

AGENDA

Date: May 27, 2025
Time: 9:30 am
Location: Council Chamber

Town Hall is open to the public and live streaming video is available on <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/live-stream> or at the town's YouTube channel at <https://www.youtube.com/user/TownofOakvilleTV>. Information regarding written submissions and requests to delegate can be found at <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/delegations-presentations>.

	Pages
1. Regrets	
2. Declarations of Pecuniary Interest	
3. Confirmation of Minutes of Previous Meeting(s)	
3.1 Minutes April 22, 2025	3 - 5
Recommendation: That the minutes of the Heritage Oakville Advisory Committee meeting of April 22, be approved.	
4. Discussion Item(s)	
4.1 Heritage Permit Application HP012/25-42.20A – Construction of a new house at 81 Allan Street	6 - 37
Recommendation:	
1. That Heritage Permit Application HP024/24-42.20A for the construction of a new house at 81 Allan Street, as approved by Planning and Development Council on November 25, 2024, be amended to replace the November design of the house with the design attached in Appendix C to the report dated May 13, 2025 from Planning and Development; and	
2. That the condition in Heritage Permit Application HP024/24-42.20A, approved on November 25, 2024, remain in effect.	

5. Information Item(s)

None.

6. Date and Time of Next Meeting

June 24, 2025

Oakville Municipal Building

Council Chamber - 9:30 a.m.

7. Adjournment

Heritage Oakville Advisory Committee

MINUTES

Date: April 22, 2025
Time: 9:30 am
Location: Council Chamber

Members: Drew Bucknall, Chair
Gerarda (Geri) Tino, Vice-Chair
Councillor Gittings
Councillor McNeice
Russell Buckland
George Gordon
Susan Hobson
Jason Judson
Bob Laughlin
Emma Dowling

Regrets: Kerry Colborne

Staff: G. Charles, Director of Planning Services
K. Biggar, Manager of Policy Planning and Heritage
C. Van Sligtenhorst, Heritage Planner
K. McLaughlin, Heritage Planner
A. Holland, Manager of Council and Committee Services
J. Radomirovic, Council and Committee Coordinator
L. Harris, Council and Committee Coordinator

A meeting of the Heritage Oakville Advisory Committee was held on April 22, 2025, in the Council Chamber of the Oakville Municipal Building, commencing at 9:30 a.m.

These minutes will go forward to the Planning and Development Council meeting of May 20, 2025 for approval. Please view those minutes to note any changes Council may have made.

1. Regrets

As noted above.

2. Declarations of Pecuniary Interest

No declarations of pecuniary interest were declared.

3. Confirmation of Minutes of Previous Meeting

3.1 Minutes March 25, 2025

Moved by Bob Laughlin

That the minutes from the Heritage Oakville Advisory Committee meeting of March 25, 2025 be approved.

CARRIED

4. Discussion Items

4.1 2025 Heritage Grant Program Recommendations

Moved by Councillor McNeice

That 'Appendix A – Projects and Funding' attached to the report titled '2025 Heritage Grant Program Recommendations - April 10, 2025', be endorsed.

CARRIED

4.2 Heritage Permit Application HP012/25-42.20A – New residence – 81 Allan Street

The following delegates spoke on this item:

Rick Mateljan, SMDA Design Ltd.

Liam Rondeau, OLRA

Moved by Councillor Gittings

That the report dated April 8, 2025 from Planning and Development Services regarding the amendment of Heritage Permit Application HP024/24-42.20A, 81 Allan Street, be referred to staff for further consultation with the applicant to refine the design and that staff report back to the Committee at its May 27, 2025 meeting.

CARRIED

5. Information Items

5.1 Old Oakville Heritage Conservation District Plan and Guidelines

5.2 Residential Zoning By-law Review - Heritage Districts

Moved by Susan Hobson

That the information items be received.

CARRIED

6. Date and Time of Next Meeting

May 27, 2025

Oakville Municipal Building

Council Chamber - 9:30 a.m.

7. Adjournment

The meeting adjourned at 10:13

REPORT

Heritage Oakville Advisory Committee

Meeting Date: May 27, 2025

FROM: Planning and Development Department

DATE: May 13, 2025

SUBJECT: Heritage Permit Application HP012/25-42.20A – Construction of a new house at 81 Allan Street

LOCATION: 81 Allan Street

WARD: Ward 3

Page 1

RECOMMENDATION

1. That Heritage Permit Application HP024/24-42.20A for the construction of a new house at 81 Allan Street, as approved by Planning and Development Council on November 25, 2024, be amended to replace the November design of the house with the design attached in Appendix C to the report dated May 13, 2025 from Planning and Development; and
2. That the condition in Heritage Permit Application HP024/24-42.20A, approved on November 25, 2024, remain in effect.

KEY FACTS

The following are key points for consideration with respect to this report:

- The property is designated under Part V of the *Ontario Heritage Act* as part of the First and Second Street Heritage Conservation District.
- A heritage permit application was approved in November 2024 to demolish the non-contributing house on the property and construct a new house. The owner received a building permit and demolished the house as approved.
- In March 2025, the owner submitted a heritage permit application to amend the 2024 heritage permit to change the design of the new house. This application was reviewed by the Heritage Oakville Advisory Committee at its

meeting of April 22, 2025. The Committee requested additional revisions to the design and referred the application back to staff.

- Staff have worked with the applicant to revise the new design to address the concerns of the Committee. Staff are now recommending that the subject application to amend the 2024 heritage permit be approved.

BACKGROUND

The property at 81 Allan Street is located on the east side of Allan Street near its intersection with Robinson Street. A location map is attached as Appendix A. The property is vacant but previously contained a one-storey red brick 1950s house that was demolished in December 2024.

The property is designated under Part V of the *Ontario Heritage Act* as part of the First and Second Street Heritage Conservation District (the District) and is identified as a non-historic, non-contributing property.

[Heritage Permit Application HP024/24-42.20A](#) for the demolition of the 1950s house and construction of a new house was approved by Planning and Development Council on November 25, 2024. A building permit for both the demolition of the 1950s house and construction of the new house was issued and the 1950s house was demolished.

In March 2025, the property owner submitted a heritage permit application to amend the 2024 heritage permit to change the design of the new house. The footprint of the 2025 design remained the same as the 2024 design, but the appearance of the house was very different such that it required a new review by the Heritage Oakville Advisory Committee and a further approval by Council.

This application was reviewed by the Committee at its [meeting of April 22, 2025](#). The Committee requested additional revisions to the front façade, specifically the design of the windows, and referred the application back to staff. Staff has worked with the applicant to revise the design of the front façade to address the concerns of the Committee as described later in this report.

The drawings presented to the Committee in April 2025 are attached as Appendix B, along with a rendering of the 2024 design for comparison. The current drawings developed in May 2025 in response to the Committee's comments in April are attached as Appendix C.

As the property is located within the District, the District Plan for the HCD is applicable. Relevant excerpts from the District Plan are attached as Appendix D.

The application to amend HP024/24-42.20A was deemed complete on March 26, 2025. In accordance with the *Ontario Heritage Act*, the 90-day deadline for Council to make a decision on the application is June 24, 2025.

COMMENTS

April 2025 Design

The April 2025 design was more traditional than the November 2024 design, taking inspiration from Georgian architecture. As noted earlier, the April design used the same building footprint as the November design and scale, height and massing were similar.

The house proposed in April was two-and-a-half storeys with a hipped roof flanked by gabled wall dormers at each end of the building. The front elevation was loosely symmetrical with three bays. The gabled wall dormers projected the full height of the house and slightly forward from the central bay. The proposed materials were more traditional than the November design, with a low stone foundation and red brick exterior walls. Trim, windows and doors were wood, stained dark grey.

On the front elevation, the central bay had a more contemporary design, with a shed roof on its two-storey projection and banks of casement windows. The entrance was slightly recessed and off-centre, with sidelights and transom over the front door. Each projecting gabled wall had three six-pane casement windows on the second storey and a pair of French doors on the first storey.

The District Plan for the First and Second Street HCD (District Plan) is the primary policy document used by Heritage Planning staff to evaluate a new house proposed on the subject property (attached as Appendix D). Staff also reviews this type of application with consideration of the Town's Livable Oakville Plan and its cultural heritage policies, which support the conservation and enhancement of the Town's heritage conservation districts.

The April design was considered by staff to meet the guidelines of the District Plan. The design was influenced by Georgian architectural details of other properties on Allan Street and within the First and Second Street HCD but was not a replica of a period property. Contemporary design elements in the central bay created a design that was compatible with and sympathetic to nearby historic buildings.

The proposed location of the house was considered appropriate as it matched the previously approved November design. The scale and massing were in keeping with the character of the District. Materials met the requirements of the District Plan, which recommends the use of red brick cladding and wood windows. The amount of

glazing on the front elevation was 30%, which is within the permitted glazing proportions.

At the April 22, 2025 meeting, the Heritage Oakville Advisory Committee raised concerns with the amount of glazing on the front elevation of the house and the ‘institutional’ look that it created. The Committee referred the design back to staff to work with the applicant to revise the design to address these concerns.

May 2025 Design

The new May 2025 design maintains the overall footprint, height, scale, massing and materials of the April design. The bulk of the changes has been made to the front elevation to address the Committee’s concerns. Three minor changes have also been made to the remaining elevations. All changes are described below:

- West (front) elevation
 - The central shed dormer has been lowered in height
 - The eaves of the central roofline have been lowered in height
 - The large area of glazing and panels has been broken down into three sets of windows with red brick cladding between
 - The recessed porch has been lowered in height
 - The side window in the recessed porch (to the left of the front door) has been enlarged to the floor to match the height of the front door
- South elevation
 - The side door has been moved slightly to the west
- East elevation
 - Two small windows have been removed
- North elevation
 - One small window has been removed

The changes to the front elevation have significantly reduced the amount of glazing on the front elevation and reduced the overall percentage of glazing from 30% to 24.3%. The new proposed window design is traditional with groups of two and three vertically-proportioned windows that fit in with the rest of the house and with the overall character of the heritage conservation district. The more contemporary and ‘institutional’ look of the April design has been replaced with a more traditional residential layout.

Overall, the proposed design will fit into the streetscape of Allan Street without detracting from the heritage value of nearby historic buildings. The new design is sympathetic and compatible and appropriate for a non-contributing property in the First and Second Street Heritage Conservation District.

CONCLUSION

The new design attached in Appendix C will replace the approved design from November 2024 as an amendment to heritage permit application HP024/24-42.20A. Staff recommends that this heritage permit application be approved subject to the condition in the recommendation.

The condition requires that the previous condition from the November 2024 heritage permit remain in effect which is: *That final details on the windows, doors, trim, cladding materials and paint colours be submitted to Heritage Planning staff for final approval.*

The works proposed are subject to other applicable Town regulations and requirements, such as site alteration permits and building permits. It is the applicant's responsibility to review these matters with applicable staff.

CONSIDERATIONS

(A) PUBLIC

There is no public notification required.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

There is no impact on other departments and users.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability, and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing greenhouse gas emissions. The approval of the subject heritage permit supports the Town's climate initiatives.

APPENDICES

Appendix A – Location map

Appendix B – Heritage permit application with April 2025 drawings

Appendix C – May 2025 drawings

Appendix D – Excerpts from HCD Plan and Guidelines

Prepared by:
Carolyn Van Sligtenhorst, MCIP, RPP, CAHP
Heritage Planner

Recommended by:
Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:
Gabe Charles, MCIP, RPP
Director, Planning and Development



0 45 90 180
Meters

81 ALLAN ST

LOCATION



SUBJECT LANDS

Community Development Commission



APPENDIX B

COVER LETTER

April 2, 2025

Susan Schappert
Heritage Planner
Town of Oakville

**RE: New Single Family Residence with Accessory Dwelling Unit 81 Allan St., Oakville
HP024/24-42.20A**

The above heritage permit was acquired by a previous consultant (Narratif Design) working on this project. The property owner has asked our firm to take over this project and to apply for a revision to this permit. Please process the drawings that I have provided as a revision to the above permit, not a new application.

Best regards,

A handwritten signature in dark ink, appearing to read 'Rick Mateljan', with a horizontal line underneath.

Rick Mateljan CAHP

HERITAGE PERMIT

Application Form

Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.

Policy Planning & Heritage
Planning and Development Department
Town of Oakville

A – Property and Applicant Information

Property Address: 81 Allan St., Oakville

Agent Contact Information (if applicable):

Name: Rick Mateljan

Company Name: SMDA Design Ltd.

Address & Postal Code: 482 South Service Rd. E., suite 118, Oakville ON L6J 2X6

Phone: 416 315 4567

E-mail: rick.mateljan@smda.ca

B – Heritage Permit Application Summary

☐ Alterations to Building

☒ New Construction

☐ Landscaping

☐ Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. This is a proposed new home that received a permit in 2024 from Heritage Oakville. There was a different
2. Consultant on the file at that time. This application is to revise the building elevations from the 2024
3. approval. No changes to the site plan are proposed and the building footprint will continue to be as previously
4. approved. The nature of the proposed changes are to introduce a more traditional character to the building, to
5. establish a stone base with brick wall surfaces on all elevations as opposed to the mix of more contemporary
6. materials proposed earlier, and to introduce more traditional windows to the building.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

The proposal is designed to conform to the guidelines in section 4.3.3. of the First and Second Street Heritage Conservation District Plan (New Development in the HCD) and to be appropriate to the key site directly at the eastern terminus of Robinson St. The proposed design is similar in massing and detailing to other existing homes on the east side of Allan St., south of Lakeshore.

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

Building Permit	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Minor Variance *	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Site Plan	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Site Alteration	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Sign Permit	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Tree Removals	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

*Prior to submission of your heritage permit application, any relevant minor variance application must have been submitted and confirmed on a Committee of Adjustment meeting agenda. The Committee of Adjustment must make a decision on the variance(s) before the heritage permit will be considered by the Heritage Oakville Advisory Committee.

If Yes, please describe the application for all required approvals listed above:

A building permit has already been issued for the previously approved design on the site. This proposal will require a revision to that permit. Grading, tree protection and servicing permits are already in place and will not require revision by this application.

E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	New	Brick	traditional red	
Roof	New	Asphalt	mixed dark brown/dark gray/black	
Foundation Walls	New	Limestone, rough face	gray	
Trim	New	Wood	dark gray	
Doors	New	Wood	natural, stained dark	
Windows	New	Wood	dark gray to match trims	
Porch	N/A			
Fencing	N/A			
Landscaping	N/A			
Other				

F – Completed Submission

Before submitting this application, please check off the following applicable boxes to ensure that your application is complete:

- ☒ Pre-consultation meeting with staff has been completed
- ☒ Digital copies of all drawings have been submitted
- ☐ Digital copies of all photographs have been submitted
- ☐ Relevant minor variances have been submitted to the town and assigned to a Committee of Adjustment agenda (if applicable)

G – Declaration & Signature

I hereby declare that the statements made herein are, to the best of my belief and knowledge, a true and complete representation of the purpose and intent of this application. I have reviewed the submission requirements and understand that incomplete applications may not be accepted.

I also understand that the proposal must comply with all other applicable legislation and by-laws and that other approvals if required must be described clearly in Section D of this application form (ie. minor variance, site plan, building permit, sign permit, site alteration, tree permit).

I acknowledge that any change to the approved drawings, however small, may require an amendment to the permit and may require resubmission for approval. Failure to reveal these changes to Heritage Planning staff may result in work stoppage and charges and/or fines under the *Ontario Heritage Act*.

I acknowledge that Town of Oakville staff and members of the Heritage Oakville Advisory Committee may visit the property that is the subject of this application for the purpose of evaluating the merits of this application. Property entry will be organized with the applicant or agent prior to entry.

I acknowledge that personal information on this form is collected under the authority of the *Ontario Heritage Act* and will be used to process heritage permit applications.

I confirm that the owner and/or agent for this property has reviewed this application with Heritage Planning staff at a pre-consultation meeting.

Rick Mateljan Digitally signed by Rick Mateljan
Date: 2025.03.26 12:22:46 -04'00'

Agent’s Signature (if applicable)

Mar 26 2025

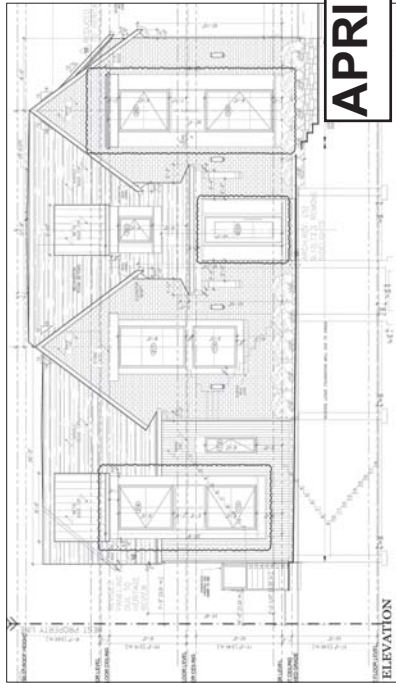
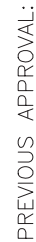
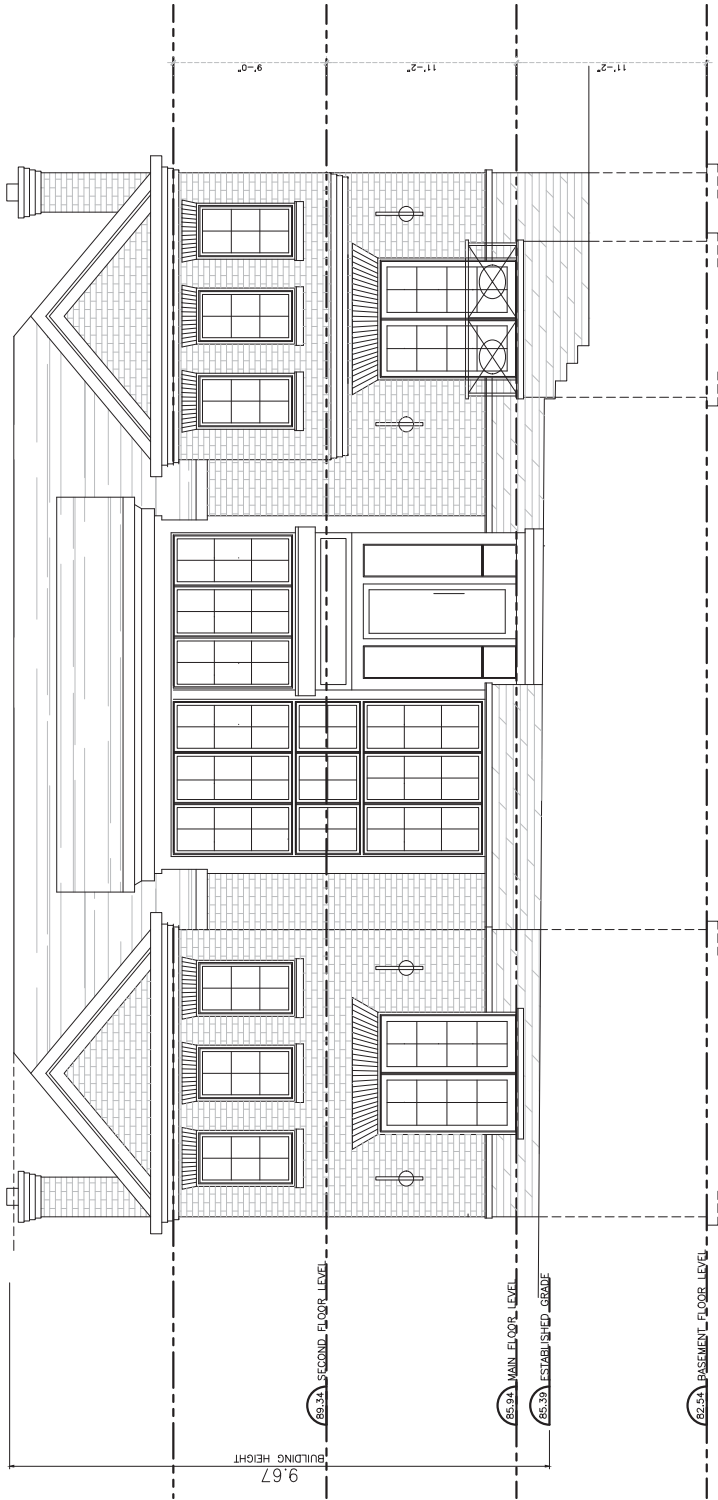
Date

This form is available in an alternate format upon request. Please contact the Planning and Development Department for details. Phone 905-845-6601 TTY 905-338-4200

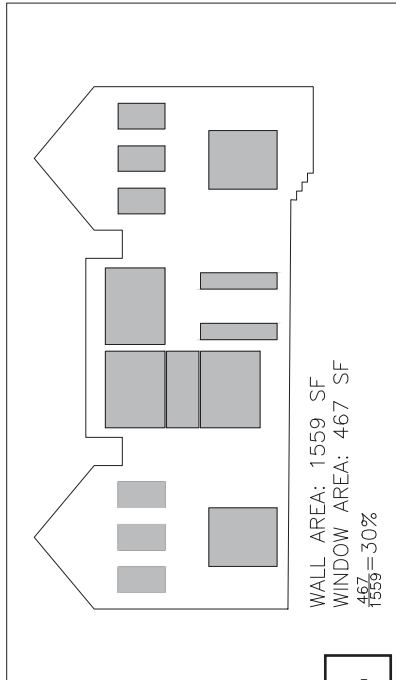




APRIL 2025 PROPOSAL



WALL/WINDOW AREA CALCULATION:




1	Mar 26/25	Heritage Approval	R.M.
No.	Date	Issued/Revision	By:



SMMA Design Ltd.
482 South Service Rd. E., suite 118
Oakville ON L6J 2X6
Tel: 416 315 4567

[illegible]

REGISTRATION INFORMATION: THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

 RICK MATELJAN BCIN 39448
 SMDA DESIGN LTD. BCIN 128915

Ayatollahi Res

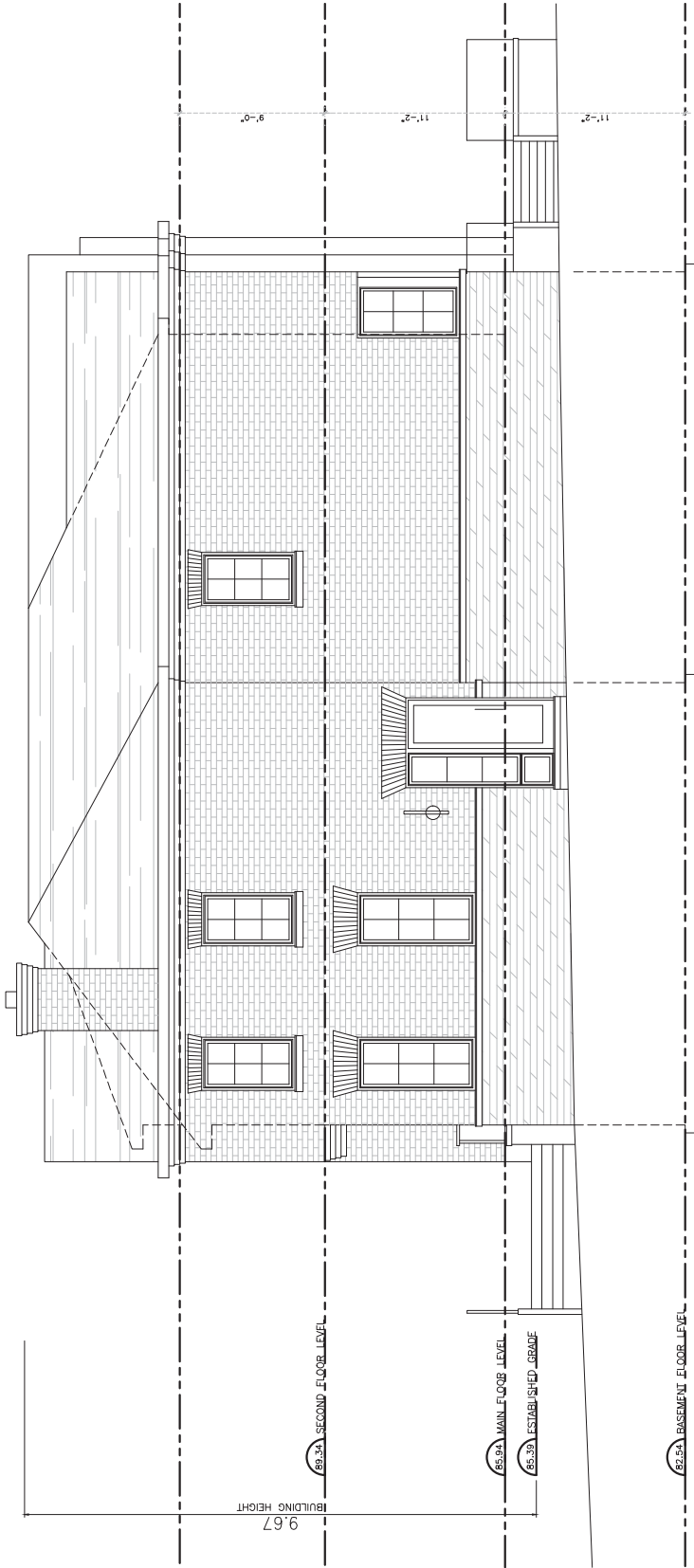
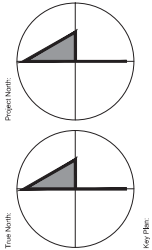
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Oakville, ON

Sheet Title:

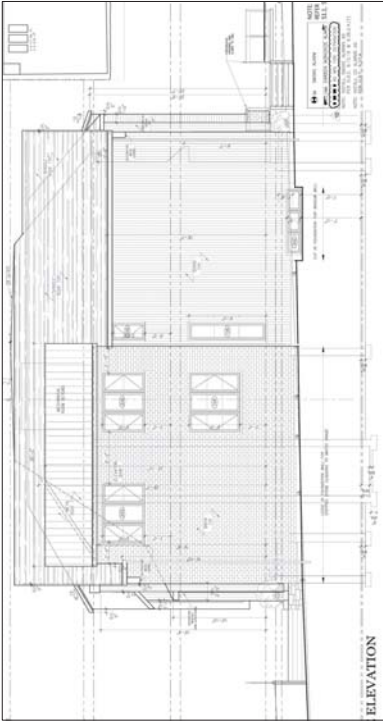
Front Elevation

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: May 2025	Project No:
Drawing No:		

A003.0



PREVIOUS APPROVAL:



APRIL 2025 PROPOSAL

No.	Date	Issued/Revision	R.M.	By:
1	Mar 2025	Final/for Approval		



REGISTRATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND TAKES NOTICE THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGULATION OF PROFESSIONAL ENGINEERS ACT, R.S.O. 1990, CHAPTER 190, AS AMENDED, AND THE REGULATIONS MADE THEREUNDER, AND THAT THE UNDERSIGNED IS A MEMBER OF THE ENGINEERING COUNCIL OF ONTARIO, INC. (E.C.O.) AND IS A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO, CANADA. THE UNDERSIGNED IS NOT PROVIDING ANY SERVICES OR OPINIONS IN THIS PROJECT THAT ARE BEYOND THE SCOPE OF HIS OR HER PROFESSIONAL ENGINEERING LICENSE. THE UNDERSIGNED IS NOT PROVIDING ANY SERVICES OR OPINIONS IN THIS PROJECT THAT ARE BEYOND THE SCOPE OF HIS OR HER PROFESSIONAL ENGINEERING LICENSE. THE UNDERSIGNED IS NOT PROVIDING ANY SERVICES OR OPINIONS IN THIS PROJECT THAT ARE BEYOND THE SCOPE OF HIS OR HER PROFESSIONAL ENGINEERING LICENSE.

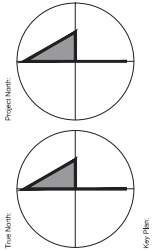
THE UNDERSIGNED HAS REVIEWED AND TAKES NOTICE THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGULATION OF PROFESSIONAL ENGINEERS ACT, R.S.O. 1990, CHAPTER 190, AS AMENDED, AND THE REGULATIONS MADE THEREUNDER, AND THAT THE UNDERSIGNED IS A MEMBER OF THE ENGINEERING COUNCIL OF ONTARIO, INC. (E.C.O.) AND IS A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO, CANADA. THE UNDERSIGNED IS NOT PROVIDING ANY SERVICES OR OPINIONS IN THIS PROJECT THAT ARE BEYOND THE SCOPE OF HIS OR HER PROFESSIONAL ENGINEERING LICENSE. THE UNDERSIGNED IS NOT PROVIDING ANY SERVICES OR OPINIONS IN THIS PROJECT THAT ARE BEYOND THE SCOPE OF HIS OR HER PROFESSIONAL ENGINEERING LICENSE. THE UNDERSIGNED IS NOT PROVIDING ANY SERVICES OR OPINIONS IN THIS PROJECT THAT ARE BEYOND THE SCOPE OF HIS OR HER PROFESSIONAL ENGINEERING LICENSE.

QUALIFICATION INFORMATION
RICK MATELIAN BCIN 38448
SMDA DESIGN LTD. BCIN 128815

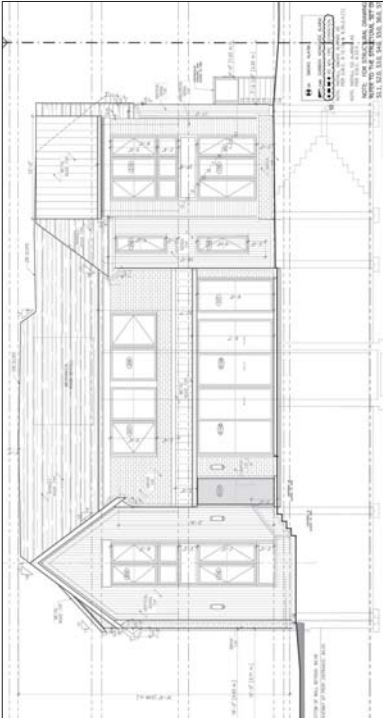
Project
Ayatollahi Res
814 Alton St
Oakville, ON

Design By	Drawn By	Approved By:
R.M.	R.M.	R.M.
Scale	Date	Project No.
1/4"=1'-0"	May 2025	
Drawing No.		

A003.1



PREVIOUS APPROVAL:



APRIL 2025 PROPOSAL

No.	Date	Revised/Revision	R.M.	By:
1	Mar 2025	Initial Approval		



SM
DA
design + architecture
SMDA Design Ltd.
482 Spaul Service Rd. E., suite 118
Oakville, ON L6J 2A6
Tel: 905.313.4327
SIMPSONVILLE

THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THE DESIGN AND
QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
RICK MATELIAN BCIN 38448
SMDA DESIGN LTD. BCIN 128815

Project
Ayatollahi Res

84 Alpin St
Oakville, ON

Sheet Title
East Elevation

Design By:	R.M.	Drawn By:	R.M.	Approved By:	R.M.
Scale:	1/4"=1'-0"	Date:	May 2025	Project No:	
Drawing No:					

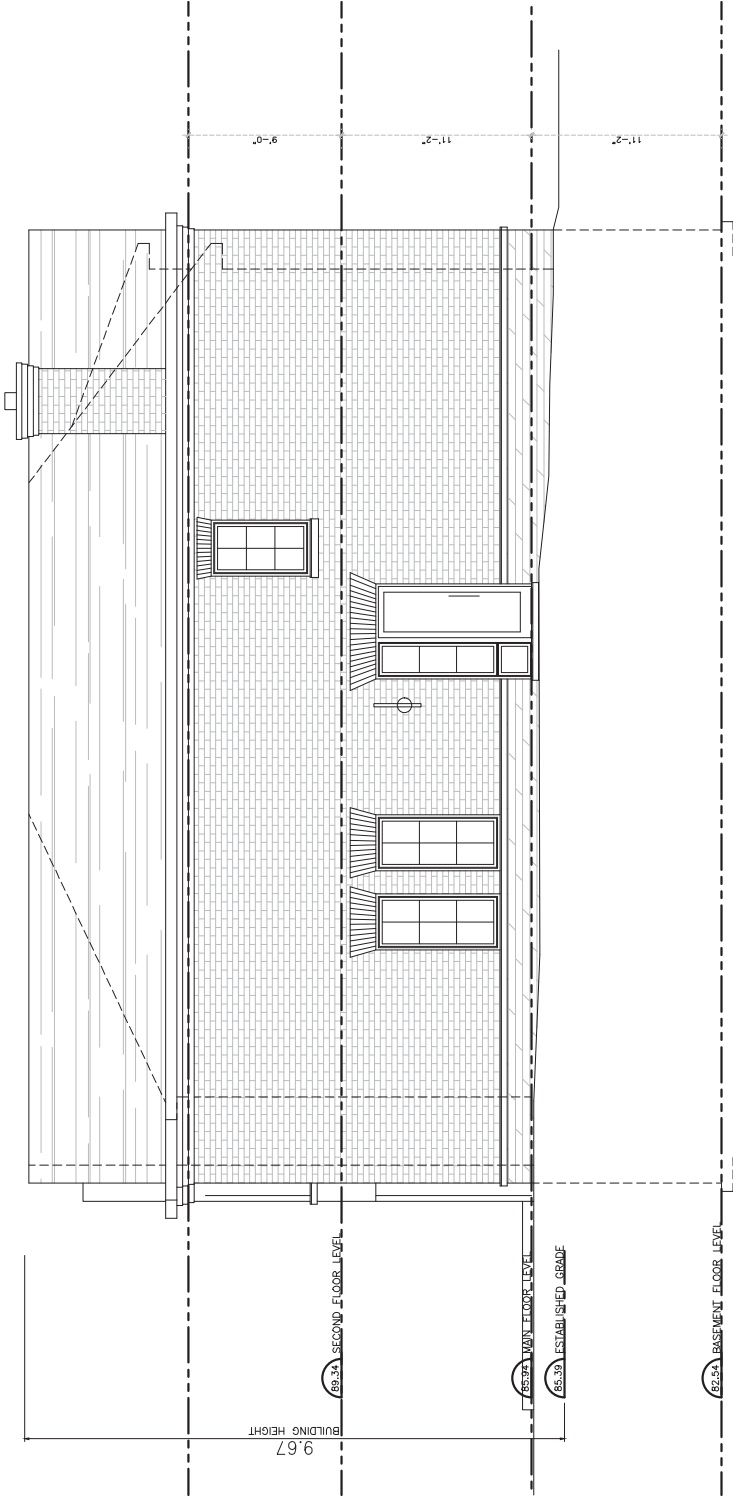
A003.2

Engineer

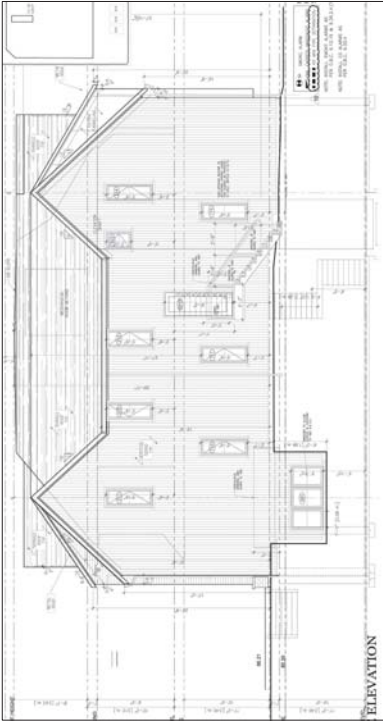
True North

Project North

Key Plan:



PREVIOUS APPROVAL:



APRIL 2025 PROPOSAL

No.	Date	Issued/Revision	R.M.	By:
1	Mar 2025	Final/for Approval		



REGISTRATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND TAKES NOTICE THAT THE DESIGNER HAS MET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
RICK MATELIAN BCIN 38448
SMDA DESIGN LTD. BCIN 128815

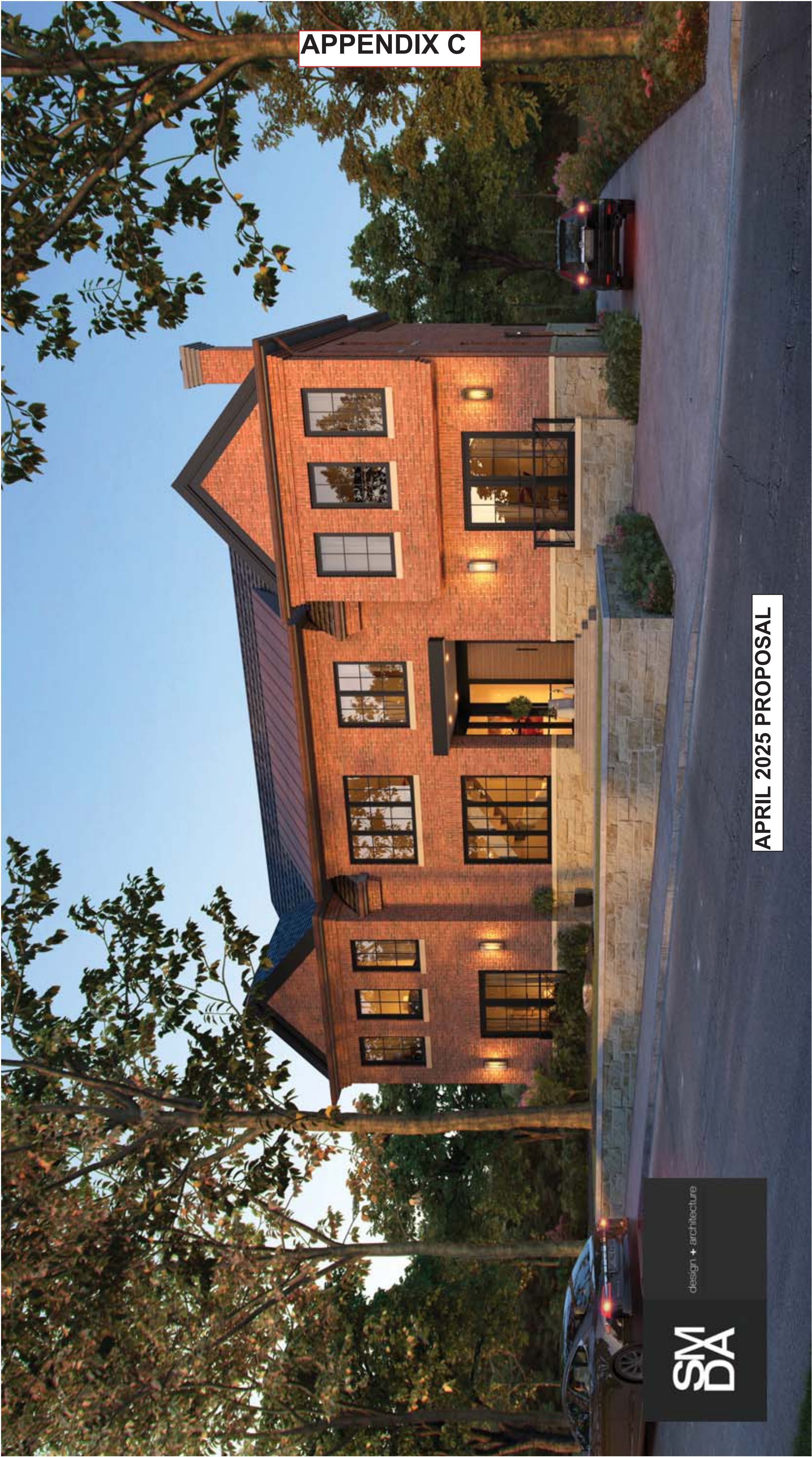
Ayatollahi Res

84 Alton St,
Oakville, ON

North Elevation

Design By:	R.M.	Drawn By:	R.M.	Approved By:	R.M.
Scale:	1/4"=1'-0"	Date:	May 2025	Project No:	
Drawing No:					

A003.3

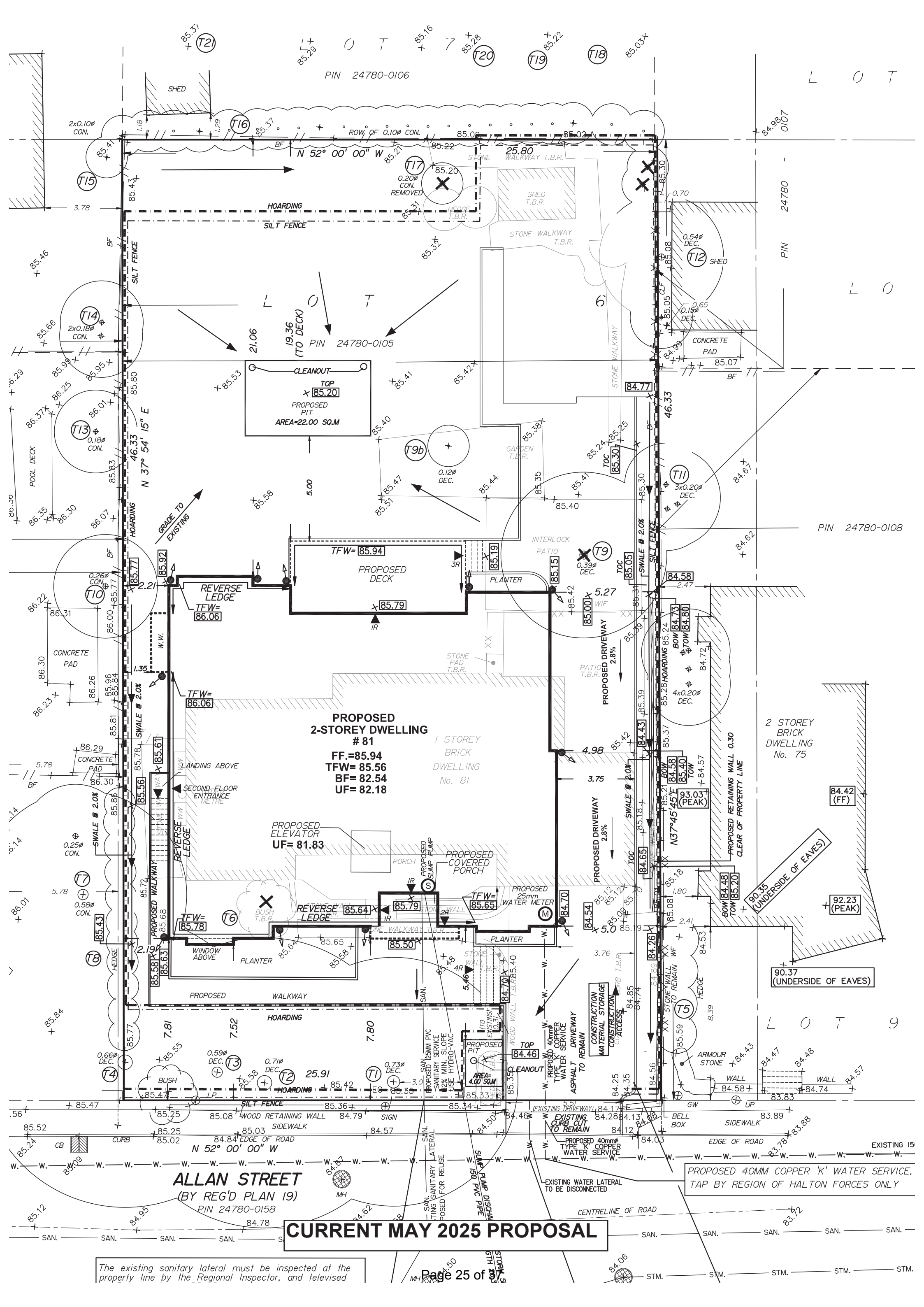


APPENDIX C

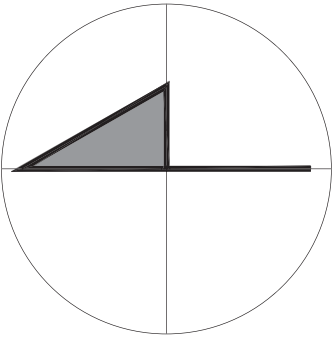
APRIL 2025 PROPOSAL



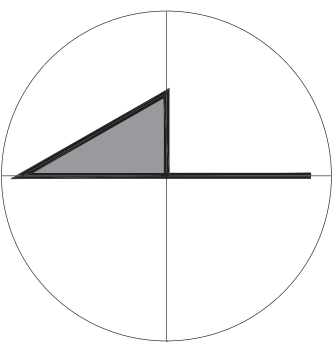
design + architecture



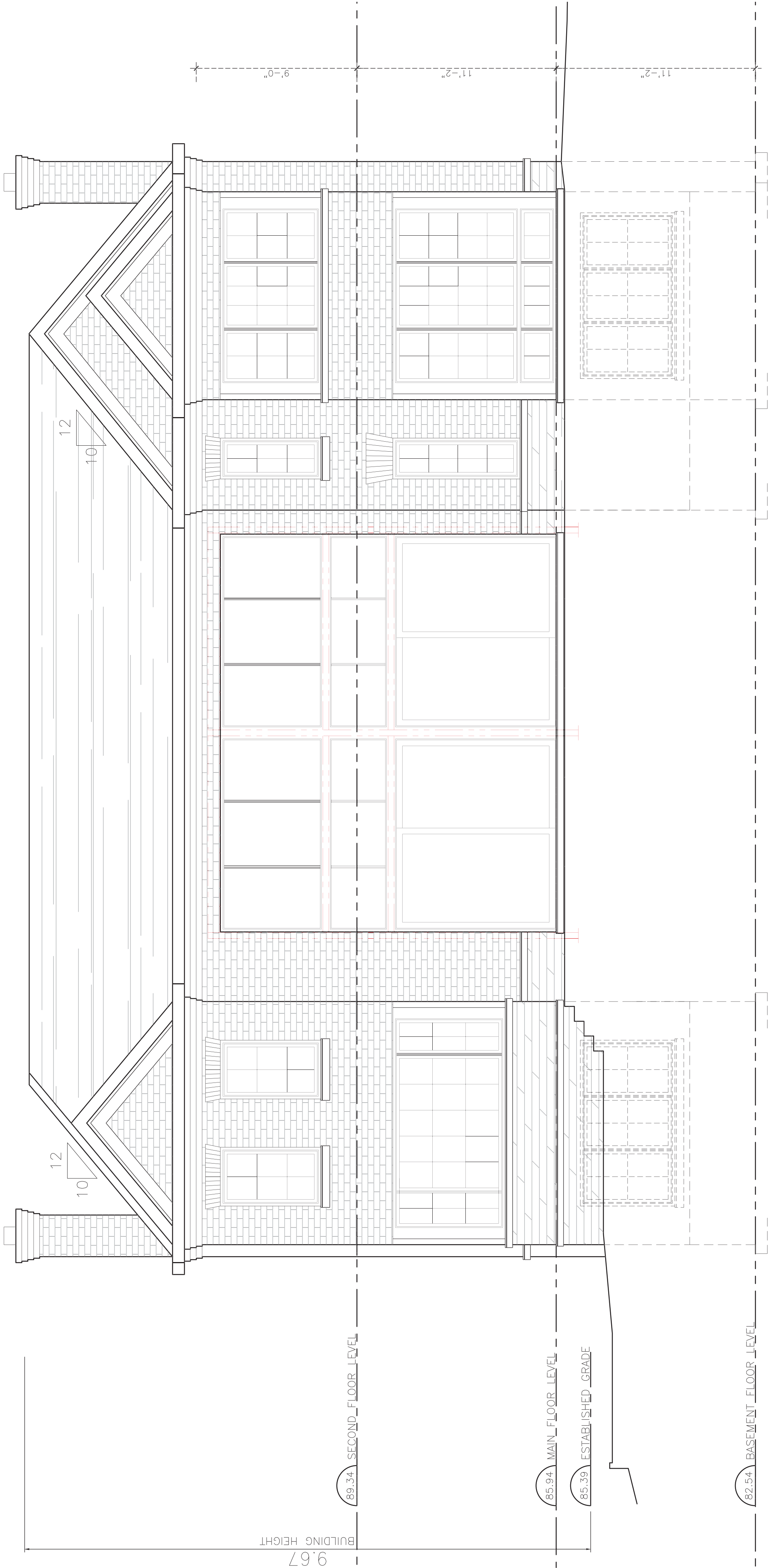
True North:



Project North:



Key Plan:



3	May 7/25	Progress/Minor Changes	R.M.
2	Apr 10/25	Progress/Minor Changes	R.M.
1	Mar 20/25	Heritage Approval	R.M.
No.	Date	Issued/Revision	By:



SMDA Design Ltd.

482 South Service Rd. E., Suite 118
Oakville ON L6J 2X6
Tel. 416 315 4567
smda.ca

SM DA design + architecture
SMDA Design Ltd.
482 South Service Rd. E., Suite 118
Oakville ON L6J 2X6
Tel. 416 315 4567
smda.ca

REGISTRATION INFORMATION:

THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THE DESIGN AND PREPARED
DRAWINGS AND SPECIFICATIONS AND THE REQUIREMENTS SET OUT
HEREIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE
ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

RICK MATELIAN BCIN 39448

SMDA DESIGN LTD. BCIN 128915

Project:

Ayatollahi Res

81 Allan St
Oakville, ON

Sheet Title:

East Elevation

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4"=1'-0"	May 2025	
Drawing No:		

Engineer:

CURRENT MAY 2025 PROPOSAL

A003.2

APPENDIX D

4.3.3 NEW DEVELOPMENT

4.3.3.1 Impact on Heritage Character of the District

- 4.3.3.1.1 *New development* on a Non-Contributing Property may be permitted, providing it does not negatively impact the *heritage character* of the District.

4.3.3.2 Location, Scale and Massing

- 4.3.3.2.1 *New development* shall be compatible with the existing streetscape, in terms of the rhythm, alignment, spacing, setbacks, massing, and orientation of buildings in the streetscape. (See *Section 4.3.1 - General Policies for Non-Contributing Properties for more detailed guidelines regarding spaces around buildings, setbacks and streetscape rhythm*)
- 4.3.3.2.2 The siting and design of *new development* shall respond to the unique conditions of particular property locations, such as corner lots, lots created by severance or lots adjacent to the Lake Ontario shoreline.
- 4.3.3.2.3 *New development* shall protect and maintain the *heritage character* of the District by displaying a clear simplicity of massing, proportions, and roof forms.
- 4.3.3.2.4 The massing and proportions of new construction should conform to any applicable regulations of the Town of Oakville Zoning By-law in effect subject to amendments and variances that may be approved.

4.3.3.3 Height

- 4.3.3.3.1 Protect and maintain the historic low-rise scale of the District.
- The maximum height for *new development* shall be the maximum height permitted for the District under the Town of Oakville's Zoning By-law in effect subject to amendments and variances that may be approved.

4.3.3.4 Style

- 4.3.3.4.1 The architectural style of *new development* shall be compatible with *heritage character* of the District.
- Non-traditional styles* may be permitted providing their application respects the scale, massing, set-backs and materials of the *heritage buildings*, and does not negatively impact the *heritage character* of the District.
 - The design of *new development* shall maintain a consistent approach to the application of the chosen architectural style for all building elements.

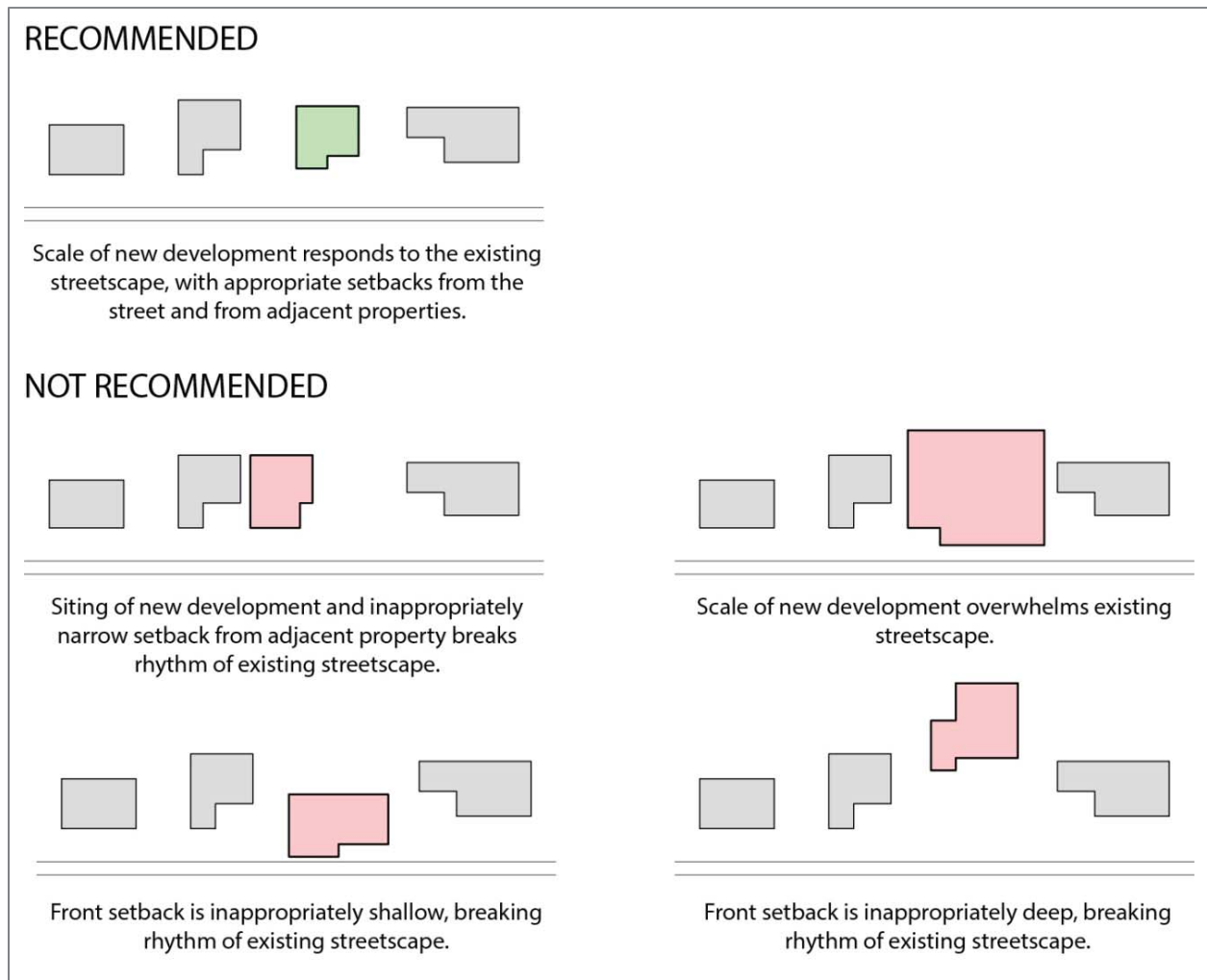


Figure 20: Guidelines for siting new development within the existing streetscape.

4.3.3.5 Roofs

4.3.3.5.1 Roof forms shall not negatively impact the *heritage character* of the District.

- Gable roofs and hipped roofs are the most appropriate roof forms for the District.
- Mansard roofs and gambrel roofs are not appropriate for the District.
- While not appropriate for entire structures or large *additions*, flat roofs and shed roofs may be permitted for small wings of buildings, where compatible with the form and architectural style of the main building and its roof.

4.3.3.5.2 Roofing materials shall not negatively impact the *heritage character* of the District.

- Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will be considered on a case-by-case basis. Membranes will only be considered on flat roofs.
- Aluminum or PVC soffits and fascia will not be permitted.

- 4.3.3.5.3 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- a. Roof ventilation equipment, satellite dishes, plumbing vents and other stacks may be permitted on *new development*, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - b. Skylights should be located on rear or secondary elevations. Skylights located on main elevation shall be flat.
 - c. Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - d. The form, materials and colours of eavestroughs and downspouts shall not distract or detract from the architectural style of the building.
 - e. Flashing should be coloured to match the wall against which it is located.

4.3.3.6 Dormers

- 4.3.3.6.1 Dormers may be permitted, providing they are compatible with the architectural style and form of the building and do not negatively impact the *heritage character* of the District.
- a. Scale new dormers to complement the design and scale of the roof and windows of the building.

Best Practices – Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.3.3.7 Windows

- 4.3.3.7.1 Windows in *new development* shall not negatively impact the *heritage character* of the District.
- a. Consider the historic solid to void ratios and the rhythm of windows and bays.
 - b. Where casement, double-hung, and other traditionally-operable window styles are used on *additions*, they shall be operable.
 - c. Blank windowless walls shall not be permitted.
 - d. Consider the historic solid-to-void ratios and the rhythm of windows and bays. In the District, this void ratio has ranged from 15% to 35%, with the exception of sun rooms or conservatories.
 - e. Windows shall be wood or aluminum-clad wood.
 - f. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District. They do not adequately replicate wood windows in their detailing, finishes, profiles and colour; their sashes, frames and mouldings are often much flatter in appearance.

- g. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.

See Figure 15 on page 35 for a reference diagram of muntin types.

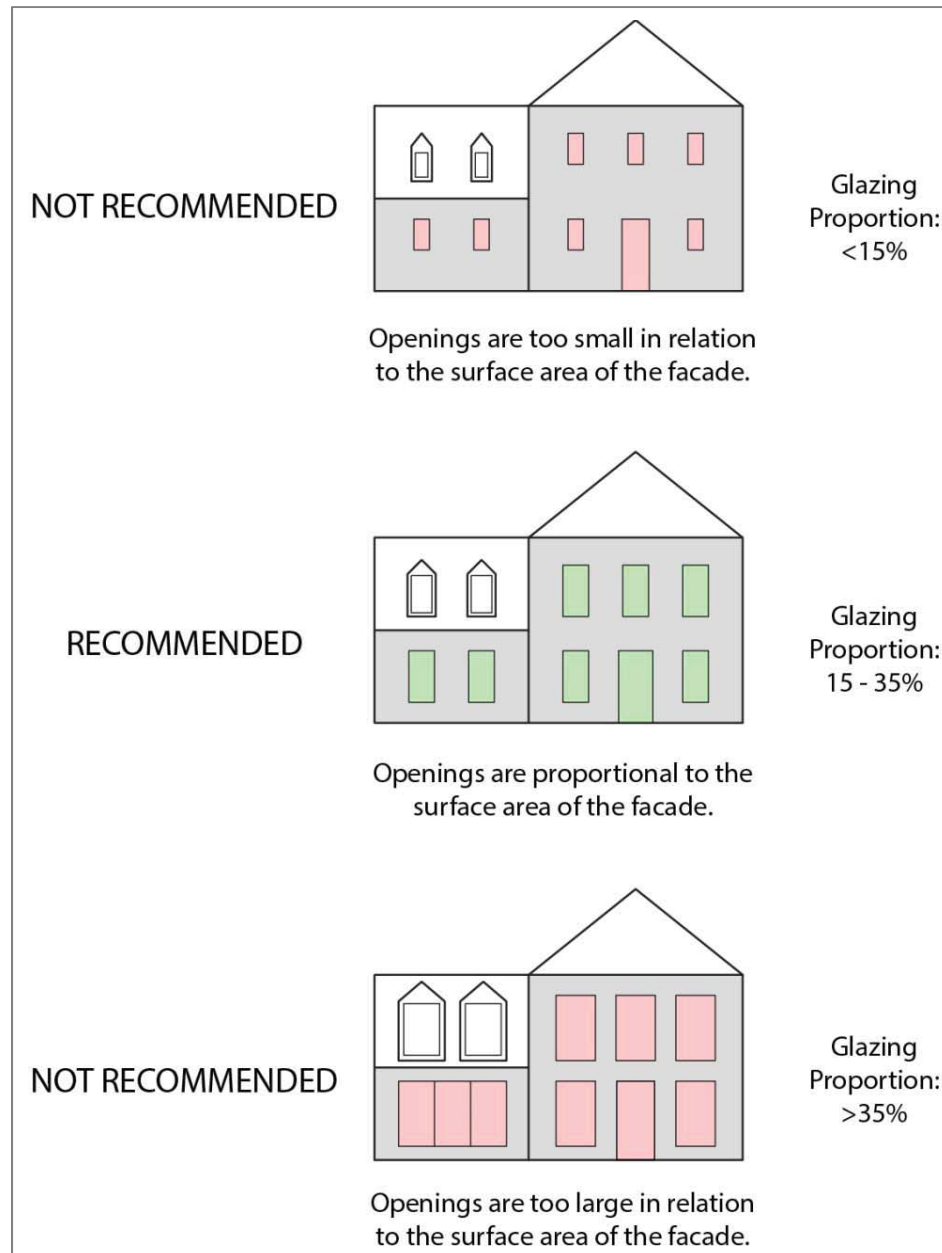


Figure 21: Guidelines for the solid-to-void ratio of new development.

4.3.3.8 Entrances

4.3.3.8.1 Entrances in *new development* shall not negatively impact the *heritage character* of the District.

4.3.3.8.2 Main entrances shall be oriented towards the *public realm*.

4.3.3.9 Porches and Porticos

4.3.3.9.1 Porches and porticos may be permitted, providing they are appropriate for the architectural style of the building and do not negatively impact the *heritage character* of the District.



Figure 22: Entrance portico on 59 Allan St. (left); porch on 37 First St. (right).

Best Practices – Porches and Porticos

When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.3.3.10 Garages

In addition to the policies listed below, all policies under Section 4.3.1 – General Guidelines and Section 4.3.3 – New Development apply to new garages, as do all applicable requirements under the Town of Oakville’s Zoning By-Law in effect subject to amendments and variances that may be approved.

4.3.3.10.1 *Attached, integral and detached* garage forms may be permitted on Non-Contributing Properties, providing they respond respectfully and appropriately to the shape of the lot and the architectural style and form of the main building. *Detached garages* are preferable.

4.3.3.10.2 New garages shall be located and massed so as to minimize their visibility from the *public realm*

- a. Garages shall be lower in profile than the main building, and be complementary in design, materials and colour.
- b. Use landscaping treatments to shield garages from view. (See Section 4.4.1 – *Guidelines for Landscape Conservation and Design – Private Property*)
- c. Locate *attached* and *integral garages* on rear or secondary elevations of the main building. When located on side elevations, *attached garages* should be set back from the main elevation.
- d. Locate *detached garages* to the rear or side of the main building, set back substantially from the main elevation.
- e. Garage doors and windows shall reflect the style of those on the main building
- f. Garage door openings should be single car width, with separated overhead doors in the case of a double vehicle garage.

4.3.3.11 Utility and Service Equipment

4.3.3.11.1 Utility and service equipment shall not negatively impact the *heritage character* of the District, and shall be located so as to minimize their visibility from the *public realm*.

- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 – *Guidelines for Landscape Conservation and Design – Private Property*, for guidance on screening)

4.3.3.12 Exterior Walls

4.3.3.12.1 The cladding materials of *new development* shall be compatible the District and shall not negatively impact its *heritage character*.

- a. Red brick, stucco, wood clapboard and wood shingles are appropriate cladding materials for the District.
- b. Contemporary and other non-traditional materials, such as metal panelling and glass (curtain walls), stone and artificial stone may be permitted for accent, but not as the principal cladding.
- c. Metal, vinyl and plastic composite siding shall not be permitted.
- d. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.
- e. For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the building and the District.