



Town of Oakville
Heritage Oakville Advisory Committee

AGENDA

Date: February 25, 2025
Time: 9:30 am
Location: Council Chamber

Town Hall is open to the public and live streaming video is available on <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/live-stream> or at the town's YouTube channel at <https://www.youtube.com/user/TownofOakvilleTV>. Information regarding written submissions and requests to delegate can be found at <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/delegations-presentations>.

	Pages
1. Regrets	
2. Declarations of Pecuniary Interest	
3. Confirmation of Minutes of Previous Meeting(s)	
3.1 Minutes December 17, 2024	4 - 7
Recommendation: That the minutes of the Heritage Oakville Advisory Committee meeting of December 17, 2024 be approved.	
4. Discussion Items	
4.1 Old Oakville Heritage Conservation District Plan and Guidelines	8 - 215
Recommendation: 1. That the Heritage Oakville Advisory Committee endorse the adoption of the Old Oakville Heritage Conservation District Plan and Guidelines dated February 2025 as the Heritage Conservation District Plan required by section 41.1 (1) of the <i>Ontario Heritage Act</i> , attached as Appendix A to the report dated February 11, 2025, from the Planning and Development Department; and, 2. That the Heritage Oakville Advisory Committee endorse the designation of the Old Oakville Heritage Conservation District	

under Section 41 of the *Ontario Heritage Act*.

- 4.2 Heritage permit application HP005/25-42.20T – 65 Thomas Street – Construction of new rear additions (February 25, 2025) 216 - 236**

Recommendation:

1. That Heritage Permit Application HP005/25-42.20T for the construction of new rear additions at 65 Thomas Street, as attached in Appendix B to the report dated February 11, 2025, from Planning and Development, be approved subject to the following:
 - a. That final details on the new cladding, windows and doors be submitted to Heritage Planning staff for final approval; and
2. That this heritage permit expires two years from the date of final approval by Council.

- 4.3 Heritage permit application HP004/25-42.20R – 358 Reynolds Street – Demolition of medical building and parking lot (February 25, 2025) 237 - 257**

Recommendation:

1. That Heritage Permit Application HP004/25-42.20R for the demolition of the medical building and parking lot at 358 Reynolds Street, as attached in Appendix B to the report dated February 11, 2025, from Planning and Development, be approved subject to the following:
 - a. That the owners seed and fence the property post-demolition and that final details on this work be submitted to Heritage Planning staff for approval;
 - b. That the property owners allow for salvage of materials from the building; and
2. That this heritage permit expires two years from the date of final approval by Council.

5. Information Items

5.1 Heritage Conservation District Update

5.2 Designation Project Update

5.3 2025 Heritage Newsletter

Recommendation:

That the information items be received.

6. Date and Time of Next Meeting

Tuesday, March 25, 2025

Oakville Municipal Building

Council Chamber - 9:30 a.m.

7. Adjournment



Heritage Oakville Advisory Committee

MINUTES

Date: December 17, 2024

Time: 9:30 am

Location: Council Chamber

Members: Drew Bucknall, Chair
Gerarda (Geri) Tino, Vice-Chair
Councillor Gittings
Russell Buckland
Kerry Colborne
George Gordon
Susan Hobson
Jason Judson
Bob Laughlin

Regrets: Councillor McNeice

Staff: K. Biggar, Manager of Policy Planning and Heritage
C. Van Slightenhorst, Supervisor of Heritage Conservation
S. Schappert, Heritage Planner
F. Loconte, Manager - Parks Capital Planning & Management
J. Radomirovic, Council and Committee Coordinator
L. Harris, Council and Committee Coordinator

Also Present: Janis Olbina, ArborFront Consulting
Darren Lougheed, Steve Hamelin Design Studio
Afshin Souzankar, Optimum Structural Corp.

A meeting of the Heritage Oakville Advisory Committee was held on December 17, 2024, in the Council Chamber of the Oakville Municipal Building, commencing at 9:30 a.m.

These minutes will go forward to the Planning and Development Council meeting of January 20, 2025 for approval. Please view those minutes to note any changes Council may have made.

1. Regrets

As noted above.

2. Declarations of Pecuniary Interest

No declarations of pecuniary interest were declared.

3. Confirmation of Minutes of Previous Meeting(s)

3.1 Minutes November 26, 2024

Moved by Gerarda (Geri) Tino

That the minutes of the Heritage Oakville Advisory Committee meeting of November 26, 2024 be approved.

CARRIED

4. Discussion Item(s)

4.1 Heritage Permit Application HP026/24-42.40T – 179 Trafalgar Road – Reconstruction of Replica Bandstand

The following delegates spoke on this item:

Janis Olbina, ArborFront Consulting

Moved by Kerry Colborne

1. That Heritage Permit Application HP026/24-42.20T for the reconstruction of the replica bandstand in George's Square at 179 Trafalgar Road, as attached in Appendix B to the report dated December 3, 2024, from Planning Services, be approved; and
2. That this heritage permit expires two years from the date of final approval by Council.

CARRIED

4.2 Heritage permit application HP027/24-42.20L – 1118 Lakeshore Road East – Deconstruction and reconstruction of sunroom wing (December 17, 2024)

The following delegates spoke on this item:

Darren Lougheed

Moved by Bob Laughlin

1. That Heritage Permit Application HP027/24-42.20L for the deconstruction and reconstruction of the sunroom wing at 1118 Lakeshore Road East, as attached in Appendix B to the report dated December 3, 2024, from Planning Services, be approved subject to the following:
 - a. That the c.1866 portion of the building, including its existing wood windows, remain and not be removed or replaced;
 - b. That final details on the windows and doors be submitted to Heritage Planning staff for final approval;
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

4.3 Notice of amendment to By-law 2021-136 – St. John’s United Church at 262 Randall Street (December 17, 2024)

A separate staff report(s) will be forwarded to a future Planning and Development Council meeting for consideration.

Moved by George Gordon

That notice be issued under subsection 30.1(3) of the *Ontario Heritage Act* to the owners of 262 Randall Street of the proposed amendments under subsection 30.1(2) of the *Ontario Heritage Act* to By-law 2021-136.

CARRIED

5. Information Item(s)

5.1 Heritage Conservation District Update

5.2 Designation Project Update

5.3 2024 Bronte Oak Tree Health Assessment

5.4 Delegated Heritage Permits, August to December 2024

Moved by Susan Hobson

That the information item(s) be received.

CARRIED

6. Date and Time of Next Meeting

Tuesday January 28, 2025

Oakville Municipal Building

Council Chamber- 9:30 a.m.

7. Adjournment

The meeting adjourned at 10:22 a.m.



OAKVILLE

REPORT

Heritage Oakville Advisory Committee

Meeting Date: February 25, 2025

FROM: Planning and Development Department

DATE: February 11, 2025

SUBJECT: Old Oakville Heritage Conservation District Plan and Guidelines

LOCATION: Old Oakville

WARD: Ward 3 Page 1

RECOMMENDATION

1. That the Heritage Oakville Advisory Committee endorse the adoption of the Old Oakville Heritage Conservation District Plan and Guidelines dated February 2025 as the Heritage Conservation District Plan required by section 41.1 (1) of the *Ontario Heritage Act*, attached as Appendix A to the report dated February 11, 2025, from the Planning and Development Department; and,
2. That the Heritage Oakville Advisory Committee endorse the designation of the Old Oakville Heritage Conservation District under Section 41 of the *Ontario Heritage Act*.

KEY FACTS

The following are key points for consideration with respect to this report:

- The Old Oakville Heritage Conservation District has been in place since it received Council and OMB approval in 1982.
- The Old Oakville Heritage Conservation District Plan and Guidelines that serves to manage change in Old Oakville has not been updated since that time.
- The planning process to update the District Plan and Guidelines was started in 2021 and consists of two major components – the District Study and a new District Plan and Guidelines.
- In February 2024, Council approved the District Study component that describes and evaluates the cultural heritage value of the Old Oakville Heritage Conservation District.

- On February 3, 2025, the statutory public meeting for the Old Oakville Heritage Conservation District Plan and Guidelines was held at Planning and Development Council. Feedback received at that meeting and provided by stakeholders has been considered for this revision of the District Plan and Guidelines.
- The Heritage Oakville Advisory Committee is required to be consulted with respect to the proposed heritage conservation district plan by section 41.1(6) c of the *Ontario Heritage Act*.
- Highlights of the draft Old Oakville Heritage Conservation District Plan and Guidelines are presented along with how feedback has been addressed.
- The report also identifies the requirements for this planning process under the *Ontario Heritage Act* as well as the update process undertaken by the town featuring an extensive and responsive public engagement program.

BACKGROUND

Established in 1981, the Old Oakville Heritage Conservation District (the District) is Oakville's first designated district, and one of the first in Ontario. This historically significant area extends south of Robinson Street to the lakefront, and from the Sixteen Mile Creek in the west to Allan Street in the east. The intimate atmosphere of the District provides two picturesque waterfront parks, Dingle Park and Lakeside Park, as well as Oakville Museum at Erchless Estate.

The District features early vernacular homes, nineteenth-century lakeside cottages, turn-of-the-century luxury houses and churches. Architectural styles are diverse and include 19th-century Georgian, Neo-Classical, Victorian and Classical Revival, many of which are a vernacular interpretation of the style. "Vernacular" architecture is a style of regional or local building that uses conventional supplies and resources from the region in which the building is situated.

The Old Oakville Heritage Conservation District Plan (District Plan) has served the community well for 40 years and has been instrumental in protecting the character of the area. With changes to the *Ontario Heritage Act* (the Act) in 2005 and 2021, the District Plan requires updating to meet the requirements of current legislation.

The Act does not prescribe a process for an update to an existing heritage conservation district plan. It does however prescribe a process for the creation of a new heritage conservation district. This is the process undertaken by the town to provide for the District Plan Update.

As part of this process, section 41 of the Act requires that two components be completed prior to passing a by-law to designate a heritage conservation district.

The first component is a study, as defined under section 40 of the Act. The Old Oakville Heritage Conservation District Study was completed in accordance with this provision and approved by Council at the [Planning and Development Council meeting of February 5, 2024](#).

At the meeting, Council also directed staff to continue the work on the District Plan Update and to create a revised District Plan and Guidelines. This second component would further satisfy the stated requirements of the Act.

The statutory public meeting required by section 41.1 (6) b of the Act was held on [February 3, 2025 at Planning and Development Council](#). The full list of statutory requirements for heritage conservation district plans and processes can be found within that staff report. Comments provided to staff in advance and at that meeting have been considered for the revision of draft District Plan and Guidelines that is attached as Appendix A to this report.

COMMENTS

Highlights of the Draft District Plan and Guidelines

Section 5 – Guidelines for Managing Change will be the most utilized part of the document. The formulation of this section has benefitted from a high degree of engagement, review and recommendations by key stakeholders and staff.

Section 5 features five Character Areas that were identified in the Heritage Conservation District Study. These areas provide a framework that acknowledges distinct features through the historic, streetscape and landscape analysis of Old Oakville's evolving urban fabric. Specific guidance is provided for each Area:

- Area 1 - Waterfront Open Space
- Area 2 - Old Oakville Settlement Pattern
- Area 3 - Gully Landscape
- Area 4 - Mixed Residential Development Pattern
- Area 5 - St. Andrew's Traditional

The balance of Section 5 provides direction for managing change based on a classification of properties within the District as contributing or non-contributing. Within the District, ninety properties (70% of all properties) have been identified as contributing properties.

Contributing properties exhibit physical heritage attributes which directly contribute to the cultural heritage value or interest of the District. They support the identified cultural heritage values from the Statement of Cultural Heritage Value or Interest,

and they have met more than two criteria as identified as per the *Ontario Heritage Act* and the criteria outlined in O. Reg. 9/06.

Non-contributing properties do not exhibit that threshold amount of cultural heritage value as per the criteria in O. Reg. 9/06. Non-contributing properties are included in the guidelines to provide appropriate consideration of proposed changes to the entire district, especially surrounding properties.

Section 5 continues with guidelines regarding property level changes as well as direction for classes of alterations, use of specific materials and additions to buildings and properties and landscape guidelines.

Personnel, Participants and Public Engagement for the District Plan Update

For a complete description of all engagement for the update to the Old Oakville Heritage Conservation District, please refer to the staff report for the Statutory Public Meeting that took place on [February 3, 2025 at Planning and Development Council](#).

At the February 3, 2025, Statutory Public Meeting, Council identified areas that they would like additional information in advance of making a decision.

Summary of additional information requested by Council:

- Consideration should be given to the feedback from the Oakville Lakeside Resident's Association regarding height, scale and massing
- Staff should be given more credit for writing the Plan and Guidelines

Comments Received

Public input on the draft District Plan and Guidelines has been received and carefully considered by staff. These responses have been broken down to reflect different interests from various stakeholders.

Mississaugas of the Credit First Nation (MCFN)

Comments from MCFN are attached as Appendix B to the staff report. Changes have been requested to the Statement of Cultural Heritage Value or Interest and to the description of the Character Areas to use appropriate language and references.

Six Nations of the Grand River (Six Nations)

Comments from Six Nations are attached as Appendix C to the staff report. Changes have been requested to the Statement of Cultural Heritage Value or Interest, and the list of Heritage Attributes. Consideration of more environmentally friendly guidance relating to the Indigenous cultural heritage landscape, especially the planting of native species and retention of mature trees.

Residents and Local Stakeholders

Communication has been received from individual residents, local historians, and the Heritage Sub-Committee of the Oakville Lakeside Residents Association. These are attached as Appendix D to the staff report. Several questions and issues have been raised through the engagement process, including:

- Concern that the guidelines for height, scale and massing for additions to buildings needs to be strengthened and clarified
- Ensuring that demolition requirements for non-contributing properties are fair and equitable
- Concerns that the existing zoning does not appropriately address height, scale, massing and setbacks and therefore should not be mentioned in the District Plan and Guidelines
- Minor corrections of construction dates and images for specific properties
- More images should be included in Section 5 Guidelines

These comments have been reviewed by staff and the consulting team and have been considered in the revised Draft Plan and Guidelines as follows:

Height, Scale and Massing

Stakeholders have concern regarding overly permissive, or unclear guidelines for additions to both contributing and non-contributing properties. There is specific concern with permission to construct additions that are higher than the existing buildings. This has been addressed through new wording that only permits additions that are higher than the existing building in extenuating circumstances, not as-of-right. A proposal to construct an addition taller than the existing building would be reviewed on a case-by-case basis to ensure that it does not have a negative impact on the property, Character Area or District.

Demolition Requirements

To improve clarity about the demolition requirements for non-contributing properties, wording has been adjusted. Non-contributing properties can be demolished, as they do not directly contribute to the cultural heritage value or interest of the District. The only restriction for demolition is the approval of the new proposed building at the same time as the demolition to avoid premature demolitions that leave empty lots within the District and disrupt its character.

Zoning Concerns

Planning staff recognize that updates to the Town of Oakville's Zoning By-law would assist in strengthening the objectives and guidelines of the District Plan and Guidelines. Consideration for new zoning provisions for the town's heritage conservation districts is in progress. Staff has maintained the references to the Zoning By-law in the District Plan and Guidelines to remain consistent with other district plans in Oakville.

Minor Edits, Additional Photos

Staff has corrected various errors as noted by stakeholders. To provide more images within the Section 5 Guidelines, the images previously contained within Appendix G – Photographic Examples have been moved into the appropriate sections within 5.3 – Guidelines for Contributing Properties. Additionally, several examples have been added to Appendix E – Examples of Good Neighbours.

CONCLUSION

The Old Oakville Heritage Conservation District Plan and Guidelines are the result of extensive community engagement meshed with best practices in heritage conservation. The revised Old Oakville Heritage Conservation District Plan and Guidelines has retained many of the principles of heritage conservation that were embodied in the original plan, but aims to be more user-friendly, clear and consistent, while also adhering to the heritage conservation standards that the town adopted in the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

The revised Old Oakville Heritage Conservation District Plan and Guidelines do not propose any changes to the boundary of the District, except for the inclusion of the properties at 8 Navy Street and 144 Front Street which were previously excluded from the heritage district due to designation under Part IV of the *Ontario Heritage Act*. Changes to the *Ontario Heritage Act* in 2005 allowed Part IV properties to also be designated under Part V of the Act as part of a heritage conservation district.

The District Plan and Guidelines meet all the requirements of the *Ontario Heritage Act* and staff are confident that it is a defensible and reasonable plan for the management of heritage resources in the Old Oakville Heritage Conservation District.

Staff recommend that the Heritage Oakville Advisory Committee endorse the proposed resolutions which will be presented to Council on March 17, 2025, and would satisfy the requirements of the *Ontario Heritage Act* by passing a District by-law and adopting the District Plan and Guidelines in the same by-law.

CONSIDERATIONS**(A) PUBLIC**

The public and stakeholders for the Old Oakville Heritage Conservation District have been notified of the statutory public meeting following town policies and the statutory requirements of the *Ontario Heritage Act*.

(B) FINANCIAL

There are no financial considerations associated with this item.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The draft District Plan and Guidelines has been circulated for review and comment to town departments that may be impacted, including Building Services, Parks and Open Space, Forestry Services, Roads and Works, Transportation and Engineering, and Legal. Feedback provided has been incorporated into the Draft District Plan and Guidelines attached to this report.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities of Accountable Government, Community Belonging and Environmental Sustainability.

(E) CLIMATE CHANGE/ACTION

Town Council declared a Climate Emergency in June 2019 for the purpose of strengthening Oakville's community commitment to reduce carbon footprints. This update to the Old Oakville Heritage Conservation District Plan and Guidelines supports the conservation of Oakville's cultural heritage resources, including built heritage. The greenest and most sustainable building is the one that already exists.

APPENDICES

Appendix A – Draft Old Oakville Heritage Conservation District Plan and Guidelines dated February 2025

Appendix B – Comments from Mississaugas of Credit First Nation

Appendix C – Comments from Six Nations of the Grand River

Appendix D – Comments from Residents and Local Stakeholders

Prepared by:

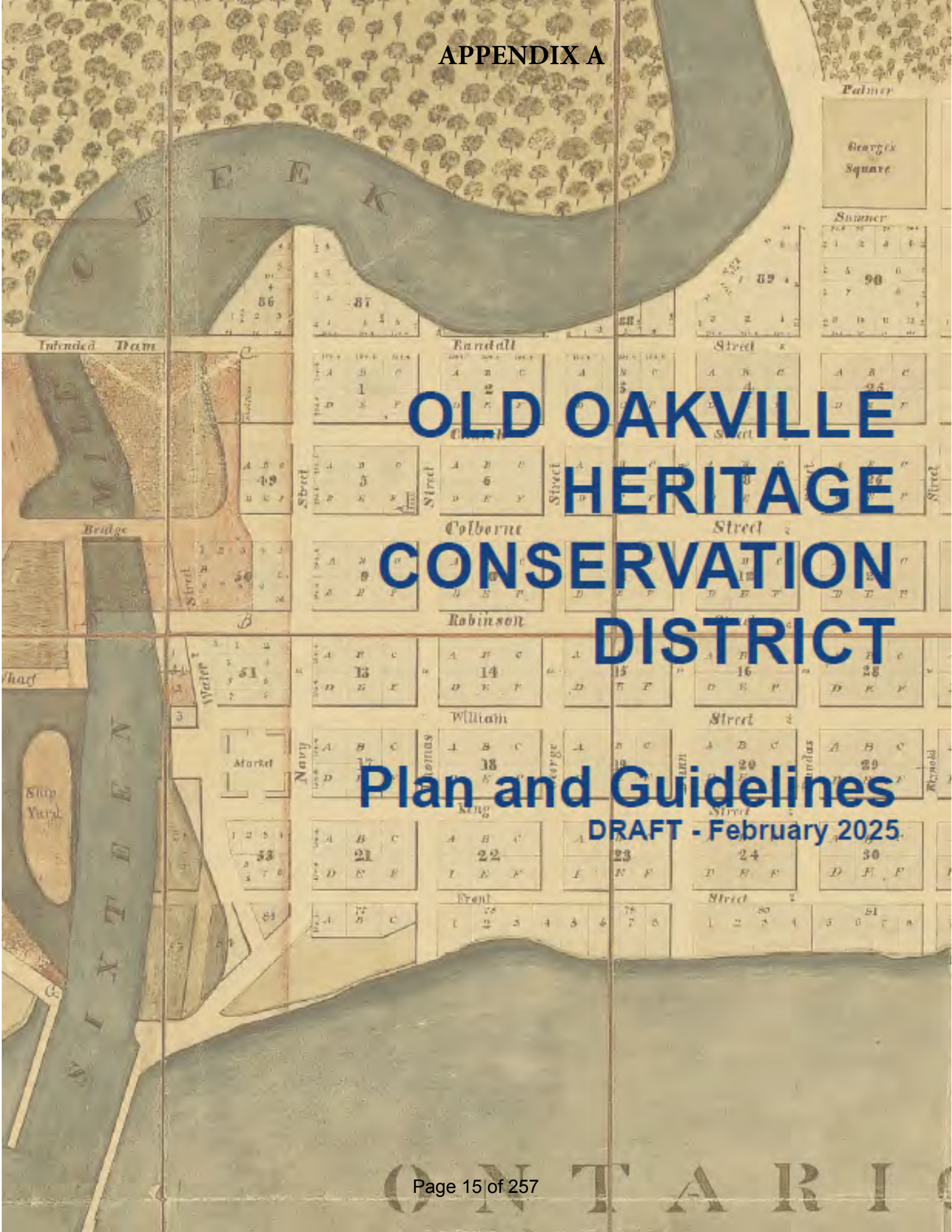
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Manager, Policy Planning and Heritage

Submitted by:

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Director, Planning and Development



OLD OAKVILLE HERITAGE CONSERVATION DISTRICT

Plan and Guidelines DRAFT - February 2025

DRAFT

February 2025

Old Oakville Heritage Conservation District Plan and Guidelines

Prepared by:
Planning and Development Services
Town of Oakville
1225 Trafalgar Road
Oakville, ON L6H 0H3

With support from:
Oakville Lakeside Residents Association

PERSONNEL

Town of Oakville

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TABLE OF CONTENTS

1	INTRODUCTION	9
1.1	Background of the Old Oakville Heritage Conservation District	10
1.2	What is a Heritage Conservation District?	12
1.3	Intent of the Plan	12
1.4	OHA Requirements: Heritage Conservation District Plans	13
1.5	What is a Heritage Permit?	13
1.6	When is a Heritage Permit Required?	14
1.7	How to Use the Plan	15
2	CULTURAL HERITAGE VALUE OF THE DISTRICT	16
2.1	Statement of Cultural Heritage Value or Interest	17
2.2	Description of Cultural Heritage Attributes	20
2.3	Property Categorizations: Contributing and Non-Contributing	25
2.4	Streetscape and Landscape Character Areas	29
3	OBJECTIVES OF THE HERITAGE CONSERVATION DISTRICT	31
3.1	Introduction	32
3.2	Specific Objectives for the Plan	32
4	MUNICIPAL POLICY FRAMEWORK	35
4.1	Introduction	36
4.2	Provincial Legislation	36
4.3	The Livable Oakville Plan	37
4.4	Town of Oakville Zoning By-Law 2014-014	39
4.4.1	Update to Zoning By-law 2014-014	39
4.5	Site Plan Control	40
4.6	Demolition Control	41
4.7	Property Standards By-Law	41
4.8	Private Tree Protection By-law	41
4.9	Cultural Heritage Landscape Strategy	41
4.10	Oakville Harbour Cultural Heritage Landscape	42
4.11	Erchless Estate Cultural Heritage Landscape Strategy	43
5	GUIDELINES FOR MANAGING CHANGE	45
5.1	Introduction	46
5.2	Character Area Guidelines	48
5.2.1	Area 1 - Waterfront Open Space	50
5.2.2	Area 2 - Old Oakville Settlement Pattern	53
5.2.3	Area 3 - Gully Landscape	56
5.2.4	Area 4 - Mixed Residential Development Pattern	59
5.2.5	Area 5 – St. Andrew’s Traditional	62

5.2.6	Key Streetscape Overlay	64
5.3	Guidelines for Contributing Properties	66
5.3.1	General Guidelines	66
5.3.1.1	Understanding	66
	(1) Interventions to a contributing property shall consider	66
5.3.1.2	Compliance	67
5.3.1.3	Demolition and Relocation	67
5.3.1.4	Lot Severances and Assembly	67
5.3.1.5	Spaces Around Buildings	68
5.3.2	Alterations to Contributing Properties	69
5.3.2.1	Historic Fabric	69
5.3.2.2	Roofs	69
5.3.2.3	Chimneys	73
5.3.2.4	Dormers	73
5.3.2.5	Windows	74
5.3.2.6	Shutters	76
5.3.2.7	Entrances	78
5.3.2.8	Foundations	80
5.3.2.9	Porches, Verandahs and Porticos	82
5.3.2.10	Garages and Coach Houses	84
5.3.2.11	Utility Service Equipment	87
5.3.2.12	Exterior Walls	87
5.3.2.13	Guidelines for Specific Materials	91
5.3.3	Additions to Contributing Properties	93
5.3.3.1	Historic fabric	93
5.3.3.2	Location	93
5.3.3.3	Scale and Massing	94
5.3.3.4	Height	95
5.3.3.5	Style	95
5.3.3.6	Roofs	96
5.3.3.7	Chimneys	96
5.3.3.8	Dormers	96
5.3.3.9	Windows	97
5.3.3.10	Shutters	98
5.3.3.11	Entrances and Doors	98
5.3.3.12	Foundations	99
5.3.3.13	Porches, Verandahs and Porticos	99
5.3.3.14	Garages and Coach Houses	99
5.3.3.15	Utility Service Equipment	100
5.3.3.16	Exterior Walls	100
5.4	Guidelines for Non-Contributing Properties	104
5.4.1	General Guidelines	104

5.4.1.1 Understanding	104
5.4.1.2 Compliances	104
5.4.1.3 Demolition	105
5.4.1.4 Lot Severances and Assembly	105
5.4.1.5 Spaces Around Buildings	106
5.4.2 Alterations and Additions to Non-Contributing Properties	107
5.4.2.1 Impact on Character Area and District	107
5.4.2.2 Scale, Massing and Location	107
5.4.2.3 Height	107
5.4.2.4 Style	107
5.4.2.5 Roofs	108
5.4.2.6 Chimneys	110
5.4.2.7 Dormers	110
5.4.2.8 Windows	110
5.4.2.9 Shutters	110
5.4.2.10 Entrances and Doors	111
5.4.2.11 Foundations	111
5.4.2.12 Porches, Verandahs and Porticos	111
5.4.2.13 Garages and Coach Houses	111
5.4.2.14 Utility Service Equipment	112
5.4.2.15 Exterior Walls	112
5.5 New Development – Primary Structures	114
5.5.1 General Guidelines	114
5.5.1.1 Good Neighbours	114
5.5.1.2 Impact on Heritage Character of the District	114
5.5.1.3 Location, Scale and Massing	115
5.5.1.4 Height	115
5.5.1.5 Style	116
5.5.1.6 Roofs	116
5.5.1.7 Chimneys	117
5.5.1.8 Dormers	117
5.5.1.9 Windows	118
5.5.1.10 Shutters	119
5.5.1.11 Entrances	119
5.5.1.12 Foundations	120
5.5.1.13 Porches, Verandahs and Porticos	120
5.5.1.14 Garages and Coach Houses	120
5.5.1.15 Utility Service Equipment	121
5.5.1.16 Exterior Walls	121
5.6 New Development – Detached Additional Residential Unit	122
5.6.1.1 Impact on Heritage Character of the District	122
5.6.1.2 Location, Scale and Massing	122

5.6.1.3 Height	123
5.6.1.4 Style	123
5.6.1.5 Roofs	123
5.6.1.6 Chimneys	124
5.6.1.7 Dormers	124
5.6.1.8 Windows	124
5.6.1.9 Shutters	125
5.6.1.10 Entrances	125
5.6.1.11 Porches and Porticos	125
5.6.1.12 Utility Service Equipment	126
5.6.1.13 Exterior Walls	126
5.7 Landscape and Site Design Guidelines for Privately Owned Lands (Contributing and Non-Contributing)	127
5.7.1 General Guidelines	127
5.7.1.1 Soft Landscaped Areas and Trees	127
5.7.1.2 Surface Treatments and Hardscaping	127
5.7.1.3 Fencing and Walls	127
5.7.1.4 Outdoor Use Associated Structures (Sheds, Gazebos and Cabanas)	130
5.7.1.5 Screening and Buffering	130
5.7.1.6 Lighting	131
5.8 Landscape and Site Guidelines for Public Lands (Contributing/Non-Contributing)	132
5.8.1 General Guidelines	132
5.8.1.1 Paved Areas	132
5.8.1.2 Street Trees and Boulevards	132
5.8.1.3 Street Furniture, Lighting and Utilities	133
5.8.1.4 Views	133
5.8.1.5 Public Parks and Open Space	133
5.8.1.6 Wayfinding	134
6 EXEMPT ALTERATIONS AND CLASSES OF ALTERATIONS	135
6.1 Exempt Heritage Permit Work	136
6.1.1 Private Property	136
6.1.2 Public Realm Property	138
6.2 Emergency Work	141
7 HERITAGE CONSERVATION DISTRICT REVIEW PROCESS	142
7.1 Heritage Conservation District Review Process	143
8 GLOSSARY AND TERMS	144
8.1 Glossary of Terms	145
9 BIBLIOGRAPHY AND SOURCES	149
9.1 Bibliography	150

LIST OF APPENDICES

Appendix A: Consultation Summary	152
Appendix B: Town of Oakville Council Objectives	154
Appendix C: General Standards for Preservation, Rehabilitation and Restoration	157
Appendix D: Eight Guiding Principles in the Conservation of Built Heritage Properties	159
Appendix E: Examples of Good Neighbours	160
Appendix F: Town's List of Appropriate Tree Species	167

LIST OF MAPS

Map 1: Boundaries of Old Oakville Heritage Conservation District	11
Map 2: Old Oakville HCD, Views	24
Map 3: Contributing and Non-Contributing Properties	26
Map 4: "Good Neighbour" Properties	26
Map 5: Streetscape and Landscape Characterization in Old Oakville	30
Map 6: Map of Adjacent Properties to the North of the Old Oakville	38
Map 7: Old Oakville zoning from Town of Oakville Zoning By-law 2014-014	39
Map 8: HCD and CHL Boundaries	44
Map 9: Old Oakville Character Areas	48

LIST OF TABLES

Table 1: Property Status (Contributing or Non-Contributing) in the District	27
Table 2: Property Address List by Character Area	49
Table 3: Community and Key Stakeholder Engagement Summary	152
Table 4: General Standards for Preservation, Rehabilitation and Restoration	157

LIST OF FIGURES

Figure 1: How to use the plan	15
Figure 2: Oakville Harbour CHL boundary	42
Figure 3: Erchless Estate CHL boundary	43
Figure 4: How to use the Plan	47
Figure 5: How to conserve views and vistas	54
Figure 6: Building elevations and height following the topographical slope	57
Figure 7: 143 Front Street – Cedar shake gable roof with dormers and stucco cladding	70
Figure 8: 212 Front Street (left) – Cedar shake hip roof with dormers and stucco cladding	71
Figure 9: 176 Front Street (right) – Cedar shake gable roof with stucco cladding	71
Figure 10: 329 William Street (left) – Cedar shake hip roof with stucco cladding	71
Figure 11: 307 William Street (right) – Asphalt hip roof with horizontal wood cladding	71
Figure 12: 65 Navy Street (left) – Asphalt gable roof on house and garage with stucco cladding	71
Figure 13: 301 William Street (right) – Asphalt gable roof with stucco cladding	71
Figure 14: 27 Reynolds Street – Asphalt gable roof with shake cladding	72
Figure 15: 53 Dunn Street (left)	73

Figure 16: 295 King Street (right)	73
Figure 17: 26 Thomas Street (left) – Wood window with storm	75
Figure 18: 329 William Street (right) – Wood windows with storms	75
Figure 19: 308 William Street (left) – Wood windows with storm and operating louvered shutters	77
Figure 20: 65 Navy Street (right) – Wood windows with thermal pane and operating louvered shutters	77
Figure 21: 215 William Street – Wood windows with storm and operating shutters	77
Figure 22: 29 Navy Street (left) – Main entrance wood door with surround facing street	79
Figure 23: 212 Front Street (right) – Main entrance wood door with wood storm door facing street	79
Figure 24: 212 King Street – Main entrance wood door facing street	79
Figure 25: 145 William Street – Main entrance wood door facing street	80
Figure 26: 115 William Street – Lakestone foundation	81
Figure 27: 53 Navy Street (left)– Open wrap-around porch	82
Figure 28: 19 Navy Street (right) – Glassed-in side porch	82
Figure 29: 154 King Street (left) – Open wrap-around porch	83
Figure 30: 27 Reynolds (right) – Covered porch	83
Figure 31: 295 & 297 William Street (left) – Open front porch	83
Figure 32: 212 King Street (right) – Covered open porch	83
Figure 33: 19 Navy Street – Detached garage	84
Figure 34: 29 Thomas Street (left) – Detached garage (restored barn)	84
Figure 35: 32 Thomas Street (right) – Detached garage	84
Figure 36: 22 Reynolds Street (left) – Detached garage	85
Figure 37: 65 Navy Street (right) – Detached garage	85
Figure 38: 66 Dunn Street – Attached 1 ½ storey garage with appearance of detachment through single storey connection to main residence	85
Figure 39: 145 William Street (left) – Separate coach house set back in rear yard	86
Figure 40: 53 Navy Street (right) – Coach House set back and facing William Street away from main residence	86
Figure 41: 43 Trafalgar Road (left) – Attached garage with appearance of detachment through single storey connection to main residence	86
Figure 42: Trafalgar Road (right) – Attached single car garage with shed appearance setback to rear of property	86
Figure 43: 18, 20 and 26 Thomas Street (left) – Example of horizontal wood cladding	88
Figure 44: 307 William Street (right) – Example of horizontal wood cladding	88
Figure 45: 53 Dunn Street – Example of horizontal wood cladding	88
Figure 46: 53 Thomas Street (left) – Example of stucco cladding	89
Figure 47: 22 Reynolds Street (right) – Example of stucco cladding	89
Figure 48: 29 Thomas Street (left) – Example of stucco cladding	89
Figure 49: 19 Navy Street (right) – Example of early brick cladding	89
Figure 50: 350 King Street (left) – Example of late 1800s brick cladding	89
Figure 51: 302 William Street (right) – Example of early 1900s brick cladding with open front porch	89
Figure 52: 309 King Street (left) – Example of stucco cladding with shake dormers	90
Figure 53: 43 Trafalgar Road (right) – Combination brick and shake siding with asphalt roof	90

Figure 54: Suggestions on how to locate additions to contributing properties	94
Figure 55: Guidelines for the scale and massing of additions to contributing properties	95
Figure 56: Examples of Muntin Bars – Removable grilles are not permitted.	98
Figure 57: 19 Navy Street – addition to rear and visible from side street; height of addition steps down; consistency in roof form and style of windows/doors and trim; complementary use of materials including brick and horizontal wood cladding	101
Figure 58: 273 William Street (left) – addition to west; height of addition matches; consistency in roof form and style of windows/doors and trim; complementary use of materials	102
Figure 59: 66 Dunn Street (right) – small addition to rear and visible from side yard. Height of addition matches; consistency in roof form and style of windows/doors and trim; complementary use of materials with shake cladding distinct from stucco	102
Figure 60: 53 Navy Street (left) – addition to rear and visible from William Street. Height of addition matches; consistency in gable roof form stucco cladding and public facing style of windows/doors and trim	102
Figure 61: 188 William Street (right) – addition to rear and visible from William Street. Height of addition is lower than original, combination of consistent stucco cladding and complementary horizontal wood cladding; wood windows in complementary style	102
Figure 62: 308 William Street (left) – addition to rear and visible from Reynolds Street. Height of addition is lower than original, consistent horizontal wood cladding and chimney style, wood French doors in complementary style	103
Figure 63: King Street (right) – small addition to rear and visible from side yard facing George Street. One storey “connection” to original creates impression of outbuilding; complementary gable shake roof and use of colour; distinction in cladding through use of horizontal wood and in window form	103
Figure 64: Examples of roof forms	109
Figure 65: Guidelines for siting new development within the existing streetscape	115
Figure 66: Guidelines for roof forms in the District	117
Figure 67: Guidelines for the solid-to-void ratio of new development	119
Figure 68: 226 William Street – low lying lakestone wall across front of house with soft landscaping and open vistas to westerly side yard	128
Figure 69: 32 Thomas Street (left) – combination plank with lattice fencing and soft landscaping along King Street	128
Figure 70: 66 Dunn Street (right) – combination of open picket fencing and low soft landscaping along north side of William Street allowing for vistas across and into property	128
Figure 71: 274 King Street (left) – combination plank with lattice fencing and soft landscaping enables vistas towards lake	129
Figure 72: 235 Front Street (right) – historic iron fencing with stone pillars and low soft landscaping	129
Figure 73: 308 William Street (left) – low lying picket fence running along William and Reynolds Streets supports open vistas at corner	129
Figure 74: 53 Navy Street (right) – low lying picket fence and soft landscaping along south side of William Street – enabling open vista at corner	129

Figure 75: Navy Street Erchless Estate (left) – low stone wall with stone pillars and wooden gate	130
Figure 76: Navy Street (right) – Lawn Bowling Club and Market Square	130
Figure 77: Continuous street edge with porous and low-lying fencing/wall treatments	130

GLOSSARY OF ABBREVIATIONS

ARA – Archaeological Research Associates Ltd.
CHVI – Cultural Heritage Value or Interest
CHL – Cultural Heritage Landscape
CHRIA – Cultural Heritage Resource Impact Assessment
HCD – Heritage Conservation District
MCM – Ministry of Citizenship and Multiculturalism
OBC – Ontario Building Code
OHA – *Ontario Heritage Act*
O. Reg. – Ontario Regulation
OP – Official Plan
PPS – Provincial Policy Statement
S&G – Standards and Guidelines for the Conservation of Historic Places in Canada

Full Glossary Found in Section 8.



1 | INTRODUCTION

1.1 Background of the Old Oakville Heritage Conservation District

On January 2, 1979, Council passed By-law 1979-003, being a bylaw of intent defining the area south of Robinson Street, east of the Sixteen Mile Creek and west of Allan Street to be studied as a Heritage Conservation District (HCD) under the *Ontario Heritage Act*.

Three public meetings were held with the Local Architectural Conservation Advisory Committee and the Planning and Development Services Department to review the Study.

On July 7, 1980, Council adopted the final report on the HCD and stipulated that the document was to be a policy document for the administration of alterations to buildings within the Old Oakville Heritage Conservation District (the District or the Old Oakville HCD).

The Ministry of Citizenship and Culture later endorsed the document on February 16, 1981. By-laws 1981-144 and 1982-044, which formally designated the Old Oakville Heritage Conservation District, were approved by the Ontario Municipal Board on July 5, 1982.

The Old Oakville HCD is a largely residential area that includes 128 lots as shown in Map 1.

Since the Old Oakville HCD By-law was passed, there have been numerous changes to heritage legislation, including updates to the *Ontario Heritage Act* in 2005, 2021 and 2023. To ensure the Old Oakville HCD follows current heritage practices, a new HCD Study and a new Plan and Guidelines for the District is required.

The HCD Study was approved by Town Council on February 5, 2024. The HCD Study includes a Statement of Cultural Heritage Value or Interest which outlines the heritage value of the district, and its heritage attributes. The Statement is supported by an inventory of properties, as well as the development of five Character Areas and a streetscape overlay within the District.

This document is the second part of the District update process: the updated Plan and Guidelines (the Plan). The Plan provides the basis for the careful management and protection of the area's cultural heritage value and its heritage attributes, including buildings, spaces, and landscape features.

This Plan has been developed with the community through an extensive consultation process (see Appendix A).



Map 1: Boundaries of Old Oakville Heritage Conservation District

1.2 What is a Heritage Conservation District?

The *Ontario Heritage Act* (OHA or the Act) is the key provincial legislation that enables municipalities to conserve, protect, and manage heritage properties and areas. There are two parts to the Act that concern cultural heritage: Part IV enables a municipality to designate individual properties that are of cultural heritage value or interest; and Part V enables a municipality to designate groups or areas of properties that demonstrate cultural heritage value.

Prior to designating a district, it is required by the Act to study an area in order to identify the cultural heritage value or interest (CHVI) of a prospective district.

Ontario Regulation 9/06 as amended by Ontario Regulation 569/22 sets out the criteria for designation of an HCD. Specifically, 3. (2).1 notes that 25 percent or more of the properties within the boundaries must meet two or more of those criteria.

The Town of Oakville's Official Plan, *Livable Oakville*, requires that cultural heritage resources, including HCDs, be protected and conserved per applicable legislation and recognized heritage protocols.

The Town of Oakville has a Cultural Heritage Landscape Strategy, further described in Section 4.9. The Old Oakville HCD is a significant cultural heritage landscape, as all HCDs are. This is because HCDs include not only built structures, but also natural heritage features, lot patterns and setbacks, transportation routes and other associated patterns of development, and recognize the importance of the landscape as a whole.

The purpose of this Plan is to guide and manage change to protect and conserve the cultural heritage value and heritage attributes of the District.

1.3 Intent of the Plan

HCDs focus on the conservation of cultural heritage resources within the District boundary. This designation protects what exists and manages change to prevent negative impacts to the District's cultural heritage value and heritage attributes.

An HCD does not keep an area 'frozen in time' or require restoration of buildings to a specific time. It is intended to permit responsible, meaningful changes that are compatible with the character of the District.

HCDs are concerned with the visible heritage attributes from the public realm, including buildings, landscapes and open spaces. District designation does not impact interior alterations.

This Plan is intended to provide the framework to maintain and enhance the District's heritage attributes for the overall benefit of the community and future generations.

This Plan will be used when a property owner decides to alter their property.

1.4 OHA Requirements: Heritage Conservation District Plans

As noted in the HCD Study, the Plan contains a number of provisions that satisfy the requirements of Subsection 41.1(5) of the *Ontario Heritage Act*, including the following:

- A statement of the objectives to be achieved in maintaining the area as a Heritage Conservation District (Section 3)
- A statement explaining the cultural heritage value or interest of the Heritage Conservation District (Section 2.1)
- A description of the heritage attributes of the Heritage Conservation District and of properties in the District (Section 2.2)
- Categorization of properties according to whether they are ‘contributing’ (having cultural heritage value) or ‘non-contributing’ (not having cultural heritage value) (Section 2.3)
- Design guidelines for alterations and additions to buildings and structures that are considered to have heritage value (Section 5.3)
- Design guidelines for alterations and additions to buildings and structures that are considered to have no or limited heritage value (Section 5.4)
- Guidelines on new construction as infill development (Section 5.5)
- Guidelines on demolition and removal of buildings and structures (Section 5.3.1.3 and 5.4.1.3)
- Landscape conservation guidelines for both public and private property (Sections 5.7 and 5.8)
- Guidelines for streetscape improvements within the HCD (Section 5.8)
- Consideration of the Character Areas in development of the guidelines (Section 5.2)
- Recommended changes to municipal planning and administrative procedures (HCD Study)
- Up-to-date information on current federal and provincial legislation and Town of Oakville processes and policies as they relate to the HCD (Section 4)
- Descriptions of alterations or classes of alterations that can be carried out without obtaining a heritage permit under section 42 of the *Ontario Heritage Act* (Section 6)

1.5 What is a Heritage Permit?

All properties in the Old Oakville HCD are designated under Part V of the *Ontario Heritage Act*. Under Section 42 of the *Ontario Heritage Act*, a permit is required for the ‘erection, demolition, removal or alteration of a building or structure or any part of a property’ within a District, regardless of whether the property is identified as ‘contributing’ or ‘non-contributing’.

Property owners should use this Plan when planning any maintenance work, repairs, alterations, additions or new construction on their property.

Owners of property within the Old Oakville HCD must apply for a heritage permit for any alteration that might result in the loss, removal, obstruction, replacement, damage or destruction of one or more heritage features on the property or impact the heritage attributes of the District.

Proposed alterations are reviewed by town staff and, if applicable, the Heritage Oakville Advisory Committee and Council, for consistency with this Plan, as well as any other applicable heritage legislation.

1.6 When is a Heritage Permit Required?

Property owners must contact Heritage Planning staff to arrange a pre-consultation meeting prior to the submission of a heritage permit application to ensure the proposed application meets the relevant requirements. Heritage Planning staff can also help owners with the application process.

Work within the District falls into three categories:

1. **Minor**

A minor heritage permit is needed when small to medium changes to a property are proposed that may have a negligible impact on the cultural heritage value of the District and/or its heritage attributes.

If the proposed minor work is deemed to be in keeping with this Plan, then Planning and Development Services staff, by way of the town’s Delegation By-law 2022-021, can approve the work on behalf of Town Council.

This process can take 5-7 business days from the receipt of a complete application.

If Planning and Development Services staff cannot support a minor heritage permit application for approval or approval with conditions, the heritage permit application is required to follow the process for a major heritage permit application.

2. **Major**

A major heritage permit is needed when significant changes or modifications are proposed which will have, or has the potential to have, major impacts on the cultural heritage value and/or the heritage attributes of the District.

Major heritage permits are reviewed by the Heritage Oakville Advisory Committee whose recommendations are then provided to Town Council for the final decision.

This process can take 60-90 days from the receipt of a complete application.

3. **Exempt**

Section 7 outlines the works that are exempt from a heritage permit. Exempted actions may include proposed works that are:

- undertaken within a small area; or
- small in scope and confined to areas that are out of sight from public view; or
- constitute routine maintenance; or
- do not impact any cultural heritage values or attributes.

Note:

A heritage permit application/approval does not preclude consideration of other applicable policies and regulations, including (but not limited to) applications for zoning amendments, minor variances, site plan, building permits, sign permits, site alteration, or tree removal permits.

Town staff and, when needed, Heritage Oakville Advisory Committee members will review all properties with an understanding of unique site-specific considerations and should be made aware of other approvals required by the applicant at the time of submission for their heritage permit application.

1.7 How to Use the Plan

The flowchart below shows which sections of the Plan are used to manage proposed changes:

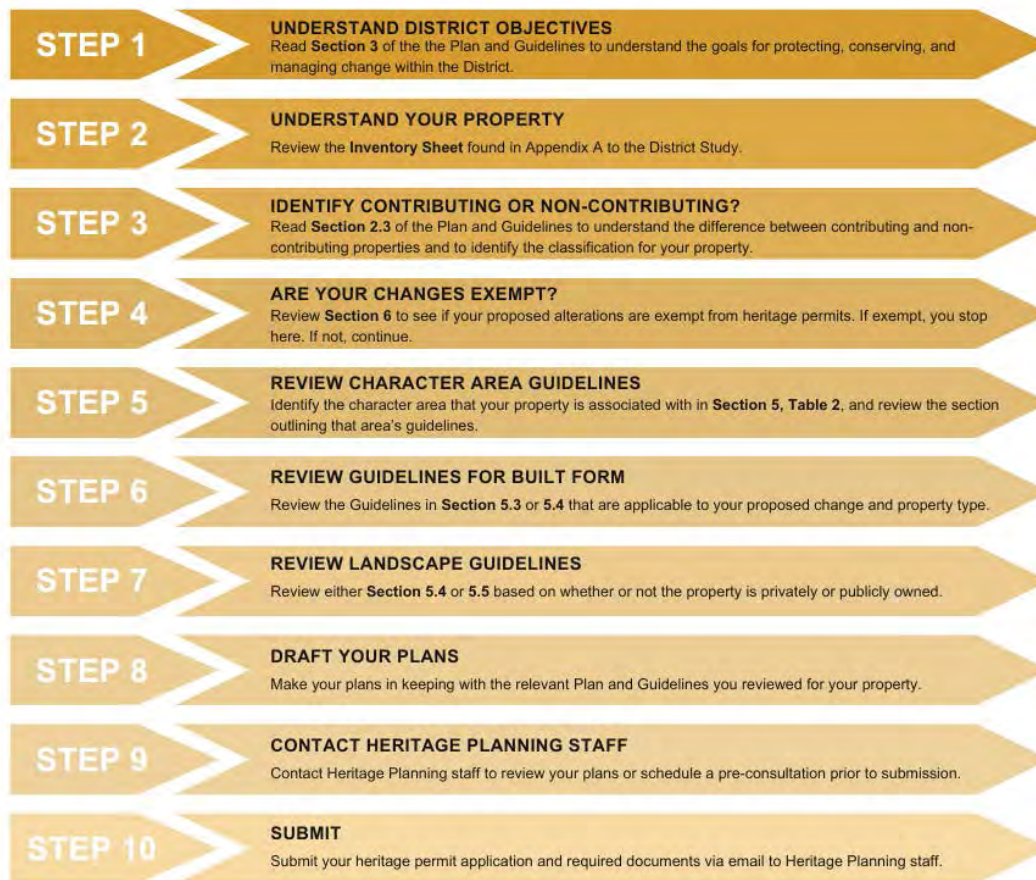


Figure 1: How to use the plan



2 | CULTURAL HERITAGE VALUE OF THE DISTRICT

2.1 Statement of Cultural Heritage Value or Interest

The Old Oakville Heritage Conservation District (the District) comprises 128 lots within an irregularly shaped boundary lined by Robinson Street, Allan Street, Navy Street and Lake Ontario. The lots within these boundaries represent several phases of boom and bust from the historic settler community. The District is largely residential with the exception of two churches, a private recreational facility and several town-owned parks.

The District boundary follows the southern property line of Robinson Street, extending from Sixteen Mile Creek to the middle of Allan Street.

The District is a significant cultural heritage landscape. The undulating topography, Lake Ontario and Sixteen Mile Creek shorelines and views, mature vegetation, and two centuries of settlement are part of this organically evolved cultural heritage landscape.

The District's low-density scale and height, large parcel sizes, mixed building setbacks, openness at intersections, street tree cover, wide viewsheds, and permeable fencing types create an open landscape and pedestrian-scaled experience. This is enhanced by the historic road grid configuration, typology and block size.

The District can be understood through a Character Area framework that identifies distinct historic streetscape and landscape features. Five distinct streetscape and landscape Character Areas and one streetscape overlay were identified in the Old Oakville Heritage Conservation District Study: Waterfront Open Space, Old Oakville Settlement Area, Gully Landscape, Mixed Residential Development Pattern, St. Andrew's Traditional, and the Key Streetscape Overlay. The character areas and streetscape overlay contribute to the overall cultural heritage value or interest and the heritage attributes of the District.

Design and Physical Value

The Old Oakville Heritage Conservation District has design/physical value as a representative example of an organically evolved cultural heritage landscape. Its origins are a historic harbourside settler residential community dating from the early-to-mid 19th century. The District reflects a variety of architectural styles from the 19th and early 20th centuries that contribute to a varied, yet cohesive streetscape.

The District has retained much of the lot patterns and historic street grid based on Deputy Surveyor J.H. Castle's 1833 Town of Oakville plan. Over half of the buildings of the District were constructed between 1830 and 1900 by families of different means and professions. Another quarter of the properties in the District were constructed in the second historic residential building boom between 1900 and 1930. This is reflected in the variety of architectural forms, including Georgian, Neoclassical, Classic Revival, Cottage, Gothic Revival, Edwardian and their vernacular expressions.

Viewed individually, these buildings represent their architectural styles. Viewed collectively, they create a robust and varied streetscape of residential buildings interspersed with churches and parkland. The District has a village-like feel due to its historic street grid, low-density residences with lower lot coverages. Modest-sized historic homes line intimate streetscapes designed for pedestrians. The character of the area also includes designed green spaces such as Lakeside Park, and the Erchless Estate, and the semi-natural river harbour on Sixteen Mile Creek.

The Old Oakville Heritage Conservation District has design/physical value as it contains a unique concentration of designed green spaces along the shoreline of Lake Ontario and steep banks along Sixteen Mile Creek.

These designed spaces include: Lakeside Park, Market Square, Dingle Park and George Street Parkette, the Oakville Harbour on Sixteen Mile Creek, and the Erchless Estate. The evolution of this area began as a woodland through the 1868 inspired legacy of Mayor W. F. Romain who led the restoration of landscape to the pre-colonial canopy and Oakville's "grove-like aspect."

Historical and Associative Value

The Old Oakville Heritage Conservation District has historical/associative value due to its direct association with the themes of early 19th century commercial development, early 20th century industrial and residential booms, and 20th century recreation that have contributed to the overall growth and identity of the Town of Oakville.

In the 19th century, the Oakville Harbour was not only home to important local industries and businesses but was also a busy shipping port for local exports including wheat and lumber. While the commerce for Oakville was initially founded on wood products and wheat, the area became associated with shipbuilding when William Chisholm established a shipyard on Sixteen Mile Creek at the top of Navy Street. Oakville became well known around the Great Lakes and elsewhere for the good quality of the large ships and schooners built here.

When commercial activity shifted to the rail line north of the downtown, the District stagnated for some years before residential growth began to climb again following the first World War. Commercial shipbuilding in the Oakville Harbour had declined due the popularity of the railway; however, the building of smaller watercraft continued to make Oakville well known. This supported re-orientation from industrial and commercial uses to publicly accessible recreation around the mouth of the harbour and along the Lake Ontario shoreline.

Oakville's position on Lake Ontario makes it a prime destination for day-trippers and vacationers. Lakeside Park was established in 1897, and several structures within the District have direct associations with recreation, such as the Oakville Club and Oakville Lawn Bowling Club. The area along the mouth of Oakville Harbour and shoreline of Lake Ontario remains an important recreational hub of the Town of Oakville.

The Old Oakville Heritage Conservation District has historical/associative value through its direct associations with Oakville's founding family, the Chisholms, other settler families who were instrumental to the growth of Oakville in the 19th century, and William Sinclair Davis, one of Oakville's most successful businessmen and real estate brokers.

The District is part of the land purchased by Colonel William Chisholm in 1828 from the Mississauga Reserve lands to develop a port at the mouth of Sixteen Mile Creek. Oakville was the result of foresight and planning on the part of Chisholm, who was aware of the commercial possibilities of a harbour at the mouth of Sixteen Mile Creek and the value of the river's waterpower for manufacturing. Chisholm, considered the settler founder of Oakville, opened the first Customs House on the Erchless property in 1834. The townsite was surveyed in 1833 and Oakville grew around the commercial harbour with Market Square established in 1833. Many of the first buildings in the District were constructed by the shipbuilders and carpenters who worked in the Oakville Harbour.

The settler families who lived in the District influenced the early industrial, commercial and social growth of Oakville. These families include, but are not limited to: the Andrews, the Marlatts, the Williams, the McCorquodales, the Ryans, the Pattersons, the Sumners and the Barclays.

William S. Davis, who lived just outside the District on First Street, was a key player in the residential boom in the District between 1900-1930 and constructed many of the buildings in the District that date to this period.

The Old Oakville Heritage Conservation District has historical/associative value through its direct association with two places of worship that are significant to the community: St. Andrew's Catholic Church and St. Jude's Anglican Church.

Each of these churches influenced the residential growth in the blocks surrounding them, provided social, educational and spiritual support for residents of the District and beyond, and have remained important in the community since their respective constructions. St. Andrew's Catholic Church also supported St. Mary's School, which was located to the east of the historic church building and the convent of the Sisters of Notre Dame.

The Old Oakville Heritage Conservation District has historical/associative value through its potential to yield information that contributes to the understanding of the pre-contact Indigenous inhabitants.

Sixteen Mile Creek and the surrounding area is part of the treaty land and territory of the Mississaugas of the Credit First Nation as well as the traditional territory of the Huron-Wendat and the Haudenosaunee peoples. The Mississaugas called the river Nanzuhzaugewazog meaning 'having two outlets', a reference to the shallow, gravelly mouth dividing the river in two and used the river for fishing, especially salmon. The British Crown recognized this area as Haudenosaunee land in the 1701 Fort Albany Nanfan Treaty and Six Nations' rights to these lands have never been ceded. The Mississaugas of the Credit ceded their lands on the Sixteen Mile Creek under Treaty 22 on February 8, 1820, to the British Crown as part ongoing European colonization and settlement of Indigenous territories. The confluence at the mouth of Sixteen Mile Creek and Lake Ontario continues to hold significance for the Mississaugas of the Credit First Nation and the Six Nations of the Grand River.

Contextual Value

The Old Oakville Heritage Conservation District has contextual value due to its physical, functional, visual, and historical links to its surroundings.

The District consists of terrain that gently slopes towards Lake Ontario, becoming steeper towards the Sixteen Mile Creek. The District grew around the harbour at the mouth of Sixteen Mile Creek in the early 19th century. Residences line the original town street grid, with some properties retaining their original layout. Open space along the waterfront provides active and passive recreational amenities to serve the neighbourhood and visitors from within and outside of Oakville. The north-south streets largely terminate at Lake Ontario, providing views of the lake.

The Old Oakville Heritage Conservation District has contextual value because it is important in defining, maintaining, or supporting the character of an area. Together, the properties in the District have a distinct character.

The District has a village-like feel due to its historic street grid, low-density residences with lower lot coverages. Modest-sized historic homes line intimate streetscapes designed for pedestrians. The District's mature vegetation and tree canopy provides cover over the streetscape and public lands. The sloping topography, both towards the Lake and into a central gully, create variations along the street that helps to define the distinct character of the District.

The Old Oakville Heritage Conservation District has contextual value because it is recognized as a landmark.

Located along the shore of Lake Ontario, the District itself is a landmark with its paths and parks, views to the lake and the unique historic streetscapes. The District also has numerous individual properties that are landmarks to the community, including the Erchless Estate, Lakeside Park, St. Andrews Catholic Church and St. Jude's Anglican Church.

2.2 Description of Cultural Heritage Attributes

The Old Oakville Heritage Conservation District has design/physical value as a representative example of an organically evolved historic harbourside residential community dating from the early 19th century and early 20th centuries. The District reflects a variety of architectural styles and a concentration of designed green spaces along the shoreline of Lake Ontario and steep banks along Sixteen Mile Creek. All of these elements contribute to the District's varied, yet cohesive, streetscape. The District contains the following heritage attributes that reflect these values:

- The lot patterns and historic street grid based on the 1833 survey and original ¼ acre lots
- Contributing properties of modest scale, massing, height and lower lot coverages
- Structures dating from the early 19th to early 20th century representing a variety of architectural styles in vernacular interpretations/materials that reflect the District's organic evolution
- Traditional construction, materials and architectural features of *heritage buildings*, including stucco and wood cladding; gable and hip roof forms; multipaned wood framed windows and wood shutters
- The orientation of main entrances towards the street
- Side yard driveways with rear or side yard garages and outbuildings
- Corner lots with open views/vistas
- Varied building setbacks
- Low-lying permeable fencing and soft landscaping along sidewalks and curbs
- Mature trees on both private and public lands highly visible from the public realm
- The contributing properties adjacent to St. Andrew's Catholic Church with generous building setbacks, larger lot sizes, similar architectural character, and the predominant use of stucco
- The contributing properties adjacent to St. Jude's Anglican Church with large front and side yard buildings setbacks, generous spacing between buildings and use of stucco cladding
- Front Street, Navy Street and Water Street rights-of-way
- Public open spaces including Lakeside Park, Market Square, Dingle Park and George Street Parkette
- The significant cultural heritage landscape of the Oakville Harbour, specifically the semi-natural river mouth of Sixteen Mile Creek

- The significant cultural heritage landscape of the Erchless Estate
- Five distinct streetscape and landscape Character Areas and one streetscape overlay that acknowledge distinct features associated with the organic evolution of the District from the early 19th century through to the early 20th century.

The Old Oakville Heritage Conservation District has historical/associative value for its direct associations with the early 19th century commercial development of the village of Oakville, with 20th century recreation and town building, and with Oakville's founding family, the Chisholms, other settler families and early 20th century developer W.S. Davis. The District contains the following heritage attributes that reflect this value:

- The lot patterns and historic street grid based on the 1833 survey and original ¼ acre lots
- Contributing properties that date from the early 19th to early 20th century directly associated with Oakville's founding family, other settler families and early 20th century developer W.S. Davis
- Contributing properties with buildings dating from the early 19th to early 20th century representing a variety of historic architectural styles and materials that are reflective of the District's organic evolution
- The contributing properties including architectural style, form and materials of buildings historically associated with St. Andrew's Catholic Church and St. Jude's Anglican Church
- The open garden and lawn space to the west of St. Jude's Church (between King Street and William Street)
- The Oakville Club
- The Oakville Lawn Bowling Club
- The public open spaces along Sixteen Mile Creek and Lake Ontario
- The Oakville Harbour Cultural Heritage Landscape heritage attributes within the District as outlined in Bylaw 2020-125
- The Erchless Estate Cultural Heritage Landscape heritage attributes within the District as outlined in Bylaw 2019-057

The Old Oakville Heritage Conservation District has historical/associative value for its potential to yield information that contributes to the understanding of the pre-contact Indigenous inhabitants. The District contains the following heritage attributes that reflect this value:

- The known and potential archaeological resources
- The waters and shorelines of Lake Ontario and the Sixteen Mile Creek
- The pedestrian trail leading from Dingle Park to Allan Street.

The Old Oakville Heritage Conservation District has contextual value because it is important in defining, maintaining, or supporting the character of an area. The District contains the following heritage attributes that reflect this value:

- The lot patterns and historic street grid based on the 1833 survey and original ¼ acre lots
- Contributing properties of modest scale, massing, height and lower lot coverages
- Structures dating from the early 19th to early 20th century representing a variety of architectural styles in vernacular interpretations/materials that reflect the District's organic evolution

- The openness on public and private lands at corner intersections
- The road configuration combining traditional town form and laneways
- Varied building setbacks
- Low-lying permeable fencing and soft landscaping along sidewalks and curbs
- The mature trees on both private and public lands highly visible from the public realm
- Five distinct streetscape and landscape Character Areas and one streetscape overlay acknowledge distinct features associated with the organic evolution of the District from the early 19th century through to the early 20th century.

The Old Oakville Heritage Conservation District has contextual value due to its physical, functional, visual and historical links to its surroundings. The District contains the following heritage attributes that reflect this value:

- The lot patterns and historic street grid based on the 1833 survey and original ¼ acre lots
- Contributing properties of modest scale, massing, height and lower lot coverages
- The widening at corner intersections and the road configuration combining traditional town form and laneways
- The steep banks along Sixteen Mile Creek and the gentle sloping topography within the District – north/south and east/west
- The built form of contributing properties that respond to the changing topography including heights of buildings that follow the topographical slopes, terraces, retaining walls and exposed foundations
- Views as shown in Map 2: Views and vistas:
 - Long views to Lake Ontario along and at the road terminus of Navy Street, Thomas Street, George Street, Dunn Street, Trafalgar Road, Reynolds Street and Allan Street, fronting onto the waterfront open space.
 - Navy Street's wide viewshed into Lake Ontario as it opens up into Lakeside Park
 - Long views from the District to Downtown Oakville along and at the road terminus (e.g. Navy Street, Thomas Street, George Street, Dunn Street, Trafalgar Road, Reynolds Street and Allan Street)
 - Long viewsheds to St. Jude's and St. Andrew's churches
 - Continuous vistas to the lake, except in the gully streetscape, along Front Street
 - Continuous vistas to Lake Ontario, Sixteen Mile Creek and the harbour along the trail system within the waterfront open space system, including: Erchless Estate, Lakeside Park, George Street Parkette and Dingle Park
- Large building setbacks, porous fencing and low-height soft landscaping supporting openings in the streetscape throughout the District, especially at road intersections framing residential viewsheds
- Five distinct streetscape and landscape Character Areas and one streetscape overlay acknowledge distinct features, views and vistas associated with the organic evolution of the District from the early 19th century through to the early 20th century

The Old Oakville Heritage Conservation District has contextual value because it is recognized as a landmark. The District contains the following heritage attributes that reflect this value:

- The Erchless Estate Cultural Heritage Landscape heritage attributes as outlined in By-law 2019-057
- The Oakville Harbour Cultural Heritage Landscape heritage attributes within the District as outlined in Bylaw 2020-125

- St. Andrew's Catholic Church
- St. Jude's Anglican Church
- The Waterfront trail
- Public open spaces including Lakeside Park, Market Square, Dingle Park and George Street Parkette.



Map 2: Old Oakville HCD, Views

2.3 Property Categorizations: Contributing and Non-Contributing

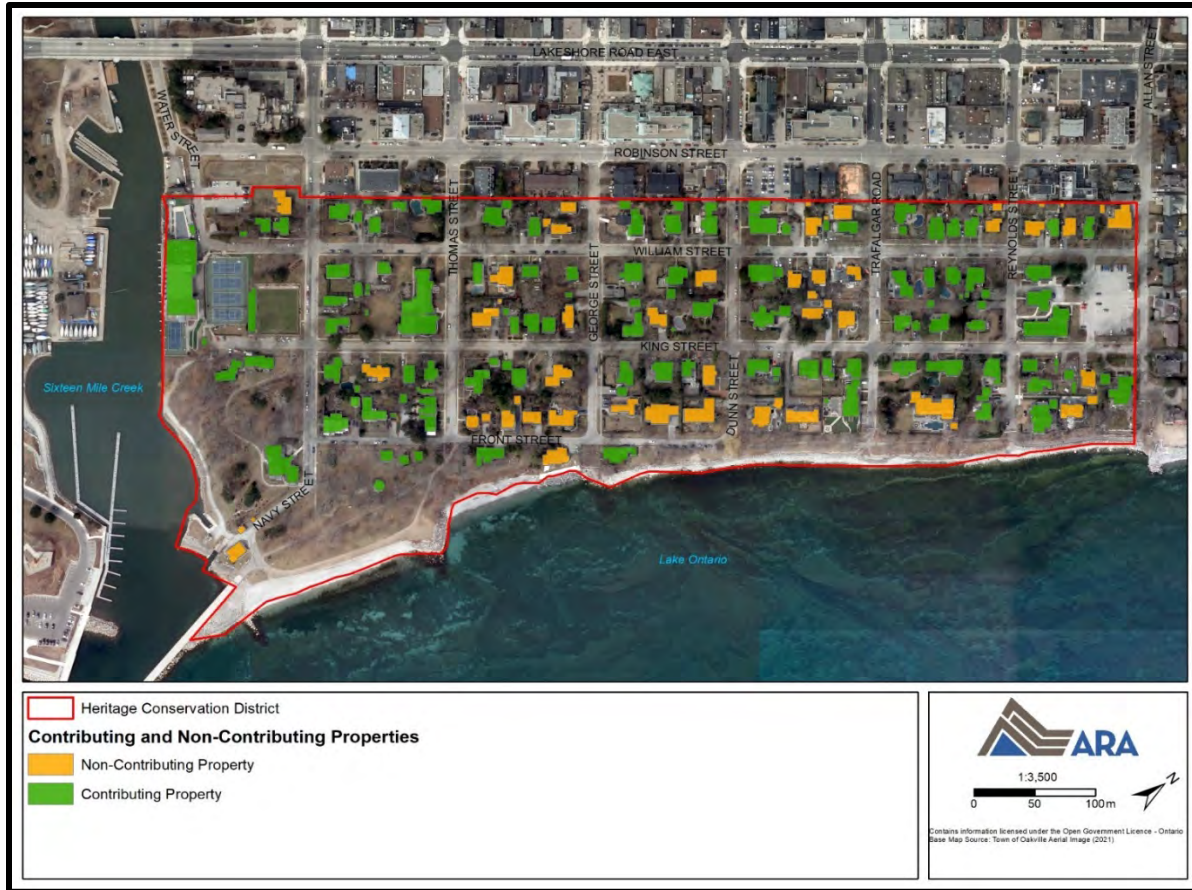
All properties within the District are designated under Part V of the OHA.

Ontario Regulation 9/06 as amended by Ontario Regulation 569/22 sets out the criteria for designation of an HCD. Specifically, 3. (2).1 requires that 25 percent or more of the properties within the boundaries must meet two or more of the criteria. The Old Oakville Heritage Conservation District meets this threshold. This work is based on the inventory created as part of the HCD Study (see Appendix A of the HCD Study), which documented and evaluated each building according to Ontario Regulation 9/06.

There are two categories of properties found in the District:

- a. **Contributing properties** exhibit physical heritage attributes which directly contribute to the cultural heritage value or interest of the District. Most contributing properties contain a heritage building. 90 properties within the District (70%) have been identified as contributing properties. Removing or significantly altering these properties would negatively impact the heritage character of the District. Contributing properties are subject to specific policies which are outlined in Section 5.3.
- b. **Non-contributing properties** do not meet two or more of the criteria outlined in O. Reg 9/06 and therefore do not exhibit significant cultural heritage value. Most non-contributing properties contain a non-heritage building. While they did not meet the test of two criteria under Regulation 9/06, many non-contributing properties in the District are considered “good neighbours” in terms of their site placement, design, scale and massing. Their proximity to, and evolution alongside of, contributing properties give them the potential to impact the heritage character of neighbouring properties, their Character Area and the District. The properties that are considered “good neighbours” are identified in Appendix E. Non-contributing Properties are subject to specific policies which are outlined in Section 5.4.

Table 1 lists all properties within the District and an indication of the status of each property (contributing or non-contributing). The property status is also mapped in Map 3. Good neighbour properties are shown in Map 4.



Map 3: Contributing and Non-Contributing Properties



Map 4: “Good Neighbour” Properties

Table 1: Property Status (Contributing or Non-Contributing) in the District

Property Address	Status	Property Address	Status
21 Dunn St	Non-Contributing	155 King St	Contributing
30 Dunn St	Non-Contributing	177 King St	Non-Contributing
43 Dunn St	Contributing	181 King St	Contributing
53 Dunn St	Contributing	184 King St	Contributing
65 Dunn St	Contributing	187 King St	Contributing
66 Dunn St	Contributing	191 King St	Contributing
69 Dunn St	Contributing	208 King St	Non-Contributing
143 Front St	Contributing	212 King St	Contributing
144 Front St	Contributing	213 King St	Contributing
176 Front St	Contributing	219 King St	Non-Contributing
181 Front St	Non-Contributing	222 King St	Contributing
187 Front St	Non-Contributing	230 King St	Contributing
194 Front St	Non-Contributing	233 King St	Contributing
204 Front St	Contributing	250 King St	Contributing
212 Front St	Contributing	260 King St	Non-Contributing
221 Front St	Non-Contributing	262 King St	Contributing
235 Front St	Non-Contributing	263 King St	Non-Contributing
240 Front St	Contributing	268 King St	Contributing
22 George St	Non-Contributing	274 King St	Contributing
23 George St	Non-Contributing	275 King St	Non-Contributing
44 George St	Non-Contributing	288 King St	Contributing
68 George St	Non-Contributing	290 King St	Contributing
110 King St	Contributing	295 King St	Contributing
114 King St	Contributing	302 King St	Contributing
146 King St	Non-Contributing	309 King St	Contributing
154 King St	Contributing	312 King St	Contributing

Property Address	Status	Property Address	Status
340 King St	Non-Contributing	24 Thomas St	Contributing
350 King St	Contributing	26 Thomas St	Contributing
19 Navy St	Contributing	29 Thomas St	Contributing
2 Navy St	Contributing	32 Thomas St	Contributing
8 Navy Street	Contributing	50 Thomas St	Contributing
29 Navy St	Contributing	53 Thomas St	Contributing
41 Navy St	Contributing	65 Thomas St	Contributing
44 Navy St	Contributing	68 Thomas St	Contributing
45 Navy St	Contributing	23 Trafalgar Rd	Non-Contributing
53 Navy St	Contributing	25 Trafalgar Rd	Non-Contributing
54 Navy St	Contributing	26 Trafalgar Rd	Contributing
64 Navy St	Contributing	43 Trafalgar Rd	Contributing
65 Navy St	Contributing	65 Trafalgar Rd	Contributing
68 Navy St	Non-Contributing	68 Trafalgar Rd	Non-Contributing
70 Navy St	Non-Contributing	56 Water St	Contributing
21 Reynolds St	Contributing	115 William St	Contributing
22 Reynolds St	Contributing	145 William St	Contributing
23 Reynolds St	Non-Contributing	148 William St	Contributing
27 Reynolds St	Contributing	160 William St	Contributing
31 Reynolds St	Contributing	180 William St	Non-Contributing
41 Reynolds St	Contributing	185 William St	Contributing
47 Reynolds St	Contributing	186 William St	Contributing
53 Reynolds St	Contributing	187 William St	Contributing
18 Thomas St	Contributing	188 William St	Contributing
20 Thomas St	Contributing	195 William St	Non-Contributing
21 Thomas St	Non-Contributing	200 William St	Contributing

Property Address	Status	Property Address	Status
214 William St	Contributing	296 William St	Contributing
215 William St	Contributing	297 William St	Contributing
225 William St	Contributing	301 William St	Contributing
226 William St	Contributing	302 William St	Contributing
234 William St	Non -Contributing	307 William St	Contributing
258 William St	Non-Contributing	308 William St	Contributing
263 William St	Non-Contributing	313 William St	Non-Contributing
266 William St	Non-Contributing	323 William St	Non-Contributing
273 William St	Contributing	329 William St	Contributing
274 William St	Non-Contributing	333 William St	Non-Contributing
288 William St	Contributing	339 William St	Contributing
295 William St	Contributing	349 William St	Non-Contributing

2.4 Streetscape and Landscape Character Areas

The Old Oakville HCD is unique because of the combination of elements that create its streetscape character and is a significant cultural heritage landscape. The undulating topography, Lake Ontario and Sixteen Mile Creek shorelines, views in and out of the District, mature tree growth and vegetation, and two centuries of European settlement have created a special character in this area.

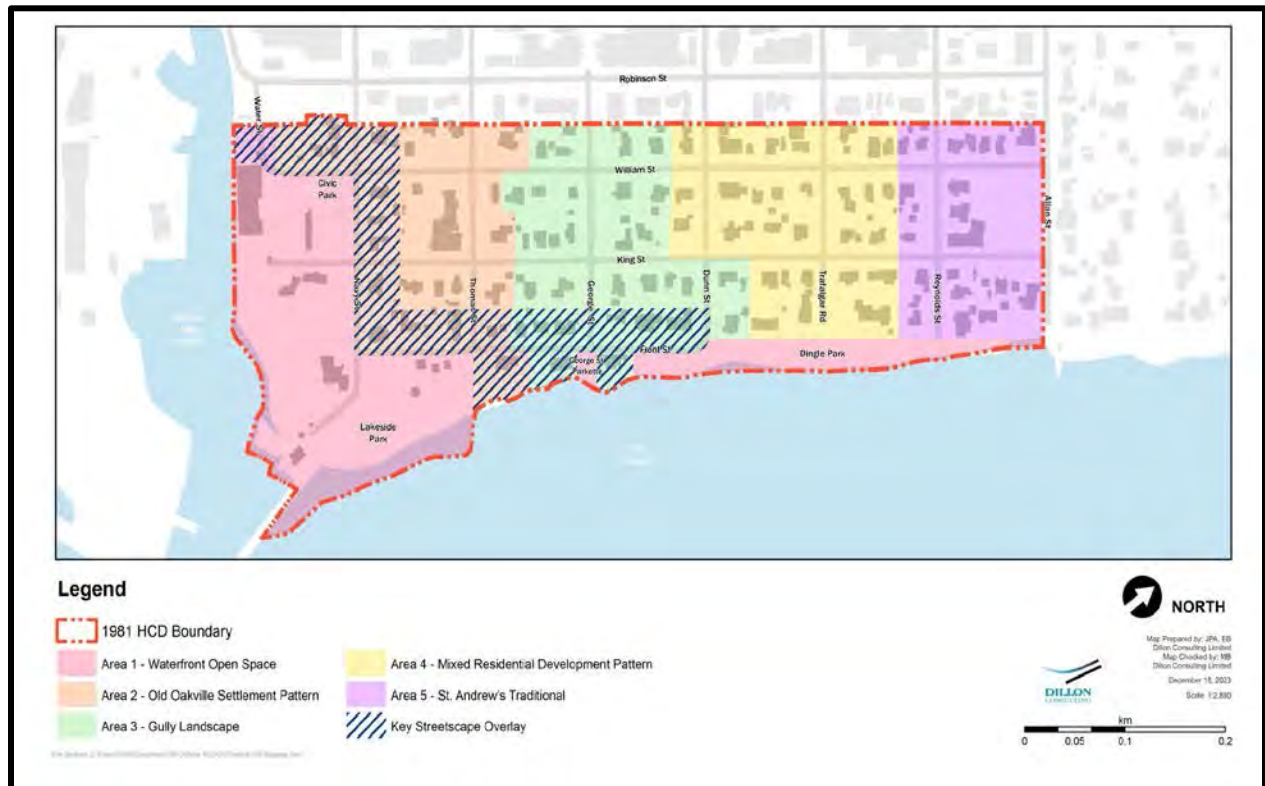
The District's low-density residences, large parcel sizes, mixed building setbacks, widenings at road intersections, street lining/framing tree cover, wide viewsheds and permeable fencing types contributes to its open landscape setting and enjoyable pedestrian experience. The road grid configuration and block size create a very desirable and walkable neighbourhood south of the commercial downtown.

Building on the original 1982 Old Oakville HCD Plan that viewed the area through a 'block' framework, as well as the updated cultural heritage values of the District, the HCD Study introduced a Character Area framework to acknowledge distinct features through the historic, streetscape and landscape analysis of the District.

Five distinct streetscape and landscape Character Areas were established in the HCD Study and in this Plan have area-specific site design guidance that works together with the general guidelines to manage change in the District. The five Character Areas and one streetscape overlay are categorized as:

- **Area 1 - Waterfront Open Space**
- **Area 2 - Old Oakville Settlement Area**
- **Area 3 - Gully Landscape**
- **Area 4 - Mixed Residential Development Pattern**
- **Area 5 – St. Andrew’s Traditional**
- **Key Streetscape Overlay**

Additional streetscape and landscape Character Area guidance specific to each category are outlined in Section 5.2.



Map 5: Streetscape and Landscape Characterization in Old Oakville



3 OBJECTIVES OF THE HERITAGE CONSERVATION DISTRICT

3.1 Introduction

The overall objective of this Plan is the conservation and management of the District's heritage attributes so that its cultural heritage value is protected. This requires understanding the District as a significant cultural heritage landscape, including the built form, spatial relationships and natural elements of the District streetscapes. The District Study provides the information and analysis of the history and context of the District area and should be referred to for additional information when required.

The cultural heritage value of the District as set out in Section 2 of this Plan consists of its design and physical value, its historical and associative value and its contextual value. The heritage attributes of the District include its built form, evolved lot pattern and historic street grid, streetscape, mature trees, vistas and views and public realm.

Specific objectives for the Plan are intended to provide guidance to property owners, tenants, Council, the Heritage Oakville Advisory Committee, town staff and others who have interests in the District when contemplating any changes to the District. They are consistent with the objectives that have been set by the Town of Oakville for the other HCDs in Oakville, as well as heritage best practices. All future changes in the District must be consistent with the objectives of the Plan.

3.2 Specific Objectives for the Plan

- a. To conserve, maintain and enhance the cultural heritage value of the District as expressed through its heritage attributes, contributing properties, streetscape and landscape Character Areas, public realm and land use;
- b. To conserve and enhance views from the public realm identified in this Plan that contribute to the District as a whole and the Character Areas as subsets;
- c. To conserve, maintain and enhance the distinctive assemblage of contributing properties and streetscapes that are an organically evolved CHL. This CHL is a historic harbourside village residential community with historic structures dating from the early-19th century into the mid-20th century;
- d. To conserve and maintain the historic scale, massing and low-density residential character of the built forms, patterns and visual appearance of the Character Areas and the District as a whole;
- e. To conserve and maintain the physical form, scale and architectural features of the range of architectural styles of contributing properties identified in the District;
- f. To conserve, maintain and enhance contributing properties within the District;
- g. To encourage the ongoing maintenance, retention, and adaptation of contributing properties, rather than demolition and replacement. Heritage permits for demolition of heritage buildings on contributing properties are considered rare and a last resort and should not be approved by Council unless no other viable option is available;

- h. To provide residents and property owners with the necessary information regarding appropriate methods of maintenance and conservation through the Plan so that building and repair activities can be undertaken;
- i. To facilitate the restoration of heritage buildings on contributing properties based on a thorough examination of archival and existing evidence and restoration best practices;
- j. To ensure that alterations to contributing properties are compatible to and sympathetic with the heritage attributes of the property, Character Area and District and consistent with the Plan;
- k. To encourage improvements to non-contributing properties that are compatible with the Character Area and the District cultural heritage values and attributes;
- l. To ensure that new development and additions conserve and enhance the cultural heritage value of its Character Area and the District. New development and alteration shall respect the scale, massing and the streetscape character, including contributing built forms, as well as identified views and vistas;
- m. To encourage thoughtful and sympathetic architectural style and form in the design of new development, additions and alterations that are compatible with adjacent contributing properties, the Character Area and the District's cultural heritage values and attributes;
- n. To maintain and enhance the tree canopy cover and park-like settings associated with green spaces visible from the public realm on private properties, public streetscapes and along the shoreline of Lake Ontario and the banks of Sixteen Mile Creek;
- o. To maintain and protect a consistent pedestrian experience of the District as a whole through connectivity including sidewalks, trails, street furniture, and lighting;
- p. To conserve, maintain and enhance the five streetscape and landscape Character Areas and one streetscape overlay as set out in Section 5.2 of this Plan;
- q. To conserve the open spaces including Lakeside Park, Market Square, Dingle Park, George Street Parkette and the significant CHLs and their relationship to adjacent contributing properties;
- r. To conserve, maintain and protect the identified views and vistas in Map 2 and the openness of private and public spaces at corner intersections;
- s. To conserve, maintain and protect the pedestrian scale of existing roads and streetscapes;
- t. To encourage and support environmentally friendly materials and 'green' initiatives where they do not negatively impact the cultural heritage value and heritage attributes of the District;
- u. To ensure public works maintain and conserve the cultural heritage values and heritage attributes of the District; and

- v. To ensure that development and alterations adjacent to the District conserve the District's cultural heritage value.

4 MUNICIPAL POLICY FRAMEWORK



4.1 Introduction

An HCD protects and conserves the cultural heritage value and heritage attributes by managing physical changes to existing properties and ensuring that new development complements the existing heritage resources. The management of changes to properties within an HCD falls under the purview of the OHA. Some changes are also governed by a number of provisions under the *Planning Act*, such as official plans, zoning by-laws, and site plan control.

The successful maintenance and protection of an HCD relies on local planning policies, by-laws and initiatives that complement and support the conservation measures of this Plan. The following section outlines the provincial and municipal legislation/policies that help to manage development within the District.

4.2 Provincial Legislation

The Province of Ontario has made a clear commitment to the conservation of significant cultural heritage resources through its legislation and policies, including the *OHA*, the *Planning Act* and the *Provincial Planning Statement, 2024 (PPS)*.

Section 4.6.1 of the PPS relating to Cultural Heritage and Archaeology states:

Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.

The PPS defines “significant”, in regard to cultural heritage and archaeology, as:

... in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

Further, the PPS defines "conserved" as:

... the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments.

The PPS also states:

4.6.4. Planning authorities are encouraged to develop and implement:
a) archaeological management plans for conserving archaeological resources; and
b) proactive strategies for conserving significant built heritage resources and cultural heritage landscapes.

The equivalence given to conserving built heritage resources and cultural heritage landscapes in the PPS is important, as it reinforces the broad scope of the OHA beyond its initial focus on

built heritage. Heritage conservation districts are significant to communities not just for their built structures, but also their landscape and streetscape character.

The PPS functions together with the OHA by the shared principle that cultural heritage resources shall be conserved.

The OHA sets out the procedures for evaluating and protecting heritage resources at the provincial and municipal levels. This includes the use of Ontario Regulation 9/06 as the means for determining if a property has cultural heritage value. Ontario Regulation 9/06 as amended by Ontario Regulation 569/22 sets out the criteria for designation of an HCD. Specifically, 3. (2).1 notes that 25 percent or more of the properties within the boundaries must meet two or more of those criteria.

While not applicable for the management of all changes within an HCD, certain provisions under the *Planning Act* can be used to negotiate protection or conservation measures under plans of subdivision or condominium, zoning by-law amendments, site plan approvals, and consents. Condition of approval relating to heritage conservation may be used in land division and the creation of new lots.

Zoning by-law amendment provisions, or variations thereof, may stipulate retention of properties or uses within specified heritage buildings as of the date of passing of the by-law and retention of buildings, structures and features may also be specified in site plans.

Authority may also be derived from Section 2(d) of the *Planning Act* (identifying a provincial interest in heritage conservation) and related provincial planning statements.

4.3 The Livable Oakville Plan

An Official Plan is a document required by the *Planning Act* that sets out municipal council or planning board's policies on how land in your community should be used.

Section 16 of the *Planning Act* requires that Official Plans contain:

goals, objectives and policies established primarily to manage and direct physical change and the effects on the social, economic, built and natural environment of the municipality or part of it, or an area that is without municipal organization.

The Town of Oakville's Official Plan, known as the Livable Oakville Plan, came into force in May 2011. Section 5 of the Livable Oakville Plan sets out the policy direction for cultural heritage resources and states that:

Conservation of cultural heritage resources forms an integral part of the Town's planning and decision making. Oakville's cultural heritage resources shall be conserved so that they may be experienced and appreciated by existing and future generations, and enhance the Town's sense of history, sense of community, identity, sustainability, economic health, and quality of life.

Section 5.2 of the Livable Oakville Plan provides the town authority to establish heritage conservation districts and adopt heritage conservation district plans for each district.

Properties Adjacent to the Old Oakville HCD

As per the PPS Section 4.6.3:

Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.

Any proposals for new construction adjacent to, or in the immediate vicinity of the District, is required to consider the heritage attributes set out in Section 2.2 of this Plan and Guidelines to ensure they are conserved.

As per the Livable Oakville Plan, Heritage Impact Assessments (HIAs) may be required when any development is proposed adjacent to an HCD. The Terms of Reference for HIAs has been set out by the Planning and Development Department. HIAs for properties adjacent to the District shall demonstrate how the cultural heritage value of the District is being conserved.

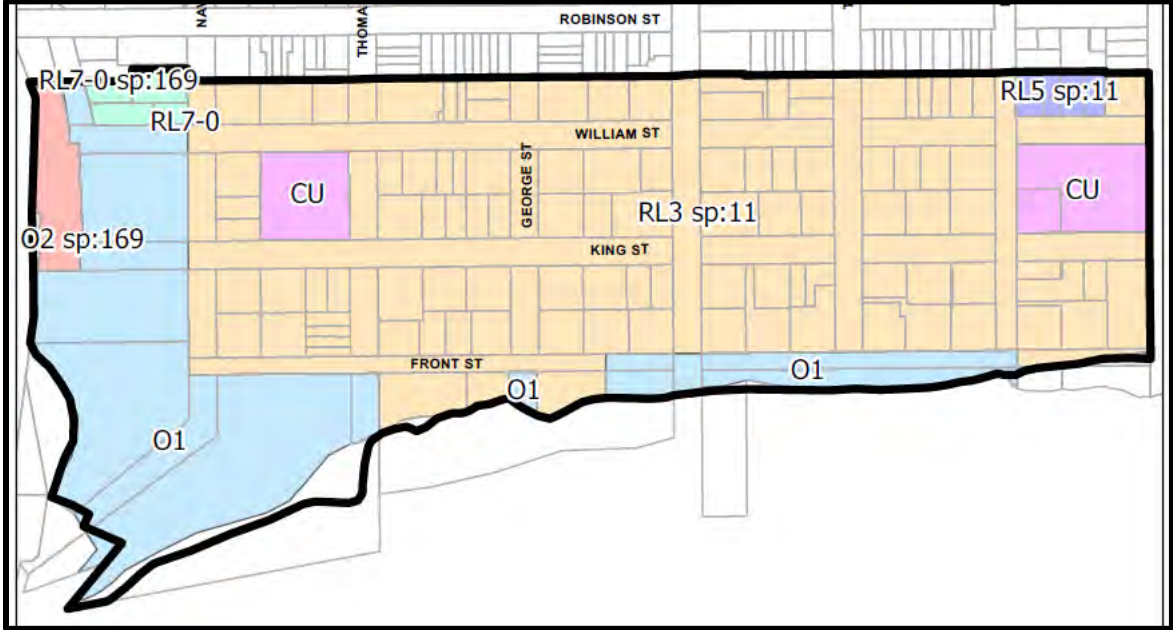
For clarification on the definition and delineation of 'adjacent' properties for the Old Oakville HCD, refer to Map 5 that shows properties that are adjacent to the north of the District along Robinson Street. Adjacent properties to the east of the District are guided by First and Second Street HCD Plan and to the west, the Oakville Harbour CHL Conservation Plan and are subject to the requirements of their respective plans.



Map 6: Map of Adjacent Properties to the North of the Old Oakville

4.4 Town of Oakville Zoning By-Law 2014-014

The Zoning By-Law is a set of regulations which lists permitted use and building design requirements in each of the different zones. At the time of approval of this Plan, there are several zoning provisions applicable within the District boundary under By-law 2014-014. The most prominent zoning designation is Residential Low 3 (RL3) with a Special Provision to ensure that building heights are consistent with the character of the area, as well as lot coverage. The small section of Residential Low 5 (RL5) along the north side of William Street between Reynolds Street and Allan Street is subject to Special Provision 11. There are four properties zoned as Residential Low 7 with the suffix -0 at the intersection of Navy Street and William Street.



Map 7: Old Oakville zoning from Town of Oakville Zoning By-law 2014-014

Two church properties are zoned as ‘Community Use.’ Under this designation, various uses associated with places of worship as indicated are permitted. The lands designated as Open Space 1 (OS1) includes town owned parks and Open Space (OS2) includes private open space pertaining to uses such as golf courses, accessory retail space, and sports facilities. The Oakville Club has a special provision within this designation under Special Provision 169.

4.4.1 Update to Zoning By-law 2014-014

The town is currently in the process of updating its residential zoning by-law, providing an opportunity to improve existing zoning provisions that pose challenges for new development’s height and massing to be in accordance with the intent of this Plan. Changes made to the zoning within the District should maintain the overall cultural heritage value of this area and its heritage attributes.

4.5 Site Plan Control

The town's Site Plan By-law establishes the classes of development requiring site plan approval, exemptions and the delegation of powers under the *Planning Act*.

The *More Homes Built Faster Act, 2022*, Bill 23, came into force on November 28, 2022, introducing significant changes to Ontario's site plan control process to accelerate affordable housing development. This Act removes exterior design matters (except some related to sustainability) from site plan approvals and grants all property owners the as-of-right ability to construct up to three residential units per lot. Under this evolving legislation, far fewer properties in the District will require site plan approval. However, development proposals would still require heritage permit approval and, in some cases, an HIA.

Town staff and the Heritage Oakville Advisory Committee will continue to review and provide feedback on planning and development proposals for heritage properties. This includes assessing alterations, removals, or demolitions using the planning tools available under current legislation.

4.6 Demolition Control

The Livable Oakville Plan states that in any instance where an application includes proposals to demolish a designated heritage resource, it must be considered in accordance with the provisions of the OHA and the Livable Oakville Plan.

Section 42 of the OHA allows municipalities to prevent the demolition or removal of buildings within HCDs prior to obtaining a permit. Further, the OHA holds that a municipal heritage committee must be consulted on all applications for demolition permits in the District. The demolition process is described later in this Plan.

Residential Rental Property Demolition

The town enacted By-law 2023-101 in July of 2023 to regulate the demolition and conversion of residential rental property in the town. The entire geographic area of the town is designated as the demolition control area and no person shall demolish a structure unless they are issued a demolition control permit in accordance with this By-law. The primary intent of this by-law is to conserve buildings with six or more dwelling units to prevent the premature loss of building stock.

4.7 Property Standards By-Law

The Property Standards By-law provides direction related to property maintenance. This by-law addresses matters such as structural adequacy, foundations, walls, columns, beams, floors, roofs, balconies, stairs, heating and ventilation, and mechanical aspects. Standards are also included for yards, lighting, fences, and vacant properties.

There is a section in the Property Standards By-law specific to heritage properties designated under Part IV and Part V of the OHA. The focus of these standards is to protect and maintain the heritage attributes of contributing properties and ensure that a permit is obtained prior to work being undertaken. There are also sections regarding the repair of properties, replacement of heritage attributes, clearing properties, and vacant properties.

4.8 Private Tree Protection By-law

The town has a Private Tree Protection By-law that provides protection to trees located on privately owned lands. A tree removal permit is required for:

- any trees that measure 15 centimetres or more in diameter at breast height (DBH),
- dead and high-risk trees (noting that ash trees and buckthorn are exempt from fees),
- any tree that is 15 centimetres or more in diameter being removed as part of a development application; and
- any hedge with stems that measure 15 centimetres or more in diameter.

A heritage permit may also be required for tree removal, as discussed later in this Plan.

4.9 Cultural Heritage Landscape Strategy

In January 2014, the town endorsed the Cultural Heritage Landscapes Strategy (the Strategy), which set the foundation to identify, inventory, and assess candidate cultural heritage

landscapes (CHLs) and to conserve significant CHLs. The Old Oakville HCD is an Organically Evolved Landscape, which is a landscape that “results from an initial social, economic, administrative, and/or religious imperative and has developed in its present form in response to its natural environment”. It is considered a ‘Continuing Landscape’ within the Organically Evolved category which “retains an active social role in contemporary society closely associated with the traditional way of life, and which the evolutionary process is still in progress.”

The Strategy identifies processes to protect CHLs. These processes include but are not limited to:

- Guide the proposed development to ensure compatibility with and respect of CHLs; seek opportunities to incorporate CHLs in whole or part into the design where possible;
- Conserve and protect by using the most appropriate planning tool (heritage designation under the OHA, conservation under subsection 2(d) of the *Planning Act*); and,
- Conduct consultation for both proactive and reactive assessments of CHLs.

The overlap of the CHLs within the Old Oakville HCD is shown in Map 6.

4.10 Oakville Harbour Cultural Heritage Landscape

The Oakville Harbour Cultural Heritage Landscape, designated under By-law 2020-125, has a Conservation Plan specific to its values and attributes that shall be used to manage change in the CHL area, in addition to the guidelines provided in this Plan. The boundary of the CHL is shown in Figure 3.



Figure 2: Oakville Harbour CHL boundary

4.11 Erchless Estate Cultural Heritage Landscape Strategy

The Erchless Estate Cultural Heritage Landscape, designated under By-law 2019-05, specific to its values and attributes that shall be used to manage change in the CHL area, in addition to the guidelines provided in this Plan. The boundary of the CHL is shown in 4.

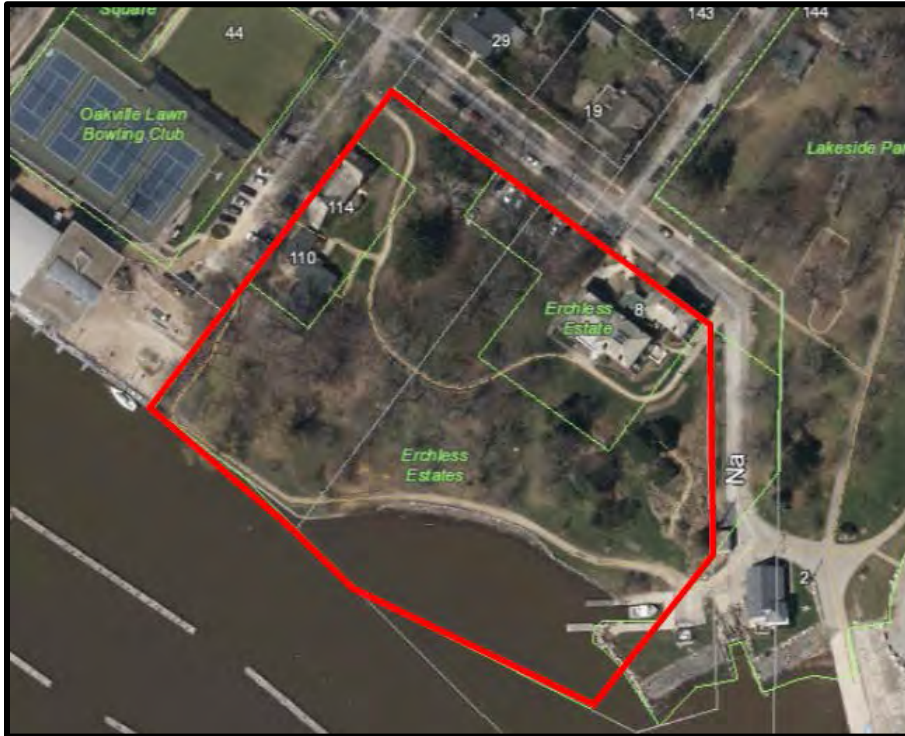
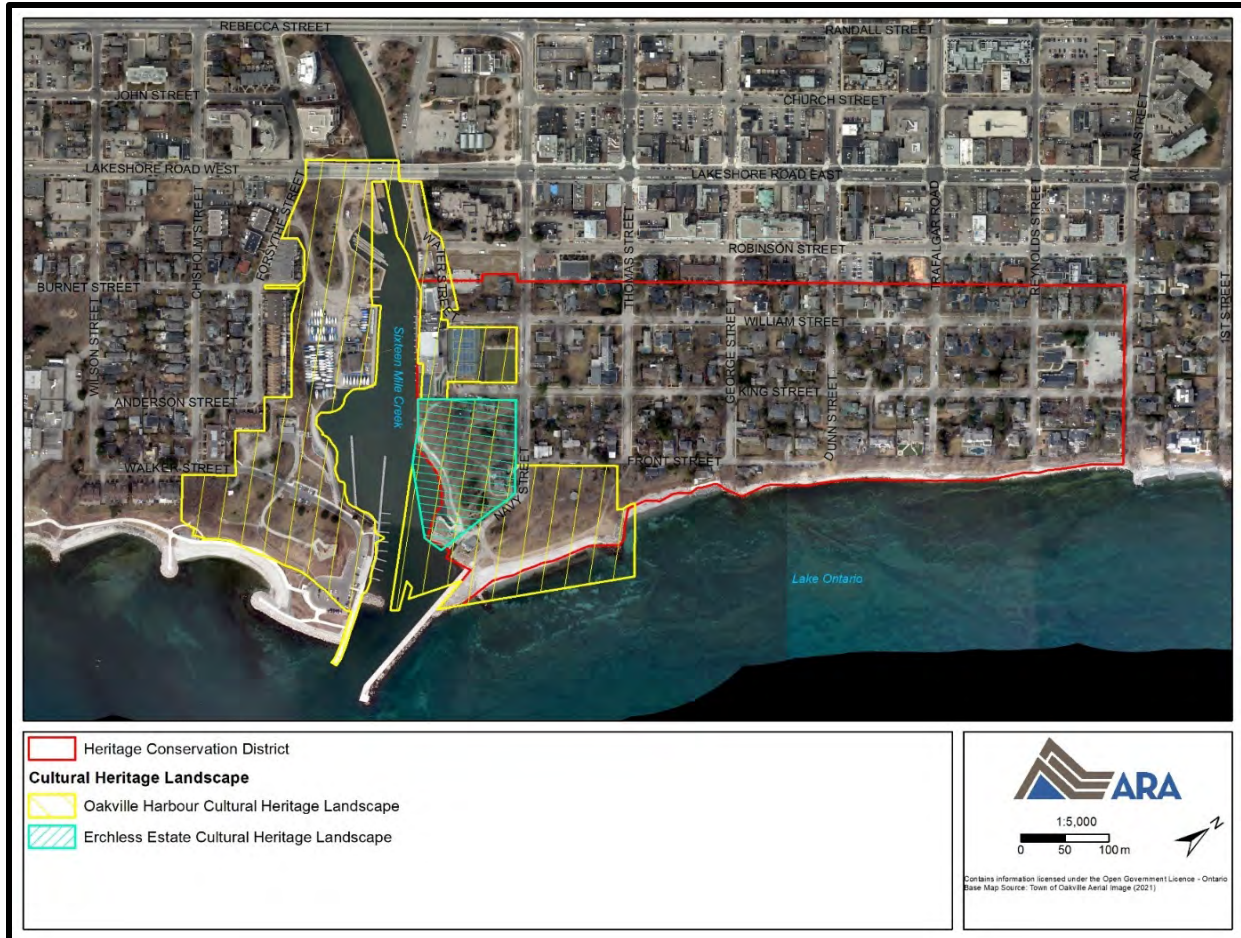


Figure 3: Erchless Estate CHL boundary



Map 8: HCD and CHL Boundaries



5 | GUIDELINES FOR MANAGING CHANGE

5.1 Introduction

This Plan provides direction to manage change at three levels: the District as a whole; the Character Area guidelines and the guidelines for contributing and non-contributing properties. The objectives for the District set out in section 3 are high level guidance when considering alterations to properties. Next to be reviewed is the Character Area guidelines that set the context for the area immediately surrounding the property. Finally, the guidelines for contributing and non-contributing properties provides the finest level of guidance for individual properties.

Design guidelines are required to manage physical changes to ensure that property owners use appropriate building forms, scale and massing, materials, construction methods, and site layouts that preserve the character the District. 'Best Practice' guidelines are noted in the 'Alterations to Contributing Properties' section and are intended to be the benchmark standard for all minor and major alterations within the District.

These guidelines must be considered by town staff, the Heritage Oakville Advisory Committee, Council, and property owners and their agents, when considering or reviewing applications for changes to properties within the District.

The design guidelines are divided into the following sections:

- **Character Areas**
 - **Area 1 - Waterfront Open Space**
 - **Area 2 - Old Oakville Settlement Area**
 - **Area 3 - Gully Landscape**
 - **Area 4 - Mixed Residential Development Pattern**
 - **Area 5 – St. Andrew's Traditional**
 - **Key Streetscape Overlay**
- **Alterations to Contributing Properties**
- **Additions to Contributing Properties**
- **Alterations and Additions to Non-Contributing Properties**
- **New Development – Primary Structures**
- **New Development – Detached Additional Residential Units**
- **Landscape and Site Guidelines for Publicly Owned Lands (Contributing and Non-Contributing)**
- **Landscape and Site Guidelines for Privately Owned Lands (Contributing and Non-Contributing)**

Refer to the flowchart on the next page for guidance on how to prepare for alterations to your property.

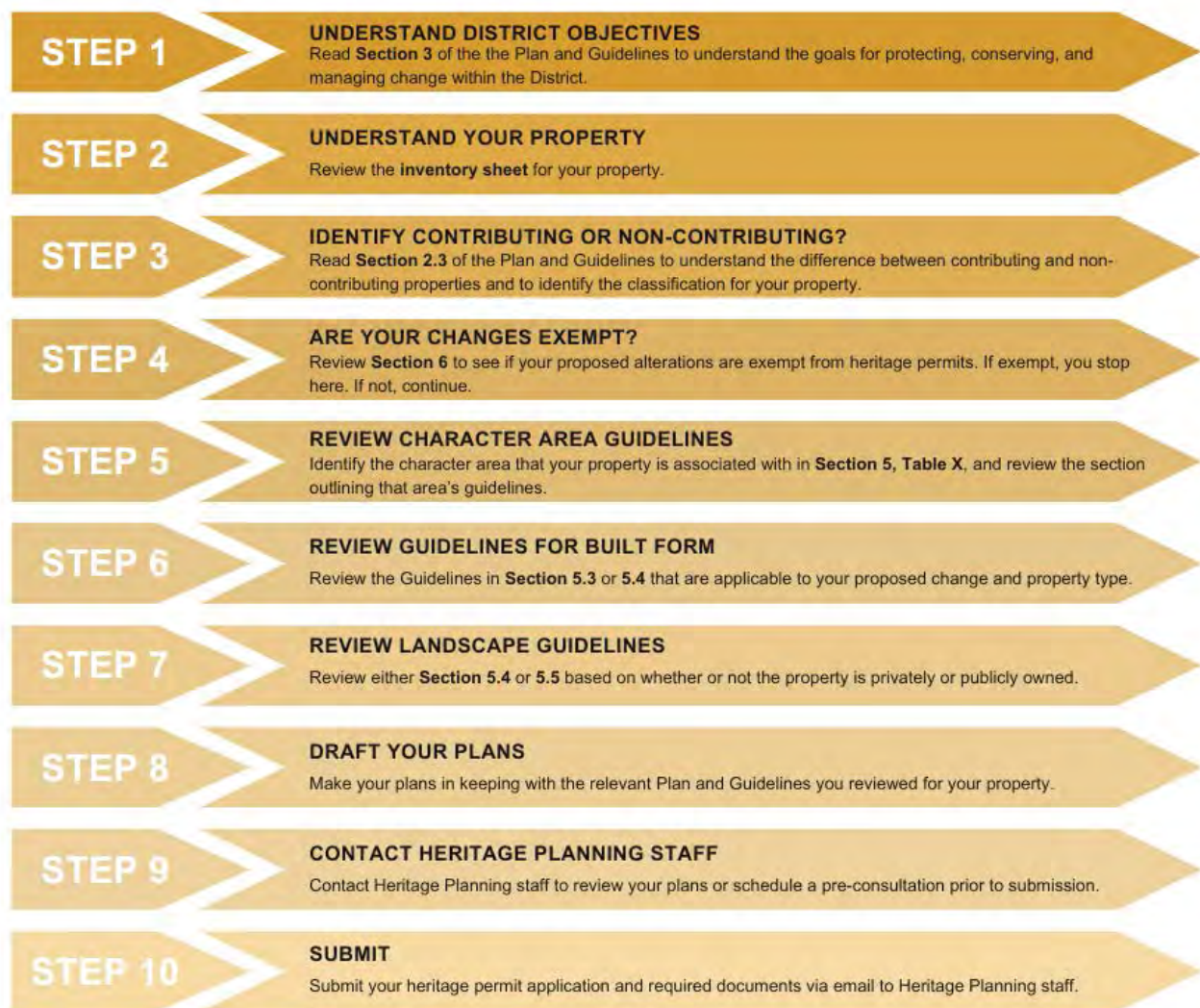


Figure 4: How to use the Plan

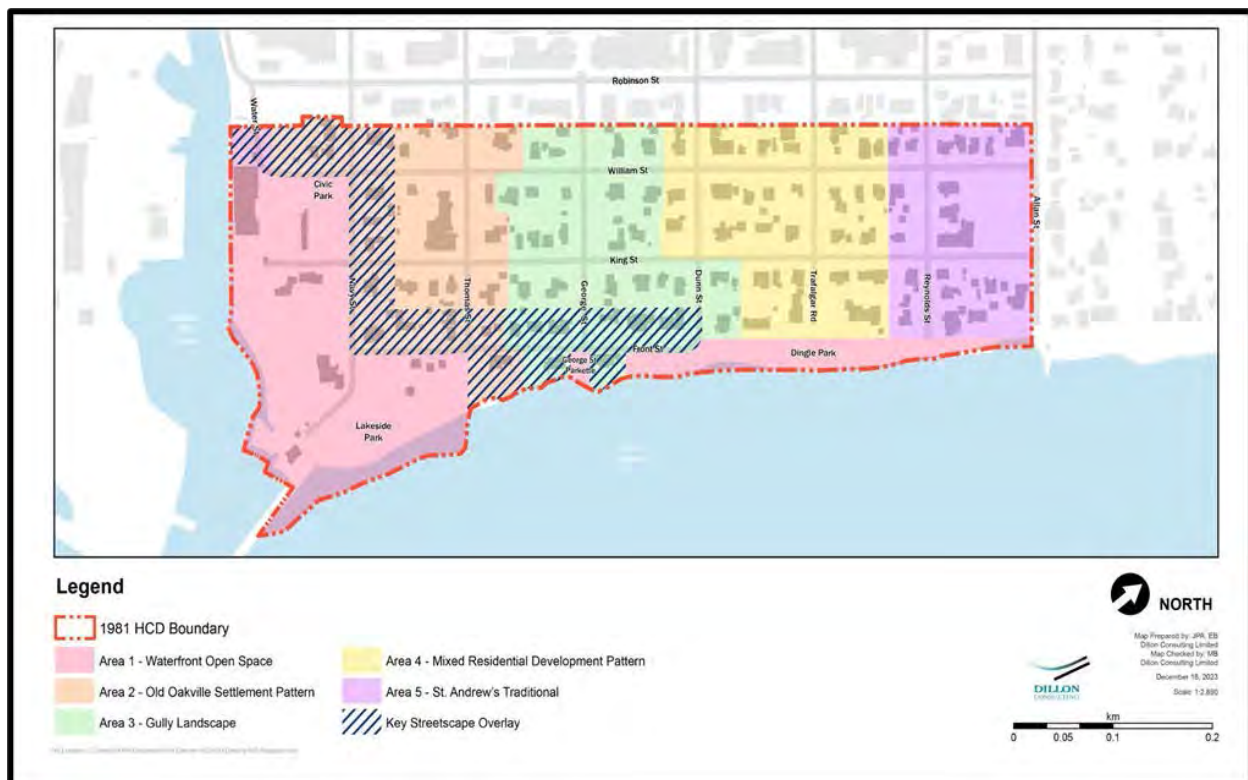
5.2 Character Area Guidelines

The Old Oakville Heritage Conservation District, when first designated under the OHA in 1982, used a Plan that relied on an analysis of the area through a 'Block structure' framework. Guidance was provided through each defined 'Block' to ensure that changes considered both individual buildings and the impact on the streetscape.

The updated Old Oakville Heritage Conservation District Study, completed in 2024, introduced a 'Character Area' framework that acknowledges heritage attributes through the historic, streetscape and landscape analysis of the District's evolution. Five distinct streetscape and landscape Character Areas have been identified as contributing to the overall cultural heritage values of the District.

- **Area 1 - Waterfront Open Space**
- **Area 2 - Old Oakville Settlement Area**
- **Area 3 - Gully Landscape**
- **Area 4 - Mixed Residential Development Pattern**
- **Area 5 – St. Andrew's Traditional**
- **Key Streetscape Overlay**

Table 2 includes the property addresses for each Character Area. This section provides the streetscape and landscape character guidelines for each Character Area that must be considered by property owners, town staff, the Heritage Oakville Advisory Committee and Council when reviewing applications for change.



Map 9: Old Oakville Character Areas

Table 2: Property Address List by Character Area

Area 1 - Waterfront Open Space	Area 2 - Old Oakville Settlement Area	Area 3 - Gully Landscape	Area 4 - Mixed Residential Development Pattern	Area 5 - Street Andrew's Traditional	Key Streetscape Overlay
144 Front St	143 Front St*	21 Dunn St	43 Dunn St	309 King St	143 Front St
204 Front St	176 Front St*	30 Dunn St	53 Dunn St	312 King St	176 Front St
240 Front St	146 King St	181 Front St*	65 Dunn St	340 King St	181 Front St
110 King St	154 King St	187 Front St*	66 Dunn St	350 King St	187 Front St
114 King St	155 King St	194 Front St*	69 Dunn St	21 Reynolds St	194 Front St
2 Navy St	177 King St	212 Front St*	233 King St	22 Reynolds St	212 Front St
8 Navy St	19 Navy St*	235 Front St*	260 King St	23 Reynolds St	221 Front St
44 Navy St	29 Navy St*	221 Front St*	262 King St	27 Reynolds St	235 Front St
54 Navy St	41 Navy St*	22 George St*	263 King St	31 Reynolds St	22 George St
56 Water St	45 Navy St*	23 George St*	268 King St	41 Reynolds St	23 George St
	53 Navy St*	44 George St	274 King St	47 Reynolds St	19 Navy St
	64 Navy St*	68 George St	275 King St	53 Reynolds St	29 Navy St
	65 Navy St*	181 King St	288 King St	307 William St	41 Navy St
	68 Navy St*	184 King St	290 King St	308 William St	45 Navy St
	70 Navy St*	187 King St	295 King St	313 William St	53 Navy St
	18 Thomas St*	191 King St	302 King St	323 William St	64 Navy St
	20 Thomas St*	208 King St	23 Trafalgar Rd	329 William St	65 Navy St
	21 Thomas St*	212 King St	25 Trafalgar Rd	333 William St	68 Navy St
	24 Thomas St*	213 King St	26 Trafalgar Rd	339 William St	70 Navy St
	26 Thomas St*	219 King St	43 Trafalgar Rd	349 William St	18 Thomas St
	29 Thomas St	222 King St	65 Trafalgar Rd		20 Thomas St
	32 Thomas St	230 King St	68 Trafalgar Rd		21 Thomas St
	50 Thomas St	250 King St	234 William St		24 Thomas St
	53 Thomas St	180 William St	258 William St		26 Thomas St
	65 Thomas St	185 William St	263 William St		115 William St
	68 Thomas St	186 William St	266 William St		
	115 William St*	187 William St	273 William St		
	145 William St	188 William St	274 William St		
	148 William St	195 William St	288 William St		
	160 William St	200 William St	295 William St		
		214 William St	296 William St		
		215 William St	297 William St		
		225 William St	301 William St		
		226 William St	302 William St		

*Property also falls under the Key Streetscape Overlay area.

5.2.1 Area 1 - Waterfront Open Space

The Waterfront Open Space Character Area reflects the District's open public land uses that evolved over the treaty lands and territory of the Mississaugas of the Credit First Nation and the traditional territories of the Huron Wendat and the Haudenosaunee into a settler founded 19th century commercial development and then 20th century recreation at the mouth of Sixteen Mile Creek.

The topography of this Character Area is varied, incorporating the steep valley slope and Sixteen Mile Creek valley, shoreline of Lake Ontario and the bottom of the gully at George Street Parkette that runs north to south, as well as Lakeside Park, Market Square and Dingle Park.

Two significant individual CHLs are also located here: the Oakville Harbour and the Erchless Estate. They contribute to the Waterfront Open Space Character Area's design and physical value, as well its historic evolution from woodland through to the legacy of Mayor W. F. Romain who led the restoration of landscape to the pre-colonial canopy and Oakville's "grove-like aspect."

The Waterfront Open Space Character Area's current function is active and passive recreational space. Two historical organizations have direct associations with recreational uses: the Oakville Club and Oakville Lawn Bowling Club. Buildings in this area are eclectic in their characters, reflecting their unique histories. Visual and physical access to the Lake Ontario and Sixteen Mile Creek shorelines is provided to pedestrians. Individual property addresses under this Character Area are listed in Table 2.

Waterfront Open Space guidance:

- a. Protect the narrow undefined "back lane" character of Water Street;
- b. Protect the narrow undefined "back lane" character of Front Street along Lakeside Park as part of the pedestrian walkway that follows the shoreline;
- c. Protect and enhance physical access to the public lands of the District along Lake Ontario and Sixteen Mile Creek shorelines;
- d. Protect, maintain and enhance a consistent pedestrian experience through the connectivity of the trails, street furniture, signage and lighting;
- e. Protect and conserve the topographical slope to the lake and harbour;
- f. Restore, maintain and enhance the tree canopy cover and park-like settings along the shoreline of Lake Ontario and bank of Sixteen Mile Creek;
- g. Integrate passive and active recreational activities that support community needs, and the cultural heritage values and heritage attributes of the District;
- h. Integrate historic and current Indigenous knowledge, traditions, activities and use into public open spaces through consultation with the Mississauga of the Credit First Nation, Six Nations of the Grand River and/or other Indigenous communities/groups such as Grandmother's Voice;

- i. Ensure public works maintain and conserve the cultural heritage values and heritage attributes of the District; and
- j. Commemorate two designated CHLs (i.e., Erchless Estate and the Oakville Harbour).

Streetscape and Landscape
Character Analysis Area 1 - Waterfront
Open Space



5.2.2 Area 2 - Old Oakville Settlement Pattern

The Old Oakville Settlement Pattern Character Area is layered over the treaty lands and territory of the Mississaugas of the Credit First Nation and the traditional territories of the Huron Wendat and the Haudenosaunee. This landscape is part of the largely European settlement of the village of Oakville with a commercial centre around the port at the mouth of Sixteen Mile Creek. It has been a low-density residential neighbourhood since the early 19th century.

Many of the lots in this area are intact quarter-acre lots associated with the original 1833 street pattern, which provides a contemporary experience of the town's early character. The predominant architectural styles of the residential built form are: 19th Century Vernacular, Georgian Revival, and Neo-Classical.

The Old Oakville Settlement Pattern Character Area is framed by open spaces to the west and south, a mix of residential and park spaces along Navy, Front, Water and Thomas streets, mature tree canopy, and six intersection 'corners' that set the precedent for open corners within the District.

The Old Oakville Settlement Pattern Character Area also features the landmark of St. Jude's Anglican Church's tall bell tower that has multiple view lines within the area and the open church gardens at the west of the church building.

Individual property addresses under this Character Area are listed in Table 2.

Old Oakville Settlement Pattern guidance:

- a. Protect and maintain the openness at intersections and vistas between and through properties that are visible from the public realm;
- b. Protect and maintain the lot size, composition, height and setback of the built form along the east side of Navy Street as a contrast to the open space on the west side of Navy Street;
- c. Protect and maintain the ordered appearance of the wall along Navy Street at the Erchless Estate as a continuous element linking the length of the cultural heritage landscape;
- d. Protect and maintain the narrow undefined "back lane" character of the entrance to Front Street from Navy Street as an integral part of the pedestrian walkway system;
- e. Protect the built form along both sides of Thomas Street between Front Street and King Street as a cohesive streetscape with consistent narrow setbacks and materials;
- f. Protect the view lines and the deep front yard setbacks adjacent to and across from St. Jude's Anglican Church to conserve its landmark status in the area (King, Thomas and William streets);
- g. Protect and maintain the open spaces with gardens and mature trees around St. Jude's Anglican Church;

- h. Support additions and development that reflect and complement the historic architectural styles with unifying materials that are found in contributing properties such as traditional stucco and brick;
- i. Protect and maintain the views to the lake from Navy and Thomas streets; and
- j. Protect and enhance the tree canopy along Navy and Thomas streets.

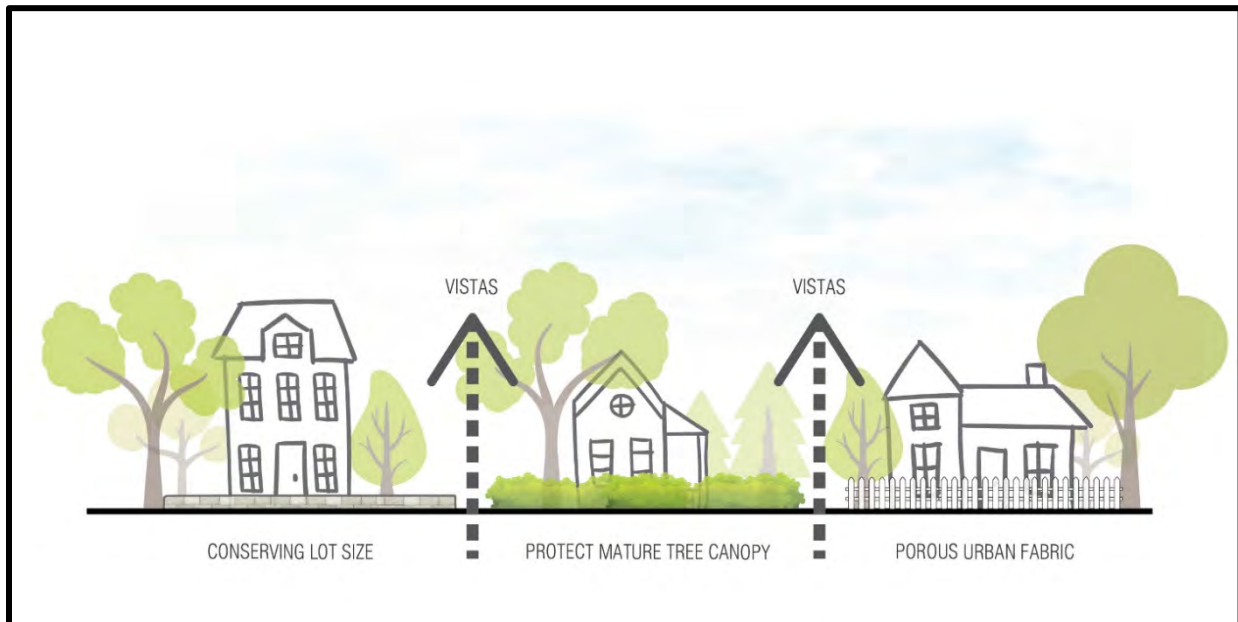
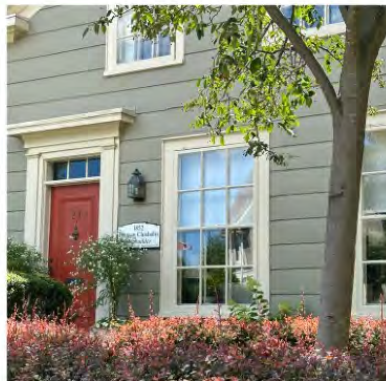
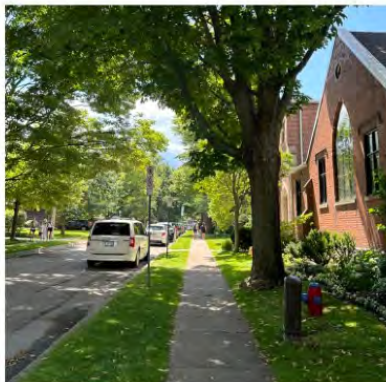


Figure 5: How to conserve views and vistas

Streetscape and Landscape
Character Analysis Area 2 - Old
Oakville Settlement Pattern



5.2.3 Area 3 - Gully Landscape

The Gully Landscape Character Area is layered over the treaty lands and territory of the Mississaugas of the Credit First Nation and the traditional territories of the Huron Wendat and the Haudenosaunee and has been an evolving and growing low-density residential area since the largely European settlement spread outwards from the mouth of the Sixteen Mile Creek.

The area is characterized by a deep gully that primarily runs from the north to the south end of George Street, terminating at the George Street Parkette. The gully flows slightly deeper along Dunn Street terminating at Dingle Park. A gentler rise and fall of the topography is experienced from the west to the east, along William, King and Front streets within the Gully Landscape Character Area.

The area is well defined by mature tree canopies, reflecting Mayor W. F. Romain's 1868 tree restoration legacy. Because of the slope of the gully and the surrounding higher elevations, this Character Area offers very different viewpoints at higher and lower elevations that are unique within the District, including views to the lake and the downtown.

The built form has generous spacing between buildings and reflects a mix of architectural styles and periods due to the organic evolution of the area. In most cases, building heights step down and follow the topographical slopes creating vistas and views to the lake and the residential streetscape. Landscape elements, such as terracing, steps and retaining walls, are well-integrated into the prominent slopes of the area.

Individual property addresses under this Character Area are listed in Table 2.

Gully Landscape guidance:

- a. Protect the traditional quarter acre lot settlement pattern with appropriate lot sizes, front yard setbacks, openness at intersections, and vistas between properties;
- b. Protect and conserve both vertical (north to south slopes) and horizontal (east to west slopes) gully planes within the landscape through the adjustment of height and massing of new built form that responds appropriately to the grading;
- c. Protect and maintain the visual connectivity of residential properties to open spaces at intersections and mature tree canopies;
- d. Protect and maintain the openness of intersections in this area through low permeable fencing and soft landscaping;
- e. Protect and maintain the deep setback of houses along the north side of Front Street to emphasize Lake Ontario and the public open spaces of its shorelines and the contributing property at 212 Front Street;
- f. Support additions and development that reflect and complement the historic architectural styles with unifying materials that are found in contributing properties such as traditional stucco and brick;

- g. Protect and maintain the historic iron fencing that defines the street corners along Front Street and runs along the south side of King Street; and
- h. Strengthen the tree canopy within the area, particularly along Front Street.



Figure 6: Building elevations and height following the topographical slope

Streetscape and Landscape
Character Analysis Area 3 - Gully
Landscape



5.2.4 Area 4 - Mixed Residential Development Pattern

The Mixed Residential Development Pattern Character Area is layered over the treaty lands and territory of the Mississaugas of the Credit First Nation and the traditional territories of the Huron Wendat and the Haudenosaunee. It is a low-density residential streetscape with development spanning the town's largely European settlement between 1830 and 1900, into the small-town building boom between 1900 and 1930 and then densification into post 1980s construction. As a result, this Character Area has a mix of architectural styles and materials, varied building setbacks, lot sizes and fencing that create distinct characteristics.

These distinctions include the following:

- The west section of the north side of King Street has grand and spacious scale buildings with the two contributing properties at the corner of Dunn Street setback from both streets;
- The south side of King Street closes in moving from west to east with building setbacks coming closer to the street; and low soft landscaping on the north side;
- The west section of William Street is anchored by the contributing properties at the intersections with Dunn Street and Trafalgar Road and also by the use of low permeable fencing and soft landscaping;
- The east section of William Street has consistent setbacks and the subtle rhythms of building facades create a well-ordered appearance. Despite different construction periods for buildings along the south side of William Street between Trafalgar Road and Reynolds Street, there is a unity of materials and a variety of gable roof forms;
- Like King Street, the east section of William Street closes in moving from west to east with building setbacks coming closer to the street.

Common features within this area include a Traditional Town road typology (e.g. two lanes of traffic and sidewalks on one or both sides of the road), framed by mature trees.

Individual property addresses under this Character Area are listed in Table 2.

Mixed Residential Development Pattern guidance:

- a. Protect the traditional quarter acre lot settlement pattern with appropriate lot sizes, front yard setbacks, openness at intersections, and vistas between properties;
- b. Protect the varied front yard setbacks, building heights and massing to retain the distinct streetscape character established through the evolution of this area;
- c. Support additions and development that reflect the historic architectural styles with unifying materials that are found in contributing properties such as traditional stucco, horizontal cladding, and brick;

- d. Protect and enhance the openness and vistas of the intersections in this area through low permeable fencing and soft landscaping; and
- e. Support and enhance the mature tree canopy on private lands.

Streetscape and Landscape
Character Analysis Area 4 - Mixed
Residential Development Pattern



5.2.5 Area 5 – St. Andrew’s Traditional

The St. Andrew’s Traditional Character Area is layered over the treaty lands and territory of the Mississaugas of the Credit First Nation and the traditional territories of the Huron Wendat and the Haudenosaunee. The St. Andrew’s Traditional Character Area is defined by its over 180-year historical association with St. Andrew’s Catholic Church. As a key landmark, St. Andrew’s is the important and dominant feature of this area.

The residential built form adjacent to the church has generous setbacks, large lot sizes, and architectural character that complements St. Andrew’s as a focal point. The Character Area has development spanning the town’s largely European settlement between 1830 and 1900, into the small-town building boom between 1900 and 1930 and then densification into post 1980s construction. The predominant cladding materials used are light coloured stucco and horizontal frame cladding, giving visual unity to the area.

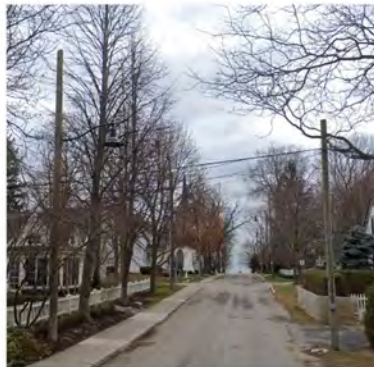
The streetscape is characterized by significant open space around the church, porous fencing and low height landscaping at the adjacent intersections, that create long view lines of St. Andrew’s. Reynolds Street is characterized by its mature tree canopy, reflecting Mayor W. F. Romain’s 1868 tree restoration legacy.

Individual property addresses under this Character Area are listed in Table 2.

St. Andrew’s Traditional guidance:

- a. Protect the traditional quarter acre lot settlement pattern with appropriate lot sizes, front yard setbacks, openness at intersections, and vistas between properties;
- b. Protect the deep front yard property setbacks, heights and massing of buildings along King, Reynolds and Williams streets to reinforce the prominence of St. Andrew’s;
- c. Protect and enhance the openness of the intersections in this area and views between residences, as well as the long view lines to St. Andrew’s through low open fencing and soft landscaping;
- d. Support additions and development that reflect the historic architectural styles with unifying materials that are found in contributing properties such as traditional stucco and horizontal frame cladding;
- e. Support new development that protects the open corners surrounding St. Andrew’s and its ancillary buildings, maintains the low heights and deep setbacks of surrounding properties, and uses complementary and unifying architecture and materials, to ensure St. Andrew’s remains the focal point;
- f. Protect the narrow undefined “back lane” character of Allan Street as part of the pedestrian walkway that leads to Lake Ontario;

Streetscape and Landscape
Character Analysis Area 5 - St.
Andrews Traditional



5.2.6 Key Streetscape Overlay

The Key Streetscape Overlay is a significant and unique interface between open space, private properties and transit ways along Water Street, Navy Street and Front Street. These streetscapes define the intact historic residential edge within the District, the historic industrial and commercial harbour functions of Navy Street and Water Street, and the narrow one-way lane of Front Street.

This overlay provides supplementary character defining elements that enhance specific properties in:

- Area 2 – Old Oakville Settlement Patterns
- Area 3 – Gully Landscape

Navy Street, Front Street and Water Street are three important roads within the District that have higher public profiles and utility due to their adjacency to open spaces and highly visited Town of Oakville landmarks. They are also associated with views that need to be protected and preserved.

- Navy Street, terminating at the lake, characterized by the mature tree canopy that reflects Mayor W. F. Romain's 1868 tree restoration legacy, as well as framing views to the lake.
- Front Street is a very narrow and intimate one-way road that supports on-road pedestrian connections between Lakeside Park, George Street Parkette and Dingle Park.
- The steep valley slope towards the Sixteen Mile Creek is emphasized through terraces, retaining walls and exposed foundations within the built form. The built form also complements the narrow laneway character of Water Street.
- The built form of the homes along the east side of Navy Street, as well as 64 Navy Street and 115 William Street on the west side, date to the early European settlement, with an established uniform street wall that relies on the built form setbacks, low 1 ½ - 2 storey heights, low permeable fencing and soft landscaping.
- The importance of Navy Street residential streetscape edge is contrasted by the openness in the public realm on the west side of Navy Street including Market Square, the Lawn Bowling Club, Lakeside Park and the cultural heritage landscape of Erchless Estate.
- The built form along Front Street has a significant relationship with the adjacent public open space and parks. This area is an important historic and current gateway to visual and physical access to Lake Ontario.
- The built form on the south side of Front Street has small setbacks given the narrow depth of the lots, while the homes along the north side of Front Street have deeper setbacks that give emphasis to the narrow laneway and the presence of the Lake.

Key Streetscape Overlay guidance includes:

- a. Protect and strengthen Navy Street and Front Street as important streetscapes

that have relationships with the historic European settlement of Oakville and their evolving use as public open space and parks. They serve an important function as gateways to visual and physical access to Lake Ontario and the Sixteen Mile Creek.

- b. Protect and strengthen the Water Street retaining walls and terracing of built form along the street that respond to the steep topographical slopes of the District;
- c. Protect and conserve the uniform street wall and defined residential street edges through continuous front yard setbacks, building heights, low permeable fencing and soft landscaping along Navy Street, Front Street and Water Street;
- d. Protect and conserve the historic iron fencing and stone pillars along Front Street;
- e. Protect and conserve open spaces and open views through continuous low profile permeable fencing and soft low-profile landscaping; and,
- f. Strengthen and enhance the mature street tree canopy and protected views.

5.3 Guidelines for Contributing Properties

5.3.1 General Guidelines

5.3.1.1 Understanding

Alterations and additions to a contributing property shall be based on a firm understanding of the historic fabric of that property and how it contributes to the cultural heritage value of the property's Character Area and the District.

The Inventory Sheets developed for each property as part of the District Study (and found in Appendix A of the District Study) shall be used to help understand property history, past alterations/additions, site context, cultural heritage value, noting that the Inventory Sheets are not intended to be a complete list of all features of a property.

- (1) Interventions to a contributing property shall consider:
 - a. the historic architectural style and identified period of significance of the building(s);
 - b. changes that have been made to the building(s)/property over time, noting that historic alterations may have value along with the original;
 - c. making the changes physically and visually compatible with and subordinate to the historic fabric of heritage buildings; and
 - d. the current condition of the heritage building and/or other property features.

- (2) Where historic fabric is damaged or deteriorated, determine the extent of the damage prior to planning any interventions to determine the appropriate scope of work and to preserve the building fabric.
 - a. Replacement cladding materials that match historic materials (such as stucco) retain the importance of the historic cladding, meaning that the cladding of a building does not lose its overall significance if replacement is required and historic materials should be matched as closely as possible.

- (3) Alterations and additions to a contributing property may be permitted by the town when the following has been completed:
 - a. the impact of the proposed alterations and/or additions on the contributing property, the Character Area of the property and the District have been identified:
 - i. this means making the changes physically and visually compatible with and subordinate to the historic fabric of the building; and,
 - ii. ensuring that the proposed changes meet the objectives set out in Section 3 of this Plan;
 - b. on corner lots, special consideration has been given for both public facing elevations and their impact on the streetscapes; and
 - c. appropriate mitigation measures have been proposed.

- (4) A Heritage Impact Assessment (HIA) may be required to be completed in accordance with the Town of Oakville's Development Application Guidelines for Heritage Impact Assessments.

5.3.1.2 Compliance

- (1) Current codes and standards pertaining to health and safety, security, accessibility and sustainability requirements shall be adhered to in a way that does not negatively impact the heritage character of the contributing property and the District. This includes but is in no way limited to the Ontario Building Code (OBC) and Accessibility for Ontarians with Disabilities Act (AODA).

Note: OBC, Part 11, Section 11.5, Compliance Alternatives may provide some relief for requirements contained in OBC Part 3, 4, 6 or 8 where the chief building official is satisfied that the compliance with the requirement is impracticable because it is detrimental to the preservation of a heritage building.

5.3.1.3 Demolition and Relocation

- (1) These guidelines apply to the full and partial demolition, and relocation of heritage buildings on contributing properties in the District:
- a. The demolition of heritage buildings on contributing properties in the District is not permitted, except in exceptional circumstances (i.e., where the property has suffered severe damage due to unforeseen events).
 - b. A structural engineering assessment, prepared by a structural engineer licensed to practice in Ontario and with experience with historic structures, may be required where the structural integrity of the heritage building is compromised, and demolition is being sought as a result of severe damage to the building structure. A peer review of the structural engineering report may be required, at the applicant's expense. Demolition will only be permitted if the town concurs with the structural assessment and/or peer review.
 - c. Proposed changes to a heritage building shall not result in a condition that renders the structure vulnerable to structural failure.
 - d. All mitigation measures shall be taken during construction to ensure that the heritage building does not result in a condition that renders the structure vulnerable to structural failure.
 - e. A heritage permit for the demolition of a heritage building in full or in part shall not be granted until the design for the replacement building or alterations has been submitted and approved. The design of replacement buildings and alterations must comply with the guidelines for new development and/or alterations as set out in this Plan.
 - f. Relocation of a heritage building within the lot may be permitted on a case-by-case basis. The new location of the heritage building shall meet all appropriate guidelines in this Plan, including but not limited to, spaces around buildings, views, landscaping and the impacted Character Area.
 - g. Removal or demolition of a heritage attribute and/or structure on a Part IV property within the District may require a notice of intention to demolish to be submitted in accordance with the OHA.

5.3.1.4 Lot Severances and Assembly

- a. Protect the traditional quarter acre lot settlement pattern with appropriate lot sizes, front yard setbacks, openness at intersections, and vistas between properties;

- b. Consent applications will be evaluated on a case-by-case basis for lot severances and assembly in the District.
- c. All severances must conform to provincial and local policies and by-laws including, but not limited to, the in-effect Official Plan and Zoning By-law.
- d. The lot size of any infill property or severance shall reflect the character of the surrounding lot fabric and impacted Character Area.

5.3.1.5 Spaces Around Buildings

- a. Maintain traditional distances between buildings visible from the public realm and the picturesque rhythm of buildings with streetscapes.
- b. Maintain traditional views and orientation of heritage buildings from the public realm.
- c. Prominent building features shall not be blocked or obscured with fencing, hardscaping features, service or utility equipment, garages or other accessory buildings.
- d. Maintain historical means of access to contributing properties, including driveways and walkways.
- e. Special consideration may apply to buildings of atypical orientation, on lakefront lots and/or on corner lots.

5.3.2 Alterations to Contributing Properties

5.3.2.1 Historic Fabric

- (1) Alterations to a contributing property shall be physically and visually compatible with the historic fabric of the property and the property’s Character Area, with regard to architectural style, detailing and materials.
 - a. Alterations shall not create a false sense of historical development by adding heritage building elements from other places, properties or historic periods, and shall not combine features that never coexisted on the building.
 - b. When reinstating historical architectural elements, ensure that the design of forms, materials and detailing are based on appropriate historical photographs or documentation.
- (2) Alterations to a contributing property shall minimize loss of historic fabric.
 - a. Repair damaged or deteriorated historic fabric rather than replacing it.
 - b. When replacements are necessary, replace *historic fabric in kind*, using the same form, materials and details as the original

Best Practices – Historic fabric
Reinstate historic architectural elements that have been removed, neglected or obscured when undertaking alterations to a Contributing Property.

5.3.2.2 Roofs

- (1) Protect and maintain historic roof forms and features, including dormers, eaves, eavestroughs and downspouts, soffits, finials, decorative trim and other features related to specific architectural styles.
 - a. Repair rather than replace historic roof features using historically appropriate materials.
 - b. Replace only roof features that have deteriorated beyond repair, rather than replacing an entire roof or roofline.
 - c. Protect and maintain original or historic eavestroughs, downspouts and flashing wherever possible. If repair is not possible due to condition, replacement with matching materials is required.
 - d. Where documentary evidence of original or historic eavestrough and downspout profiles exist, the reinstatement of these features is encouraged.
- (2) Roofing materials shall be replaced in kind, matching the form, materials and details of the historic roof system. The exception to ‘in kind’ replacement is restoration of the roof material or details to an earlier style/material based on evidence and documentation.
 - a. Asphalt shingles and cedar shingles are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar may be considered on a case-by-case basis.
 - b. Slate may be historically appropriate for more prominent buildings, such as St. Jude’s Anglican Church.

- c. Metal roofing materials shall not be permitted for full roof systems and may only be used for accents where compatible with the architectural style of the heritage building, Character Area and District.
 - d. Membranes may be considered on flat roofs.
 - e. Roofing materials such as PVC, terracotta and ceramic that do not traditionally exist in the District are not permitted.
 - f. Aluminum or PVC soffits and fascia shall not be permitted on heritage buildings where they are not already installed.
 - g. New flashing should be coloured to match the wall or roof materials against which it is located.
- (3) Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the character of the heritage building, Character Area and the District.
- a. New skylights, green roofs, roof ventilation equipment, plumbing vents, solar cells and other stacks may be permitted, providing they are located on side or rear elevations that are not visible from the public realm.
 - b. New eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.

Examples of Roofs



Figure 7: 143 Front Street – Cedar shake gable roof with dormers and stucco cladding



Figure 8: 212 Front Street (left) – Cedar shake hip roof with dormers and stucco cladding
Figure 9: 176 Front Street (right) – Cedar shake gable roof with stucco cladding



Figure 10: 329 William Street (left) – Cedar shake hip roof with stucco cladding
Figure 11: 307 William Street (right) – Asphalt hip roof with horizontal wood cladding



Figure 12: 65 Navy Street (left) – Asphalt gable roof on house and garage with stucco cladding
Figure 13: 301 William Street (right) – Asphalt gable roof with stucco cladding



Figure 14: 27 Reynolds Street – Asphalt gable roof with shake cladding

Best Practices - Roofs

Determine the cause of any distress, damage or deterioration of a roof system through investigation, monitoring and minimally invasive testing techniques. It is in the property owner's best interest to address any of these issues as soon as possible to prevent further deterioration or additional complications.

Where structural faults or problems in the historic fabric exists, the replacement of structural materials with contemporary materials may be permitted on a case-by-case basis. Any changes to visible on the exterior of the property shall be physically and visually compatible with the heritage building, following recognized conservation practices.

Where historic alterations have been made to address structural faults or problems in the historic roof design, they should be retained so long as they do not have a negative impact on the heritage character of the building. If they do have a negative impact on the heritage character of the building, removal and restoration is encouraged.

Where evidence exists, reinstate original or historic details or materials that have been removed from the roof system, including chimneys, finials, eavestrough/downspouts and other decorative or functional elements.

Completely remove existing materials, such as shingles, before applying new roofing materials.

5.3.2.3 Chimneys

- (1) When a historic chimney is no longer in use, cap and conserve the chimney rather than removing it. Proposals to remove replacement and/or non-historic chimneys will be assessed on a case-by-case basis.
- (2) New chimneys may be permitted, providing they match the design and architectural style of the heritage building and existing chimneys, where applicable.

Examples of Chimneys



Figure 15: 53 Dunn Street (left)



Figure 16: 295 King Street (right)

5.3.2.4 Dormers

- (1) Protect and maintain historic dormers.
 - a. The removal or obstruction of historic dormers on public-facing elevations of a contributing property shall not be permitted.
 - b. Repair rather than replace historic dormers using historically appropriate materials.
 - c. Replace only dormer materials that have deteriorated beyond repair, rather than replace an entire dormer. Replacements, in whole or part, shall be in kind, matching the form, materials and details of the historic dormer.
 - d. For windows within dormers, refer to the guidelines in sub-section 5.3.2.5.
- (2) New dormers may be permitted on heritage buildings only where they are compatible with the architecture of the heritage building.
 - a. New dormers shall complement the design and scale of the roof, windows and any existing dormers.
 - b. New dormers shall not be permitted on public-facing portions of the original or historic portion of a heritage building and should be located on rear or interior-facing side elevations or additions.

- c. New dormer windows should be square or vertically proportioned and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Best Practices - Dormers

Where evidence exists, reinstate original or historic dormers or details or materials that have been removed from dormers.

Dormer body proportions should be driven by the dormer window proportions.

5.3.2.5 Windows

- (1) Protect and maintain the location, orientation, shape and size of historic window openings.
 - a. The removal or obstruction of historic window openings is strongly discouraged. Consideration may be given to alterations to historic windows that are located on side or rear elevations in a manner that does not diminish the character of the heritage building, Character Area or District.
 - b. Maintain historic solid-to-void ratios and the historic rhythm of windows and bays.
- (2) Protect and maintain historic window features, including trim, sills, surrounds, brick moulds, materials, frame, sashing, muntins, hardware, glazing and storm windows.
 - a. Repair rather than replace historic window features.
 - b. Replace only those specific window features that have deteriorated beyond repair, rather than replacing an entire window unit.
 - c. Historic wood trim and surrounds shall be protected and maintained. If repair/replacement is required due to poor condition, materials and profile/design shall match the existing.
 - d. Historic stone or masonry sills, surrounds or voussoirs shall be protected and maintained. If repair/replacement is required due to poor condition, materials and profile/design shall match the existing.
- (3) The Town of Oakville's Heritage Window Replacement Guidelines shall be used to determine if original/historic windows can be replaced.
 - a. Should replacement windows be approved, the following applies:
 - i. Maintain the pattern of window divisions in their original configurations.
 - ii. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.
 - iii. New windows that replace existing wood windows shall be wood. Aluminum-clad wood may be permitted on side or rear elevations that are not visible from the public realm, providing the original moulding profiles have been reproduced.
 - iv. Existing leaded windows shall be replaced with new leaded windows to match.

- v. Vinyl and fiberglass windows shall not be permitted. They are not compatible with the character of heritage buildings, Character Areas and the District, and do not adequately replicate wood windows in their detailing, finishes, profiles and colour as their sashes, frames and mouldings are often much flatter in appearance.
 - vi. Ensure that all sills are sloped away from the exterior wall, with drip edges when they extend beyond the face of the exterior cladding.
 - vii. Remove, repair and reuse existing brick moulds. When these cannot be salvaged, their size, profile and detailing shall be replicated. Ensure that the original relationship between the brick moulds, the window trim and the window frame are maintained.
 - viii. Remove, repair and reuse existing window trim. When these cannot be salvaged, their material, size, profile and detailing shall be replicated. Ensure that the original relationships between brick moulds, trim and frame are maintained. Ensure that the original relationship between the window trim and the exterior cladding is maintained.
- (4) New window openings may be permitted only where their location, alignment, proportions, materials and design is compatible with the architecture of the heritage building, Character Area and District as exemplified by the historic rhythm of windows and bays. New window openings should be located on side or rear elevations of heritage buildings.
- a. Materials and design of new windows shall be compatible with historic windows on the same elevation.
 - b. Where traditionally operable window styles are used in new window openings, the new window shall also be operable.

Examples of Windows & Shutters



Figure 17: 26 Thomas Street (left) – Wood window with storm



Figure 18: 329 William Street (right) – Wood windows with storms

Best Practices - Windows

Reinstate historic windows that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic windows based on appropriate documentary evidence.

Historic wood windows, when properly maintained, can last 60 to 100 years. Aluminum, vinyl or fiberglass windows cannot be repaired and need to be replaced. Modern sealed window units have a 15-to-20-year life span. Consider the following alternatives prior to replacing historic windows or designing new windows:

- Reinstate exterior storm windows that have been removed. A single glazed window with an exterior storm window can be as effective as a sealed window unit.
- Retrofit sealed glazing units into the historic sashes as an alternative to replacing the whole window.

Replacement glazing should be considered only when the existing glazing is damaged or the historic sash is being retrofitted with sealed glazing units.

Replace all damaged weather-stripping to ensure air tightness of window assembly. The performance of single-glazed windows will be significantly improved by proper weather-stripping that reduces air infiltration.

Regularly maintain the caulking around the windows.

The sills are often the most damaged features of windows, and can be replaced using dutchman repairs, leaving the window frame in place. Sashes can be removed for in-shop repairs.

Historically operable windows should maintain their operability. Avoid painting windows shut or otherwise sealing them in a manner that is difficult to reverse.

5.3.2.6 Shutters

(1) Protect and maintain historic shutters.

- a. The removal (without replacement) or permanent obstruction of historic shutters shall not be permitted.
- b. Repair rather than replace historic shutters.
- c. Replace only the shutter elements (e.g. individual louvers) that have deteriorated beyond repair, rather than replacing an entire shutter.

(2) When shutter replacement is necessary, shutters shall be replaced in kind, matching the form, materials and details of the original.

(3) New shutters may be permitted only where they are physically and visually compatible with the architecture of the heritage building.

- a. Attach shutters to the window casing rather than the wall. Hinges and hooks should be used to ensure shutters are functional.
- b. Design shutters in a style appropriate to the architectural style of the heritage building, including panelled or louvered styles. Louvers may be fixed or operable.
- c. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.
- d. Wooden shutters shall be painted in a colour appropriate for the materiality and colours of the heritage building.



Figure 19: 308 William Street (left) – Wood windows with storm and operating louvered shutters
Figure 20: 65 Navy Street (right) – Wood windows with thermal pane and operating louvered shutters



Figure 21: 215 William Street – Wood windows with storm and operating shutters

Best Practices – Shutters

Reinstate historic shutters that have been removed or blocked, based on documentary evidence.

Replace newer unsympathetic shutters, such as those that are too narrow, based on documentary evidence.

Restore historic shutters that have been removed from their hinges and attached to the wall on either side of the window. New hardware should be used to re-hang the shutters so that they are operable.

5.3.2.7 Entrances

- (1) Protect and maintain the location, size and orientation of historic entrances.
 - a. The removal or obstruction of historic entrance openings shall not be permitted.
 - b. Maintain historic entrances as functioning entrances.
 - c. Maintain historic hierarchies of entrances on buildings, where they exist.
- (2) Protect and maintain historic entrance features, including doors, door surrounds, materials, glazing, lighting and steps.
 - a. Repair rather than replace historic entrance features.
 - b. Replace only entrance features that have deteriorated beyond repair, rather than replacing the entire entrance.
- (3) When the replacement of entrance features is necessary, features shall be replaced in kind, matching the form, appearance, materials and details of the original.
 - a. Existing wood doors shall be replaced with wood doors to match.
 - b. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis for side or rear elevations that are not visible from the public realm, providing they effectively replicate wood doors in their detailing, finishes and colour.
 - c. Wood is the most appropriate material for screen doors. Aluminum doors that mimic wood panelling may be considered for side or rear elevations not visible from the public realm on a case-by-case basis, providing they effectively replicate wood screen doors in their detailing, finishes and colour.
 - d. Sliding doors and other doors that do not swing shall not be permitted on heritage buildings.
- (4) New entrances on the historic portion of a heritage building may be permitted only where their location, alignment, proportions, materials and design is compatible with the architecture of the heritage building, as exemplified by the historic entrances and the rhythm of bays.
 - a. New entrances shall be subordinate to the primary historic entrance in terms of location and design. New entrances should be located on side or rear elevations, not visible from the public realm.
 - b. Doors and door surrounds of new entrances shall be detailed in a style and materials appropriate to the architecture of the heritage building.

- c. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered for side or rear elevations not visible from the public realm on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.

Examples of Entrances and Doors



Figure 22: 29 Navy Street (left) – Main entrance wood door with surround facing street
Figure 23: 212 Front Street (right) – Main entrance wood door with wood storm door facing street



Figure 24: 212 King Street – Main entrance wood door facing street



Figure 25: 145 William Street – Main entrance wood door facing street

Best Practices – Entrances

Reinstate historic entrance openings that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic entrance features based on appropriate documentary evidence.

Improve weather protection and energy efficiency of existing doors through re-puttying and replacing or installing weather-stripping, adjusting hardware, and sealing openings and joints, rather than replacing the historic doors.

5.3.2.8 Foundations

- (1) Retain sound or partially deteriorated foundation walls that are repairable. Stabilize exterior walls by using structural reinforcement, weather protection, or correcting unsafe conditions as required.
- (2) When the foundations of buildings or porches have deteriorated excessively, re-build damaged foundation walls or piers rather than demolishing the structure. Install temporary support for the structure while the damaged wall or pier is reconstructed.
- (3) Existing original or historical foundations shall not be clad or covered with contemporary materials including parging or painting (especially over unpainted masonry).

Examples of Foundations



Figure 26: 115 William Street – Lakestone foundation

Best Practices – Foundations

Where historic foundations are extensively deteriorated, contemporary methods may be used to construct new foundations. Where visible above grade, ensure the new foundations are clad in salvaged stone wherever possible or new stone material that matches the original or historic style and quality of the historic material.

Improve the drying ability of exterior wall assemblies through suitable heating and/or ventilation measures wherever possible.

Painting or covering over historic masonry with contemporary materials can prevent proper monitoring and maintenance of the exterior building materials and create new issues such as spalling and mortar deterioration. Instead, repair and/or replace the existing exterior building materials with like material.

Where original or historic masonry is concealed with later cladding materials, removal and repair is highly encouraged and recommended. Use historic documentation to rehabilitate the foundations.

Protect and maintain existing foundations by ensuring that site drainage is directed away from building and porch foundations.

5.3.2.9 Porches, Verandahs and Porticos

- (1) Protect and maintain historic porches, verandahs, and porticos and their features, including posts, brackets, railings, steps and roofs.
 - a. The removal or obstruction of historic porch, verandah and portico features shall not be permitted.
 - b. Repair rather than replace historic features.
 - c. Replace only the specific features that have deteriorated beyond repair, rather than replacing an entire porch, verandah or portico.

- (2) New porches, verandahs and porticos may be permitted as additions to heritage buildings, provided that they are in a style that is appropriate for the architecture of the heritage building, Character Area and District, and are physically and visually compatible with the heritage building in terms of location, orientation, design and materials.
 - a. When architectural elements such as columns and entablatures are used on new porches, verandahs or porticos, they should conform to classical proportions.
 - b. Replacement materials for porches, verandahs and porticos should be wood with brick and stone used for piers or bases. The use of composite and engineered wood or wrought iron may be considered on a case-by-case basis.

Examples of Porches, Verandahs and Porticos



Figure 27: 53 Navy Street (left)– Open wrap-around porch
Figure 28: 19 Navy Street (right) – Glassed-in side porch



Figure 29: 154 King Street (left) – Open wrap-around porch
Figure 30: 27 Reynolds (right) – Covered porch

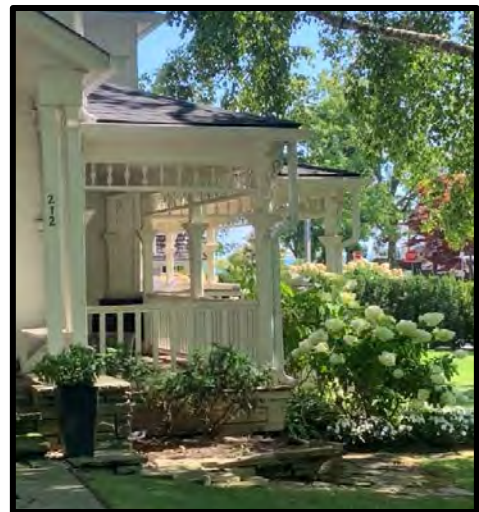


Figure 31: 295 & 297 William Street (left) – Open front porch
Figure 32: 212 King Street (right) – Covered open porch

Best Practices – Porches, Verandahs and Porticos

Where porches, verandahs and porticos are extensively deteriorated or missing parts, replace in kind where there are surviving prototypes. Use salvaged material wherever possible or new materials that match the original or historic style and quality.

Reinstate historic porches, verandahs and porticos that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic porch, verandah and portico features based on appropriate documentary evidence.

5.3.2.10 Garages and Coach Houses

- (1) Protect and maintain historic garages and coach houses.
- (2) Alterations to existing historic garages or coach houses shall not negatively impact the contributing property, Character Area or District in terms of the garage's architectural style, massing, design, materials, colour and location.
- (3) Non-historic garages or coach houses on contributing properties may be removed or replaced, provided any replacement is subordinate to and compatible with the character of the contributing property, Character Area and District. The replacement structure shall follow the guidelines outlined in Additions to Contributing Properties, Section 5.3.4.14 'Garages and Coach Houses'.

Examples of Garages and Coach Houses



Figure 33: 19 Navy Street – Detached garage



Figure 34: 29 Thomas Street (left) – Detached garage (restored barn)



Figure 35: 32 Thomas Street (right) – Detached garage



Figure 36: 22 Reynolds Street (left) – Detached garage
Figure 37: 65 Navy Street (right) – Detached garage



Figure 38: 66 Dunn Street – Attached 1 ½ storey garage with appearance of detachment through single storey connection to main residence



Figure 39: 145 William Street (left) – Separate coach house set back in rear yard



Figure 40: 53 Navy Street (right) – Coach House set back and facing William Street away from main residence



Figure 41: 43 Trafalgar Road (left) – Attached garage with appearance of detachment through single storey connection to main residence



Figure 42: Trafalgar Road (right) – Attached single car garage with shed appearance setback to rear of property

Best Practices – Garages and Coach Houses

Determine the cause of damage or deterioration to historic garages and coach houses through investigation, monitoring and minimally invasive testing techniques.

Address signs of damage and deterioration immediately, so as not to cause further degradation.

5.3.2.11 Utility Service Equipment

- (1) Utility and service equipment shall not negatively impact the contributing property, Character Area or the District and shall be located so as to minimize its visibility from the public realm.
 - a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations and should not be visible from the public realm. If visible from the public realm, screen appropriately using landscaping features. (See Section 5.7- Landscape and Site Design Guidelines for Privately Owned Lands, for requirements on screening)
 - b. New aboveground infrastructure, including hydro lines, should be buried.
 - c. Solar panels may be permitted if oriented so that they do not compromise the character of the contributing property, Character Area or District and are preferred on side and rear elevations.

Best Practices – Utility Service Equipment

Find solutions to incorporate sustainable building initiatives without having a negative impact on the character of contributing properties, Character Areas and the District.

5.3.2.12 Exterior Walls

- (1) Protect and maintain historic architectural features of exterior walls, including cladding materials, exposed structural elements (such as pilasters and half-timbering) and decorative elements (such as articulated brickwork, quoining and date stones).
 - a. The removal or obstruction of historic architectural features of exterior walls shall not be permitted.
 - b. Alterations and maintenance work should not remove, cover or obscure the patina of age or irregularities found in older work and materials. Patina is the result of the natural aging of a material and provides it with a protective coating.
 - c. Repair rather than replace historic materials.
 - d. Replace only specific sections of materials that have deteriorated beyond repair whenever possible. Document the patterns, profiles and detailing of materials prior to repairing or replacing them.
 - e. Where historic materials have deteriorated beyond repair, replace deteriorated materials in kind, maintaining the compositions, size, finishes, patterns, tooling and colours of the original. Replacement materials should also match the physical characteristics of the original such as vapour permeability and compressive strength.
 - f. Historically unpainted masonry surfaces shall not be painted.
 - g. Maintain historically painted surfaces, including stucco, wood clapboard and wood shingles.
 - h. New finishes or coatings that alter the appearance of historic materials shall not be applied, especially where these finishes are substitutes for the repair of historic materials. Staining of new masonry to match historic masonry may be permitted with products that do not alter the permeability of the masonry. A heritage permit will be

required to approve colour, product and staining technique. Mortar mixes should be coloured to match and staining over top may not be permitted.

- i. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the character of contributing properties, Character Areas and the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.

Examples of Exterior Walls



Figure 43: 18, 20 and 26 Thomas Street (left) – Example of horizontal wood cladding
Figure 44: 307 William Street (right) – Example of horizontal wood cladding



Figure 45: 53 Dunn Street – Example of horizontal wood cladding



Figure 46: 53 Thomas Street (left) – Example of stucco cladding
Figure 47: 22 Reynolds Street (right) – Example of stucco cladding



Figure 48: 29 Thomas Street (left) – Example of stucco cladding
Figure 49: 19 Navy Street (right) – Example of early brick cladding



Figure 50: 350 King Street (left) – Example of late 1800s brick cladding
Figure 51: 302 William Street (right) – Example of early 1900s brick cladding with open front porch



Figure 52: 309 King Street (left) – Example of stucco cladding with shake dormers

Figure 53: 43 Trafalgar Road (right) – Combination brick and shake siding with asphalt roof

Best Practices – Exterior Walls

Regularly inspect and maintain the exterior materials on heritage buildings.

Ensure that water shedding, drainage and management elements are functional: that sills, cap stones and other exposed horizontal are sloped with drip edges; that the ground is sloped away from the foundations to prevent splash-back and provide proper drainage; that gutters and downspouts are functional; that sealants and flashing are in good condition; that projecting eaves are maintained; and that masonry joints are sound.

When cleaning, use the gentlest means possible so as to remove soiling while maintaining the patina of the historic materials. Protect adjacent surfaces including the landscaping. Perform mock-ups prior to cleaning to ensure that the chosen method will not negatively impact the historic materials.

Determine and address the causes of material deterioration prior to developing any maintenance, repair or replacement scope of work.

Assess the condition and composition of the stucco and its substrate prior to developing any repairs strategies. Document the original finishes' texture and colour prior to undertaking any work.

Remove deteriorated paint prior to repainting. When removing paint, use the gentlest means possible. Select colours for repainting that are compatible with the architectural style, cladding materials and colour of the heritage building.

Replace newer unsympathetic exterior cladding materials based on historic documentation.

5.3.2.13 Guidelines for Specific Materials

The guidelines below provide additional direction for specific materials. Refer to Parks Canada's Standards and Guidelines for the Conservation of Historic Places for additional guidelines and best practices relating to specific cladding materials (i.e. masonry, wood, concrete, metals, glass, plaster and stucco).

- (1) Protect and maintain the historic appearance of wood finishes and elements.
 - a. Identify the species of wood prior to doing any repairs or replacements. For dutchman repairs, the pieced-in sections should, whenever possible, match the species of the existing element being repaired.
 - b. When replacing and/or repairing wood siding, shingles and other wood elements, document their pattern, size, detailing, profile, and colour prior to removal.
 - c. Replace *in kind* any wood element including wood siding, shingles, trim, half-timbering, decorative elements, railings, stairs, porch columns and finishes. Composite and engineered wood may be considered on a case-by-case basis, providing they effectively replicate the historic cladding, trim or other sections of the exterior wall.
 - d. Replicate historic siding and shingle patterns when replacing or repairing them.
 - e. Ensure that the original relationships between the trim and siding are maintained.
 - f. Historic wood siding and shingles shall not be clad over.
 - g. Metal, vinyl or plastic composite siding shall not be permitted
 - h. Eaves, soffits or fascias shall not be permitted to be clad or flashed in metal.

- (2) Protect and maintain the historic appearance of masonry (brick and stone).
 - a. Sandblasting masonry surfaces shall not be permitted. This will remove the harder, more durable kilned face of the brick exposing its softer interior.
 - b. Brick or stone shall not be painted, unless it has already been painted. Repainting already painted masonry is permitted.
 - c. When removing paint from masonry surfaces, do so in a manner that does not damage the historic materials. Protect adjacent surfaces and landscaping. A heritage permit is required for paint removals.
 - d. When replacing bricks, ensure that the new bricks match the appearance and physical properties of the original. Modern bricks are generally stronger, smaller and less vapour permeable than historic bricks. The use of a stronger brick in a historic wall assembly can accelerate the deterioration of the surrounding historic bricks. Historic bricks are still available from specialty suppliers. Staining new bricks to match historic brick may be permitted, see guidance in Section
 - e. Repoint brick masonry using a physically and visually compatible mortar mixture and traditional pointing methods, recreating the original tooling and joint profile. The pointing mortar should be softer and more vapour-permeable than the masonry. When cutting or raking out joints, use appropriate methods to ensure that the arises of the bricks or stone are protected from damage. When rebuilding a section of historic masonry, ensure that the original coursing and joint widths are maintained.
 - f. Protective sealants shall not be applied to masonry. These sealants are often vapour impermeable and will trap moisture within the masonry assembly accelerating its deterioration.

- (3) Protect and maintain the historic appearance of the stucco surfaces.

- a. Exterior Insulation and Finish Systems (EIFS) shall not be permitted as a replacement material for stucco. In addition to being aesthetically incompatible with the heritage character of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.
- b. Repair the substrate, where required, to ensure the structural stability of the stucco finish.
- c. Retain and repair existing stucco finishes where possible. When replacement is required, replace stucco with in-kind materials, typically with a historically appropriate three-coat application. Reproduce the original finish, colour, strength and texture patterns.
- d. Ensure that the patching and repair materials used are physically and visually compatible with the historic stucco.
- e. Ensure that the paint systems used are physically and visually compatible with the historic stucco, especially with regards to vapour permeability.

5.3.3 Additions to Contributing Properties

5.3.3.1 Historic fabric

- (1) Additions to a heritage building on a contributing property shall be physically and visually compatible with, complementary and sympathetic to and distinguishable from the historic fabric of the building, with regard to the location, massing, height, proportions, architectural style, detailing and materials of the addition.
 - a. An addition that is distinguishable from the heritage building is not required to be a different style of architecture. Cladding materials, differing rooflines and wall planes and even paint colour can be used to create a distinguishable addition.
 - b. Complementary additions physically and visually conserve or enhance the cultural heritage value and heritage attributes of the District.
 - i. To be physically complementary refers to the use of materials and construction methods that do not detract from or damage heritage attributes.
 - ii. To be visually complementary refers to the selection of materials and design, massing, proportions and details so as to conserve and enhance the District's cultural heritage value.
- (2) Additions to a heritage building shall minimize the loss of historic fabric.
 - a. Whenever possible, new additions should be reversible so that the form and integrity of the heritage building is maintained and not structurally compromised should the addition be removed at a later date.

5.3.3.2 Location

- (1) Additions to a heritage building on a contributing property shall be located towards the rear of, or sufficiently set back from, the heritage building. The location for a new addition shall ensure that the character of the heritage building, Character Area and District is maintained.
- (2) Additions should be placed so they are considered to be subordinate to the heritage building on the contributing property in size, scale and detailing. Also refer to Section 5.3.1.5 Spaces Around Buildings, which provides additional guidance on the location of additions within the context of the streetscape.
- (3) Maintain prominent views of heritage buildings on contributing properties from the public realm. Do not block or obscure prominent views of heritage buildings from the public realm with new additions or their associated features.
 - a. Design new additions so that any significant landscape features of the existing property are maintained including mature trees and site topography.
 - b. Place new additions so they are parallel with the street, in concert with the heritage building, Character Area and District.
 - c. Buildings on corner sites are required to address all facing streets.

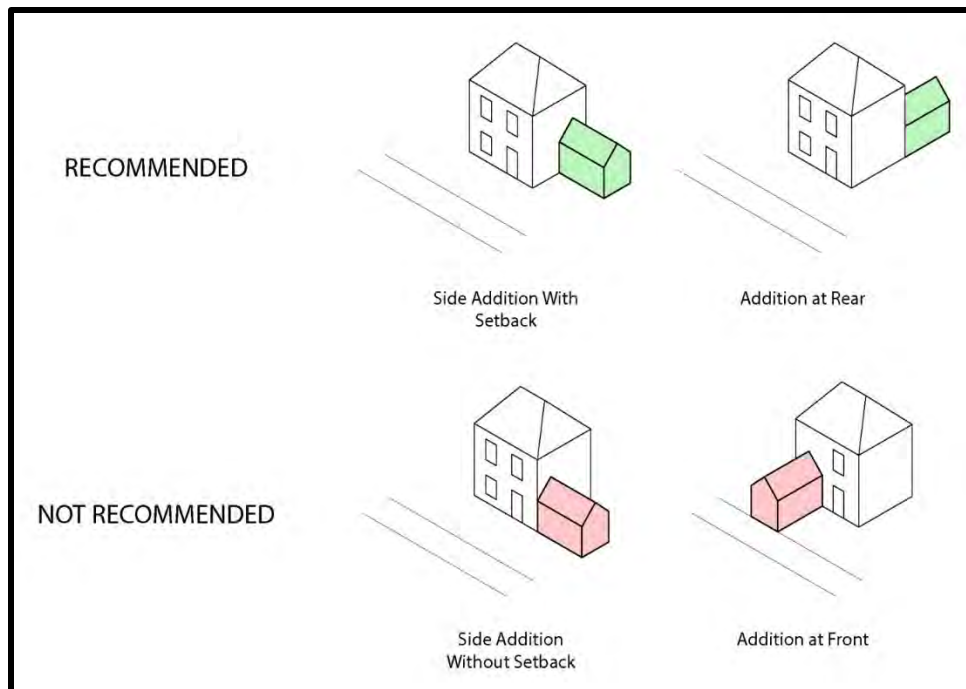


Figure 54: Suggestions on how to locate additions to contributing properties

5.3.3.3 Scale and Massing

- (1) The design of additions shall be subordinate to the heritage building; that is, the addition must not devalue or distract from the heritage building.
 - a. Rooflines should complement the form, materials and style of the heritage building, Character Area and District.
 - b. The proportions, placement, style and materials of windows and doors of additions should complement the heritage building, Character Area and District.
- (2) Massing and proportions of additions shall be simple and subordinate to the heritage building. Additions shall be sympathetic in scale and massing to the heritage building, Character Area and the District.
- (3) Additions shall not negatively impact the proportional symmetry of the heritage building.
- (4) Porches, verandahs and porticos are included in massing considerations for heritage buildings and should be designed so that they complement the proportions, placement, style and materials of the heritage building, Character Area and District.

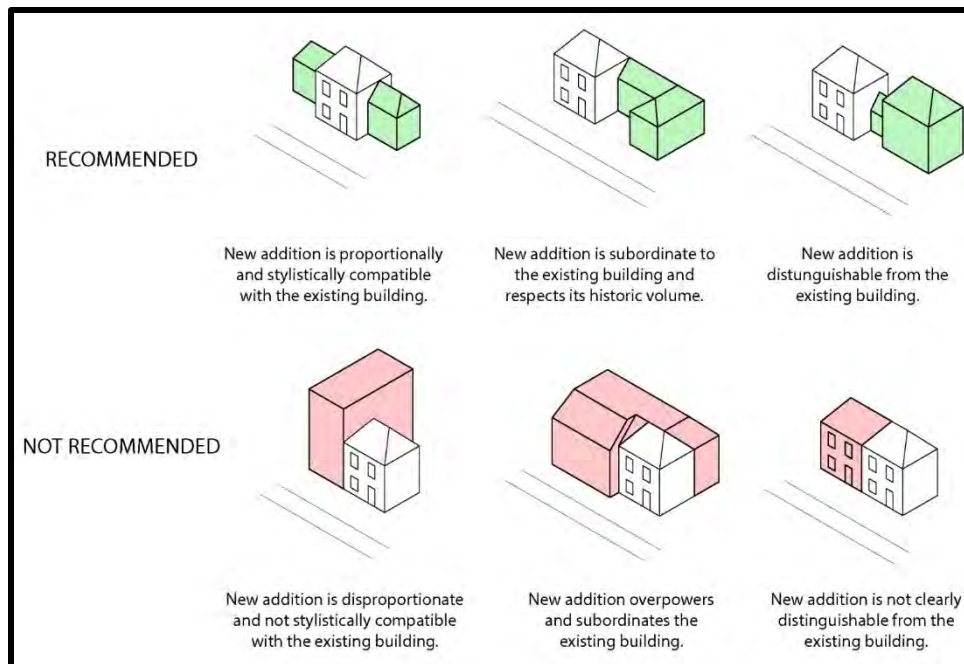


Figure 55: Guidelines for the scale and massing of additions to contributing properties

5.3.3.4 Height

- (1) Protect and maintain the historic low-rise scale of the District.
- (2) The overall scale, massing, design and height of the addition should be complementary to the heritage building and clearly secondary in terms of scale, massing and height.
- (3) Varying grades and elevation changes in the land shall be taken into account for additions. See the appropriate Character Area section in this Plan for additional guidance. The addition should not negatively impact the heritage building, Character Area or District.
- (4) An addition to a heritage building should be lower than the height of the heritage building on the property to clearly distinguish it from the original building. Additional height may be considered under exceptional circumstances on a case-by-case basis where there are demonstrated site constraints and an appropriate design has been proposed that does not negatively impact the heritage building, Character Area or District.

5.3.3.5 Style

- (1) The design of an addition should reflect or reference the architecture of the heritage building, in terms of roof form, massing, materials, windows and entrances.
 - a. Design additions so they are distinguishable from the historic portion of the heritage building.
 - b. An addition that is distinguishable from the heritage building is not required to be a different style of architecture. Cladding materials, differing rooflines and wall planes and even paint colour can be used to create a distinguishable addition.

5.3.3.6 Roofs

- (1) When considering the location of an addition, consideration shall be given to the conservation of historic roof forms and features, including eaves, eavestroughs and downspouts, soffits, finials, decorative trim.
- (2) The roof form of an addition shall be physically and visually compatible with the heritage building, Character Area and District.
 - a. Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - b. Gambrel roofs may be acceptable on a case-by-case basis.
 - c. Mansard roofs are not appropriate for the District.
 - d. While not appropriate for entire structures or large additions, flat roofs and shed roofs may be permitted for small additions when compatible with the form and architectural style of the heritage building, Character Area and District.
- (3) Roofing materials used on additions shall be physically and visually compatible with the roofing materials of the main roof of the heritage building.
 - a. Asphalt shingles, cedar shingles are appropriate roofing materials for additions to heritage buildings on contributing properties. The use of alternative materials that mimic the appearance of asphalt or cedar may be considered on a case-by-case basis.
 - b. Metal roofing materials shall not be permitted for full roof systems and may only be used for accents where compatible with the architecture of the heritage building, Character Area and District.
 - c. Membranes may be considered on flat roofs.
 - d. Roofing materials such as PVC, terracotta and ceramic that do not traditionally exist in the District shall not be permitted.
 - e. Aluminum or PVC soffits and fascia shall not be permitted
 - f. Flashing should be coloured to match the wall against which it is located.
- (4) Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the character of the heritage building, Character Area and the District.
 - a. New skylights, green roofs, roof ventilation equipment, plumbing vents, solar cells and other stacks may be permitted, providing they are located on side or rear elevations that are not visible from the public realm.
 - b. New eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.

5.3.3.7 Chimneys

- (1) Historic chimneys should not be removed to accommodate additions to heritage buildings.
- (2) Chimneys on additions may be permitted, providing they are complementary to the design and architectural style of any existing historic chimneys, the heritage building, Character Area and District.

5.3.3.8 Dormers

- (1) Historic dormers that are integral to the character of the heritage building shall not be removed to accommodate additions.

- (2) New dormers may be permitted on additions to heritage buildings where they are compatible with the architecture of the heritage building and the addition.
 - a. New dormers shall complement the design and scale of the roof, windows, and any existing dormers on the heritage building.
 - b. New dormer windows should be square or vertically proportioned and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

5.3.3.9 Windows

- (1) Protect and maintain the location, orientation, shape and size of historic window openings.
 - a. The removal or obstruction of historic window openings to accommodate new additions is strongly discouraged. Consideration may be given to window removal to accommodate additions that are located on side or rear elevations that are not visible from the public realm if they do not negatively impact the character of the heritage building, Character Area or District.
 - b. Maintain historic solid-to-void ratios and the historic rhythm of windows and bays.
- (2) Windows in additions shall be carefully considered for their location, alignment, proportions, materials and design to ensure their compatibility with the architecture of the heritage building, as exemplified by the historic rhythm of windows and bays.
 - a. Where traditionally operable window styles are used in new window openings, new windows shall also be operable.
 - b. Horizontal banding of windows shall not be permitted on public facing elevations but may be considered on a case-by-case basis on side or rear elevations that are not visible from the public realm.
 - c. Blank and windowless walls are discouraged but may be considered on a case-by-case basis where the wall is not visible from the public realm.
 - d. The appropriate solid-to-void ratios and rhythm of windows and bays (glazing) shall be between 15-30% as shown in Figure 67 on all public facing elevations.
 - e. Windows in new additions should be wood. Aluminum-clad wood may be considered on a case-by-case basis, provided that they effectively replicate wood windows.
 - f. Vinyl and fiberglass windows shall not be permitted. They are not compatible with the character of heritage buildings, Character Areas and the District, and do not adequately replicate wood windows in their detailing, finishes, profiles and colour as their sashes, frames and mouldings are often much flatter in appearance.
 - g. Glue-on or snap-on muntins are not permitted. The use of true divided lights or full profile simulated divided lights with spacer bar are required when the proposed window has muntins. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.
 - h. Window trim shall be wood, with stone or brick sills and voussoirs permitted on a case-by-case basis, depending on compatibility with the architecture of the heritage building.

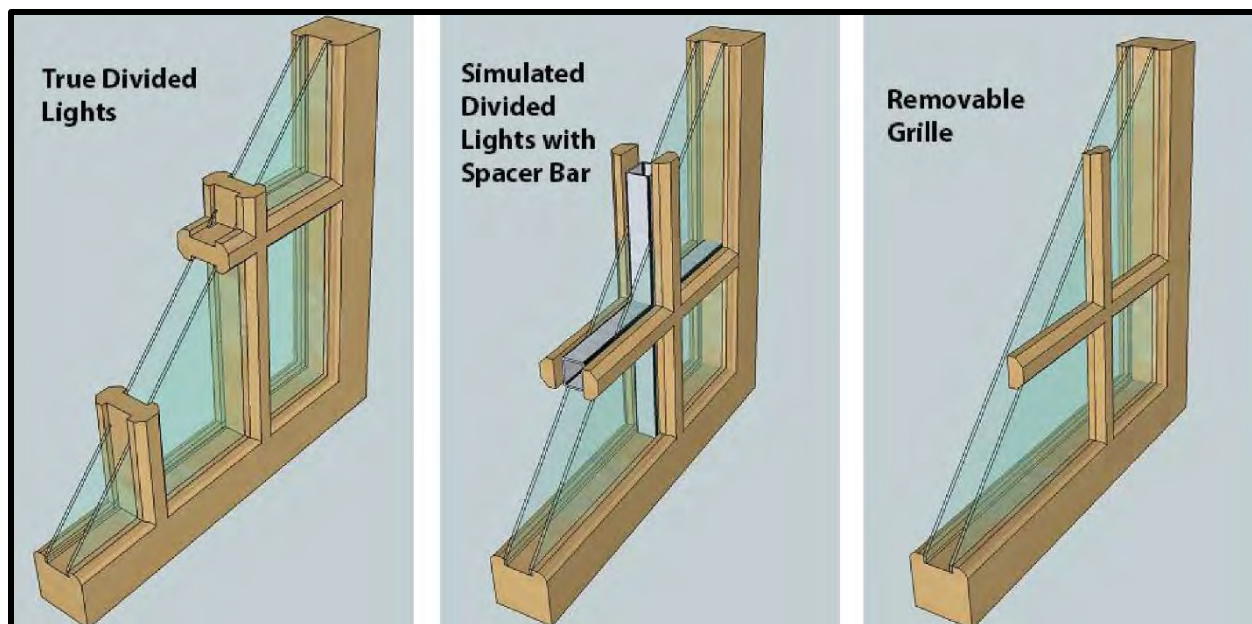


Figure 56: Examples of Muntin Bars – Removable grilles are not permitted.

5.3.3.10 Shutters

- (1) Historic shutters should not be removed to accommodate additions to heritage buildings.
- (2) Shutters on additions may be permitted only where they are physically and visually compatible with the architecture of the addition and the heritage building.
 - a. Attach shutters to the window casing rather than the wall. Hinges and hooks should be used to ensure shutters are functional.
 - b. Design shutters in a style appropriate to the architectural style of the heritage building, including panelled or louvered styles. Louvers may be fixed or operable.
 - c. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.
 - d. Wooden shutters shall be painted in a colour appropriate for the materiality and colours of the addition and the heritage building.

5.3.3.11 Entrances and Doors

- (1) Historic entrances that are integral to the character of the heritage building shall not be removed to accommodate additions.
- (2) Entrances located on an addition to a heritage building shall be compatible, in terms of location, alignment, proportions, design and materials, with the architecture of the heritage building, as exemplified by the existing historic entrances and rhythm of bays.
 - a. New entrances shall be subordinate to the primary historic entrance, in terms of location and design. New entrances should be located on side or rear elevations, not visible from the public realm
 - b. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis for additions that are not

visible from the public realm, providing they effectively replicate wood doors in their detailing, finishes and colour.

- c. Wood is the most appropriate material for screen doors. Aluminum and steel screen doors may be considered on a case-by-case basis on side or rear elevations that are not visible from the public realm.
- d. Sliding doors and other doors that do not swing shall not be permitted on elevations of additions that are visible from the public realm.
- e. Doors and door surrounds of new entrances shall be detailed in a style and materials appropriate to the architecture of the addition and heritage building.

5.3.3.12 Foundations

- (1) Additions shall be designed to ensure the impact to the heritage building foundation is as minimal as possible.
- (2) If applicable, new concrete foundations should be clad above grade with salvaged or new stone that is compatible with stone used on the heritage building.

5.3.3.13 Porches, Verandahs and Porticos

- (1) Protect and maintain historic porches, verandahs and porticos and their features, including posts, brackets, railings, steps and roofs. The removal or obstruction of historic porch, verandah and portico features to accommodate new additions should be avoided.
- (2) New porches, verandahs and porticos may be permitted on additions to heritage buildings, providing they are in a style that is appropriate for the architecture of the addition and the heritage building, and are physically and visually compatible with the heritage building, Character Area and District in terms of placement, orientation, design and materials.
 - a. Ensure new porches, verandahs and porticos on additions are subordinate to the heritage building.
 - b. When architectural elements such as columns and entablatures are used on new porches, verandahs or porticos, they should conform to classical proportions.
 - c. Materials for porches, verandahs and porticos should be wood with brick and stone used for piers or bases. The use of composite and engineered wood or wrought iron may be considered on a case-by-case basis.

5.3.3.14 Garages and Coach Houses

For the purposes of this Plan, new garages on Contributing Properties will be addressed in this 'Additions to Contributing Properties' section. It is noted that new detached garages are always preferred to new attached garages.

For the purposes of this Plan, the intent of new garages (detached or attached) is primarily for residential storage (i.e. cars, household materials) with any additional living space as a secondary consideration.

For guidelines on new Detached Additional Residential Units on Contributing or Non-Contributing Properties, see Section 5.6.

- (1) New detached garages are strongly preferred on contributing properties.
- (2) New attached garages may be permitted on a case-by-case basis, providing they are subordinate to and compatible with the heritage building, the context of the contributing property, Character Area and District.
- (3) New garages, whether detached or attached, shall be located and massed to be minimize their visibility from the public realm
 - a. Detached and attached garages shall be lower in profile than the heritage building, and shall be complementary to the heritage building in design, materials and colour.
 - b. Landscaping treatments should be used to screen garages from the public realm.
 - c. New garages shall not block or obstruct views of the heritage building from the public realm.
 - d. New garages shall respond appropriately to changes in grade and topography to ensure they remain subordinate in the streetscape to the heritage building.
 - e. New attached garages shall be subordinate to the heritage building, located on rear or side elevations of the heritage building and shall minimize the loss of historic fabric. When located on side elevations, attached garages must be substantially set back from the main elevation of the heritage building
 - f. New detached garages shall be located to the rear or side of the heritage building, set back from the heritage building.
 - g. Garage roofs, doors and windows shall be complementary to the architecture of the heritage building, Character Area and District.
 - h. Garage doors shall each be a single car width, with separated overhead doors for each bay.
 - i. Detached and attached garages shall have no more than two door bays.
 - j. When applying these guidelines to proposals for new garages on corner lots, special consideration may be given in recognition of their visibility from the public realm.

5.3.3.15 Utility Service Equipment

- (1) Utility and service equipment shall not negatively impact the contributing property, Character Area or the District and shall be located so as to minimize its visibility from the public realm.
 - a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations and should not be visible from the public realm. If visible from the public realm, screen appropriately using landscaping features. (See Section 5.7- Landscape and Site Design Guidelines for Privately Owned Lands, for requirements on screening)
 - b. New aboveground infrastructure, including hydro lines, should be buried.
 - c. Solar panels may be permitted if oriented so that they do not compromise the character of the contributing property, Character Area or District and are preferred on side and rear elevations.

5.3.3.16 Exterior Walls

- (1) Protect and maintain historic exterior walls wherever possible, with the understanding that additions may require the removal of a portion of historic exterior walls. Removals should be

carefully considered to minimize the impact to the historic materials and to ensure that the structural stability of the heritage building is not compromised.

- (2) The removal or obstruction of unique historic architectural features of exterior walls should be avoided.
- (3) Historic exterior walls that are proposed to be altered through removal or attachment to a new addition shall be fully investigated to determine structural stability and compatibility as part of a complete heritage permit application.
- (4) Exterior walls of an addition shall be compatible in terms of materials with the exterior form of the heritage building. Distinguishing the new addition from the heritage building can be achieved through the use of a sympathetic cladding material, different patterns and colours.
- (5) Traditional materials including wood, historically appropriate three-coat stucco and brick are appropriate cladding materials for additions to heritage buildings. Stone may be used for foundations to additions only.
- (6) Historically unpainted masonry surfaces of the heritage building shall not be painted to match new additions.
- (7) Exterior Insulation and Finish Systems (EIFS), vinyl and aluminum siding shall not be permitted on additions to heritage buildings.

Examples of Additions



Figure 57: 19 Navy Street – addition to rear and visible from side street; height of addition steps down; consistency in roof form and style of windows/doors and trim; complementary use of materials including brick and horizontal wood cladding



Figure 58: 273 William Street (left) – addition to west; height of addition matches; consistency in roof form and style of windows/doors and trim; complementary use of materials

Figure 59: 66 Dunn Street (right) – small addition to rear and visible from side yard. Height of addition matches; consistency in roof form and style of windows/doors and trim; complementary use of materials with shake cladding distinct from stucco



Figure 60: 53 Navy Street (left) – addition to rear and visible from William Street. Height of addition matches; consistency in gable roof form stucco cladding and public facing style of windows/doors and trim

Figure 61: 188 William Street (right) – addition to rear and visible from William Street. Height of addition is lower than original, combination of consistent stucco cladding and complementary horizontal wood cladding; wood windows in complementary style



Figure 62: 308 William Street (left) – addition to rear and visible from Reynolds Street. Height of addition is lower than original, consistent horizontal wood cladding and chimney style, wood French doors in complementary style

Figure 63: King Street (right) – small addition to rear and visible from side yard facing George Street. One storey “connection” to original creates impression of outbuilding; complementary gable shake roof and use of colour; distinction in cladding through use of horizontal wood and in window form

5.4 Guidelines for Non-Contributing Properties

5.4.1 General Guidelines

5.4.1.1 Understanding

- (1) Alterations and additions to a non-heritage building and/or non-contributing property shall be based on a firm understanding of its Character Area and the District. Alterations and additions should be complementary to the Character Area and the District.
- (2) Complementary alterations and additions physically and visually conserve or enhance the cultural heritage value and heritage attributes of the District, even on non-contributing properties.
 - a. To be physically complementary refers to the use of materials and construction methods that do not detract from or damage the District's heritage attributes.
 - b. To be visually complementary refers to the selection of materials and design, massing, proportions and details so as to conserve and enhance the District's cultural heritage value.
- (3) Inspiration for design can be taken from the examples of 'Good Neighbours' (see Appendix E). 'Good Neighbours' are non-contributing properties that are appropriate for their Character Area and the District and have the following characteristics:
 - a. Their scale, height and massing are complementary to neighbouring properties
 - b. Their materials and colours are appropriate for the District
 - c. Their design inspiration has been taken from heritage buildings in the District but does not directly copy historic architecture.
- (4) Alterations and additions to a non-heritage building may be permitted when the following has been completed:
 - a. The impact of the proposed alterations and/or additions on the Character Area of the property and the District have been identified:
 - i. this means making the changes physically and visually compatible with the impacted Character Area; and,
 - ii. ensuring that the proposed changes meet the objectives set out in Section 3 of this Plan and Guidelines; and
 - iii. on corner lots, special consideration has been given for both public facing elevations and their impact on the streetscapes.
- (5) A Heritage Impact Assessment (HIA) may be required accordance with the Town of Oakville's Development Application Guidelines for Heritage Impact Assessments.

5.4.1.2 Compliances

- (1) Current codes and standards pertaining to health and safety, security, accessibility and sustainability requirements shall be adhered to in a way that does not negatively impact the Character Area or the District. This includes but is in no way limited to the Ontario Building Code (OBC) and Accessibility for Ontarians with Disabilities Act (AODA).

- (2) New development should also refer to the Town of Oakville's Design Guidelines for Stable Residential Communities.

5.4.1.3 Demolition

- (1) The demolition of a non-heritage building on a non-contributing property may be permitted (in whole or part) through a heritage permit application. The application shall be accompanied by the plans for the proposed new addition or building on the property.
- (2) If permission to demolish a non-heritage building is granted through heritage permit approval, a demolition permit shall not be issued until complete plans for the replacement building have been submitted for a building permit.
 - a. Plans for replacement buildings must conform to this Plan as well as all other applicable Town policies.
 - b. The physical demolition of the existing non-heritage building shall not take place until the issuance of the building permit for the new dwelling.
 - c. Securities for the construction of a new structure may be required in order to prevent empty lots within the District. Substantial progress shall be made in the construction of the replacement building within two years of the demolition of the previous building. If the delay is deemed to be unwarranted, securities may be forfeited, at the discretion of the Town of Oakville's Director of Planning and Development.
 - d. If construction of the replacement building is delayed, the Town may require interim landscape treatment of the site. If the delay is deemed to be unwarranted, securities may be forfeited, at the discretion of the Town of Oakville's Director of Planning and Development.

5.4.1.4 Lot Severances and Assembly

- (1) Consent applications will be evaluated on a case-by-case basis for lot severances and assembly in the District.
- (2) All severances must conform to provincial and local policies and by-laws including, but not limited to, the in-effect Official Plan and Zoning By-law.
- (3) The lot size of any infill property or severance shall reflect the character of the surrounding lot fabric and the impacted Character Area.
- (4) Protect the traditional quarter acre lot settlement pattern with appropriate lot sizes, front yard setbacks, openness at intersections, and vistas between properties;
- (5) Applications for new development and additions bridging assembled lots will be considered on a case-by-case basis, according to the following criteria:
 - a. Traditional distances between buildings and the picturesque rhythm of buildings within streetscapes shall be maintained;
 - b. Long street elevations that would break the historic streetscape rhythm and negatively impact the Character Area shall not be permitted;
 - c. Any adjacent heritage building shall remain clearly distinct and identifiable; and
 - d. Any proposed linking structure shall be subordinate to the heritage building.

5.4.1.5 Spaces Around Buildings

- (1) Maintain traditional distances between buildings visible from the public realm and the picturesque rhythm of buildings with streetscapes.
- (2) Maintain traditional views and orientation of adjacent heritage buildings from the public realm.
- (3) Special consideration may apply to buildings of atypical orientation, on lakefront lots and/or on corner lots.

5.4.2 Alterations and Additions to Non-Contributing Properties

5.4.2.1 Impact on Character Area and District

- (1) Alterations and additions to a non-heritage building on a non-contributing property may be permitted where they are physically and visually compatible with the impacted Character Area and the District.

5.4.2.2 Scale, Massing and Location

- (1) The scale, massing and location of an addition to a non-heritage building shall be physically and visually compatible with the impacted Character Area and the District.
- (2) Maintain prominent views of surrounding heritage buildings from the public realm. Do not block or obscure prominent views of adjacent heritage buildings from the public realm with additions to non-heritage buildings, landscaping, fencing, servicing or utility equipment.
- (3) Design new additions and alterations to non-heritage buildings so that any significant landscape features of the existing property are maintained, including mature trees and site topography. Use creative design solutions to integrate new buildings into the existing setting.
- (4) Locate new additions on non-heritage buildings parallel with the street, in concert with existing buildings in the Character Area and District.
- (5) If applicable, alterations and additions to non-heritage buildings on corner sites must address all public facing elevations.

5.4.2.3 Height

- (1) Protect and maintain the historic low-rise scale of the District.
- (2) The overall scale, massing, design and height of the addition should be complementary to the existing building and clearly secondary in terms of scale, massing and height.
- (3) Varying grades and elevation changes in the land shall be taken into account for additions. See the appropriate Character Area section in this Plan for additional guidance. The addition should not negatively impact the existing building, Character Area or District.
- (4) An addition to a non-heritage building should be lower than the height of the non-heritage building on the property. Additional height may be considered under exceptional circumstances on a case-by-case basis where there are demonstrated site constraints and an appropriate design has been proposed that does not negatively impact the non-heritage building, Character Area or District.

5.4.2.4 Style

- (1) Alterations to non-heritage buildings and new additions to non-heritage buildings should be compatible with the existing building, the Character Area and District.

- (2) Introduction of historic architectural details that have no context with the existing building should be avoided.

5.4.2.5 Roofs

- (1) The roof form of a non-heritage building or its additions shall be physically and visually compatible with that of the existing building, Character Area and District.
- a. Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - b. Gambrel roofs may be acceptable on a case-by-case basis.
 - c. Mansard roofs are not appropriate for the District.
 - d. While not appropriate for entire structures or large additions, flat roofs and shed roofs may be permitted for small wings when compatible with the existing building, Character Area and District.
- (2) Roofing materials used on non-heritage buildings and their additions shall be physically and visually compatible with the roofing materials of the main roof of the existing building, the Character Area and District.
- a. Asphalt shingles, cedar shingles are appropriate roofing materials for additions to non-heritage buildings. The use of alternative materials that mimic the appearance of asphalt or cedar may be considered on a case-by-case basis.
 - b. Metal roofing materials shall not be permitted for full roof systems and may only be used for accents where compatible with the architecture of the existing building, Character Area and District.
 - c. Membranes may be considered on flat roofs.
 - d. Roofing materials such as PVC, terracotta and ceramic that do not traditionally exist in the District shall not be permitted.
 - e. Aluminum or PVC soffits and fascia shall not be permitted.
 - f. Flashing should be coloured to match the wall against which it is located.
- (3) Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the Character Area and District.
- a. New skylights, green roofs, roof ventilation equipment, plumbing vents, solar cells and other stacks may be permitted, providing they are located on side or rear elevations that are not visible from the public realm.
 - b. New eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.

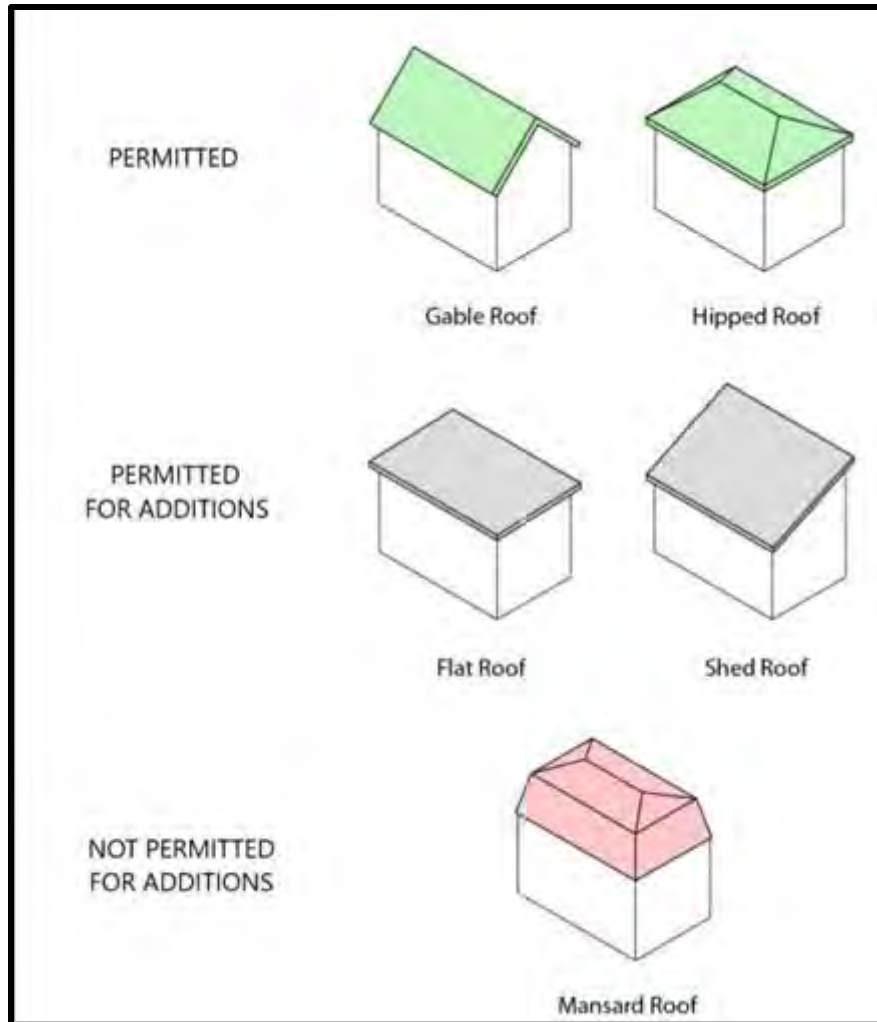


Figure 64: Examples of roof forms

5.4.2.6 Chimneys

- (1) Chimneys on non-heritage buildings and their additions may be permitted, providing they are complementary in scale, massing and materials to the existing building, Character Area and District.

5.4.2.7 Dormers

- (1) New dormers may be permitted on non-heritage buildings and their additions when they are compatible with the architecture of the existing building and the impacted Character Area.
 - a. Scale new dormers to complement the design and scale of the roof, windows, and any existing dormers on the existing building.

5.4.2.8 Windows

- (1) Windows in non-heritage buildings and their additions shall be carefully considered for their location, alignment, proportions, materials and design to ensure their compatibility with the architecture of the existing building, Character Area and District.
 - a. Where traditionally operable window styles are used in new window openings, new windows shall also be operable.
 - b. Horizontal banding of windows shall not be permitted on public facing elevations but may be considered on a case-by-case basis on side or rear elevations that are not visible from the public realm.
 - c. Blank and windowless walls are discouraged but may be considered on a case-by-case basis where the wall is not visible from the public realm.
 - d. The appropriate solid-to-void ratios and rhythm of windows and bays (glazing) shall be between 15-30% as shown in Figure 67 on all public facing elevations.
 - e. Windows in new additions to non-heritage buildings should match the existing windows in the building. Aluminum-clad wood may be considered on a case-by-case basis.
 - f. Vinyl and fiberglass windows are not permitted unless the existing windows in the non-heritage building are vinyl or fiberglass.
 - g. Glue-on or snap-on muntins are not permitted. Simulated divided lights should be integral to the window sash.
 - h. Window trim should be wood or aluminum clad-wood, with stone or brick sills and voussours permitted on a case-by-case basis, depending on compatibility with the architecture of the existing building.

5.4.2.9 Shutters

- (1) Shutters may be permitted on non-heritage buildings and their additions when they are physically and visually compatible with the architecture of the existing building, the Character Area and District.
 - a. Attach shutters to the window casing rather than the wall. Hinges and hooks should be used to ensure shutters are functional.
 - b. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.

5.4.2.10 Entrances and Doors

- (1) Entrances located on a non-heritage building or its addition should be compatible with the existing building in terms of general arrangement, proportions, design and material, and not negatively impact the Character Area and District.
 - a. Principal entrances for non-heritage buildings shall be oriented towards the public realm.
 - b. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis for additions that are not visible from the public realm, providing they effectively replicate wood doors in their detailing, finishes and colour.
 - c. Wood is the most appropriate material for screen doors. Aluminum and steel screen doors may be considered on a case-by-case basis on side or rear elevations that are not visible from the public realm.
 - d. Sliding doors and other doors that do not swing shall not be permitted on elevations of non-heritage buildings or their additions that are visible from the public realm.
 - e. Doors and door surrounds of new entrances shall be detailed in a style and materials appropriate to the architecture of the existing building.

5.4.2.11 Foundations

- (1) Non-heritage buildings and their additions should have unobtrusive foundations that do not detract from the Character Area and District.
- (2) New foundations on non-heritage buildings and their additions should not use cuts and types of stone or materials not in keeping with the Character Area and District.

5.4.2.12 Porches, Verandahs and Porticos

- (1) New porches, verandahs and porticos may be permitted on non-heritage buildings and their additions providing they are in a style that is appropriate for the architecture of the existing building, Character Area and District.
 - a. When architectural elements such as columns and entablatures are used on new porches, verandahs or porticos, they should conform to classical proportions.
 - b. Materials for porches, verandahs and porticos should be wood with brick and stone used for piers or bases. The use of composite and engineered wood or wrought iron may be considered on a case-by-case basis.

5.4.2.13 Garages and Coach Houses

For the purposes of this Plan, new garages on Non-Contributing Properties will be addressed in the 'Alterations and Additions to Non-Contributing Properties' section. It is noted that new detached garages are always preferred to new attached garages.

For the purposes of this Plan, the intent of new garages (detached or attached) is primarily for residential storage (i.e. cars, household materials) with any additional living space as a secondary consideration.

For guidelines on new Detached Additional Residential Units on Contributing or Non-Contributing Properties, see Section 5.6.

- (1) New detached garages are strongly preferred in the District.
- (2) New attached garages may be permitted on a case-by-case basis, providing they are subordinate to and compatible with the existing building, Character Area and District.
- (3) New garages, whether detached or attached, shall be located and massed to minimize their visibility from the public realm
 - a. Detached and attached garages shall be lower in profile than the existing building, and shall be complementary to the existing building, Character Area and District.
 - b. Landscaping treatments should be used to screen garages from the public realm.
 - c. New garages on non-contributing properties shall not block or obstruct views of surrounding heritage buildings from the public realm.
 - d. New garages shall respond appropriately to changes in grade and topography to ensure they remain subordinate in the streetscape to surrounding heritage buildings.
 - e. New attached garages shall be subordinate to the existing building and located on rear or side elevations of the existing building. When located on side elevations, attached garages must be substantially set back from the main elevation of the existing building
 - f. New detached garages shall be located to the rear or side of the existing building.
 - g. Garage roofs, doors and windows shall be complementary to the architecture of the existing building, Character Area and District.
 - h. Garage doors shall each be a single car width, with separated overhead doors for each bay.
 - i. Detached and attached garages shall have no more than two door bays.
 - j. When applying these guidelines to proposals for new garages on corner lots, special consideration may be given in recognition of their visibility from the public realm.

5.4.2.14 Utility Service Equipment

- (1) Utility and service equipment shall not negatively impact the Character Area or the District and shall be located so as to minimize its visibility from the public realm.
 - a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations and should not be visible from the public realm. If visible from the public realm, screen appropriately using landscaping features. (See Section 5.7 – Landscape and Site Design Guidelines for Privately Owned Lands, for requirements on screening)
 - b. New aboveground infrastructure, including hydro lines, should be buried.
 - c. Solar panels may be permitted if oriented so that they do not compromise the Character Area or District and are preferred on side and rear elevations.

5.4.2.15 Exterior Walls

- (1) Exterior walls of a non-heritage building and/or its addition shall be compatible in terms of materials with the exterior form of the existing building, Character Area and District.
- (2) Traditional materials including wood and brick are appropriate cladding materials for non-heritage buildings and/or their additions. Stone may be used as a foundation material only on a case-by-case basis and shall be a type and cut appropriate for the Character Area and District.

- (3) Exterior Insulation and Finish Systems (EIFS) and vinyl and aluminum siding shall not be permitted on non-heritages buildings or their additions.
- (4) Composite materials, such as wood siding or shingles may be considered on a case-by-case basis.

5.5 New Development – Primary Structures

For the purposed of this Plan, this section shall apply to the development of new primary structures on contributing or non-contributing properties. Primary structures are the principal building, usually a residence, on a lot.

***For guidelines on Garages and Coach Houses, refer to Sections 5.3.4.14 or 5.4.2.13.
For guidelines on new Detached Additional Residential Units, refer to Section 5.6.
For guidelines on new Outdoor Use Associated Structures, refer to Section 5.7.4.***

5.5.1 General Guidelines

5.5.1.1 Good Neighbours

- (1) New development shall be based on a firm understanding of the impacted Character Area and District. New development should be complementary to the Character Area and the District.
- (2) Complementary alterations and additions physically and visually conserve or enhance the cultural heritage value and heritage attributes of the District, on both contributing and non-contributing properties.
 - c. To be physically complementary refers to the use of materials and construction methods that do not detract from or damage the District's heritage attributes.
 - d. To be visually complementary refers to the selection of materials and design, massing, proportions and details so as to conserve and enhance the District's cultural heritage value.
- (3) Since the inception of the District in 1981 there have been a number of new buildings constructed that are sympathetic to the character of the District and compatible with the neighbourhood. Inspiration for design can be taken from the examples of 'Good Neighbours' (see Appendix E). 'Good Neighbours' are non-contributing properties that are appropriate for their Character Area and the District and have the following characteristics:
 - a. Their scale, height and massing is complementary to neighbouring properties
 - b. Their materials and colours are appropriate for the District
 - c. Their design inspiration has been taken from heritage buildings in the District but does not directly copy historic architecture.
 - d. The location of the new development within the lot has conserved historic views.
 - e. The property has landscaping and fencing that is appropriate for the District.

5.5.1.2 Impact on Heritage Character of the District

- (1) New development of a primary structure may be permitted where it is physically and visually compatible with the impacted Character Area and the District.
- (2) New primary structures shall contribute to the sense of place of the District and shall not negatively impact or detract from the heritage character of surrounding contributing properties within the impacted Character Area and the District.

5.5.1.3 Location, Scale and Massing

- (1) The scale and massing of new primary structures shall be physically and visually compatible with the impacted Character Area and the District.
- (2) Locate new primary structures so that prominent views of surrounding heritage buildings from the public realm are maintained. Do not block or obscure prominent views of surrounding heritage buildings from the public realm with landscaping, fencing, servicing or utility equipment.
- (3) Design new primary structures so that any significant landscape features of the existing property are maintained, including mature trees and site topography. Use creative design solutions to seamlessly integrate new development into the existing setting.
- (4) Place new primary structures parallel with the street, in concert with existing buildings in the Character Area and District.
- (5) New primary structures on corner sites must address all public facing streets.

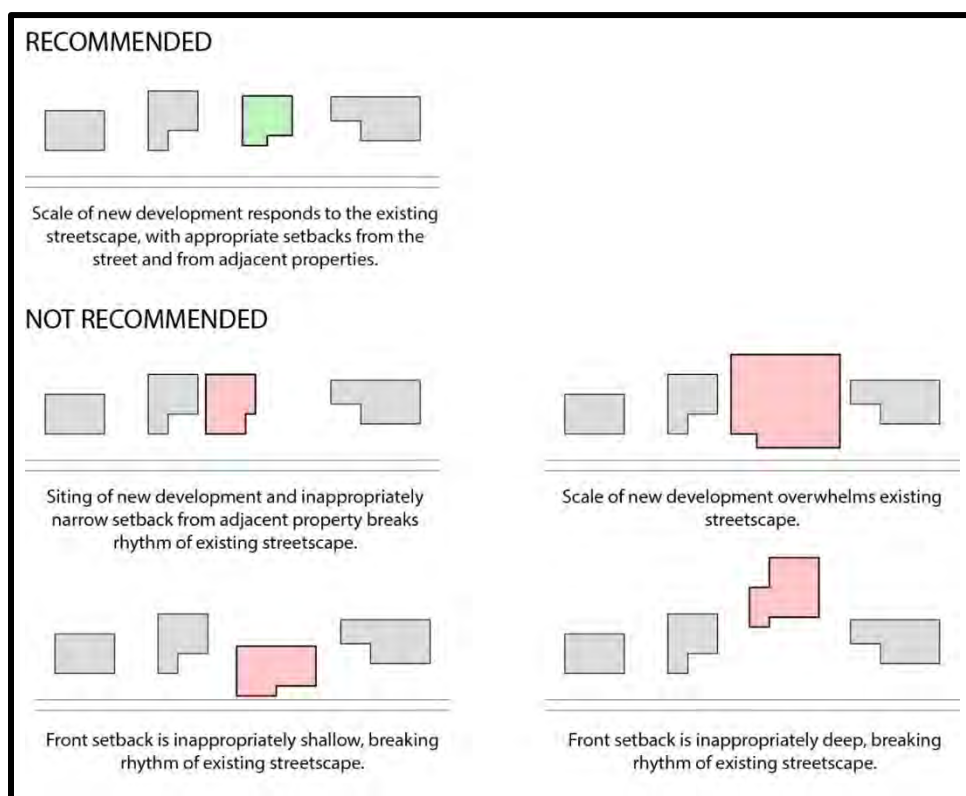


Figure 65: Guidelines for siting new development within the existing streetscape

5.5.1.4 Height

- (1) Protect and maintain the historic low-rise scale of the District.
- (2) New primary structures shall be compatible and complementary to surrounding properties, the Character Area and the District.

- (3) Varying grades and elevation changes in the land shall be taken into account for new primary structures. See the appropriate Character Area section in this Plan for additional guidance. The new primary structure should not negatively impact neighbouring buildings, Character Area or District.

5.5.1.5 Style

- (1) The architecture of new primary structures should be compatible with adjacent heritage buildings within the impacted Character Area and the District.
- (2) The architectural style of new buildings should be respectful of the local vernacular of the District and be compatible with neighbouring properties in the Character Area.

5.5.1.6 Roofs

- (1) The roof form of a new primary structure shall be physically and visually compatible with the Character Area and District.
- Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - Gambrel roofs may be acceptable on a case-by-case basis.
 - Mansard roofs are not appropriate for the District.
 - While not appropriate for the entire roof system of new primary residences, flat roofs and shed roofs may be permitted for small portions of the building where compatible with the Character Area and District.
 - Flat roof sections that are part of a hipped roof structure cannot account for more than 15% of the roof of the primary structure.
- (2) Roofing materials used on new primary structures shall be physically and visually compatible with the roofing materials of the Character Area and District.
- Asphalt shingles, cedar shingles are appropriate roofing materials for new primary structures. The use of alternative materials that mimic the appearance of asphalt or cedar may be considered on a case-by-case basis.
 - Metal roofing materials shall not be permitted for full roof systems and may only be used for accents where compatible with the architecture of the Character Area and District.
 - Membranes may be considered on flat roofs.
 - Roofing materials such as PVC, terracotta and ceramic that do not traditionally exist in the District shall not be permitted.
 - Aluminum or PVC soffits and fascia shall not be permitted
 - Flashing should be coloured to match the wall against which it is located.
- (3) Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the Character Area and District.
- New skylights, green roofs, roof ventilation equipment, plumbing vents, solar cells and other stacks may be permitted, providing they are located on side or rear elevations that are not visible from the public realm.
 - New eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations

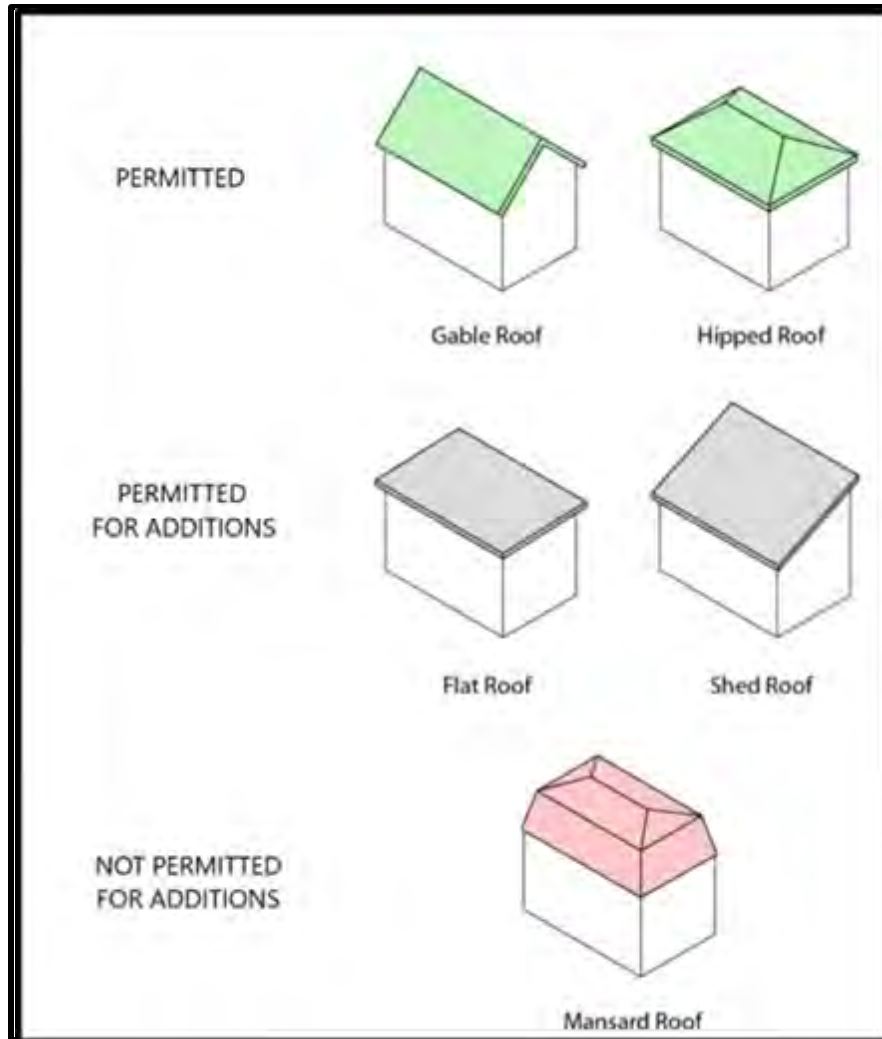


Figure 66: Guidelines for roof forms in the District

5.5.1.7 Chimneys

- (1) Chimneys on new primary residences may be permitted, providing they are complementary in scale, massing and materials to the Character Area and District.

5.5.1.8 Dormers

- (1) Dormers may be permitted on new primary structures when they are compatible with the Character Area and District.
 - a. Scale new dormers to complement the design and scale of the roof, windows, of the Character Area.

5.5.1.9 Windows

- (1) Windows in new primary structures shall be carefully considered for their location, alignment, proportions, materials and design to ensure their compatibility with the Character Area and District.
 - a. Where traditionally operable window styles are used in new window openings, new windows shall also be operable.
 - b. Horizontal banding of windows shall not be permitted on public facing elevations but may be considered on a case-by-case basis on side or rear elevations that are not visible from the public realm.
 - c. Blank and windowless walls are discouraged but may be considered on a case-by-case basis where the wall is not visible from the public realm.
 - d. The appropriate solid-to-void ratios and rhythm of windows and bays (glazing) shall be between 15-30% as shown in Figure 67 on all public facing elevations.
 - e. Windows in new development should be appropriate for the Character Area and District. While wood is preferred, aluminum-clad wood may be considered on a case-by-case basis.
 - f. Vinyl and fiberglass windows are not permitted.
 - g. Glue-on or snap-on muntins are not permitted. Simulated divided lights should be integral to the window sash.
 - h. Window trim should be wood or aluminum clad-wood, with stone or brick sills and voussoirs permitted on a case-by-case basis.

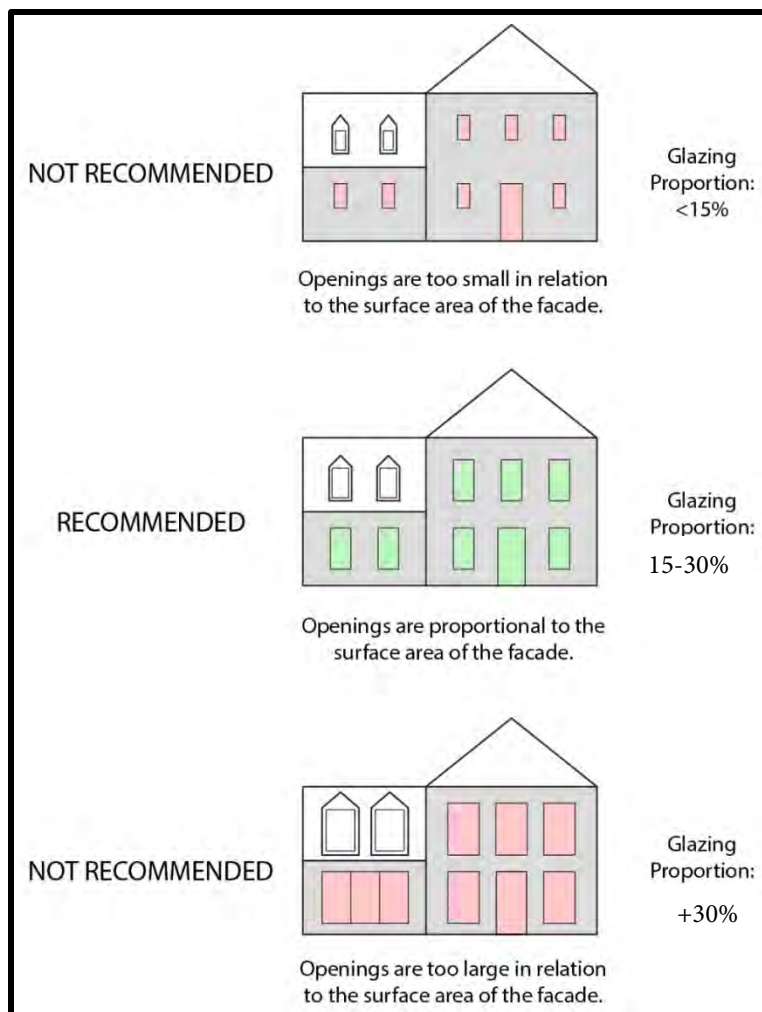


Figure 67: Guidelines for the solid-to-void ratio of new development

5.5.1.10 Shutters

- (1) Shutters may be permitted on new primary structures when they are physically and visually compatible with the Character Area and District.
 - a. Attach shutters to the window casing rather than the wall. Hinges and hooks should be used to ensure shutters are functional.
 - b. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.

5.5.1.11 Entrances

- (1) Entrances located on new primary structures should be compatible with the Character Area and District.
 - a. Principal entrances for new primary structures shall be oriented towards the public realm.
 - b. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis when they are not visible from the public realm, providing they effectively replicate wood doors in their detailing, finishes and colour.

- c. Wood is the most appropriate material for screen doors. Aluminum and steel screen doors may be considered on a case-by-case basis on side or rear elevations that are not visible from the public realm.
- d. Sliding doors and other doors that do not swing shall not be permitted on elevations of new primary structures that are visible from the public realm.
- e. Doors and door surrounds of new entrances shall be detailed in a style and materials appropriate to the Character Area and District.

5.5.1.12 Foundations

- (1) New primary structures should have unobtrusive foundations that do not detract from the Character Area or District.
- (2) Foundations should not use cuts and types of stone or materials that are not in keeping with the Character Area and District.

5.5.1.13 Porches, Verandahs and Porticos

- (1) New porches, verandahs and porticos may be permitted on new primary structures providing they are in a style that is appropriate for the Character Area and District.
 - a. When architectural elements such as columns and entablatures are used on new porches, verandahs or porticos, they should conform to classical proportions.
 - b. Materials for porches, verandahs and porticos should be wood with brick and stone used for piers or bases. The use of composite and engineered wood or wrought iron may be considered on a case-by-case basis.

5.5.1.14 Garages and Coach Houses

For the purposes of this Plan, new garages on Non-Contributing Properties will be addressed in the 'New Development – Primary Structures' section. It is noted that new detached garages are always preferred to new attached garages.

For the purposes of this Plan, the intent of new garages (detached or attached) is primarily for residential storage (i.e. cars, household materials) with any additional living space as a secondary consideration.

For guidelines on new Detached Additional Residential Units on Contributing or Non-Contributing Properties, see Section 5.6.

- (1) New detached garages are strongly preferred in the District.
- (2) New attached garages may be permitted on a case-by-case basis, providing they are subordinate to and compatible with the Character Area and District.
- (3) New garages, whether detached or attached, shall be located and massed to minimize their visibility from the public realm
 - a. Detached and attached garages shall be lower in profile than the new primary structure and shall be complementary to the Character Area and District.
 - b. Landscaping treatments should be used to screen garages from the public realm.
 - c. New garages shall not block or obstruct views of surrounding heritage buildings from the public realm.
 - d. New garages shall respond appropriately to changes in grade and topography to ensure they remain subordinate in the streetscape to surrounding heritage buildings.

- e. New attached garages shall be subordinate to the new primary structure and located on rear or side elevations of the structure. When located on side elevations, attached garages must be substantially set back from the main elevation of the new primary structure.
- f. New detached garages shall be located to the rear or side of the new primary structure.
- g. Garage roofs, doors and windows shall be complementary to the architecture of the Character Area and District.
- h. Garage doors shall each be a single car width, with separated overhead doors for each bay.
- i. Detached and attached garages shall have no more than two door bays.
- j. When applying these guidelines to proposals for new garages on corner lots, special consideration may be given in recognition of their visibility from the public realm.

5.5.1.15 Utility Service Equipment

- (1) Utility and service equipment shall not negatively impact the Character Area or the District and shall be located so as to minimize its visibility from the public realm.
 - a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations and should not be visible from the public realm. If visible from the public realm, screen appropriately using landscaping features. (See Section 5.7 – Landscape and Site Design Guidelines for Privately Owned Lands, for requirements on screening)
 - b. New aboveground infrastructure, including hydro lines, should be buried.
 - c. Solar panels may be permitted if oriented so that they do not compromise the Character Area or District and are preferred on side and rear elevations.

5.5.1.16 Exterior Walls

- (1) Exterior walls of new primary structures shall be compatible with the Character Area and District.
- (2) Traditional materials including wood and brick are appropriate cladding materials for new primary structures. Stone may be used as a foundation material only on a case-by-case basis and shall be a type and cut appropriate for the Character Area and District.
- (3) Exterior Insulation and Finish Systems (EIFS) and vinyl and aluminum siding shall not be permitted on new primary structures.
- (4) Composite materials, such as wood siding or shingles may be considered on a case-by-case basis.

5.6 New Development – Detached Additional Residential Unit

This section shall apply for the development of new Detached Additional Residential Units on both Contributing and Non-Contributing Properties.

For guidelines on Garages and Coach Houses, refer to Sections 5.3.4.14 or 5.4.2.13.

For guidelines on new Primary Structures, refer to Section 5.5

For guidelines on Outdoor Use Associated Structures, refer to Section 5.7.4.

5.6.1 General Guidelines

5.6.1.1 Impact on Heritage Character of the District

- (1) New detached additional residential units may be permitted, providing they do not negatively impact the Character Area and District, and, if applicable, the heritage building on a contributing property.
- (2) New detached additional residential units should be complementary to the Character Area and the District.
- (3) Complementary detached additional residential units physically and visually conserve or enhance the cultural heritage value and heritage attributes of the District, on both contributing and non-contributing properties.
 - e. To be physically complementary refers to the use of materials and construction methods that do not detract from or damage the District's heritage attributes.
 - f. To be visually complementary refers to the selection of materials and design, massing, proportions and details so as to conserve and enhance the District's cultural heritage value.
- (4) New detached additional residential units shall be designed to be compatible with and respect the heritage character of the Character Area and District, and if applicable, the heritage building on a contributing property, through attention to height, built form, setback, massing, material, orientation, relationship to the street, and other architectural details or physical elements.
- (5) New detached additional residential units shall contribute to the sense of place of the District and shall not negatively impact or detract from the heritage character of the Character Area and District, and if applicable, the heritage building on a contributing property.

5.6.1.2 Location, Scale and Massing

- (1) The scale, massing and location of new detached additional residential units shall be physically and visually compatible with the Character Area and District, and if applicable, the heritage building on a contributing property.
- (2) Maintain prominent views of heritage buildings (on site or adjacent to) from the public realm. Do not block or obscure prominent views of adjacent heritage buildings from the public realm with landscaping, fencing, servicing or utility equipment.

- (3) Design new detached additional residential units so that any significant landscape features of the existing property are maintained, including mature trees and site topography. Use creative design solutions to integrate new units into the existing setting.
- (4) New detached additional residential units on lots that are corner sites must address all public facing streets, if applicable.

5.6.1.3 Height

- (1) Protect and maintain the historic low-rise scale of the District.
- (2) The maximum height for new detached additional residential units shall be a half storey less than the primary structure on the property. In the case of one-storey primary structures, the new detached additional residential unit shall be limited in height to match the primary structure.
- (3) New detached additional residential units shall be compatible and complementary to the primary structure on the property, surrounding properties, the Character Area and the District.
- (4) Varying grades and elevation changes in the land shall be taken into account for new detached additional residential units. See the appropriate Character Area section in this Plan for additional guidance. The new detached additional residential unit should not negatively impact the primary structure on the property, neighbouring buildings, Character Area or District.

5.6.1.4 Style

- (1) The architecture of new detached additional residential units shall be compatible with the impacted Character Area, District, and if applicable, the heritage building on a contributing property.
- (2) The architecture of new detached additional residential units should be respectful of the local vernacular of the District and maintain appropriate design scale and details in respect of neighbouring properties in the Character Area, and if applicable, the heritage building on a contributing property.

5.6.1.5 Roofs

- (1) The roof form of a new detached additional residential unit shall be physically and visually compatible with the Character Area, District, and if applicable, the heritage building on a contributing property.
 - a. Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - b. Gambrel roofs may be acceptable on a case-by-case basis.
 - c. Mansard roofs are not appropriate for the District.
 - d. Flat roofs and shed roofs may be permitted for small portions of the detached additional residential unit if they are no more than one storey in height on a case-by case basis where compatible with the Character Area, District, and if applicable, the heritage building on a contributing property.
 - e. Flat roof sections that are part of a hipped roof structure cannot account for more than 15% of the roof of the unit.

- (2) Roofing materials used on new detached additional residential units shall be physically and visually compatible with the roofing materials of the Character Area and District, and if applicable, the heritage building on a contributing property.
 - a. Asphalt shingles, cedar shingles are appropriate roofing materials for new primary structures. The use of alternative materials that mimic the appearance of asphalt or cedar may be considered on a case-by-case basis.
 - b. Metal roofing materials shall not be permitted for full roof systems and may only be used for accents where compatible with the architecture of the Character Area and District.
 - c. Membranes may be considered on flat roofs.
 - d. Roofing materials such as PVC, terracotta and ceramic that do not traditionally exist in the District shall not be permitted.
 - e. Aluminum or PVC soffits and fascia shall not be permitted
 - f. Flashing should be coloured to match the wall against which it is located.
- (3) Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the Character Area and District, and if applicable, the heritage building on a contributing property.
 - a. New skylights, green roofs, roof ventilation equipment, plumbing vents, solar cells and other stacks may be permitted, providing they are located on side or rear elevations that are not visible from the public realm.
 - b. New eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.

5.6.1.6 Chimneys

- (1) Chimneys on new primary residences may be permitted, providing they are complementary in scale, massing and materials to the Character Area and District, and if applicable, the heritage building on a contributing property.

5.6.1.7 Dormers

- (1) Dormers may be permitted on new detached additional residential units when they are compatible with the Character Area and District, and if applicable, the heritage building on a contributing property.
 - a. Scale new dormers to complement the design and scale of the roof, windows, of the Character Area, District and if applicable, the heritage building on a contributing property.

5.6.1.8 Windows

- (1) Windows in new detached additional residential units shall be carefully considered for their location, alignment, proportions, materials and design to ensure their compatibility with the Character Area, District and, if applicable, the heritage building on a contributing property.
 - a. Where traditionally operable window styles are used in new window openings, new windows shall also be operable.
 - b. Horizontal banding of windows shall not be permitted on public facing elevations but may be considered on a case-by-case basis on side or rear elevations that are not visible from the public realm.

- c. Blank and windowless walls are discouraged but may be considered on a case-by-case basis where the wall is not visible from the public realm.
- d. The appropriate solid-to-void ratios and rhythm of windows and bays (glazing) shall be between 15-30% as shown in Figure 67 on all public facing elevations.
- e. Windows in new units should be appropriate for the Character Area and District, and if applicable, the heritage building on a contributing property. While wood is preferred, aluminum-clad wood may be considered on a case-by-case basis.
- f. Vinyl and fiberglass windows are not permitted.
- g. Glue-on or snap-on muntins are not permitted. Simulated divided lights should be integral to the window sash.
- h. Window trim should be wood or aluminum clad-wood, with stone or brick sills and voussairs permitted on a case-by-case basis.

5.6.1.9 Shutters

- (1) Shutters may be permitted on new detached additional residential units when they are compatible with the Character Area, District, and if applicable, the heritage building on a contributing property.
 - a. Attach shutters to the window casing rather than the wall. Hinges and hooks should be used to ensure shutters are functional.
 - b. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.

5.6.1.10 Entrances

- (1) Entrances located on new detached additional residential units should be compatible with the Character Area, District and if applicable, the heritage building on a contributing property.
 - a. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis when they are not visible from the public realm, providing they effectively replicate wood doors in their detailing, finishes and colour.
 - b. Wood is the most appropriate material for screen doors. Aluminum and steel screen doors may be considered on a case-by-case basis on side or rear elevations that are not visible from the public realm.
 - c. Sliding doors and other doors that do not swing shall not be permitted on elevations of new primary structures that are visible from the public realm.
 - d. Doors and door surrounds of new entrances shall be detailed in a style and materials appropriate to the Character Area and District

5.6.1.11 Porches and Porticos

- (1) New porches, verandahs and porticos may be permitted on new detached additional residential units providing they are in a style that is appropriate for the Character Area, District and, if applicable, the heritage building on a contributing property.
 - a. When architectural elements such as columns and entablatures are used on new porches, verandahs or porticos, they should conform to classical proportions.
 - b. Materials for porches, verandahs and porticos should be wood with brick and stone used for piers or bases. The use of composite and engineered wood or wrought iron may be considered on a case-by-case basis

5.6.1.12 Utility Service Equipment

- (1) Utility and service equipment shall not negatively impact the Character Area or the District and shall be located so as to minimize its visibility from the public realm.
 - a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations and should not be visible from the public realm. If visible from the public realm, screen appropriately using landscaping features. (See Section 5.7- Landscape and Site Design Guidelines for Privately Owned Lands, for requirements on screening)
 - b. New aboveground infrastructure, including hydro lines, should be buried.
 - c. Solar panels may be permitted if oriented so that they do not compromise the Character Area, District, or if applicable, the heritage building on a contributing property, and are preferred on side and rear elevations.

5.6.1.13 Exterior Walls

- (1) Exterior walls of new detached additional residential units shall be compatible with the Character Area, District, and if applicable, the heritage building on a contributing property.
- (2) Traditional materials including wood and brick are appropriate cladding materials for new primary structures. Stone may be used as a foundation material only on a case-by-case basis and shall be a type and cut appropriate for the Character Area, District, and if applicable, the heritage building on a contributing property.
- (3) Exterior Insulation and Finish Systems (EIFS) and vinyl and aluminum siding shall not be permitted on new detached additional residential units.
- (4) Composite materials, such as wood siding or shingles may be considered on a case-by-case basis.

5.7 Landscape and Site Design Guidelines for Privately Owned Lands (Contributing and Non-Contributing)

5.7.1 General Guidelines

5.7.1.1 Soft Landscaped Areas and Trees

- (1) Maximize, protect and maintain existing generous setbacks with landscaped areas, including gardens, low-profile hedges and open lawns. New landscaped areas are encouraged, particularly along sidewalks and curb frontages contributing and enhancing the continuity of the streetscape character of the impacted Character Area.
- (2) Protect and maintain the existing and future tree canopy within the District. A tree permit shall be required for the injury or removal of any tree located within the front yard of a private property, in accordance with the definitions, conditions and requirements specified in the Town of Oakville's Private Tree Protection By-Law 2008-156 (as amended).
- (3) All efforts shall be made to design additions and new development to accommodate existing mature trees, rather than remove them. The planting of new trees is strongly encouraged.
- (4) Monitor tree health on a regular basis and remove dead wood to avoid decay and prevent property damage.
- (5) The impact of alterations, additions and new development on soft landscaping should be mitigated through new landscaping plans that respect the Character Area and District.
- (6) Views as identified in Map 2 and open corners at intersections shall be conserved.

5.7.1.2 Surface Treatments and Hardscaping

- (1) Protect and maintain historic pathways within properties.
- (2) New pathways may be permitted, providing their siting and paving materials are compatible with the property frontage and the streetscape. Suitable materials for pathways include flagstone, pavers, gravel, and concrete. Proper methods of drainage must be installed with hardscaping.
- (3) New parking areas within front yards are not permitted. Where front yard parking areas already exist, they should be finished in materials that will reduce their visual impact, such as gravel, pavers, flagstone or permeable materials.
- (4) Minimize the visibility of driveways and surface parking areas from the public realm. Suitable materials for driveways include flagstone, pavers, gravel, concrete and asphalt.
- (5) Permeable surfaces are encouraged for paths, driveways and parking areas.

5.7.1.3 Fencing and Walls

- (1) Protect and maintain historic fencing and walls in situ when possible. Proposals for alterations, additions and new development that impact historic fencing and walls should provide appropriate mitigation measures.
- (2) Refer to historic photographs or documentation for appropriate styles wherever possible when adding new fences and walls to contributing properties. On non-contributing properties or where historic documentation cannot be found, refer to the Character Area guidelines.
- (3) Appropriate fencing materials include wood, wrought iron, natural stone, brick and a combination of those listed.
- (4) Hedges, ornamental fencing, retaining walls and garden walls in front yards should be maintained with low profiles. They may be used to define the edge of the property in relation

to neighbouring properties and the public realm. These features should not block views of heritage buildings from the public realm.

- (5) New fencing shall not block the openness of intersections or negatively impact the Character Area.
- (6) New fencing shall meet all requirements of the Town of Oakville Fence By-law.

Examples of Fencing and Walls



Figure 68: 226 William Street – low lying lakestone wall across front of house with soft landscaping and open vistas to westerly side yard



Figure 69: 32 Thomas Street (left) – combination plank with lattice fencing and soft landscaping along King Street



Figure 70: 66 Dunn Street (right) – combination of open picket fencing and low soft landscaping along north side of William Street allowing for vistas across and into property



Figure 71: 274 King Street (left) – combination plank with lattice fencing and soft landscaping enables vistas towards lake

Figure 72: 235 Front Street (right) – historic iron fencing with stone pillars and low soft landscaping



Figure 73: 308 William Street (left) – low lying picket fence running along William and Reynolds Streets supports open vistas at corner

Figure 74: 53 Navy Street (right) – low lying picket fence and soft landscaping along south side of William Street – enabling open vista at corner



Figure 75: Navy Street Erchless Estate (left) – low stone wall with stone pillars and wooden gate
Figure 76: Navy Street (right) – Lawn Bowling Club and Market Square

5.7.1.4 Outdoor Use Associated Structures (Sheds, Gazebos and Cabanas)

- (1) Small accessory buildings and structures associated with outdoor use of a property that are not residential dwellings or garages and that are under 15 square metres are encouraged to be located in side or rear yards.
- (2) These structures may be permitted in areas of a property that are visible from the public realm, providing they are physically and visually compatible with the property and do not negatively impact the Character Area and District.

5.7.1.5 Screening and Buffering

- (1) For the purposes of this Plan and Guidelines, Screening occurs when ornamental fencing or evergreen material is used to block views, whereas buffering allows filtered porous views, such as partially enclosed fence (e.g. picket fencing) or a deciduous shrub border.
- (2) Plantings, ornamental fencing and low garden walls should be used to screen or buffer garbage storage areas or utility and service equipment that are otherwise visible from the public realm.



Figure 77: Continuous street edge with porous and low-lying fencing/wall treatments

5.7.1.6 Lighting

- (1) Lighting features may be permitted to illuminate walkways, steps, porches and entrances, providing there is no light trespass or spillover towards neighbouring properties or the public realm. Full cutoff lighting is required.
- (2) Skylighting, extensive building elevation lighting, soffit lighting and disruptive lighting shall not be permitted.
- (3) New and/or replacement lighting should meet the guidelines established in the Town of Oakville's Design Guidelines for Stable Residential Communities.

5.8 Landscape and Site Guidelines for Public Lands (Contributing and Non-Contributing)

5.8.1 General Guidelines

5.8.1.1 Paved Areas

- (1) Maintain streetscape features such as paved roads, sidewalks and concrete curbs. These features improve accessibility and the pedestrian environment and help to distinguish the public rights-of-way from private properties. Ensure that water drainage does not negatively impact abutting private properties.
- (2) Maintain existing sidewalks with surface treatments that complement the Character Areas and existing street furniture styles.
- (3) The Front Street right-of-way shall support safe on-road trail route and access with distinguished surface materials, patterns and/or paint.
- (4) Low impact development measures, such as permeable surfaces and water retention areas in parking lots should be considered to improve environmental sustainability along two important shorelines.
- (5) Parking areas must be designed and located so that they are as unobtrusive as possible. Tree planting and landscape areas shall be integrated into parking lot designs to soften the impact of this hardscape to the Character Area and District.
- (6) Through-traffic should continue to be discouraged using speed limits, limited street grid connectivity and other measures where necessary.
- (7) New and/or replacement sidewalks and curbs should meet the standards of the Accessibility for Ontarians with Disabilities Act (AODA).

5.8.1.2 Street Trees and Boulevards

- (1) Continue to identify, commemorate and protect heritage trees within the District.
- (2) Protect and maintain the existing tree canopies located on both sides of the street along the rights-of-way within the District, especially those that frame key views into the downtown and Lake Ontario.
- (3) Prioritize planting of new trees along sidewalks and boulevards on both sides of the street wherever technically feasible.
- (4) Reduce gaps between existing mature street tree canopies by planting companion trees where appropriate; companion trees are planted adjacent to mature trees to serve as well-established replacements in the future.
- (5) Tree health should be monitored on a regular basis and dead wood removed to avoid decay and prevent property damage. Remove and replace dead trees in accordance with town standards for tree removal and replanting in order to maintain the tree canopy.
- (6) Protect and maintain existing grassed boulevards. Where grassed boulevards are damaged by winter maintenance activities, they should be repaired the following spring.
- (7) All other applicable town standards for tree planting and maintenance shall be followed, including planting of historic tree species and eligible species posted on town's website, under Private Tree Protection (see Appendix F).

5.8.1.3 Street Furniture, Lighting and Utilities

- (1) A variety of street lighting currently exists within the District. New and replacement lighting poles should be of a consistent design, eco-friendly, night-sky compliant and be compatible with the Character Area and the District.
- (2) Lighting fixtures' material, scale and colour should be compatible with the Character Area and District and should compliment the traditional lighting fixtures in Oakville's historic downtown.
- (3) Solar and environmentally friendly lighting should be considered when there is no negative impact to the Character Area and District.
- (4) Street furniture should be unified and should compliment the historic architecture of the District, as well its connection to Oakville's historic downtown.
- (5) Overhead wires should be buried, when possible, in order to minimize conflicts with the mature tree canopy and significant sightlines and views to the downtown, streetscapes, Lake Ontario and Sixteen Mile Creek.

5.8.1.4 Views

Map 2 depicts the significant views within the District.

- (1) Protect the tree-framed views of Lake Ontario along public rights-of-way, including Navy Street, Thomas Street, George Street, Dunn Street, Trafalgar Road, Reynolds Street and Allan Street. New street trees should be located along sidewalks or boulevards to frame these views, not obscure them.
- (2) Protect the secondary vistas to the lake, creek, downtown, churches and building facades along Key Streetscape Overlay.
- (3) Protect the secondary vista openings within the streetscape at the road intersections within the District.

5.8.1.5 Public Parks and Open Space

- (1) Protect and maintain parks and open spaces along the Lake Ontario and Sixteen Mile Creek shorelines. These areas should remain publicly accessible. Increased pedestrian amenities, such as connecting pathways or paving, may be permitted.
- (2) Conserve and enhance the physical connections between the parks and public landmarks within Character Area 1 - Waterfront Open Space, including Market Square, Erchless Estate, Lakeside Park, Dingle Park and George Parkette.
- (3) Protect and maintain the individually designated properties within the park system.
- (4) Park programming should not negatively impact Character Area – Waterfront Open Space.
- (5) Alterations, additions and new development within the parks and open spaces in the District shall conserve the cultural heritage value and heritage attributes identified in the cultural heritage landscape designations for the Oakville Harbour and the Erchless Estate.
- (6) Conserve and enhance the safety of the physical trail and right-of-way connections between the parks and public landmarks within Character Area 1 - Waterfront Open Space, including Market Square, Erchless Estate, Lakeside Park, Dingle Park and George Parkette.
- (7) Integrate and celebrate Indigenous history in Character Area 1 - Waterfront Open Space.
- (8) Continue to identify, commemorate and protect heritage trees in parks and open spaces.
- (9) Protect and maintain the existing trees in parks and open spaces, prioritizing successional planting of new trees and historic grove-like restoration of the shoreline.
- (10) Encourage the planting of native species, including plants, shrubs and trees

- (11) Tree health should be monitored on a regular basis and dead wood removed to avoid decay and prevent property damage. Remove and replace dead trees in accordance with town standards for tree removal and replanting in order to maintain the tree canopy.
- (12) All other applicable town standards for tree planting and maintenance shall be followed, including planting of historically appropriate tree species when possible.
- (13) Fencing shall be low-lying and porous. Picket or wrought iron style fencing with frequent openings for public access to the park is most appropriate
- (14) Protect and maintain historic fencing and walls in situ when possible. Refer to historic photographs or documentation for appropriate styles wherever possible when adding new fences in parks and open spaces.

5.8.1.6 Wayfinding

- (1) Encourage the use of Oakville Historical Society signage for key historic structures within the District.
- (2) The predominant public space signage within the District has a white background and is mounted with single or double posts. Signage should be unified and well-maintained at public space entrances.
- (3) Special street signage identifying the heritage conservation district may be considered in the future.



6 | EXEMPT ALTERATIONS AND CLASSES OF ALTERATIONS

6.1 Exempt Heritage Permit Work

The exempted alterations have been guided generally by the principles of either being undertaken within a small area, confined to areas that are generally out of sight from public view, constitute routine maintenance or are easily reversible. They are consistent with the exemptions that have been set by Town Council for the other HCDs in Oakville.

6.1.1 Private Property

The following alterations may be carried out without obtaining a permit under Section 42 of the OHA, providing they meet the guidelines of this Plan:

- (1) **Interior modifications:** The interiors of buildings or structures are not subject to regulation within the District.

Exceptions

Interior features that are designated under Part IV of the OHA or interior features that have an exterior presence, including but not restricted to windows and doors in building façades.

- (2) **Roof materials:** Replacement of existing roof materials in kind and of the same colour.

Exceptions

Replacement of existing roof materials with different materials may require a permit.

- (3) **Skylights:** The installation of skylights located out of view from the public realm and in the same plane as the roof (e.g. on the rear slope of a roof or on a flat or low pitched roof).

Exceptions

Skylights that are visible from the public realm may require a permit.

- (4) **Solar panels:** The installation of solar panels located out of sight from the public realm and in the same plane as the roof (e.g., at the rear slope of a roof or on a flat or low pitched roof).

Exceptions

Solar panels that are freestanding on poles, panels requiring a structural frame for support that are visible from the public realm may require a permit.

- (5) **Satellite dishes:** The installation of satellite dishes that are located out of sight from the public realm. All efforts will be made to locate these in no or low visibility areas.

- (6) **Security lighting and alarm systems:** The installation of security lighting and/or alarm systems.

- (7) **Amenity lighting:** The installation of porch lighting or other amenity or seasonal lighting.

- (8) **Eavestrough and downspouts:** The removal and/or installation of new eavestroughs and downspouts in the same material and colour as existing.
- (9) **Landscaping, soft:** The removal and/or installation of vegetative landscaping, such as planting beds, shrubbery and small ornamental trees, as well as the pruning and maintenance of trees or the removal of dead branches or limbs.

Exceptions

Removal of trees which are at least 4.5m and/or greater than 15 centimetres diameter at breast height (dbh) may require a heritage permit and consultation with town staff is required and a permit may be required. The Private Tree By-law (as amended) may also apply.

- (10) **Landscaping, hard:** The removal and/or installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials, in the same location and of the same area and dimension, as well as the removal and/or installation of any hard landscaping located out of view from the public realm.

Exceptions

New hardscaping with different materials visible from the public realm requires a permit.

Any work that requires an excavation onto public property (i.e. between road right of ways and private lots) may require a permit from other town departments.

- (11) **Fencing:** The removal and/or installation of fencing located out of sight from the public realm. The Fence By-law may apply even if a permit is not required under this Plan.

Exceptions

The installation of fencing that is visible from the public realm may require a permit.

- (12) **Decks:** The installation and/or removal of decks that are at grade or less than 60cm off the ground and are located within the rear yard and out of view from the public realm.

- (13) **Storm windows and doors:** The seasonal installation and/or removal of storm windows and screen doors in the same materials and locations.

Exceptions

New storm windows and new screen doors require a permit.

- (14) **Signage:** The installation of non-illuminated number signage on building façades.

Exceptions

Illuminated number signage or other signage requires a permit.

- (15) **Maintenance or small repairs:** Ongoing maintenance or small repairs to buildings, structures or small areas of paving that do not significantly affect the appearance of the outside of the property and do not involve the permanent removal or loss of heritage attributes.

Exceptions

The removal and/or installation of any cladding materials requires a permit.

The removal of any paintwork from a masonry building façade surface requires a permit.

- (16) Replacement of non-heritage features of a non-contributing property that have been damaged and/or are in poor condition to exactly match the pre-existing features.

Exceptions

Changes of material, colour and design of the non-heritage features may require a permit.

- (17) **Painting:** The painting of wood cladding, doors, window frames, muntins and mullions, trim, eavestroughs, downspouts and minor architectural detailing in the same colour as existing.

Exceptions

Changing the colour of paint for any of the above requires a permit.

The painting of unpainted masonry materials is not permitted.

- (18) **Awnings:** The removal of existing awnings or canopies

Exceptions

The installation of new awnings or canopies requires a permit.

As with any modifications being contemplated, it is beneficial to contact town staff to discuss proposals before commencing work. Some of the above modifications may also require a building permit and/or other town permits. It is the responsibility of the property owner to confirm all requirements with appropriate town departments.

6.1.2 Public Realm Property

Public realm property includes lands that are primarily located in road rights-of-way and the park and trails located in Character Area 1 - Waterfront Open Space at the foot of Navy Street, Thomas Street, George Street, Dunn Street, Trafalgar Street and Reynold Street. The following alterations may be carried out without obtaining a permit under Section 42 of the OHA:

- (1) **Maintenance or minor repairs:** Ongoing maintenance or minor repairs to road or sidewalks surfaces and areas of paving that do not significantly affect the appearance of the surface and that are exempt from review or approval under the Municipal Class Environmental Assessment.

Exceptions

The installation of any traffic calming device (not including signage), new road or sidewalk surfaces, new crosswalk surfaces or motifs and new boulevards may require a permit.

- (2) **Installation and/or repair of underground utilities or services:** Subsurface excavation for the installation and repair of utilities (water, sewage, gas, or communications). Surfaces are expected to be returned to their prior existing condition on the completion of work.

- (3) **Repair and replacement of outfalls, shoreline, slope stability and erosion control works:** Works that are required to address technical, engineering and safety issues along the shoreline and creek that are intended to match previously existing conditions and/or do not have an impact on the heritage attributes of the District, including vistas and viewlines.

Exceptions

Works that require substantially different materials and massing that will impact the heritage attributes of the District.

- (4) **Repair of above-ground utilities or services:** Work undertaken for the repair of existing above-ground utilities (hydro, communications and lighting), including conduits, poles and associated boxes or covers.

Exceptions

The installation of any new luminaires and/or poles, boxes and covers. Exemptions may be made on a case-by-case basis if the new items match existing designs and materials and do not negatively impact views and vistas in the District.

- (5) **Landscaping, soft:** The installation of any soft or vegetative landscaping confined to boulevard installation and associated planting beds. Tree and vegetation trimming to ensure sightlines at intersections are clear. All reasonable efforts will be made to maintain the mature tree canopy in the public realm.

Exceptions

The removal and/or planting of trees (with anticipated mature height of 4.5 metres or greater) and/or greater than 15 centimetres diameter at breast height (dbh) may require a permit.

- (6) **Landscaping, hard:** The removal and re-installation of hard landscaping, such as driveways, entranceways, paths and parking areas that already exist, in the same materials and the same area and dimensions.

Exceptions

Changes to surfacing materials, enlargement of parking areas, driveways, entranceways and paths may require a permit.

- (7) **Street Signs:** The removal and/or installation of street name signs and traffic signs in the existing design.

Exceptions:

New street signs with a different design than currently exists in the District may require a permit.

- (8) **Street Furniture:** The removal and replacement or installation of street furniture in the existing design.

Exceptions

The installation of new street furniture in a new design requires a permit. This includes, but not restricted to: seating, planters, tree grates, banners, hanging baskets, garbage receptacles and bike racks.

- (9) **Painting:** The painting of signage, street furniture and buildings in the same colour as existing.

Exceptions

Changing the colour of paint for any of the above requires a permit.
The painting of unpainted masonry materials is not permitted.

(10) **Fencing:** The replacement of fencing to match existing.

Exceptions

New materials, design, or a change of height for fencing requires a permit.

(11) **Security lighting and alarm systems:** The installation of security lighting and/or alarm systems.

(12) **Amenity lighting:** The installation of amenity or seasonal lighting.

As with any modifications being contemplated, it is beneficial to contact town staff to discuss proposals before commencing work.

6.2 Emergency Work

In some instances, emergency work may have to be carried out to public or private property without the benefit of a heritage permit or ascertaining whether such work is exempt from regulation.

Required emergency work may be permitted where the timing of repairs makes it impossible to consult with town staff regarding a heritage permit. Notwithstanding this provision, all work should be undertaken in a manner that does not unnecessarily demolish or remove historic fabric. Photographs of 'before and after' should be taken to confirm the condition of the building and the nature of the finished repairs and supplied to town staff as a record of the work.

Some emergency work may be exempted from heritage permits on non-contributing properties where the damaged features are being replaced to exactly match the pre-existing features.



7 | HERITAGE CONSERVATION DISTRICT REVIEW PROCESS

7.1 Heritage Conservation District Review Process

The completion of this project marks the first major revision of the Old Oakville Heritage Conservation District Plan and Guidelines since the HCD was designated in 1979. This update was undertaken with the purpose of ensuring that this Plan meets the requirements of the OHA, which was significantly revised in 2005 and again in 2022. The update was also undertaken to ensure that this Plan corresponds with contemporary conditions in the District.

It is considered to be a good practice for municipalities to periodically undertake formal reviews of Plans. This formal review process complements the ongoing monitoring of the District's evolution that town staff perform as the Plan is implemented. It ensures that the Plan remains up-to-date with current legislation, with current best practices in heritage conservation, and meets community needs and expectations.

It is advised that town staff undertake a formal review and update of the Old Oakville Heritage Conservation District Plan and Guidelines every 5 to 8 years. The extent of this review and update project will depend on a number of circumstances, including major revisions to related legislation or major changes in the built form of the District. However, it is anticipated that these periodic reviews will result in minor changes to this document, not re-writes.

The review process should include engagement with property owners, community members and other interested parties. An assessment of the heritage permits issued in the period following the last review should be undertaken. Recommendations for any potential revisions to this Plan should be made through a staff report reviewed by the Heritage Oakville Advisory Committee and approved by Town Council.

In addition, the policies and guidelines of this Plan may be amended by By-law after consultation, circulation to potentially impacted parties and public notice. Minor administrative and technical changes to the Plan may be implemented by a resolution of Town Council.



8 | GLOSSARY AND TERMS

8.1 Glossary of Terms

Accessibility: The degree to which an historic place is easy to access by as many people as possible, including people with disabilities (S&G 2010:253).

Adjacent: In terms of cultural heritage resources, potential impacts of proposed development or site alteration on the heritage attributes of protected heritage resources, adjacent can include real properties or sites that are contiguous (PPS 2024).

Alter: means to change in any manner and includes to restore, renovate, repair or disturb and “alteration” has a corresponding meaning (*Ontario Heritage Act*, s. 1).

Character Areas: a framework that acknowledges distinct features through the historic, streetscape and landscape analysis of Old Oakville’s evolving urban fabric. Five distinct streetscape and landscape Character Areas were established in the Old Oakville Heritage Conservation District Study and have area-specific site design guidance in addition to the general guidelines to manage change in Old Oakville. The five Character Areas and one streetscape overlay, sharing the unique historic and experienced heritage and quality of Old Oakville, collectively contribute to the overall values and heritage attributes of the HCD, and are categorized as:

- Area 1 - Waterfront Open Space
- Area 2 - Old Oakville Settlement Area
- Area 3 - Gully Landscape
- Area 4 - Mixed Residential Development Pattern
- Area 5 – St. Andrew’s Traditional
- Key Streetscape Overlay

Compatible: when used together with any building, use, alteration or any other form of change means consistent with the heritage attributes value of a property, and which has little or no adverse impact on its appearance, heritage attributes, and integrity (*Downtown Oakville Heritage Conservation District Plan and Guidelines*, 2013).

Conserved: means “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact statement that has been approved, accepted or adopted by relevant planning authority and/or decision-makers. Mitigative measures and/or alternative development approaches can be included in these plans and assessments” (PPS 2024).

Contributing property: exhibits physical heritage attributes which directly contribute to the cultural heritage value or interest of the District. They support the identified cultural heritage values from the Statement of CHVI They have met more than two criteria as identified in O. Reg 9/06.

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may involve features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association (PPS 2024).

Cultural Heritage Value or Interest: (CHVI), also referred to as Heritage Value, is identified if a property meets one of the criteria outlined in O. Reg. 9/06 namely historic or associate value, design or physical value and/or contextual value. Provincial significance is defined under *Ontario Heritage Act (OHA) O. Reg. 10/06*.

Detached Additional Residential Unit: A building separate from the Primary Structure that is used for residential purposes. This does not include garages, coach houses or structures associated with landscaping. For a full description, please refer to the Zoning By-law currently in effect.

Distinguishable: means a change that strikes a balance between imitation and contrast, thereby complementing the property in a manner that respects its heritage value or interest.

Dormer: A window that pierces through, or project from, the sloping roof, usually to that of a bedroom area (Adapted from Kyles 2022).

Exceptional circumstances: Fire, natural hazards, structural condemnation by CAO, catastrophic failure of structure.

Façade: The "face" of a building, usually the front. To be a façade as opposed to simply an elevation, the building must have been designed with a particular style and incorporate design elements such as an impressive entrance or window surrounds. The arrangement of windows on a facade is called fenestration (Kyles 2022)

Gable: The triangular end of a roof above the eaves which closes the roof on that end. Also the triangular end of a dormer or a triangular cut in a roof for a window or door. The slope of the gable end depends on the slope of the roof. For Gothic designs the slope tends to be acute; for Classical buildings the slope is gentler (Kyles 2022).

Heritage Attributes: “the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property (PPS 2024).

Heritage building: the primary structure located on a Contributing Property.

Heritage Impact Assessment: A study undertaken to assess the impacts of a proposed development or site alteration against the identified cultural heritage value or interest and heritage attributes of a protected heritage resource, or a property located within a Heritage Conservation District. The scope of a Heritage Impact Assessment is determined in consultation with the Town. The HIA considers alternative development approaches or mitigation measures to address any impacts to a cultural heritage resource and its attributes. A Heritage Impact Assessment may be required where construction, alteration, demolition, or additions to a property located within a Heritage Conservation District.

Heritage Oakville Advisory Committee: or ‘Heritage Oakville’, is a municipal heritage committee that Council established, by by-law, to advise and assist council on heritage related matters. Heritage Oakville reviews heritage permits and other heritage-related matters [OHA s. 28(1)].

Historic Fabric: Materials of all kinds that relate to the District’s cultural heritage value and heritage attributes.

Hipped roof: A roof that slopes on four sides.

In situ: This term means 'in place' and as used in this document, it refers to the action of protecting, maintaining and/or stabilizing the existing materials in the location where they were found (S&G 2010:254)

In kind: with the same form, material, and detailing as the existing. (S&G 2010:254)

Individual Designation: Means real property designated under section 29, Part IV of the OHA by municipal by-law. The designation by-law should include an adequate description of the property, a statement explaining the cultural heritage value or interest of the property and a description of the heritage attributes of the property (Section 29(4) of the OHA)

Intervention: any action, other than demolition or destruction, that results in a physical change to an element of a historic place (S&G 2010: 254).

Maintenance: Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save (S&G 2010: 254).

Minimal intervention: The approach that allows functional goals to be met with the least physical intervention (S&G 2010:254).

Monitoring: the systematic and regular inspection or measurement of the condition of the materials and elements of an historic place to determine their behavior, performance, and rate of deterioration over time (S&G 2010: 255).

Muntin: a strip of wood or metal separating and holding panes of glass in a window or a vertical framing member set between two rails in a door (S&G 2010: 255).

Non-contributing property: does not meet two or more of the criteria outline in O. Reg 9/06 and therefore do not exhibit design or physical value, historical or associative value, or contextual value.

Non-Heritage building: the primary structure on a non-contributing property.

Non-destructive testing: testing that does not result in the permanent deformation or damage of the element being tested (S&G 2010:255).

Piecing-in: to repair or add to by inserting a piece (S&G 2010: 255).

Primary Structure: the largest building or structure on a property.

Prototype: an original model on which something is patterned (S&G 2010: 255).

Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value (S&G 2010:255).

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, while protecting its heritage value (S&G 2010:255).

Reversible: means a change that permits restoration to the prior state or condition at a later date without damaging the heritage attributes of a property. This is particularly important if a change is related to a new use that may also later change. Reversible alterations are not destructive.

Subordinate: means an alteration that does not detract from the property or affect its heritage value.

Soffit: The underside of a roof overhang, portico, beam, or arch. It can also be the underside of a drain or sewer. These can be plain or very ornate (Kyles 2022).

Vernacular: made locally by inhabitants; made using local materials and traditional methods of construction and ornament; specific to a region or location (S&G 2010:256).



9 | BIBLIOGRAPHY AND SOURCES

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Appendix A: Consultation Summary

The OHA Part V, Section 41.1, requires that the information related to this Plan is made available to the public, as well as presented at least one public meeting and the Municipal Heritage Committee (i.e., Heritage Oakville).

The public engagement plan was set out to not only fulfill the requirements noted above, but to meaningfully engage the community and key stakeholders through the development of both the HCD Study and Plan document updates. The following table outlines the key engagement activities completed during both phases of the project.

Table 3: Community and Key Stakeholder Engagement Summary

Study Activities	Engagement Description
<p>Stakeholder Meetings</p> 	<p>Virtual and in-person internal and external stakeholder meetings were held between February 2022 and November 2023. The Town also met with stakeholders as needed or through requests to discuss the Old Oakville HCD. Meetings included internal department heads, Oakville Lakeside Residents Association (OLRA), Oakville Museum, Oakville Public Library, Street Jude’s Anglican Church, and the Oakville Historical Society.</p> <p>Meeting topics included HCD Study introductions, a walking tour, updates on policy related to the study, draft HCD Study updates, and a review of inventory sheets.</p>
<p>StoryMaps</p> 	<p>A StoryMap was developed to introduce the Old Oakville HCD project to the public. StoryMaps are an online resource linked from the website to convey information such as maps, imagery, and multimedia content in a visual way. The StoryMap went live on December 6, 2022 and was updated throughout the project.</p>
<p>Online Surveys</p> 	<p>The first online survey was developed to collect feedback from the public on the approach to the HCD Study. The online survey went live from December 1, 2022 to February 13, 2023, and received a total of 51 responses. The second online survey was specific to collect feedback on the Draft Study and was open from April 3, 2023 to May 19, 2023. The survey received a total of 30 responses.</p>

Study Activities	Engagement Description
<p>Community Meetings</p> 	<p>Three community meetings were held: first was a Study Introduction held on October 21, 2021 by the Town staff, second was a Study Update held on December 6, 2022 by the consultants and the Town staff, and third the Draft HCD Study held on April 18, 2023 by the Town staff.</p> <p>The goal of the community meetings was to provide the public with an introduction to the project, project timelines and opportunities to engage and provide updates on the HCD Study. The community meetings acted as additional opportunities for the public to provide feedback based on what they'd heard so far.</p>
<p>Town, Council and Committee Meetings</p>	<p>Presentation was made to Heritage Oakville on the Draft HCD Study in August 2023, and the Final HCD Study will be presented to the Planning and Development Council Meeting in February 2024.</p>
HCD Plan Activities	Engagement Description
<p>Stakeholder Meetings</p> 	<p>Virtual and in-person internal and external stakeholder meetings, including the Heritage Oakville Advisory Committee and the Oakville Lakeside Residents Association, were held from March to August 2024 to discuss the HCD Plan guidance.</p>
<p>StoryMaps</p> 	<p>A StoryMap was updated to include the Draft and Final HCD Plan.</p>
<p>Community Meetings</p> 	<p>Two community meetings were held: first was a Plan Introduction held on October 17, 2023 by the Town staff and consultants, and second the Draft Plan and Guidelines was held in March 2024 by the town staff and consultants.</p> <p>The goal of the community meetings is to provide the public with an introduction to the HCD Plan and Guidelines and opportunities to provide feedback.</p>
<p>Town, Council and Committee Meetings</p>	<p>Monthly updates on the progress of the Plan have been presented to the Heritage Oakville Advisory Committee.</p> <p>The statutory public meeting required by the OHA was held on February 3, 2025.</p>

Appendix B: Town of Oakville Council Objectives

Overall Intent

(1) Town Council understands the crucial role of the historic built and natural environment to the quality of life and prosperity of the District, Downtown Oakville, and the town generally. It is the objective of Town Council to create policies and guidelines to protect the Old Oakville Heritage Conservation District from inappropriate development or changes. It is the intent of Council to guide and manage physical change and development within the District by:

- Adopting the updated Old Oakville Heritage Conservation District Plan and Guidelines;
- Making decisions about heritage permit applications for alterations, demolitions and new construction under Part V of the OHA according to the updated Old Oakville Heritage Conservation District Plan and Guidelines;
- Initiating appropriate public works, improvements and financial incentives to conserve and enhance the character of the Old Oakville Heritage Conservation District within the financial capabilities of the Town of Oakville; and
- Complementing these actions by making appropriate amendments to Official Plan policies, the Town's Zoning By-law and other relevant by-laws.

Old Oakville HCD Heritage Character

Council recognizes that:

- The Old Oakville Heritage Conservation District comprises a distinctive assemblage of heritage buildings and streetscapes that are an organically evolved cultural heritage landscape, being a historic harbourside village residential community dating from the early-19th century and early 20th century;
- The five streetscape and landscape Character Areas and one supplementary map overlay, developed as part of this HCD Study update, share unique historic and experienced heritage and quality of Old Oakville. The physical attributes of the area have evolved into a tangible streetscape character informed by the built environment's historical significance. All five Character Areas and one map overlay collectively contribute to the overall values and heritage attributes of the HCD;
- The unique heritage character of the Old Oakville Heritage Conservation District and its diverse streetscapes are to be conserved and protected in the process of future change;
- Change in the future is expected within the Old Oakville Heritage Conservation District, yet it must be carefully managed in a manner that does not adversely affect the distinctive heritage character of the District; and,
- Any proposed change within the District shall be considered within a number of Council-approved conservation, design, landscaping and planning guidelines and with consideration of the individual merits of the proposed change.

Town of Oakville conservation management approach

Council recognizes that:

- District designation under Part V of the OHA, does not seek to stop or halt change or seek the restoration of the District to a former past historical state, but simply establishes a mechanism for the municipal review and determination of heritage permit applications for changes to properties, both public and private within the District.
- District designation under Part V of the OHA does not compel, nor does Council seek to compel, the restoration of heritage properties within the District.

Custodial responsibility

Council recognizes that:

- Owners of heritage property are considered to be the prime custodians of the Old Oakville Heritage Conservation District.

Alteration of properties

Council recognizes that:

- Property owners may wish to add on to buildings and structures, alter building and landscapes or otherwise change their property to accommodate required working or living space and new facilities and Council may permit such work provided it is in conformity with the applicable guidelines contained in this Plan.

Restoration of heritage properties

Council recognizes that:

- Property owners may wish to restore heritage properties and Council may encourage such work by considering financial assistance available for eligible work and ensuring conformity with the applicable guidelines in this Plan.

Fair and equitable consideration

Council will undertake to ensure that:

- All residents and property owners within the Old Oakville Heritage Conservation District shall be afforded fair and equitable consideration in the determination of heritage permit applications within the District.

Conservation Principles

The federal and provincial government have well established standards and guidelines in place for the conservation of heritage properties and identified heritage attributes. These standards and guidelines should be carefully reviewed and considered prior to undertaking any conservation work to a contributing or non-contributing property within the District.

Accessibility

Council recognizes that:

- It is important to encourage accessible design, elements and accommodations, including the use of Universal Design Standards, on heritage buildings when they do not negatively impact the heritage attributes of the District.

- Accessibility elements added on to heritage buildings, such as ramps, should be removable and/or repairable and/or reversible.
- Buildings within the District that provide public facilities, including places of worship, the Oakville Museum and Historical Society and the Oakville Club, may be subject to the *Ontarians with Disabilities Act*. All efforts to accommodate accessibility accommodations that do not negatively impact the heritage attributes of the District should be considered.

Sustainability

Council recognizes that:

- At the June 24, 2019, Council meeting, Oakville Town Council passed a motion declaring a climate emergency in Oakville.
- The greenest building is the one that already exists. Repair and restoration are always encouraged over replacement, avoiding sending historical materials to landfill
- Heritage buildings can generally be retrofitted with energy efficient internal systems without significant impact to historic fabric.
- Technology is making constant progress and new materials/products will be considered on a case-by-case basis for use within the District.
- Poly vinyl chloride, polystyrene, polymer and other plastic building materials contain harmful chemicals and are not easily reusable or biodegradable, and shall not be permitted within the District

Appendix C: General Standards for Preservation, Rehabilitation and Restoration

The *Standards and Guidelines for the Conservation of Historic Places in Canada* also provide general standards for preservation, rehabilitation and restoration with further explanation regarding how these standards should be applied. In 2013, the Town endorsed the Standards and Guidelines for application in the planning, stewardship and conservation of heritage resources in the Town. The *Standards and Guidelines for the Conservation of Historic Places in Canada* were used as guiding principles for drafting the Old Oakville HCD Plan.

Table 4: General Standards for Preservation, Rehabilitation and Restoration

Treatment	No.	Description
General Standards	1	Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.
General Standards	2	Conserve changes to an historic place that, over time, have become character-defining elements in their own right.
General Standards	3	Conserve heritage value by adopting an approach calling for minimal intervention
General Standards	4	Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted
General Standards	5	Find a use for an historic place that requires minimal or no change to its character-defining elements
General Standards	6	Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken; Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information
General Standards	7	Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention
General Standards	8	Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes
General Standards	9	Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference
Additional: Rehabilitation	10	Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place

Treatment	No.	Description
Additional: Rehabilitation	11	Conserve the heritage value and character-defining elements when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place
Additional: Rehabilitation	12	Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.
Additional: Restoration	13	Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements
Additional: Restoration	14	Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

Appendix D: *Eight Guiding Principles in the Conservation of Built Heritage Properties*



The Ministry of Citizenship and Multiculturalism (MCM) has established the following *Eight Guiding Principles in the Conservation of Built Heritage Properties* that are often referenced when preparing HCD Plan guidelines. These principles were referenced while drafting the design guidelines for the Old Oakville HCD Plan.



- 1) Respect for Documentary Evidence:
 - Do not base restoration on conjecture: conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.
- 2) Respect for the Original Location:
 - Do not move buildings unless there is no other means to save them: site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.
- 3) Respect for Historic Material:
 - Repair/conserve – rather than replace building materials and finishes, except where absolutely necessary: minimal intervention maintains the heritage content of the built resource.
- 4) Respect for Original Fabric
 - Repair with like materials: repair to return the resource to its prior condition, without altering its integrity.
- 5) Respect for the Building's History
 - Do not restore to one period at the expense of another period: do not destroy later additions to a building or structure solely to restore to a single time period.
- 6) Reversibility
 - Alterations should be able to be returned to original conditions. This conserves earlier building design and technique: e.g. when a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.
- 7) Legibility
 - New work should be distinguishable from old: buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new.
- 8) Maintenance
 - With continuous care, future restoration will not be necessary: with regular upkeep, major conservation projects and their high costs can be avoided.



Appendix E: Examples of Good Neighbours



Since the inception of the District in 1981, there have been a number of new buildings constructed that are sympathetic to the cultural heritage values and heritage attributes of Old Oakville. They can be considered “good neighbours” to their adjacent contributing properties and to the District as a whole. This type of integrative design is anchored in the topography of the land, contextually appropriate within the existing streetscape, respects traditional lines of sight and views; and adds to the established architectural integrity and heritage styles of the District.

These buildings provide vision for new development within the District. Note the intention is not for these buildings to be copied, but rather used as inspiration for how the guidelines can be applied.

Address	Photo	What Makes This Building a Good Neighbour?
221 Front Street		<ul style="list-style-type: none"> - Historic ¼ acre lot - Deep setback to align with adjacent properties - Consistent with streetscape guidelines regarding emphasis on prominence of Front Street pedestrian traffic - Does not distract from property at 212 Front Street (Worn Doorstep) - New Traditional style that reflects historic Arts & Crafts style found in the District - Use of traditional materials associated with style including shingle cladding and diamond pane windows - 1 ½ storey massing with front porch, hipped roof, gable end and set back garage that emulates a carriage house
22 George Street		<ul style="list-style-type: none"> - Historic ¼ acre lot - Corner property with important public views on two elevations - Setback on corner lot of key District streetscape enables open views along Front Street pedestrian laneway as well as views north on George Street - Mix of roofline heights creates 1 ½ storey impact that respects step down slope on Front Street

Address	Photo	What Makes This Building a Good Neighbour?
		<ul style="list-style-type: none"> - New Traditional style that reflects historical cottage vernacular style - Use of traditional materials associated with style including horizontal wood cladding, multi framed wood windows - Set back garage that emulates carriage house
177 King Street		<ul style="list-style-type: none"> - Historic ¼ acre lot - Corner property with important public views on two elevations - Setback aligns with adjacent contributing properties to the east on King Street - New Traditional style that reflects Georgian style found in the District - Impact of 2 storey height minimized through low hip roof - Set back modest garage - Use of traditional materials associated with style including brick cladding and multipaned wood windows - Complements landmark St Jude's property to the west (brick cladding) and contributing property at 29 Thomas to the south (2 storey)
234 William Street		<ul style="list-style-type: none"> - Historic ¼ acre lot - Corner property with important public views on two elevations - Setback aligns with adjacent contributing property at 226 William Street (St Jude's Parsonage) - New Traditional style that reflects Georgian styles found in the District - 2 storey height minimized through low hip roof style - Set back modest garage

Address	Photo	What Makes This Building a Good Neighbour?
		<ul style="list-style-type: none"> - Use of traditional materials associated with style, such as brick cladding that also complements adjacent contributing property
258 William Street		<ul style="list-style-type: none"> - Association with nearby historic estate maintained by lakestone wall in back yard - Setback on site to align with adjacent contributing property to the west and good neighbour to the east - 1 ½ storey modest home with gable roof and traditional materials, including board and batten wood siding
266 William Street		<ul style="list-style-type: none"> - Historic ¼ acre lot - Setback aligns with adjacent contributing properties - New Traditional style that reflects Georgian styles found in the District - Massing of 2 storey height minimized through low gable roof - Detached modest garage at the rear of the property - Use of traditional materials associated with style including wood clapboard siding and multipaned wood windows

Address	Photo	What Makes This Building a Good Neighbour?
274 William Street		<ul style="list-style-type: none"> - Historic ¼ acre lot - Corner property with important public views on two elevations - Setback aligns with adjacent properties - New Traditional style that reflects vernacular 20th century architecture - 1 ½ storey with gable roof and shed dormers minimizes impact of height - Use of traditional materials associated with this style including a combination of stucco and wood clapboard siding; and multipaned wood windows
323 William Street		<ul style="list-style-type: none"> - Historic ¼ acre lot - Corner property with important public views on two elevations - Setback aligns with adjacent contributing properties - New Traditional style that reflects vernacular 20th century architecture - 1 ½ storey with cross gable roof minimizes height - Use of traditional materials, combining stucco and wood cladding - Low picket fence along Reynolds Street allows views from the public realm into the property

<p>349 William Street</p>		<ul style="list-style-type: none"> - Historic ¼ acre lot - Corner property with important public views on two elevations - Setback aligns with adjacent contributing properties - New Traditional style that reflects vernacular 20th century architecture - 1 ½ storey with side gable roof minimizes height - Use of traditional materials, horizontal wood cladding - Low picket fence along sidewalk and curb allows views from the public realm into the property
<p>30 Dunn Street</p>		<ul style="list-style-type: none"> - Corner property with important public views on two elevations - Low profile and siting of allows for southwest views to Dingle Park and Lake Ontario originating at King Street - Mid 20th century vernacular that reflects arts and craft cottage style - 1 storey building with low hip roof fits low profile of District - Use of traditional materials including horizontal wood siding and multipane windows - Low profile massing built into hillside takes advantage of natural grade changes

<p>44 George Street</p>		<ul style="list-style-type: none">- Historic ¼ acre lot- Corner property with important public views on two elevations- New Traditional style that reflects 19th century vernacular (note: middle portion replicates original structure)- 1 ½ storey building with two one storey wings and gable roof fits the low profile of the District;- Use of traditional materials, including stucco cladding and wood trim
<p>21 Dunn Street</p>		<ul style="list-style-type: none">- Historic ¼ acre lot associated with contributing property (Lightbourn family) to north- Use of traditional materials including wood cladding, multi framed wood windows- Detached garage setback to the rear of the property emulates a carriage house- Open iron fencing along Waterfront Trail and Dunn Street allows open views from the public realm- Note: the corner 'tower' projection is a product of its time and is not intended to be inspiration for new development

<p>275 King Street</p>		<ul style="list-style-type: none">- Historic ¼ acre lot- Scale, height and massing complementary to contributing properties to south on King Street and to east on Trafalgar Road- Setback on corner lot with low profile landscaping enables open views along King Street as well as views north on Trafalgar Road towards contributing properties- Introduction of traditional materials including wood cladding and wood windows- Note: the projecting garage is a product of its time and is not intended to be inspiration for new development
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Appendix F: Town's List of Appropriate Tree Species

Common Name	Family	Genus	Species	Cultivars	Ideal Soil Needs	Native	Est. Height (m) at Maturity	Est. Canopy Width (m) at Maturity	Canopy Stature
Apple, common	Rosaceae	Malus	pumila		Medium	Yes	7	7	Small
Aspen, Large-toothed	Salicaceae	Populus	grandidentata		Large	Yes	18	12	Large
Aspen, Trembling	Salicaceae	Populus	tremuloides		Large	Yes	10	5	Small
Autumn Brilliance Serviceberry	Rosaceae	Amelanchier	x grandiflora	'Autumn Brilliance'	Medium	No	8	6	Small
Autumn Moon Full Moon Maple	Sapindaceae	Acer	shirasawanum	'Autumn Moon'	Medium	No	6	6	Small
Basswood	Malvaceae	Tilia	americana		Large	Yes	27	13	Large
Beech, American	Fagaceae	Fagus	grandifolia		Large	Yes	30	20	Large
Beech, Blue	Betulaceae	Carpinus	caroliniana		Medium	Yes	8	6	Small
Beech, Dawyck Gold	Fagaceae	Fagus	syvatica	'Dawyck Gold'	Large	No	16	2	Small
Beech, Dawyck Purple	Fagaceae	Fagus	syvatica	'Dawyck Purple'	Large	No	8	2	Small
Beech, European	Fagaceae	Fagus	syvatica		Large	No	15	12	Large
Beech, Purple Fountain	Fagaceae	Fagus	syvatica	'Purple Fountain'	Large	No	6	4	Small
Beech, Red Obelisk	Fagaceae	Fagus	syvatica	'Red Obelisk'	Large	No	13	4	Small
Beech, Tri-colour	Fagaceae	Fagus	syvatica	'Rosea-Marginata'	Large	No	13.5	8	Medium
Birch, Cherry	Betulaceae	Betula	lenta		Large	Yes	15	12	Large
Birch, European White	Betulaceae	Betula	pendula		Large	No	15	10	Medium
Birch, Gray	Betulaceae	Betula	populifolia		Large	Yes	10	6	Small
Birch, River	Betulaceae	Betula	nigra		Large	No	13	10	Medium
Birch, White (Paper)	Betulaceae	Betula	papyrifera		Large	Yes	18	10	Large
Birch, Yellow	Betulaceae	Betula	alleghaniensis		Medium	Yes	18	15	Large
Black Gum	Nyssaceae	Nyssa	syvatica		Medium	Yes	13.5	8.5	Medium
Buckeye, Ohio	Sapindaceae	Aesculus	glabra		Large	Yes	13.5	13.5	Large
Butternut	Juglandaceae	Juglan	cinera		Large	Yes	12	11	Medium
Catalpa, Northern	Bignoniaceae	Catalpa	speciosa		Large	No	12	6	Small
Cherry, Black	Rosaceae	Prunus	serotina		Small	Yes	15	6	Medium
Cherry, Choke	Rosaceae	Prunus	virginiana		Medium	Yes	5	5	Small
Cherry, Kwanzan	Rosaceae	Prunus	serrulata	'Kwanzan'	Small	No	7	5	Small
Cherry, Pin	Rosaceae	Prunus	pensylvanica		Small	Yes	8	8	Medium
Chestnut, American	Fagaceae	Castanea	dentata		Large	Yes	18	18	Large
Cockspur Hawthorn	Rosaceae	Crataegus	crus-galli		Medium	No	7.5	7.5	Small
Cottonwood, Black	Salicaceae	Populus	trichocarpa		Large	No	27	21	Large
Cottonwood, Eastern	Salicaceae	Populus	dehoides		Large	Yes	27	21	Large
Crabapple, Prairie Fire	Rosaceae	Malus		'Prairie Fire'	Medium	No	7	7	Small
Crabapple, Royal Raindrops	Rosaceae	Malus		'Royal Raindrops'	Medium	No	7	7	Small
Crabapple, Sargent	Rosaceae	Malus		'Sargent'	Medium	No	7	7	Small
Crabapple, White Angel	Rosaceae	Malus		'White Angel'	Medium	No	7	7	Small
Crimson Cloud English Hawthorn	Rosaceae	Crataegus	laevigata	'Superba'	Medium	No	6	6	Small
Cucumber Tree	Magnoliaceae	Magnolia	acuminata		Large	Yes	16	16	Large
Cutleaf Beech	Fagaceae	Fagus	syvatica	'Asplenifolia'	Large	No	18	14	Large
Cypress, Bald	Cupressaceae	Taxodium	distichum		Large	No	20	8	Medium
Elm, Accolade	Ulmaceae	Ulmus	japonica	wilsoniana	Large	No	23	20	Large
Elm, American Princeton	Ulmaceae	Ulmus	americana	'Princeton'	Large	No	21	15	Large
Elm, Valley Forge	Ulmaceae	Ulmus	americana	'Valley Forge'	Large	No	21	21	Large
Fir, Balsam	Pinaceae	Abies	balsamea		Large	Yes	15	6	Medium
Fir, Douglas	Pinaceae	Pseudotsuga	menziesii		Large	No	20	5	Medium
Fir, Fraser	Pinaceae	Abies	fraseri		Medium	No	11	6	Small
Fir, White	Pinaceae	Abies	concolor		Large	No	14	6	Medium
Frans Fontaine Hornbeam	Betulaceae	Carpinus	betulus	'Frans Fontaine'	Large	No	12	6	Small
Ginkgo (Maidenhair)	Ginkgoaceae	Ginkgo	biloba		Medium	Yes	17	11	Large
Ginkgo, Autumn Gold	Ginkgoaceae	Ginkgo	biloba	'Autumn Gold'	Medium	No	10	10	Medium
Ginkgo, Golden Colonade	Ginkgoaceae	Ginkgo	biloba	'JFS-UJA2'	Medium	No	13	7.5	Medium
Ginkgo, Princeton Sentry	Ginkgoaceae	Ginkgo	biloba	'Princeton Sentry'	Medium	No	13	5	Small
Golden Full Moon Maple	Sapindaceae	Acer	shirasawanum	'Aureum'	Medium	No	6	6	Small
Hackberry	Cannabaceae	Celtis	occidentalis		Large	Yes	20	18	Large
Hazelnut, Turkish	Betulaceae	Corylus	colurna		Medium	No	15	8	Medium
Hemlock, Eastern	Pinaceae	Tsuga	canadensis		Large	Yes	20	5	Medium
Hickory, Bittamut	Juglandaceae	Carya	cordiformis		Large	Yes	25	20	Large
Hickory, Pignut	Juglandaceae	Carya	glabra		Large	No	17	8	Medium
Hickory, Shagbark	Juglandaceae	Carya	ovata		Large	Yes	20	20	Large
Hickory, Shellbark	Juglandaceae	Carya	lociniosa		Large	Yes	23	15	Large
Hop tree	Rutaceae	Ptelea	trifoliata		Medium	Yes	5	5	Small
Hornbeam, European	Betulaceae	Carpinus	betulus		Large	No	17	12	Large
Hornbeam, European Pyramidal	Betulaceae	Carpinus	betulus	'Fastigiata'	Large	No	12	5	Small
Horsechestnut	Sapindaceae	Aesculus	hippocastanum		Large	No	12	12	Medium
Horsechestnut, Double	Sapindaceae	Aesculus	baumanni		Large	No	15	12	Large
Horsechestnut, Red	Sapindaceae	Aesculus	x carnea	'Briotii'	Large	No	12	12	Medium
Ironwood (American Hophornbeam)	Betulaceae	Ostrya	virginiana		Large	Yes	12	8	Medium
Karpick Red Maple	Sapindaceae	Acer	rubrum	'Karpick'	Large	No	12	6	Small

Katsura, Japanese	Cercidiphyllaceae	<i>Cercidiphyllum</i>	<i>japonicum</i>		Large	No	15	4	Small
Kentucky Coffee Tree	Fabaceae	<i>Gymnocladus</i>	<i>dioicus</i>		Large	Yes	17	13	Large
Kentucky Coffee Tree, Espresso	Fabaceae	<i>Gymnocladus</i>	<i>dioicus</i>	'Espresso'	Large	No	15	10	Medium
Larch, European	Pinaceae	<i>Larix</i>	<i>decidua</i>		Large	No	15	7	Medium
Lilac, Japanese Tree	Oleaceae	<i>Syringa</i>	<i>reticulata</i>	'Ivory Silk'	Medium	No	8	4	Small
Linden, Little-leaf	Malvaceae	<i>Tilia</i>	<i>cordata</i>		Large	No	17	20	Large
Locust, Honey	Fabaceae	<i>Gleditsia</i>	<i>triacanthos</i>		Large	Yes	17	10	Medium
Locust, Honey Shademaster	Fabaceae	<i>Gleditsia</i>	<i>triacanthos</i>	var 'Inermis Shademaster'	Large	No	17	10	Medium
Locust, Honey Skyline	Fabaceae	<i>Gleditsia</i>	<i>triacanthos</i>	var 'Inermis Skyline'	Large	No	15	13	Large
Locust, Honey Streetkeeper	Fabaceae	<i>Gleditsia</i>	<i>triacanthos</i>	var 'Inermis Draves'	Large	No	15	7	Medium
Locust, Honey Sunburst	Fabaceae	<i>Gleditsia</i>	<i>triacanthos</i>	var 'Inermis Sunburst'	Large	No	15	13	Large
Maple, Amur	Sapindaceae	<i>Acer</i>	<i>ginnala</i>		Medium	No	6	6	Small
Maple, Armstrong	Sapindaceae	<i>Acer</i>	<i>rubrum</i>	'Armstrong'	Large	No	20	5	Medium
Maple, Autumn Spire	Sapindaceae	<i>Acer</i>	<i>rubrum</i>	'Autumn Spire'	Large	No	16	8	Medium
Maple, Black	Sapindaceae	<i>Acer</i>	<i>nigrum</i>		Large	Yes	20	15	Large
Maple, Brandywine	Sapindaceae	<i>Acer</i>	<i>rubrum</i>	'Brandywine'	Large	No	10	4	Small
Maple, Celebration	Sapindaceae	<i>Acer</i>	<i>x Freemanii</i>	'Celebration'	Large	No	14	6	Medium
Maple, 'Columnar'	Sapindaceae	<i>Acer</i>	<i>rubrum</i>	'Columnare'	Large	No	15	5	Small
Maple, Flame Amur	Sapindaceae	<i>Acer</i>	<i>ginnala</i>	'Flame'	Medium	No	6	6	Small
Maple, Freemanii	Sapindaceae	<i>Acer</i>	<i>x Freemanii</i>		Large	No	16	13	Large
Maple, Freemanii	Sapindaceae	<i>Acer</i>	<i>x Freemanii</i>	'Jeffersred'	Large	No	16	13	Large
Maple, Green Mountain	Sapindaceae	<i>Acer</i>	<i>saccharum</i>	'Green Mountain'	Large	No	22	17	Large
Maple, Hedge	Sapindaceae	<i>Acer</i>	<i>campestre</i>		Medium	No	10	10	Medium
Maple, Manitoba 'Flamingo'	Sapindaceae	<i>Acer</i>	<i>negundo</i>	'Flamingo'	Large	No	8	6	Small
Maple, Mountain	Sapindaceae	<i>Acer</i>	<i>spicatum</i>		Small	Yes	6	3	Small
Maple, Paperbark	Sapindaceae	<i>Acer</i>	<i>griseum</i>		Medium	No	7	5	Small
Maple, Red	Sapindaceae	<i>Acer</i>	<i>rubrum</i>		Large	Yes	16	15	Large
Maple, Red 'October Glory'	Sapindaceae	<i>Acer</i>	<i>rubrum</i>	'October Glory'	Large	No	15	12	Large
Maple, Red Sunset	Sapindaceae	<i>Acer</i>	<i>rubrum</i>	'Red Sunset'	Large	No	18	12	Large
Maple, Ruby Slippers Amur	Sapindaceae	<i>Acer</i>	<i>ginnala</i>	Ruby Slippers'	Medium	No	6	6	Small
Maple, Scarlet Sentinal	Sapindaceae	<i>Acer</i>	<i>rubrum</i>	'Scarlet Sentinal'	Large	No	15	8	Medium
Maple, Silver	Sapindaceae	<i>Acer</i>	<i>saccharinum</i>		Large	Yes	18	15	Large
Maple, Silver Queen	Sapindaceae	<i>Acer</i>	<i>Saccharinum</i>	'Silver Queen'	Large	No	16	13	Large
Maple, Striped	Sapindaceae	<i>Acer</i>	<i>pensylvanicum</i>		Large	Yes	9	7	Small
Maple, Sugar	Sapindaceae	<i>Acer</i>	<i>saccharum</i>		Large	Yes	20	15	Large
Maple, Sugar 'Columnar'	Sapindaceae	<i>Acer</i>	<i>saccharum</i>	'Columnare'	Large	No	20	4	Small
Maple, Tartarian	Sapindaceae	<i>Acer</i>	<i>tataricum</i>		Small	No	5	6	Small
Maple, Tartarian 'Hot-Wings'	Sapindaceae	<i>Acer</i>	<i>tataricum</i>	Hotwings'	Small	No	7	6	Small
Maple, 'Bowhall'	Sapindaceae	<i>Acer</i>	<i>rubrum</i>	'Bowhall'	Large	No	15	5	Small
Mountain-Ash, American	Rosaceae	<i>Sorbus</i>	<i>americana</i>		Medium	Yes	6	6	Small
Mountain-Ash, Showy	Rosaceae	<i>Sorbus</i>	<i>decora</i>		Medium	Yes	7	6	Small
Mulberry, Red	Moraceae	<i>Morus</i>	<i>rubra</i>		Medium	Yes	12	12	Medium
Oak, Black	Fagaceae	<i>Quercus</i>	<i>velutina</i>		Large	Yes	20	20	Large
Oak, Bur	Fagaceae	<i>Quercus</i>	<i>macrocarpa</i>		Large	Yes	18	13	Large
Oak, Chinquapin	Fagaceae	<i>Quercus</i>	<i>muehlenbergii</i>		Large	No	15	15	Large
Oak, English	Fagaceae	<i>Quercus</i>	<i>robur</i>		Large	No	18	13	Large
Oak, English Pyramidal	Fagaceae	<i>Quercus</i>	<i>robur</i>	'Fastigiata'	Large	No	15	5	Small
Oak, English Skinny Genes	Fagaceae	<i>Quercus</i>	<i>robur</i>	'Skinny Genes'	Large	No	15	3	Small
Oak, English Skyrocket	Fagaceae	<i>Quercus</i>	<i>robur</i>	'Skyrocket'	Large	No	20	5	Medium
Oak, Pin	Fagaceae	<i>Quercus</i>	<i>palustris</i>		Large	Yes	20	13	Large
Oak, Red	Fagaceae	<i>Quercus</i>	<i>rubra</i>		Large	Yes	16	15	Large
Oak, Red Kindred Spirit	Fagaceae	<i>Quercus</i>	<i>rubra</i>	' X Bicolor Nadler'	Large	No	10	2	Small
Oak, Shumard	Fagaceae	<i>Quercus</i>	<i>shumardii</i>		Large	Yes	12	12	Medium
Oak, Swamp White	Fagaceae	<i>Quercus</i>	<i>bicolor</i>		Large	Yes	15	15	Large
Oak, White	Fagaceae	<i>Quercus</i>	<i>alba</i>		Large	Yes	20	20	Large
Orange, Osage	Moraceae	<i>Maclura</i>	<i>pomifera</i>		Medium	No	12	12	Medium
Orange, Osage 'White Shield'	Moraceae	<i>Maclura</i>	<i>pomifera</i>	'White Shield'	Medium	No	12	12	Medium
Pagoda Tree, Japanese	Fabaceae	<i>Sophora</i>	<i>japonica</i>		Large	No	22	20	Large
Pawpaw	Annonaceae	<i>Asimina</i>	<i>triloba</i>		Medium	Yes	6	4.5	Small
Pine, Austrian	Pinaceae	<i>Pinus</i>	<i>nigra</i>		Large	No	18	15	Large
Pine, Eastern White	Pinaceae	<i>Pinus</i>	<i>strobus</i>		Large	Yes	24	11	Large
Pine, Eastern White Pyramidal	Pinaceae	<i>Pinus</i>	<i>strobus</i>	'Fastigiata'	Large	No	15	2.5	Small
Pine, Red	Pinaceae	<i>Pinus</i>	<i>resinosa</i>		Large	Yes	20	10	Large
Pine, Scots	Pinaceae	<i>Pinus</i>	<i>sylvestris</i>		Large	No	15	9	Medium
Planetree, Exclamation	Platanaceae	<i>Platanus</i>	<i>x acerifolia</i>	'Morton Circle'	Large	No	16	10	Medium
Planetree, London	Platanaceae	<i>Platanus</i>	<i>x acerifolia</i>		Large	No	20	20	Large
Planetree, London Bloodgood	Platanaceae	<i>Platanus</i>	<i>x acerifolia</i>	'Bloodgood'	Large	No	16	13	Large
Plum, Canada	Rosaceae	<i>Prunus</i>	<i>nigra</i>		Small	Yes	5	5	Small
Poplar, Balsam	Salicaceae	<i>Populus</i>	<i>balsamifera</i>		Large	Yes	13	6	Medium
Redbud, Eastern	Fabaceae	<i>Cercis</i>	<i>canadensis</i>		Small	Yes	9	9	Medium
Redbud, Forest Pansy	Fabaceae	<i>Cercis</i>	<i>canadensis</i>	'Forest Pansy'	Small	No	9	9	Medium
Redbud, Hearts of Gold	Fabaceae	<i>Cercis</i>	<i>canadensis</i>	'Hearts of Gold'	Medium	No	6	6	Small
Redbud, Silver Cloud	Fabaceae	<i>Cercis</i>	<i>canadensis</i>	'Silver Cloud'	Small	No	8	9	Medium
Redbud, Texas White	Fabaceae	<i>Cercis</i>	<i>canadensis</i>	'Texas White'	Small	No	8	9	Medium

APPENDIX B

Susan Schappert

From:
Sent:
To:
Cc:
Subject:

Hi Susan,

I hope this email finds you well. I have reviewed the attached report, please find my comments below.

From pg. 19:

Sixteen Mile Creek and the surrounding area is part of the traditional territories of the Anishinaabe and Haudenosaunee peoples. The Anishinaabe people known to the settlers as ‘Mississaugas’ called the river Nanzuhzaugewazog meaning ‘having two outlets’, a reference to the shallow, gravelly mouth dividing the river in two. The Mississauga ceded their lands on the Sixteen Mile Creek under Treaty 22 on February 8, 1820, to the British Crown as part ongoing European colonization and settlement of Indigenous territories. The confluence at the mouth of Sixteen Mile Creek and Lake Ontario continues to hold significance for the Mississaugas of the Credit First Nation.

I would revise the above paragraph as:

Sixteen Mile Creek and the surrounding area is part of the treaty land and territory of the Mississaugas of the Credit First Nation as well as the traditional territory of the Huron-Wendat and the Haudenosaunee peoples. The Mississaugas called the river Nanzuhzaugewazog meaning ‘having two outlets’, a reference to the shallow, gravelly mouth dividing the river in two. The Mississaugas of the Credit ceded their lands on the Sixteen Mile Creek under Treaty 22 on February 8, 1820, to the British Crown as part ongoing European colonization and settlement of Indigenous territories. The confluence at the mouth of Sixteen Mile Creek and Lake Ontario continues to hold significance for the Mississaugas of the Credit First Nation.

Rationale:

1. the initial draft of the paragraph did not indicate that the land on which the study district is located did not fully indicate the First Nations that historically occupied, controlled, and exercised stewardship over the land.
2. Specifying the Mississaugas of the Credit First Nation reflects the actual First Nation that placed the land under treaty with the Crown in 1820. In the initial draft paragraph, the term “Mississauga” is used implying that all Mississauga Nations had a part in Treaty 22.

Sections 5.2.1-5.2.5 all contain an opening sentence akin to “... Area is layered over the traditional territories of the Anishinaabe and Haudenosaunee peoples.” I would suggest a more accurate rendering would be “... Area is layered over the treaty lands and territory of the Mississaugas of the Credit First Nation and the traditional territories of the Huron Wendat and the Haudenosaunee.

Rationale:

1. The term “Anishinaabe” is often a broad term used to include culturally related First Nation groups such as the Odawa, Pottawatomie, Ojibway, Mississaugas, etc., including some that have not had any relationship with the Oakville lands in question. Mentioning specific First Nations is more accurate, and less confusing, when the former Indigenous inhabitants are well known to an area- as is the case for Oakville.

If you have any questions, please give me a call.

Darin

Darin P. Wybenga (he/him)
A/Manager of Culture



Mississaugas of the Credit First Nation
Mailing: 2789 Mississauga Road, Hagersville, ON, N0A 1H0
Physical: 4065 Hwy.#6, Hagersville, ON N0A 1H0
Ph: 905- 768-4260 Ext: 1603
Cell: 905-870-2073

I choose to work flexibly and am sending this message now because it works for me. Feel free to read, act on or respond at a time that works for you.

Disclaimer

The Mississaugas of the Credit First Nation (MCFN) asserts the right to maintain stewardship on our ancestral homelands which includes the right to protect the lands and waters that sustain and support the life and health of all. Historically, and without our consent, MCFN homelands have been industrialized to the point where cumulative effects have already surpassed the point of a questionable future for coming generations. In this era of reconciliation, building a renewed relationship with First Nation peoples based on recognition of rights, respect and partnership, MCFN fully expect legal obligations with the body of the politic to adhere to National interests and engage MCFN in all future development taking place within our ancestral lands.

APPENDIX C

Susan Schappert

From: Peter Graham
Sent:
To:
Cc: [EXTERNAL] RE: Draft Old Oakville Heritage Conservation District Plan and Guidelines
Subject: for review

Hi Susan,

Great to e-meet you. I did a quick run through, so apologies if I've missed content relevant to my concerns.

p. 19-Re "Sixteen Mile Creek and the surrounding area is part of the traditional territories of the Anishinaabe and Haudenosaunee peoples. The Anishinaabe people known to the settlers as 'Mississaugas' called the river Nanzuhzaugewazog meaning 'having two outlets', a reference to the shallow, gravelly mouth dividing the river in two. The Mississauga ceded their lands on the Sixteen Mile Creek under Treaty 22 on February 8, 1820, to the British Crown as part ongoing European colonization and settlement of Indigenous territories. The confluence at the mouth of Sixteen Mile Creek and Lake Ontario continues to hold significance for the Mississaugas of the Credit First Nation."

Per above, please add something along these lines, suggested as the second sentence: The British Crown recognized this area as Haudenosaunee land in the 1701 Fort Albany Nanfan Treaty and Six Nations' rights to these lands have never been ceded.

Per final sentence in above, either equalize or add "special" significance for MCFN as it also continues to hold significance for SNGR.

Section 2, p. 21-I think it's beneficial moving the Indigenous inhabitants piece upwards, prior to the more colonialist heritage points. I always prefer naming when possible and, as it's pre-contact, Attawandaron make sense. To set the scene, a brief blurb about how First Nations in general used the land would be nice – i.e. activities described in the frontmatter of many archaeological reports.

Per p. 49, please ensure SNGR is involved in conversations to "Integrate historic and current Indigenous knowledge, traditions, activities and use into public open spaces" and similar like p. 115.

Overall, I'd like more green guidance, primarily as a nod towards the First Nation cultural heritage landscape, but also recognizing aesthetic restrictions for colonial architecture limit some environmentally-friendly practices like solar:

-There doesn't appear to be anything about break walls. Armour stone should be discouraged in favour of natural, or at least softer, solutions.

-native plants and trees should be encouraged

-enhanced protection for mature trees would be valuable. Cutting any in the area should require a permit, including the backyards of private properties.

Thank you, Peter

From: Susan Schappert <susan.schappert@oakville.ca>

Subject: [External] Draft Old Oakville Heritage Conservation District Plan and Guidelines for review

Hi Peter

Thanks very much for taking the time to review this. While you're welcome to review and provide comments on the entire document, I think the sections you would be most interested in are Sections 2 and the Character Areas in Section 5. The document is pretty large, even as a pdf, so I'm sending two separate emails – this email has the main body of the Plan and the second email will have the appendices.

Most of the wording we have regarding Indigenous history is taken from the Oakville Harbour Cultural Heritage Landscape reports from 2018-2019. Josh Dent from Timmins Martel Heritage Consultants worked with Joanne Thomas from Six Nations on those reports, just to give you a bit of background. We're always open for updated wording - so if anything has changed since then, that is completely fine and we would welcome the opportunity to include more appropriate language.

I look forward to working with you in the future!

Sincerely
Susan

**Susan Schappert, (She/Her), CAHP, MCIP, RPP
Heritage Planner, District West/East
Planning & Development**

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APPENDIX D

OLRA Comments and Input re Old Oakville Heritage District Study, December 2024

For Discussion with Sue Schappert, January 31

Page 13 What is a Heritage Permit

Consider adding “, whether contributing or non-contributing” to the end of the first paragraph

Page 15 How to Use the Plan

For Step 2 Understand Your Property – include reference to where they can find inventory sheet

Review the inventory sheet for your property (Can be found in Appendix A, Revised Old Oakville Heritage Conservation District Study)

For Step 5 – missing Table Number Table 2

Page 17 Design and Physical Value

Can we consider beef up reference to the Old Oakville vernacular style which is so prevalent in this District

Can we repeat paragraph #2 which is in Contextual Value here in Design and Physical Value

Page 19 Contextual Value

Typo in second paragraph last sentence – believe that it should be north-south streets ...

Page 21 Attributes – last bullet point at bottom of page

Instead of “the widening at corner intersections” – don’t we mean the openness of corner intersections

Page 26/27 Map 3 and Table 1

We had discussed putting an asterisk on the non-contributing properties that are viewed as good neighbours. We think that this is important information to include at this point in the Plan

Page 33 Specific Objectives for the Plan – Point R

We had discussed the importance of the openness of views and vistas at corners and feel it should be included here. Our suggestion:

To conserve, maintain and protect the identified view and vistas and the openness of the corner intersections in Map 2

- Page 45 Introduction
Typo in first paragraph second to last sentence -.... Immediately surrounding the a property. Remove the
- Page 46 Figure 5 - How to Use the Plan
Change to be consistent with Page 15
For Step 2 Understand Your Property – include reference to where they can find inventory sheet

Review the inventory sheet for your property (Can be found in Appendix A, Revised Old Oakville Heritage Conservation District Study)

For Step 5 – missing Table Number Table 2
- Pages 51,54 Guidance Points – Consistency consideration

In Areas 4 & 5 – there is a bullet point that suggests unifying materials. Should we not include a point like this for each of Areas 2 & 3

e.g. Area 2

Support additions and development that reflect the early vernacular architectural styles with unifying materials that are found in contributing properties such as traditional stucco and brick

e.g. Area 3 – Gully Landscape

Support additions and development that reflect the mix of architectural styles with unifying materials that are found in contributing properties such as traditional stucco horizontal cladding and brick
- Page 55 Figure 8

We had agreed to revise this figure to show a new build on the left side that was too tall and would have an X
- Page 64 General Guidelines - Understanding

Third paragraph starting with “The Inventory Sheets ...

Include reference to Appendix A

“The Inventory Sheets developed for each property as part of the District Study (Refer to Appendix A) shall be used ...

Page 80

Scale and Massing

We think that all of point (6) should be moved to Page 81 to be second point and subpoint under Style and also incorporate Standard 11 from Appendix C (page 139)

As such – we suggest that the Style section on Page 81 should read as follows:

- (1) The design of an addition should reflect or reference the architecture of the heritage building, in terms of roof form, massing, materials, windows and entrances
- (2) The addition should be physically and visually compatible with, subordinate to and distinguishable from the heritage building
 - a. An addition that is distinguishable is not required to be a different style of architecture. Cladding materials, differing rooflines, wall planes and paint colour can be used to create a distinguishable addition

Page 81

Figure 10

Under recommended options in middle and far right – add reference to heights being aligned

Page 81

Height

This is a change from our previous discussions and represents a significant issue of concern. As worded in the draft – it puts significant risk to many of our contributing properties and does not reflect best practice

As such, we would suggest the following wording:

1. Protect and maintain the historic low-rise scale of the District
 - a. The maximum height for heritage buildings, including additions shall be the maximum height permitted for the District under the Town of Oakville’s Zoning by-law in effect subject to amendments and variances that may be approved
2. The overall scale, massing, design and height of the addition should be subordinate to and compatible with the heritage building, Character Area and District
3. Varying grades and elevation changes in the land shall be taken into account for additions. See the appropriate Character Area section in this Plan for additional guidance
4. An addition to a heritage building should not exceed the height of the heritage building on the property. In exceptional circumstances this will be considered on a case-by-case basis where there are demonstrated site constraints including the current building height and lot size

Page 83

Windows

Still concerned that we have given up the battle regarding aluminum-clad

Page 84

Figure 11 – Muntin Bars

Add reference to what is acceptable and what is not acceptable

Page 91

Height – Non Contributing Properties

Similar concerns for this section

As such, we would suggest the following wording:

1. Protect and maintain the historic low-rise scale of the District
 - a. The maximum height for non-heritage buildings, including additions shall be the maximum height permitted for the District under the Town of Oakville’s Zoning by-law in effect subject to amendments and variances that may be approved
2. The overall scale, massing, design and height of the addition should be subordinate to and compatible with the non-heritage building, Character Area and District
3. Varying grades and elevation changes in the land shall be taken into account for additions. See the appropriate Character Area section in this Plan for additional guidance
4. An addition to a non-heritage building should not exceed the height of the non-heritage building on the property. In exceptional circumstances this will be considered on a case-by-case basis where there are demonstrated site constraints including the current building height and lot size

Page 101

Figure 14 Guidelines for Roof Forms

Needs to be fixed

Page 102

Figure 15 Guidelines for Solid to Void Ratio

Needs to be fixed – middle one 15-30%; bottom one greater than 30%

Page 115

Street Furniture, Lighting and Utilities

Consider adding in point b.

“Lighting fixtures’ material, scale and colour should be unified, compatible with the Character Area and District and compliment the connection to traditional lighting fixtures in Oakville’s historic downtown”

Page 121

Exempt Public Realm

We think there is a need to add some things for reference that are consistent with expectations for private properties – paint colours, fencing and lighting

Page 141 Good Neighbours

We think there is a strong case for adding at least two more properties to the good neighbours section – 21 Dunn Street and 275 King Street. See attached.

We also think that consideration could be given to 23/25 Trafalgar Road

Page 150 Photographic Examples

The sizing of some of the pictures in this section need to be improved

Address	Photo	What Makes This Building a Good Neighbour?
21 Dunn Street		<ul style="list-style-type: none"> - Historic ¼ acre lot associated with contributing property (Lightbourn family) to north - New traditional style that reflects historic cottage vernacular style - Use of traditional materials including wood cladding, multi framed wood windows - Mix of gable roof lines minimize height impact of this property on the hill - Detached garage setback to the rear of the property that emulates a carriage house - Open iron fencing along Waterfront Trail and Dunn Street allows views from the public realm into the property
275 King Street		<ul style="list-style-type: none"> - Historic ¼ acre lot - Scale, height and massing is complementary to contributing properties to south on King Street and to east on Trafalgar Road - Setback on corner lot with low profile landscaping that enables open views along King Street as well as views north on Trafalgar Road towards contributing properties - Introduction of traditional materials including wood cladding and wood windows

To: Susan Schappert

From: Jane Hawkrigg and Anita Mackey

Date: February 4, 2025

Re: Draft Old Oakville Heritage District Plan- additional OLRA comments for consideration related to height of additions

Sue,

After our discussions with you on Friday, January 31st and from a further review of best practices associated with the height of additions to contributing and non-contributing properties in other Heritage Districts (attached a couple to this document), we would recommend the following wording:

Page 81 Height

1. Protect and maintain the historic low-rise scale of the District
2. The overall scale, massing, design and height of the addition should be complementary to the heritage building and clearly secondary in terms of scale, massing and height
3. Varying grades and elevation changes in the land shall be taken into account for additions. See the appropriate Character Area section in this Plan for additional guidance
4. An addition to a heritage building should not exceed the height of the heritage building on the property and should preferably be lower to clearly distinguish it from the original building. In exceptional circumstances this will be considered on a case-by-case basis where there are demonstrated site constraints

Page 91 Height – Non Contributing Properties

1. Protect and maintain the historic low-rise scale of the District
2. The overall scale, massing, design and height of the addition should be complementary to the heritage building and clearly secondary in terms of scale, massing and height
3. Varying grades and elevation changes in the land shall be taken into account for additions. See the appropriate Character Area section in this Plan for additional guidance
4. An addition to a non-heritage building should not exceed the height of the non-heritage building on the property. In exceptional circumstances this will be considered on a case-by-case basis where there are demonstrated site constraints including the current building height and lot size

We don't feel that it is appropriate to have a reference to zoning in the heritage guidelines. While we understand and support that the various municipal policies need to complement and support one another – we feel that the heritage guidelines need to stand on their own as evidenced by the best practice examples in other Heritage District Plans.

In addition, we found an interesting definition of what “complementary” means in the West Annex Heritage District Plan that we may want to consider

Complementary additions and alterations will physically and visually conserve or enhance the cultural heritage value and heritage attributes of the District.

To be physically complementary refers to the use of materials and construction methods that do not detract from or damage heritage attributes.

To be visually complementary refers to the selection of materials and design, massing, proportions and details so as to conserve and enhance the District's cultural heritage value.

Rooflines – Wellington Heritage Conservation District Plan

[Wellington-HCD-FINAL.pdf](#)

Adopted by Council in September 2022; OLT Approval in October 2024

Page 60

In the introduction to Guidelines for Building Alteration and Additions, there is an interesting introduction that may merit consideration for the Old Oakville Plan

Guidelines for alterations and additions are organized in two groups. “Contributing” properties make the direct contribution to the Heritage Character of the District as a whole. The second group comprises “non contributing” properties. The guidelines that apply to non-contributing properties are intended to ensure that they do not compromise the heritage character of the District as a whole by adding further inappropriate changes to the building, or to offer suggestions for their integration or ultimate replacement with a more compatible structure.

Page 61

The general guidelines for additions as written below apply to BOTH contributing and non-contributing properties. This aligns with our argument that the height guidelines for both contributing and non-contributing should be the same. Also, note that there is no reference to zoning bylaws -the guidelines for managing change are heritage focused as we believe they should be

7.2.2 General Guidelines for Additions

- **Additions should be complementary to the main building and clearly secondary in terms of scale, massing and height; they should also be clearly distinguishable in form and detail.**
- Additions should be located away from the main street-facing elevation, at the rear of the building.
- **The height of the addition should be no more than that of the main building and, preferably, lower, in order to clearly distinguish it from the original building. The roofline of a rear addition should not exceed the height of the existing building’s roof ridgeline or should be stepped back from the street elevation in order to reduce its visual impact when viewed from the street.** Where the existing roof is a mansard roof, the top of parapet will be considered as the ridgeline.
- Construction of additions should not entail removal, covering or other adverse impacts on the heritage attributes or other important architectural features of the original building.
- Additions should avoid causing irreversible changes to the original building.
- Where additions are visible from the street their design should consider the horizontal and vertical patterns of the existing and/or neighbouring buildings including overall proportions, alignment of windows and doors, as well as of cornice lines and rooflines.

- **Rear addition roof ridgeline height should not exceed the existing building roof ridgeline. In cases where additional height is permitted in the Wellington Secondary Plan, the rear addition should be stepped back from the main building roof ridgeline height.**
- If possible, during the alteration process, record the alteration and retain samples of earlier materials that have been replaced.

West Annex Heritage District Plan – Dated May 2015; Land Tribunal Authorization 2019

Page 102

There did not appear to be a section on additions and alterations to non-contributing properties in this plan – it may be because there are few

8.7 Additions and Alterations A

Additions and alterations on a contributing property, as perceived from the public realm within the District, shall be physically and visually complementary with, subordinate to, distinguishable in terms of the form, appearance, materials and detailing and minimize the loss of District heritage attributes.

Complementary additions and alterations will physically and visually conserve or enhance the cultural heritage value and heritage attributes of the District.

To be physically complementary refers to the use of materials and construction methods that do not detract from or damage heritage attributes.

To be visually complementary refers to the selection of materials and design, massing, proportions and details so as to conserve and enhance the District's cultural heritage value.

Additions to contributing properties shall conserve the three-dimensional integrity of the contributing property and shall not exceed the height of the roof ridge of the primary structure.

The design, massing and placement of additions should conserve the roof form and profile of the contributing building, as viewed from the public realm.

Alterations to restore documented lost heritage features are encouraged.

Additions and alterations to contributing properties, required to be carried out in accordance with current codes and standards pertaining to health, safety, security, accessibility and sustainability, shall strive to conserve the cultural heritage value and heritage attributes of the District and the integrity of the contributing property.

Susan Schappert

From:

Sent:

To:

Subject: [EXTERNAL] Re: NEW DRAFT! Old Oakville Heritage Conservation District Plan and Guidelines available online now

Hi Sue,

A monumental task.

I do have a couple of comments

110 King

The door on the north side is steel clad, rather than wood panel.

Under site features, the iron fence is on the north, King Street, side.

The cast iron fountain is actually cast aluminum. Mark and I move it in and out every spring and fall which we wouldn't be able to do if it were cast iron

It isn't really across from the Lawn Bowling Club.

Lakeside Park

The bandshell is really a

bandstand. [https://en.wikipedia.org/wiki/Shell_\(theater\)](https://en.wikipedia.org/wiki/Shell_(theater)) <https://en.wikipedia.org/wiki/Bandstand>

Are you sure the bandstand was moved there in the 1950s? I have no recollection of it being there when I was a child/teenager. I think it was constructed new there. There was a very similar one in the middle of George's Square on the south side of the pathway when I was a kid but it eventually was demolished. We used to drag our tricycles up the steps and ride around on the wood floor. The current one is much smaller and pretty much on grade.

We have photos of the Thomas House on a trailer enroute to its current site.

Have a great Christmas and Happy Hogmanay.

George

Susan Schappert

From:

Sent:

To:

Cc:

Subject: [EXTERNAL] Old Oakville Heritage Plan draft December 2024

You don't often get email from dgall.60@gmail.com. [Learn why this is important](#)

Good Morning Susan,

I have just completed reading the draft heritage plan for Old Oakville.

First - congratulations on an excellent piece of work.

I was disappointed however that our home at 275 King Street was not mentioned as a "good neighbour". As you may remember, the non-contributing property was originally definitely a "bad neighbour" (see picture 1 below). Then on our return from Europe in 2017 we reviewed our plans with you and renovated the exterior to a Georgian style, trying to be compatible with the neighbourhood while not changing the footprint, using wood siding and establishing a more traditional roof line, while adding windows into blank walls. (Picture 2 & 3).

Since then we have focused on landscape and flowers (rabbits permitting), establishing sight lines from front to rear and across from Trafalgar to King Street. Pictures 3,4.

As you can see, from 2017 quite a difference and we continue in our efforts to be a good neighbour from a heritage and landscape point of view.

Kind regards,

Duncan.

Duncan Galloway
dgall.60@gmail.com
905 616 4081



Above - the original horror



Immediately on completion of renovation in 2017.



In 2020



Permeable paving and front garden view



Sight line from Trafalgar to King Street.

Susan Schappert

From:

Sent:

To:

Subject: [EXTERNAL] RE: NEW DRAFT! Old Oakville Heritage Conservation District Plan and Guidelines available online now

Thank you, Susan, and Happy New year!

Congratulations on all the work.

They are two small, but I think important changes that should be made.

First, on page 60, St. Andrew's is not 150 years old but closer to 200 - to be accurate the building plan began in 1837 and was completed by 1840, so **188 years or 185** depending on which you want to use.

Second, the picture of 295/97 William Street (which is actually designated Area 4, third picture in the second row) does not belong here.

Streetscape and Landscape
Character Analysis Area 5 - St.
Andrews Traditional



I would suggest replacing it with the stucco vernacular house at 339 William Street below.



Thanks,
Terry

Susan Schappert

From:

Sent:

To:

Cc:

Subject: [EXTERNAL] Poor quality photo in HCD plan

Good morning,

I noticed a poor quality photo (stretched; 43 Trafalgar Rd) on page 175 of the Old Oakville HCD plan update and wanted to send a better example in case there is time to change it. Please see attached.

Thanks,

Liam Rondeau



Susan Schappert

From:
Sent:
To:
Cc: Re: [EXTERNAL] Old Oakville Heritage Conservation District – Statutory Public Meeting
Subject:

Hi Susan,

That all makes sense; my concern is more about rights for either classification following any sort of tragic situation / devastation.

I remember when we bought our (non-contributing) home we ended up briefly meeting with the past owners on closing, and of all the conversation topics that could have come up from their living here since the '60s, they shared their experience of having had a house fire and dealing with heritage for repairs.

Covering this type of scenario while still maintaining a distinction between preservation and appropriate development would go a long way.

Rather than a call, could I pop in and meet with you sometime?

Friday is hard, but could do:
[redacted]

Julian

On Tue, Feb 4, 2025, 9:35 AM Susan Schappert <susan.schappert@oakville.ca> wrote:

Hi Julian

Thank you for sharing your comments with us, they will be included in the consolidation of all feedback that we have received on the draft Plan.

While we can definitely discuss your comments, I did want to take the opportunity to provide a bit more information about demolition.

There are different policies for the demolition of contributing (heritage) and non-contributing (non-heritage) buildings in the Draft Plan. You are entirely correct, we would only permit the demolition of contributing (heritage) buildings within a set of exceptional circumstances. They would not be required to rebuild to match, but the new building would be subject to the New Development guidelines to ensure that what goes up in its place is appropriate for the neighborhood.

As for non-contributing (non-heritage buildings), the demolition guidelines are set out in Section 5.4.1.3. Non-contributing properties can be demolished without exceptional circumstances. Because they are not historic, they do not contribute to the heritage value of the District and can be removed without having a negative impact on the District. Essentially, the ability to demolish existing non-contributing properties exists as of right within the District Plan. The only thing required is the heritage permit for the new building. Again, this is to make sure that what is constructed in its place is appropriate for the District. We have never had anyone request to rebuild a non-contributing property to match exactly what exists. While there may be similarities between the previous non-contributing building and the new building, there are always improvements and changes to meet contemporary needs.

I am happy to schedule a phone call with you to discuss your feedback, but I do hope that this explanation helps with one of your concerns. Would you have time on Thursday or Friday for a chat?

Sincerely

Susan

**Susan Schappert, (She/Her), CAHP, MCIP, RPP
Heritage Planner, District West/East
Planning & Development**

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Subject: [EXTERNAL] Old Oakville Heritage Conservation District – Statutory Public Meeting

Greetings,

Further to your mailing, I am writing to provide comment on the new Old Oakville Heritage Conservation District plan and guidelines being brought forward to the Planning & Development Committee this week.

I greatly appreciate the effort the Town has undertaken to consult with the community on the development of the plan, however I would like to respectfully offer a few concerns to consider before finalizing a new by-law,

The guidelines include an exemption to permit demolition of certain heritage buildings under a defined set of "exceptional circumstances", however there is no permission whatsoever granting the right to repair or replace non-heritage buildings within the district that are damaged or destroyed by exceptional circumstances. This seems grossly unfair.

It appears that if a family's house is damaged or destroyed by say a fire, they would need permission through a full permit process in order rebuild the very same home they lost...meaning they could even be denied such right. This is not reasonable; repair / replacement of anything under "exceptional circumstances" should be exempt from HCD requirements entirely, under a broader definition that includes all foreseeable perils such as wind, rain, fire, american invasion, etc.

Language around permissions for ongoing repairs and maintenance should be broader. The homes in the neighborhood are well kept and cared for; permissions need to be general enough to ensure that upkeep and pride of ownership can flourish without deflating the existing sense of community through over-regulation of normal upkeep.

There are also several new construction requirements that are oddly prescriptive, seemingly more so than what is seen on any heritage properties in the district. I would hope the character to be maintained is only that of OOHCD, not a generalized heritage district.

If there is further opportunity to discuss, please let me know.

Thanks,

Julian Novick

REPORT

Heritage Oakville Advisory Committee

Meeting Date: February 25, 2025

FROM: Planning and Development Department

DATE: February 11, 2025

SUBJECT: Heritage permit application HP005/25-42.20T – 65 Thomas Street
– Construction of new rear additions (February 25, 2025)

LOCATION: 65 Thomas Street

WARD: Ward 3 Page 1

RECOMMENDATION:

1. That Heritage Permit Application HP005/25-42.20T for the construction of new rear additions at 65 Thomas Street, as attached in Appendix B to the report dated February 11, 2025, from Planning and Development, be approved subject to the following:
 - a. That final details on the new cladding, windows and doors be submitted to Heritage Planning staff for final approval; and
2. That this heritage permit expires two years from the date of final approval by Council.

KEY FACTS:

The following are key points for consideration with respect to this report:

- The property is designated under Part V of the *Ontario Heritage Act* as part of the Old Oakville Heritage Conservation District.
- The owners are proposing to construct new additions to the rear of the heritage house.
- Staff is recommending that the application be approved in accordance with the conditions in the recommendation.

BACKGROUND:

A heritage permit application has been submitted by the owners of 65 Thomas Street to undertake the following alterations:

1. Demolish an existing non-historic one-storey wing of the house;

2. Construct a new two-storey rear addition in the same location;
3. Construct a new second-storey addition over an existing one-storey rear wing; and
4. Install a new entrance on the north elevation of the existing house.

The property at 65 Thomas Street is located on the northeast corner of William Street and Thomas Street. See Appendix A for the Location Map. The property contains a c.1852 two-storey brick house built by John Moore, a master mariner. The property is designated under Part V of the *Ontario Heritage Act* and is a contributing property within the Old Oakville Heritage Conservation District.

The complete application was submitted on January 21, 2025. See Appendix B for the application form, photos and drawings of the proposed work. In accordance with the *Ontario Heritage Act*, the 90-day deadline for Council to make a decision on the application is April 21, 2025.

COMMENT/OPTIONS:

The owners are proposing to construct a new two-storey rear addition on the southeast corner of the existing house. As part of this proposed change, the one-storey frame section at the rear of the house will be removed. This portion was constructed in 1983 and does not have any heritage value.

The new addition will provide second-storey space over the existing one-storey rear shed-roofed brick wing of the house and will provide a new two-storey space in the location of the rear frame wing to be removed. The addition has an intersecting gable roof, with its ridge extending from the east-west ridge of the heritage house. A new gable on the south side of the addition will mirror the existing gable on that same elevation. A wide shed dormer is proposed on the east elevation of the addition.

A second addition is proposed above the existing one-storey wing at the rear of the house. This second-floor addition is proposed to have a flat roof, to match the flat roof of the existing wing below. While flat roofs are not supported for primary wings of a house in the heritage conservation district, this addition is small and is tucked in behind two other gable roofs at the rear of the house. Additionally, the flat roof design minimizes any negative impact of the new addition on the roofline of the existing house.

Both additions are to be clad in a light-coloured vertical wood siding. Windows are proposed to be aluminum-clad wood windows with a two-over-two pane design. First floor French doors and sliding doors are proposed on the rear elevation of both new additions. Wood trim is to be used throughout. Asphalt roof shingles are proposed to match the rest of the house. A new stone-clad porch with glass railings is proposed at the rear of the two-storey addition.

Finally, there is one alteration proposed to the existing house on the north elevation. The application proposes to replace an existing small window with a new entrance. This portion of the house was constructed in 1992 and does not have heritage value. A new door with panelling and a multi-paned window is proposed, along with a small stone-clad stoop and a wood overhang with decorative brackets.

None of the proposed changes require any minor variance approvals.

The Old Oakville Heritage Conservation District Plan includes the following guidelines as they relate to new construction and retention of heritage buildings:

- *Scale in height and mass be compatible with surrounding buildings to ensure visual connectedness and existing sense of scale;*
- *Construction materials should be visually sympathetic with existing buildings and streetscape yet appropriate given the design of the new structure;*
- *Lot line setbacks be permitted to vary with consideration given to neighbouring setbacks and frontages;*
- *The distinguishing original qualities or character of a structure or environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible;*
- *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building structure shall be treated with sensitivity;*
- *Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event that replacement is necessary, the new material should match the replaced material in composition, design, colour, texture and other visual qualities;*
- *Design, style, materials and colour for new construction to be considered on an individual basis on the premise that contemporary styles can be more appropriate in certain cases than emulating turn of the century designs.*

The Old Oakville Heritage Conservation District Plan also makes note of the importance of the orientation of the house which faces both west along Thomas Street and south along William Street. This presence on both streets will be maintained through the proposed works.

Heritage Planning staff has reviewed the District Plan as part of the assessment of this heritage permit. The subject application meets the guidelines of the District Plan because the existing house is to be retained and no historic features are to be removed. Additionally, the new additions have been designed with a complementary yet distinguishing style that allows the addition to remain subordinate to the existing historic house. The proposed materials are complementary to the heritage house and in keeping with the character of the district.

Staff therefore recommends that this heritage permit application be approved subject to the conditions in the recommendation. The works proposed are subject to other applicable town regulations and requirements, such as site alteration permits and building permits. It is the applicant's responsibility to review these matters with applicable staff.

CONSIDERATIONS:

(A) PUBLIC

There is no public notification required.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

There is no impact on other departments and users.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability, and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing greenhouse gas emissions. The approval of the subject heritage permit supports the town's climate initiatives through the retention and rehabilitation of the existing heritage house on the property.

APPENDICES:

Appendix A – Location Map

Appendix B – Heritage Permit Application

Prepared by:

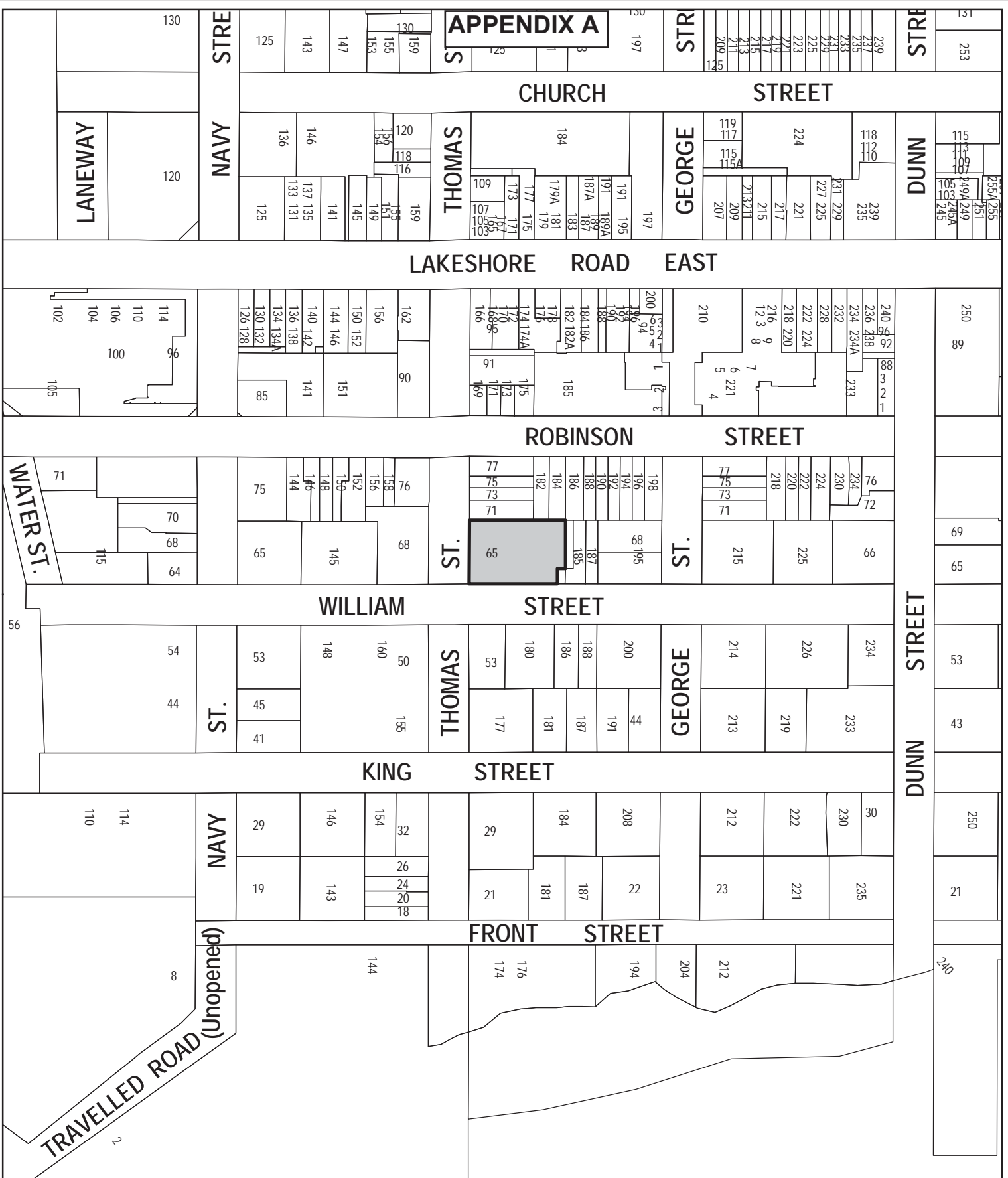
Carolyn Van Sligtenhorst, MCIP, RPP, CAHP
Heritage Planner

Recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning and Development



SUBJECT LANDS

65 Thomas Street

LOCATION MAP



1:2,500

Community Development Commission

HERITAGE PERMIT

Application Form

Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.

Policy Planning & Heritage
Planning and Development Department
Town of Oakville

A – Property and Applicant Information

Property Address: 65 Thomas Street

Owner Contact Information:

Name:

Address & Postal Code:

Phone:

E-mail:

Agent Contact Information (if applicable):

Name: Emelie Vea

Company Name: Willmott & Strickland

Address & Postal Code: 594 Chartwell Road, Suite 3, L6J 4A5

Phone: 905 842 2332 X 28

E-mail: emelie@willmottstrickland.ca

B – Heritage Permit Application Summary

- Alterations to Building
 New Construction
 Landscaping
 Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. Two storey addition at the rear to bump out the existing rear breakfast exterior wall

2. Second storey addition over the existing kitchen/breakfast area and over the existing family room.

3. New side entrance overhang.

4.

5.

6.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

The existing house is predominantly clad in brick with strong features such as gable roofs and large double hung windows. Facing William Street, a one storey brick rear structure with a long sloped roof remains as a reminder of the house's evolution and it becomes a transitional element connecting the existing to the new contemporary addition. Behind the sloped brick facade, we proposed a second storey addition with a gable wall matched to the existing bricked gable wall.

We are proposing a covered side entrance facing north with a roof overhang supported by wood brackets.

The rear elevation reveals contemporary elements with wide expanses of windows and doors throughout. To counteract the solid mass of the corner house as seen from the public, light stained vertical wood siding is introduced.

We are also proposing some minor modifications to the existing north facade to create a new roof overhang supported by wood brackets and revised fenestration.

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

- | | | |
|-------------------------|---|--|
| Building Permit | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
| Minor Variance * | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Plan | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Alteration | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
| Sign Permit | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Tree Removals | <input type="checkbox"/> YES | <input type="checkbox"/> NO |

*Prior to submission of your heritage permit application, any relevant minor variance application must have been submitted and confirmed on a Committee of Adjustment meeting agenda. The Committee of Adjustment must make a decision on the variance(s) before the heritage permit will be considered by the Heritage Oakville Advisory Committee.

If Yes, please describe the application for all required approvals listed above:

Approval for minor variances from CAV A062/2018 remains relevant to the new proposal as long as no other variances are required.

E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	New	stained wood vertical siding	To be determined at a later date	
Roof	New	main roof -asphalt shingles Flat roof - metal	main - to match existing Flat - TBD at a later date	
Foundation Walls	New	Parging on poured concrete		
Trim	New	Painted wood	TBD at a later date	
Doors	New	metal clad wood doors	TBD at a later date	
Windows	New	metal clad wood windows	TBD at a later date	
Walkout and steps	New	stone finish	To match existing	
Fencing				
Landscaping				
Other				









Willmott & Strickland Inc.
594 Chartwell Road, Suite 3, Oakville, Ontario,
L6J 4K5

T: 905.842.2332
willmottstrickland.ca

Notes
All work shall conform to the Ontario Building Code, latest edition, and all other regulations of authorities having jurisdiction. All work shall be carried out in accordance with best trade practice by trades skilled in the type of work being performed. No work shall proceed prior to the issuance of a building permit.

These drawings shall be read in conjunction with specifications, schedules, details and other instructions prepared by the Architect, Structural Consultant, Mechanical Consultant and other consultants who have provided service for this project.

All dimensions and information shown on these drawings must be checked and verified on site by the Contractor and any discrepancies shall be reported to the Architect prior to construction and fabrication of its components.

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Has/JAG/rev/vised drawings. Do not scale drawings.
Client Review 0117/2025

Project
Staios Residence

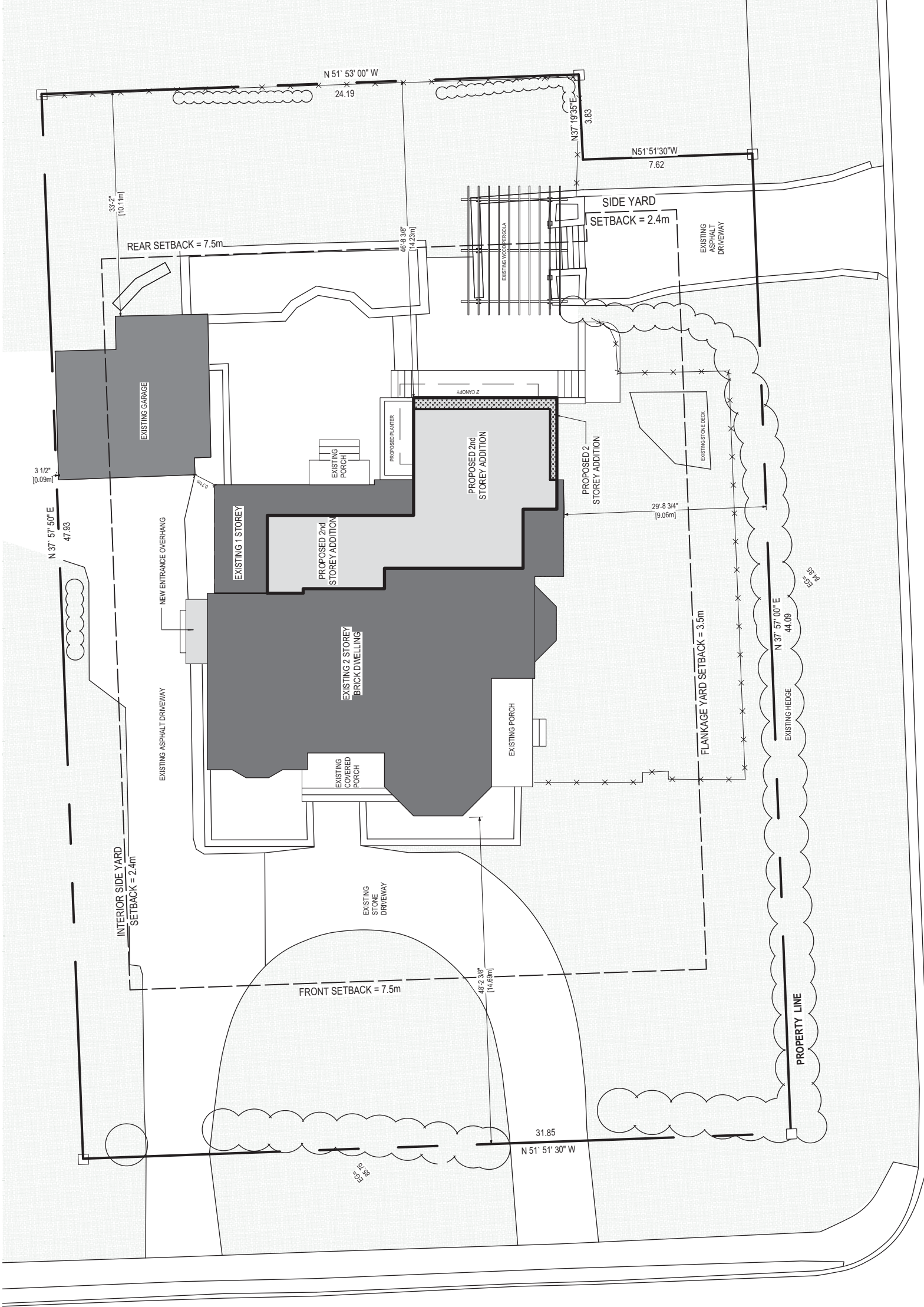
Address
**65 Thomas Street,
Oakville ON**

Drawn By
NA

Checked By

Date
17 Jan 2025

Scale
1:200



Thomas St.

William St.



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Project
Staios Residence

Address
**65 Thomas Street,
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Drawn By
NA

Checked By

Date
17 Jan 2025

Scale
1/8" - 1-0"



Site Statistics - 65 Thomas Street, Oakville ON						
Zoning				By-Law 2014-014		Reference
				RL3 sp:11		
Lot Area	1,495.76 m2	16,100.25 ft2		558 m		6.3
Lot Frontage	31.85 m	104.49 ft		18 m		6.3
Lot Coverage						
Existing Dwelling	214.03 m2	2303.83 ft2				
Front Covered Porch	5.32 m2	57.29 ft2				
Existing Pergola	4.22 m2	45.38 ft2				
Existing Detached Garage	45.63 m2	491.21 ft2				
Existing Coverage Total	269.21 m2	2897.71 ft2				
New 2 Storey Addition	4.03 m2	43.35 ft2				
New Side Entrance Overhang	2.32 m2	24.94 ft2				
Total	275.55 m2	2966.00 ft2	18.4%	25% (max)		6.3 / 6.4.1
Residential Floor Area Ratio						
Ground Floor (existing)	214.03 m2	2303.83 ft2				
Ground Floor (addition)	4.03 m2	43.35 ft2				
Second Floor (existing)	123.08 m2	1324.78 ft2				
Second Floor (addition)	64.72 m2	696.65 ft2				
Total	405.86 m2	4368.61 ft2	27.1%	30% (lot area)		6.3 / 6.4.1
Separation Distance						
Dwelling - Detached Garage	0.71m	2.33ft			as per CAV A/062/2018	
Building Height						
Existing Dwelling Height	8.67 m	28.44 ft		10.5m (max)		6.3 / 6.4.6.
New Addition Structure	8.67 m	28.44 ft		10.5m (max)		6.5.2 (a) / (d)
Setbacks (Dwelling)						
Front Yard	14.69 m	48.20 ft		6m		6.3 / 6.4.3
Rear Yard	10.11 m	33.17 ft		7.5m		6.3
Flankage Yard	9.06 m	29.73 ft		3.5m		6.3
North Interior Side Yard	0.07 m	0.29 ft		as per CAV A/062/2018		6.3



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Has/Hasst/Revised drawings. Do not scale drawings.
Client Review 0117/2025

Project
Staios Residence

Address
**65 Thomas Street,
Oakville ON**

Drawn By
NA

Checked By

Date
17 Jan 2025

Scale
3/16" = 1'-0"



A-104
Front Elevation





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Project
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Address
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Drawn By
NA

Checked By

Date
17 Jan 2025

Scale
3/16" = 1'-0"



A-105
Rear Elevation





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Address
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Checked By

Date
17 Jan 2025

Scale
3/16" = 1'-0"



A-106
 Side (South) Elevation





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Oakville ON**

Drawn By
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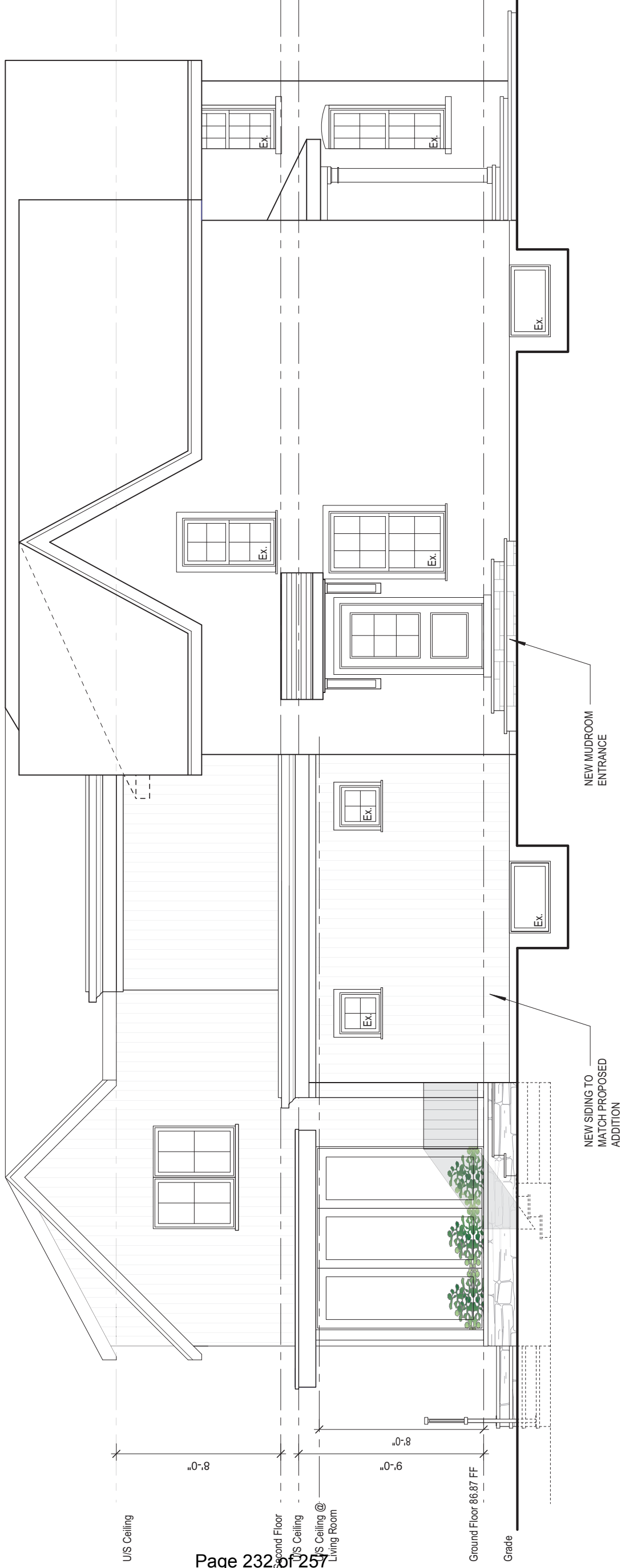
Checked By

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17 Jan 2025

Scale
3/16" = 1'-0"



A-107
Side (North) Elevation





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17 Jan 2025

Scale
NTS





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Address
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Oakville ON**

Drawn By
NA

Checked By

Date
17 Jan 2025

Scale
NTS



REPORT

Heritage Oakville Advisory Committee

Meeting Date: February 25, 2025

FROM: Planning and Development Department

DATE: February 11, 2025

SUBJECT: Heritage permit application HP004/25-42.20R – 358 Reynolds Street – Demolition of medical building and parking lot (February 25, 2025)

LOCATION: 358 Reynolds Street

WARD: Ward 3

Page 1

RECOMMENDATION:

1. That Heritage Permit Application HP004/25-42.20R for the demolition of the medical building and parking lot at 358 Reynolds Street, as attached in Appendix B to the report dated February 11, 2025, from Planning and Development, be approved subject to the following:
 - a. That the owners seed and fence the property post-demolition and that final details on this work be submitted to Heritage Planning staff for approval;
 - b. That the property owners allow for salvage of materials from the building; and
2. That this heritage permit expires two years from the date of final approval by Council.

KEY FACTS:

The following are key points for consideration with respect to this report:

- The property is designated under Part V of the *Ontario Heritage Act* as part of the Trafalgar Road Heritage Conservation District.
- The owners are proposing to demolish the non-historic medical building and associated parking lot, both of which are vacant.
- The owners plan to submit a heritage permit application for the construction of new townhouses on the property in the future.
- Staff is recommending that the application be approved in accordance with the conditions in the recommendation.

BACKGROUND:

The property at 358 Reynolds Street is located on the southwest corner of Macdonald Road and Reynolds Street north of downtown Oakville. The property contains a three-storey brick-clad concrete block building built in the late 1950s to early 1960s. The structure has been vacant since 2019 but was previously used for medical offices. To the rear of the building, along Macdonald Road, is a large surface parking lot. See Appendix A for excerpts from a Heritage Impact Assessment (HIA) prepared by Vincent J. Santamaura, Architect Inc., which include a map and background information on the property.

The property is designated under Part V of the *Ontario Heritage Act* as part of the Trafalgar Road Heritage Conservation District but is not considered to be a contributing heritage property.

In 2023, the owners submitted a Draft Plan of Subdivision and Zoning By-law Amendment application to construct 11 three-storey townhouses fronting onto Macdonald Road. The application was refused by Oakville Town Council and the applicants appealed the decision to the Ontario Land Tribunal (OLT). The OLT approved a settlement that was reached between the appellants and the town. This approval resulted in modifications to the proposal to better integrate the development into the neighbourhood.

A future heritage permit will be required for the construction of the new townhouses. The heritage permit application will come to the Heritage Oakville Advisory Committee for review and to Council for approval. In the meantime, to prepare the site for future development, the owners have submitted the subject heritage permit application to remove the existing vacant building and parking lot from the site.

The complete application was submitted on January 17, 2025. See Appendix B for the application form and photos of the property. In accordance with the *Ontario Heritage Act*, the 90-day deadline for Council to make a decision on the application is April 17, 2025.

COMMENT/OPTIONS:

The building and parking lot are not of heritage value and Heritage Planning staff supports their removal. Their removal is also an opportunity to improve the property standards of the site which has been vacant for six years. The owners are proposing to remove all debris, install sod or plant grass seed and install a fence around the perimeter of the property. To ensure this work is done in a manner that is appropriate for the heritage conservation district, staff has included a condition of approval that the final details on the treatment of the property post-demolition, including any fencing, come to staff for final approval.

Staff therefore recommends that this heritage permit application be approved subject to the conditions in the recommendation. The works proposed are subject to other applicable town regulations and requirements, such as site alteration permits and building permits. It is the applicant's responsibility to review these matters with appropriate staff.

CONSIDERATIONS:

(A) PUBLIC

There is no public notification required.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

There is no impact on other departments and users.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability, and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing greenhouse gas emissions. The recommendation to salvage materials from the building helps to contribute to the town's initiatives to reduce carbon footprints.

APPENDICES:

Appendix A – Property Background Information

Appendix B – Heritage Permit Application

Prepared by:

Carolyn Van Sligtenhorst, MCIP, RPP, CAHP
Heritage Planner

Recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning and Development

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario

Site Documentation

4.1 Site Inventory

4.1.1 Site Location – 358 Reynolds Street

The property is located on the northeastern part of the early Trafalgar Road area on the south west corner of MacDonald St. and Reynolds St. The lot dates back to the early 1860's and was on the north edge of the early fabric of the village at that time. It remained vacant until after the construction of Oakville Trafalgar Memorial Hospital on the property to the northeast across Reynolds St. in 1950. The 4 storey building, itself, was built in 1954, with its use being tied to the hospital. In 1957, it was advertised as the Medical Arts Building.

The lot has an area of approximately 0.283 ha. (0.70ac.). It's northwesterly frontage along MacDonald St. is approximately 76.26m. It has a northeasterly frontage along Reynolds St. of approximately 36.96m, a southeastern property line of approximately 76.18m, and 37.22m along its southwestern property line. The property has existing single detached residential lots on its north, and west sides; rear yards of residential lots and MacLachlan College campus lands to the south, and the former Oakville Trafalgar Hospital Lands to the east which are now undergoing re-development and intensification with the Oakville Trafalgar Community Centre and Reynolds Community Park now built.

A 4 storey office building sits on the site with surface parking. It is constructed with concrete floor and masonry walls. It has been renovated a few times and currently the exterior brick has been painted. To the rear of the building is a paved parking area.

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario



4.1.1.A - Aerial Photograph - Context

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario



4.1.1.B - Aerial Photograph – Property

Heritage Impact Assessment

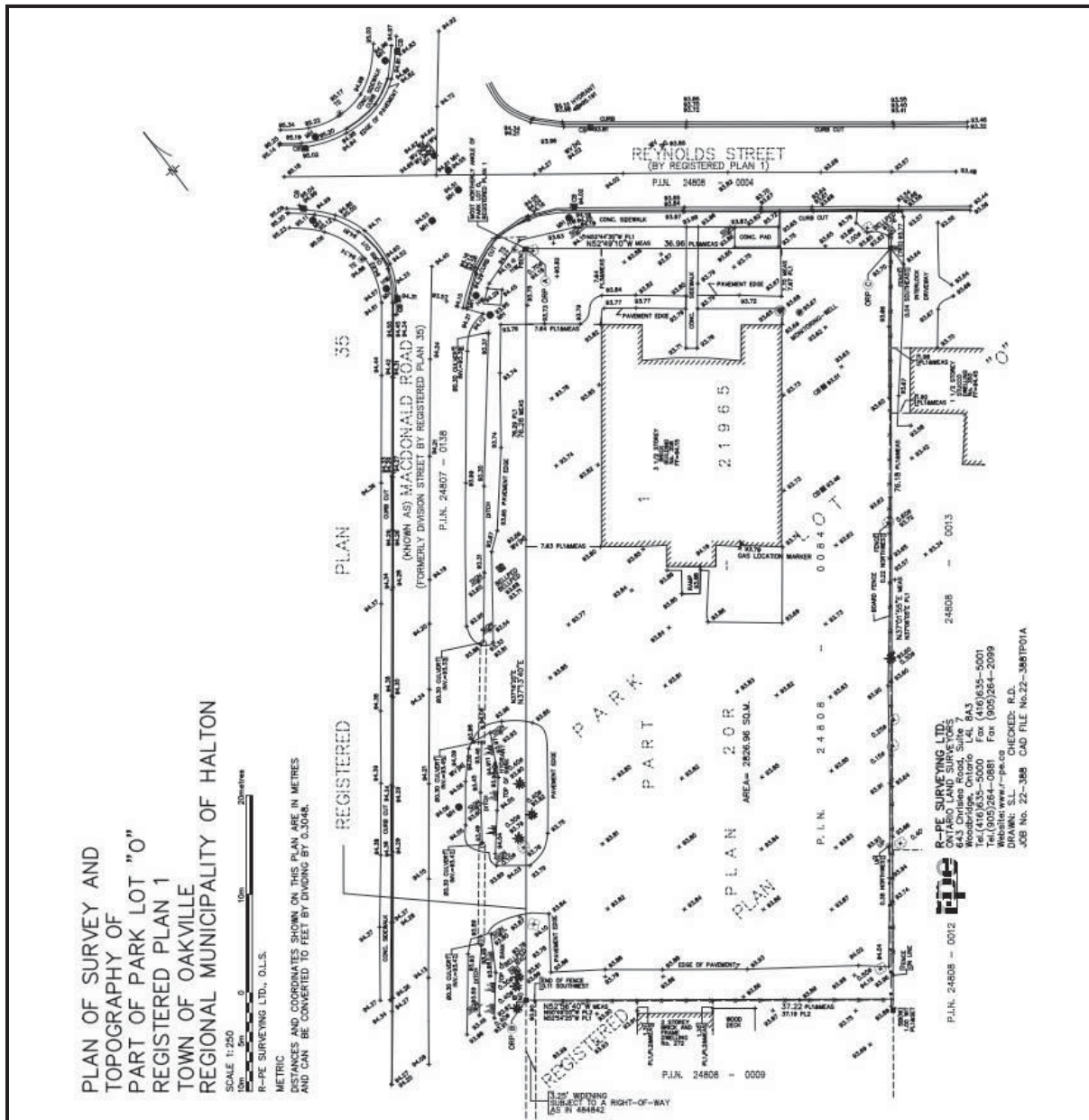
Proposed Residential Development, 358 Reynolds Street, Oakville Ontario

4.1.2 Site Identification:

The parcel of land is defined as:

Part of Lot O,
Registered Plan 1,
Town of Oakville,
Regional Municipality of Halton, Ontario.

The lot is addressed as: 358 Reynolds Street



4.1.2.A - Survey – Topographical

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario

4.1.3 Current Applicable Designations:

The Legislation and Authorities having jurisdiction below may override Heritage concerns and recommendations included in this Heritage Impact Assessment. The lot is currently designated as follows:

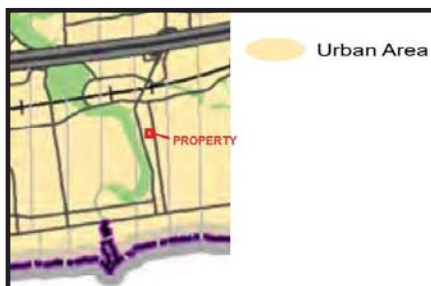
4.1.3.1 Conservation Halton:

- Non-Regulated Area



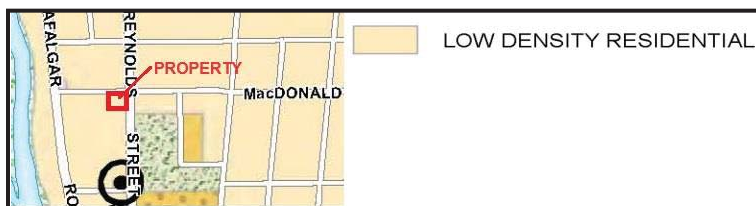
4.1.3.2 Region of Halton Official Plan 2021:

- Urban Area



4.1.3.3 Oakville Official Plan:

- Medium Density Residential (Site Specific exception 416 as per OLT)



Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario

4.1.3.4 Town of Oakville Zoning By-Law 2014-014

- RM4 sp:416



4.1.3.5 Heritage Designations:

4.1.3.5.1 Town of Oakville Heritage Inventory:

358 Reynolds Street– Not Listed;

4.1.3.5.2 Ontario Heritage Act, Part V-

Town of Oakville List of Designated Buildings:

358 Reynolds Street– Not Listed;

4.1.3.5.3 Ontario Heritage Act, Part IV -

Trafalgar Road Heritage Conservation District Plan - 2014:

358 Reynolds Street – Designated, considered “Non-Heritage”
(built after 1952)

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario

4.1.4 Site Access

The property fronts onto Reynolds St with a flanking exposure to MacDonald Rd. Reynolds St. runs north-south, one block east of Trafalgar Rd and Sixteen Mile Creek. The building sits approximately 7.64m back from the Reynold’s street line, and 7.64m back from the MacDonald Rd frontage. It is approximately 1.0 meter closer to the street lines than its neighbouring homes’ front walls. It has an existing southeast interior side yard setback of approximately 10.49m and a southwesterly rear yard setback of about 45.35m. An existing, double width, asphalt driveway leads west from Reynolds St. along the southeastern side of the building to a parking area behind the building. Two driveways lead directly to the parking area from MacDonald Rd.



4.1.4.A - Driveway Access – Reynolds St.



4.1.4.B – Driveway Access – MacDonald Rd.

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario



4.1.4.C - Approach from the Southeast



4.1.4.C - Approach from the north to Northeast

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario



4.1.4.D – Approach from Northwest



4.1.4.E -Approach from Southwest

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario

4.1.5 Existing Buildings & Structures

The buildings on the property at 358 Reynolds St. consist of a 4 storey office building with its principal façade facing northeast, onto Reynolds St.

4.1.5.1 The Office Building

The building is a 4 storey office building with half of a storey set into the ground. It is of concrete frame construction clad with infill masonry walls and a flat roof. It has a recessed front entrance with a ramp leading up to it. The windows are made of aluminum. There is a recent decorative motif on the central portion of wall above the entry

The ground floor overall dimensions 9.75m wide x 11.14m deep (32'0" x 36'-5"). The existing ground floor area of the home is 99.00m² (1065 sf).



4.1.5.1.A - Existing Northeast (Front) Elevation

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario



4.1.5.1.B – Existing Right (Northwest) Elevation (Left Elevation similar)



4.1.5.1.C – Existing Rear (Southwest) Elevation

Heritage Impact Assessment

Proposed Residential Development, 358 Reynolds Street, Oakville Ontario



4.1.5.1.D - Existing Front (Northeast) Elevation – 2015



4.1.5.1.E – Existing Front (Northeast) Elevation – 2011

HERITAGE PERMIT

Application Form

Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.

Policy Planning & Heritage
Planning and Development Department
Town of Oakville

A – Property and Applicant Information

Property Address: 358 Reynolds St, Oakville ON, L6J 3L9

Owner Contact Information:

Name: MacDonald Rose Inc. Silvio Guglietti (A.S.O)

Address & Postal Code: 145 Reynolds St, Oakville ON, L6J 0A7

Phone: 905-849-1360

E-mail: tyoshida@melroseinvestments.com

Agent Contact Information (if applicable):

Name: Tamara Yoshida

Company Name: Melrose Investments Inc.

Address & Postal Code: 145 Reynolds St, Oakville ON, L6J 0A7

Phone: 905-849-1360

E-mail: tyoshida@melroseinvestments.com

B – Heritage Permit Application Summary

- Alterations to Building New Construction Landscaping Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. Demolition of the existing 3 storey + basement vacant building.

2. Demoliton of the concrete parking lot and paths

3.

4.

5.

6.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

The building to be demolished is not a heritage listed or designated building but is within the Trafalgar Road Heritage Conservation District and therefore require the heritage permit.

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

- | | | |
|-------------------------|------------------------------|--|
| Building Permit | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Minor Variance * | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Plan | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Alteration | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Sign Permit | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Tree Removals | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |

*Prior to submission of your heritage permit application, any relevant minor variance application must have been submitted and confirmed on a Committee of Adjustment meeting agenda. The Committee of Adjustment must make a decision on the variance(s) before the heritage permit will be considered by the Heritage Oakville Advisory Committee.

If Yes, please describe the application for all required approvals listed above:

E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)				
Roof				
Foundation Walls				
Trim				
Doors				
Windows				
Porch				
Fencing				
Landscaping				
Other				





