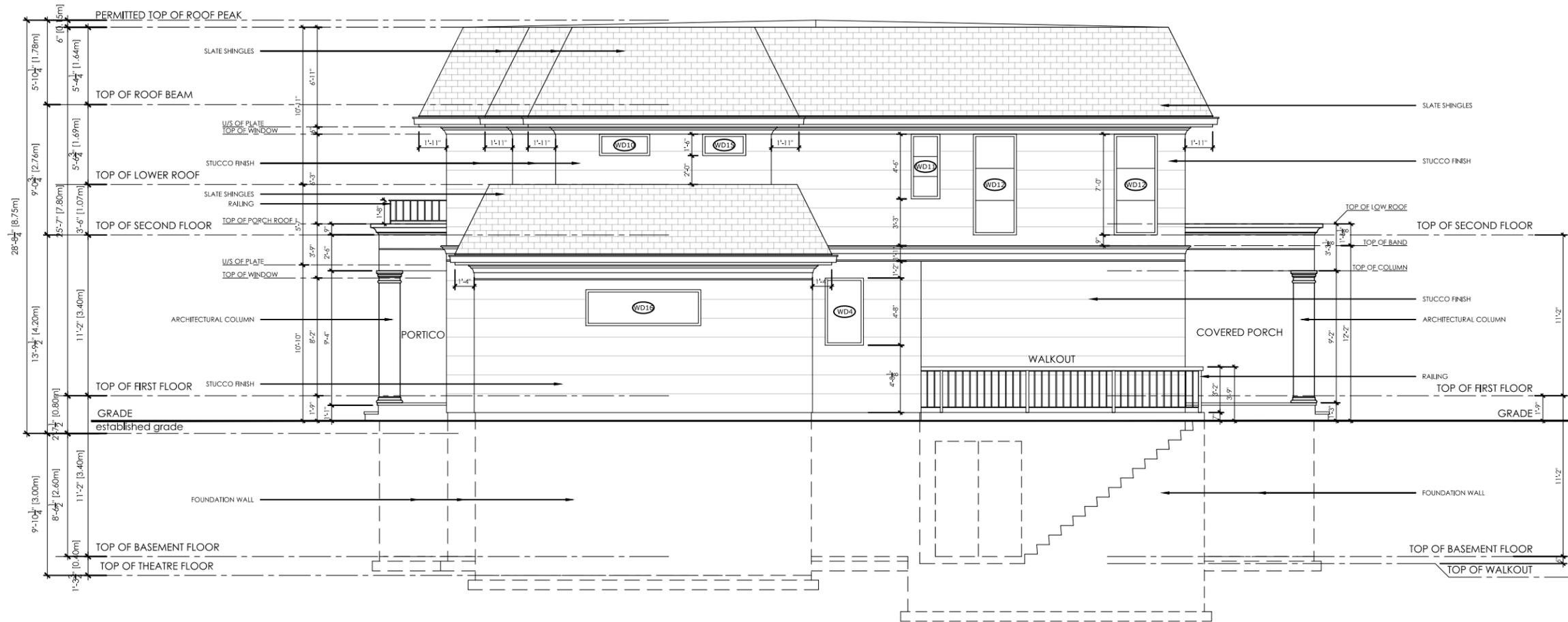
DRAWN BY: R.R. CHECKED BY: R.C.

PROJECT DATE: JANUARY, 2021

SCALE: 1/8" = 1'-0"

DRAWING NAME:
**REAR/WEST
ELEVATION**

DRAWING NO:
A-8



2	11/11/20	comments
NO:	DATE:	REVISION:

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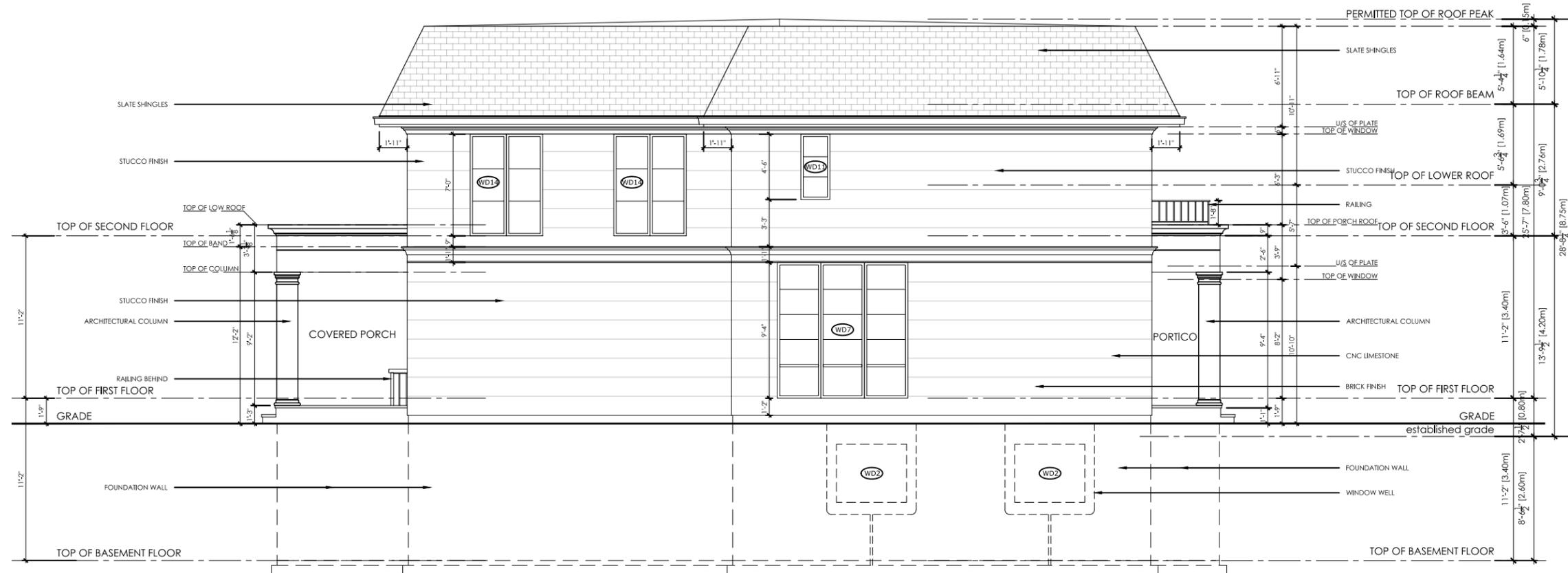
DRAWN BY: R.R. CHECKED BY: R.C.

PROJECT DATE: JANUARY, 2021

SCALE: 1/8" = 1'-0"

DRAWING NAME:
**SIDE /NORTH
ELEVATION**

DRAWING NO:
A-7



NO: DATE: REVISION:

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Brampton, Ontario L6X 2M2
Tel: (416) 841-8010
Email: rajinderchaku@yahoo.co.uk

PROJECT:
**SINGLE FAMILY
CUSTOM DWELLING**

LOCATION:
**392 TENNYSON DRIVE
OAKVILLE, ON**

DRAWN BY: R.R. CHECKED BY: R.C.

PROJECT DATE: JANUARY, 2021

SCALE: 1/8" = 1'-0"

DRAWING NAME:
**SIDE/SOUTH
ELEVATION**

DRAWING NO:
A-9



March 17, 2021

GSAI File: 1363-001

Town of Oakville – Planning Services
1225 Trafalgar Road
Oakville, ON
L6H 0H3

Attention: Heather McCrae
Secretary – Committee of Adjustment
Building Services – Town of Oakville

RE: Minor Variance Application for 392 Tennyson Drive, Oakville

Glen Schnarr & Associates Inc. is the planning consultant acting on behalf of the owners of the property located at 392 Tennyson Drive in the Town of Oakville, herein described as the 'Subject Lands'. This planning justification brief has been prepared in support of a minor variance application for the construction of a new single detached dwelling.

Proposal

The property located at 392 Tennyson Drive is designated Residential Low Density in the Livable Oakville Plan and is zoned RL2-0 in the Town of Oakville Zoning By-law 2014-014. The owners plan to demolish the existing single storey building and construct a new two storey dwelling on the lot. The proposed dwelling complies with all of the applicable zoning regulations, with the exception of the provisions relating to the maximum permitted lot coverage and maximum permitted Residential Floor Area (RFA) ratio.

- 1) The RL2-0 zone permits a maximum lot coverage of 25%. The lot has an area of 1,045.15 m² (11,250 ft. ²). The owners propose the construction of a dwelling with a footprint of 281.97 m² (3,035.09 ft. ²) resulting in a lot coverage of 27%. The maximum lot coverage permitted by the Zoning By-law would allow for a maximum footprint of 261.28 m² (2,812.47 ft. ²). The proposed lot coverage exceeds the maximum lot coverage permitted by 2% or 20.69 m² (222.70 ft. ²). As such, a minor variance is required.



- 2) The RL2-0 zone permits a maximum RFA of 37% for lots between 1,022.00 m² (11,000.7 ft.²) and 1,114.99 m² (12,378.38 ft.²) in area. The proposed dwelling has an RFA of 39%. The increase in residential floor area being sought equates to an increase of 20.97 m² (225.71 ft.²) beyond what is permitted as of right for a lot this size. The proposed RFA exceeds the maximum by 2%, thus requiring a minor variance.

Planning Analysis

In support of the proposed minor variances we have conducted a thorough analysis of the relevant Official Plan Policies and Zoning By-law provisions. In addition, we have examined the context of the surrounding community in order to provide an informed opinion on the compatibility of the proposed dwelling to the surrounding development.

Official Plan

The subject lands are designated “Low Density Residential” as shown in Figure 1 of the Livable Oakville Official Plan. This designation permits a variety of low density housing types including single detached, semi-detached, and duplex dwellings (Section 11.2.1). The maximum permitted density is 29 units per site hectare (Section 11.2.2) or approximately one unit per 345 m² (3,714ft²), excluding lands for public uses such as roads.

Section 11.1.9 of the Livable Oakville Plan establishes evaluative criteria for infill development in stable residential communities. Policies which are relevant to the proposed minor variance are as follows:

Development within all stable residential communities shall be evaluated using the following criteria to maintain and protect the existing neighbourhood character:

- a) The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.*
- b) Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood.*
- h) Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.*

The character of the surrounding neighbourhood is best described as a diverse range of dwelling designs and sizes, from older single storey and one-and-a-half storey dwellings to newer, two storey dwellings.



The proposed dwelling has been designed to be compatible with the historical and recent development which has occurred within the surrounding community. The dwelling is proposed to be sited generally in accordance with the footprint of the existing dwelling, noting the exception of the dwelling depth and greater projection of the dwelling into the rear yard area and beyond that of the existing dwelling. Additionally, the proposal seeks to retain the majority of the mature trees on the subject property.

The proposed dwelling design is considered to be compatible with the surrounding neighbourhood and conforms to the policies identified in Section 11.1.9 of the Livable Oakville Official Plan.

Zoning By-law

The lands are zoned as Residential RL2-0 in the Town of Oakville Zoning By-law 2014-014.

Save and except for the proposed minor variances, the proposed dwelling complies with all of the provisions of the Zoning By-law.

Proposed Variances

Increase Residential Floor Area Ratio

The application seeks an increase in the maximum permissible Residential Floor Area (RFA) to 39%, where the maximum RFA established by the Zoning By-law is 37% for lots between 1,022.00 m² (11,000.7 ft.²) and 1,114.99 m² (12,378.38 ft.²) in area. The proposed RFA exceeds the maximum by 2%, thus requiring a minor variance.

The variance seeks the approval of 20.97 m² (225.71 ft.²) of additional RFA beyond what is permitted as of right in the RL2-0 Zone

The intent of the maximum residential floor area regulation is to regulate the overall scale and massing of a dwelling to ensure that the dwelling is in keeping with the character of the surrounding neighbourhood. The residential floor area regulation works hand in hand with the zoning regulation for maximum lot coverage to ensure that a reasonable building footprint can be established and that the overall mass within that footprint is further regulated by limiting the amount of floor area that can be accommodated on the subject property.

The proposed dwelling has been designed to incorporate portions of the second storey within the roofline of the dwelling thereby effectively reducing the overall scale and massing of the dwelling. The building has been designed to include a number of articulations in the front façade of the dwelling therefore



effectively breaking up the massing of the dwelling's front façade. Furthermore, the proposed design complies with all of the minimum yard requirements.

The proposed increase in residential floor area is considered to be compatible with the range of dwelling sizes which exist within the surrounding neighbourhood. The proposed increase in residential floor area will result in an increase of 20.97 m² (225.71 ft.²) of floor area beyond that which is permitted under the zoning provisions. This is considered to be at a scale which is consistent and compatible with the immediately the surrounding neighbourhood.

Increase in Lot Coverage

The application seeks an increase in the maximum permissible lot coverage to 27%, whereas the Zoning By-law permits a maximum lot coverage of 25% for a dwelling having two stories. The variance seeks the approval of 20.69 m² (222.70 ft.²) of additional area of the lot to accommodate the proposed building footprint.

The intent of maximum lot coverage regulation is to ensure that an appropriately sized dwelling is constructed on a lot. Furthermore, the intent of the maximum lot coverage provision is to regulate the overall scale and massing of a dwelling so as to ensure that the dwelling is in keeping with the character of the surrounding neighbourhood. The maximum lot coverage regulation works hand in hand with the zoning regulation for residential floor area to ensure that a reasonable building footprint can be established and that the overall mass within that footprint is further regulated by limiting the amount of floor area that can be accommodated.

We note that approximately 2.5% of the requested lot coverage is contained within the covered front porch and rear covered porch amenity area. These design features assist in providing architectural diversity to the design of the dwelling and are a noted design features of newer dwellings within the neighbourhood.

The proposed increase in lot coverage is considered to allow for the construction of a dwelling which is generally in keeping with the newer dwellings in the surrounding neighbourhood and compatible with the more historical built forms existing in the neighbourhood.

Conclusion

Based on the findings of the research conducted for this brief, it is our opinion that the proposed minor variance application meets the four tests as established in the Planning Act.



- The proposed variances are considered minor in nature, as they do not alter the manner in which the property is used and the variances requested are in keeping with the existing development patterns in the surrounding neighbourhood;
- The proposed variances are considered desirable for the development of the lands, as they allow for residential redevelopment while maintaining compatibility with the surrounding neighbourhood;
- The proposed variances meet the general intent of Zoning By-law 2014-14, as the proposal complies with all other applicable zoning regulations; and,
- The proposed variances meet the general intent of the Livable Oakville Official Plan, as the proposed use and density are permitted within the Low Density Residential designation.

Based on the findings presented in this brief, it is our opinion that the proposed minor variance application meets the four tests as established in the Planning Act. As such, we respectfully request that the Committee of Adjustment approve the application.

Yours very truly,
GLEN SCHNARR & ASSOCIATES INC.

David Capper, MCIP, RPP
Associate