



Town of Oakville
Heritage Oakville Advisory Committee

AGENDA

Date: April 28, 2026
Time: 9:30 am
Location: Council Chamber

Town Hall is open to the public and live streaming video is available on <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/live-stream> or at the town's YouTube channel at <https://www.youtube.com/user/TownofOakvilleTV>. Information regarding written submissions and requests to delegate can be found at <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/delegations-presentations>.

Pages

- 1. Regrets
- 2. Declarations of Pecuniary Interest
- 3. Confirmation of Minutes of Previous Meeting(s)
 - 3.1 Minutes of March 26, 2026 3 - 6

Recommendation:
That the minutes of the Heritage Oakville Advisory Committee meeting of March 26, 2026, be approved.
- 4. Discussion Item(s)
 - 4.1 Heritage Permit Application HP005/26-42.20S – 80 Second Street – New additions and attached garage with house restoration 7 - 67

Recommendation:

 - 1. That Heritage Permit Application HP005/26-42.20S for new additions and alterations to the house and barn at 80 Second Street, as attached in Appendix C to the report, dated April 14, 2026, from Planning and Development, be approved subject to the following conditions:
 - a. That final details on landscaping and the new cladding, trim, windows, and doors for the existing house, new additions, and the barn rehabilitation be approved by staff;

- b. That the half timbering and stucco cladding and the bracket details in both the front gable and in the north dormer on the heritage house be retained;
 - c. That the brick on the first storey of the heritage house remain exposed and not be covered in wood shingle cladding;
 - d. That the historic wood windows on the heritage house be retained; and
 - e. That all new windows on the heritage house be wood.
2. That this heritage permit expires two years from the date of final approval by Council.

4.2 Heritage Permit Application HP008/26-42.20C – 2366 Carrington Place – Replacement of exterior siding 68 - 83

Recommendation:

- 1. That Heritage Permit Application HP008/26-42.20C for the replacement of exterior siding at 2366 Carrington Place, as attached in Appendix B to the report, dated April 14, 2026 from Planning and Development, be approved.
- 2. That this heritage permit expire two years from the date of final approval by Council.

4.3 2026 Heritage Grant Program Recommendations 84 - 89

Recommendation:

That 'Appendix A – Grant Projects and Amounts' attached to the report titled '2026 Heritage Grant Program Recommendations' be endorsed.

5. Information Item(s)

5.1 Delegated Heritage Permits, January to March 2026 90 - 90

6. Date and Time of Next Meeting

May 26, 2026
 Oakville Municipal Building
 Council Chamber - 9:30 a.m.

7. Adjournment

Recommendation:

That this meeting be adjourned.



Heritage Oakville Advisory Committee

MINUTES

Date: March 24, 2026
Time: 9:30 am
Location: Council Chamber

Members: Drew Bucknall, Chair
Gerarda (Geri) Tino, Vice-Chair
Russell Buckland
Kerry Colborne
Emma Dowling (left at 10:30 a.m.)
George Gordon
Susan Hobson
Jason Judson
Bob Laughlin
Councillor Longo
Councillor McNeice

Staff: G. Charles, Director, Planning and Development
K. Biggar, Manager of Policy Planning and Heritage
C. Van Sligtenhorst, Heritage Planner
S. Schappert, Heritage Planner
K. McLaughlin, Heritage Planner
L. Harris, Council and Committee Coordinator

Also Present: Mike Hudson, The Planning Partnership
Rakesh Mistry, Waterfront Development Projects Coordinator
Beth Barron, Strategic Business Advisor

A meeting of the Heritage Oakville Advisory Committee was held on March 24, 2026, in the Council Chamber of the Oakville Municipal Building, commencing at 9:30 a.m.

These minutes will go forward to the Planning and Development Council meeting of April 20, 2026 for approval and any changes by Council will be noted in the Planning and Development Council minutes.

1. Regrets

There were no regrets for this meeting.

2. Declarations of Pecuniary Interest

No declarations of pecuniary interest were declared.

3. Confirmation of Minutes of Previous Meeting(s)

3.1 Minutes of February 24, 2026

Moved by George Gordon

That the minutes of the Heritage Oakville Advisory Committee meeting of February 24, 2026, be approved.

CARRIED

4. Discussion Item(s)

4.1 Heritage Grant Working Group 2026

Moved by Councillor McNeice

That the Heritage Grant Working Group for 2026 be created and membership of the working group be determined.

CARRIED

4.2 Heritage Permit Application HP004/26-42.20M – 361 Macdonald Road – Construction of new rear addition

The following delegate spoke on this item:

Danielle Hibberd, Applicant

Moved by Councillor Longo

1. That Heritage Permit Application HP004/26-42.20M for the construction of a new rear addition at 361 Macdonald Road, as attached in Appendix B to the report dated March 10, 2026 from Planning & Development, be approved subject to the approval of final details on the new cladding, trim, windows and doors by Heritage Planning staff; and
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

4.3 Heritage Permit Application HP003/26-42.20D – 53 Dunn Street – Replacement of detached garage

Moved by Gerarda (Geri) Tino

1. That Heritage Permit Application HP003/26-42.20D for the replacement of the detached garage at 53 Dunn Street, as attached in Appendix B to the report dated March 10, 2026 from the Planning and Development Department, be approved subject to the approval of final details on the new cladding, trim, windows and doors by Heritage Planning staff; and
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

4.4 Bronte Waterfront Strategy and the Bronte Harbour and Bluffs Cultural Heritage Landscape

Moved by George Gordon

That the report titled Bronte Waterfront Strategy and the Bronte Harbour and Bluffs Cultural Heritage Landscape, dated March 10, 2026, from Planning & Development, be received.

CARRIED

5. Information Item(s)

There were no information items

6. Date and Time of Next Meeting

April 28, 2026
Oakville Municipal Building
Council Chamber - 9:30 a.m.

7. Adjournment

Moved by Susan Hobson

That this meeting be adjourned.

CARRIED

The meeting adjourned at 10:45 a.m.

REPORT

Heritage Oakville Advisory Committee

Meeting Date: April 28, 2026

FROM: Planning and Development Department

DATE: April 14, 2026

SUBJECT: Heritage Permit Application HP005/26-42.20S – 80 Second Street
– New additions and attached garage with house restoration

LOCATION: 80 Second Street

WARD: Ward 3 Page 1

RECOMMENDATION

1. That Heritage Permit Application HP005/26-42.20S for new additions and alterations to the house and barn at 80 Second Street, as attached in Appendix C to the report, dated April 14, 2026, from Planning and Development, be approved subject to the following conditions:
 - a. That final details on landscaping and the new cladding, trim, windows, and doors for the existing house, new additions, and the barn rehabilitation be approved by staff;
 - b. That the half timbering and stucco cladding and the bracket details in both the front gable and in the north dormer on the heritage house be retained;
 - c. That the brick on the first storey of the heritage house remain exposed and not be covered in wood shingle cladding;
 - d. That the historic wood windows on the heritage house be retained; and
 - e. That all new windows on the heritage house be wood.
2. That this heritage permit expires two years from the date of final approval by Council.

KEY FACTS

The following are key points for consideration with respect to this report:

- The property is designated under Part V of the *Ontario Heritage Act* and is a contributing property in the First and Second Street Heritage Conservation District.

- The owners are proposing to: demolish the non-historic rear additions of the house; construct a new rear addition; construct a new attached garage; construct a new side porch; and make minor alterations to the heritage house.
- Staff is recommending that the application be approved in accordance with the conditions in the recommendation.

BACKGROUND

The owners of 80 Second Street have submitted a heritage permit application to undertake the following alterations:

1. Demolish the existing non-historic rear additions and construct a new rear addition in the same location;
2. Construct a new attached garage on the north side of the house;
3. Construct a new side porch on the south side of the house;
4. Make minor alterations to the heritage house; and
5. Make minor alterations to the barn.

The property at 80 Second Street is located on the west side of Second Street, between Lakeshore Road East and Union Street. See Appendix A for the Location Map. The property is designated under Part V of the *Ontario Heritage Act* as part of the First and Second Street Heritage Conservation District (HCD) and is a contributing property within the HCD. The property contains a two-and-a-half-storey brick and stucco-clad circa 1912 Edwardian Four-Square style house with Arts and Crafts influences, as well as a circa 1912 two-storey detached frame barn structure in the rear yard. The relevant guidelines from the HCD Plan and Guidelines, as well as the property's inventory sheet, are attached as Appendix B.

The original application was submitted on February 25, 2026. See Appendix C for the application form, photos, and drawings of the proposed work. In accordance with the *Ontario Heritage Act*, the 90-day deadline for Council to decide on the application is May 26, 2026.

COMMENTS

Proposal

Removal of Additions at Rear and Construction of New Rear Addition

There are two rear wings of the house: a two-storey wing built circa 1980, and a one-storey sunroom wing built in 1990. The applicant is proposing to demolish both wings to construct a new two-storey addition in the same location. The new addition is lower in height than the heritage house and is to be clad in wood shingles with

brick cladding along the foundation. A new brick chimney is proposed on the south elevation, and the hip roof has asphalt shingle roofing. New multi-paned aluminum-clad wood windows are accompanied by wood paneling elements.

To the rear of the two-storey addition is a proposed one-storey partially enclosed porch with a flat roof and wood shingle cladding. Sliding doors on the rear elevation provide access to a rear porch.

New Attached Garage on North Elevation

The proposed garage addition is a one-and-a-half storey frame structure, to be attached to the heritage house on the north elevation. The garage is stepped back from the front of the house, allowing the heritage house to retain its current presence in the streetscape. The garage contains a loft space on the second storey, but the overall structure is lower in height than the heritage house. A one-storey hall connects the garage to the house and is set back from the front of the garage, so that the garage reads like a detached structure.

The hip roof of the garage has the same slope as the roof of the heritage house, with dormers on the east and north elevations that echo the dormer on the heritage house. The addition is to have brick cladding along the foundation, with wood shingles as the primary cladding. The hall connection is to be clad in the same wood shingles. The traditional coach house style garage includes two single car doors and multi-paned windows.

The construction of the garage addition requires the removal of an existing bay window between the first and second floors of the heritage house on the north elevation. This is the most feasible location to connect the second storey of the garage to the existing house, as it will connect the addition to an existing staircase. This location also aligns with the setback of the garage, which is set back from the front of the heritage house, but is forward of a large mature tree in the rear yard that should be maintained.

New Porch on South Elevation

A new covered porch is proposed on the south elevation, connecting the new rear addition to the heritage house and to the existing front porch. The proposed porch will have a brick base to match the heritage house with a tempered glass railing. It is proposed to be finished with a metal sloped roof to help differentiate it from the historic porch on the front elevation.

Alterations to Heritage House

Several alterations are proposed to the historic portion of the home to restore elements of the house, provide more functionality, and update aesthetics.

The house was originally constructed in brick and at some point, the brick on the second storey was covered in a stucco finish which now requires repairs. The brick on the first storey was retained and painted. The applicants are now proposing to remove the stucco and to replace it with wood shingle cladding. The current painted brick on the main floor is to be retained and repainted.

Because the stucco was a later addition, Planning and Development staff supports its removal and replacement with wood shingle cladding, which is still considered appropriate for the era and style of the house. The submitted drawings show wood shingles on the first storey as well, which is a drawing error as the applicants intend to retain the current brick. To correct this, staff has included a condition in the recommendation that the brick on the first storey remain exposed and not be covered with wood shingles.

The application also proposes to cover the stucco and half-timbering in the front gable and the north dormer with new wood shingles. Staff has included a condition in the recommendation to keep the stucco, half-timbering and wooden brackets in these areas as these materials are heritage attributes of the heritage house noted in the property inventory sheet in Appendix B.

The work on the heritage house will also include a new dormer on the north elevation and on the south elevation, both to be clad in wood shingles. The new dormers have been designed with shed roofs to help differentiate them from the historic gable-roofed dormers on the house. The shed roof style also lowers their profile to minimize their visual impact.

The applicant is also proposing to replace contemporary windows on the heritage house with new aluminum clad multi-paned double-hung wood windows. While some windows on the heritage house are contemporary vinyl units, there are some remaining historic wood windows. Staff has added conditions to the recommendation that all historic wood windows be retained and that all new windows on the heritage house be wood.

On the south elevation, a new set of French doors and sidelights is proposed to replace two existing windows to provide access to the new south porch. On the front elevation, the existing entrance on the front porch is not historic and was bumped out to a bay, likely in the 1980s. The applicants are proposing to remove the contemporary bay and to install a new wood door with two sidelights in the original opening.

Alterations to Barn

The existing frame barn is two storeys with a gambrel roof and horizontal wood cladding. The structure has been altered over the years and has window and door openings from different decades. Currently, the barn is used for storage, and the applicants are proposing to rehabilitate the building for use as a pool cabana on the first floor and an open loft studio on the second floor.

On the first floor, new windows and glass doors are proposed on the south elevation facing a proposed swimming pool. On the east elevation, new windows will be installed in an existing garage door opening, and a contemporary set of garage doors are to be replaced with a single pedestrian door. A new chimney and single pedestrian door are proposed for the west elevation. On the second floor, a new set of windows is proposed on the south elevation and new dormers with windows are proposed on the west and east elevations to provide light to the second floor. New wood cladding will be installed throughout, and new asphalt shingles will be installed on the roof.

Minor Variances

The proposed addition and renovations do not require any minor variances.

Tree Removal

The proposed addition and renovations require three tree removals: two at the rear of the property and one in the north side yard. The trees noted for removal do not significantly contribute to the HCD streetscape and staff has no concerns with their removal. The additions were designed in a manner that protects the large mature maple tree in the rear yard and the large mature walnut tree in the front yard, both of which contribute to the streetscape.

Heritage Assessment

The proposed garage addition meets the requirements of the HCD Plan and Guidelines. While detached garages are preferred in the Plan and Guidelines, the attached garage has been designed to have the appearance of a detached garage with a lower hallway section connecting it to the house. The garage is in the side yard, is set back from the front of the house and is lower than the heritage house. The overall design and materials are compatible with the house and the surrounding HCD.

The new rear addition and south porch addition also meet the requirements of the Plan and Guidelines. The rear addition is behind the heritage house, is lower in height and is subordinate to the heritage house. The addition has a traditional aesthetic with a hip roof, wood shingle cladding, and multi-paned windows. A large brick chimney on the south elevation mimics a historic brick chimney on the original portion of the house. The aesthetic and materials of the new south porch are

compatible with the heritage house but also differentiated from the historic front porch.

Many of the proposed alterations to the heritage house are in keeping with the Plan and Guidelines, but there are some changes that staff does not support as currently proposed and these have been highlighted in the conditions of the staff recommendation.

The proposed wood shingles are supported for the second storey, as they are replacing non-historic stucco cladding and are appropriate for the style and era of the house. However, the proposed wood shingles in the front gable and north dormer are not supported as the current stucco, half timbering, and wood trim and brackets are historic and should remain exposed. Retaining these historic elements will also help to differentiate the new addition from the historic house.

The new shed dormers allow for increased functionality on the third storey and have been designed so that they are differentiated from the historic dormer on the north elevation, with shed roofs and shingle cladding. Their location and design will have minimal impact on the heritage value of the house.

The replacement of non-historic windows on the heritage house can be supported, provided that the new windows are wood. Any historic wood windows should be retained and restored. The replacement of the front entrance is supported as it removes a later bay addition to the front entrance. While two existing windows are proposed to be removed on the south elevation to accommodate a new porch entrance, these windows are not key heritage attributes of the house.

Finally, the rehabilitation of the detached barn structure will provide a new life for this building while maintaining one of the few historic barn structures in the heritage conservation district. The proposed alterations allow for a new use while retaining the building's overall aesthetic and heritage value.

CONSIDERATIONS

(A) PUBLIC

There is no public notification required.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

There is no impact on other departments and users.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council’s strategic priorities: Community Belonging, Environmental Sustainability, and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing greenhouse gas emissions. The approval of the subject heritage permit support’s the town’s climate initiatives through the retention of this historic house on the property.

CONCLUSION

Staff therefore recommends that this heritage permit application be approved subject to the conditions in the recommendation. The works proposed are subject to other applicable town regulations and requirements, such as Development Engineering Permits and Building Permits. It is the applicant’s responsibility to review these matters with staff.

APPENDICES

Appendix A – Location Map

Appendix B – Excerpts from HCD Plan and Guidelines and Inventory Sheet

Appendix C – Heritage Permit Application

Prepared by:

Kristen McLaughlin, MMSt, CAHP

Heritage Planner

Carolyn Van Sligtenhorst, MCIP, RPP, CAHP

Heritage Planner

Recommended by:

Kirk Biggar, MCIP, RPP

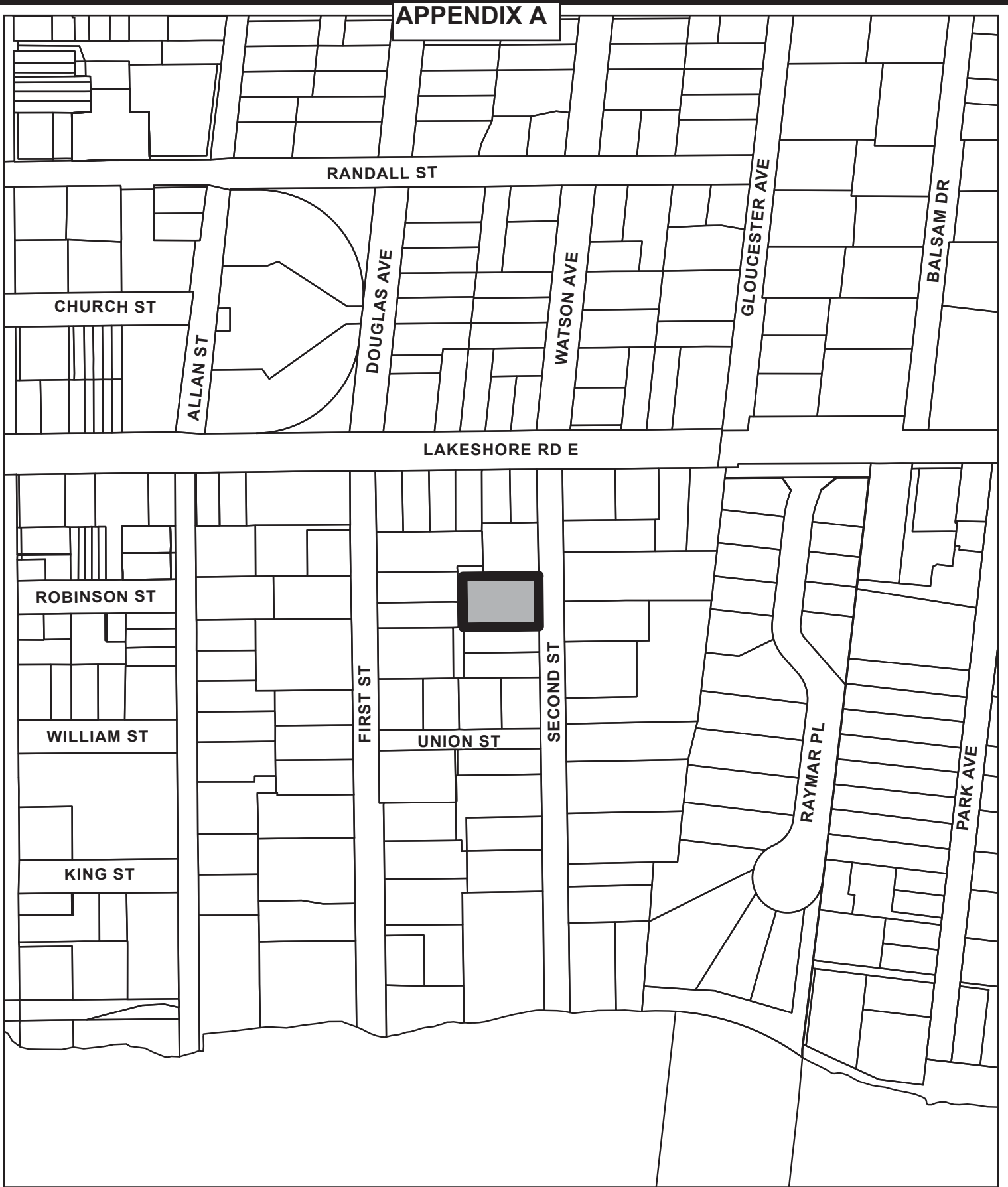
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP

Director, Planning and Development

APPENDIX A



0 20 40 80
Meters

80 Second Street



SUBJECT LANDS

LOCATION

Community Development Commission

4.2 Guidelines for Contributing (Historic) Properties

4.2.1 GENERAL GUIDELINES

4.2.1.1 Understanding

4.2.1.1.1 *Alterations* and *additions* to a Contributing Property shall be based on a firm understanding of the built features of that property and how they contribute to the *heritage character* of the District.

- a. In order to determine appropriate *interventions*, take into account:
 - the historic architectural style and identified period of significance of the building;
 - the changes that have been made to the building over time; and
 - the building’s current condition.
- b. Determine the cause of any distress, damage or deterioration of *heritage fabric* prior to planning any *interventions*, in order to determine the appropriate scope of work and to preserve the building fabric.

4.2.1.1.2 *Alterations* and *additions* to a Contributing Property may be permitted once the *cultural heritage value* and *attributes* of the property have been documented, once the impact of proposed *alterations* and/or *additions* on those *cultural heritage values* and *attributes* has been determined, and once appropriate mitigation measures have been proposed.

- a. A Heritage Impact Assessment (HIA) may be requested, to be completed in accordance with the Town of Oakville’s Development Application Guidelines for Heritage Impact Assessments. The HIA shall include an assessment of the impact of the proposal on the *cultural heritage values* and *attributes* of District in addition to those of the specific property.

4.2.1.2 Compliance

4.2.1.2.1 Current codes and standards pertaining to health, safety, security, accessibility and sustainability requirements shall be adhered to in a way that does not negatively impact the *heritage character* of the Contributing Property and the District.

4.2.1.3 Demolition and Relocation

4.2.1.3.1 The demolition of Contributing Properties shall not be permitted, except in extenuating circumstances, which result in severe structural damage. A structural engineering report may be required, to be completed by an engineer with demonstrated experience with historic buildings. A peer review of the structural engineering report may be required, at the applicant’s expense, at the discretion of Town of Oakville Heritage Planning staff. Demolition will only be permitted if the structural assessment concludes that the house is structurally beyond repair or that the damage is significant enough that the building no longer has any heritage value.

- a. Demolition permits would not be supported for properties that have deteriorated through neglect.
- b. Properties that have suffered severe structural damage or deterioration due to unforeseen events (e.g. fire, flood, tornado, earthquake, or other natural disasters) may be permitted to be demolished.
- c. If a demolition permit is granted, the classification of the property (ie. as a Contributing Property) may be re-evaluated. If the property is determined to be Non-Contributing, the redevelopment of the property will be required to follow all policies under Section 4.3 - *Guidelines for Non-Contributing (Non-Historic) Properties*.
- d. Demolition **in part** of a *Contributing Property* may be considered on a case by case basis to accommodate new side or rear additions that have minimal impact on the *heritage fabric* of the *heritage building*.

4.2.1.3.2 Applications for relocating buildings on Contributing Properties will generally not be permitted, but may be considered on a case-by-case basis including an application following or involving the [proposed] severance of a property.

4.2.1.4 Spaces Around Buildings

4.2.1.4.1 Maintain historic distances between buildings and the picturesque rhythm of buildings within streetscapes.

- a. The maximum lot coverage for main residences as well as accessory buildings and structures, including *detached garages*, shall be the maximum lot coverage permitted for properties in the District under the Town of Oakville Zoning By-Law in effect, subject to amendments and variances that may be approved
- b. The minimum setback for main residences as well as accessory buildings and structures, including *detached garages*, shall be the minimum setback permitted for properties in the District under the Town of Oakville Zoning By-Law in effect subject to amendments and variances that may be approved.

4.2.1.4.2 Maintain traditional views of *heritage buildings* from the *public realm*.

- a. Prominent building features shall not be blocked or obscured with fencing, hardscaping features, service or utility equipment, garages or other accessory buildings.

4.2.1.4.3 Maintain historical means of access to Contributing Properties, including driveways and walkways.

4.2.1.4.4 Special consideration may apply to buildings of atypical orientation, on lakefront lots and/or on corner lots.

Refer to Section 4.4.1 Guidelines for Landscape Conservation and Design – Private Property for more detailed guidance regarding spaces around buildings.

4.2.1.5 Lot Severance and Assembly

- 4.2.1.5.1 Proposals for lot severances and assemblies will be assessed in accordance with the policies of the Official Plan and Zoning By-Law in effect subject to amendments and variances that may be approved. A heritage permit may be required.
- 4.2.1.5.2 Applications for *additions* bridging assembled lots will be considered on a case-by-case basis, according to the following criteria:
- a. Maintenance of the historic distances between buildings and the picturesque rhythm of buildings within streetscapes shall be considered;
 - b. Long street elevations that would break this historic streetscape rhythm shall not be permitted;
 - c. Any *heritage building(s)* shall remain clearly distinct and identifiable; and
 - d. Any proposed linking structure shall be subordinate to the *heritage building(s)*, as described by in Section 3.1 of this Plan.

4.2.2 ALTERATIONS TO CONTRIBUTING (HISTORIC) PROPERTIES

4.2.2.1 Heritage Fabric

- 4.2.2.1.1 *Alterations* to a Contributing Property shall be physically and visually compatible with the *heritage fabric* of the property, with regard to architectural style, detailing and materials.
- a. *Alterations* shall not create a false sense of historical development by adding historic building elements from other places, properties or historic periods, and shall not combine features that never coexisted on the building.
 - b. When reinstating historical architectural elements, ensure that the design of forms, materials and detailing are based on appropriate historical photographs or documentation.
- 4.2.2.1.2 *Alterations* to a Contributing Property shall minimize loss of *heritage fabric*.
- a. Repair damaged or deteriorated *heritage fabric* rather than replacing it.
 - b. When replacements are necessary, replace *heritage fabric in kind*, using the same form, materials and details as the original.

Best Practices – Heritage Building Fabric

Reinstate historic architectural elements that have been removed, neglected or obscured when undertaking *alterations* to a Contributing Property.

4.2.2.3 Roofs

- 4.2.2.3.1 Protect and maintain historic roof forms.

- 4.2.2.3.2 Protect and maintain historic roof features, including dormers, chimneys, eaves, and other features related to specific architectural styles. (See *Appendix C: Architectural Style Guide*)
- a. If a historic chimney is no longer in use, cap and conserve the chimney rather than removing it. Proposals to remove replacement and/or non-historic chimneys will be assessed on a case-by-case basis.
 - b. New chimneys may be permitted, providing they match the design and architectural style of the *heritage building* and existing chimneys, where applicable.
 - c. Repair rather than replace historic roof features.
 - d. Replace only roof features that have deteriorated beyond repair, rather than replacing an entire roof or roofline.
- 4.2.2.3.3 Roofing materials shall be replaced *in kind*, matching the form, materials and details of the original.
- a. Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will not be permitted. Membranes will only be considered on flat roofs.
 - b. Aluminum or PVC soffits and fascia will not be permitted.
- 4.2.2.3.4 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- a. New skylights, roof ventilation equipment, plumbing vents, solar cells and other stacks may be permitted, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - b. Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - c. The form, materials and colours of eavestroughs and downspouts shall not distract or detract from the *heritage character* of the building.
 - d. Flashing should be coloured to match the wall against which it is located.



Figure 3: Cedar shingle roofing on 71 First St. (left); asphalt shingle roofing on 48 First St. (right).

Best Practices - Roofs

Where structural faults or problems in the historic roof design exist, the detailing of roof elements may be improved with contemporary materials in a manner that is physically and visually compatible with the heritage building, following recognized conservation practices.

Where alterations have been made to address structural faults or problems in the historic roof design, they should be retained so long as they do not have a negative impact on the heritage character of the building. If they do have a negative impact on the heritage character of the building, adjust detailing following recognized conservation practices when undertaking roof alterations.

When undertaking roof alterations, replace newer unsympathetic roof features based on appropriate historic documentation.

Completely remove existing materials, such as shingles, before applying new roofing materials.

4.2.2.4 Dormers

4.2.2.4.1 Protect and maintain historic dormers.

- a. The removal or obstruction of historic dormers shall not be permitted.
- b. Repair rather than replace historic dormers.
- c. Replace only dormer materials that have deteriorated beyond repair, rather than replacing an entire dormer.
- d. Replace dormer materials *in kind*. For windows in dormers, refer to the guidelines in the following sub-section – 4.2.2.5



Figure 4: Dormers on 80 Second St. (left), and 72 First St. (right).

- 4.2.2.4.2 New dormers may be permitted on *heritage buildings* only where they are compatible with the architectural style and form of the *heritage building*. (See Appendix C – *Architectural Style Guide*)

- a. Scale new dormer windows to complement the design and scale of the roof, windows and any existing dormers.
- b. Locate new dormer windows facing the rear of the property, where feasible.

Best Practices - Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.2.2.5 Windows

- 4.2.2.5.1 Protect and maintain the placement, orientation, shape and size of historic window openings.
 - a. The removal or obstruction of historic window openings is strongly discouraged. Consideration shall be given to proposed alterations to historic windows that are located on side or rear elevations in a manner that does not diminish the *heritage character* of the structure or District.
 - b. Maintain historic solid-to-void ratios and the rhythm of windows and bays.
- 4.2.2.5.2 Protect and maintain historic window features, including surrounds, brick moulds, materials, frame, sashing, muntins, hardware, glazing and storm windows.
 - a. Maintain historic glazing.
 - b. Historically operable windows shall maintain their operability.
 - c. Repair rather than replace historic window features.
 - d. Replace only window features that have deteriorated beyond repair, rather than replacing an entire window unit.



Figure 5: Leaded glass windows at 85 Second St. (left); wood windows with true divided lights at 75 Second St. (right).

- 4.2.2.5.3 When window replacement is necessary, windows and window features shall be replaced *in kind*, matching the form, appearance, glazing patterns, operability and details of the original windows.
- a. Maintain the pattern of window divisions in their original configurations.
 - b. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.
 - c. Replacement windows shall be wood. Aluminum-clad wood may be permitted, providing the original moulding profiles have been reproduced. The exception is leaded windows, which should be replaced *in kind*.
 - d. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District, and do not adequately replicate wood windows in their detailing, finishes, profiles and colour: their sashes, frames and mouldings are often much flatter in appearance.
 - e. Ensure that all window sills are sloped away from the exterior wall, with drip edges when they extend beyond the face of the exterior cladding
 - f. Remove, repair and reuse the existing brick moulds. When these cannot be salvaged, their size, profile and detailing shall be replicated. Ensure that the original relationship between the brick moulds, the window trim and the window frame are maintained.
 - g. Remove, repair and reuse the existing window trims. When these cannot be salvaged, their material, size, profile and detailing shall be replicated. Ensure that the original relationships between the brick moulds, the window trim and the window frame are maintained. Ensure that the original relationship between the window trim and the exterior cladding is maintained.

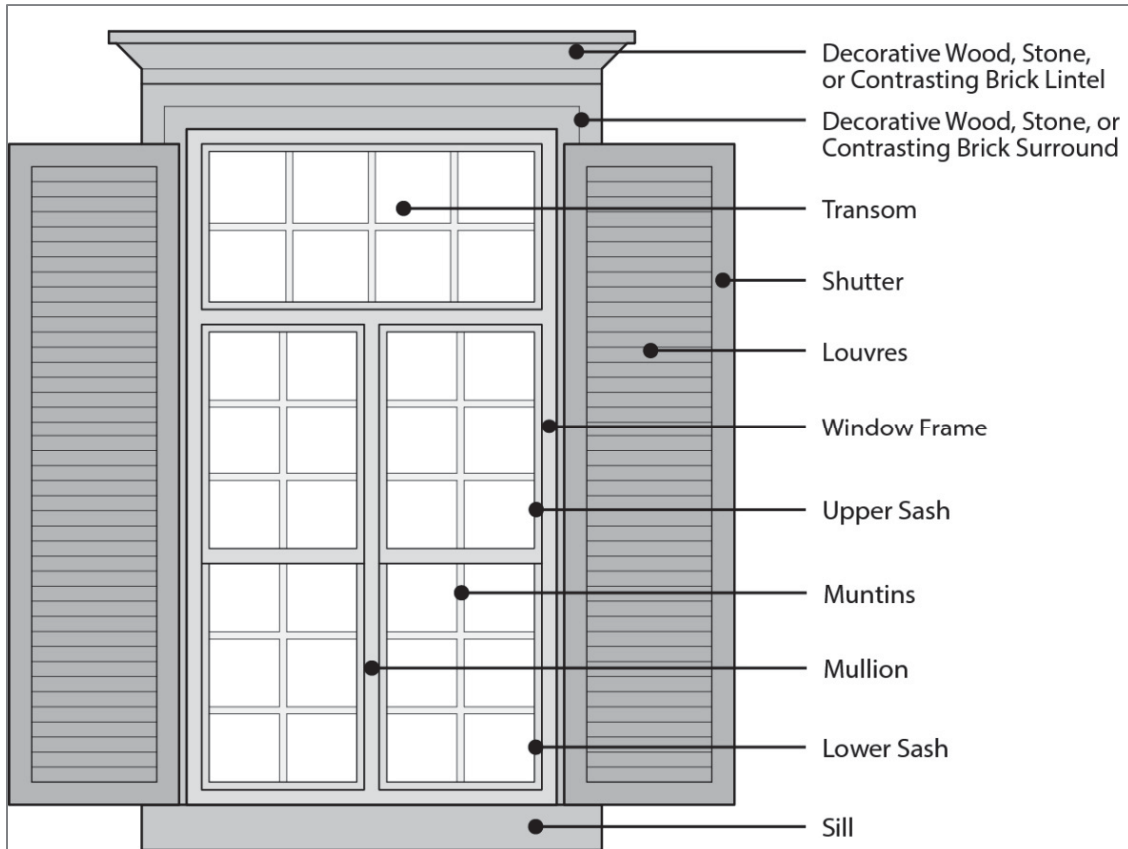


Figure 6: Diagram of typical window features (note: this exact design may not be present in the District).

- 4.2.2.5.4 New window openings may be permitted only where their location, alignment, proportions, materials and design is compatible with the architecture of the *heritage building*, as exemplified by the existing rhythm of windows and bays.
- a. Match the material and design of new windows to other windows on the same elevation.
 - b. Where casement, double-hung, or other traditionally-operable window styles are used in new window openings, they shall be operable.

Best Practices - Windows

Reinstate historic windows that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic window or shutter features, based on appropriate documentary evidence.

Historic wood windows, when properly maintained, can last 60 to 100 years. Aluminum, vinyl or fiberglass windows cannot be repaired and need to be replaced. Modern sealed window units have a 15 to 20 year life span. Consider the following alternatives prior to replacing historic windows or designing new windows:

- Reinstate exterior storm windows that have been removed. A single glazed window with an exterior storm window can be as effective as a sealed window unit.
- Retrofit sealed glazing units into the historic sashes as an alternative to replacing the whole window.

Replacement glazing should be considered only when the existing glazing is damaged or the historic sash is being retrofitted with sealed glazing units.

Replace all damaged weather-stripping to ensure air tightness of window assembly. The performance of single-glazed windows will be significantly improved by proper weather-stripping that reduces air infiltration.

Regularly maintain the caulking around the windows.

The sills are often the most damaged features of windows, and can be replaced using dutchman repairs, leaving the window frame in place. Sashes can be removed for in-shop repairs.

4.2.2.6 Shutters

4.2.2.6.1 Protect and maintain historic shutters.

- a. The removal or obstruction of historic shutters shall not be permitted.
- b. Repair rather than replace historic shutters.
- c. Replace only the shutter elements (e.g. individual louvers) that have deteriorated beyond repair, rather than replacing an entire shutter.

4.2.2.6.2 When shutter replacement is necessary, shutters shall be replaced *in kind*, matching the form, materials and details of the original.

4.2.2.6.3 New shutters may be permitted only where they are physically and visually compatible with the architectural style and form of the *heritage building*. (See Appendix C – *Architectural Style Guide*)

- a. Attach shutters to the window casing rather than the wall. Provide hinges and hooks to allow shutters to be functional.

- b. Design shutters in a style appropriate to the architectural style of the *heritage building*, including paneled or louvered styles. Louvers may be fixed or operable.
- c. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.
- d. Wooden shutters shall be painted in a colour appropriate for the materiality and colours of the *heritage building*.



Figure 7: Appropriately-sized shutters on 66 Second St., (left); inappropriately small shutters on a building not located in the District (right) (source: <http://www.oldhouseguy.com/shutters/>).

Best Practices – Shutters

Reinstate historic shutters that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic shutters, such as those that are too narrow, based on appropriate documentary evidence.

Restore historic shutters that have been removed from their hinges and attached to the wall on either side of the window. New hardware should be found and the shutters re-hung.

4.2.2.7 Entrances

- 4.2.2.7.1 Protect and maintain the placement, size and orientation of historic entrance openings.
 - a. The removal or obstruction of historic entrance openings shall not be permitted.
 - b. Maintain historic entrances as functioning entrances.
 - c. Maintain historic hierarchies of entrances on buildings, where they exist.
- 4.2.2.7.2 Protect and maintain historic entrance features, including doors, door surrounds, materials, glazing, lighting and steps.
 - a. Repair rather than replace historic entrance features.
 - b. Replace only entrance features that have deteriorated beyond repair, rather than replacing an entire entrance unit.

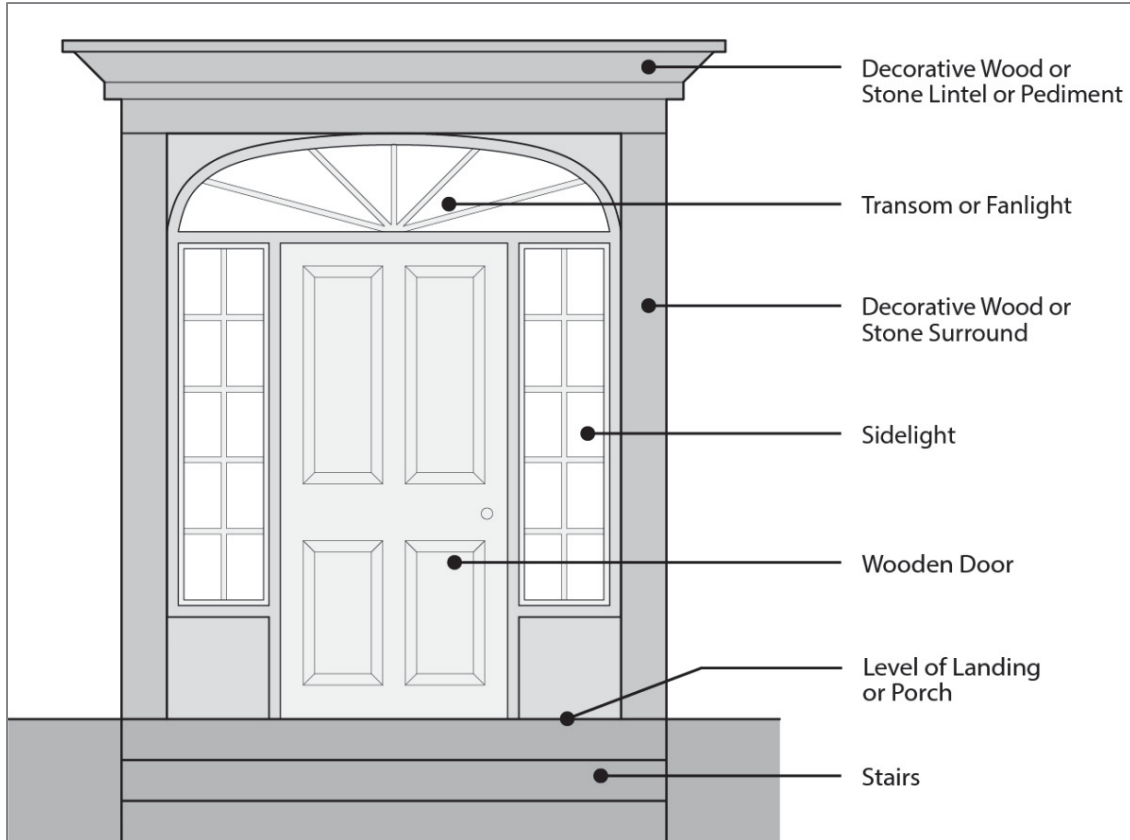


Figure 8: Diagram of typical features of an entrance (note: this exact design may not be present in the District).

- 4.2.2.7.3 When the replacement of entrance features is necessary, features shall be replaced *in kind*, matching the form, appearance, materials and details of the original.
- Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.
 - Wood is the most appropriate material for screen doors. Aluminum and steel framed screen doors may be considered on a case-by-case basis.
 - Sliding doors and other doors that do not swing shall not be permitted.
- 4.2.2.7.4 New entrances on the historic portion of a building may be permitted only where their location, alignment, proportions, materials and design is compatible with the architecture of the *heritage building*, as exemplified by the existing entrances and the rhythm of bays.
- New entrances shall be subordinate to the primary historic entrance in terms of location and design. New entrances should be located on secondary elevations.
 - Doors and door surrounds of new entrances shall be detailed in a style and materials appropriate to the architectural style of the *heritage building*.
 - Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.

- d. Wood is the most appropriate material for screen doors. Aluminum and steel framed screen doors may be considered on a case-by-case basis.
- e. Sliding doors and other doors that do not swing shall not be permitted.

4.2.2.7.5 Entrance ramps may be permitted for barrier-free access to *heritage buildings* in accordance with applicable legislation.

- a. In order to avoid damage to the *heritage fabric*, entrance ramps shall not be physically attached to the *heritage building*. In exceptional circumstances, attachments may be permitted where they minimize damage to the *heritage fabric*.
- b. The location of entrance ramps shall not negatively impact the *heritage building*. In some cases, it may be most appropriate to place ramps at a secondary entrance.

Best Practices – Entrances

Reinstate historic entrance openings that have been removed or blocked, based on appropriate documentary evidence

Replace newer unsympathetic entrance features based on appropriate documentary evidence.

Improve weather protection and energy efficiency of existing doors through re-puttying and replacing or installing weather-stripping, adjusting hardware, and sealing openings and joints, rather than replacing the historic doors.

4.2.2.8 Foundations

4.2.2.8.1 Protect and maintain existing foundations by ensuring that site drainage is directed away from building and porch foundations.

4.2.2.8.2 When the foundations of buildings or porches have settled or deteriorated excessively, rebuild damaged foundation walls or piers rather than demolishing the structure. Install temporary support for the structure above while the damaged wall or pier is reconstructed.

4.2.2.9 Porches and Porticos

4.2.2.9.1 Protect and maintain historic porches and porticos and their features, including posts, brackets, railings, steps and roofs.

- a. The removal or obstruction of historic porch and portico features shall not be permitted.
- b. Repair rather than replace historic porch and portico features.
- c. Replace only the porch or portico features that have deteriorated beyond repair, rather than replacing an entire porch or portico.



Figure 9: Porch on 72 First St. (left); portico on 410 Lakeshore Rd. E. (right).

4.2.2.9.2 Porches and porticos may be permitted as *additions* to *heritage buildings*, providing they are in a style that is appropriate for the architectural style of the *heritage building*, and are physically and visually compatible with the *heritage building* in terms of placement, orientation, design and materials.

- a. When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.
- b. Acceptable materials for porches and porticos include wood, metal and stone. The use of composite and engineered wood will be considered on a case-by-case basis.

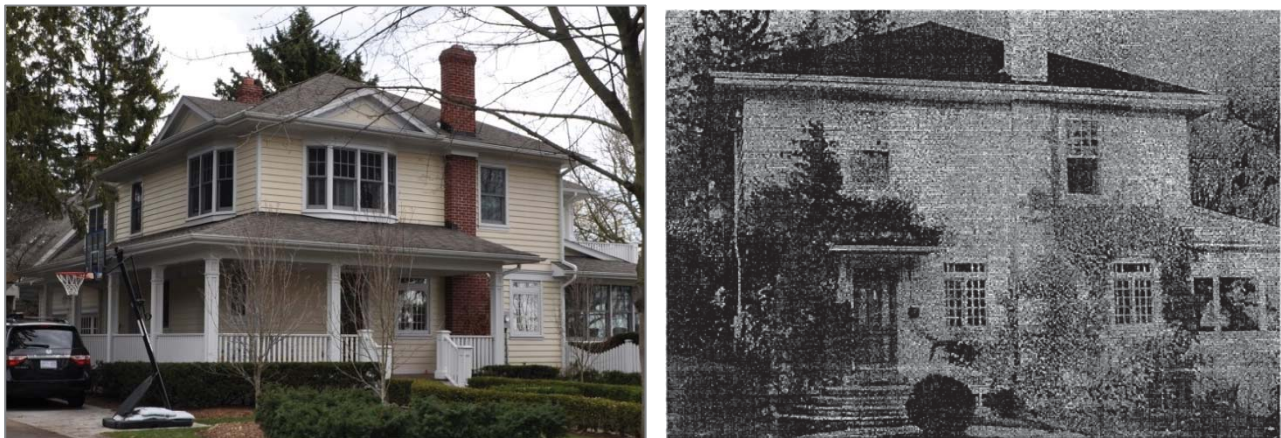


Figure 10: Compatible porch added to 25 Second St. in 1991 (left); 25 Second St. prior to 1991 (right) (source: original First and Second St. HCD Plan, 1991).

Best Practices – Porches and Porticos

Reinstate historic porches and porticos that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic porch and portico features based on appropriate documentary evidence.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.2.2.10 Garages

4.2.2.10.1 Protect and maintain historic garages.

4.2.2.10.2 *Alterations* to existing garages must not negatively impact the Contributing Property in terms of the garage's architectural style, massing, design, materials, colour and location on the lot.

4.2.2.10.3 Non-historic garages on Contributing Properties may be removed or replaced, provided any replacement garage is subordinate to and compatible with the *heritage character* of the District.



Figure 11: Historic garages at 75 Second St. (left); and 80 Second St. (right).

4.2.2.11 Utility and Service Equipment

4.2.2.11.1 Utility and service equipment shall not negatively impact the *heritage building* and shall be located so as to minimize its visibility from the *public realm*.

- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and

should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 - Guidelines for Landscape Conservation and Design – Private Property, for guidance on screening)

4.2.2.12 Exterior Walls

4.2.2.12.1 Protect and maintain historic architectural features of exterior walls, including cladding materials, exposed structural elements (such as pilasters and half-timbering) and decorative elements (such as articulated brickwork, quoining and date stones).

- a. The removal or obstruction of historic architectural features of exterior walls shall not be permitted.
- b. *Alterations* and *maintenance* work should not remove, cover or obscure the patina of age or irregularities found in older work and materials. The patina is the result of the natural aging of a material and provides it with a protective coating.
- c. Repair rather than replace historic materials.
- d. Replace only materials that have deteriorated beyond repair. Document the patterns, profiles and detailing of materials prior to repairing or replacing them.
- e. Where historic materials have deteriorated beyond repair, replace deteriorated materials *in kind*, maintaining the compositions, size, finishes, patterns, tooling and colours of the original. Replacement materials should also match the physical characteristics of the original such as vapour permeability and compressive strength.
- f. Historically unpainted masonry surfaces shall not be painted.
- g. Maintain historically painted surfaces, including stucco, wood clapboard and wood shingles.
- h. New finishes or coatings that alter the appearance of historic materials shall not be applied, especially where these finishes are substitutes for the repair of historic materials. Staining of new masonry to match historic masonry may be permitted with products that do not alter the permeability of the masonry. A heritage permit will be required to approve colour, product and staining technique. Staining mortar may not be permitted.
- i. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breathe.

4.2.2.12.2 **Guidelines for Specific Materials:** The guidelines below provide additional direction for specific materials. All guidelines under sub-section 4.2.2.12 – *Exterior Walls* are also applicable. Refer to Parks Canada’s *Standards and Guidelines for the Conservation of Historic Places* for additional guidelines and best practices relating to specific cladding materials (ie. masonry, wood, concrete, metals, glass, plaster and stucco).

- a. Protect and maintain the historic appearance of **wood** finishes and elements.
 - Identify the species of wood prior to doing any repairs or replacements. For dutchman repairs, the pieced-in sections should, whenever possible, match the species of the existing element being repaired.

- When replacing and/or repairing wood siding, shingles and other wood elements, document their pattern, size, detailing, profile, and colour prior to removal.
 - Replace *in kind* any wood element including wood siding, shingles, trim, half-timbering, decorative elements, railings, stairs, porch columns and finishes. Composite and engineered wood may be considered on a case-by-case basis, providing they effectively replicate the historic cladding, trim or other sections of the exterior wall.
 - Replicate historic siding and shingle patterns when replacing or repairing them.
 - Ensure that the original relationships between the trim and siding are maintained.
 - Historic wood siding and shingles shall not be clad over.
 - Metal, vinyl or plastic composite siding shall not be permitted
 - Eaves, soffits or fascias shall not be permitted to be clad or flashed in metal.
- b. Protect and maintain the historic appearance of **masonry (brick and stone)**.
- Sandblasting masonry surfaces shall not be permitted. This will remove the harder, more durable kilned face of the brick exposing its softer interior.
 - Brick or stone shall not be painted, unless it was historically painted according to documentary evidence.
 - When removing paint from masonry surfaces, do so in a manner that does not damage the historic materials. Protect adjacent surfaces and landscaping. A heritage permit is required for paint removals.
 - When replacing bricks, ensure that the new bricks match the appearance and physical properties of the original. Modern bricks are generally stronger, smaller and less vapour permeable than historic bricks. The use of a stronger brick in a historic wall assembly can accelerate the deterioration of the surrounding historic bricks. Historic bricks are still available from specialty suppliers. Staining new bricks to match historic brick may be permitted, see guidance in Section 4.2.2.12.1.
 - Repoint brick masonry using a physically and visually compatible mortar mixture and traditional pointing methods, recreating the original tooling and joint profile. The pointing mortar should be softer and more vapour-permeable than the masonry. When cutting or raking out joints, use appropriate methods to ensure that the arises of the bricks or stone are protected from damage. When rebuilding a section of historic masonry, ensure that the original coursing and joint widths are maintained.
 - Protective sealants shall not be applied to masonry. These sealants are often vapour impermeable and will trap moisture within the masonry assembly accelerating its deterioration.
- c. Protect and maintain the historic appearance of the **stucco** surfaces.
- Exterior Insulation and Finish Systems (EIFS) shall not be permitted as a replacement material for stucco. In addition to being aesthetically incompatible

with the heritage character of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.

- Repair the substrate, where required, to ensure the structural stability of the stucco finish.
- Retain and repair existing stucco finishes where possible. When replacement is required, replace stucco with in-kind materials, typically with a historically appropriate three-coat application. Reproduce the original finish, colour, strength and texture patterns.
- Ensure that the patching and repair materials used are physically and visually compatible with the historic stucco.
- Ensure that the paint systems used are physically and visually compatible with the historic stucco, especially with regards to vapour permeability.

Best Practices – Exterior Walls

Regularly inspect and maintain the exterior materials on *historic buildings*.

Ensure that water shedding, drainage and management elements are functional: that sills, cap stones and other exposed horizontal are sloped with drip edges; that the ground is sloped away from the foundations to prevent splash-back and provide proper drainage; that gutters and downspouts are functional; that sealants and flashing are in good condition; that projecting eaves are maintained; and that masonry joints are sound.

When cleaning, use the gentlest means possible so as to remove soiling while maintaining the *patina* of the historic materials. Protect adjacent surfaces including the landscaping. Perform mock-ups prior to cleaning to ensure that the chosen method will not negatively impact the historic materials.

Determine and address the causes of material deterioration prior to developing any *maintenance*, repair or replacement scope of work.

Assess the condition and composition of the stucco and its substrate prior to developing any repairs strategies. Document the original finishes' texture and colour prior to undertaking any work.

Remove deteriorated paint prior to repainting. When removing paint, use the gentlest means possible. Select colours for repainting that are compatible with the architectural style, cladding materials and colour of the heritage building.

Replace newer unsympathetic exterior cladding materials based on historic documentation.

4.2.3 ADDITIONS TO CONTRIBUTING (HISTORIC) PROPERTIES

4.2.3.1 Heritage Fabric

4.2.3.1.1 *Additions to a Contributing Property shall be physically and visually compatible with, sympathetic to and distinguishable from the heritage fabric of the property, with regard to the location, massing, height, proportions, architectural style, detailing and materials of the addition.*

4.2.3.1.2 *Additions to a Contributing Property shall minimize the loss of heritage fabric.*

Refer to Section 3.1 – Guiding Principles for a discussion of the terms “compatible”, “subordinate” and “distinguishable”, as they pertain to this Plan.

4.2.3.2 Location

4.2.3.2.1 *Additions to a Contributing Property shall be located towards the rear of, or sufficiently set back from, the heritage building.*

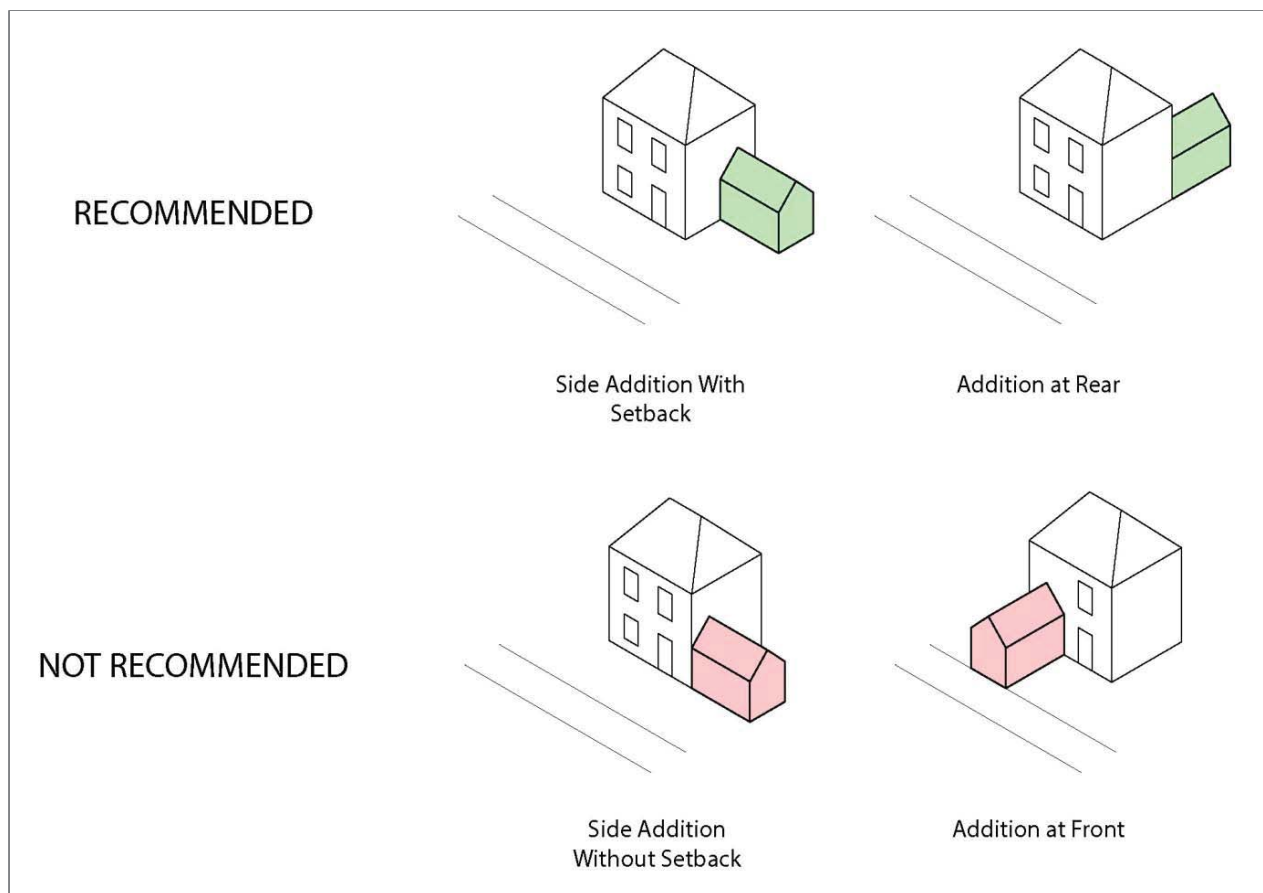


Figure 12: Guidelines for the location of additions to Contributing Properties.

4.2.3.3 Scale and Massing

- 4.2.3.3.1 The design of *additions* shall be subordinate to the *heritage building*; that is, the *addition* must not devalue or distract from the *heritage building*.
- 4.2.3.3.2 The massing and proportions of *additions* shall be simple and subordinate to the *heritage building*.
- 4.2.3.3.3 *Additions* shall not negatively impact the proportional symmetry of the *heritage building*.
- 4.2.3.3.4 The massing and proportions of additions should conform to any applicable regulations of the Town of Oakville Zoning By-law in effect subject to amendments and variances that may be approved.

Refer to Section 3.1 – Guiding Principles for a discussion of the term “subordinate” as it pertains to this Plan.

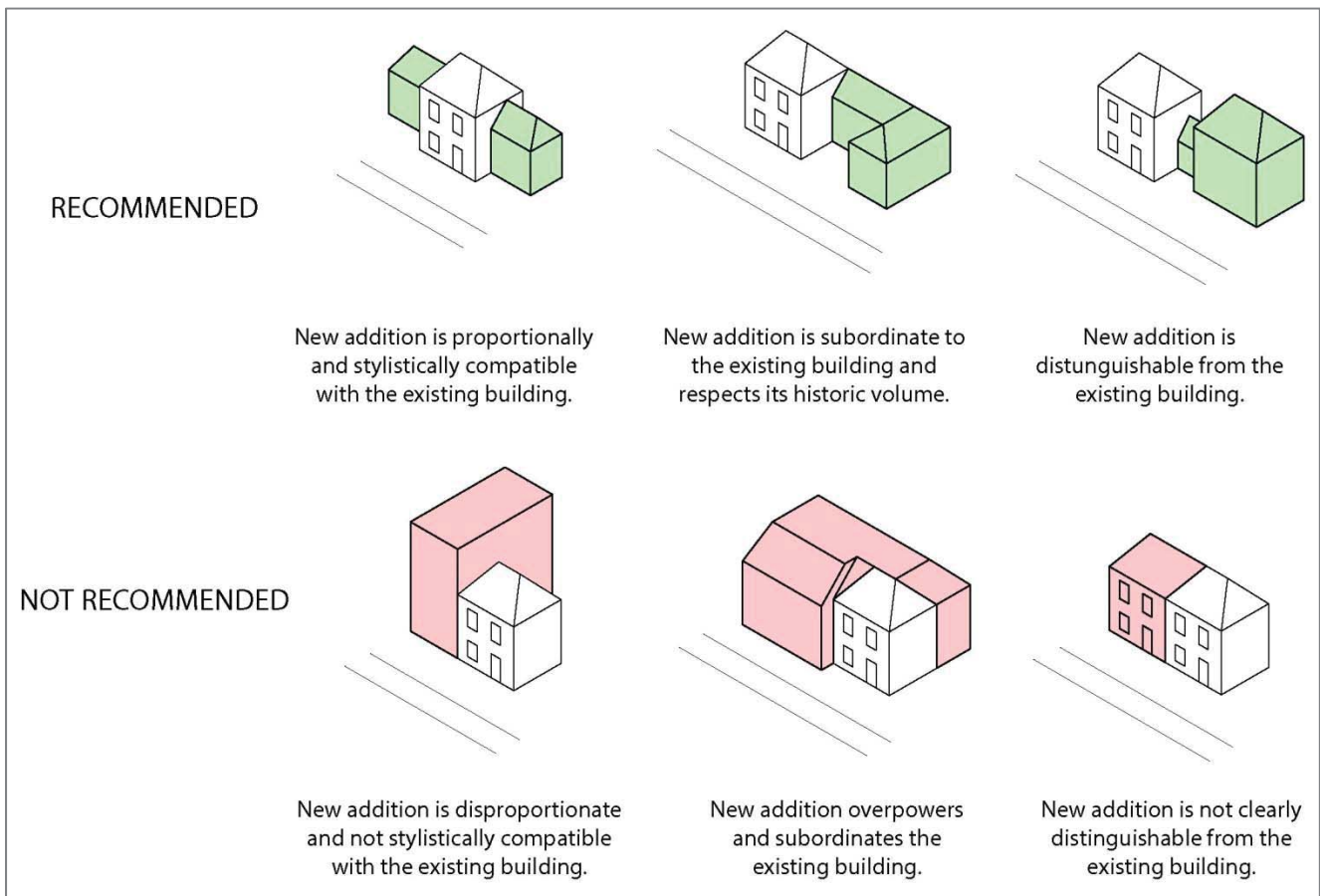


Figure 13: Guidelines for the scale and massing of additions to Contributing Properties.



Figure 14: 75 Second St. - an 1850s house with a compatible early 20th century two-storey addition set back to the side of the main elevation (left); 56 Second St. – a 1914 house with a compatible 2002 one-storey addition at the rear of the main structure (viewed from side elevation on Union St.) (right).

4.2.3.4 Height

- 4.2.3.4.1 Protect and maintain the historic low-rise scale of the District.
 - a. The maximum height for Contributing Properties shall be the maximum height permitted for the District under the Town of Oakville’s Zoning By-law in effect subject to amendments and variances that may be approved.
- 4.2.3.4.2 The height of an *addition* may exceed that of the historic portion of the *heritage building*, up to the maximum height stated above, providing all other applicable policies and guidelines in this document are met and the overall scale, massing and design of the *addition* is subordinate and compatible with the *heritage building*.

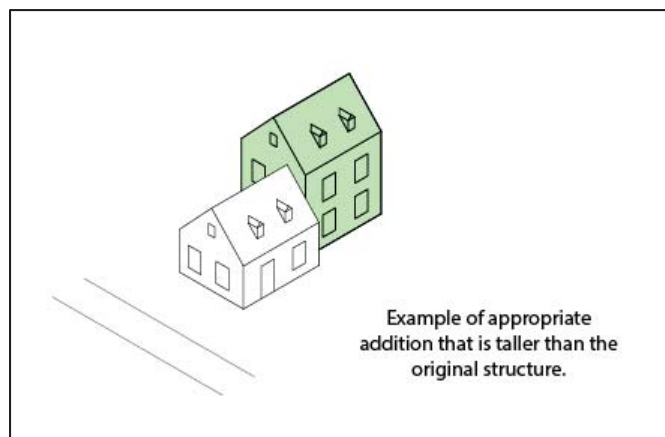


Figure 15: Guidelines for the scale and massing of additions to Contributing Properties.

4.2.3.5 Style

- 4.2.3.5.1 The design of an *addition* should reflect the architectural style of the *heritage building*, in terms of roof form, massing, materials, and other architectural features, such as windows and entrances. Compatible variations of the architectural style of the *heritage building* may be permitted for *additions*.
- 4.2.3.5.2 Contemporary or non-traditional styles may be permitted for additions, providing they meet the guidelines of Standard 11 of the *Standards and Guidelines for the Conservation of Historic Places in Canada* as described in Section 3.1, respect the guidelines for additions to Contributing Properties and do not negatively impact the *heritage character* of the District.

4.2.3.6 Roofs

- 4.2.3.6.1 Protect and maintain historic roof forms and roof features, including dormers, chimneys, eaves, and other features related to specific architectural styles. (See *Appendix C – Architectural Style Guide*)
- 4.2.3.6.2 The roof form of an *addition* shall be physically and visually compatible with that of the *heritage building*.
- Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - Mansard roofs and gambrel roofs are not appropriate for the District.
 - While not appropriate for entire structures or large *additions*, flat roofs and shed roofs may be permitted for small *additions*, where compatible with the form and architectural style of the *heritage building*.
- 4.2.3.6.3 Roofing materials used on *additions* shall be physically and visually compatible with the roofing materials of the main roof of the *heritage building*.
- Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will not be permitted. Membranes will only be considered on flat roofs.
 - Aluminum or PVC soffits and fascia will not be permitted.
- 4.2.3.6.4 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- Skylights, roof ventilation equipment, satellite dishes, plumbing vents and other stacks may be permitted on *additions*, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - The form, materials and colours of eavestroughs and downspouts shall not distract from or negatively impact the architectural style of the *heritage building*.
 - Flashing should be coloured to match the wall against which it is located.

4.2.3.7 Dormers

4.3.3.7.1 Protect and maintain historic dormers.

4.3.3.7.2 New dormers may be permitted on *additions* to *heritage buildings*, only where they are compatible with the architectural style and form of the *heritage building* and the *addition*. (See *Appendix C – Architectural Style Guide*)

- a. Scale new dormers to complement the design and scale of the roof, windows, and any existing dormers on the *heritage building*.

Best Practices - Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.2.3.8 Windows

4.2.3.8.1 Protect and maintain the placement, orientation, shape and size of historic window openings and features.

4.2.3.8.2 Windows located on an *addition* to a *heritage building* shall be compatible, in terms of alignment, proportions, design and materials, with the rhythm of bays and windows on the *heritage building*.

- a. Where casement, double-hung, and other traditionally-operable window styles are used on *additions*, they shall be operable.
- b. Blank windowless walls shall not be permitted.
- c. Consider the historic solid-to-void ratios and the rhythm of windows and bays. In the District, this void ratio has ranged from 15% to 35%, with the exception of sun rooms or conservatories.
- d. Windows shall be wood. Aluminum-clad wood windows may be permitted, providing they effectively replicate wood windows.
- e. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District. They do not adequately replicate wood windows in their detailing, finishes, profiles and colour; their sashes, frames and mouldings are often much flatter in appearance.
- f. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.

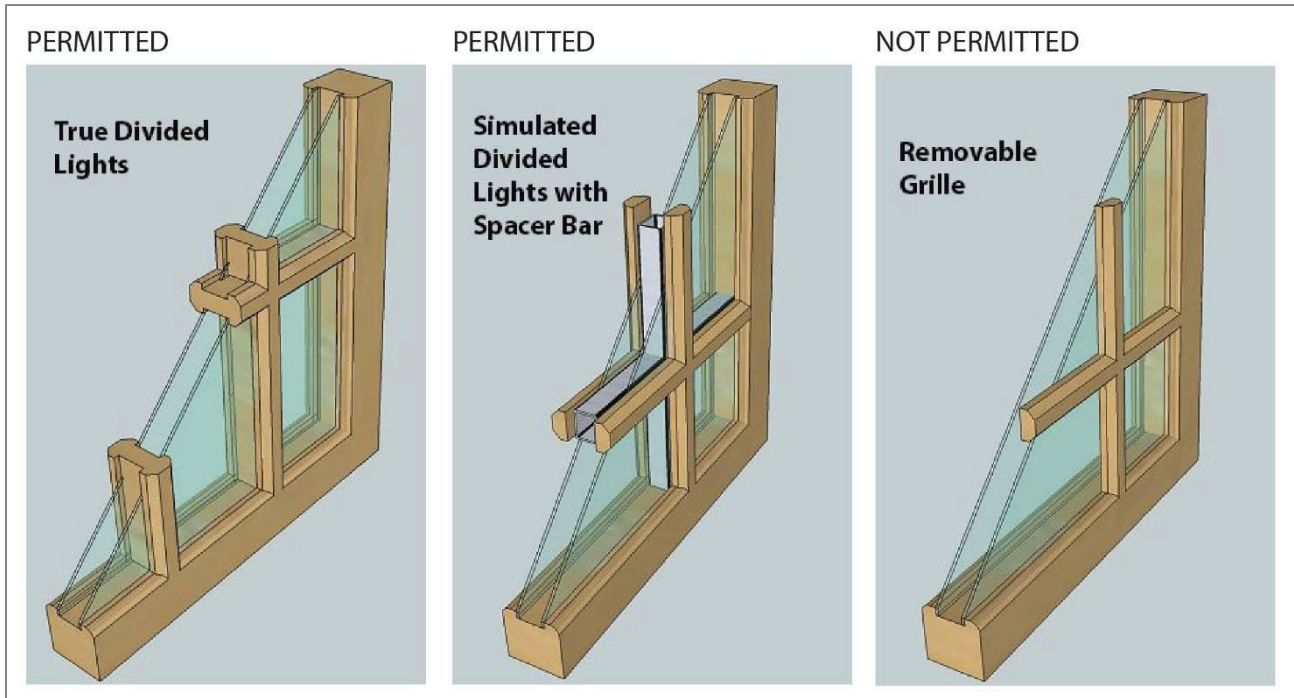


Figure 16: Muntin options (image source: <http://www.home-style-choices.com/window-construction.html>).

4.2.3.9 Shutters

4.2.3.9.1 Protect and maintain historic shutters.

4.2.3.9.2 Shutters may be permitted on *additions* to Contributing Properties only where they are physically and visually compatible with the architectural style and form of the *heritage building* and of the *addition*. (see Appendix C – Architectural Style Guide)

- a. Attach shutters to the window casing rather than the wall. Provide hinges and hooks to allow shutters to be functional.
- b. Design shutters in a style appropriate to the architectural style of the *heritage building*, including paneled or louvered styles. Louvers may be fixed or operable.
- c. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.
- d. Wooden shutters shall be painted in a colour appropriate for the materiality and colours of the *heritage building* and the *addition*.

4.2.3.10 Entrances

4.2.3.10.1 Protect and maintain the placement, size and orientation of historic entrance openings.

- a. The removal or obstruction of historic entrances shall not be permitted.

4.2.3.10.2 Entrances located on an *addition* to a *heritage building* shall be compatible, in terms of their location, alignment, proportions, design and materials, with the architecture of the *heritage building*, as exemplified by the existing entrances and rhythm of bays.

- a. New entrances shall be subordinate to the primary historic entrance, in terms of location and design.

- b. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.
- c. Wood is the most appropriate material for screen doors. Aluminum and steel screen doors may be considered on a case-by-case basis.
- d. Sliding doors and other doors that do not swing shall not be permitted on elevations of *additions* that are visible from the *public realm*.

4.2.3.11 Porches and Porticos

- 4.2.3.11.1 Protect and maintain historic porches and porticos and their features, including posts, brackets, railings, steps and roofs.
- 4.2.3.11.2 New porches and porticos may be permitted on *additions* to *heritage buildings*, providing they are in a style that is appropriate for the architectural style of the *addition* and the *heritage building*, and are physically and visually compatible with the *heritage building* in terms of placement, orientation, design and materials.
 - a. Wood, metal and stone are the most appropriate materials for porches and porticos in the District. The use of composite and engineered wood will be considered on a case-by-case basis.

Best Practices – Porches and Porticos

When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.2.3.12 Garages

For the purposes of this document, new garages on Contributing Properties will be considered as 'Additions'. In addition to the policies listed below, all policies under Section 4.2.1 – General Guidelines and Section 4.2.3 - Additions to Contributing (Historic) Properties apply to new garages, as do all applicable requirements under the Town of Oakville's Zoning By-Law in effect subject to amendments and variances that may be approved.

- 4.2.3.12.1 Both *attached* and detached garage forms may be permitted, providing they respond respectfully and appropriately to the shape of the lot and the architectural style and form of the *heritage building*. *Detached garages* are preferable.
- 4.2.3.12.2 New garages shall be located and massed so as to minimize their visibility from the *public realm*
 - a. Garages shall be lower in profile than the *heritage building*, and be complementary in design, materials and colour.

- b. Use landscaping treatments to shield garages from view. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*, for guidance on screening)
- c. Locate *attached garages* on rear or secondary elevations of the *heritage building*, minimizing the loss of *heritage fabric*. When located on side elevations, *attached garages* must be set back from the main elevation.
- d. *Integral garages* shall not be permitted on the main body of *heritage buildings*. They may be permitted in additions to *heritage buildings*.
- e. Locate *detached garages* to the rear or side of the *heritage building*, set back substantially from the main elevation.
- f. Garage doors and windows shall reflect the style of those on the *heritage building*.
- g. Garage doors should be single car width, with separated overhead doors in the case of a double vehicle garage.
- h. When applying these guidelines to proposals for new garages on corner lots, special consideration may be given in recognition of their visibility from the public realm.



Figure 17: Attached garage at 88 Second St. (left); detached garage at 390 Lakeshore Rd. E. (right).

4.2.3.13 Utility and Service Equipment

- 4.2.3.13.1 Utility and service equipment shall not negatively impact the *heritage building* and shall be located so as to minimize their visibility from the *public realm*.
- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*)

4.2.3.14 Exterior Walls

- 4.2.3.14.1 Protect and maintain historic architectural features of exterior walls, including cladding materials, exposed structural elements (such as pilasters and half-timbering) and decorative elements (such as articulated brickwork, quoining and date stones).
- 4.2.3.14.2 Exterior walls of *additions* to Contributing Properties shall be physically and visually compatible, in terms of materials, finishes, colours and detailing, with the exterior walls of the *heritage building*.
- a. Use exterior cladding materials that are physically and visually compatible with the *heritage building*, such as wood siding and shingles, red brick masonry and stucco.
 - b. Contemporary and/or non-traditional materials, such as metal panelling and glass (curtain walls) may be permitted as accents on a case by case basis, but not as the principal cladding of *additions*.
 - c. Stone and artificial stone materials shall not be permitted for the cladding of *additions*. These materials may be considered as a foundation or an accent material where appropriate with the architectural style of the *heritage building*.
 - d. Metal, vinyl and plastic composite siding shall not be permitted.
 - e. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.
 - f. For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the *heritage building*.

OAKVILLE HERITAGE INVENTORY SHEET

Address: 80 Second Street

Name: None



Design/Physical Description:

- Edwardian Four-Square style with Arts & Crafts influences
- Brick construction with stucco and half timbering in gable with projecting purlins and knee-braces
- Brick chimney
- 2 ½ storeys
- Front gable roof and side gable dormer with asphalt shingle, wood soffit and decorative brackets
- 1-over-1 and 6-over-6 wood sash windows
- Front porch with brick pillars

Site Features:

- Paved side drive
- Detached 2-storey garage at rear
- Property enclosed by dense row of hedges

Historical Description:

- Construction date c. 1915, with later (post-1949) additions at rear
- There are no known historical associations with a significant person, group, activity or event

Contextual Description:

- The property is historically associated with its residential neighbourhood, originally developed as part of the Romain-Smith Survey

HERITAGE PERMIT

Application Form

Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.

Policy Planning & Heritage
Planning and Development Department
Town of Oakville

A – Property and Applicant Information

Agent Contact Information (if applicable):

Name: WILLIAM R HICKS Company Name: W.R. HICKS DESIGN INC

Address & Postal Code: 905 SAINTVICTER AVENUE. MISSISSAUGA ON

Phone: 647 274 1792 E-mail: williamhicks099@gmail.com

B – Heritage Permit Application Summary

Alterations to Building New Construction Landscaping Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. PERMISSION RESTORATION OF EXISTING HOUSE
2. DEMOLITION OF BACK ADDITION BUILT IN 1990'S
3. CONSTRUCTION OF NEW ATTACHED GARAGE WITH SECOND FLOOR BED
4. NEW SIDE PORCH
5. REPAIR OF EXISTING STUCCO WITH CEDAR SHAKLE
6. RESTORE EXISTING BRICK AS REQUIRED & REPAINT

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

THE HOME WAS RECENTLY PURCHASED & THE OWNERS WISH TO DEMOLISH A MORE RECENT BACK ADDITION, AS WELL AS TO BUILD A NEW ATTACHED GARAGE.

THE PROPOSED ADDITION COMPLIES WITH THE DISTRICT PLAN & ALL OF THE CONSERVATION GUIDELINES.

THERE WILL BE A LATER APPLICATION TO RESDRE/RETROFIT THE ORIGINAL COACH HOUSE / GARAGE AT THE BACK OF THE PROPERTY

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

- | | | |
|------------------|---|-----------------------------|
| Building Permit | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
| Minor Variance * | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Site Plan | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Site Alteration | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
| Sign Permit | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Tree Removals | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |

*Prior to submission of your heritage permit application, any relevant minor variance application must have been submitted and confirmed on a Committee of Adjustment meeting agenda. The Committee of Adjustment must make a decision on the variance(s) before the heritage permit will be considered by the Heritage Oakville Advisory Committee.

If Yes, please describe the application for all required approvals listed above:

THERE ARE NO VARIANCES REQUIRED & THE SITE ALT & TREE REMOVALS & PERMIT WILL BE SIMPLE STANDARD PROCESS WITH NO ISSUES EXPECTED.

E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is new or existing	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	BRICK - EXIST STUCCO OVER BRICK EXISTING		REPAINT BRICK STAIN BRICK COLOUR TO BE DETERMINED	
Roof	SHINGLE - EXIST	NEW SHINGLE ROOF	TO BE DET.	—
Foundation Walls	CONCRETE & CONCRETE BLOCK	NEW CONCRETE & BRICK CHAD ABOVE GRADE	TO MATCH PAINT COLOUR	—
Trim	WOOD TRIM EXISTING	REPAIR & MATCH TRIM DETAILING	TO BE DET.	—
Doors	WOOD DOORS	NEW WOOD DOOR & SIDE LANTS	STAIN TO BE DETERMINED	—
Windows	NEW WINDOWS TO REPLACE EXISTING	ALUMINUM CLAD WOOD PRODUCT WITH TRUE DIVIDED MUNTINS	TO BE DET.	—
Porch	CONCRETE & BRICK PORCH	TO BE RESTORED	TO BE DET	—
Fencing	TO BE REPLACED		LATER PLAN APPROVAL	—
Landscaping	TO BE FULLY REDONE		LATER PLAN APPROVAL	—
Other	COACH HOUSE TO BE RESTORED LATER		TO BE DET	.



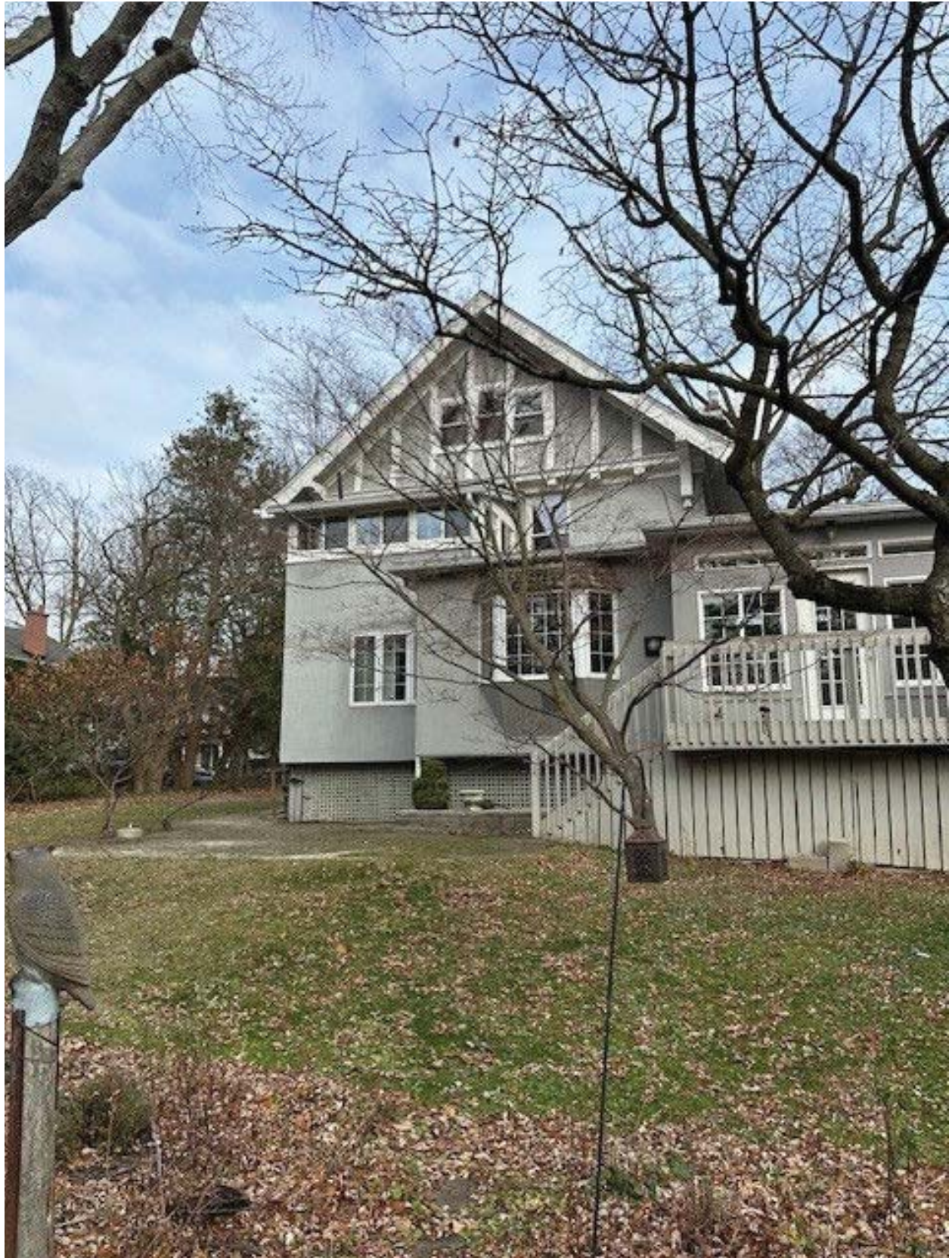






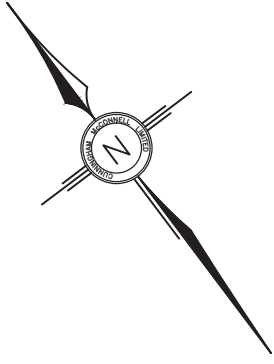












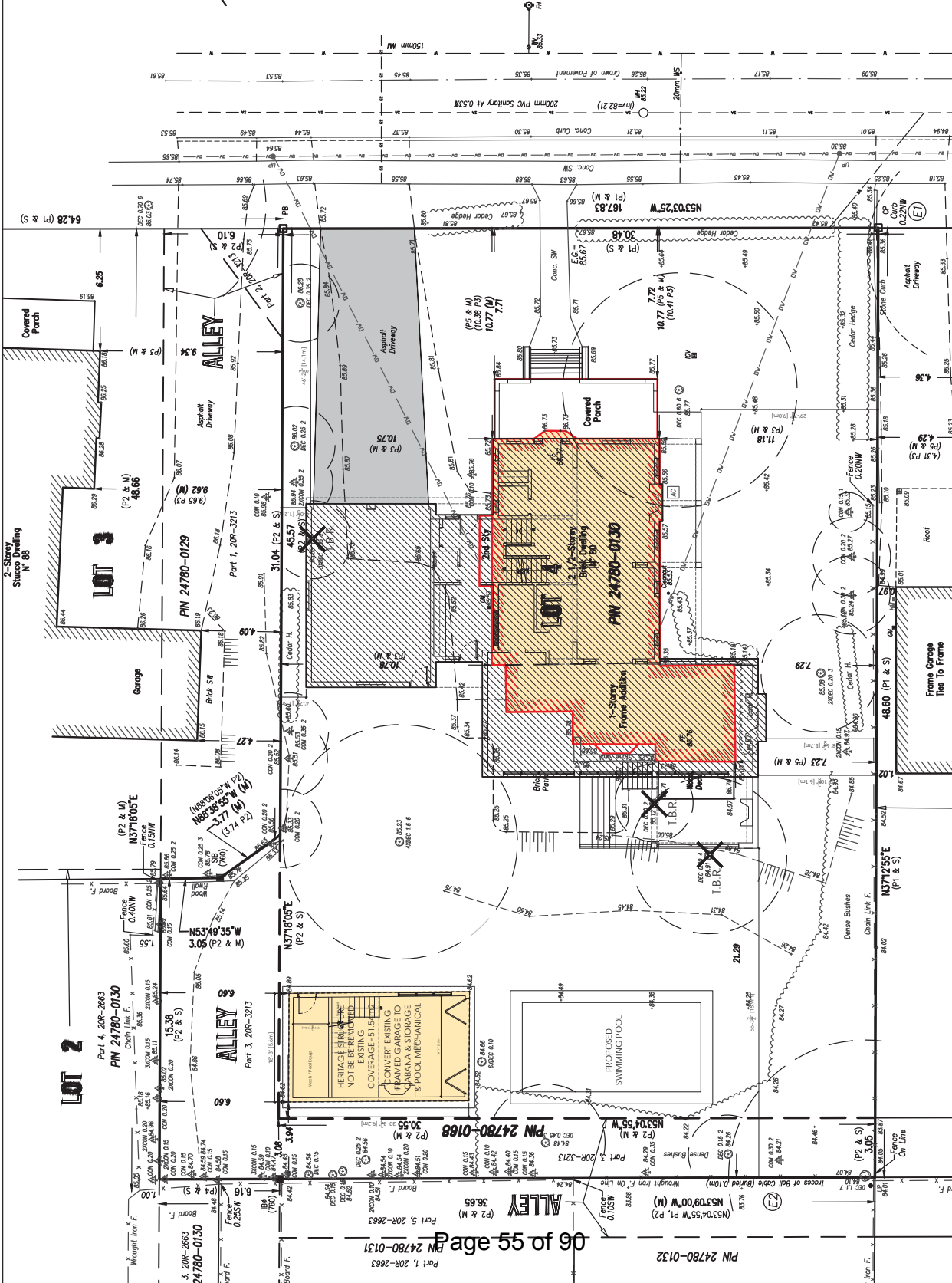
LOT 4
 PART OF 6.10m WIDE ALLEY
 REGISTERED PLAN 19
 Thompson-Smiths Survey
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON

SECOND STREET
 (DEDICATED BY REGISTERED PLAN 19 TSS)
 P.L.N. 24781-0001

JRCP
 DESIGNS INC.
 ARCHITECTURAL DESIGN CONSULTANT
 8100R STREET, MISSISSAUGA, ONTARIO
 L4W 1G5
 TEL: 905.884.8844
 email: jrcpdesigns@shaw.ca

PROJECT NAME AND ADDRESS:
**PROPOSED
 RESIDENCE AT
 80 SECOND ST.
 OAKVILLE, ON**

SHEET NO.
A100
 DRAWING TITLE
SITE PLAN
 DATE
 FEB 10 2024
 SCALE
 NOTED



1
 A100
 SITE PLAN
 1/16"=1'-0" (1 : 200m)

PROPOSED:

SITE STATISTICS – ZONE RL3 sp:12

1. LOT AREA = 1,580.66 m² (557.5 m² Minimum).
2. LOT FRONTAGE = 30.48m (18.00m Minimum).
3. AREAS FOR COVERAGE :
 - EXISTING DWELLING=1568.99 SQ.FT(145.76m²)
 - EXISTING COV. PORCH=274.62 SQ.FT(25.51m²)
 - PROPOSED ADDITION=1318.81 SQ.FT(122.52m²)
 - PROPOSED COV REAR PORCH=202.00 SQ.FT(18.76m²)
 - PROPOSED COV SIDE PORCH=322.45 SQ.FT(29.95m²)
 - PROPOSED COV ENTRY PORCH=60.95 SQ.FT(5.66m²)
 - TOTAL PROPOSED COVERAGE=3747.82 SQ.FT(348.18m²)
4. LOT COVERAGE = 22.02%
(Max COV=25% sp:12 Figure 15.12.2)
5. ESTABLISHED GRADE = 85.67m.
6. BUILDING HEIGHTS:
 - ROOF RIDGE = 9.76m (10.00m Maximum);
7. SETBACKS:
 - FRONT = 10.77m (EXISTING) (7.50m Minimum)
 - REAR = 16.90m (Porch) (7.50m Minimum);
 - SIDES: 5.70m And 1.20m (1.20m & 1.20m Min);
8. FLOOR AREA = 508.96 m².
9. FA/LOT RATIO = 32.19% (Max RFA=n/a Table 6.3.1)
10. Accessory Structure (Max 5% of Lot area (79.03m² Max
Shall be additional to Lot Coverage 6.5.2 (e)
-ACCESSORY STRUCTURE–CABANA=554.78 SQ.FT(51.54m²)

EXISTING:

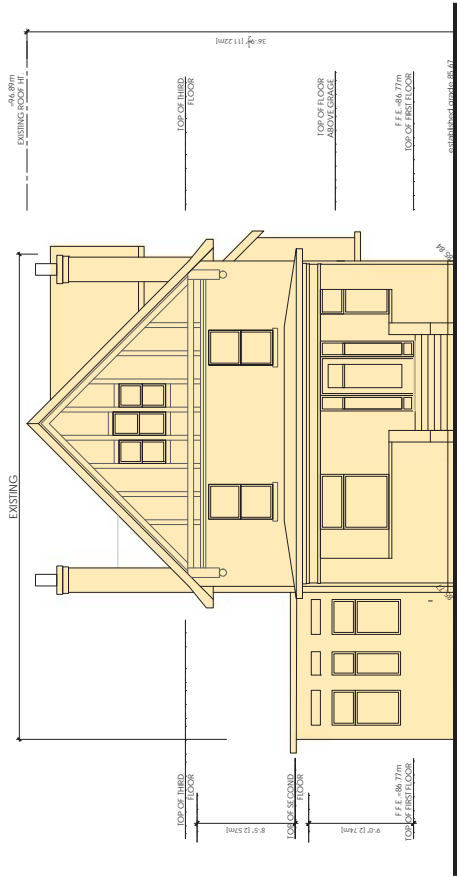
SITE STATISTICS – ZONE RL3 sp:12

1. LOT AREA = 1,580.66 m² (557.5 m² Minimum).
2. LOT FRONTAGE = 30.48m (18.00m Minimum).
3. AREAS FOR COVERAGE :
 - EXISTING DWELLING=1568.99 SQ.FT(145.76m²)
 - EXISTING COV. PORCH=274.62 SQ.FT(25.51m²)
 - EXISTING GARAGE=554.78 SQ.FT(51.54m²)
 - TOTAL EXISTING COVERAGE=2398.39 SQ.FT(222.82m²)
4. LOT COVERAGE = 14.09%
(Max COV=25% sp:12 Figure 15.12.2)
5. ESTABLISHED GRADE = 85.67m.
6. BUILDING HEIGHTS:
 - ROOF RIDGE = 11.22m (Existing);
7. SETBACKS:
 - FRONT = 10.77m (EXISTING) (7.50m Minimum)
 - REAR = 21.29m (EXISTING) (7.50m Minimum);
 - SIDES: 7.23m And 10.75m (1.20m & 1.20m Min);
8. FLOOR AREA = 308.53 m².
9. FA/LOT RATIO = 19.51% (Max RFA=n/a Table 6.3.1)
10. DETACHED GARAGE AREA= 51.44m²

<p>DESIGNER: JRCP DESIGNS INC. ARCHITECTURAL DESIGN CONSULTANT 11600 STREET AVENUE, #104, ONTARIO L4M 1P5 CANADA email: jrcpdesigns@shaw.ca</p>	<p>PROJECT NAME AND ADDRESS: PROPOSED RESIDENCE AT 80 SECOND ST. OAKVILLE, ON</p>
<p>FORWARDING TITLE: SITE STATS</p>	<p>SHEET NO.: A101</p>
<p>DATE: FEB 10 2024</p>	<p>SCALE: NOTED</p>



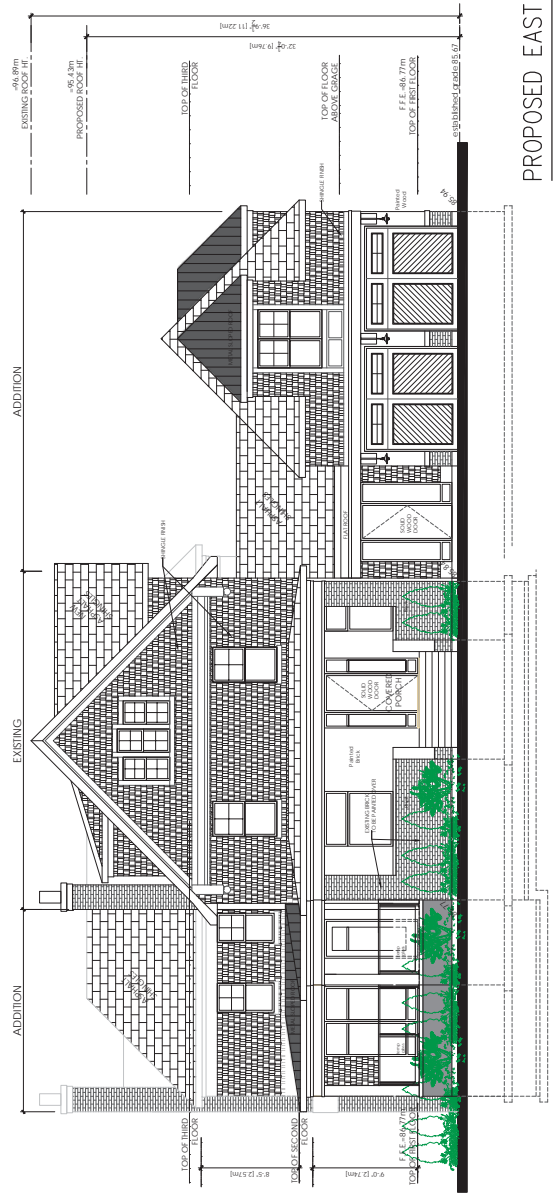
SITE STATS



EXISTING EAST ELEVATION (FRONT)

2
A200

3/32"=1'-0" (1 : 150m)



PROPOSED EAST ELEVATION (FRONT)

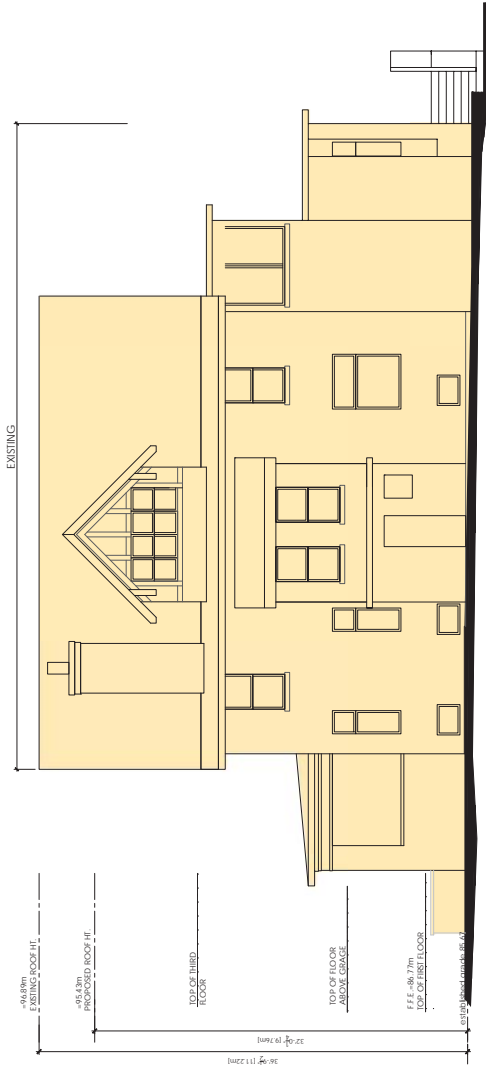
1
A200

3/32"=1'-0" (1 : 150m)

DESIGNER:
JRCP
DESIGNS INC.
ARCHITECTURAL DESIGN CONSULTANT
6000 STREET, MISSISSAUGA, ONTARIO
(416) 655-6245
www.jrcpdesigns.com

PROJECT NAME AND ADDRESS:
PROPOSED
RESIDENCE AT
80 SECOND ST.
OAKVILLE, ON

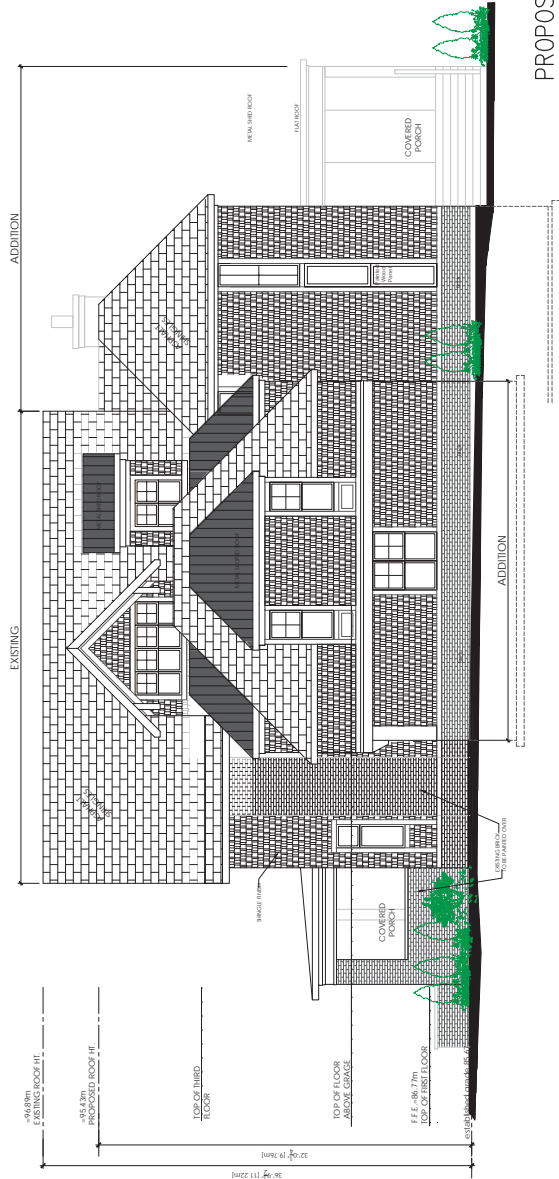
DRAWINGS TITLE: WEST ELEVATION
SHEET NO.: A200
DATE: FEB 0 2024
SCALE: NOTED



EXISTING NORTH ELEVATION

3/32"=1'-0" (1 : 150m)

2
A202



PROPOSED NORTH ELEVATION

3/32"=1'-0" (1 : 150m)

1
A202

DESIGNER: **JRCP**
DESIGNS INC.
ARCHITECTURAL DESIGN CONSULTANT
1600R STREET, MISSISSAUGA, ONTARIO
(416) 655-0245
email: jr@jrdesigns.com

PROJECT NAME AND ADDRESS:

**PROPOSED
RESIDENCE AT
80 SECOND ST.
OAKVILLE, ON**

SHEET NO.

DRAWINGS TITLE

NORTH ELEVATION

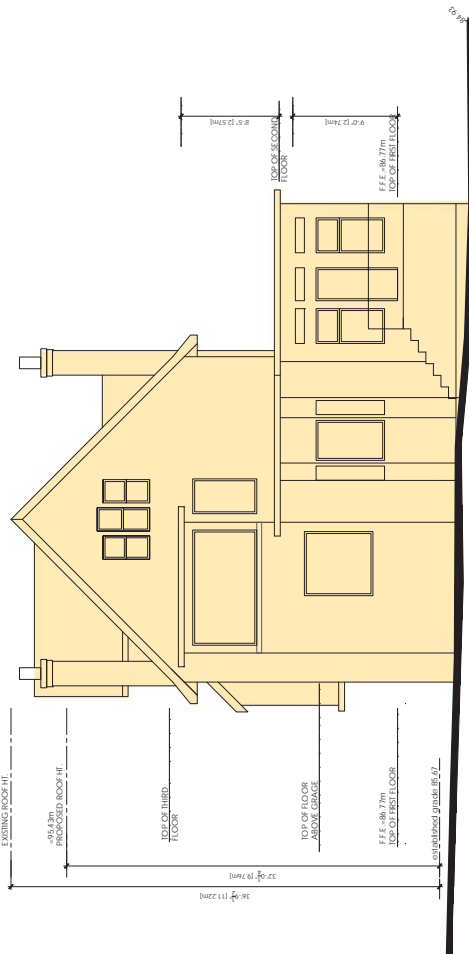
DATE

FEB 0 2026

SCALE

NOTED

A202



EXISTING WEST ELEVATION (REAR)

3/32"=1'-0" (1 : 150m)

2
A201



PROPOSED WEST ELEVATION (REAR)

3/32"=1'-0" (1 : 150m)

1
A201

DESIGNER:
JRCP
DESIGNS INC.
ARCHITECTURAL DESIGN CONSULTANT
6100R STREET, MISSISSAUGA, ONTARIO
(416) 655-0245
email: jr@jrcpd.com

PROJECT NAME AND ADDRESS:

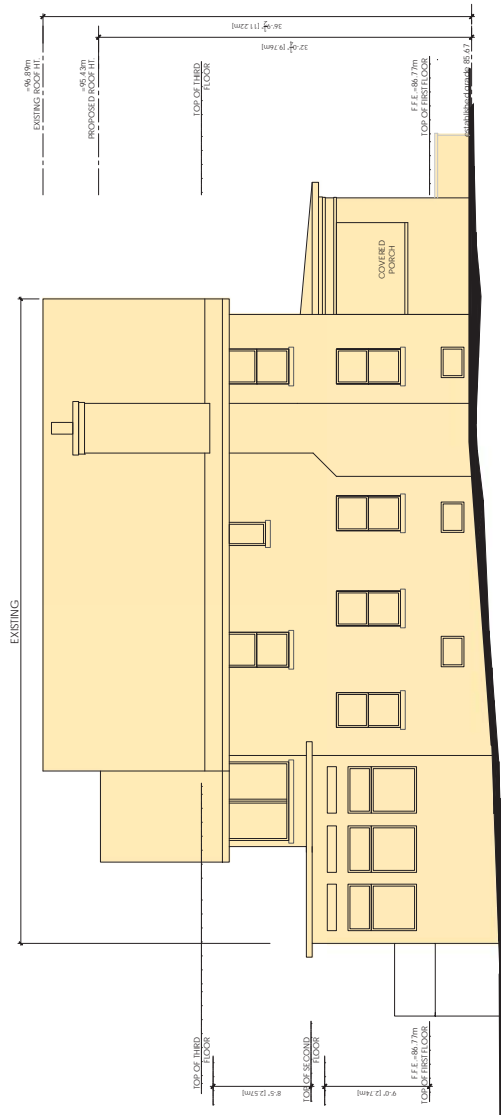
**PROPOSED
RESIDENCE AT
80 SECOND ST.
OAKVILLE, ON**

DRAWINGS TITLE
EAST ELEVATION

SHEET NO.
A201

DATE
FEB 0 2026

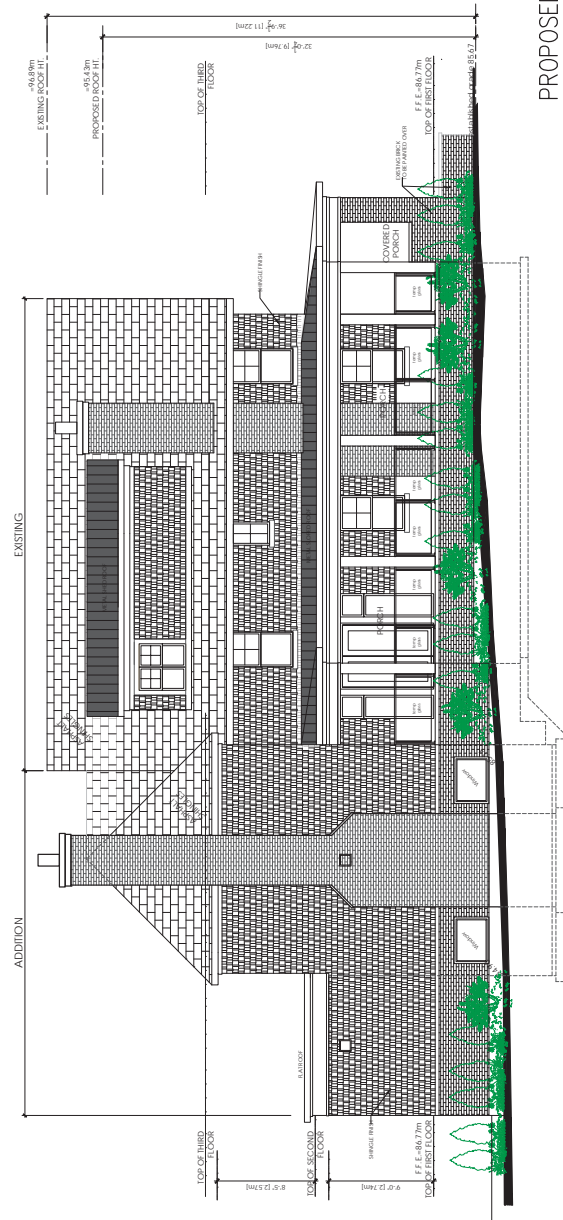
SCALE
NOTED



EXISTING SOUTH ELEVATION

3/32"=1'-0" (1 : 150m)

2
A203



PROPOSED SOUTH ELEVATION

3/32"=1'-0" (1 : 150m)

1
A203

DESIGNER:
JRCP
DESIGNS INC.
ARCHITECTURAL DESIGN CONSULTANT
6000 STREET, MISSISSAUGA, ONTARIO
(416) 655-0245
www.jrcpdesigns.com

PROJECT NAME AND ADDRESS:
PROPOSED
RESIDENCE AT
80 SECOND ST.
OAKVILLE, ON

DRAWINGS TITLE:
SOUTH ELEVATION
SHEET NO.:
A203
DATE: FEB 0 2024
SCALE:
NOTED:

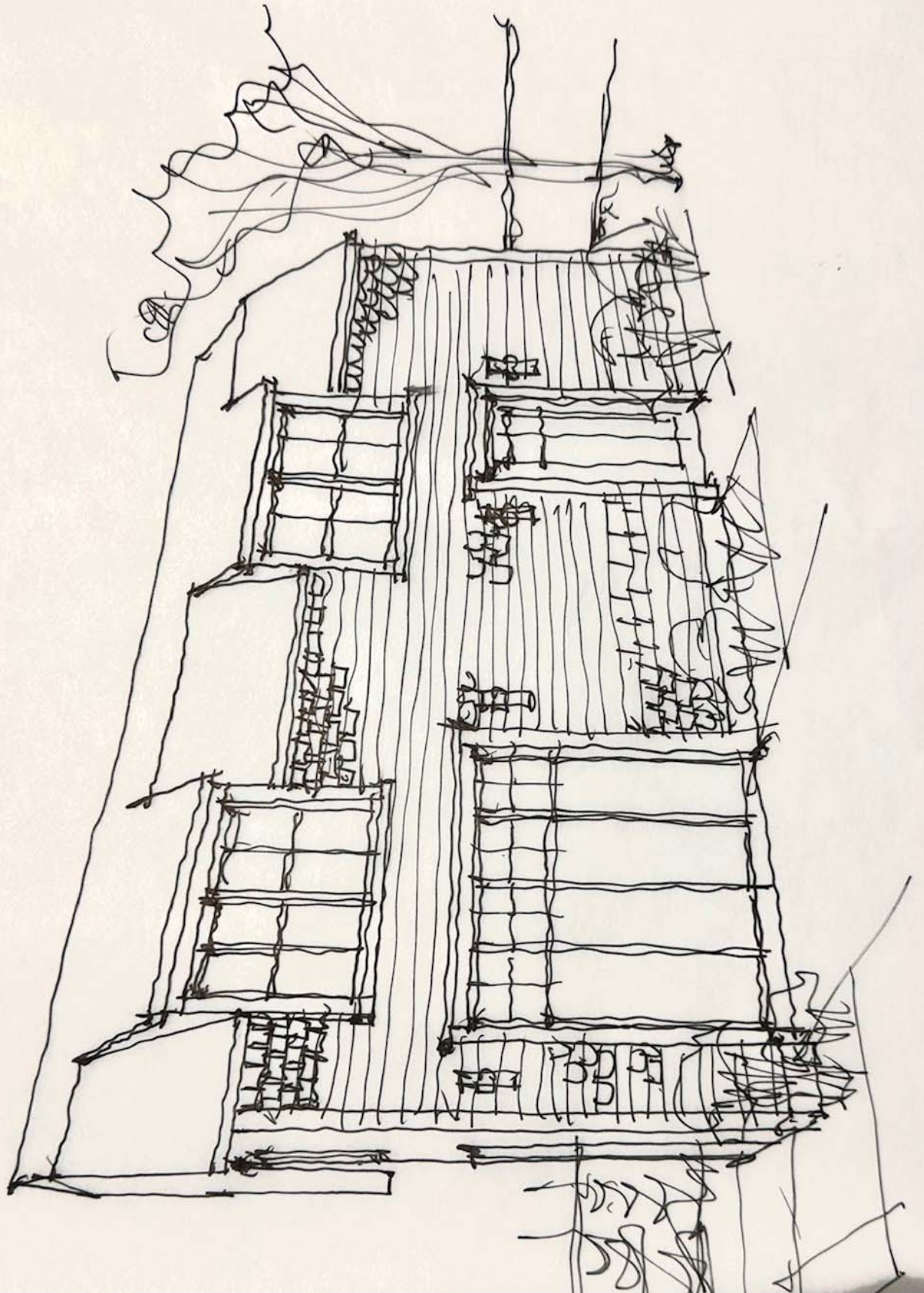


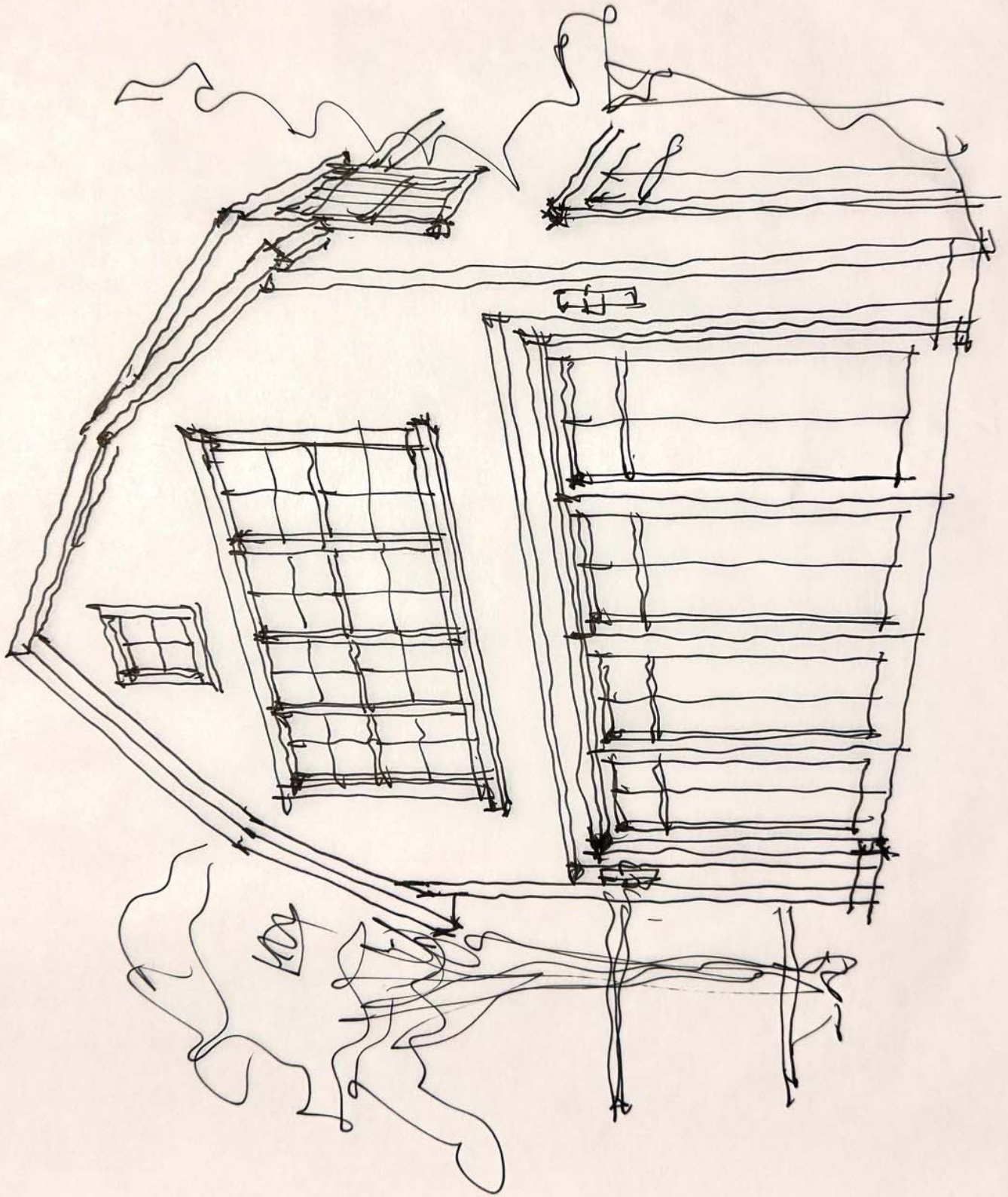














REPORT

Heritage Oakville Advisory Committee

Meeting Date: April 28, 2026

FROM: Planning and Development Department

DATE: April 14, 2026

SUBJECT: Heritage Permit Application HP008/26-42.20C – 2366 Carrington Place – Replacement of exterior siding

LOCATION: 2366 Carrington Place

WARD: Ward 3 Page 1

RECOMMENDATION

1. That Heritage Permit Application HP008/26-42.20C for the replacement of exterior siding at 2366 Carrington Place, as attached in Appendix B to the report, dated April 14, 2026 from Planning and Development, be approved.
2. That this heritage permit expire two years from the date of final approval by Council.

KEY FACTS

The following are key points for consideration with respect to this report:

- The property is designated under Part IV of the *Ontario Heritage Act* by By-law 2024-107.
- The owners are proposing to replace the exterior cedar siding, which is a designated heritage attribute.
- Staff recommends that the application be approved.

BACKGROUND

A heritage permit application has been submitted by the owner of 2366 Carrington Place to undertake the following alterations: Replace the existing vertical cedar siding with new vertical cedar siding.

The property at 2366 Carrington Place is located on the south side of Carrington Place on the shore of Lake Ontario in southeast Oakville. See Appendix A for the Location Map. The property is designated under Part IV of the *Ontario Heritage Act* by By-law 2024-107. The property is designated for its circa 1974 wood-clad, flat-roofed house built in the Modern style and designed by architect Joseph Storey. See Appendix B for the designation by-law.

The original application was submitted on April 1, 2026. See Appendix C for the application form, photos, and details of the proposed work. In accordance with the *Ontario Heritage Act*, the 90-day deadline for Council to decide on the application is June 30, 2026.

COMMENTS

Proposal

The subject house is clad in natural stone and vertical cedar siding. The siding is a heritage attribute in the designation by-law and therefore a major heritage permit is required for its replacement. The existing material appears to be original, but some boards may have been replaced at some point. The current siding was left untreated, allowing the wood to turn silver. There are some areas below overhangs where the cedar has been protected from the elements and retains some of its original orange tones.

The owners are proposing to replace all the existing exterior siding because of moisture issues due to the incorrect installation of the existing air barrier over the strapping. This has led to differential expansion, distortion, and the presence of rot and mold. The application proposes to install a new air barrier with a continuous rain screen cavity for drainage and ventilation. On top of that, the new siding will be vertical western red cedar siding to match the existing material.

The owners are proposing to seal the siding with an oil-based sealer to help protect the wood. This will change the appearance of the house, as the natural orange-toned colour of the cedar will be retained, rather than fade over time.

Heritage Assessment

While the heritage siding is a designated heritage attribute, the physical material has reached its end of life and its installation has contributed to moisture issues that threaten the condition of the rest of the house. Replacement of the siding with new cedar siding is supported as it extends the life of the house and the style and materials will remain the same.

Staff appreciates that the existing siding has been left untreated with a natural silver colour, but original drawings do not clarify whether the original intent of the design was to treat the wood or not. Additionally, the natural fading of the existing wood has created an inconsistent and unrefined look throughout the house, with some protected areas only partially faded and other areas suffering from visible water damage. Given the Modern design of the house, a more consistent and refined look of treated cedar will help retain the building's overall aesthetic and better protect the building into the future.

CONSIDERATIONS

(A) PUBLIC

There is no public notification required.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

There is no impact on other departments and users.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability, and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing greenhouse gas emissions. The approval of the subject heritage permit supports the town's climate initiatives through the retention of the house on the property.

CONCLUSION

Staff recommends that this heritage permit application be approved subject to the condition in the recommendation. The works proposed are subject to other

applicable town regulations and requirements, such as Development Engineering Permits and Building Permits. It is the applicant's responsibility to review these matters with staff.

APPENDICES

Appendix A – Location Map

Appendix B – Designation By-law 2024-107

Appendix C – Heritage Permit Application

Prepared by:

Carolyn Van Sligtenhorst, MCIP, RPP, CAHP
Heritage Planner

Recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning and Development

APPENDIX A



0 20 40 80
Meters

2366 Carrington Place

LOCATION



SUBJECT LANDS

Community Development Commission



OAKVILLE

THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-107

A by-law to designate the property at 2366 Carrington Place as a property of cultural heritage value or interest.

WHEREAS pursuant to Section 29, Part IV of the *Ontario Heritage Act*, R.S.O. 1990, chapter O.18, the council of a municipality is authorized to enact by-laws to designate a real property, including all buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the property described in Schedule A to this By-law (“the Property”) contains a cultural heritage resource, a 1974 Modern style house;

WHEREAS the council of the Corporation of the Town of Oakville, by resolution passed on March 4, 2024, has caused to be served on the owner of the lands and premises at 2366 Carrington Place, Oakville, ON and upon the Ontario Heritage Trust, notice of intention to designate the property at 2366 Carrington Place as a property of cultural heritage value or interest, and further, has caused the notice of intention to be published on the town’s website in accordance with the town’s *Ontario Heritage Act* Alternative Notice Policy;

WHEREAS a notice of objection to the proposed designation was served on the municipality by April 5, 2024, being the last date for filing an objection;

WHEREAS the Town Council considered the notice of objection and made the decision not to withdraw the notice of intention to designate within the timeline set out in the *Ontario Heritage Act* and passed this Designation By-law 2024-107 for the Property;

AND WHEREAS the Town Council has described the Property, set out the statement of cultural heritage value or interest for the Property, and described the heritage attributes of the Property in Schedule “B” to this By-law, which forms part of this By-law;

COUNCIL ENACTS AS FOLLOWS:

1. That the real property legally described in Schedule “A” to this By-law, is hereby designated to be of cultural heritage value or interest under Section 29 of the *Ontario Heritage Act*.
2. That the attached Schedules form part of the By-law.

3. And that the Town Solicitor be authorized to cause a copy of this by-law to be registered against the property described in Schedule "A" at the Land Registry Office.

PASSED this 24th day of June, 2024

Rob Burton

Mayor

Andrea Holland Acting Town Clerk

SCHEDULE "A" TO
BY-LAW 2024-107

In the Town of Oakville in the Regional Municipality of Halton, property description as follows:

2366 Carrington Place
LT 36, PL 1522; TOWN OF OAKVILLE
PIN: 24783-0109

SCHEDULE “B” TO
BY-LAW 2024-107

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

Description of Property

The property at 2366 Carrington Place is located on the south side of Carrington Place, south of Lakeshore Road East. The property contains a 1974 Modern style house.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The subject house is a representative example of Modern residential architecture and is a rare example in Oakville as one of the few from this design and period. It is representative of the style and philosophy of Modern architectural design through many of its built elements such as its: flat roof; asymmetrical façade; use of various cladding materials on the exterior and interior such as glass, stone, and wood; split-level design; use of large glass window walls for an indoor-outdoor living space; open floor plan; minimal decoration; strong use of horizontal lines; and the integration of the landscape into the design. The house displays a high degree of craftsmanship, designed thoughtfully by renowned architect Joseph Storey, and the house displays thoughtful details about how the house integrates with the views of Lake Ontario and the use of the same materials inside and outside.

Historical and Associative Value

The subject house demonstrates and reflects the work of architect Joseph Storey, a significant Modern architect in Ontario whose work has been recognized across Canada and internationally. Storey is thought to be the architect who brought progressive, minimalist, Modern design to southwestern Ontario. His public buildings are recognizable across the southern part of the province, particularly in Chatham-Kent. Joseph Storey’s architectural firm designed over 1,000 buildings over its 30 years, many of which are still architecturally significant. The subject house is a rare Storey design; it is the largest home he ever designed, the last residence he designed, and the only one in the Greater Toronto Area.

Key heritage attributes of the property at 2366 Carrington Place that exemplify its cultural heritage value as a representative example of a Modern home, as they relate to the one-storey house with walkout basement, include:

- The low, horizontal massing and asymmetrical form of the house with flat roof and deep overhangs at the rear on both the first and second storeys;

- Horizontally-laid stone cladding;
- Vertical wooden cladding; and
- Fenestration of the windows and doors.

HERITAGE PERMIT

Application Form

Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.

Policy Planning & Heritage
Planning and Development Department
Town of Oakville

A – Property and Applicant Information

Property Address: 2366 Carrington Place, Oakville, Ontario

Owner Contact Information:



Agent Contact Information (if applicable):

Name: Patrick Mella

Company Name: Williamson Williamson Inc.

Address & Postal Code: 400 - 235 Carlaw Avenue, Toronto, ON M4M 2S1

Phone: (416) 703-9271 x 209

E-mail: patrick@wwinc.ca

B – Heritage Permit Application Summary

Alterations to Building New Construction Landscaping Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. Full replacement of existing cedar siding with new

2.

3.

4.

5.

6.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

The existing building air barrier was installed incorrectly over the strapping, trapping moisture against the back side of the vertical siding, leading to differential expansion, distortion and the presence of rot and mold. Replacement strategy to include installation of new air barrier over existing exterior sheathing, followed by continuous rain screen cavity for drainage and ventilation.

New siding will follow the guidelines associated with the heritage designated attributes as follows:
"Exterior natural, unstained vertical wood cladding"

New siding description as follows:

- Clear vertical grain Western Red Cedar
- Long planks to accommodate entire height of second floor
- Kiln dried (less than 15% moisture)
- Smooth-planed factory surface must be lightly sanded (60-80 Grit) to remove mill glaze, dirt, grime and mildew which will allow the surface to thoroughly absorb the oil based sealer
- Sealer - By owner

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

- | | | |
|-------------------------|------------------------------|--|
| Building Permit | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Minor Variance * | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Plan | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Alteration | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Sign Permit | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Tree Removals | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |

*Prior to submission of your heritage permit application, any relevant minor variance application must have been submitted and confirmed on a Committee of Adjustment meeting agenda. The Committee of Adjustment must make a decision on the variance(s) before the heritage permit will be considered by the Heritage Oakville Advisory Committee.

If Yes, please describe the application for all required approvals listed above:

E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	New	Western Red Cedar Siding	Clear, Vertical Grain	Long planks to accommodate second floor height. Kiln dried (>15% moisture). Smooth-planed factory surface, lightly sanded.
Roof				
Foundation Walls				
Trim				
Doors				
Windows				
Porch				
Fencing				
Landscaping				
Other				

Memorandum

Date: March 26, 2026

Project: Storey House

Proj. No: 2450

Location: 2366 Carrington Place

By: Byron White

Re: Siding Replacement

Based on a site investigation conducted by Rothcon, WW recommends full replacement of the existing cedar siding for the following reasons:

- The existing building air barrier was installed incorrectly over the strapping, trapping moisture against the back side of the vertical siding. This condition has resulted in differential expansion, distortion, and the presence of rot and mold.

The replacement strategy should include the installation of a new air barrier (Tygar House Wrap or approved equal) in accordance with the manufacturer's recommendations. The air barrier is to be installed directly over the existing exterior sheathing, followed by vertical strapping and horizontal strapping to provide a continuous rainscreen cavity and allow for free drainage and ventilation. The flashing around the house will need to be replaced to accommodate the increased wall thickness.

New siding requirements:

- CLEAR VERTICAL GRAIN RED WESTERN CEDAR
- LONG PLANKS TO ACCOMMODATE THE ENTIRE HEIGHT OF THE SECOND FLOOR
- KILN DRIED (LESS THAN 15% MOISTURE)
- SMOOTH-PLANED FACTORY SURFACE MUST BE LIGHTLY SANDED (60-80 GRIT) TO REMOVE MILL GLAZE, DIRT, GRIME AND MILDEW WHICH WILL ALLOW THE SURFACE TO THOROUGHLY ABSORB THE OIL BASED SEALER.
- SEALER – BY OWNER

Provide Samples for Approval

Please note that full siding replacement will require Heritage approval and sign-off.

Byron White, Williamson Williamson Inc.

Name and title of person signing



signature

March 26, 2026

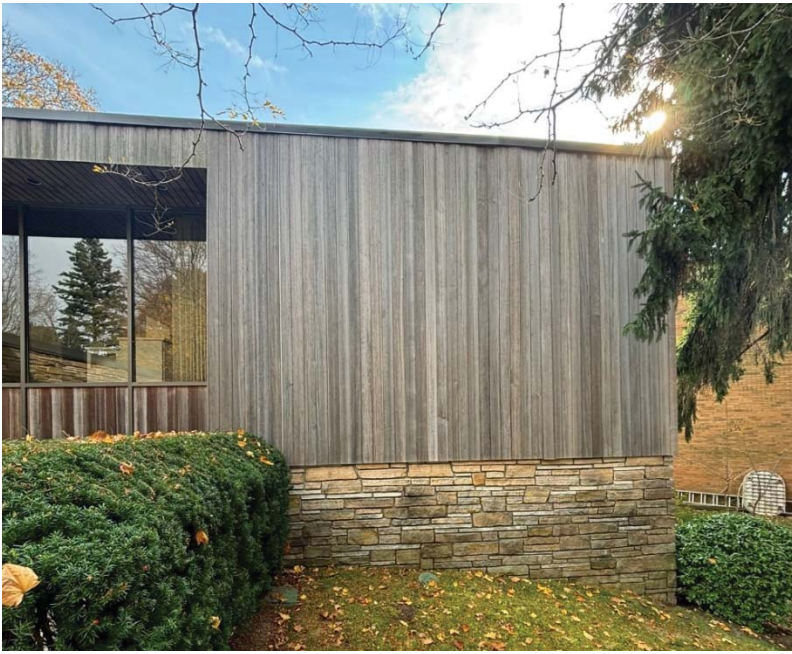
date

Williamson Williamson Inc.

400-235 Carlaw Avenue Toronto, Ontario Canada M4M 2S1

(416) 703-9271 info@wwinc.ca www.wwinc.ca

Existing Siding



Proposed Siding





REPORT

Heritage Oakville Advisory Committee

Meeting Date: April 28, 2026

FROM: Planning and Development Department

DATE: April 14, 2026

SUBJECT: 2026 Heritage Grant Program Recommendations

LOCATION: Town-wide

WARD: Town-wide

Page 1

RECOMMENDATION

That 'Appendix A – Grant Projects and Amounts' attached to the report titled '2026 Heritage Grant Program Recommendations' be endorsed.

KEY FACTS

The following are key points for consideration with respect to this report:

- The Heritage Grant Program is an annual program with \$180,000 available.
- An additional \$10,175 is available this year from unused grants from 2021.
- 28 project applications were received requesting over \$252,000 for conservation work on designated heritage properties.
- The Heritage Grant Evaluation Working Group met on Tuesday, March 31, 2026, to discuss the applications and to allot the available funds. Appendix A contains the recommendations for projects and funding amounts. All 28 applications are recommended to receive funding.
- Including this year, the Heritage Grant Program will have provided over \$1,434,000 to assist with more than 315 restoration and conservation projects worth over \$7.9 million.

BACKGROUND

This is the 13th year of the Heritage Grant Program. Council approved the program on an annual basis on May 16, 2016, following the successful completion of a three-year pilot program.

The grant program helps to offset the costs to heritage property owners for work done on their properties that meets heritage conservation standards. The program is open to owners of property designated under Part IV or Part V of the *Ontario Heritage Act* (OHA) or property with a heritage conservation easement agreement under section 37 of the OHA.

The program has criteria for eligible grant projects, and also lists types of projects that are not eligible to receive funding. Grants can be applied for as matching funding up to a maximum contribution of \$15,000.

The Town of Oakville’s annual budget currently provides \$180,000 in funding each year for the program. Annually, there may be additional funds from unused grants, developer contributions or heritage fees.

The following chart provides Heritage Grant Program statistics to date:

Program Year	Number of Projects	Requested Funding	Funding Available	Value of Projects
2014 (pilot)	28	\$235,000	\$80,000	\$500,000
2015 (pilot)	26	\$172,000	\$80,000	\$466,000
2016 (pilot)	23	\$138,000	\$80,000	\$370,000
2017	25	\$181,000	\$90,000	\$402,000
2018	19	\$164,000	\$90,000 + \$5,000	\$478,000
2019	51	\$379,000	\$90,000 + \$25,175	\$1,000,000
2020	25	\$207,000	\$90,000	\$510,000
2021	39	\$253,000	\$90,000 + \$53,275	\$740,000
2022	32	\$244,000	\$120,000 + \$26,834	\$827,000
2023	55	\$485,000	\$120,000 + \$17,965	\$2.1 million
2024	42	\$287,000	\$120,000 + \$35,340	\$717,000
2025	38	\$286,798	\$180,000 + \$24,200	\$1 million
2026	28	\$252,000	\$180,000 + \$10,175	\$795,000

COMMENTS

2026 Heritage Grant Program Recommendations

Staff received over 45 inquiries about the program and 28 applications requesting over \$252,000 in grant funding.

The 2026 program was launched in January 2026, and applications were received until March 16, 2026. The combined value of the applications is approximately \$795,000.

As approved in the staff report 'Heritage Grant Working Group 2026', dated March 11, 2026, five members of the Heritage Oakville Advisory Committee formed a working group to evaluate the applications. They met on Tuesday, March 31, 2026, to review all 28 applications and divide up the \$190,175 available funds (\$180,000 from the budget, \$10,175 from unused 2021 grants). Despite the budget increase and additional funds, grant requests exceeded the available funding.

As many applications are for similar projects (i.e. painting woodwork, masonry repairs, window restorations), the working group divided the funds to be as consistent and fair as possible. For example, similar projects should receive a similar percentage of their requested grant.

Highlights of the grant requests for 2026 include:

- Cemetery monument restoration at Knox Presbyterian Church Sixteen.
- Necessary structural repairs, including beams and foundations, to several historic residences.
- Masonry repairs to the brick walls at St. John's United Church.
- Restoration works on three newly designated properties.

Each project has been provided with a maximum grant amount, meaning that the property owner will be eligible to receive 50% of the cost of the work, up to the maximum amount. In the case that a project comes in under the anticipated cost, the property owner will receive 50% of the cost. Unused funds are rolled into future grant years.

Following Council's decision on the matter, applicants will be notified of their funding.

As outlined in the Heritage Grant Program Procedures, grants are paid when the project is completed. Recipients contact heritage planning staff to schedule an inspection or send photos of the completed work, along with their invoice for the project.

Additional Funds

Occasionally, additional funds are available, in addition to the budgeted funding. Funds can come from developer contributions, various heritage fees or fines, and unused grants. The unused grants are typically from properties that have had their projects come in under budget or where restoration priorities have shifted. This year, additional funds came from unused grants from the 2021 program.

CONSIDERATIONS

(A) PUBLIC

Applicants to the Heritage Grant Program will be notified of the approval of their application and the grant amount following Council approval.

(B) FINANCIAL

Funding for the Heritage Grant Program was approved through the town's annual budget process.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

Heritage Planning staff will continue to work with staff from the Finance Department to award heritage grants following the completion of approved projects.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priority of Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing carbon footprints. The Heritage Grant Program encourages the restoration of historic building materials, which diverts waste from landfills. The greenest building is the one that already exists, and the Heritage Grant Program helps owners of designated properties maintain their buildings.

CONCLUSION and NEXT STEPS

The Heritage Grant Program provides tangible support for property owners who have committed to the conservation of Oakville's cultural heritage. This support is valued and appreciated by the stewards of our local history and is an incentive for new designations as well.

Staff considers the 12th year of the Heritage Grant Program a success and look forward to the improvements that will be made to Oakville's heritage properties because of this important program.

APPENDICES

Appendix A – Recommended Grant Amounts 2026

Prepared and recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning and Development

Heritage Grant Applications 2026				
Property Address	Designation By-law/District	Summary of Proposed Works	Requested	Recommended
70 Allan St	Trafalgar Road	Exterior painting	12712	8500
70 Allan St	Trafalgar Road	Wood repairs	3192	2200
151 Allan St	Trafalgar Road	Structural repairs	15000	13500
159 Church St	Part IV/ Downtown	Exterior painting and masonry repairs	15000	10000
181 Church St	Part IV/Downtown	Replacement of non-historic front window	7448	5000
359 Douglas Ave	Part IV	Painting of front porch	1323	900
5 Dundas St E	Part IV	Masonry repairs	3664	2900
1150 Dundas St W	Part IV	Cemetery monument restoration.	3107	2000
30 Dunn St	Old Oakville	Exterior painting	5565	3700
89 Dunn St	Part IV	Stained and leaded glass window restoration	14105	11000
515 Esplanade	Part IV	Exterior painting	15000	10000
97 Forsythe St	Part IV	Replacement of cedar shakes, structural repair	15000	12000
209 Lakeshore Rd E	Downtown	Removal of stucco, restoration of brick	15000	12000
216 Lakeshore Rd E	Part IV/Downtown	Exterior painting of woodwork and trim	7910	5500
64 Navy St	Old Oakville	Structural support and foundation work	15000	13500
262 Randall St	Part IV	Masonry repairs	9994	7500
35 Second St	First and Second St	Foundation repairs	9989	7500
69 Second St	First and Second St	Window restoration	9080	6300
399 Spruce St	Part IV	Foundation repairs	15000	12000
18 Thomas St	Old Oakville	Exterior painting	2599	1800
20 Thomas St	Old Oakville	Exterior painting	2599	1800
24 Thomas St	Old Oakville	Window pane glass replacement	596	455
26 Thomas St	Old Oakville	Window replacement	7633	5300
29 Thomas St	Old Oakville	Cedar roof replacement	10837	8500
323 Trafalgar Rd	Trafalgar Road	Landscaping work	1369	820
225 William St	Old Oakville	Exterior painting	15000	10500
296 William St	Old Oakville	New wood storm windows	14860	11600
297 William St	Old Oakville	Stucco repairs	4327	3400
			252909	190175

Memo

To: Heritage Oakville Advisory Committee
From: Kristen McLaughlin, Heritage Planner
Date: April 7, 2026
Subject: Delegated Heritage Permits, January 1 to March 31, 2026

The following heritage permits were issued by Heritage Planning staff from January to March, 2026 in accordance with Heritage Delegation By-law 2022-021:

HP002/26-42.20R – 250 Reynolds Street
Revisions to existing Heritage Permit HP024/25-42.20R to include additional windows on the south elevation of the historic residence.

HP007/26-42.20C – 159 Church Street
Tree removals from rear yard.

HP006/26-42.20L – 258 Lakeshore Road West
Removal and replacement of culvert in St. Jude's Cemetery.