



Committee of Adjustment Town of Oakville

AGENDA

Date: February 5, 2025
Time: 7:00 pm
Location: Virtual Meeting

Live streaming video is available at oakville.ca/live.html or the Town's YouTube channel at youtube.com/user/townofOakvilleTV.

Making submissions to the Committee of Adjustment

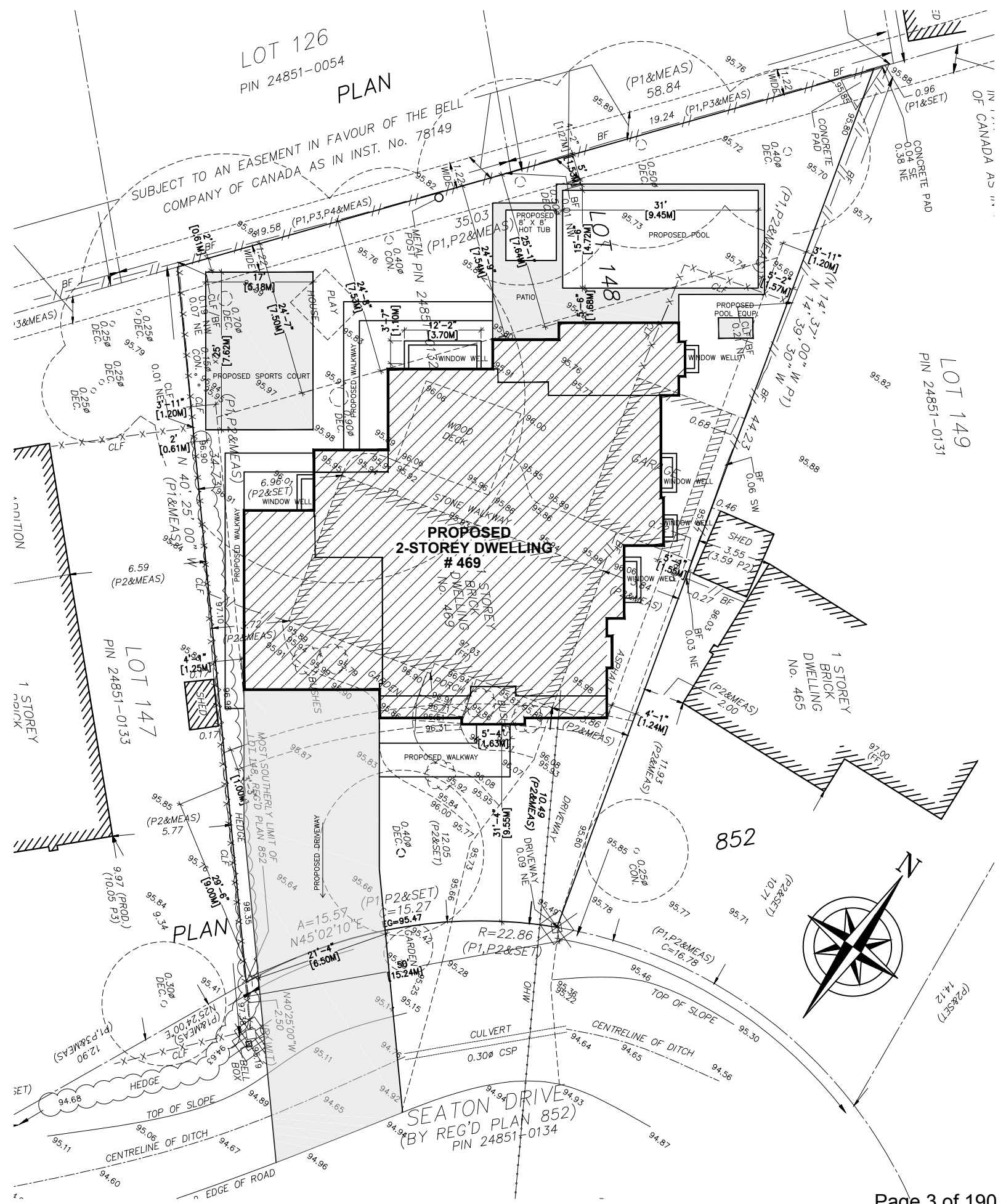
To participate in the electronic hearing or to submit written correspondence regarding an application on the agenda, please email the Secretary-Treasurer at coarequests@oakville.ca, or call 905-845-6601 ext. 1829, by noon the day before the hearing date.

	Pages
1. Reading of Preamble	
2. Regrets	
3. Declarations of Pecuniary Interest	
4. Requests for Deferrals or Withdrawals of Applications	
5. Consent Application(s)	
6. Minor Variance Application(s)	
6.1 A/006/2025 - 469 Seaton Drive	3 - 19
6.2 A/008/2025 - 190 Tilford Road	20 - 36
6.3 A/009/2025 - 163 Douglas Avenue	37 - 52
6.4 A/010/2025 - 530 Carson Lane	53 - 72
6.5 A/011/2025 - 181 Front Street	73 - 94
6.6 A/012/2025 - 158 Maple Grove Drive	95 - 115

6.7	A/013/2025 - 1574 Old Lakeshore Road	116 - 138
6.8	A/014/2025 - 244 Sabel Street	139 - 158
6.9	A/015/2025 - 263 Sunray Road	159 - 171
6.10	A/025/2025 - 528 Weir Avenue	172 - 190

7. Confirmation of Minutes

8. Adjournment



SITE STATISTICS: 469 SEATON DRIVE

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL3-0			
LOT AREA:	876.52M2			
LOT COVERAGE:	----	M2 294.57M2	---- M2	306.78M2 3,302 SQ. FT.
LOT COVERAGE:	----	33.64%	---- %	35 %
R.F.A. :	----	M2 381.29M2	---- M2	341.84M2 3,679 SQ. FT.
R.F.A. :	----%	43.5%	----%	39%
GARAGE AREA :	----	M2 46M2	---- M2	45M2
BLDG. HEIGHT	----	M 8.98 M	---- M	9 M
WINDOW WELL	----	M 3.7M&1.2M	---- M	1.8M&0.60M

SITE PLAN

SCALE: 1:225

MINOR VARIANCE REQUIRED



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 11, 2024
PERMIT # : 24 -

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 469 SEATON DRIVE

S1



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

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PROJECT: 469 SEATON DRIVE

A3



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

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PERMIT # : 24 -

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PROJECT: 469 SEATON DRIVE

A4



FRONT ELEVATION
SCALE : 1:75



KEEREN DESIGN
Residential Architecture

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OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

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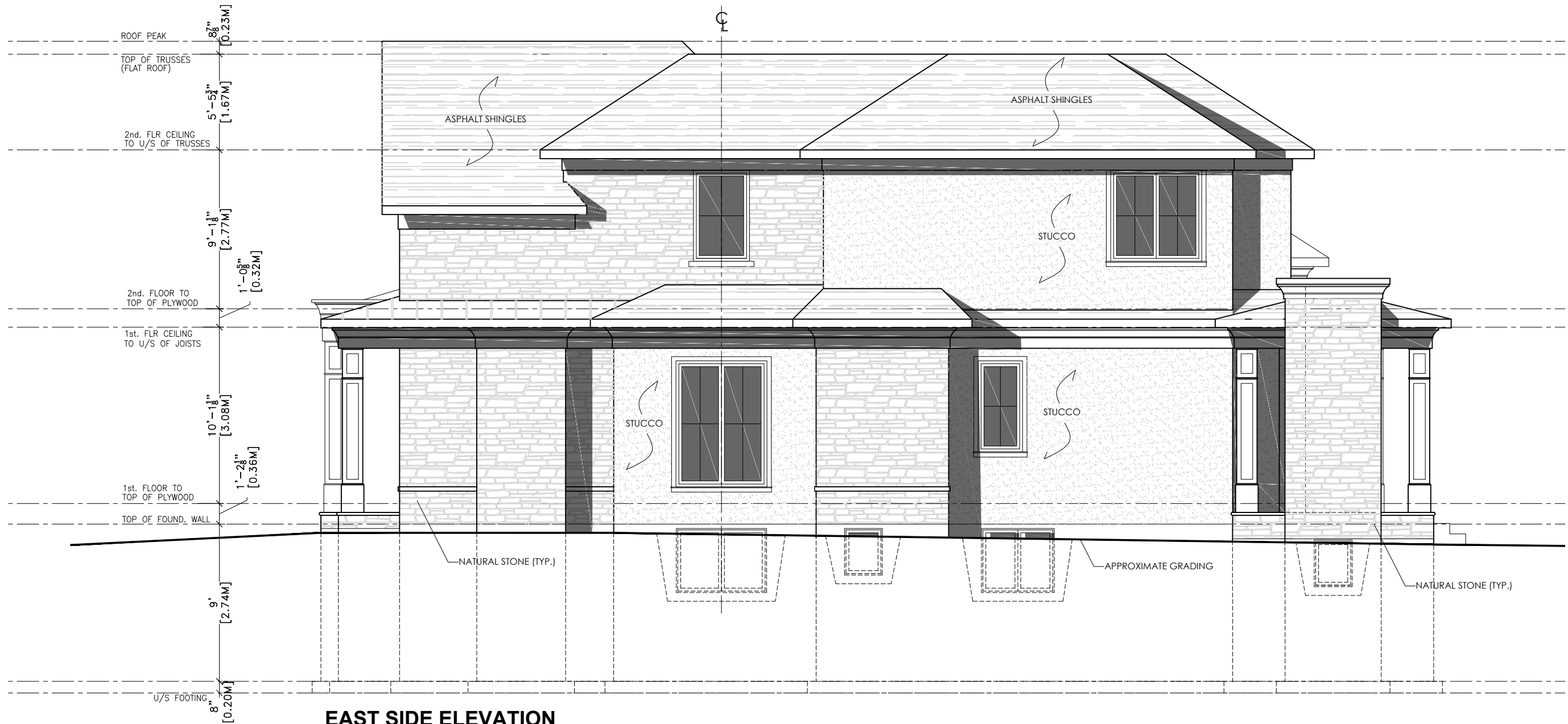
REVISION

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INITIAL DESIGN : JUNE 2024
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PLOT DATE : NOVEMBER 11, 2024
PERMIT # : 24 -

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PROJECT: 469 SEATON DRIVE

A5



EAST SIDE ELEVATION
SCALE : 1:75



KEEREN DESIGN
Residential Architecture

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OAKVILLE, ON
L6L 0E1

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PROJECT: 469 SEATON DRIVE

A6



REAR ELEVATION
SCALE : 1:75



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

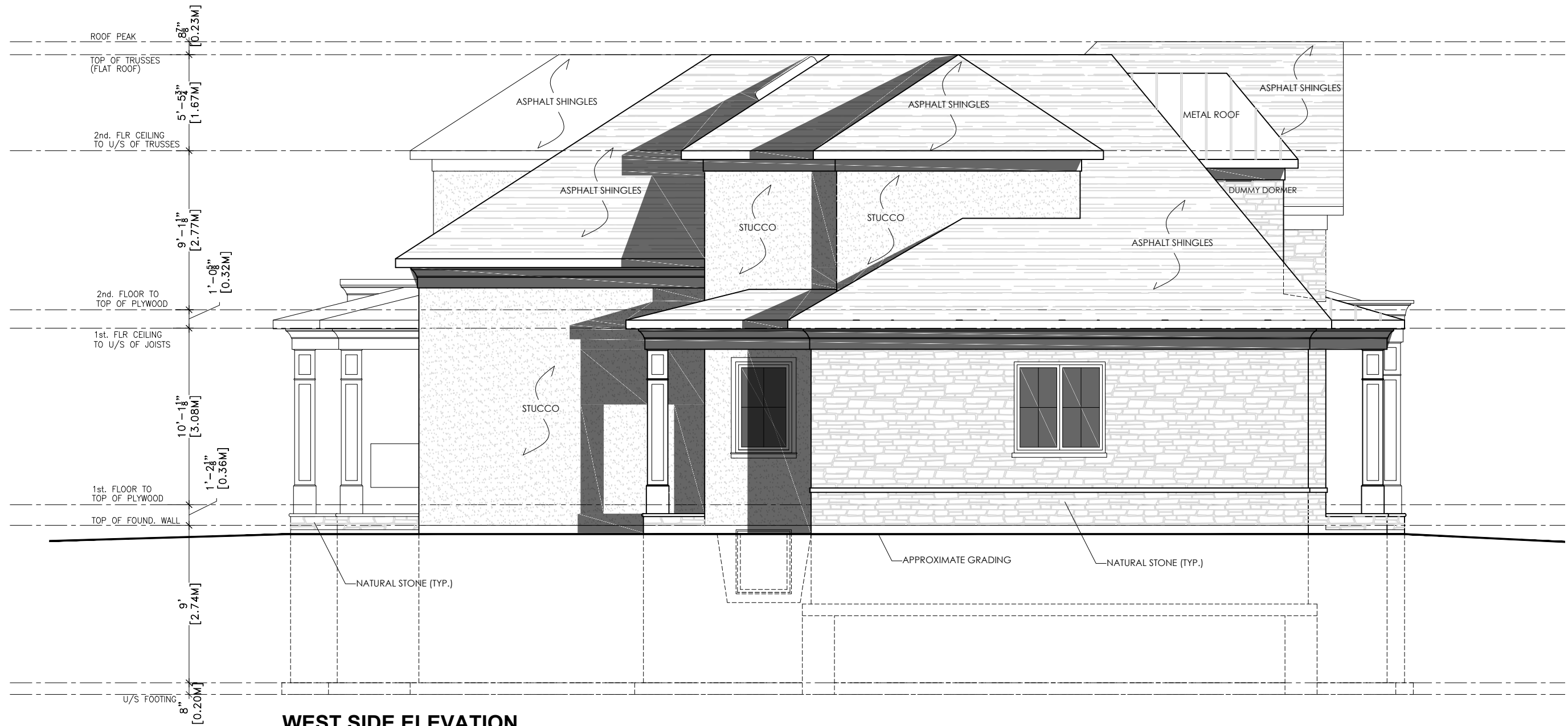
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PERMIT # : 24 -

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PROJECT: 469 SEATON DRIVE

A7



WEST SIDE ELEVATION
SCALE : 1:75



Cover Letter

Property Address: 469 Seaton Dr

Nov 11, 2024

This application for minor variance is comprised of a proposed new single-family dwelling. The existing dwelling constructed circa 1970 will be completely demolished and new utility services will be installed as part of the redevelopment.

The following variances are being requested:

1. To allow for a Floor Area Ratio of 43.5%, where as 39% is permitted
2. To allow for a rear yard window well encroachment of 3.6m x 1.1m where as 1.8m & 0.6m is the maximum.
3. To allow a garage area of 46M2 whereas 45M2 is the maximum.

Justification and rationale for the variance requests:

1. The main dwelling complies fully with lot coverage, the additional sq. footage (RFA) is required to accommodate the needs of the immediate family for which the house is being built. This includes a total of six family members, one of them being elderly and requiring the elevator.
2. The additional area inside the garage is required for two vehicles and sufficient storage to accommodate various personal use items such as bicycles, lawn maintenance equipment etc.
3. The overall massing and scale of the dwelling is moderated by several features, including the 1 story front porch, the stepping and articulation of the front facade as well as the lowering of the roofline to the 1st floor.

Joris Keeren

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Notice of Public Hearing Committee of Adjustment Application



File # A/006/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 5, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Y. Bortolussi D. Bortolussi	Joris Keeren Keeren Design 11 Bronte Rd Unit 31 Oakville ON L6L 0E1	469 Seaton Dr PLAN 852 LOT 148

Zoning of Property: RL3-0, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 4.3 (Row 7)</i> The maximum encroachment into a minimum yard for window wells with a maximum width of 1.8 metres shall be 0.6m.	To increase the maximum encroachment into the minimum rear yard for the window well to 1.20 m with a maximum width of 3.70 metres.
2	<i>Section 5.8.6 b)</i> For detached dwellings on lots having greater than or equal to 12.0 metres in lot frontage, the maximum total floor area for a private garage shall be 45.0 square metres.	To increase the maximum total floor area for the private garage to 46.0 square metres on a lot having greater than or equal to 12.0 metres in lot frontage.
3	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 836.00 m ² and 928.99 m ² shall be 39%.	To increase the maximum residential floor area ratio to 43.5%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

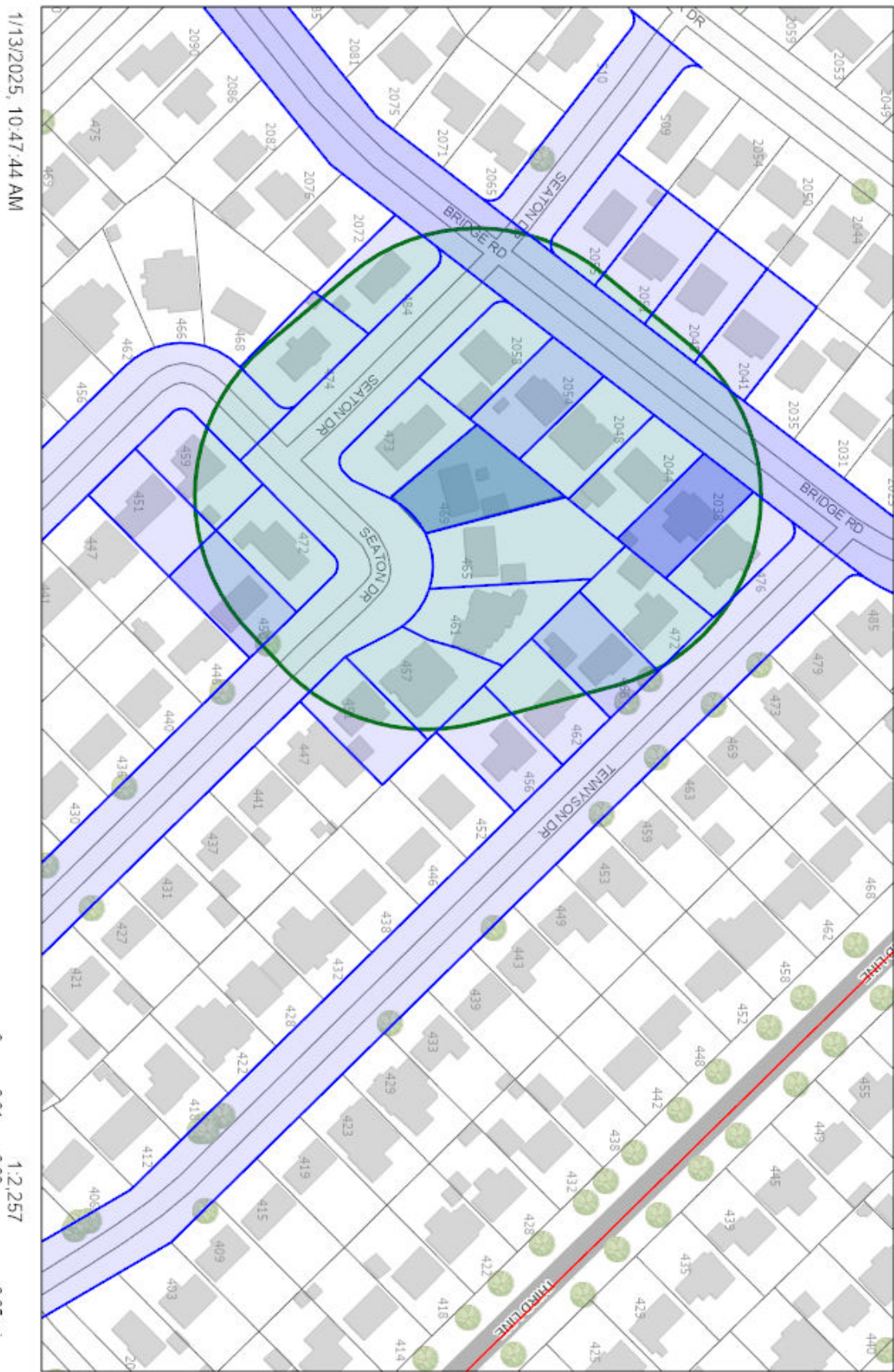
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/006/2025 - 469 Seaton Drive



COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/006/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
D. BORTOLUSSI Y. BORTOLUSSI	Joris Keeren Keeren Design 11 Bronte Rd, Unit 31 Oakville ON, canada L6L 0E1	PLAN 852 LOT 148 469 Seaton Dr Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential

ZONING: RL3-0, Residential

WARD: 1

DISTRICT: West

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 4.3 (Row 7)</i> The maximum encroachment into a minimum yard for window wells with a maximum width of 1.8 metres shall be 0.6m.	To increase the maximum encroachment into the minimum rear yard for the window well to 1.20 m with a maximum width of 3.70 metres.
2	<i>Section 5.8.6 b)</i> For detached dwellings on lots having greater than or equal to 12.0 metres in lot frontage, the maximum total floor area for a private garage shall be 45.0 square metres.	To increase the maximum total floor area for the private garage to 46.0 square metres on a lot having greater than or equal to 12.0 metres in lot frontage.
3	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 836.00 m ² and 928.99 m ² shall be 39%.	To increase the maximum residential floor area ratio to 43.5%.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services;

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/006/2025 – 469 Seaton Drive (West District) (OP Designation: Low Density Residential)

The applicant proposes to construct a two-storey detached dwelling, subject to the variances listed above.

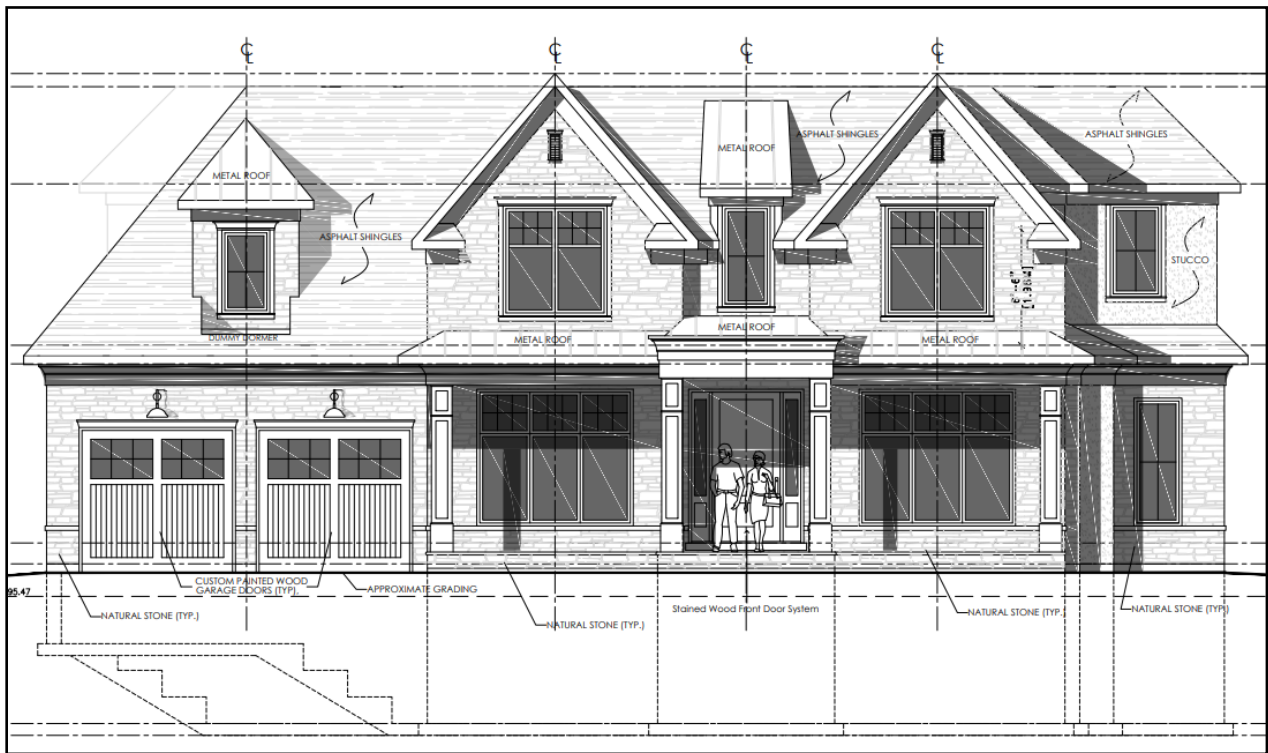
Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variance from the provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met. Staff’s comments concerning the application of the four tests to this minor variance request are as follows:

Site Area and Context

The subject property is located in an area that has experienced some redevelopment in the form of replacement dwellings and additions/alterations to existing dwellings. The neighbourhood consists of original one-storey detached dwellings, as well as newer two-storey detached dwellings. Newer two-storey dwellings in the surrounding area consist of a variety of architectural forms.



Aerial Photo – 469 Seaton Drive



Front Elevation – 469 Seaton Drive



Front Elevation Rendering – 469 Seaton Drive

It should be noted that the Town's Development Engineering Department provided comments on this application and indicated that the proposal is increasing hard surface coverage in a poor drainage area. Development Engineering will require a Site Alteration Permit and on-site stormwater management will be asked for as a part of the application, where controls will be reviewed and put in place. Additionally, it has been noted that the basement may be susceptible to wet conditions as this area has higher ground water. Development Engineering asks that the applicant take this into account

moving forward with the design and ask that the applicant modify the basement depth as needed to prevent an overactive sump pump.

Does the proposal maintain the general intent and purpose of the Official Plan?

The subject property is designated Low Density Residential in the Livable Oakville Official Plan. Development is required to be evaluated using the criteria established in Section 11.1.9 to maintain and protect the existing neighbourhood character. The proposed dwelling, although taller than the one-storey dwellings abutting the subject property, still provides for an adequate transition in height to its neighbours and fully complies with the height requirements under the Zoning By-law. The proposed dwelling also incorporates many design elements that assist in reducing the overall massing impacts. These include step-backs of the second storey of the dwelling along the rear, side, and front elevations to limit shadowing and overlook conditions on adjacent properties, and to de-emphasize the height and scale of the dwelling. A portion of the second storey along the front façade has also been incorporated into the roofline above the integral garage, and the inclusion of a one-storey front porch element helps to further mitigate any massing impacts visible from the public realm. Staff is of the opinion that the proposal maintains the general neighbourhood character and complies with the Livable Oakville Plan.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

Variance #1 – Window Well Encroachment (No Objection) – Increase the maximum encroachment into the minimum rear yard from 0.60 m to 1.20 m with a maximum width increase from 1.80 m to 3.70 m

The applicant requests relief from Zoning By-law 2014-014, as amended, to increase the maximum width and the encroachment into the rear yard for a window well. The intent of the by-law provision for regulating the window well encroachment is to allow for adequate drainage and access through a yard so that the window well does not impede movement and to allow for adequate open space and landscaping. In this case, the window well is located in the rear yard and will not impede access, and adequate landscaping will be accommodated on-site. Furthermore, drainage will continue to be reviewed as part of the Site Alteration Permit submission of detailed engineering plans.

Variance #2 – Garage Floor Area (No Objection) – Increase from 45.0 square metres to 46.0 square metres

The applicant requests relief from Zoning By-law 2014-014, as amended, to increase the garage floor area from 45.0 square metres to 46.0 square metres. The intent of the by-law provision for regulating the garage floor area is to ensure that the garage is not a visually dominant feature of the dwelling. The proposed garage is designed to appear as a two-car garage that extends internally within the dwelling footprint to accommodate additional storage space. The garage is incorporated into the design of the overall dwelling and does not project beyond the main wall.

Variance #3 – Floor Area Ratio (No Objection) – Increase from 39% to 43.5%

The applicant requests relief from Zoning By-law 2014-014, as amended, to increase the floor area ratio from 39% to 43.5%. The intent of the by-law provision for regulating the maximum residential floor area is to ensure a dwelling's mass and scale does not appear larger than the dwellings in the surrounding area. The potential impacts of the floor area ratio increase of 4.50% Page 16 of 190

through the step backs made to the second storey along the front, sides, and rear of the dwelling, and the incorporation of a portion of the second storey into the roofline above the integral garage. The overall massing and scale for the proposed dwelling is further mitigated through the articulation of the front façade, incorporation and use of one-storey architectural elements including the front porch and exterior window treatments, and the step backs of the primary façade so that the dwelling has a reduced second-storey floor area. This will provide additional buffering to the adjacent dwellings and help limit any potential massing, shadowing, or overlook concerns related to the floor area ratio increase.

It is staff's opinion that the cumulative effect of the proposed variances does not negatively impact adjacent properties or the surrounding area. Measures have been taken to mitigate the potential impacts the proposed development may have, and the proposed variances meet the general intent and purpose of the Zoning By-law and would not negatively impact the streetscape.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff are of the opinion that the proposal represents appropriate development of the subject property. The variances are minor in nature and will not create any undue adverse impacts to adjoining properties or the existing neighbourhood character.

Recommendation:

Staff do not object to the proposed variances. Should this minor variance request be approved by the Committee, the following conditions are recommended:

1. The dwelling be constructed in general accordance with the submitted site plan and elevation drawings dated November 11, 2024; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Bell Canada: No Comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit an increase to the maximum encroachment into the minimum rear yard for the window well to 1.2 m with a maximum width of 3.7 m, an increase to the maximum total floor area for the private garage to 46.0 square m on a lot having greater than or equal to 12.0 m in lot frontage and an increase to the maximum residential floor area ratio to 43.5%, under the requirements of the Town of Oakville Zoning By-law, for the purpose of permitting the construction of a two-storey detached dwelling on the Subject Property.

Oakville Hydro: We do not have any comments to add for this group of minor variance applications.

Union Gas: No Comments received.

Letter(s) in support – None

Letter(s) in opposition – None

General notes for all applications:

Note: The following standard comments apply to all applications. Any additional application specific comments are as shown below.

- The applicant is advised that permits may be required should any proposed work be carried out on the property i.e. site alteration permit, pool enclosure permit, tree preservation, etc.
- The applicant is advised that permits may be required from other departments/authorities (e.g. Engineering and Construction, Building, Conservation Halton etc.) should any proposed work be carried out on the property.
- The applicant is advised that any current or future proposed works that may affect existing trees (private or municipal) will require an arborist report.
- The applicant is advised that any current or future proposed works will require the removal of all encroachments from the public road allowance to the satisfaction of the Engineering and Construction Department.
- The applicant is advised that the comments provided pertain only to zoning and are not to be construed as a review or approval of any proposal for the site. This review will be carried out through the appropriate approval process at which time the feasibility/scope of the works will be assessed.
- Unless otherwise states, the Planning basis for the conditions referenced herein are as follows:
 - Building in general accordance with the submitted site plan and elevation drawings is required to ensure what is requested and ultimately approved, is built on site. This provides assurance and transparency through the process, noting the documents that are submitted with the application, provide the actual planning, neighbourhood and site basis for the request for the variances, and then the plans to be reviewed through the building permit and construction processes.
 - A two (2) year timeframe allows the owner to obtain building permit approval for what is ultimately approved within a reasonable timeframe of the application being heard by the Committee of Adjustment based on the requirements when it is processed, but cognizant of the ever-changing neighbourhood policies and regulations which might then

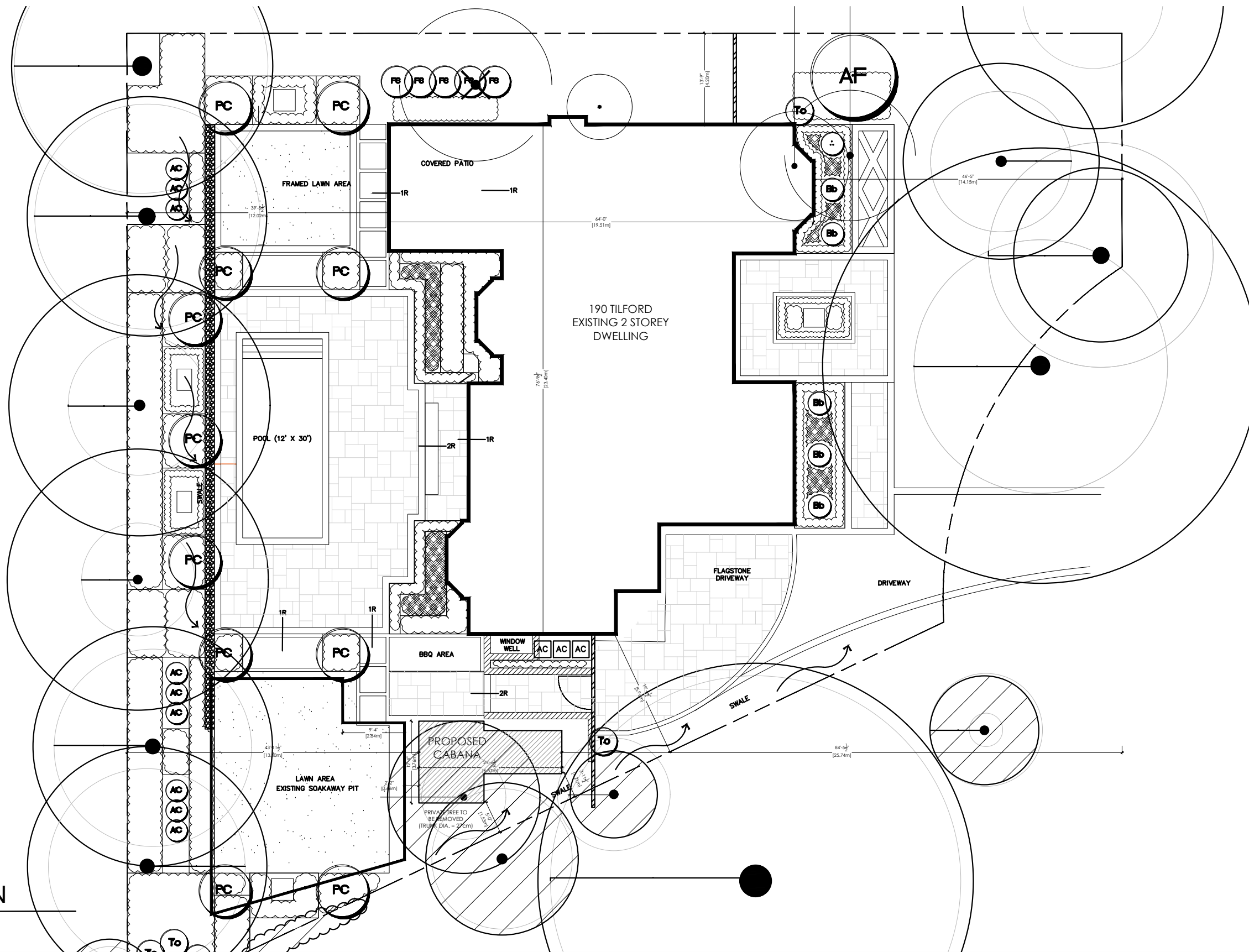
dictate a different result. Furthermore, if a building permit is not obtained within this timeframe, a new application would be required and subject to the neighbourhood notice circulation, public comments, applicable policies and regulations at that time.

Requested conditions from circulated agencies:

1. The dwelling be constructed in general accordance with the submitted site plan and elevation drawings dated November 11, 2024; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

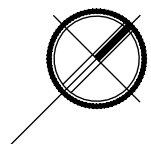
J. Ulcar

Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment



CABANA SITE PLAN

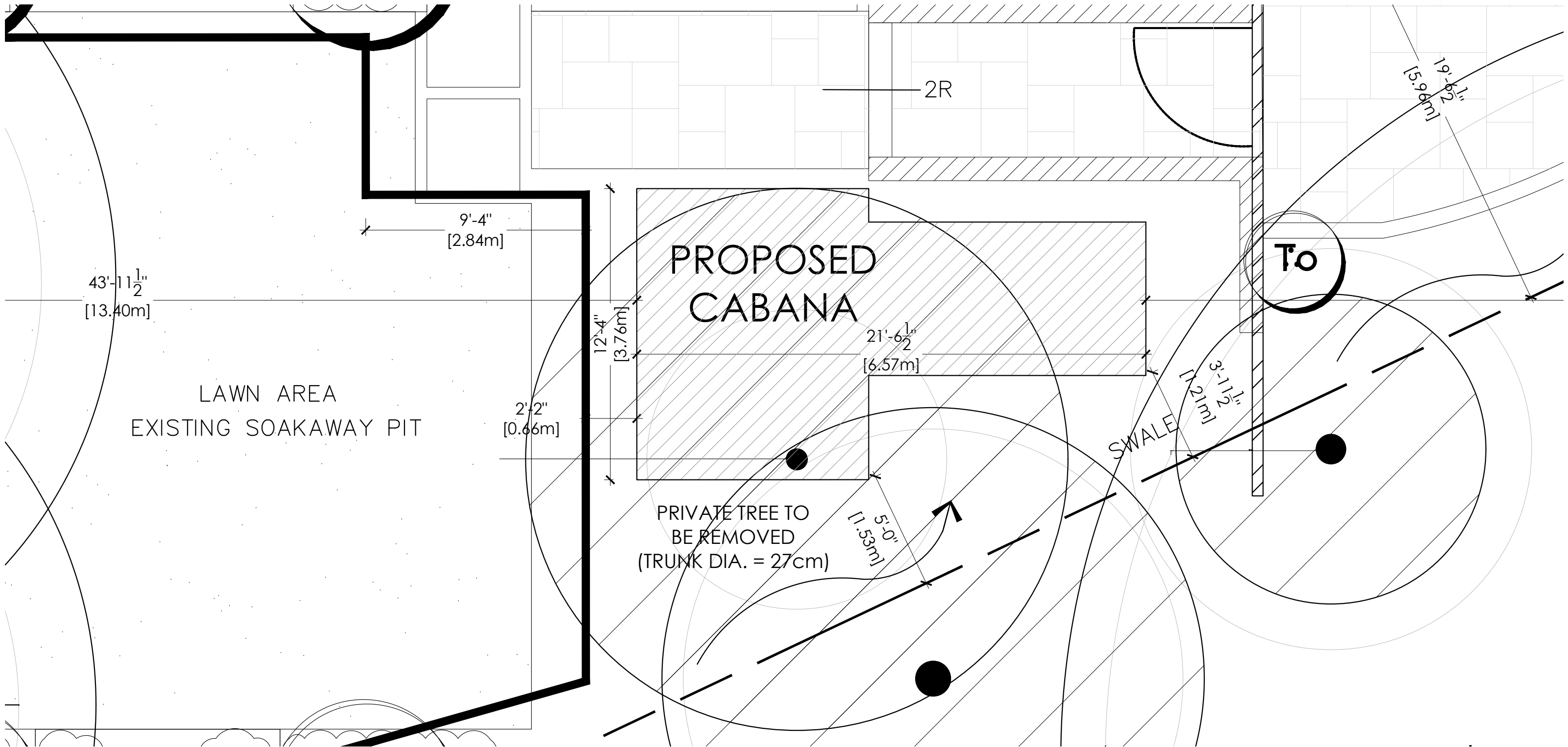
SCALE: 1/16" = 1'-0"



TILFORD CABANA

190 TILFORD ROAD
 OAKVILLE, ONTARIO
 NOVEMBER 25, 2024
 PROJECT NO. 2455





CABANA SITE PLAN CLOSE UP

SCALE: 1/16" = 1'-0"



TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455

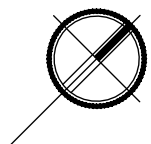


ZONING STATISTICS

ADDRESS: 190 TILFORD DRIVE		DATE: NOVEMBER 26, 2024
ZONING DESIGNATION:		RL1-0
LOT AREA:		1,473.01 SQ.M.
NEW BYLAW:	PERMITTED	PROPOSED
EXISTING BUILDING COVERAGE:		318.29 SM (21.61%)
PROPOSED CABANA COVERAGE:		18.34 SM (1.24%)
TOTAL COVERAGE:		336.63 SM (22.85%)
CABANA:		
HEIGHT:	4.0 M	3.98 M
SETBACKS:		
FRONT:		25.74 M
REAR:	0.60 M	13.40 M
SIDE:	4.20 M	1.21 M*

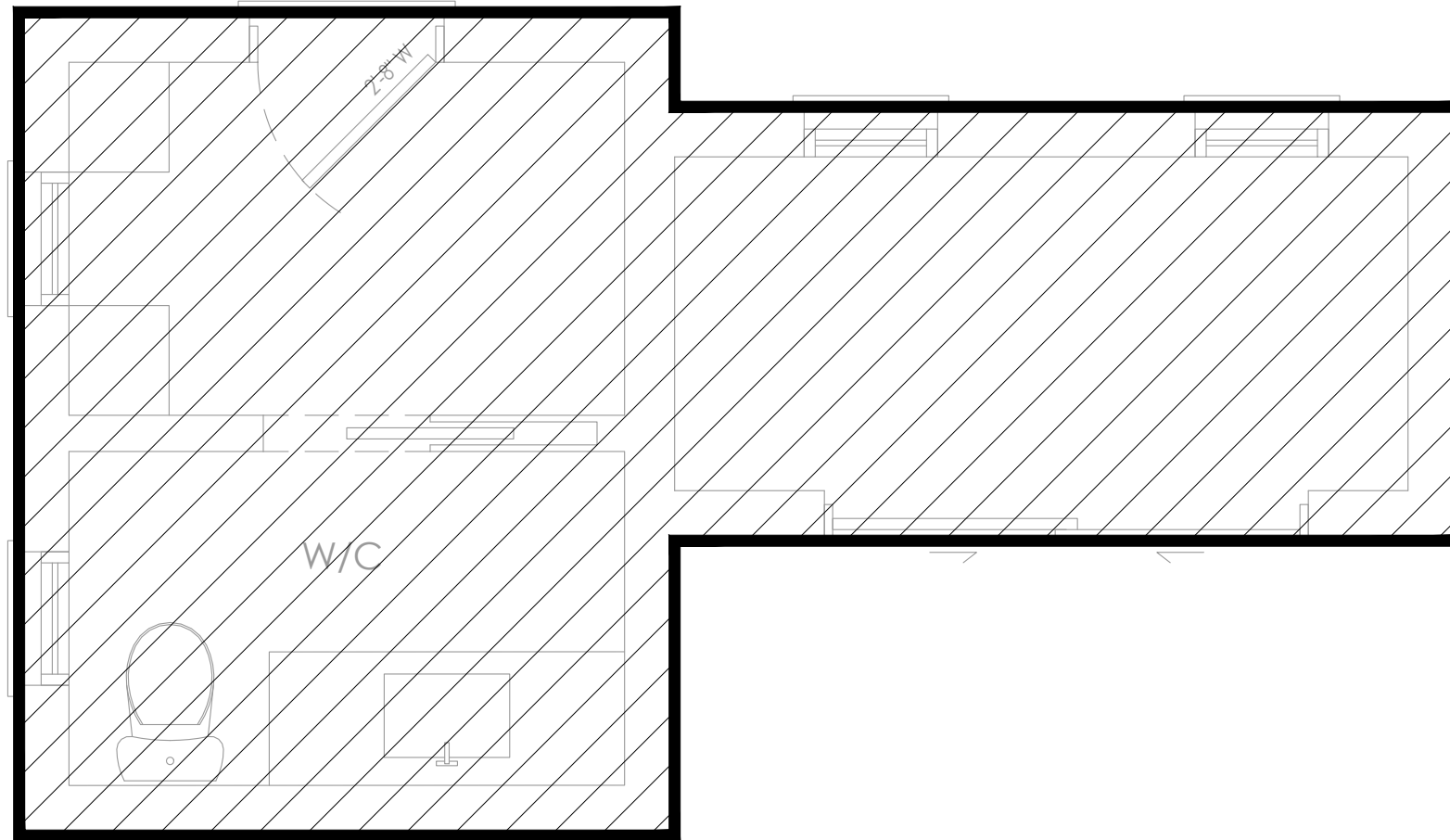
VARIANCES REQUESTED*

STATISTICS



TILFORD CABANA

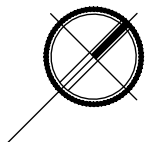
190 TILFORD ROAD
 OAKVILLE, ONTARIO
 NOVEMBER 25, 2024
 PROJECT NO. 2455



AREA = 197.42 SQ.FT.
(18.34 SQ.M.)

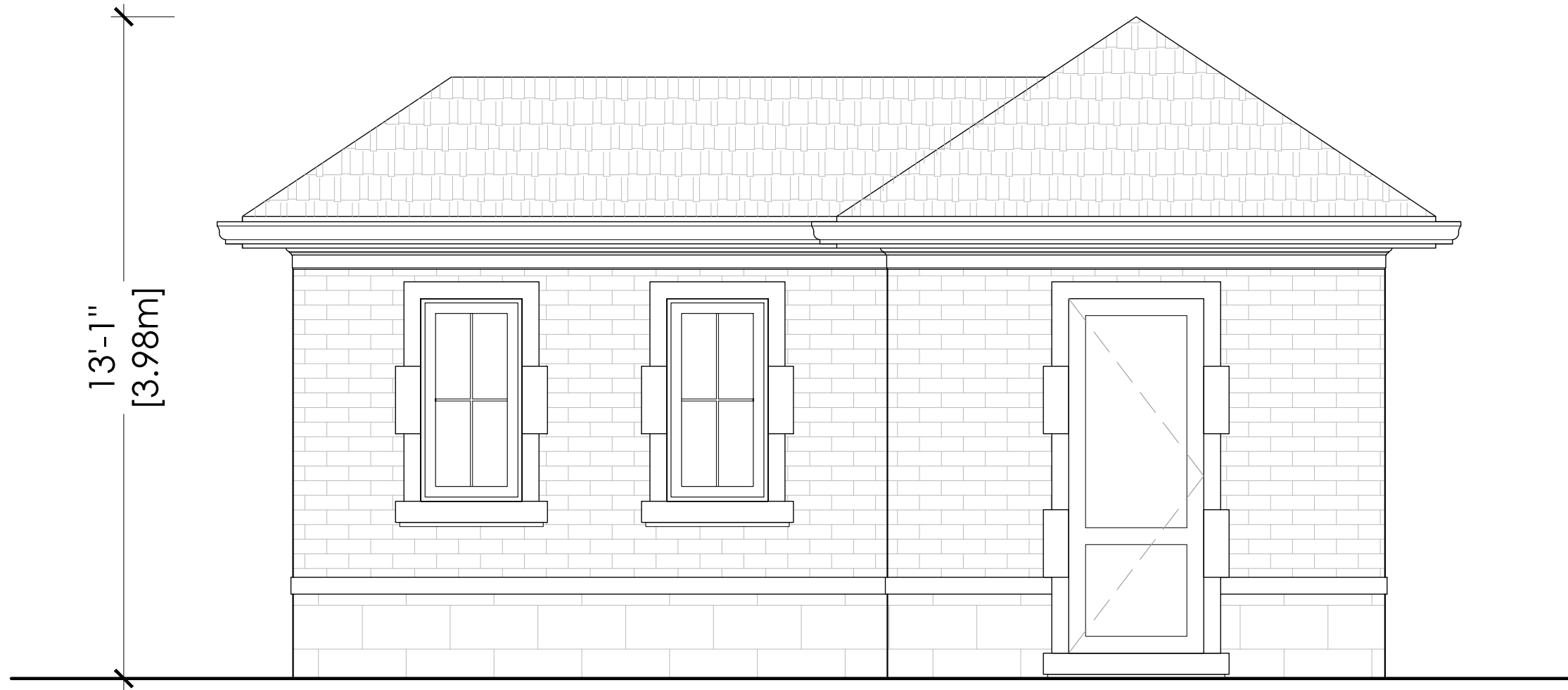
AREA CALCULATION

SCALE: 3/8" = 1'-0"



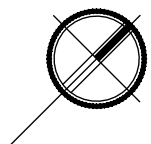
TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455



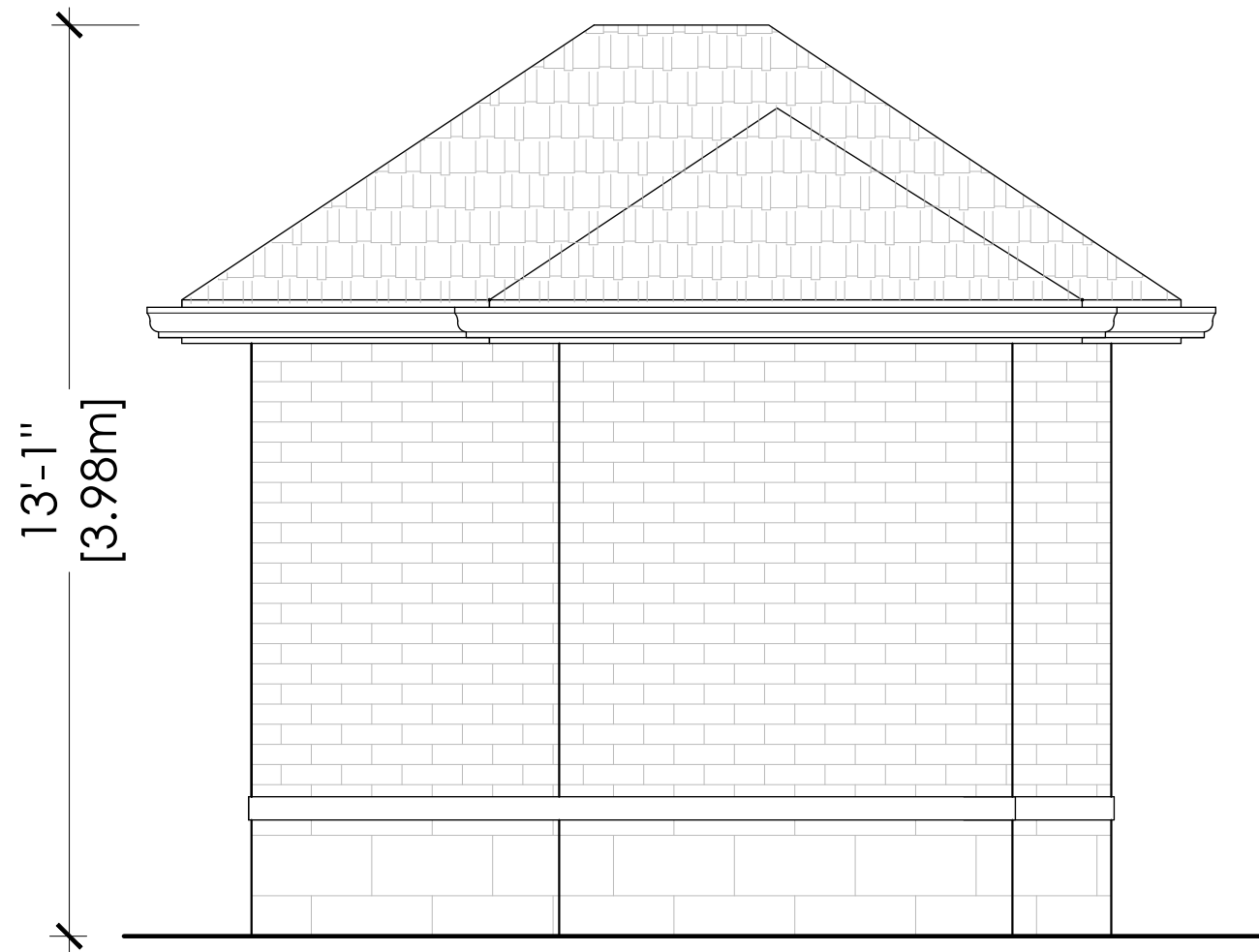
NORTH ELEVATION

SCALE: 3/8" = 1'-0"



TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455



EAST ELEVATION

SCALE: 3/8" = 1'-0"

TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455



WEST ELEVATION

SCALE: 3/8" = 1'-0"

TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455



SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455

Notice of Public Hearing Committee of Adjustment Application



File # A/008/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
M. Sargent R. Sargent	Sandra Gava Sandra Gava Architect Inc. 669 Montego Cres Burlington ON L7N 2Y9	190 Tilford Rd PLAN 530 LOT 14

Zoning of property: RL1-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a one-storey accessory building (cabana) on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	Table 6.3.1 (Row 5, Column RL1) The minimum interior side yard shall be 4.2 metres.	To reduce the minimum easterly interior side yard to 1.21 metres.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

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More information:

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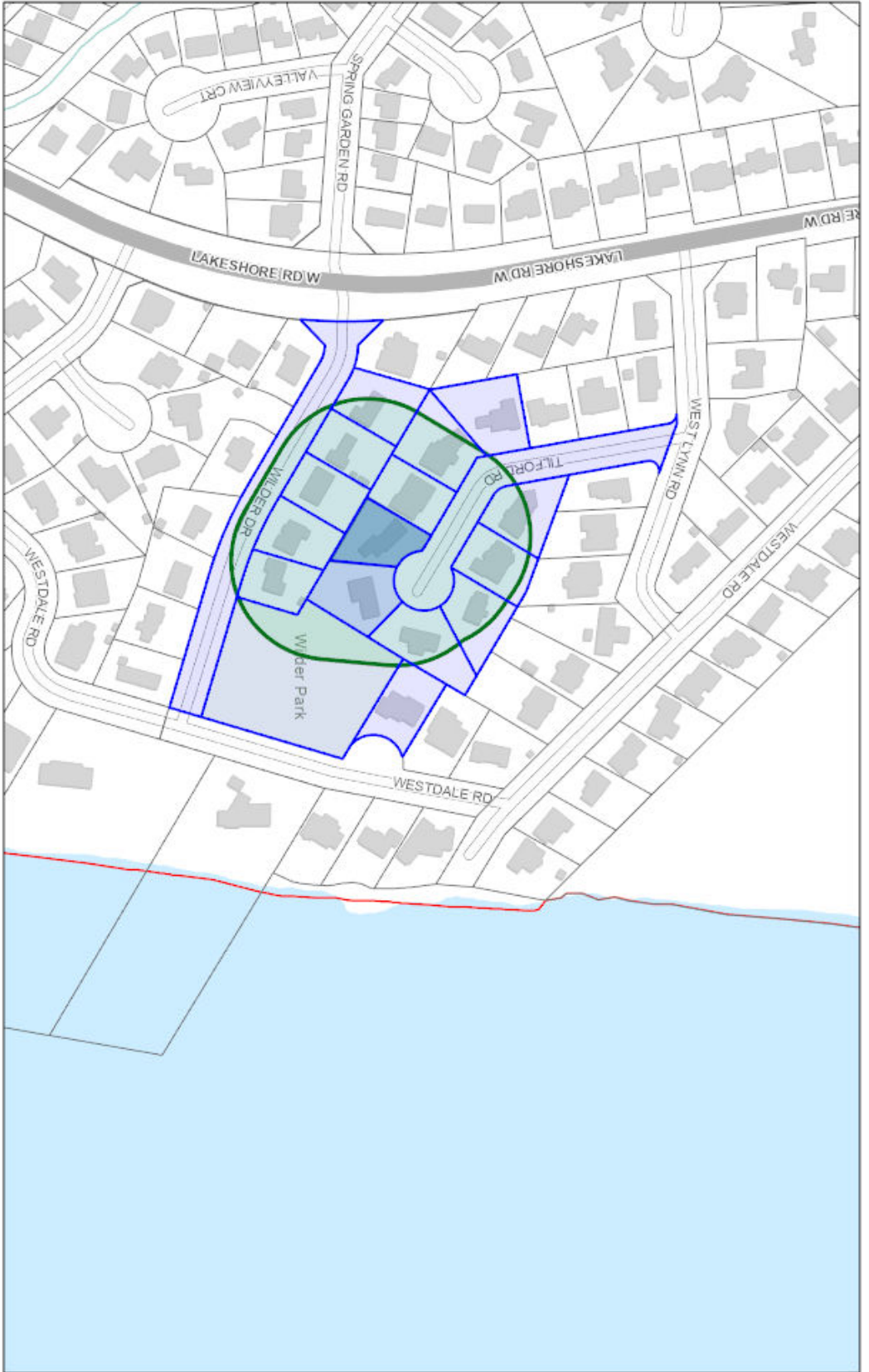
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/008/2025 - 190 Tilford Road



1/13/2025, 11:06:58 AM

Ownership

Parcel_Address

Applicant Name Address Wards



Town of Oakville
2021 Town of Oakville

COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/008/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
R. SARGENT M. SARGENT	Sandra Gava Sandra Gava Architect Inc. 669 Montego Cres Burlington ON, Canada L7N 2Y9	PLAN 530 LOT 14 190 Tilford Rd Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential – Special Policy Area

ZONING: RL1-0, Residential

WARD: 2

DISTRICT: West

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a one-storey accessory building (cabana) on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.3.1 (Row 5, Column RL1)</i> The minimum interior side yard shall be 4.2 metres.	To reduce the minimum easterly interior side yard to 1.21 metres.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services:

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/008/2025 – 190 Tilford Rd (West District) (OP Designation: Low Density Residential – Special Policy Area)

The applicant proposes to construct a one-storey accessory structure (cabana), subject to the variance listed above.

Staff note that the required interior side yard is the same as the principal dwelling because the proposed accessory structure is in the side yard and not the rear yard and that there is an approved grading plan on file with the town that is associated with the Site Alteration Permit for the existing swimming pool (24-160021 000 00 DEPA)

Site Area and Context

The neighbourhood consists of both one-storey dwellings that are original to the area and two-storey dwellings that are newly constructed. The streetscape contains mature vegetation which is a character feature of the neighbourhood. Tilford Road is a cul-de-sac accessed from West Lynn Road.



Aerial photo of 190 Tilford Road

The following images illustrate the subject lands.

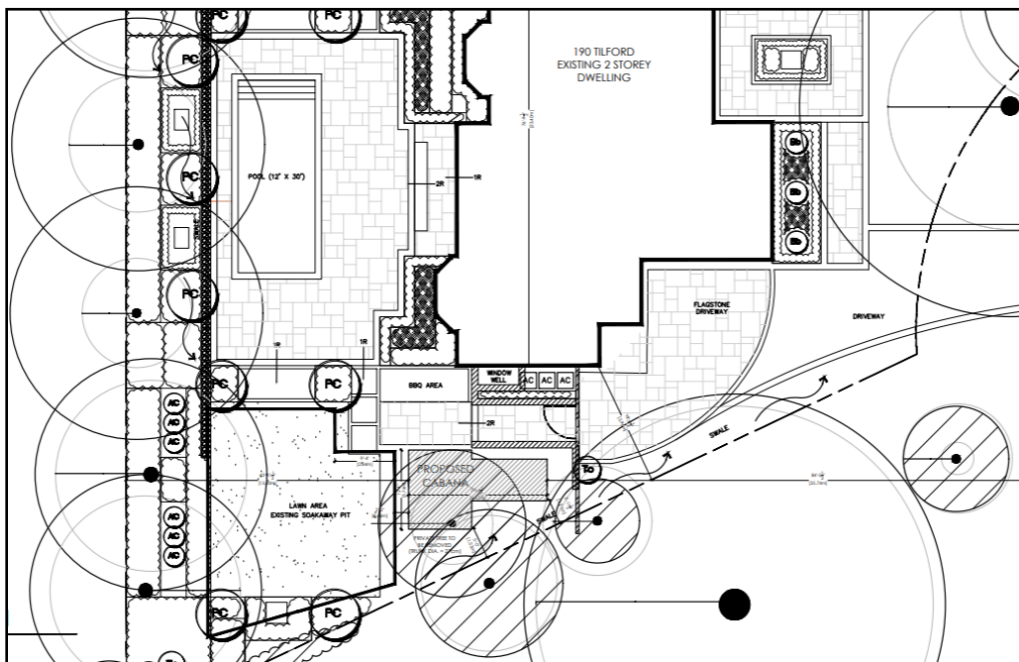


Photo of the subject lands – 190 Tilford Road

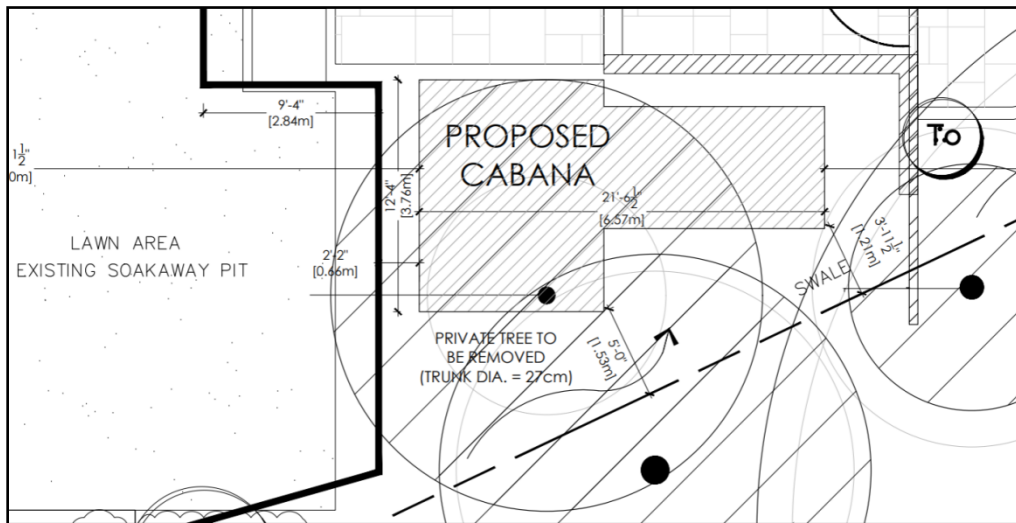


Photo of easterly interior side yard of 190 Tilford Road

The following images of the Site Plan, close up, and photo illustrate the location of the proposed accessory structure (cabana) within the existing side yard.



Excerpt of Cabana Site Plan for 190 Tilford Road



Excerpt of Cabana Site Plan Close Up for 190 Tilford Road



Photo of location of proposed accessory structure (cabana)

Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variances from provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met. Staff comments concerning the application of the four tests to this minor variance request are as follows:

Does the proposal maintain the general intent and purpose of the Official Plan?

The subject property is designated Low Density Residential – Special Policy Area in the Livable Oakville Official Plan. Development is required to be evaluated using the criteria established in Section 11.1.9 to maintain and protect the existing neighbourhood character. The proposal was evaluated against the criteria established under Section 11.1.9, and the following criteria apply:

Policies 11.1.9 a), b), and h) state:

- “a) The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.*
- b) Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood.*
- h) Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.”*

The proposed accessory structure is to be located within a sodded area of the side yard and will introduce additional hard surfaces on a property that already has a significant amount of impervious surface. Furthermore, the proposed accessory structure was not identified on the approved Grading Plan for the property and the proposal will impact trees in the immediate area, both on the subject lands as well as the abutting lands to the east. The applicant has not demonstrated through a revised grading plan that the proposed development will not impact drainage. Therefore, staff cannot confirm that the proposal maintains the general neighbourhood character or that it complies with the Livable Oakville Plan.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

The applicant is requesting relief from By-law 2014-014 to permit a decrease in the side yard setback for an accessory building from 4.2 metres to 1.2 metres. The intent of regulating the side yard setback for accessory buildings is to ensure there are no negative impacts onto abutting properties and to ensure adequate drainage along the property line. Staff note that there is an existing swale along the southerly interior side yard adjacent to the proposed accessory structure. Without the submission of a revised Grading Plan, staff cannot confirm that there will be no negative impacts on the adjacent property to the east. Therefore, staff cannot confirm that the proposal maintains the general intent and purpose of the Zoning By-law.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff note that the proposed accessory structure has the potential to impact the existing grading of the subject lands by blocking the drainage path of surface water flow to the adjacent swale, but the proposed location will require the removal of one private tree on the subject lands and has the possibility of impacting up to three (3) other private trees on the abutting lands to the east. Urban Forestry does not support the proposed cabana location at this time as insufficient information has been provided on the subject site and neighbouring trees to provide a thorough evaluation on the impacts and the survivability of said trees. Tree species, size, and condition of all three trees are required for Urban Forestry to assess these trees for a proper recommendation. Details regarding the final grading along the property line should also be provided for the tree assessments. Therefore, without the submission of a revised Grading Plan and an Arborist’s Report, staff cannot confirm that the proposal is desirable for the appropriate development of the subject lands and is minor in nature.

Recommendation:

Given the foregoing, it is staff's opinion that the application does not maintain the general intent and purpose of the Official Plan, Zoning By-law, is not minor in nature, and is not desirable for the appropriate development of the subject lands. Accordingly, the application does not meet the four tests under the *Planning Act* and staff recommends that the application be denied.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

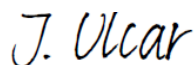
- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit a decrease the minimum easterly interior side yard to 1.21 m, under the requirements of the Town of Oakville Zoning By-law, for the purpose of permitting the construction of a one-storey accessory building (cabana) on the Subject Property.

Oakville Hydro: We do not have any comments to add for this group of minor variance applications.

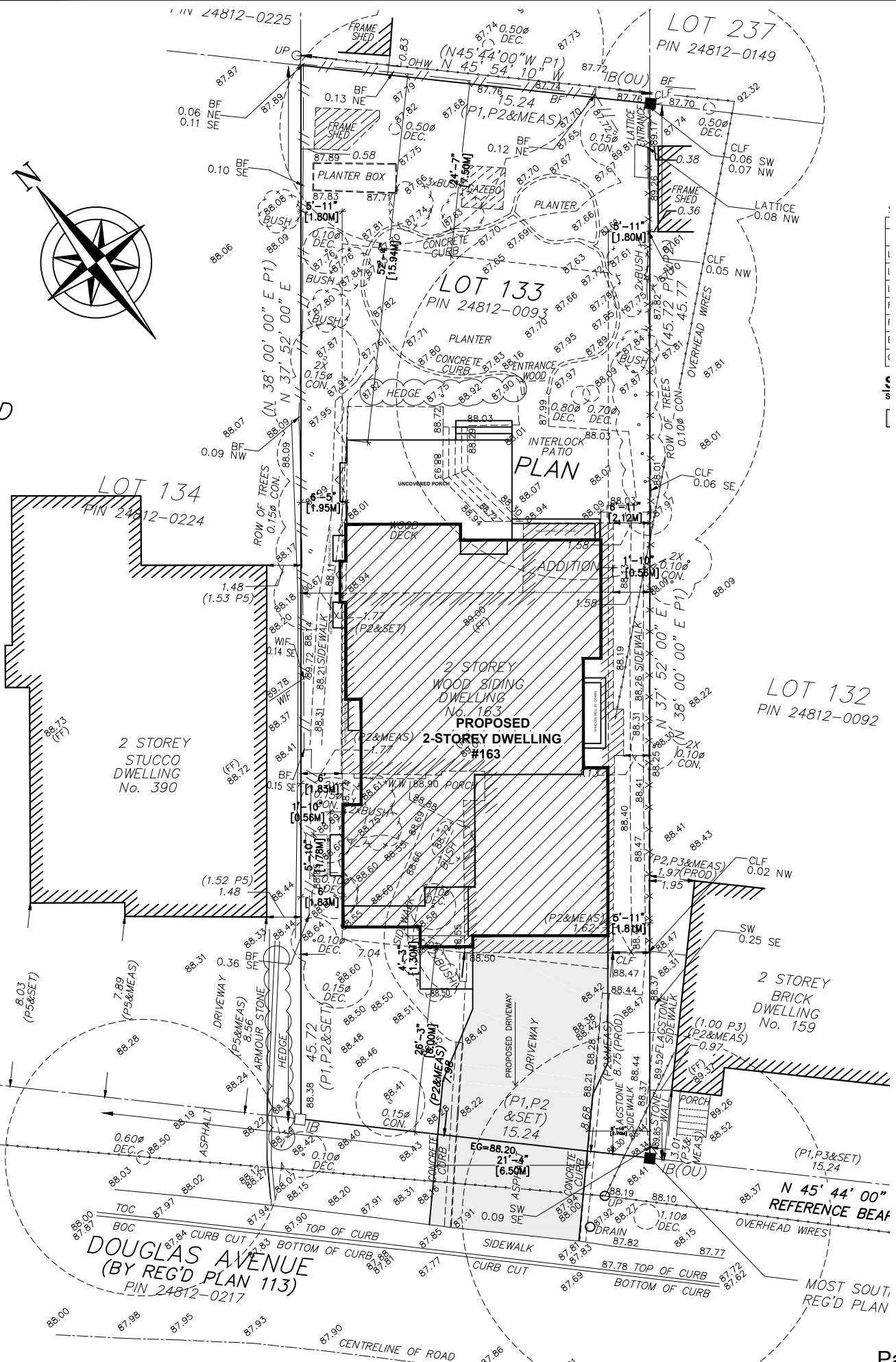
Union Gas: No comments received.

Letter(s) in support – None

Letter(s) in opposition – None



Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment



SITE STATISTICS: 163 DOUGLAS AVENUE

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL3-0	SP10		
LOT AREA:	692.78M2			
LOT COVERAGE:	--- M2	191.90 M2	--- M2	131.62M2 1,416 SQ. FT.
LOT COVERAGE:	---	27.7%	---	19 %
R.F.A. :	--- M2	283.68M2	--- M2	284.04M2 3,057 SQ. FT.
R.F.A. :	---	40.95%	---	41%
BLDG. HEIGHT	---	8.97 M	---	9 M
GARAGE AREA:	---	36.8 M2	---	38M2

SITE PLAN

SCALE: 1:150

MINOR VARIANCE REQUIRED



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1
PHONE: (905) 847-2350
WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : MAY 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 15, 2024
PERMIT # : 24 -

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 163 DOUGLAS AVE.

S1



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

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PROJECT: 163 DOUGLAS AVE.

A2



FRONT ELEVATION
SCALE: 1:75



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

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PROJECT: 163 DOUGLAS AVE.

A3



EAST SIDE ELEVATION
SCALE: 1:75



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

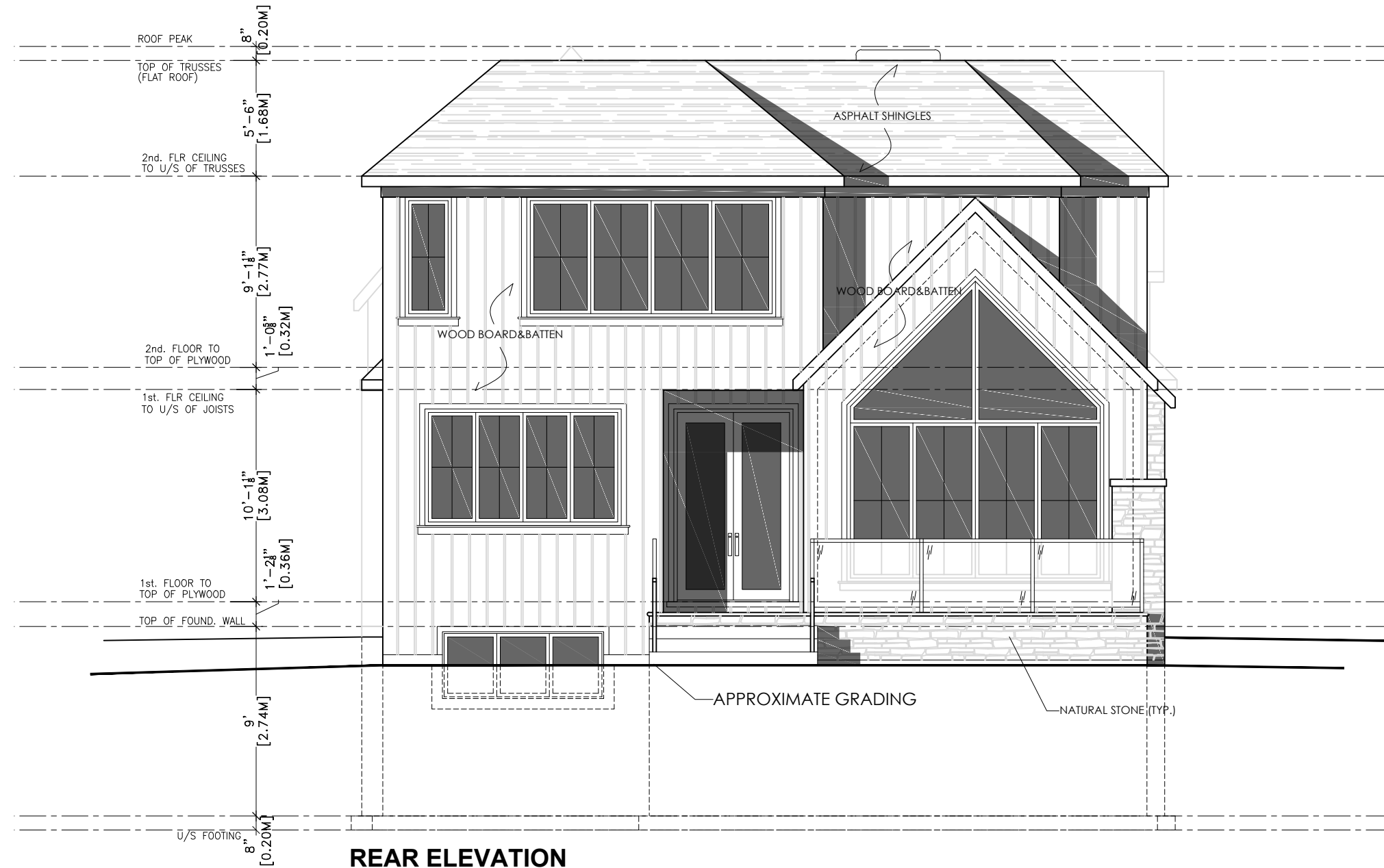
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PROJECT: 163 DOUGLAS AVE.

A4





KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

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PROJECT: 163 DOUGLAS AVE.

A5



WEST SIDE ELEVATION
SCALE: 1:75

Planning Justification

Property Address: 163 Douglas Ave.

Nov 15 2024

1. Lot Coverage (Variance)

The permitted Lot Coverage is 19% and this application is asking for 27.7% . The main reasons for the overage are:

1. To provide an office space on the main floor to facilitate work-from-home.
2. To accommodate a garage for two vehicles.

The exterior front façade of the dwelling is designed to hide the massing associated with the additional lot coverage being requested. This is accomplished by lowering the roof line which has the effect to present the house as a 1.5 storey dwelling. There is also substantial articulation on the elevation, which serves to break up the massing further.

Note, the proposed dwelling improves on side yard setbacks, and in some areas are over 2 meters. This further helps to buffer the proposed dwelling from the neighbouring lots.

2. Mature tree

The footprint of the proposed dwelling has been adjusted to accommodate the large tree directly behind the kitchen.

Massing:

DESIGN GUIDELINES

1. *New development, which is larger in overall massing than adjacent dwellings, should be designed to reduce the building massing through the thoughtful composition of smaller elements and forms that visually reflect the scale and character of the dwellings in the surrounding area. This design approach may incorporate:*

- *projections and/or recesses of forms and/or wall planes on the façade(s)*
- *single-level building elements when located adjacent to lower height dwellings*
- *variation in roof forms*
- *subdividing the larger building into smaller elements through additive and/or repetitive massing techniques*
- *porches and balconies that can reduce the verticality of taller*

dwelling and bring focus to the main entrance

- *architectural components that reflect human scale and do not appear monolithic*
- *horizontal detailing to de-emphasize the massing*
- *variation in building materials and colours.*

2. New development should be designed to mitigate potential impacts of overshadowing on adjacent properties by avoiding bulky massing close to the shared property line, by stepping down the height of the structure, and/or by increasing the setback(s) from the side and rear property lines.

Scale:

DESIGN GUIDELINES

- 1. New development should not have the appearance of being substantially larger than the existing dwellings in the immediate vicinity. If a larger massing is proposed, it should be subdivided into smaller building elements that respond to the context of the neighbourhood patterns.*
- 2. In instances where the lot patterning has been altered through redevelopment, the scale of the new development should be compatible with the scale of the surrounding buildings.*

3. Neighbourhood Context.

The area is unique, with a mix of dwelling sizes, many of which also required increased lot coverage variances. The only variance being sought for the subject property is for lot coverage since that is lower than in standard RL3-0 zoning, this is triggered by SP-10. 2.

For some context, the following dwellings in the immediate area also have lot coverage higher than permitted by the zoning by-law:

390 Sumner Ave- lot coverage of 27% approx. (this is immediately adjacent to the subject site)

164 Douglas Ave. - Lot coverage of 34.94% (with COA approval) (across the st from subject)

179 Douglas Ave. - Lot Coverage of 23.75% (with COA approval)

254 Douglas Ave. - Lot coverage of 29.4 % (with COA approval) 3.

Four Tests:

1. The proposed development complies with the official plan in that it is a single-family dwelling unit, which is similar in size and scale to many other houses on the street and in the surrounding area.
2. The intent of the zoning by-law is met with this proposal because most key regulations, such as lot coverage, side yard setbacks and height are being met.
3. Single family dwellings of similar scale and massing are prevalent in the immediate area, therefore this proposal, being a single family, four-bedroom dwelling, is both desirable and appropriate.
4. The proposed development is appropriate for the site and area because it will complement the fabric of the neighbourhood.

Notice of Public Hearing Committee of Adjustment Application



File # A/009/2025

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Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
S. Quon C. LiKamShum-Quon	JORIS KEEREN Keeren Design INC 11 Bronte Rd Suite 31 Oakville ON, CANADA L6L 0E1	163 Douglas Ave PLAN 113 LOT 133

Zoning of Property: RL3-0 sp:10, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a new two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	Section 15.10.1 (c) The maximum lot coverage for a dwelling having two storeys shall be 19%.	To increase the maximum lot coverage to 27.7%.

How do I participate if I have comments or concerns?

Submit written correspondence

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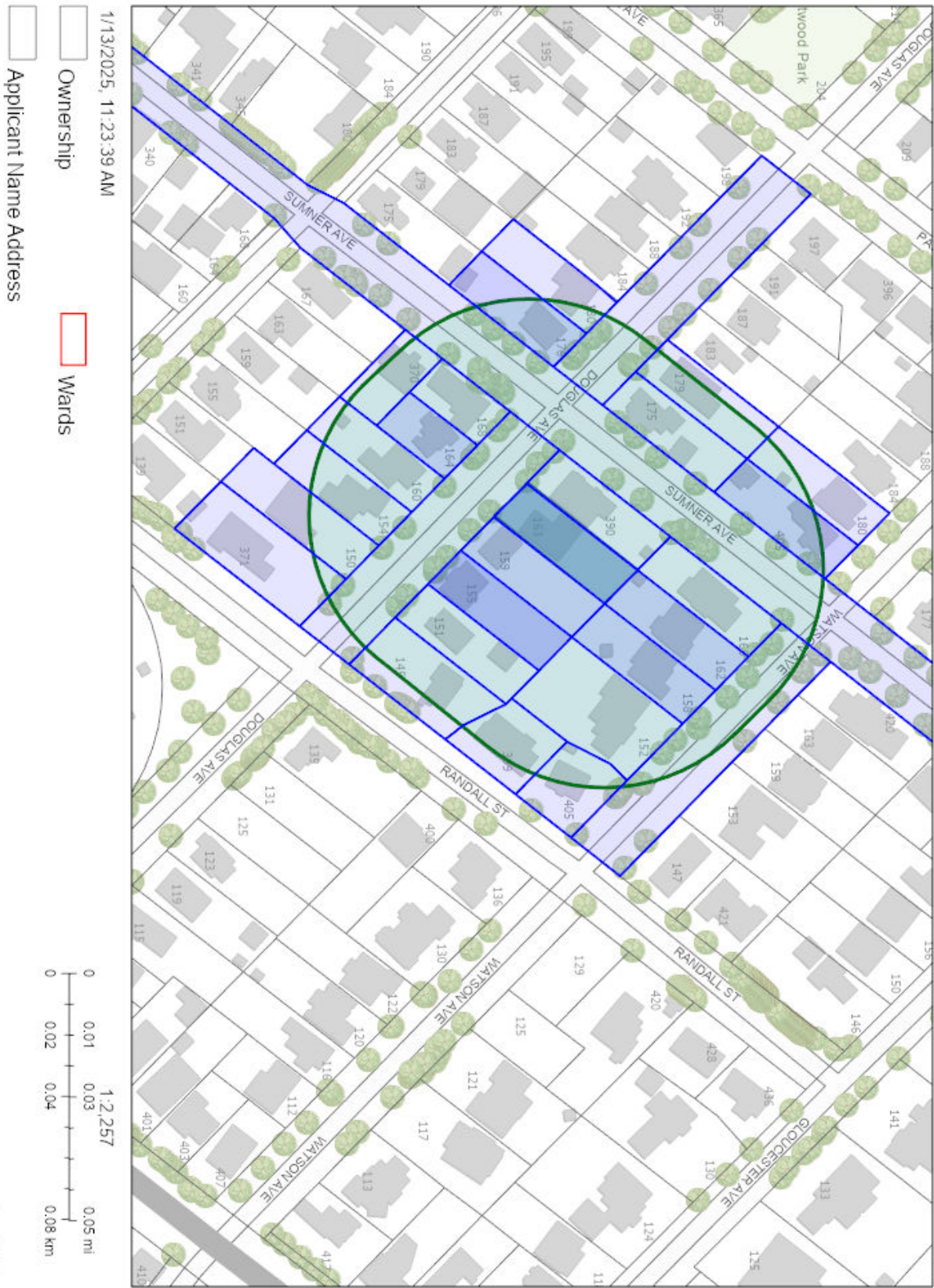
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/009/2025 - 163 Douglas Avenue



COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/009/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
C. LI KAM SHUM-QUON S. QUON	JORIS KEEREN Keeren Design Inc. 11 Bronte Rd, Suite 31 Oakville ON, CANADA L6L 0E1	PLAN 113 LOT 133 163 Douglas Ave Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential

ZONING: RL3-0 sp:10, Residential

WARD: 3

DISTRICT: East

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a new two-storey detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 15.10.1 (c)</i> The maximum lot coverage for a dwelling having two storeys shall be 19%.	To increase the maximum lot coverage to 27.7%.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services;

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/009/2025 - 163 Douglas Ave (East District) (OP Designation: Low Density Residential)

The applicant proposes to replace the existing two-storey dwelling with a new two-storey dwelling in generally the same location and size as the existing dwelling, subject to the variance listed above.

Site Area and Context

The subject lands are located within the Brantwood neighbourhood (RL3-0 SP: 10) which permits a maximum lot coverage of 19% for two-storey dwellings. However, through an evolution in the housing stock in the neighbourhood, there are two-storey dwellings with lot coverages greater than 19%. Relief from the Zoning By-law has been granted by the Committee of Adjustment for increases beyond 19%.

As noted above, this neighbourhood has experienced redevelopment in the form of replacement dwellings and additions/alterations to existing dwellings. The neighbourhood consists of original one-storey, one-half-storey, and two-storey detached dwellings, as well as newer two-storey detached dwellings. Newer two-storey dwellings in the surrounding area consist of a variety of architectural forms, many of which include one-storey architectural elements that assist in breaking up the massing.

The site plan diagram shown in Figure 1 below illustrates the existing dwelling footprint and the proposed new dwelling.

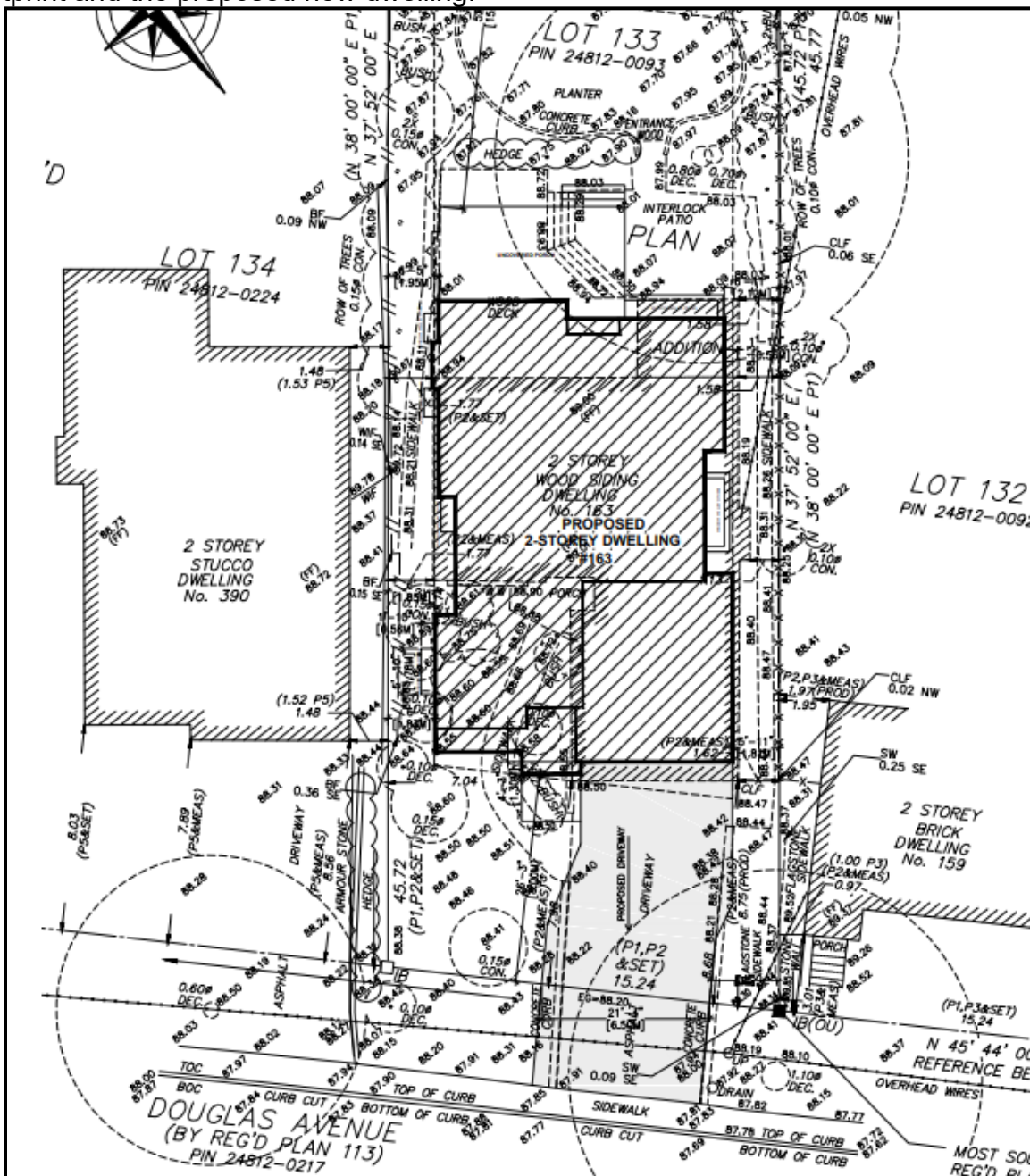


Figure 1 Site Plan – 163 Douglas Avenue
Page 49 of 190

Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variance from the provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met.

Staff's comments concerning the application of the four tests to this minor variance request are as follows:

Does the proposal maintain the general intent and purpose of the Official Plan?

The subject property is designated Low Density Residential by Livable Oakville. Development is required to be evaluated using the criteria established in Section 11.1.9 to maintain and protect the existing neighbourhood character. It is staff's opinion that the proposed integrated garage as opposed to the existing projecting garage contributes to maintaining and protecting the more broader neighbourhood character and implements the Design Guidelines for Stable Residential Communities. Additionally, the roofline of the proposed dwelling has been varied to give the appearance of a one and a half storey dwelling, thereby mitigating the massing impact on the streetscape. On this basis, staff is of the opinion that the proposal maintains the general intent and purpose of Livable Oakville.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

Variance #1 – Maximum Lot Coverage (No Objection) – increased from 19% to 27.7%.

The intent of the Zoning By-law provision for lot coverage is to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding neighbourhood. The subject lands are located within the Brantwood neighbourhood (RL3-0 SP: 10) which has seen past variance approvals for increases in maximum lot coverage of approximately 25% or greater.

As noted above, the existing dwelling provides a lot coverage of 27.7% and the proposed dwelling results in a built form which assists in implementing the Design Guidelines for Stable Residential Communities by having an integral garage, and modified roofline to improve the appearance on the streetscape. The depth of the dwelling is similar to those adjacent to the property creating no adverse impacts onto abutting properties. On this basis, staff are of the opinion that the request maintains the general intent and purpose of the Zoning By-law

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff are of the opinion that the proposal represents appropriate development of the subject property. The variance is minor in nature and will not create any undue adverse impacts to adjoining properties or the existing neighbourhood character.

Recommendation:

Staff do not object to the proposed variance. Should this minor variance request be approved by the Committee, the following conditions are recommended:

1. The dwelling be constructed in general accordance with the submitted site plan and elevations dated November 15, 2024; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit an increase to the maximum lot coverage to 27.7%, under the requirements of the Town of Oakville Zoning By-law, for the purpose of constructing a new two-storey detached dwelling on the Subject Property.

Oakville Hydro: We do not have any comments for this group of minor variance applications.

Union Gas: No comments received.

Letter(s) in support – None

Letter(s) in opposition – None

General notes for all applications:

Note: The following standard comments apply to all applications. Any additional application specific comments are as shown below.

- The applicant is advised that permits may be required should any proposed work be carried out on the property i.e. site alteration permit, pool enclosure permit, tree preservation, etc.
- The applicant is advised that permits may be required from other departments/authorities (e.g. Engineering and Construction, Building, Conservation Halton etc.) should any proposed work be carried out on the property.
- The applicant is advised that any current or future proposed works that may affect existing trees (private or municipal) will require an arborist report.
- The applicant is advised that any current or future proposed works will require the removal of all encroachments from the public road allowance to the satisfaction of the Engineering and Construction Department.
- The applicant is advised that the comments provided pertain only to zoning and are not to be construed as a review or approval of any proposal for the site. This review will be carried out through the appropriate approval process at which time the feasibility/scope of the works will be assessed.

- Unless otherwise states, the Planning basis for the conditions referenced herein are as follows:

- Building in general accordance with the submitted site plan and elevation drawings is required to ensure what is requested and ultimately approved, is built on site. This provides assurance and transparency through the process, noting the documents that are submitted with the application, provide the actual planning, neighbourhood and site basis for the request for the variances, and then the plans to be reviewed through the building permit and construction processes.

- A two (2) year timeframe allows the owner to obtain building permit approval for what is ultimately approved within a reasonable timeframe of the application being heard by the Committee of Adjustment based on the requirements when it is processed, but cognizant of the ever-changing neighbourhoods, policies and regulations which might then dictate a different result. Furthermore, if a building permit is not obtained within this timeframe, a new application would be required and subject to the neighbourhood notice circulation, public comments, applicable policies and regulations at that time.

Requested conditions from circulated agencies:

1. The dwelling be constructed in general accordance with the submitted site plan and elevations dated November 15, 2024; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

J. Ulcar

Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION

INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 530 CARSON LANE

S1

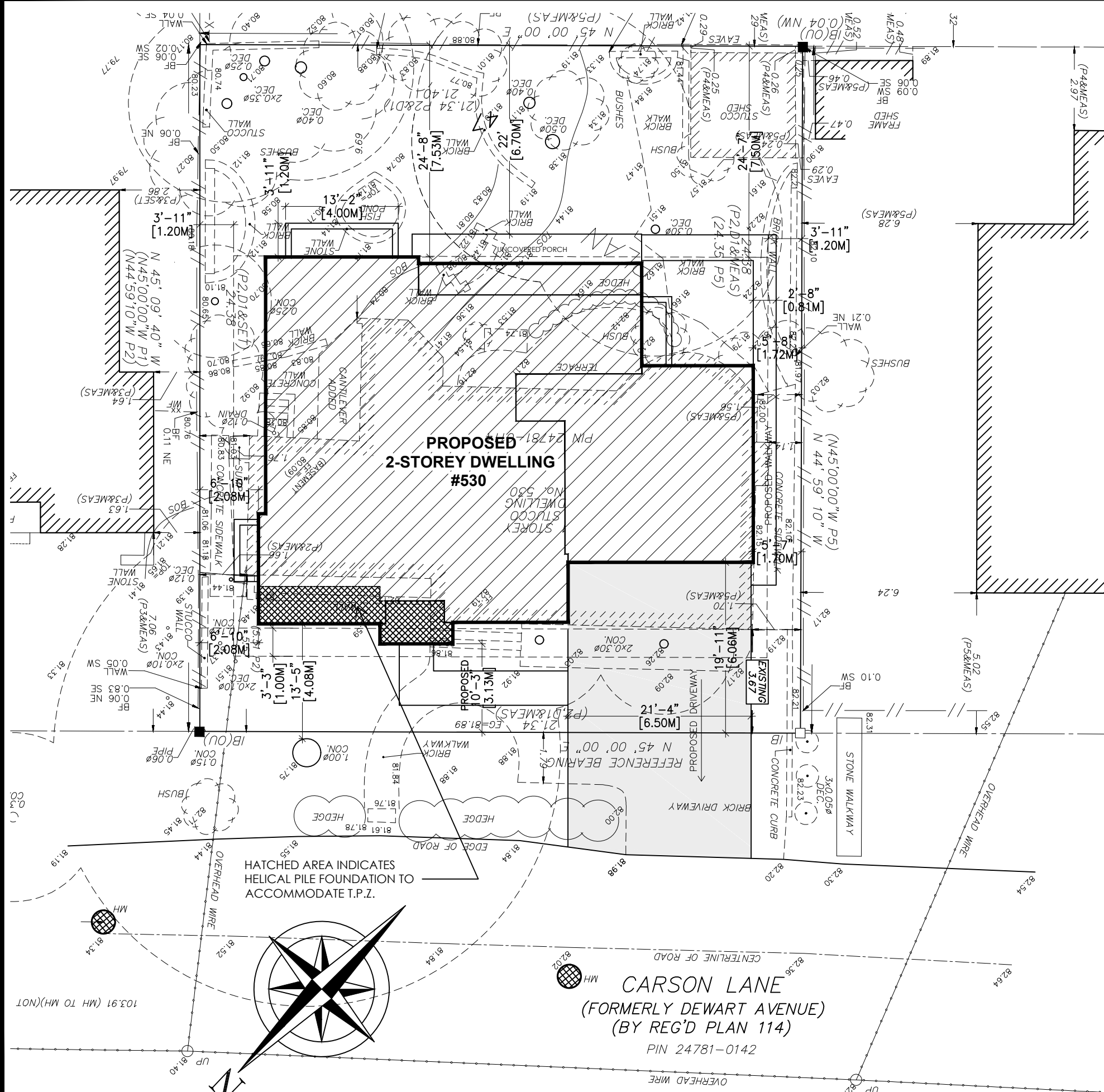
SITE STATISTICS: 530 CARSON LANE

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL3-0			
LOT AREA:	520.82M2			
LOT COVERAGE:	---	M2 197.63M2	---	M2 182.03M2 1,959 SQ. FT.
LOT COVERAGE:	---	38%	---	35 %
R.F.A. :	---	M2 265M2	---	M2 223.63M2 2,407 SQ. FT.
R.F.A. :	---	51%	---	43%
WINDOW WELL :	---	M 1.2Mx4.0M	---	M 0.6Mx1.8M
BLDG. HEIGHT (PEAK)	---	M 8.90M	---	M 9

SITE PLAN

SCALE: 1:150

MINOR VARIANCE REQUIRED





KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

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PROJECT: 530 CARSON LANE

A0



CARSON LANE

 KEEREN DESIGN Residential Architecture	11 BRONTE RD. SUITE 31 OAKVILLE, ON L6L 0E1 PHONE: (905) 847-2350 WWW.KEEREN.CA FIRM BCIN #: 31181	REVISION 	PROJECT: 530 CARSON LANE STREETSCAPE SCALE: N.T.S.	DRAWING INFORMATION INITIAL DESIGN : JUNE 2024 DESIGNER : JORIS KEEREN DRAWN BY : M. RICO PLOT DATE : NOVEMBER 22, 2024 PERMIT # : 24 -	<h1>A1</h1>
	JORIS KEEREN Residential Architect License No.: 25348	These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.			



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION

INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
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PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

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PROJECT: 530 CARSON LANE

A5





KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

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PROJECT: 530 CARSON LANE

A6



WEST SIDE ELEVATION
SCALE: 1:75



KEEREN DESIGN
Residential Architecture

11 BRONTE RD, SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

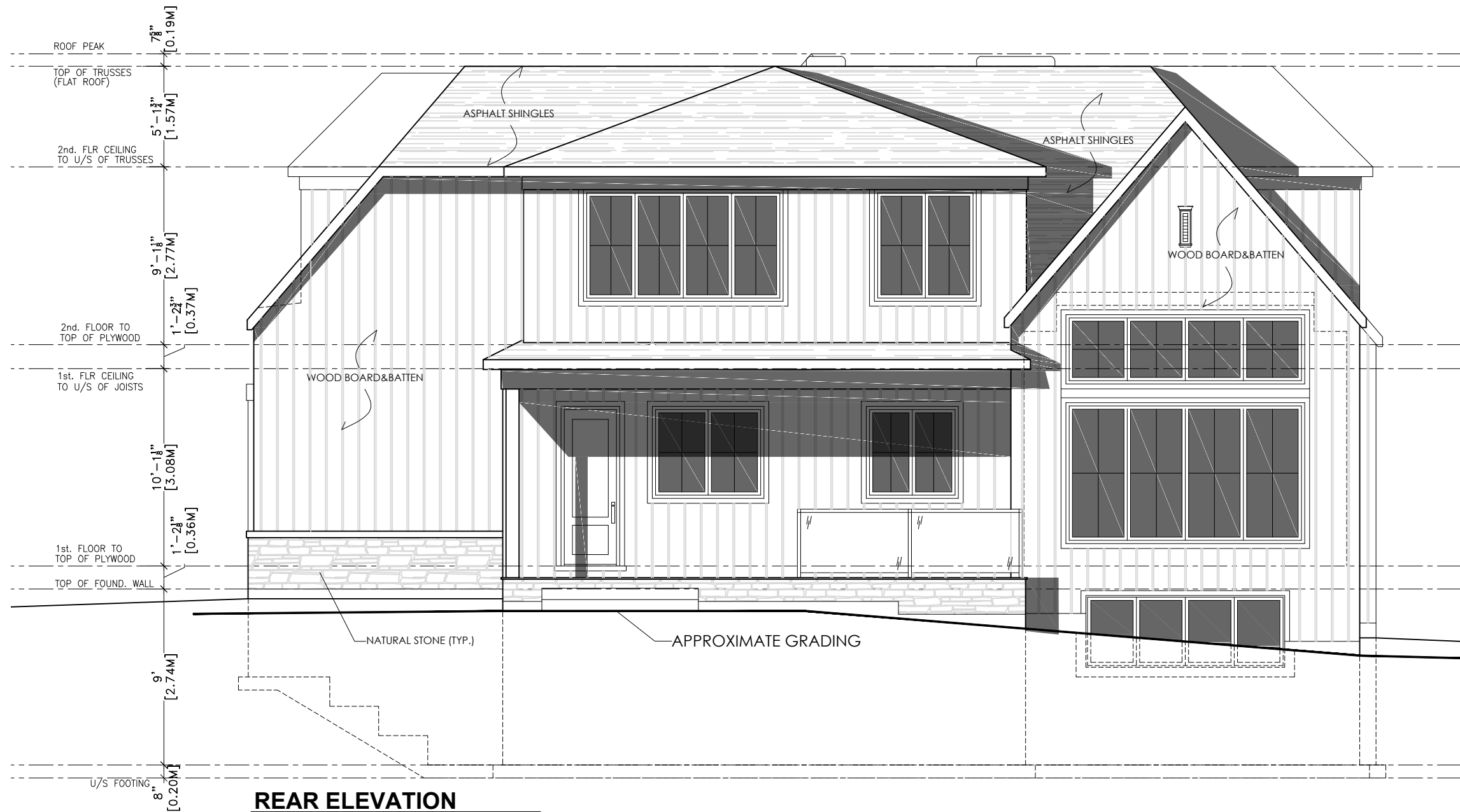
REVISION

DRAWING INFORMATION
INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

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PROJECT: 530 CARSON LANE

A7





KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

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PROJECT: 530 CARSON LANE

A8



EAST SIDE ELEVATION
SCALE: 1:75

Cover letter

Property Address: 530 Carson Lane

Oct 22, 2024

This application for minor variance is comprised of a proposed new single-family dwelling. The existing dwelling constructed circa 1940 will be completely demolished and new utility services will be installed as part of the redevelopment.

Mature Town Tree: There is an existing mature coniferous tree located at the front of the property. Please note that the foundation of the proposed dwelling has been reduced to provide a larger tree protection zone for this tree.

The following variances are being requested:

1. To allow for a Floor Area Ratio of 51%, where as 43% is permitted
2. To allow for a rear yard window well encroachment of 4m x 1.2m where as 1.8m & 0.6m is the maximum.
3. To allow a Lot Coverage of 38% whereas 35% is the maximum.

Justification and rationale for the variance requests:

1. The subject lot is one of, if not the, smallest in the area, and although it is legal, non conforming, it's actually less than the prescribed min under the RL3-0 zoning by-law. This results in both the permitted RFA and lot coverage ratios being artificial low, requiring variances.
2. The area is unique, with many larger homes in the immediate area. The additional sq. footage (RFA) is required to accommodate the needs of the immediate family for which the house is being built. The total sq. footage of the proposed dwelling is a moderate 2,800 above grade.
3. For some context, the dwelling immediately next door (on the East side # 536) was designed by our firm and has a square footage of about 5,100 sq. ft. with an RFA of over 70%. The dwelling across the street at 533 Carson Lane was approved in 2016 for an RFA of 48.28%.
4. Although the RFA request may seem high in terms of percentage, the actual size of the home is conservative at approximately 2,800 sq. ft. spread across the 1st and 2nd floor.
5. The overall massing and scale of the dwelling is moderated by several features, including the 1 story front porch, the stepping and articulation of the front facade as well as the lowering of the roofline to the 1st floor in many areas.

Joris Keeren

Page | 1

Notice of Public Hearing Committee of Adjustment Application



File # A/010/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
K. Bassett-Swinoga J. Swinoga	Joris Keeren Keeren Design 11 Bronte Rd Unit 31 Oakville ON, canada L6L 0E1	530 Carson Lane PLAN 114 PT LOT 47

Zoning of property: RL3-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 4.3 (Row 7)</i> The maximum allowable encroachment of window wells with a maximum width of 1.8 metres shall be 0.6 metres.	To increase the maximum width of window wells to 4.0 metres and to increase the maximum allowable encroachment to 1.2 metres.
2	<i>Table 6.4.1</i> The maximum residential floor area for a lot having an area less than 557.5 m ² shall be 43%.	To increase the maximum residential floor area to 51%.
3	<i>Table 6.4.2</i> The maximum lot coverage where the detached dwelling is greater than 7.0 metres in height shall be 35%	To increase the maximum lot coverage where the detached dwelling is greater than 7.0 metres in height to 38%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

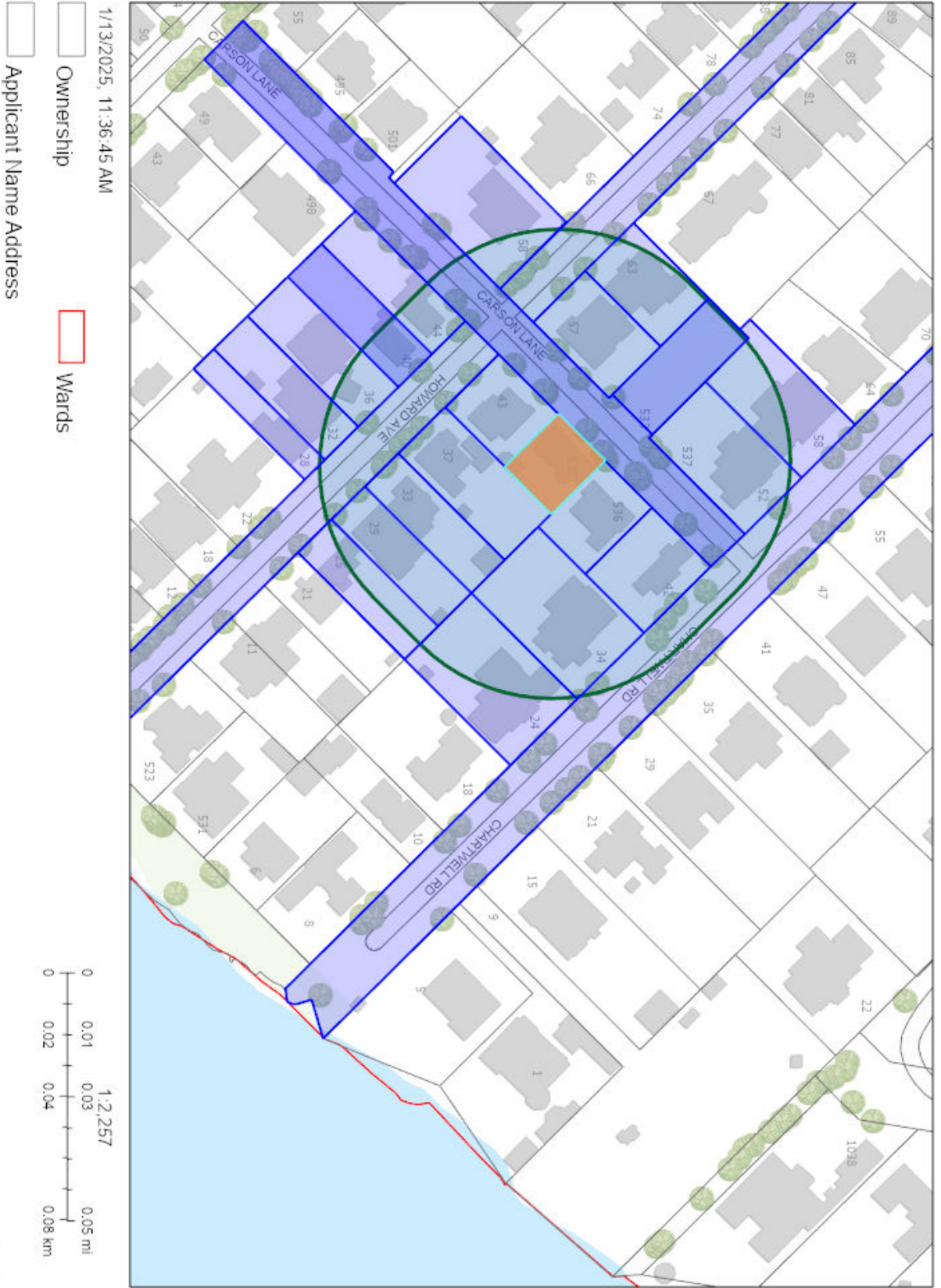
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/010/2025 -530 Carson Lane



COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/010/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Owner (s)	Agent	Location of Land
J. SWINOGA K. BASSETT-SWINOGA	Joris Keeren Keeren Design Inc. 11 Bronte Rd, Unit 31 Oakville ON, Canada L6L 0E1	PLAN 114 PT LOT 47 530 Carson Lane Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential

ZONING: RL3-0, Residential

WARD: 3

DISTRICT: East

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 4.3 (Row 7)</i> The maximum allowable encroachment of window wells with a maximum width of 1.8 metres shall be 0.6 metres.	To increase the maximum width of window wells to 4.0 metres and to increase the maximum allowable encroachment to 1.2 metres.
2	<i>Table 6.4.1</i> The maximum residential floor area for a lot having an area less than 557.5 m ² shall be 43%.	To increase the maximum residential floor area to 51%.
3	<i>Table 6.4.2</i> The maximum lot coverage where the detached dwelling is greater than 7.0 metres in height shall be 35%	To increase the maximum lot coverage where the detached dwelling is greater than 7.0 metres in height to 38%.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services:

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/010/2025 - 530 Carson Lane (East District) (OP Designation: Low Density Residential)

The applicant proposes to replace the existing one-storey dwelling with a new two-storey dwelling subject to the variances listed above.

Site Area and Context

The subject lands are located on Carson Lane between Howard Avenue and Chartwell Road. The subject lands contain one of the last remaining dwellings of the original housing stock in this section. The property is also west of a single parcel of land that is zoned RL3 whereas the surrounding area is zoned RL3-0.

Staff note that the area bound by Lakeshore Road East to the north, Lake Ontario to the south, Chartwell Road to the east, and Park Avenue to the west can be described as having an eclectic variety of lot sizes, building forms and styles, few sidewalks and a robust tree canopy. The subject lands can be considered one of the smaller lots in the neighbourhood and is generally square in shape.

The site plan diagram shown in Figure 1 below illustrates the existing dwelling footprint and the proposed new dwelling.

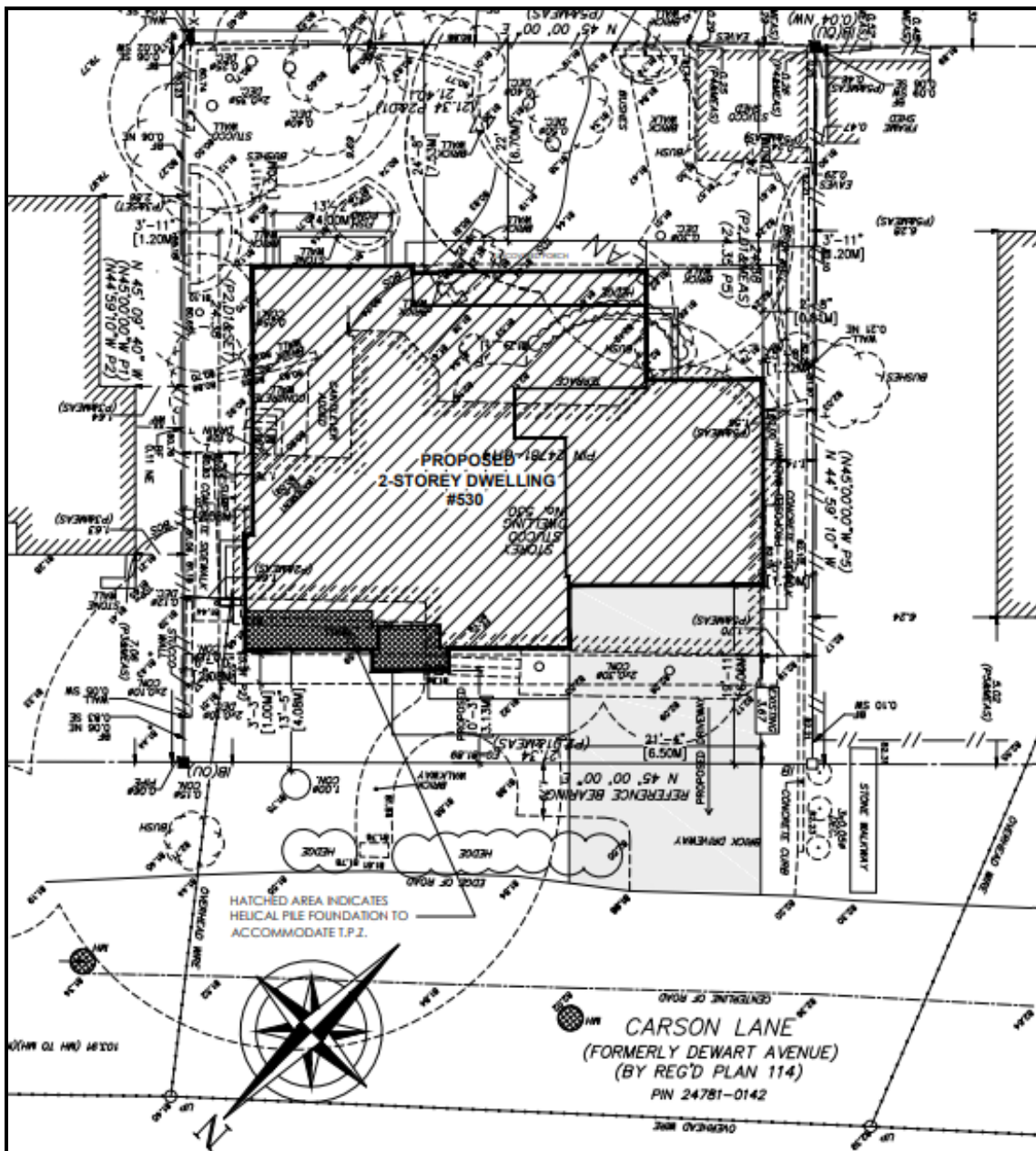


Figure 1 Site Plan – 530 Carson Lane

Figure 1 demonstrates an improvement to the front yard setback, and maintains the dwelling generally in line with the dwellings to the east and west. A streetscape plan is provided in Figure 2 below, that demonstrates the scale of the proposed dwelling in comparison to the dwellings to the east and west. As noted, the property to the east is not subject to the “-0” suffix regulations which limits height to 9 m, and regulates floor area ratio.



Figure 2 – Streetscape Plan

Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variance from the provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met.

Staff's comments concerning the application of the four tests to this minor variance request are as follows:

Does the proposal maintain the general intent and purpose of the Official Plan?

The subject property is designated Low Density Residential by Livable Oakville. Development is required to be evaluated using the criteria established in Section 11.1.9 to maintain and protect the existing neighbourhood character. It is staff's opinion that the proposed dwelling maintains and protects the existing character of the neighbourhood by incorporating the architectural elements found in the surrounding area. Additionally, the massing and scale of the dwelling on the streetscape is mitigated by moving the dwelling further back into the property, with the integrated garage further recessed beyond the main wall. Further, the proposed dwelling height is 8.90 m, being below the 9.0 m maximum. Staff also note the front eastern portion of the dwelling is to be constructed on helical piles to better protect the mature town owned tree in the boulevard. Lastly, as noted previously, the size of the lot is one of the smaller lots in the neighbourhood which would not be able to accommodate a dwelling of similar size and scale to those in the surrounding area without the need for deviations from the By-law. The requested variances are intended to facilitate the development of a dwelling that maintains the neighbourhood character. On this basis, staff is of the opinion that the proposal maintains the general intent and purpose of the Official Plan.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

Variance #1 – Maximum Window Well Width and Encroachment (No Objection) – Increased from 1.8 m x 0.6 m to 4.0 m x 1.2 m

The applicant is requesting relief from the width and depth of a window well located at the rear of the dwelling. The intent of regulating window well size and encroachment is generally to ensure there is sufficient space within the side yard to accommodate access and drainage. In this case, the proposed window well is located at the rear of the

dwelling and does not appear to present any negative impacts to access or drainage. On this basis, staff are of the opinion that the proposal maintains the intent of the by-law.

Variance #2 – Maximum Residential Floor Area Ratio (No Objection) – Increased from 43% to 51%

The applicant is requesting relief from By-law 2014-014 to permit an increase in residential floor area ratio from 43% to 51%. The intent of regulating the residential floor area is to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding neighbourhood. As discussed above, the requested variances are to facilitate the development of a dwelling that has a similar scale and mass to those in the surrounding neighbourhood, as well as to the dwellings both east of the site, and north of the site despite being on a small lot. The architectural expression of the dwelling, together with recessing the garage face and maintaining existing mature vegetation adequately mitigates the massing and scale on the streetscape. Additionally, the dwelling is generally positioned in line with the dwellings to the east and west and does not present any new privacy or overlook concerns with the change from a one-storey dwelling to a two-storey dwelling. On this basis, it is staff's opinion that the proposal maintains the intent of the by-law.

Variance #3 – Maximum Lot Coverage (No Objection) – Increased from 35% to 38%

The applicant proposes an increase in lot coverage from 35% to 38%. The intent of the Zoning By-law provision for lot coverage is to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding neighbourhood. In addition to the analysis provided above, the increase in lot coverage is primarily focused towards the rear of the dwelling and proposes improvements to the easterly side yard setback being 2.08 m where 1.7 m currently exists, and a westerly side yard setback of 1.7 m where 1.4 m currently exists. The additional coverage does not project beyond the main walls of the abutting dwellings, does not create any adverse impacts on the streetscape, and facilitates the development of a dwelling that is consistent in size and scale with those in the neighbourhood. On this basis, the proposed variance maintains the intent of the Zoning By-law.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff are of the opinion that the proposal represents appropriate development of the subject property. The proposed development will require a site alteration permit where grading and drainage will be more closely evaluated. The variances are minor in nature and will not create any undue adverse impacts to adjoining properties or the existing neighbourhood character.

Recommendation:

Staff do not object to the proposed variance. Should this minor variance request be approved by the Committee, the following conditions are recommended:

1. The dwelling be constructed in general accordance with the submitted site plan and elevations dated November 22, 2024; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit an increase to the maximum width of window wells to 4.0 m, an increase to the maximum allowable encroachment to 1.2 m, an increase to the maximum residential floor area ratio to 51% and an increase to the maximum lot coverage where the detached dwelling is greater than 7.0 m in height to 38%, under the requirements of the Town of Oakville Zoning By-law for the purpose of constructing a two-storey detached dwelling on the Subject Property.

Oakville Hydro: We do not have any comments to add for this group of minor variance applications.

Union Gas: No comments received.

Letters in support – 3

#1

 Peter Nesbitt
Re: Follow-up and House build Update
To: Kimberly Swinoga, Cc: Petrina Nesbitt, Jeffrey Swinoga

Inbox - AOL January 18, 2025 at 4:05 PM

[Details](#)

Hi Kimberly and Jeff,
We contacted John French, one of the sons, and they would appreciate it if you could return the mail to sender. Erika is the wife of Michael, John's brother.

Thanks very much for keeping us informed on your approval process and house design.
We do not have any concerns at this time. It appears you will have a very attractive new home.

Look forward to staying in touch.

All the best,
Peter & Petrina

Sent from my iPad

Peter and Petrina Nesbitt
 Howard Ave, Oakville

#2

DR Dominic Ruso
Re: Follow-up and house build update
To: Kimberly Swinoga, Jeffrey Swinoga, Cc: Christine Ruso

Inbox - Google January 18, 2025 at 1:06 PM

[Details](#)

Hi, the house design looks great, and we wish you well with the COA. We don't have any concerns.

Erika could be the wife of Barry's son. I believe his name is Michael.

Have a nice weekend,

Dom and Christine

Dominic and Christine Ruso
[REDACTED] Carson Lane, Oakville

#3

coarequests

From: Peter Nesbitt [REDACTED]
Sent: January 27, 2025 4:38 PM
To: coarequests
Cc: Petrina Nesbitt
Subject: [EXTERNAL] RE: 530 Carson Lane
Categories: JEN

[You don't often get email from [REDACTED] Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Attention:
Jen Ulcar
Secretary-Treasurer of Committee of Adjustment Town of Oakville

From:
Peter and Petrina Nesbitt
[REDACTED] Howard Avenue
Oakville, ON L6J 3Y2

We received the notice regarding the hearing for variance requests for a new built house. We own the property immediately adjacent to the west side of the subject property.

We do not have any concerns with the variance requests and support the application.

Sincerely,
Peter and Petrina Nesbitt

Sent from my iPad

Letter(s) in opposition – None

General notes for all applications:

Note: The following standard comments apply to all applications. Any additional application specific comments are as shown below.

- The applicant is advised that permits may be required should any proposed work be carried out on the property i.e. site alteration permit, pool enclosure permit, tree preservation, etc.
- The applicant is advised that permits may be required from other departments/authorities (e.g. Engineering and Construction, Building, Conservation Halton etc.) should any proposed work be carried out on the property.
- The applicant is advised that any current or future proposed works that may affect existing trees (private or municipal) will require an arborist report.
- The applicant is advised that any current or future proposed works will require the removal of all encroachments from the public road allowance to the satisfaction of the Engineering and Construction Department.
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- Unless otherwise states, the Planning basis for the conditions referenced herein are as follows:
 - Building in general accordance with the submitted site plan and elevation drawings is required to ensure what is requested and ultimately approved, is built on site. This provides assurance and transparency through the process, noting the documents that are submitted with the application, provide the actual planning, neighbourhood and site basis for the request for the variances, and then the plans to be reviewed through the building permit and construction processes.
 - A two (2) year timeframe allows the owner to obtain building permit approval for what is ultimately approved within a reasonable timeframe of the application being heard by the Committee of Adjustment based on the requirements when it is processed, but cognizant of the ever-changing neighbourhoods, policies and regulations which might then dictate a different result. Furthermore, if a building permit is not obtained within this timeframe, a new application would be required and subject to the neighbourhood notice circulation, public comments, applicable policies and regulations at that time.

Requested conditions from circulated agencies:

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J. Ulcar

Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment

Notice of Public Hearing Committee of Adjustment Application



File # A/011/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

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Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
G. Hitchman A. Petrie	William Hicks William Hicks Holdings Inc. 905 Sangster Ave Mississauga ON, CANADA L5H 2Y3	181 Front St PLAN 1 BLK 22 PT LOTS E,D

Zoning of property: RL3 sp:11, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 15.11.1 c)</i> The maximum lot coverage for all buildings shall be 25%.	To increase the maximum lot coverage for all buildings to 29.72%.
2	<i>Table 15.11.1 h)</i> Maximum residential floor area for a dwelling having two or more storeys shall be 30% of the lot area.	To increase residential floor area for a dwelling having two or more storeys to 42% of the lot area.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

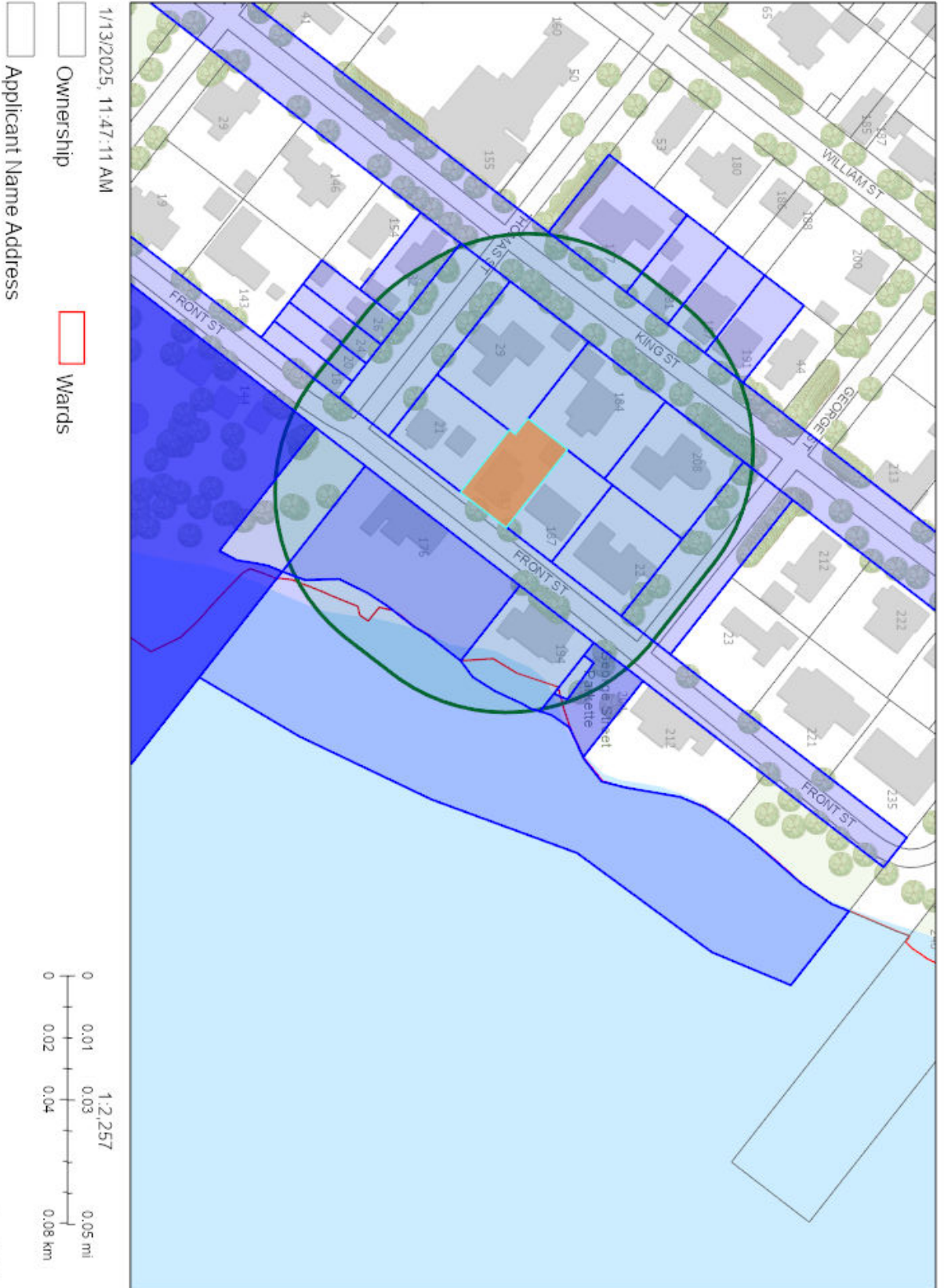
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/011/2025 - 181 Front Street



METRIC
 DISTANCES SHOWN ON THIS PLAN ARE
 IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT

**PLAN OF SURVEY WITH TOPOGRAPHY OF
 PART OF LOTS D AND E
 BLOCK 22, REGISTERED PLAN 1
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON**



TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

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REPORT SUMMARY

PROPERTY DESCRIPTION: 181 FRONT STREET, BEING PART OF LOTS D AND E, BLOCK 22, REGISTERED PLAN 1, DESIGNATED AS PART 3, PLAN 20R-2119, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24779-0119.

EASEMENTS/RIGHTS-OF-WAY: NONE REGISTERED ON TITLE.

COMMENTS: NOTE LOCATION OF FENCES.

NOTES

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 85, HAVING A PUBLISHED ELEVATION OF 88.537 metres.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWESTERLY LIMIT OF FRONT STREET AS SHOWN ON PLAN 20R-2119, HAVING A BEARING OF N37°58'50"E.

SIDE AND REAR PROPERTY LIMITS WERE RE-ESTABLISHED BY USING THE MEASUREMENTS NOTED ON PLAN 20R-2119.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
CP	DENOTES	CONCRETE PIN
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB
BB	DENOTES	BELL BOX
CB	DENOTES	CATCH BASIN
MH	DENOTES	MANHOLE
TW	DENOTES	TOP OF WALL
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
P1	DENOTES	PLAN 20R-2119
P2	DENOTES	TARASICK McMILLAN KUBICKI LIMITED, O.L.S., JUNE 17, 2022
(WIT)	DENOTES	WITNESS
(950)	DENOTES	CUNNINGHAM McCONNELL LIMITED, O.L.S.

	0.20φ	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
	0.20φ	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR PERSPECTIVE VIEWS INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON MAY 10, 2024

MAY 27, 2024
 DATE

Simeon Mitrev
 SIMEON MITREV
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-79691

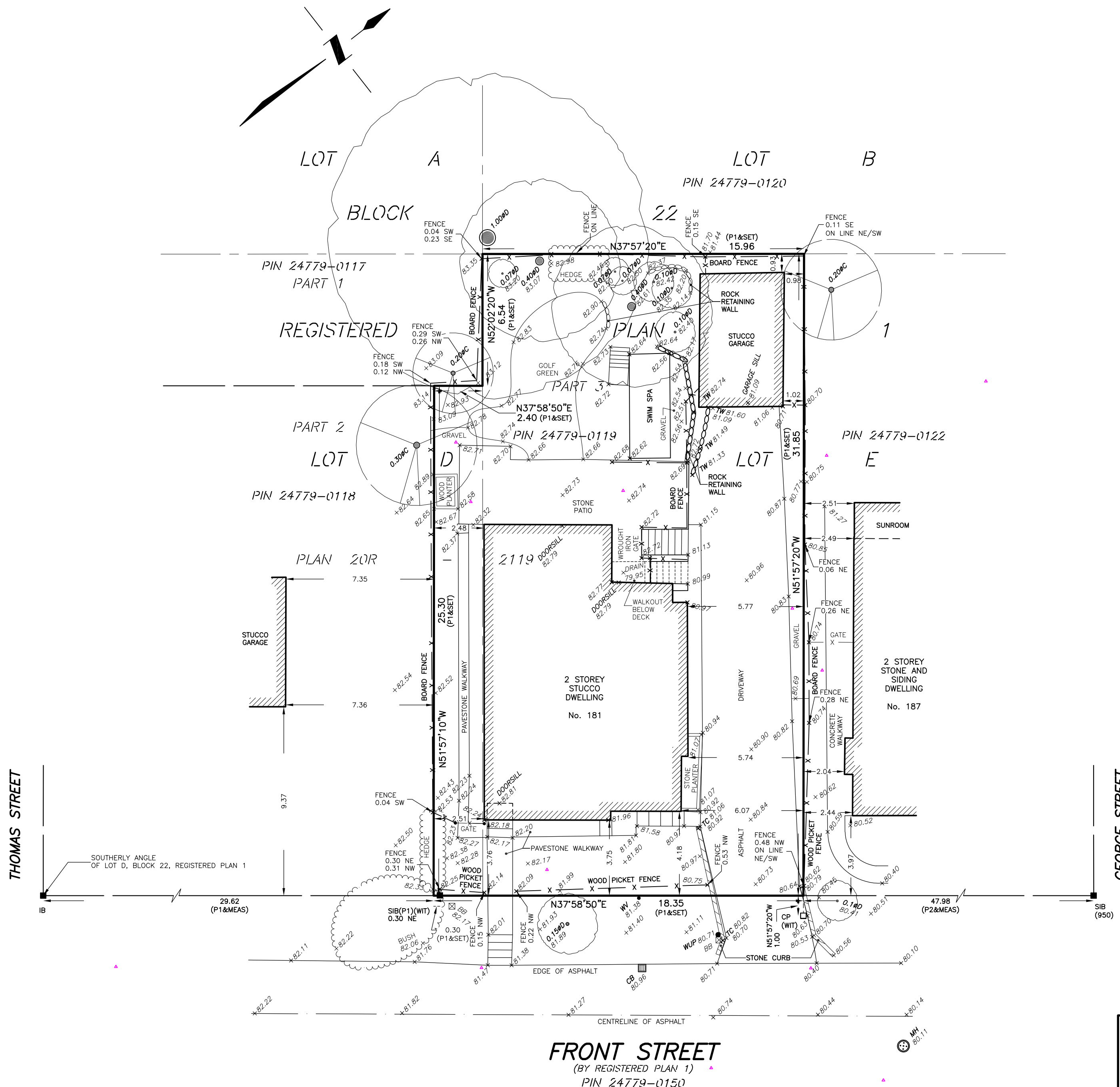
THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3)

TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
 TEL: (905) 569-8849 FAX: (905) 569-3160
 E-MAIL: office@tmksurveyors.com

DRAWN BY: JMH

FILE No. 10102-SRPR-T



METRIC
 DISTANCES SHOWN ON THIS PLAN ARE
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 TO FEET BY DIVIDING BY 0.3048

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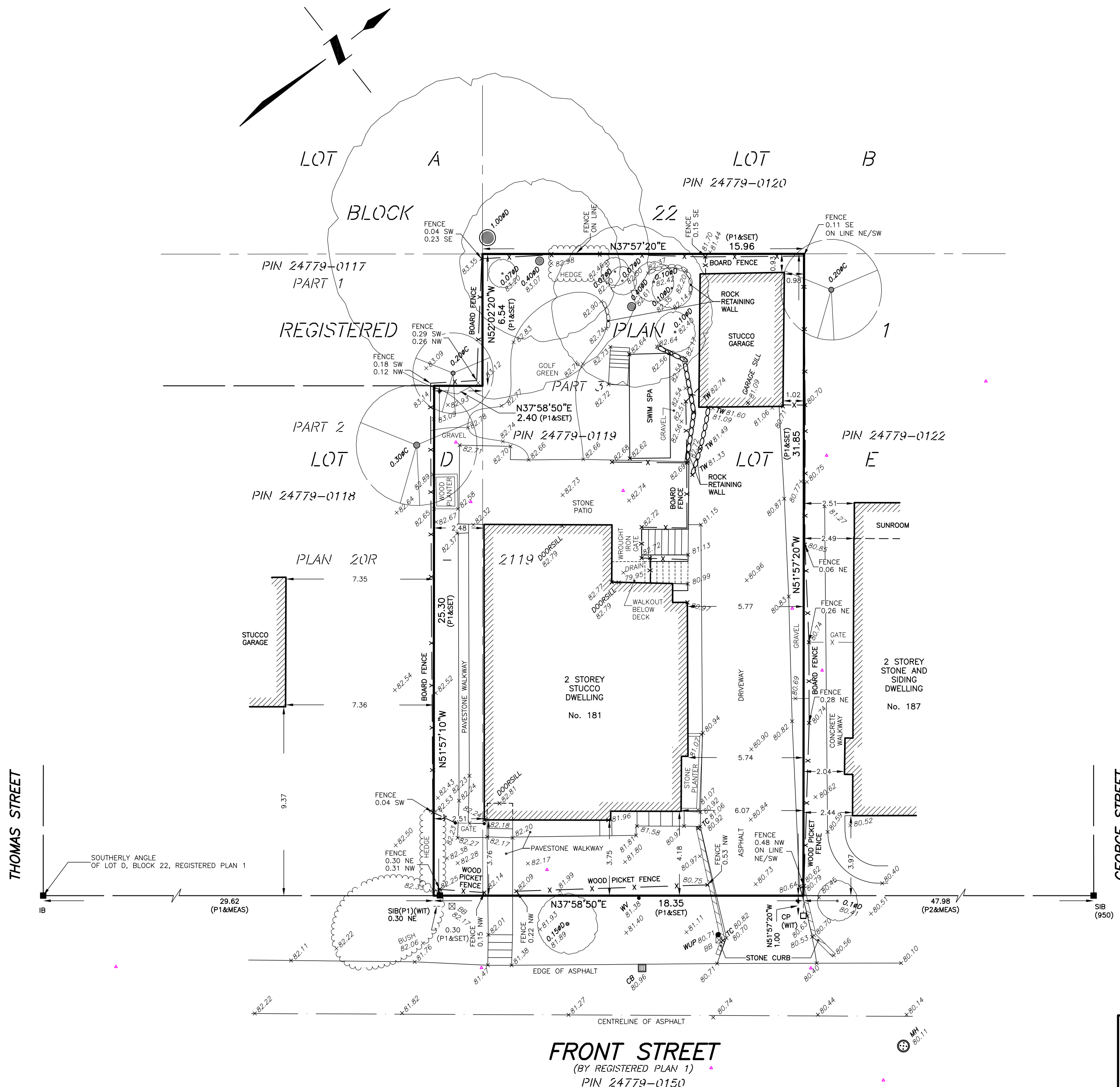
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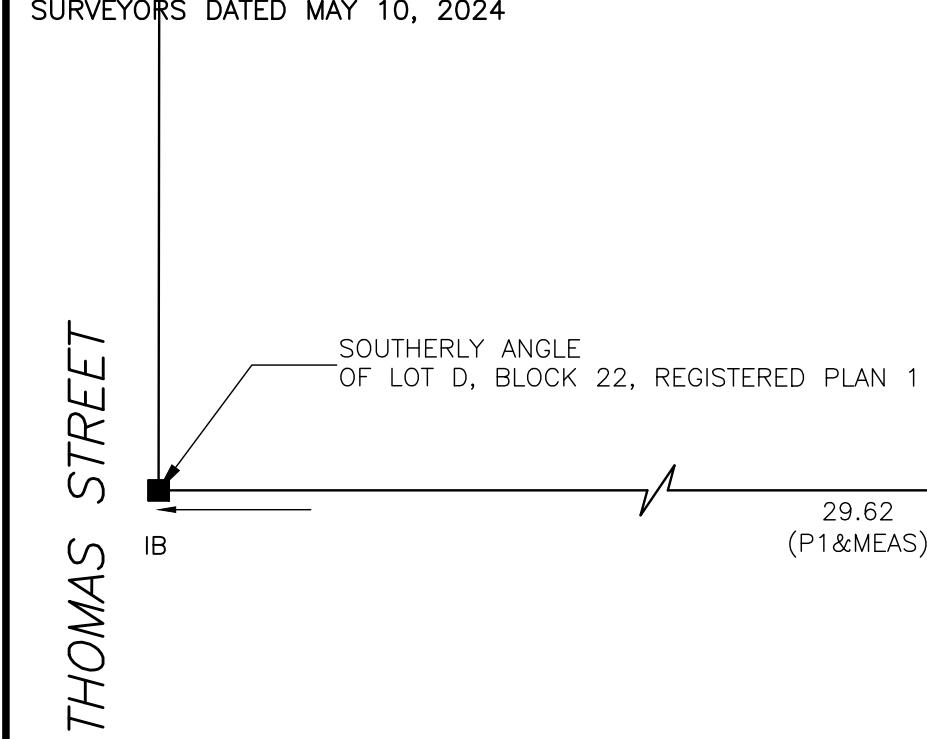
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INFORMATION TAKEN FROM A SURVEY PREPARED BY TARASICK McMILLAN KUBICKI LIMITED ONTARIO LAND SURVEYORS DATED MAY 10, 2024



■ DENOTES EXISTING DWELLING

■ DENOTES NEW DWELLING

1 SITE PLAN
A1.1 SCALE: 1:250



3 KEY PLAN
A1.1 SCALE: NTS

ARCHITECT:		APPLICANT:		OWNER:		
				181 FRONT STREET OAKVILLE, ON. L6J 1A3		
SITE STATISTICS						
ADDRESS:		181 FRONT STRET OAKVILLE, ON. L6J 1A3				
LEGAL DESCRIPTION:		PART OF LOTS D AND E BLOCK 22, EG. PL. 1				
ZONING:		RL3 - SP11				
DESCRIPTION	REQUIRED METRIC	REQUIRED IMPERIAL	EXISTING - DEMO METRIC	EXISTING - DEMO IMPERIAL	PROPOSED METRIC	PROPOSED IMPERIAL
LOT AREA:						
LOT AREA			568.659	6,121	568.659	6,121
LOT FRONTS:						
1. AT STREET			0.00	0		
2. AS PER DEFINITION	T.B.V.	#VALUE!	0.000	0		
LOT COVERAGE:						
DWELLING			134.059	1,443	119.566	1,287
COVERED ENTRY PORCH			1.858	20	6.968	75
GARAGE			14.864	160	26.756	288
COVERED PORCH					15.701	169
TOTAL	142.165		150.782	1,623	168.991	1,819
COVERAGE (%)	25%		26.52%		29.72%	
GROSS FLOOR AREA:						
GROUND FLOOR			134.059	1,443	119.566	1,287
SECOND FLOOR (I.L.C. 2ND. STAIRS)			76.552	824	119.090	1,274
TOTAL			210.611	2,267	237.646	2,558
RESIDENTIAL FLOOR AREA RATIO						
TOTAL	170.598	1,836	210.611	2,267	237.646	2,558
G.F.A (%)	30.0%		37%		42%	
DWELLING DEPTH						
N/A						
BASEMENT						
FINISHED AREA			0.000	0	0.000	0
UNFINISHED AREA			0.000	0	0.000	0
TOTAL BASEMENT			0.000	0	0.000	0
YARDS:						
MINIMUM FRONT YARD						
FRONT YARD	6.00	29.5	3.75	12.3	6.00	19.7
REAR YARD	7.5	24.6	8.11	26.6	11.05	36.3
SIDE YARD EAST	2.4	7.9	2.48	8.1	2.99	9.8
SIDE YARD - WEST	2.4	7.9	5.74	18.8	2.44	8.0
MAXIMUM HEIGHT:						
MAXIMUM HEIGHT TO RIDGE	10.50	34.45			9.020	29.6
GARAGE WALL PROJECTION:	1.5	4.92			0.00	0.0

2 SITE STATISTICS
A1.1 SCALE: 1:250

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT

REF. DATE: DESCRIPTION:
REVISIONS / ISSUANCE:

Pezzano
Architectural Design

150 Wellington Street East, Suite 806
Guelph, Ontario N1H 0B5
p: 416-409-6718
e: vincent@pezzanoarchitectural.com
www.pezzanoarchitectural.com

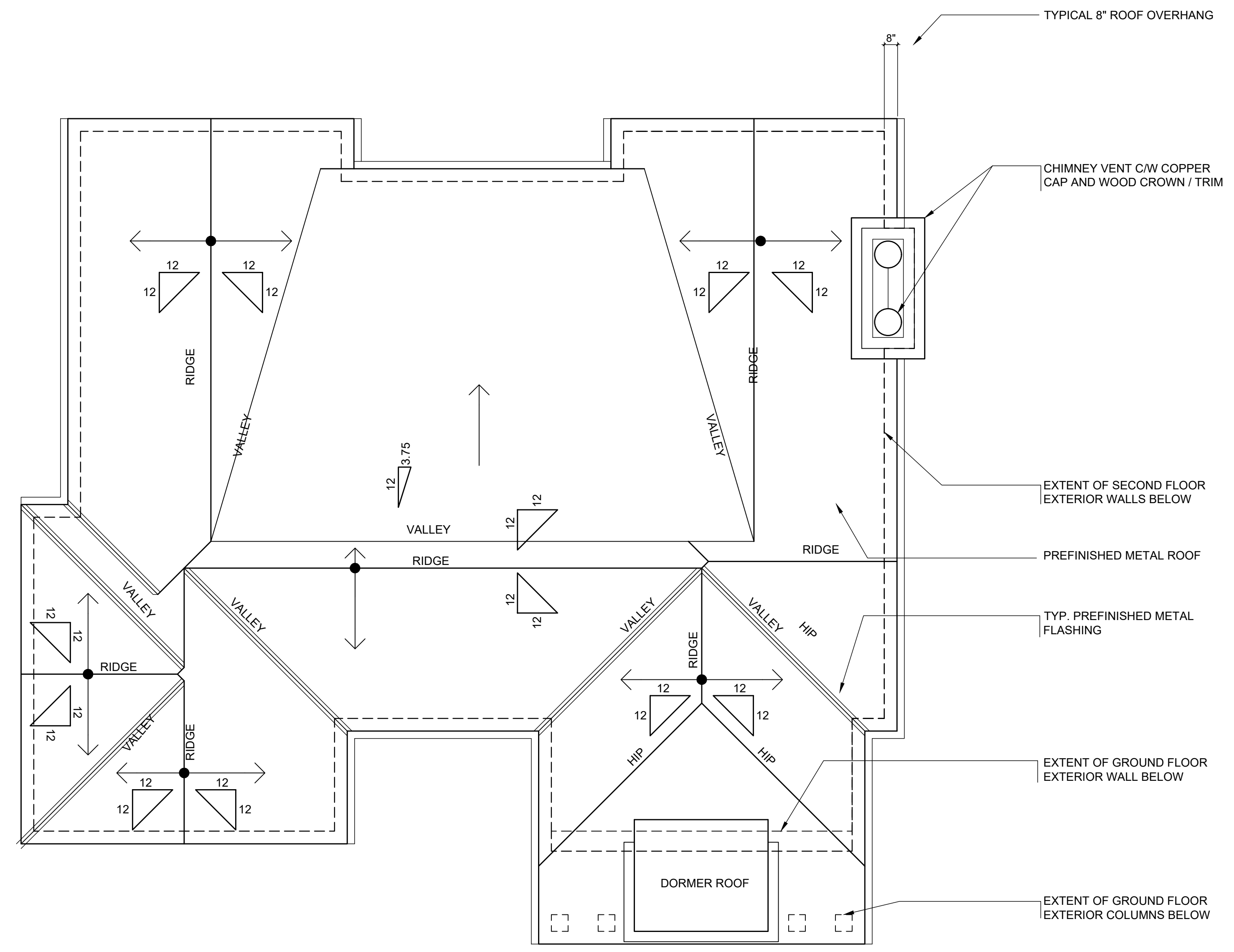
CLIENT:
THE HITCHMAN RESIDENCE

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
**SITE PLAN
SITE STATISTICS**

DRAWN: VRP	
DATE: AUG. 2024	SCALE: AS NOTED
JOB NUMBER: 24-017	SHEET NUMBER: A1.1

Drawings must NOT be scaled.
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2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT
REF. DATE:	DESCRIPTION:	
REVISIONS / ISSUANCE:		

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Guelph, Ontario N1H 0B5
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e: vincent@pezzanoarchitectural.com
www.pezzanoarchitectural.com

CLIENT:
**THE HITCHMAN
RESIDENCE**

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
ROOF PLAN

DRAWN: VRP	SCALE: AS NOTED
DATE: AUG. 2024	SHEET NUMBER:
JOB NUMBER:	

24-017 **A3.4**

1
A3.4
ROOF PLAN
SCALE: 1/4"=1'-0"

11/16/2024 C:\USERS\VINCENT\ONE\REVIEWS\DOCUMENTS\PEZZANO\CONSULTING\PROJECTS\24-017_HUGHES RESIDENCE\DRAWINGS\181 FRONT STREET.DWG



SOUTH ELEVATION

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2 24.11.05 HERITAGE REVIEW

1 24.08.28 PRE-CONSULT

REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:

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Architectural Design

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Guelph, Ontario N1H 0B5
p: 416-409-6718
e: vincent@pezzanoarchitectural.com
www.pezzanoarchitectural.com

CLIENT:
**THE HITCHMAN
RESIDENCE**

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
SOUTH ELEVATION

DRAWN: VRP

DATE: AUG. 2024 SCALE: AS NOTED

JOB NUMBER: SHEET NUMBER:

24-017

A4.1

1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		

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CLIENT:
THE HITCHMAN RESIDENCE

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
WEST ELEVATION

DRAWN: VRP	SCALE: AS NOTED
DATE: AUG. 2024	JOB NUMBER: 24-017
SHEET NUMBER: A4.2	

1 WEST ELEVATION
SCALE: 1/4"=1'-0"

11/16/2024 C:\USERS\VINCENT\ONE\REVIEWS\DOCUMENTS\PEZZANO CONSULTING\PROJECTS\24-017_HUGHES RESIDENCE\DRAWINGS\181 FRONT STREET.DWG

CHIMNEY VENT C/W COPPER
CAP AND WOOD CROWN / TRIM

10X10 WOOD POSTS

CONCRETE PORCHTOP

PREFINISHED METAL ROOF

WOOD FASCIA, FRIEZE & SOFFIT

DECORATIVE WOOD LOUVRE

WOOD WINDOW SURROUND

CEDAR PREMIUM GRADE RED LABEL
SHINGLE SIDING - PRESTAINED

WOOD CASEMENT WINDOWS WITH GRILL

WOOD FRIEZE

WOOD WINDOW SURROUND

WOOD APRON

FIN. CEILING

TOP OF WINDOW

9'-0"

8'-0"

9'-0"

SECOND FLOOR

TOP OF WINDOW

11'-0"

9'-0"

GROUND FLOOR 82.20

FIN. CLG.

ESTABLISHED GRADE - 81.40'

9'-0"

9'-10 1/2"

BASEMENT FLOOR

NORTH ELEVATION

Drawings must NOT be scaled.
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dimensions, specifications and
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discrepancies to the architect prior to
proceeding with any of the work.

2 24.11.05 HERITAGE REVIEW

1 24.08.28 PRE-CONSULT

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www.pezzanoarchitectural.com

CLIENT:
**THE HITCHMAN
RESIDENCE**

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
NORTH ELEVATION

DRAWN: VRP

DATE: AUG. 2024 SCALE: AS NOTED

JOB NUMBER: SHEET NUMBER:

24-017 A4.3

1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION

Drawings must NOT be scaled.
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CLIENT:
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RESIDENCE**

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
EAST ELEVATION

DRAWN: VRP	
DATE: AUG. 2024	SCALE: AS NOTED
JOB NUMBER:	SHEET NUMBER:

24-017 **A4.4**



TAOS & CO.[®]

A CREATIVE COMPANY

T. 647.534.4522 | E. info@taosco.ca | www.taosco.ca

STREETSCAPE

21

181

187

22



~16m

~38m

~58m

~82m

0m

TOWN OF OAKVILLE / COMMITTEE OF ADJUSTMENT

APPLICATION FOR C OF A RE 181 FRONT STREET

PREPARED BY WILLIAM HICKS

Date November 25, 2024

PLANNING RATIONAL STATEMENT

The owner of 181 Front Street has lived in this property for a number of years and his family is expanding and he wishes to remain in the old Oakville Heritage District and to reconstruct a new home and demolish the existing which was built a number of years ago.

The existing home on the site interestingly enough already exceeds the allowable coverage and gross floor area on the site. Knowing that it does not meet the intent of their family and their desire to remain on the site they wish to add approximately 500 sq ft to the house to accommodate 4 bedrooms and some common living area.

They intend to incorporate the garage into the structure which recognizes that it will be setback and less obtrusive as a single car garage.

The new development will meet all the setback requirements and is well under the maximum height on the site as it was designed with the intent of meeting the requirements of the new heritage study which has not been concluded yet.

There have been two to three discussions with Heritage on this application and revisions made along the way to satisfy their concerns and they have now recommended that we proceed with the C of A application. We will then , subject to approval by the Committee finalize our heritage applications.

We have also attended the preconsult meeting with planning and their concerns at that time were more or less in line with Heritages comments and thus by resolving heritage concerns I believe planning will support the application.

We recognize we also are subject to Halton Conservation approval as we are within their area of approval but we do not expect any concerns with them as we are well beyond their traditional 30 M setback plus slope stability line as it ends on the property across the street. Notwithstanding that we still require their approval which we will apply for subject to C of A applications.

There are two variances required to permit this proposal to proceed. The reasons for these are outlined below:

COVERAGE

The bylaw permits a maximum coverage of 25% due to the special provision zoning and its location within the heritage district.

The existing house is in fact 26.52% and we are proposing a coverage of 29.72 %.

Much of this is due to the covered porch in the back garden and the front porch added to support heritage concerns with the distinction of the front entry and to reduce any impact of the garage.

It is interesting to note that at some time the back northwestern corner of this site was cut off thus lowering its total lot area which accounts for about 1% of the excess coverage.

FLOOR AREA / LOT RATIO

The bylaw permits 30% in this area and we are proposing 42%

The existing house is already 37% and the increased area to be added for their growing family pushes this to 42% from the current 37%

It is interesting to note that at some time the back northwestern corner of this site was cut off thus lowering its total lot area which accounts for about 1% of the excess floor area.

The home has been pushed back to meet the required front yard setback at the suggestion of heritage and to create a balanced streetscape.

The house is designed so the roof line steps down as per the suggestions of the heritage district guidelines.

The existing house itself is not a house of heritage interest even though it is in the district and demolition will be supported.

This is not a development [play to build and resell as these clients have already bought an alternate house in the area that can meet their needs through the construction process and then they will come back to 181 front street.

I believe the proposed new house fits very well with the guidelines and intent of the district. It has been changed from a decidedly modern structure to one that is more traditional with shingle siding and the height of the eaves has been reduced as well as the floor area.

We believe it meets the intent and purpose of the four tests under the planning act and it is a desirable development within the district that reinforces their objectives and goals regardless of the two variances.

They are excited to proceed, and we look forward to our discussions.

Yours Truly

William R Hicks

B Arch, OAA, MRAIC

COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/011/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
A. PETRIE G. HITCHMAN	William Hicks William Hicks Holdings Inc. 905 Sangster Ave Mississauga ON, CANADA L5H 2Y3	PLAN 1 BLK 22 PT LOTS E,D 181 Front St Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential

ZONING: RL3 sp: 11, Residential

WARD: 3

DISTRICT: East

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 15.11.1 c)</i> The maximum lot coverage for all buildings shall be 25%.	To increase the maximum lot coverage for all buildings to 29.72%.
2	<i>Table 15.11.1 h)</i> Maximum residential floor area for a dwelling having two or more storeys shall be 30% of the lot area.	To increase residential floor area for a dwelling having two or more storeys to 42% of the lot area.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services:

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/011/2025 - 181 Front St (East District) (OP Designation: Low Density Residential)

The applicant proposes to replace the existing two-storey dwelling with detached garage with a new two-storey dwelling with an attached garage subject to the variances listed above.

Site Area and Context

The subject lands are designated under Part V of the *Ontario Heritage Act* as part of the Old Oakville Heritage Conservation District. The site is a non-contributing property and the existing building can be replaced. The property is also subject to Bill 197 and requires a Minor Site Plan approval. Staff note that a new dwelling has been constructed at 187 Front Street to the immediate east of the subject lands. The site plan diagram shown in Figure 1 below illustrates the existing dwelling footprint and the proposed new dwelling.



Figure 1 – Site Plan

Staff note that the existing dwelling already exceeds the maximum floor area ratio at 37% (30% is the maximum permitted), and the maximum lot coverage at 26.52% (25% is the maximum permitted). The new dwelling includes large front and rear porches which is a characteristic of the Old Oakville Heritage Conservation District. A streetscape plan is provided in Figure 2 below, that demonstrates the scale of the proposed dwelling in comparison to the dwellings to the east and west.



Figure 2 – Streetscape Plan

Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variance from the provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met.

Staff's comments concerning the application of the four tests to this minor variance request are as follows:

Does the proposal maintain the general intent and purpose of the Official Plan?

The subject property is designated Low Density Residential by Livable Oakville. Development is required to be evaluated using the criteria established in Section 11.1.9 to maintain and protect the existing neighbourhood character. Additionally, the property is designated under Part V of the *Ontario Heritage Act*, and Section 5 of the Livable Oakville Official Plan also applies. Staff note that the form of the dwelling is traditional with gable roofs and a prominent covered front porch reflective of the Heritage District character. While the garage is integral to the dwelling (rather than detached) it has been design as a single-bay and is set back from the front porch. The entire proposed dwelling has been set back from the street to reduce its prominence, and its height is consistent with the heights found on the street, as shown in Figure 2 above. It is staff's opinion that the dwelling both maintains the integrity of the Old Oakville Heritage Conservation District, and also maintains and protects the character of the neighbourhood. On this basis, the proposal maintains the general intent and purpose of the Official Plan.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

Variance #1 – Maximum Lot Coverage (No Objection) – Increased from 25% to 29.72%

Variance #2 – Maximum Residential Floor Area Ratio (No Objection) – Increased from 43% to 51%

The applicant proposes an increase in lot coverage from 25% to 29.72%, and an increase in residential floor area ration from 30% to 42%. The intent of the Zoning By-law provision for lot coverage and residential floor area is to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding neighbourhood. As noted above, the existing dwelling has a lot coverage of 26.52% and a floor area ration of 37%. It is staff's opinion that the proposed architectural elements have been incorporated into the dwelling in a manner which preserve the surrounding

heritage district attributes. The proposed dwelling has mitigated the impacts of massing and scale by pushing back the main wall and further recessing the garage. An open air front porch also breaks up the massing of the front façade and is a feature that reflects the surrounding heritage character. Lastly, the height of the dwelling is proposed at 9.02 m whereas 10.50 m is the maximum permitted, maintaining the character of the heights found in the neighbourhood and reducing the visual prominence of the dwelling on the streetscape. On this basis, it is staff's opinion that the requested variances maintain the general intent of the Zoning By-law.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff are of the opinion that the proposal represents appropriate development of the subject property. The proposed development will require a minor site plan approval where grading and drainage will be more closely evaluated. The variances are minor in nature and will not create any undue adverse impacts to adjoining properties or the existing neighbourhood character.

Recommendation:

Staff do not object to the proposed variance. Should this minor variance request be approved by the Committee, the following conditions are recommended:

1. The dwelling be constructed in general accordance with the submitted site plan and elevations dated 24.11.05; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit an increase to the maximum lot coverage for all buildings to 29.72% and an increase to the residential floor area to 42% of the lot area, under the requirements of the Town of Oakville Zoning By-law for the purpose of permitting the construction of a two-storey detached dwelling on the Subject Property.

Halton Conservation:

Conservation Halton (CH) staff has reviewed the materials for 181 Front St Minor Variance application, as per our regulatory responsibilities under the *Conservation Authorities Act* (CA Act) and Ontario Regulation 41/24 and our provincially delegated responsibilities under Ontario Regulation 686/21 (e.g., acting on behalf of the province to ensure decisions under the *Planning Act* are consistent with the natural hazards policies of the Provincial Planning Statement [PPS, Sections 5.1.1-5.2.8] and/or provincial plans).

Variance Request: To permit the construction of a two-storey detached dwelling on the subject property, variances are requested to increase the maximum lot coverage for all buildings to 29.72% and to increase residential floor area for a dwelling having two or more storeys to 42% of the lot area.

CH Regulatory Comments: Under Part VI of the CA Act and Ontario Regulation 41/24, CH regulates all watercourses, valleylands, wetlands, Lake Ontario Shoreline and hazardous lands as well as lands adjacent to these features. The subject property, 181 Front St, Oakville, is adjacent to the shoreline of Lake Ontario. Through the review of plans for development activities along the shoreline, CH seeks to ensure that waterfront development activity will generally be directed to areas outside of hazardous lands. Hazardous lands are those lands adjacent to the shoreline of the Great Lakes - St. Lawrence River System, which are impacted by flooding, erosion, and/or dynamic beach hazards, as well as applicable regulated allowances. The combination of these hazardous lands delineates the extent of the development setback and is determined on-site specific conditions. Permits are required from CH prior to undertaking development activities within CH's regulated area and applications are reviewed under the *Conservation Authorities Act*, Ontario Regulation 41/24 and CH's Regulatory Policies and Guidelines (<https://conservationhalton.ca/policies-and-guidelines>).

While the property is considered to be partially within the erosion hazard of Lake Ontario based on CH's Approximate Regulation Limit (ARL) mapping, staff is of the opinion that the proposed development activities are appropriately set back from the shoreline to meet CH policies. A CH Permit (Private Landowner – Minor) is required for the proposed development activities prior to initiating works, should the variances be approved.

Ontario Regulation 686/21 - Provincial Planning Statement (Sections 5.1.1-5.2.8)
CH staff is of the opinion that the proposed development is appropriately set back from the shoreline, consistent with Policy 5.2 of the PPS, which generally directs development to areas outside hazardous lands adjacent to the shorelines of the Great Lakes.

Recommendation

Based on the above, CH staff has no objection to the approval of the requested variances. Please circulate CH on any revisions to identify any further comments or requirements. Note that a CH Permit is required for the proposed development activities prior to the initiation of works.

Oakville Hydro: We do not have any comments for this group of minor variance applications.

Union Gas: No comments received.

Letter(s) in support – None

Letter(s) in opposition – 1

coarequests

From: Richard Parrott [REDACTED]
Sent: January 31, 2025 8:55 AM
To: coarequests
Subject: Re: [EXTERNAL] 181 Front Street

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: JEN

Good morning. Thank you for the response. I would like to formally file an objection as well as be available for the actually meeting. We are preparing some documents and images that will further illustrate why we are objecting. Shall I assume they should be shared prior? Thank you.

Richard

<

> To whom it may concern.

>

> My name is Richard Parrott and I am the owner of a home at [REDACTED] King Street in Oakville. Our property abuts the property located at 181 Front Street that is making an application for a variance. Ms. Van Sligtenhorst indicated that, I should email you to insure we are included in any communication and can voice a concern or objection to the application. I am in the process of preparing some information to present and would appreciate any feedback that would help guide me as to the correct procededures that should be followed. Thank you.

>

> Richard Parrott

[REDACTED]

>

General notes for all applications:

Note: The following standard comments apply to all applications. Any additional application specific comments are as shown below.

- The applicant is advised that permits may be required should any proposed work be carried out on the property i.e. site alteration permit, pool enclosure permit, tree preservation, etc.
- The applicant is advised that permits may be required from other departments/authorities (e.g. Engineering and Construction, Building, Conservation Halton etc.) should any proposed work be carried out on the property.
- The applicant is advised that any current or future proposed works that may affect existing trees (private or municipal) will require an arborist report.
- The applicant is advised that any current or future proposed works will require the removal of all encroachments from the public road allowance to the satisfaction of the Engineering and Construction Department.
- The applicant is advised that the comments provided pertain only to zoning and are not to be construed as a review or approval of any proposal

for the site. This review will be carried out through the appropriate approval process at which time the feasibility/scope of the works will be assessed.

- Unless otherwise states, the Planning basis for the conditions referenced herein are as follows:

- Building in general accordance with the submitted site plan and elevation drawings is required to ensure what is requested and ultimately approved, is built on site. This provides assurance and transparency through the process, noting the documents that are submitted with the application, provide the actual planning, neighbourhood and site basis for the request for the variances, and then the plans to be reviewed through the building permit and construction processes.

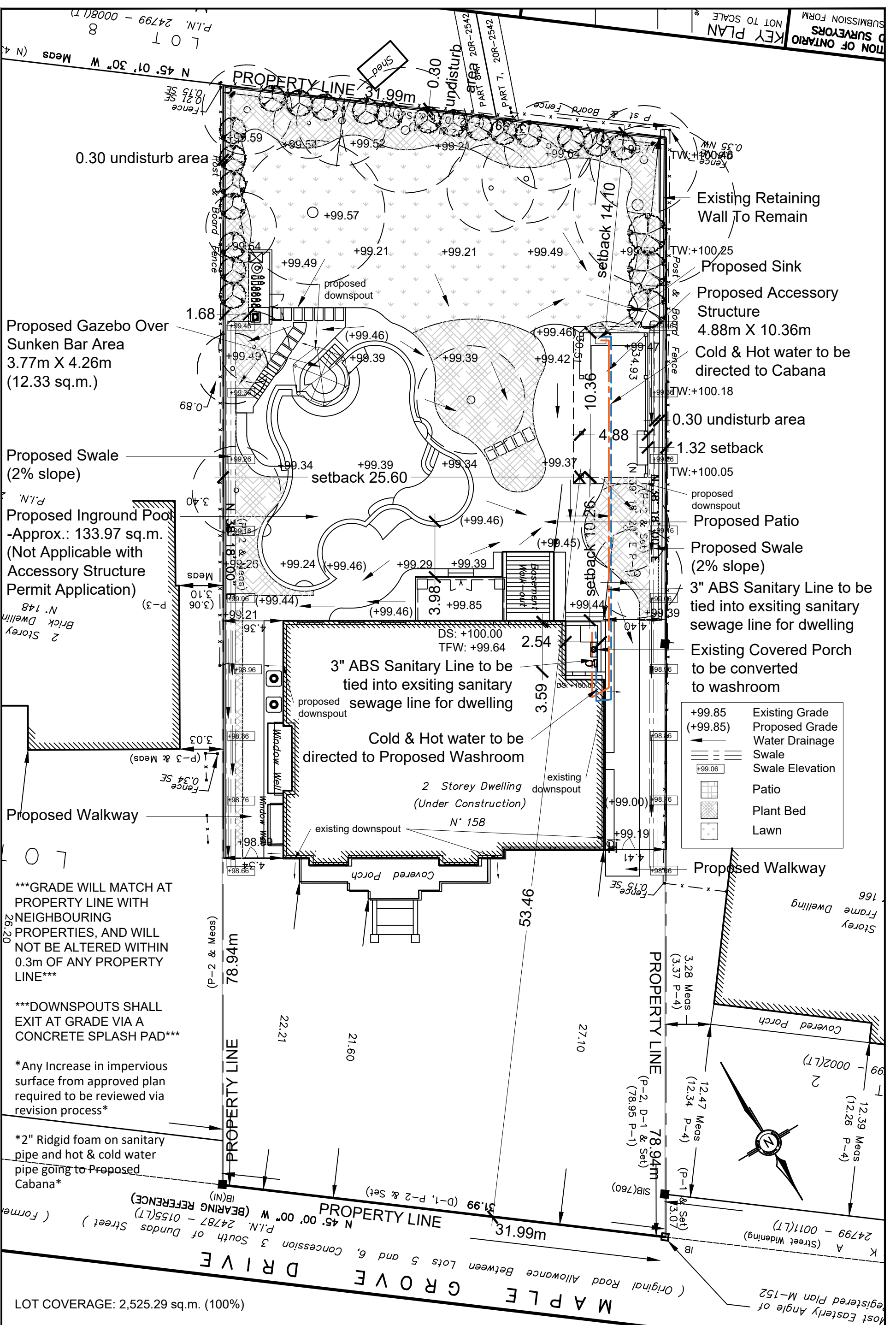
- A two (2) year timeframe allows the owner to obtain building permit approval for what is ultimately approved within a reasonable timeframe of the application being heard by the Committee of Adjustment based on the requirements when it is processed, but cognizant of the ever-changing neighbourhoods, policies and regulations which might then dictate a different result. Furthermore, if a building permit is not obtained within this timeframe, a new application would be required and subject to the neighbourhood notice circulation, public comments, applicable policies and regulations at that time.

Requested conditions from circulated agencies:

1. The dwelling be constructed in general accordance with the submitted site plan and elevations dated 24.11.05; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

J. Ulcar

Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment



GRADE WILL MATCH AT PROPERTY LINE WITH NEIGHBOURING PROPERTIES, AND WILL NOT BE ALTERED WITHIN 0.3m OF ANY PROPERTY LINE

DOWNSPOUTS SHALL EXIT AT GRADE VIA A CONCRETE SPLASH PAD

Any Increase in impervious surface from approved plan required to be reviewed via revision process

2" Ridgid foam on sanitary pipe and hot & cold water pipe going to Proposed Cabana

LOT COVERAGE: 2,525.29 sq.m. (100%)

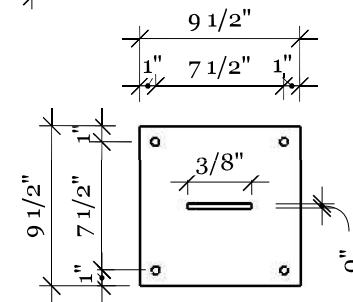
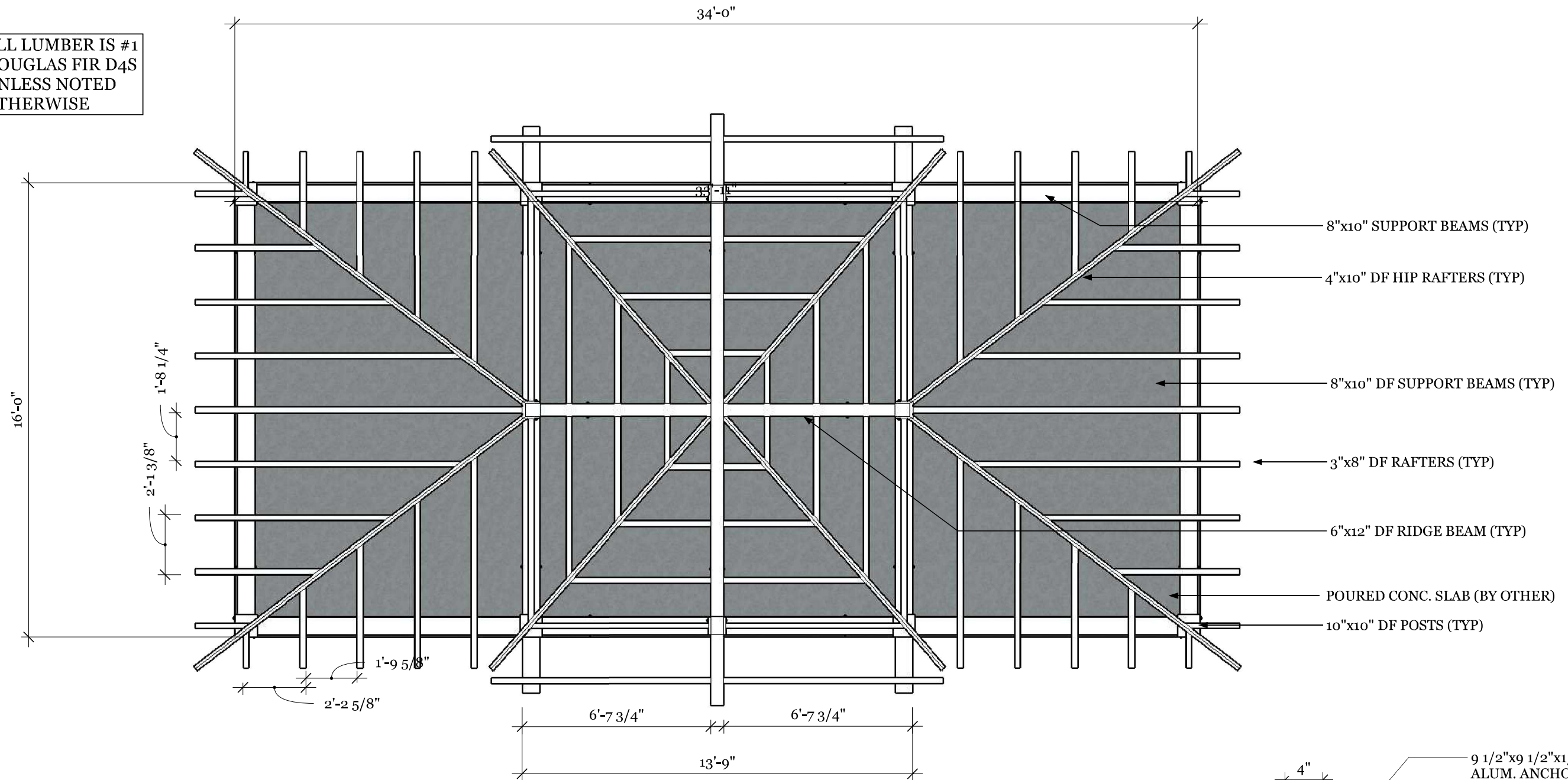
Existing Dwelling: 438.49 sq.m. (17.36%)
 Proposed Accessory Structure: 50.56 sq.m. (2.00%)
 Proposed Gazebo Structure: 12.33 sq.m. (0.49%)

Total Structure Coverage: 501.38 sq.m. (19.85%)

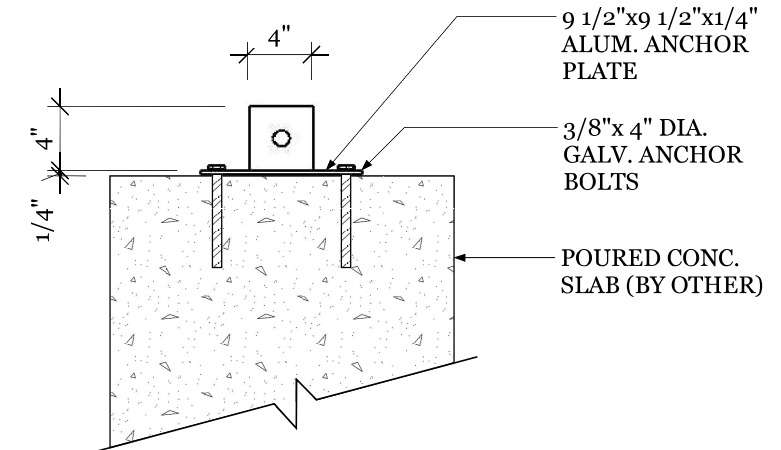
158 Maple Grove Drive,
 Oakville, ON

Scale	1 = 250	Date	November 22, 2024
Drawing	Site Plan	Drawing No.	SP01

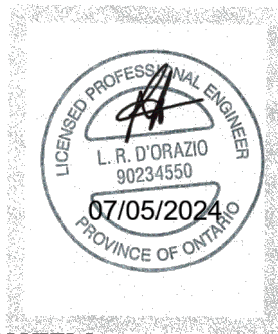
ALL LUMBER IS #1
DOUGLAS FIR D4S
UNLESS NOTED
OTHERWISE



ANCHOR PLATE PLAN DETAIL
N.T.S.



ANCHOR PLATE SECTION DETAIL
N.T.S.



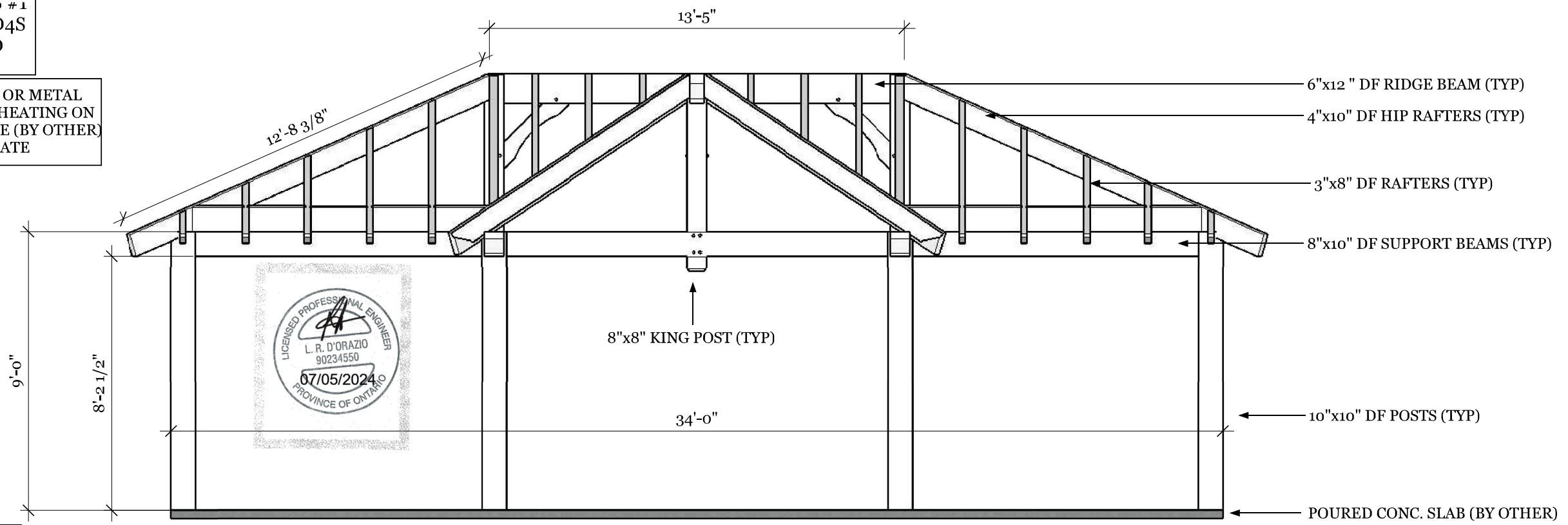
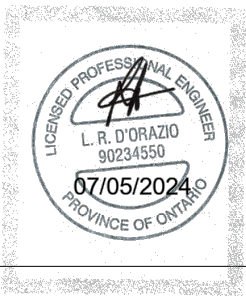
PLAN VIEW
1/4" = 1'-0"

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

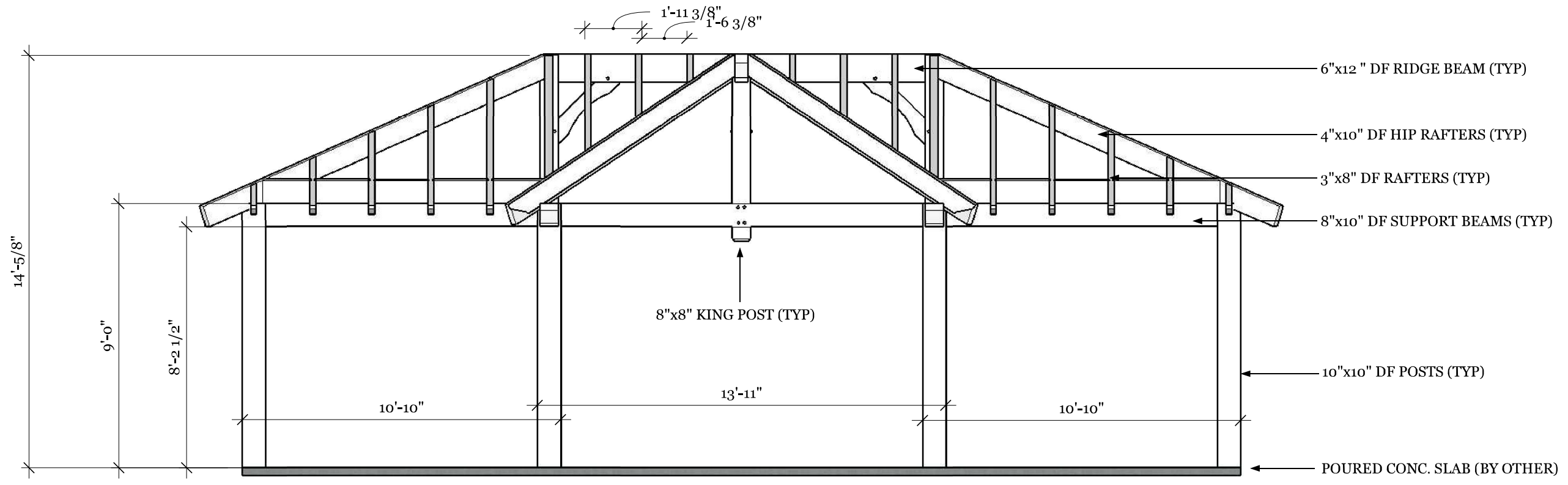
Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Plan & Pier Footing Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

ALL LUMBER IS #1
DOUGLAS FIR D4S
UNLESS NOTED
OTHERWISE

ASPHALT SHINGLES OR METAL
ON 1/2" PLYWOOD SHEATING ON
1/6" PINE SUBSTRATE (BY OTHER)
OR 2/6" PINE SUBSTRATE



FRONT ELEVATION
1/4"=1'-0"



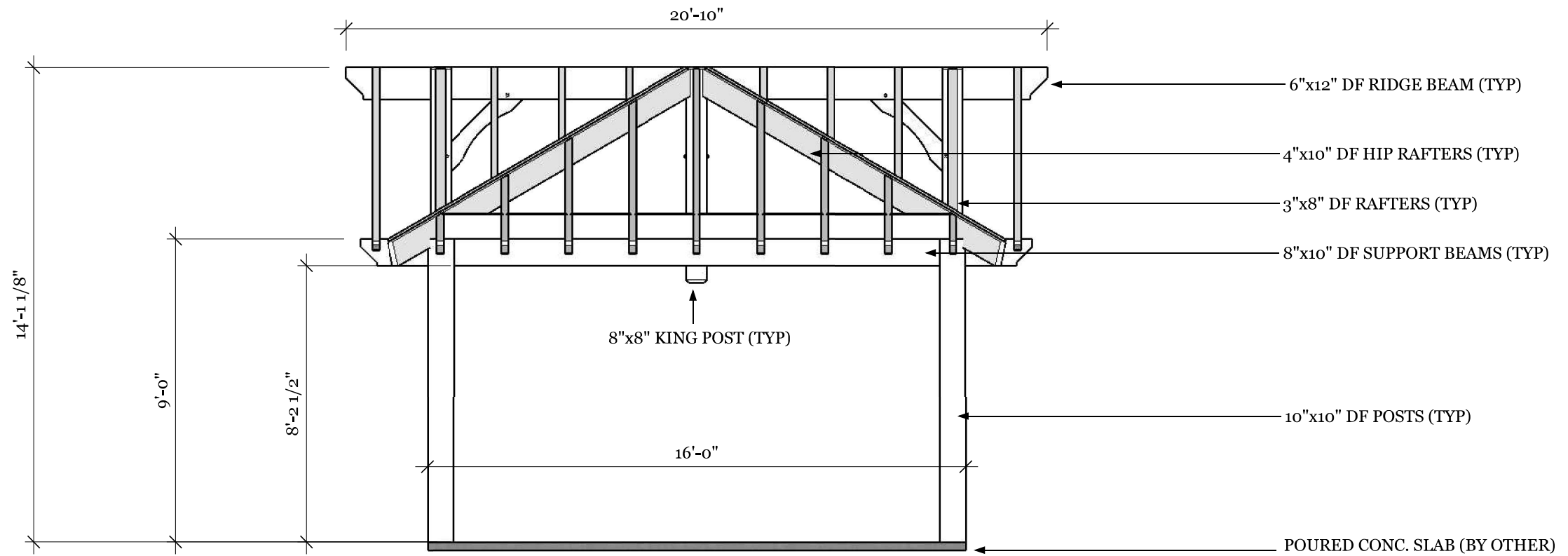
REAR ELEVATION
1/4"=1'-0"

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24
1	S.B	ENGINEER REVIEW	07/05/24

Tahboub Residence- Hexagon Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

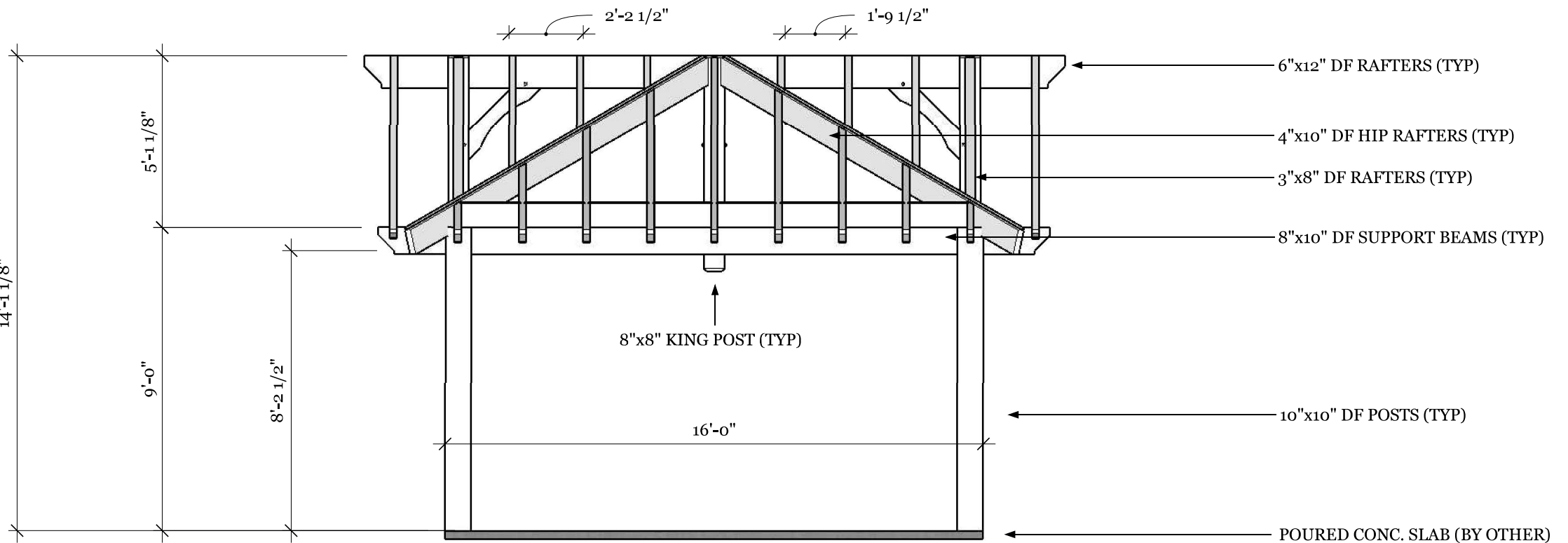
ALL LUMBER IS #1 DOUGLAS FIR D4S UNLESS NOTED OTHERWISE

ASPHALT SHINGLES OR METAL ON 1/2" PLYWOOD SHEATING ON 1/6" PINE SUBSTRATE (BY OTHER) OR 2/6" PINE SUBSTRATE



SIDE ELEVATION

1/4=1'-0"



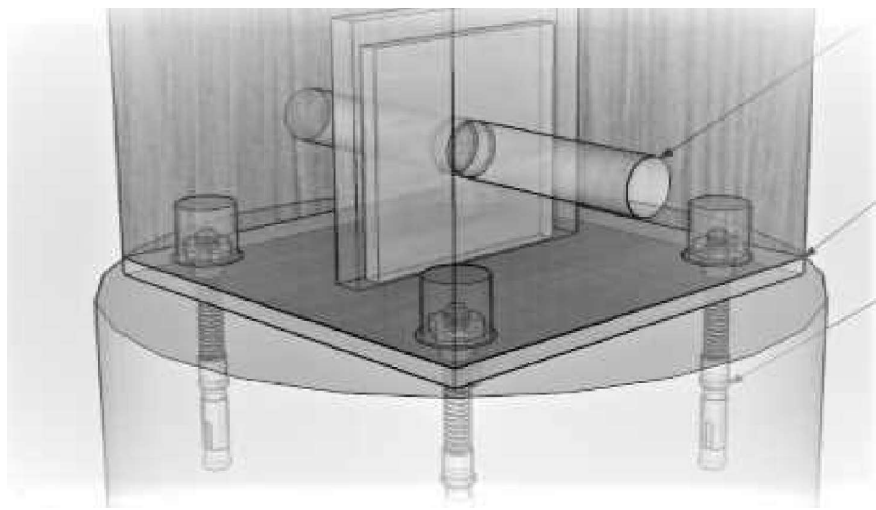
SIDE ELEVATION

1/4=1'-0"

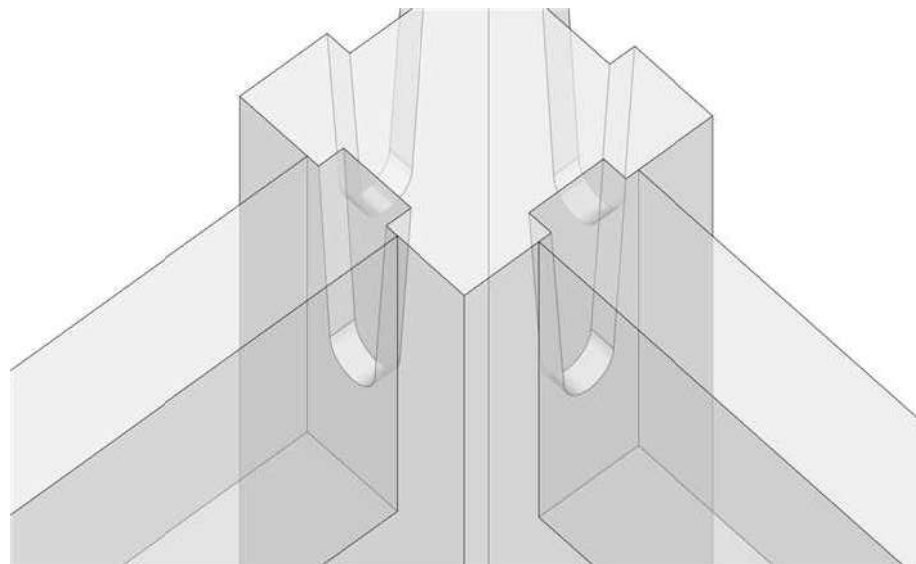


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24
2	S.B	ENGINEER REVIEW	07/05/24

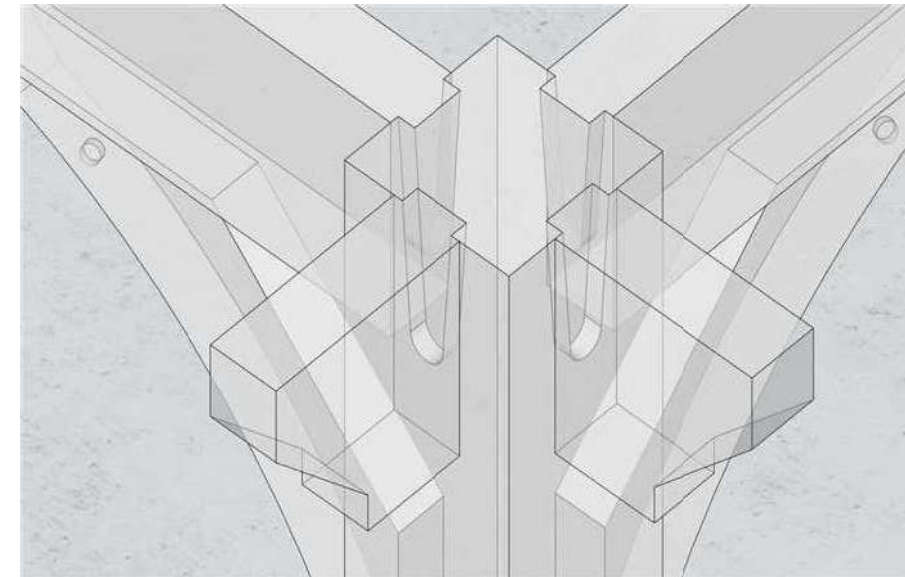
Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:



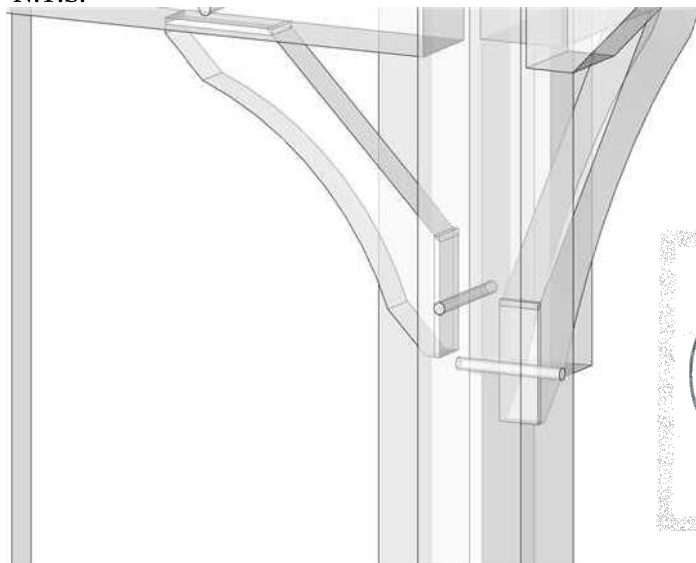
POST/ANCHOR PLATE CONNECTION SONO TUBES or OTHER METHOD
N.T.S.



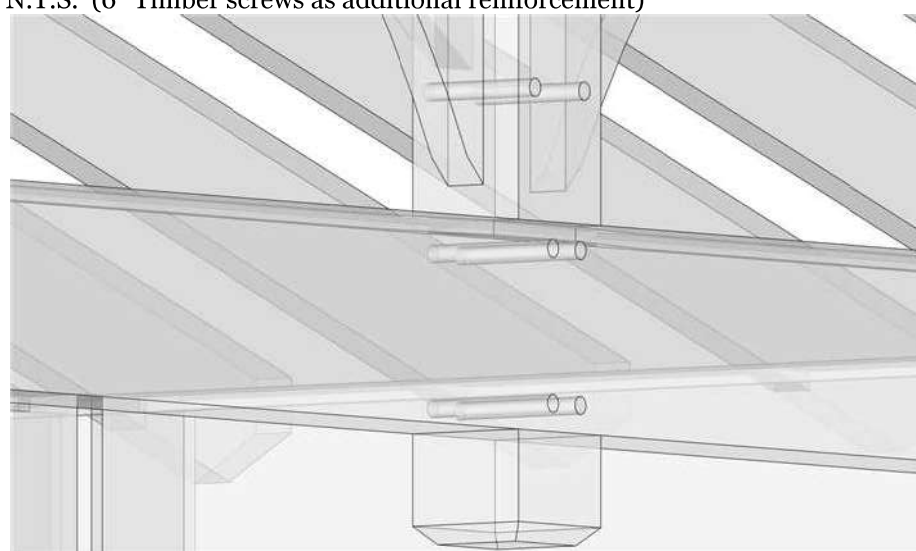
POST/SUPPORT BEAM CONNECTION (DOVE TAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



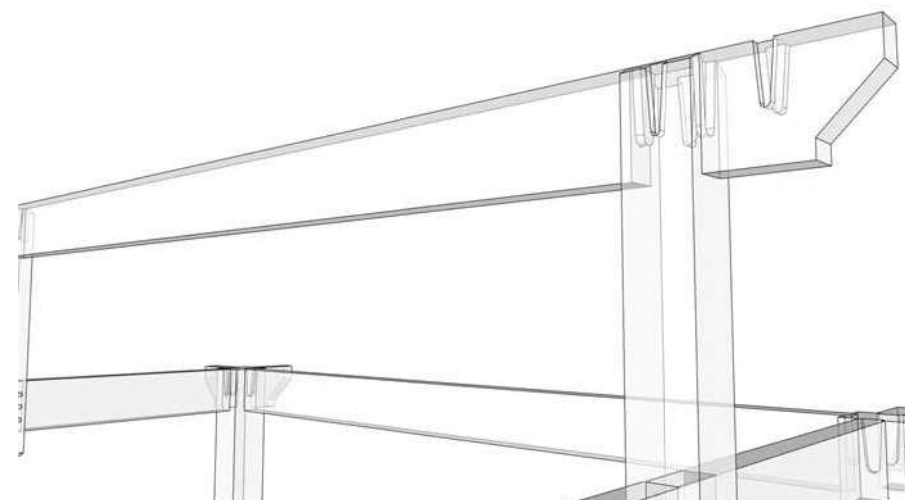
POST/OVERHANG CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



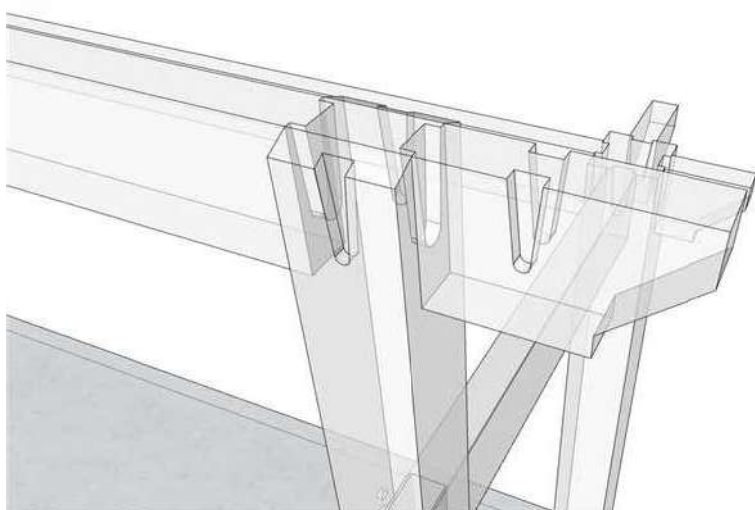
MORTICE BRACE/POST CONNECTION
N.T.S. (Straight tenon connection secured with 1" x 1 1/2" oak dowel)



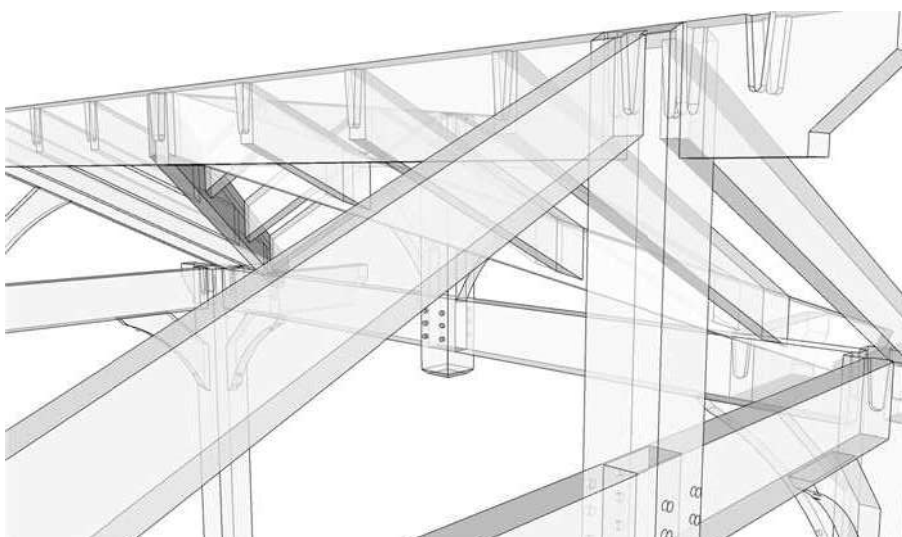
KING POST/SUPPORT BEAM CONNECTION
N.T.S.



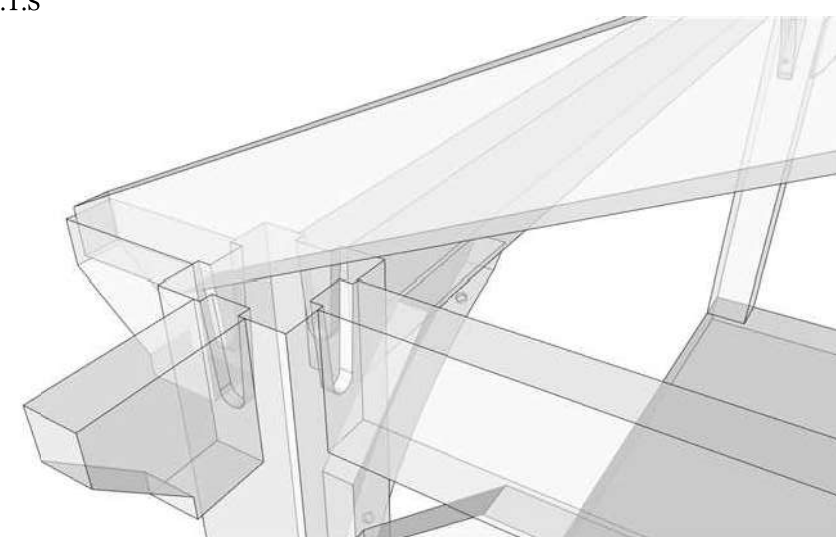
KING POST/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



KING POST/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



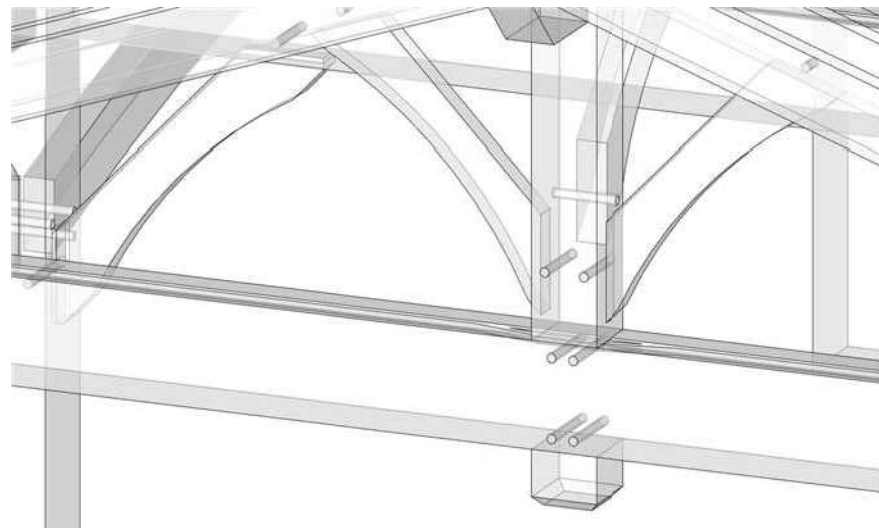
QUEEN RAFTER/KING POST CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" timber screw used for additional reinforcement)



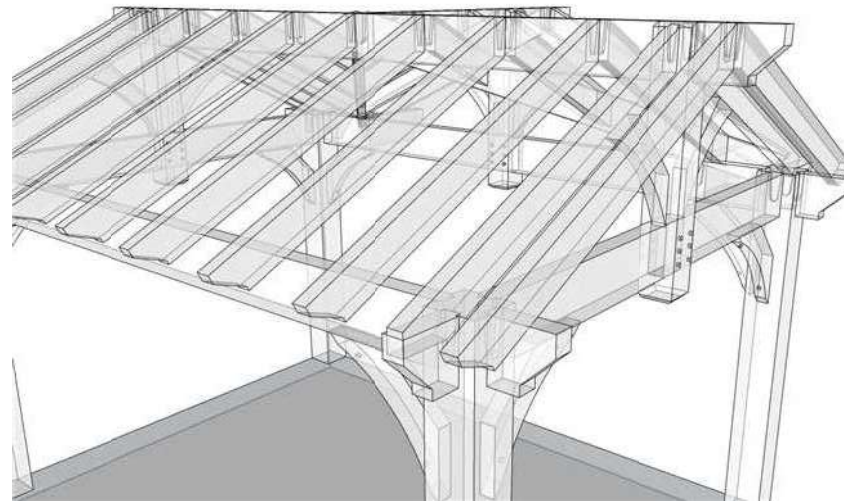
QUEEN RAFTER/OVERHANG CONNECTION
N.T.S. (11" timber screw thru queen rafter to post overhang)

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

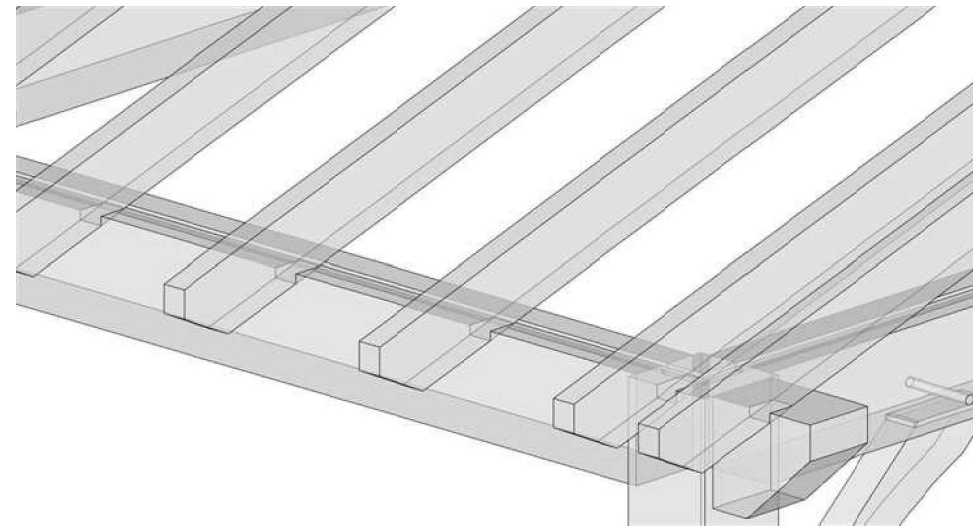
Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: General Connection Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:



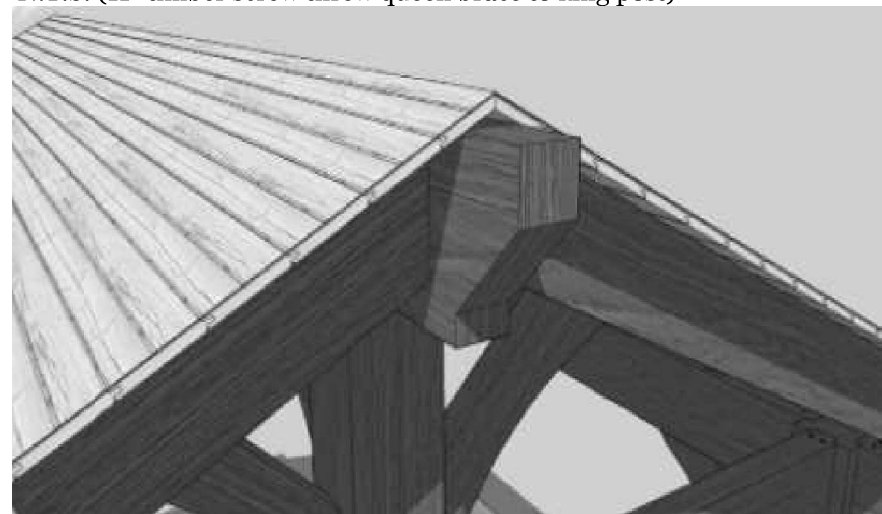
QUEEN BRACES/QUEEN RAFTER CONNECTION
N.T.S. (11" timber screw threw queen brace to king post)



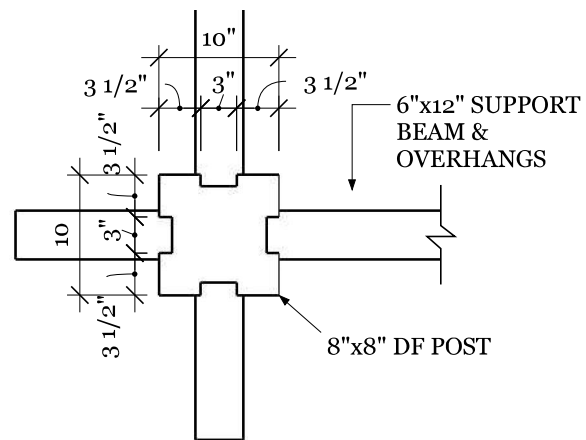
RAFTERS/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



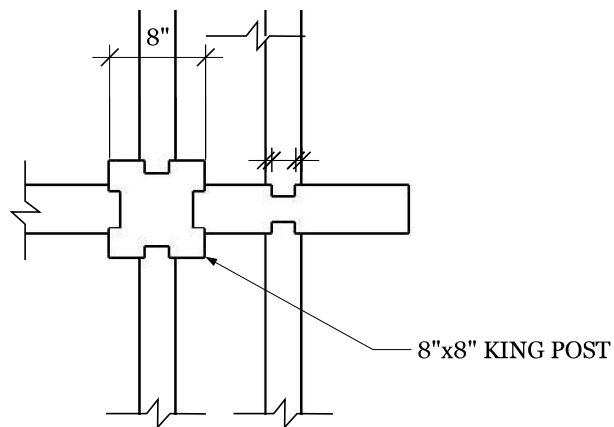
RAFTERS/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



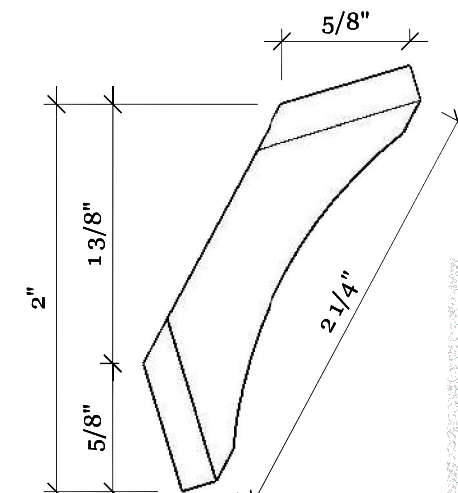
T&G ROOFING MATERIAL (1x6 or 2x6)
N.T.S.



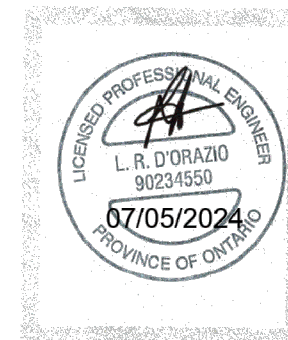
POST/SUPPORT BEAM CONNECTION
3/4"=1'-0"



KING POST/RIDGE BEAM CONNECTION
3/4"=1'-0"



MORTISE BRACE DETAIL
3/4"=1'-0"



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

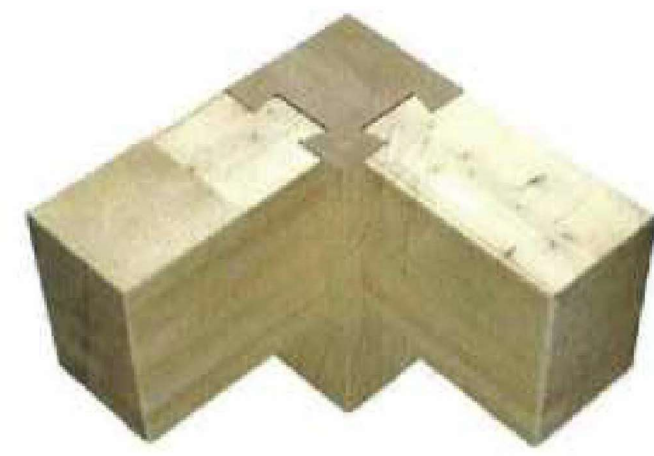
Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

		Timber width (inches)		1 3/4"	4"	6"	8"	10"	12"
50 B 50 N		min. w 1 3/4 x h 3 1/2" max. w 4 x h 13"		w 1 3/4 - 4"		T 3 1/2 - 9"		528 - 1'672 lbs	
80 B 80 N		min. w 3 1/8 x h 3 1/2" max. w 5 1/2 x h 13"		w 3 1/8 - 5 1/2"		T 3 1/2 - 9"		726 - 2'178 lbs	
120 B 120 N		min. w 4 3/4 x h 3 1/2" max. w 8 x h 15"		w 4 3/4 - 8"		T 3 1/2 - 10 1/4"		1'100 - 3'630 lbs	
160 B		min. w 6 x h 3 1/2" max. w 12 x h 16"		w 6 - 12"		T 3 1/2 - 12"		1'232 - 4'620 lbs	

Min. / max. section
(width x height)

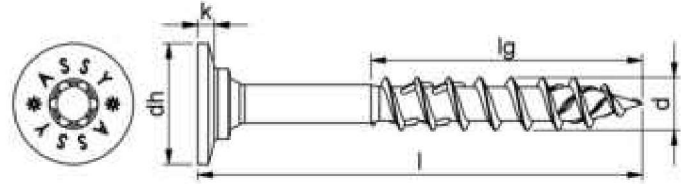
Optimal timber widths

Min. / max. working loads (lbs)
depending on dimensions



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

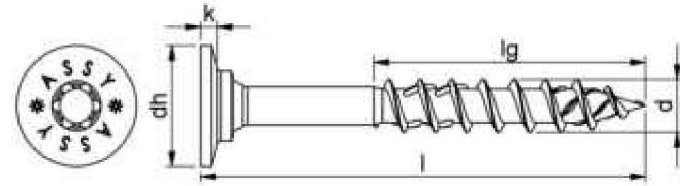


Nominal diameter (d)	8 mm
Length (l)	100 mm
Thread length (lg)	60 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

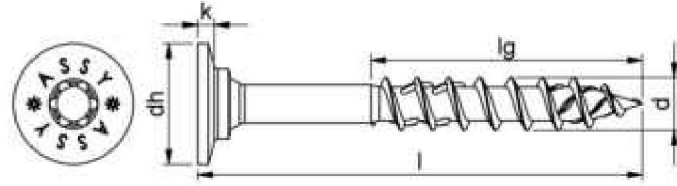
Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:



Nominal diameter (d)	8 mm
Length (l)	160 mm
Thread length (lg)	80 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes



ASSY 4.0 WHII TS RW40 ZN M8X300 177.580300



Nominal diameter (d)	8 mm
Length (l)	300 mm
Thread length (lg)	100 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes



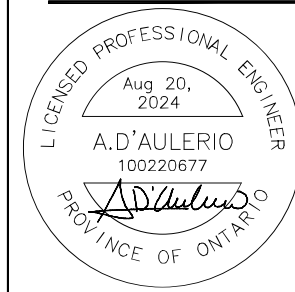
REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

DRAWINGS MUST NOT BE SCALED.

ALL DRAWINGS AND SPECIFICATIONS ARE AND REMAIN THE PROPERTY OF VALENCIA ENGINEERING CORP WHETHER THE WORK IS EXECUTED OR NOT. VALENCIA ENGINEERING CORP. RESERVES THE COPYRIGHT IN THEM AND THEY SHALL NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION BY VALENCIA ENGINEERING CORP.



ISSUED FOR:

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
REVIEW	PERMIT	TENDER	CHANGE	CONSTR

1.	Issued For Permit	Aug 20, 2024
No.	Issuance	Date

Project Name
Betz - Tahboub Residence
158 Maple Grove Drive, Oakville

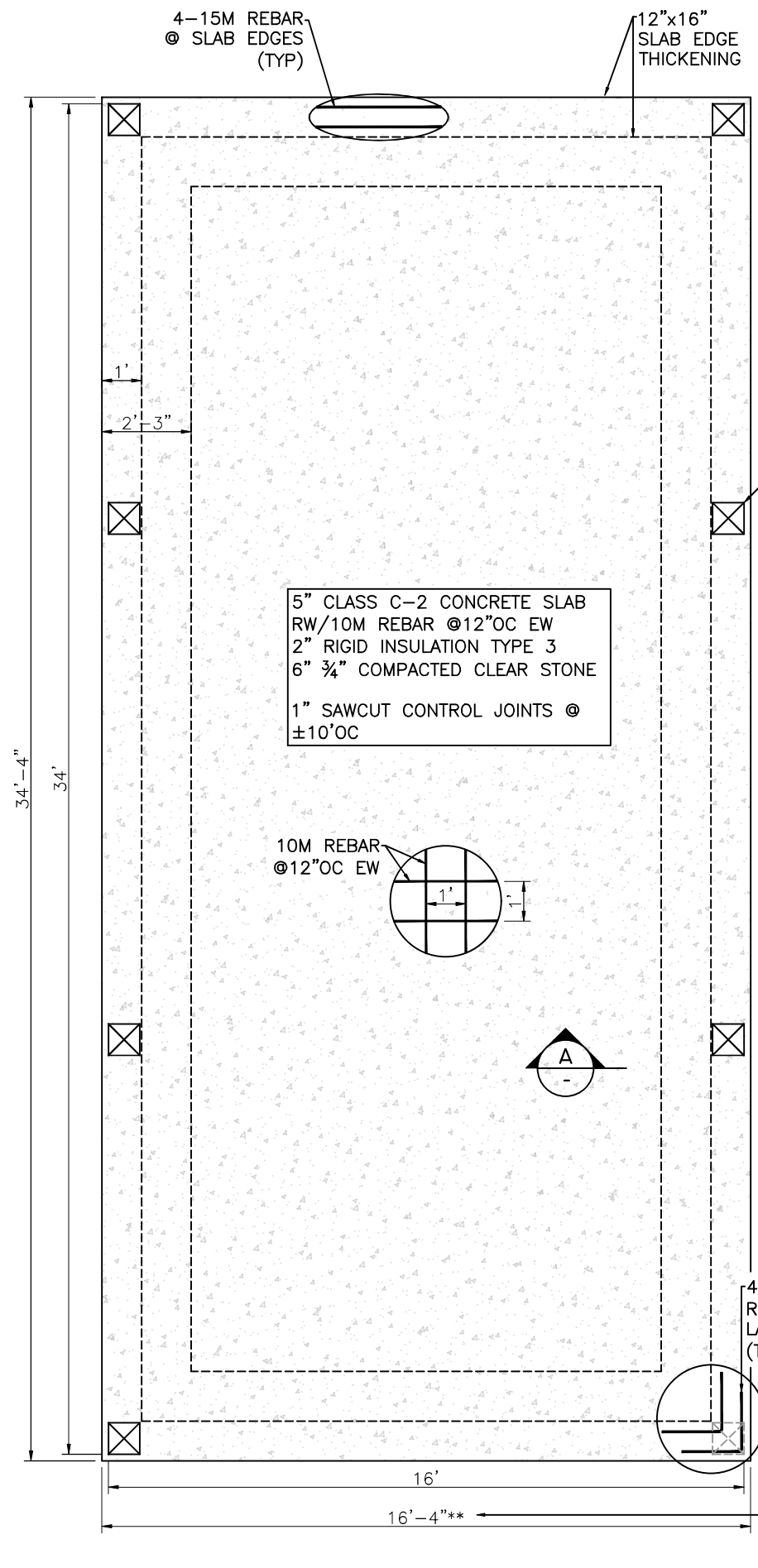
Proposed Accessory Structure
Foundations

Sheet Title
Covered Lounge Area Foundation

Drawn By: T.D Scale: As Shown
Designed By: T.D Date: Aug 20, 2024
VEC Project Number: VCE24-040

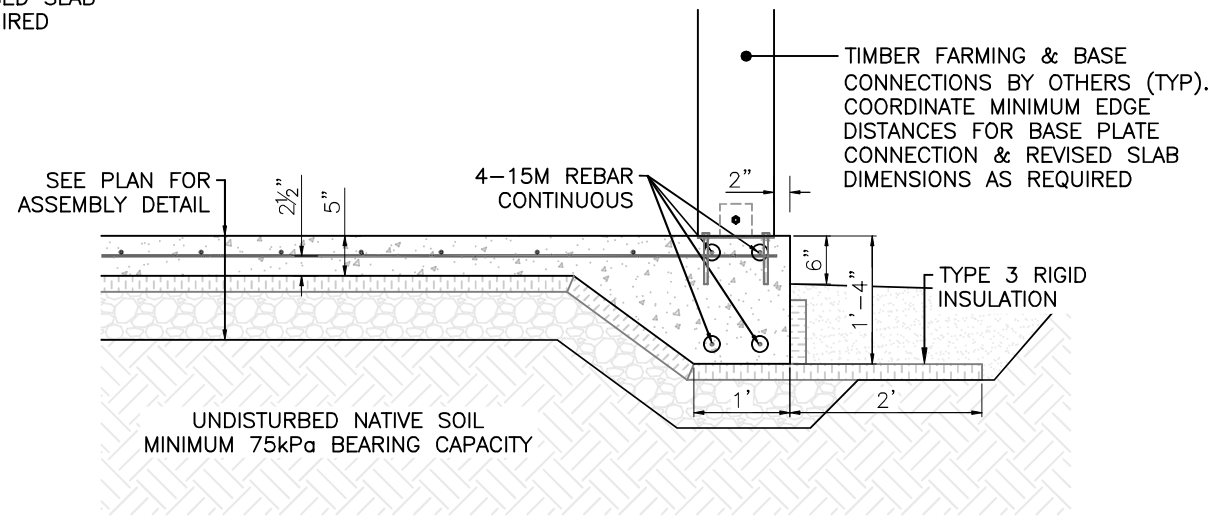
Sheet Number Revision

S201 **0**



COVERED LOUNGE FOUNDATION PLAN
SCALE 1/4"=1'

TIMBER FARMING & BASE CONNECTIONS BY OTHERS (TYP). COORDINATE MINIMUM EDGE DISTANCES FOR BASE PLATE CONNECTION & REVISED SLAB DIMENSIONS AS REQUIRED



SECTION A-A
SCALE 1/2"=1'

4-15M 18'x18" CORNER REBAR. PROVIDE MIN 16" LAP TO SLAB EDGE REBAR (TYP)

**SLAB IS SHOWN 4" GREATER THAN WALL DIMENSION TO ALLOW FOR SITE & CONSTRUCTION ADJUSTMENT THIS MAY BE REVISED FROM 0" TO 4" TO SUIT

Notice of Public Hearing Committee of Adjustment Application



File # A/012/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
A. Tahboub	Paul Guest Betz Pools Limited 5688 MAIN St STOUFFVILLE ON, Canada L4A 2T1	158 Maple Grove Dr CON 3 SDS PT LOT 6

Zoning of property: RL1-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit an accessory structure (pavilion) on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.5.2 c)</i> The maximum height for any accessory building or structure shall be 4.0 metres measured from grade.	To increase the maximum height for the accessory structure to 4.30 metres measured from grade.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow

all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

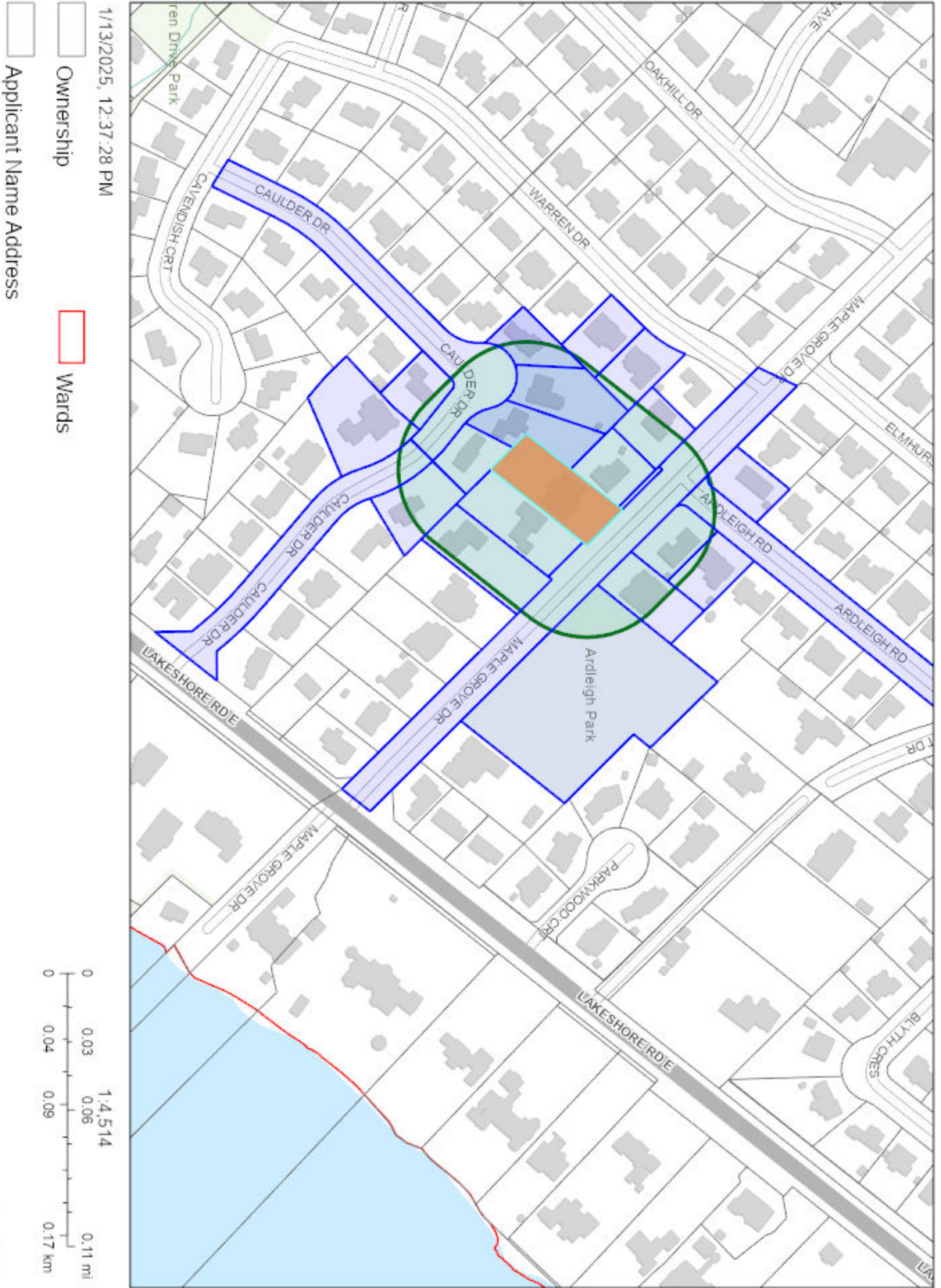
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/012/2025 - 158 Maple Grove Drive



COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/012/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
A. TAHBOUB	Paul Guest Betz Pools Limited 5688 Main St STOUFFVILLE ON, Canada L4A 2T1	CON 3 SDS PT LOT 6 158 Maple Grove Dr Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential - Special Policy Area

ZONING: RL1-0, Residential

WARD: 3

DISTRICT: East

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit an accessory structure (pavilion) on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.5.2 c)</i> The maximum height for any accessory building or structure shall be 4.0 metres measured from grade.	To increase the maximum height for the accessory structure to 4.30 metres measured from grade.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services:

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/012/2025 – 158 Maple Grove Dr (East District) (OP Designation: Low Density Residential - Special Policy Area)

The applicant proposes to construct a one-storey accessory structure (pavilion), subject to the variance listed above.

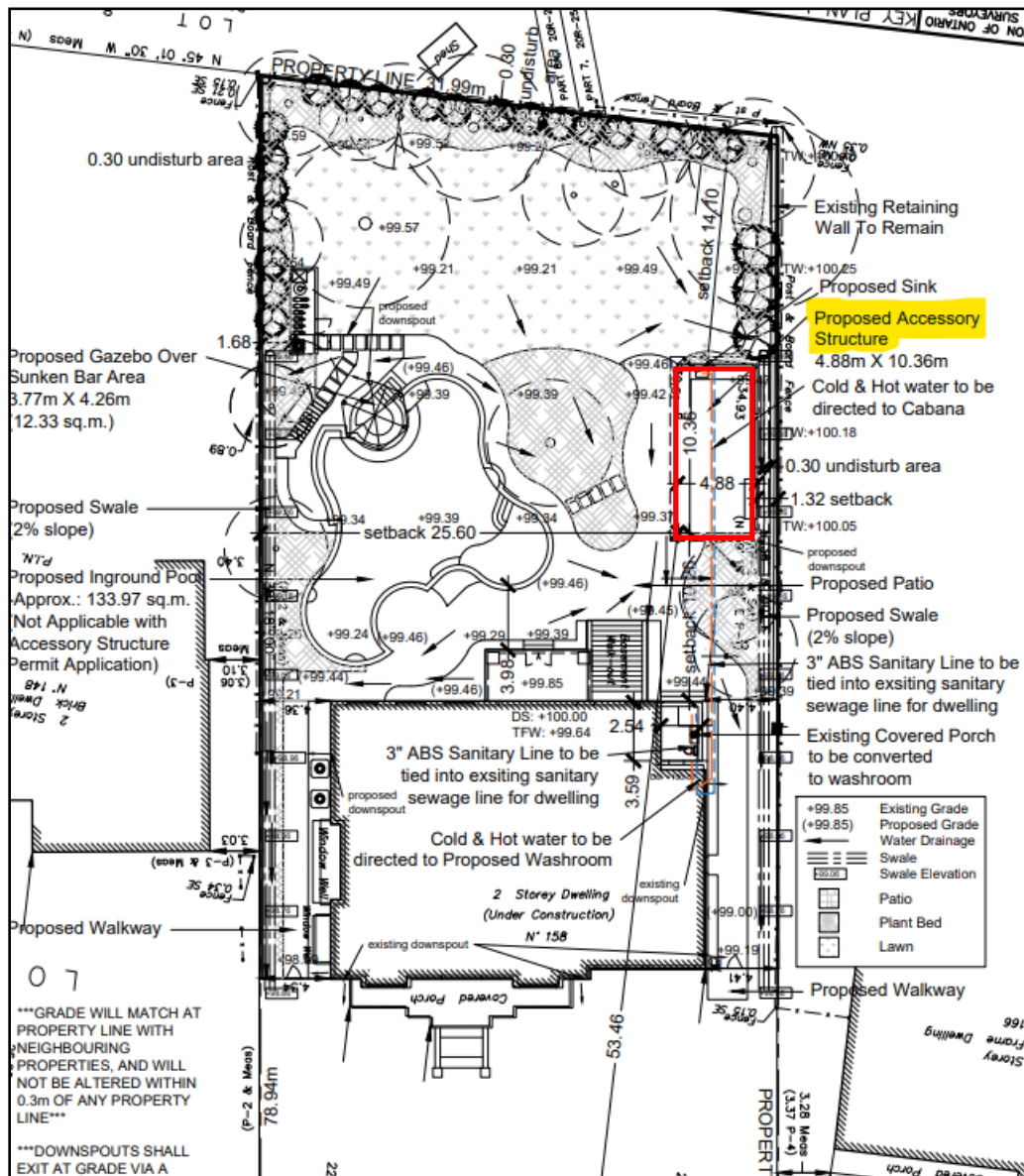
Site Area and Context

The subject lands are within a neighbourhood that predominantly consists of two-storey dwellings with some newer two-storey dwellings ranging in architectural forms and design having been constructed within recent years.



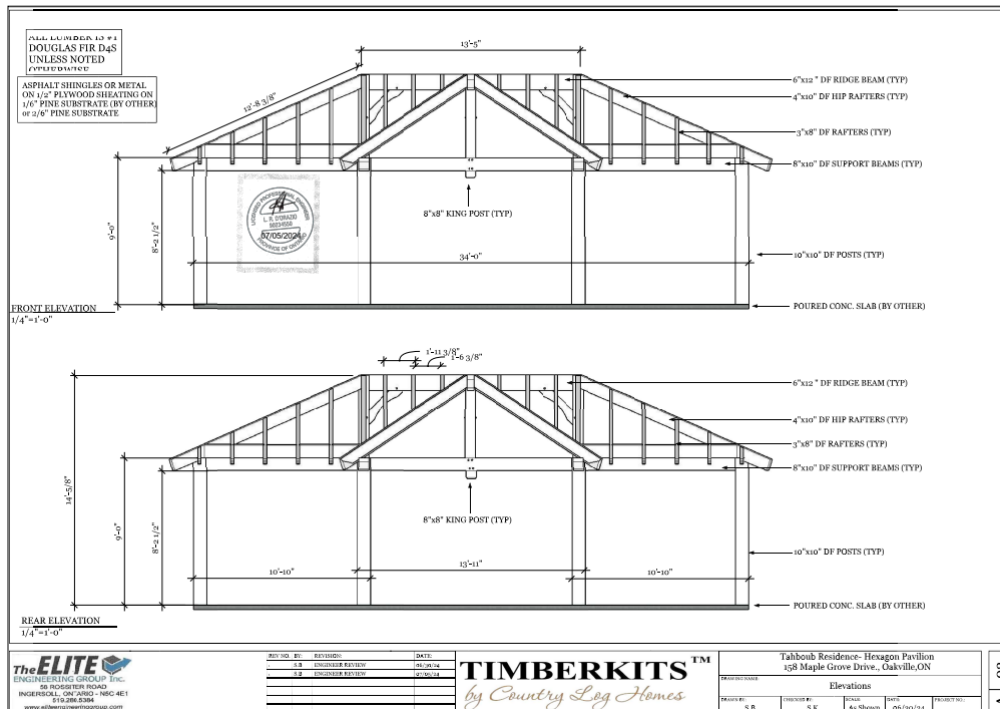
Aerial photo of 158 Maple Grove Drive

The following Site Plan illustrates the location of the proposed accessory structure (pavilion).

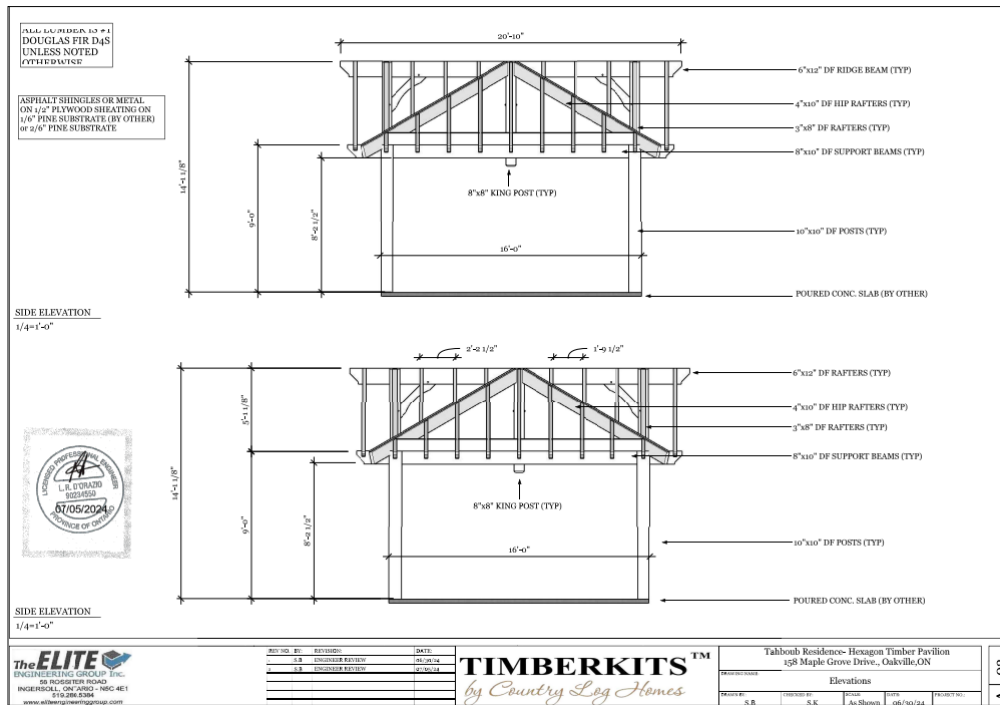


Excerpt of Site Plan for 158 Maple Grove Drive

The following elevation drawings depict the proposed accessory structure (pavilion).



Elevation drawing of the length of the proposed accessory structure (pavilion)



Elevation drawing of the width of the proposed accessory structure (pavilion)

Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variances from provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met. Staff comments concerning the application of the four tests to this minor variance request are as follows:

Does the proposal maintain the general intent and purpose of the Official Plan?

The subject property is designated Low Density Residential – Special Policy Area by Livable Oakville. Development is required to be evaluated using the criteria established in Section 11.1.9 to maintain and protect the existing neighbourhood character. The proposal maintains the general intent and purpose of Livable Oakville.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

The applicant is seeking relief from By-law 2014-014 to permit an increase in height of an accessory building from 4 metres to 4.3 metres for the pavilion. The intent of regulating the height of accessory buildings is to ensure that they are of an appropriate scale and mass and are subordinate to the principle use of the property. The proposed pavilion is a pre-constructed kit that has been designed and manufactured to be 4.3 metres in height, whereas the existing single detached dwelling is two storeys in height. Staff is satisfied that the proposal is in keeping with the intent of the Zoning By-law.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff are of the opinion that the proposal represents appropriate development of the subject property as it will provide additional privacy to the adjacent rear yard of the lands to the west. The variance is minor in nature and will not create any undue adverse impacts to adjoining properties or the existing neighbourhood character.

Recommendation:

Staff do not object to the proposed variance. Should this minor variance request be approved by the Committee, the following conditions are recommended:

1. The accessory structure be constructed in general accordance with the submitted site plan dated November 22, 2024 and elevation drawings dated July 5, 2024; and,
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Note:

Development Engineering staff note that the location of the proposed pavilion may cause difficulties with drainage and grading and that proposal will require a Site Alteration Permit, which will evaluate grading and stormwater management. Plans are to be completed by a qualified professional.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit an increase to the maximum height for the accessory structure to 4.30 m measured

from grade, under the requirements of the Town of Oakville Zoning By-law for the purpose of permitting an accessory structure (pavilion) on the Subject Property.

Oakville Hydro: We do not have any comments for this group of minor variance applications.

Union Gas: No comments received.

Letter(s) in support – None

Letter(s) in opposition – None

General notes for all applications:

Note: The following standard comments apply to all applications. Any additional application specific comments are as shown below.

- The applicant is advised that permits may be required should any proposed work be carried out on the property i.e. site alteration permit, pool enclosure permit, tree preservation, etc.
- The applicant is advised that permits may be required from other departments/authorities (e.g. Engineering and Construction, Building, Conservation Halton etc.) should any proposed work be carried out on the property.
- The applicant is advised that any current or future proposed works that may affect existing trees (private or municipal) will require an arborist report.
- The applicant is advised that any current or future proposed works will require the removal of all encroachments from the public road allowance to the satisfaction of the Engineering and Construction Department.
- The applicant is advised that the comments provided pertain only to zoning and are not to be construed as a review or approval of any proposal for the site. This review will be carried out through the appropriate approval process at which time the feasibility/scope of the works will be assessed.
- Unless otherwise states, the Planning basis for the conditions referenced herein are as follows:
 - Building in general accordance with the submitted site plan and elevation drawings is required to ensure what is requested and ultimately approved, is built on site. This provides assurance and transparency through the process, noting the documents that are submitted with the application, provide the actual planning, neighbourhood and site basis for the request for the variances, and then the plans to be reviewed through the building permit and construction processes.
 - A two (2) year timeframe allows the owner to obtain building permit approval for what is ultimately approved within a reasonable timeframe

of the application being heard by the Committee of Adjustment based on the requirements when it is processed, but cognizant of the ever-changing neighbourhoods, policies and regulations which might then dictate a different result. Furthermore, if a building permit is not obtained within this timeframe, a new application would be required and subject to the neighbourhood notice circulation, public comments, applicable policies and regulations at that time.

Requested conditions from circulated agencies:

1. The accessory structure be constructed in general accordance with the submitted site plan dated November 22, 2024 and elevation drawings dated July 5, 2024; and,
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Note:

Development Engineering staff note that the location of the proposed pavilion may cause difficulties with drainage and grading and that proposal will require a Site Alteration Permit, which will evaluate grading and stormwater management. Plans are to be completed by a qualified professional.

J. Ulcar

Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment

Notice of Public Hearing Committee of Adjustment Application



File # A/013/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
J. Huang L. Zhixing Li	JORIS KEEREN Keeren Design INC 11 Bronte Rd Suite 31 Oakville ON L6L 0E1	1574 Old Lakeshore Rd CON 4 SDS PT LOT 25 RP 20R3003 PART 4

Zoning of property: RL2-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 5.8.2 f)</i> One walkway access may be connected to each side of a driveway. The maximum width of the walkway access at the point of attachment shall be 1.8 metres.	To increase the maximum width of the walkway access at the point of attachment to 2.7 metres.
2	<i>Section 5.8.6 b)</i> For detached dwellings on lots having greater than or equal to 12.0 metres in lot frontage, the maximum total floor area for a private garage shall be 45.0 square metres.	To increase the maximum total floor area for a private garage to 84.0 square metres.
3	<i>Section 5.8.7 c)</i> Attached or detached private garages shall not project more than 1.5 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line or flankage lot line.	To increase the maximum projection to 5.7 metres.
4	<i>Table 6.4.2</i> The maximum lot coverage where the detached dwelling is greater than 7.0 metres in height shall be 25%.	To increase the maximum lot coverage where the detached dwelling is greater than 7.0 metres in height to 28.4%.
5	<i>Section 6.4.3 a)</i>	To increase the minimum front yard to 17.2 metres.

	The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 9.41 metres.	
6	<i>Section 6.4.3 c)</i> The maximum front yard for new dwellings on all lots shall be 5.5 metres greater than the minimum front yard for the applicable lot. In this instance, the maximum front yard shall be 14.91 metres.	To increase the maximum front yard to 29.1 metres.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

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More information:

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Notice of decision:

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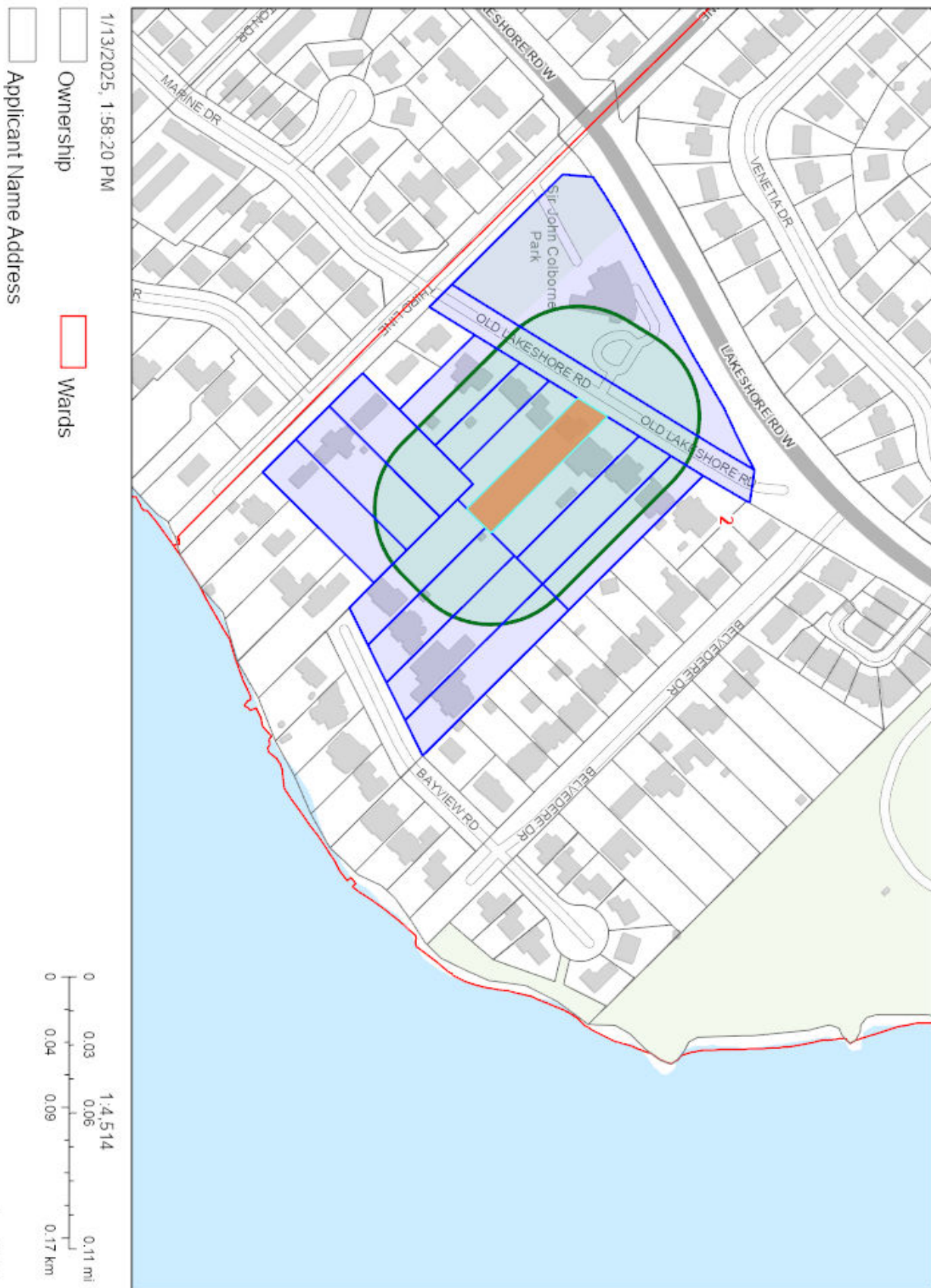
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/013/2025 - 1574 Old Lakeshore Road





FRONT PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A1



REAR PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A2



SIDE PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

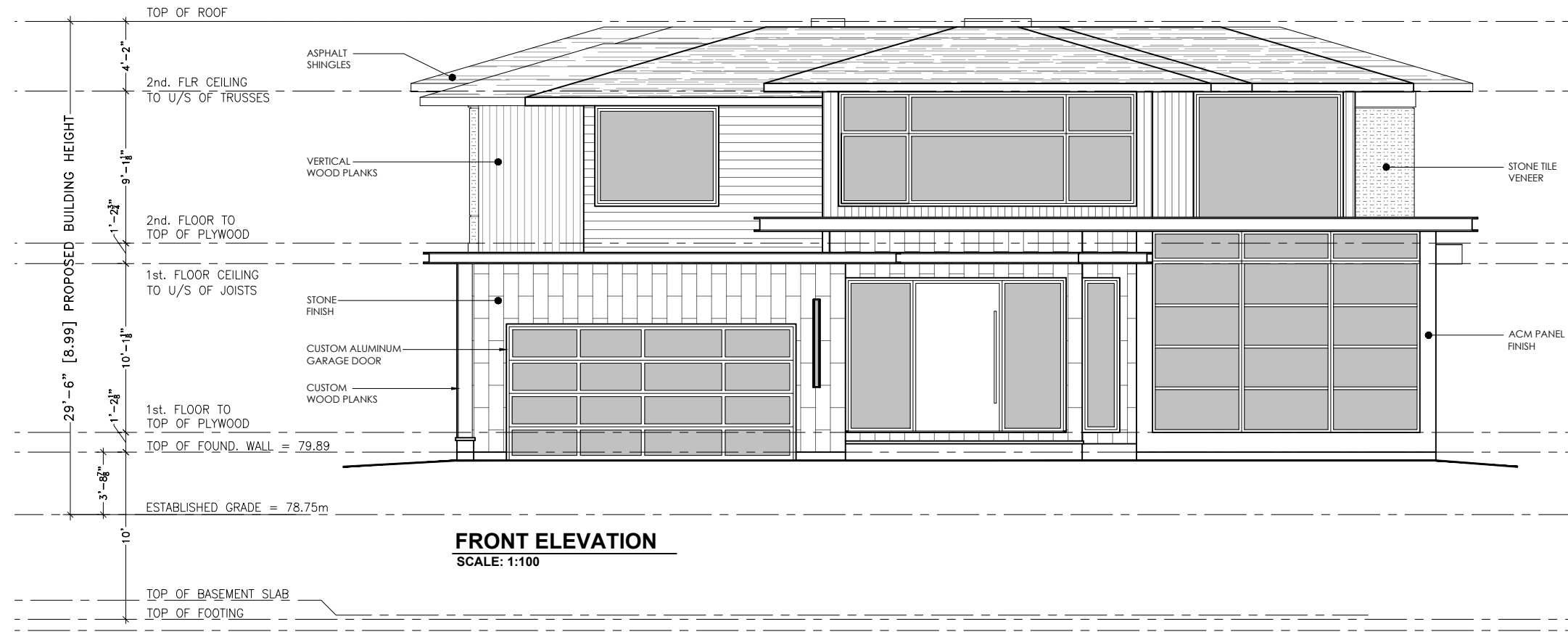
DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

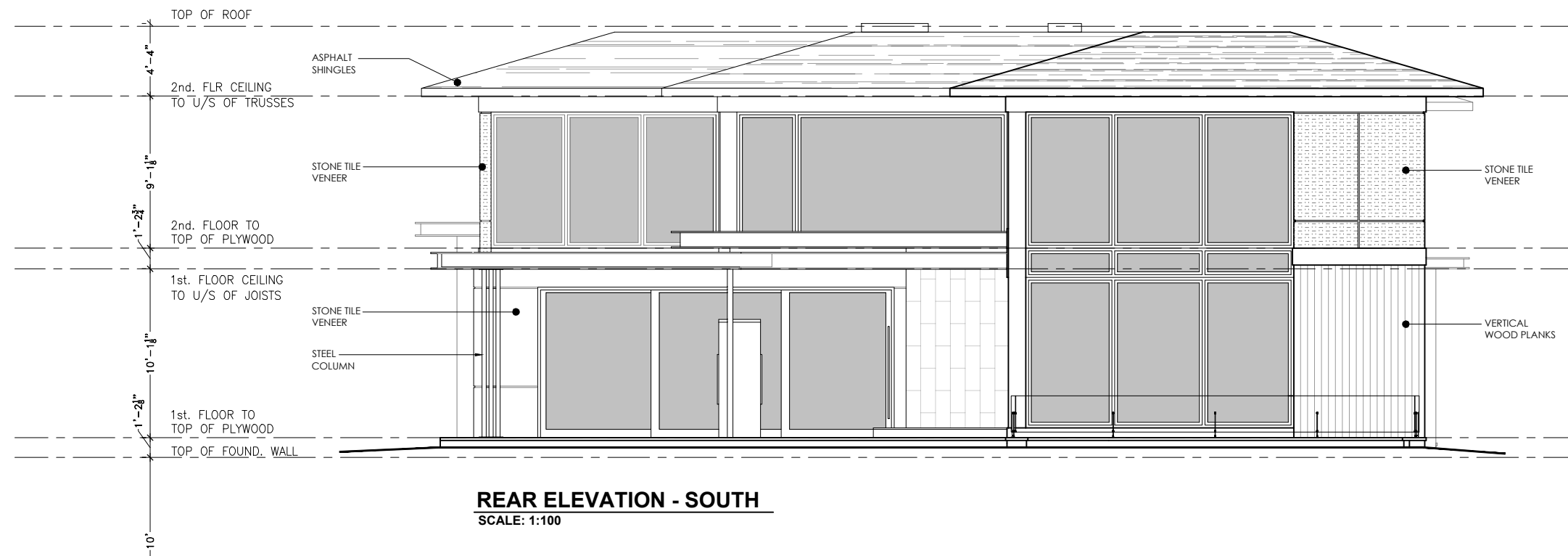
These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A2



FRONT ELEVATION
SCALE: 1:100



REAR ELEVATION - SOUTH
SCALE: 1:100



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A6



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

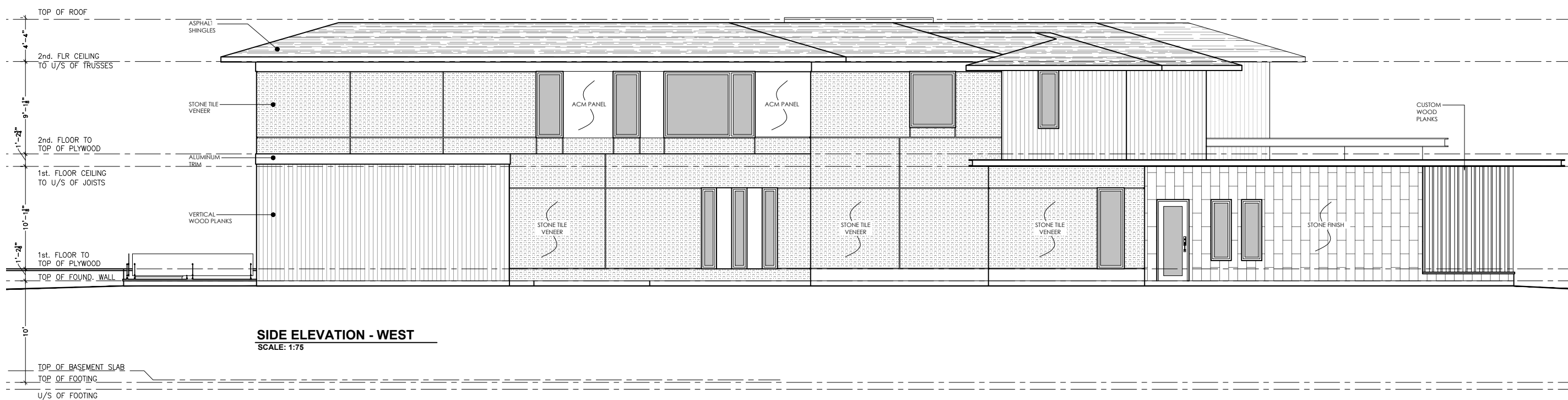
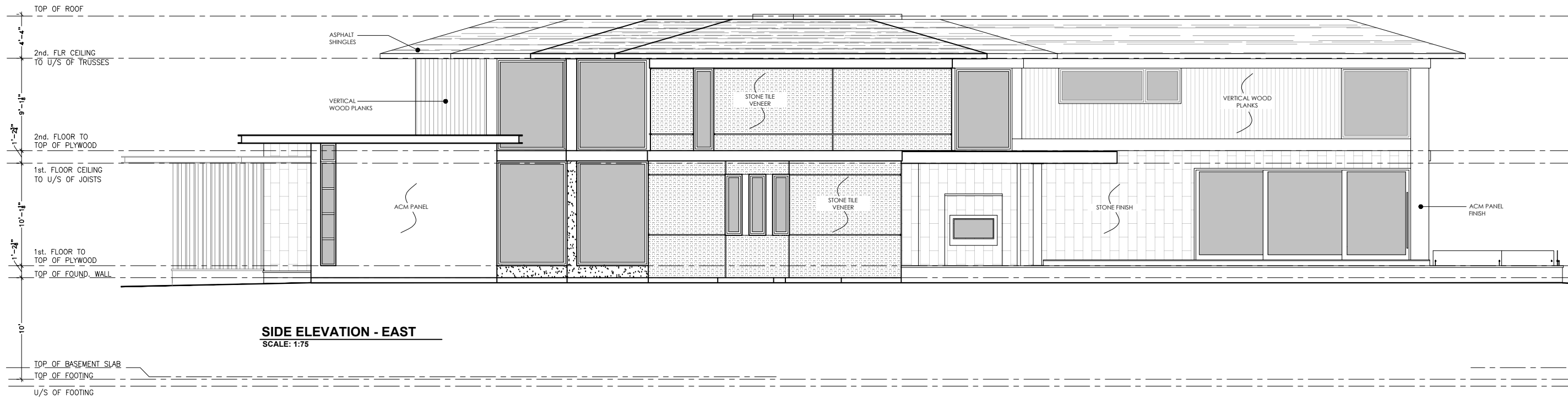
DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A7





CABANA - PERSPECTIVE VIEWS



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A8

TOP OF ROOF

11' - 10 3/4" [3.62] PROPOSED BUILDING HEIGHT

AVERAGE GRADE

ACM PANEL

VERTICAL WOOD PLANKS

STUCCO FINISH

CABANA - FRONT ELEVATION

SCALE: 1:50



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A10

TOP OF ROOF

AVERAGE GRADE

STUCCO FINISH

CABANA - REAR ELEVATION

SCALE: 1:50



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

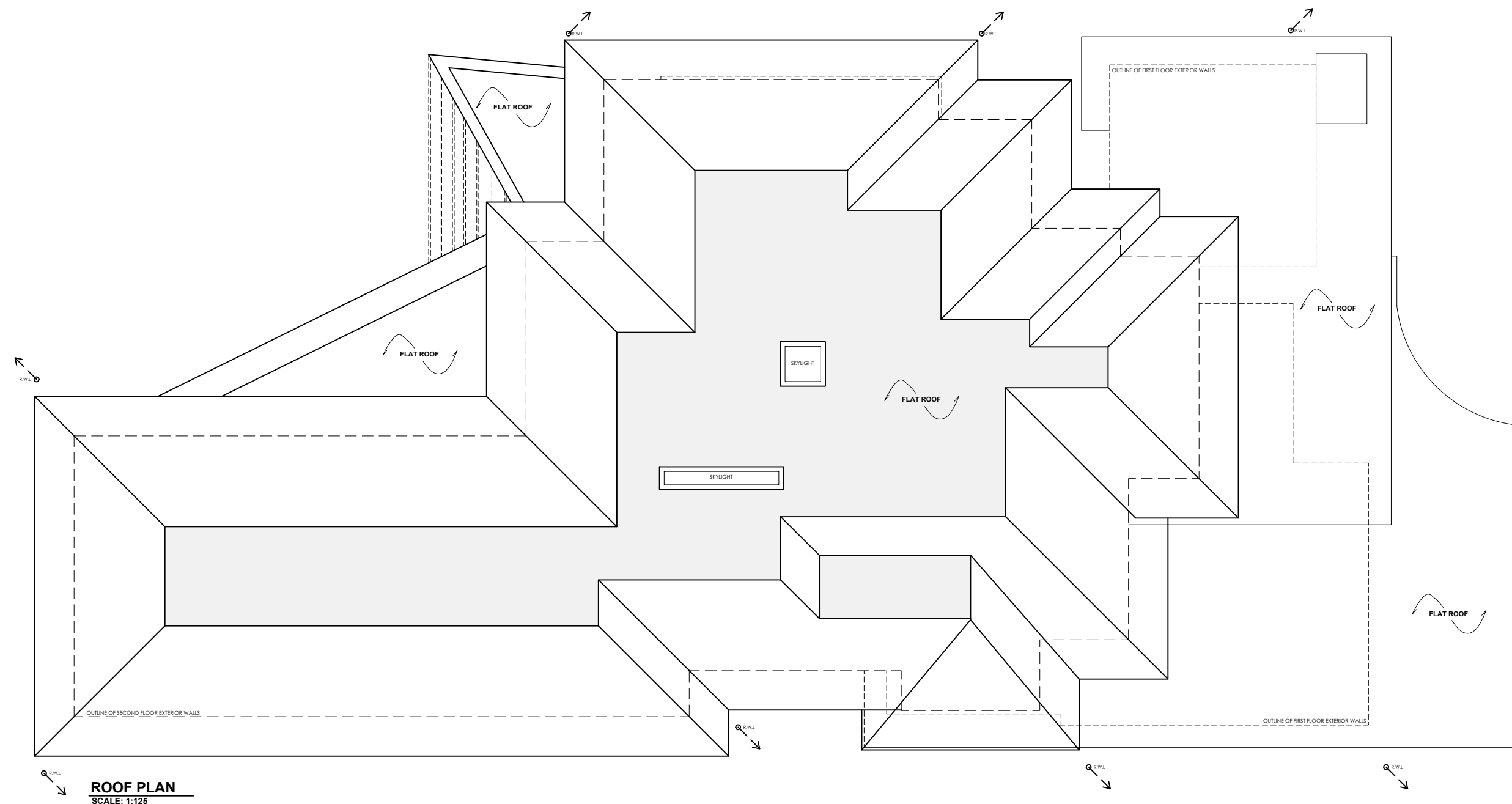
DRAWING INFORMATION

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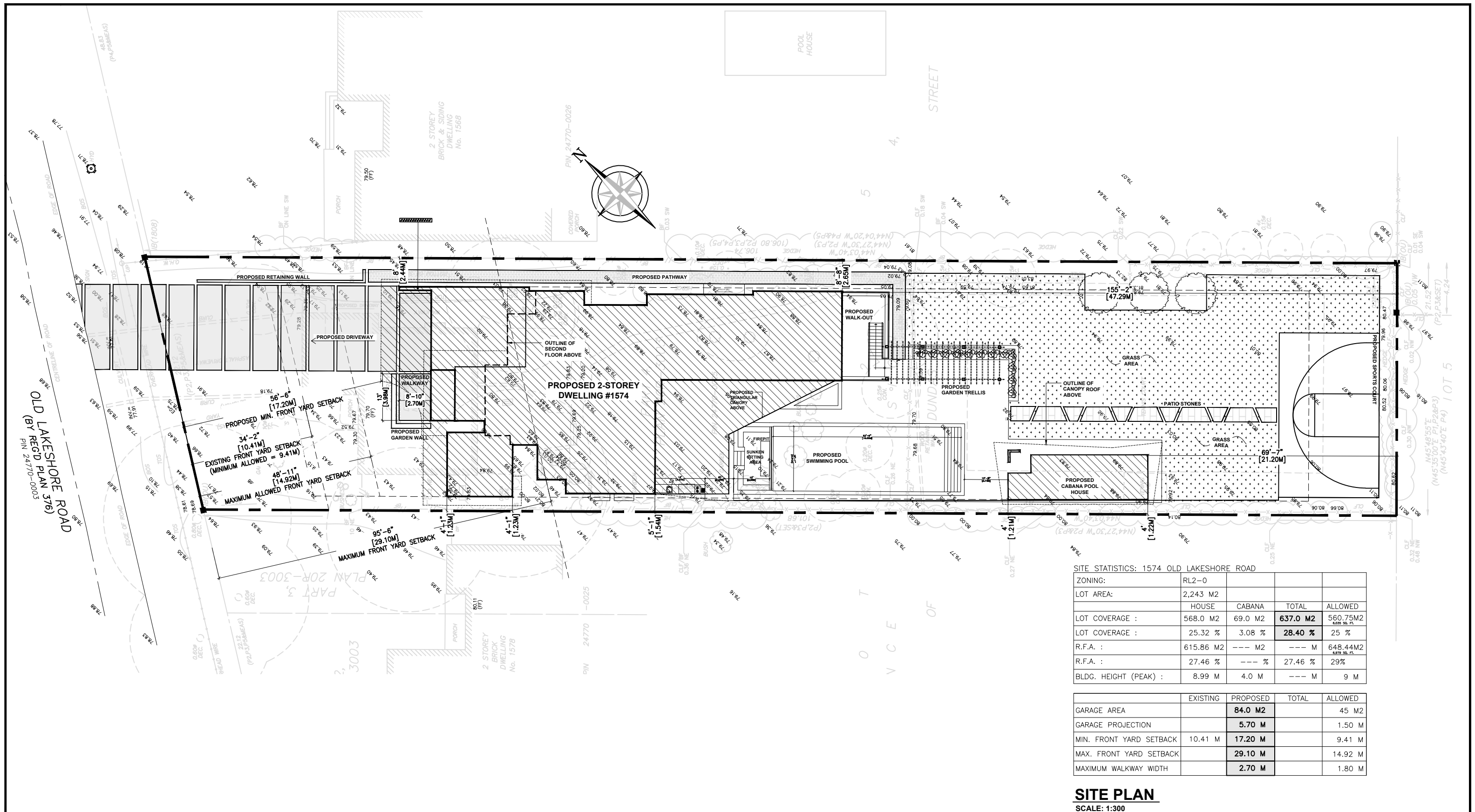
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PROJECT: 1574 Old Lakeshore Rd

A10



ROOF PLAN
SCALE: 1:125




SITE STATISTICS: 1574 OLD LAKESHORE ROAD

ZONING:	RL2-0			
LOT AREA:	2,243 M ²			
	HOUSE	CABANA	TOTAL	ALLOWED
LOT COVERAGE :	568.0 M ²	69.0 M ²	637.0 M²	560.75M ² 0.2535 AC. FT.
LOT COVERAGE :	25.32 %	3.08 %	28.40 %	25 %
R.F.A. :	615.86 M ²	--- M ²	--- M ²	648.44M ² 0.879 AC. FT.
R.F.A. :	27.46 %	--- %	27.46 %	29%
BLDG. HEIGHT (PEAK) :	8.99 M	4.0 M	--- M	9 M

	EXISTING	PROPOSED	TOTAL	ALLOWED
GARAGE AREA		84.0 M²		45 M ²
GARAGE PROJECTION		5.70 M		1.50 M
MIN. FRONT YARD SETBACK	10.41 M	17.20 M		9.41 M
MAX. FRONT YARD SETBACK		29.10 M		14.92 M
MAXIMUM WALKWAY WIDTH		2.70 M		1.80 M

SITE PLAN
SCALE: 1:300

 KEEREN DESIGN RESIDENTIAL ARCHITECTURE	11 BRONTE RD. SUITE 31 OAKVILLE, ON L6L 0E1 PHONE: (905) 847-2350 WWW.KEEREN.CA	FIRM BCIN #: 31181 JORIS KEEREN DESIGNER BCIN #: 25348	DRAWING INFORMATION INITIAL DESIGN : May 2023 DESIGNER : Joris Keeren DRAWN BY : M.R. / M.C. PLOT DATE : November 18, 2024 Revision #:	These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.	<h2 style="margin: 0;">PROJECT: 1574 Old Lakeshore Rd</h2>	S1
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Planning Justification

Property Address: 1574 Old Lakeshore Rd

Nov 19 2024

A pre-consultation meeting was held with staff prior to the submission of this application and feedback received during that meeting has been reflected in the submitted drawings.

The following variances are requested:

1. To allow for a lot coverage of 28.4%, where as 25% is permitted
2. To allow for a garage area of 84.0m² (garage area = 52m² + roof canopy (in front of garage) area of 32.0m²), whereas 45.0m² is permitted
3. To allow for a minimum front yard setback of 17.20m, whereas 9.41m is permitted
4. To allow for a maximum front yard setback of 29.10m, whereas 14.92m is permitted
5. To allow for a walkway width of 2.70m, whereas 1.80m is permitted
6. To allow a garage projection of 5.70 meters whereas 1.5 is the maximum.

1. Lot Coverage (Variance)

The permitted Lot Coverage is 28.4% and this application is asking for 25% . The main reason for the overage is the pool cabana / accessory building in the rear yard. The footprint of the main house is actually below the maximum permitted lot coverage, however, the large canopy roof elements push the figure over the threshold.

2. Garage area:

The garage area by itself is only 52M² but because the front façade has a large canopy feature on the front of the garage, this area is also counted as garage space, and this inflates the number to the 84 M² being requested.

3. Minimum front yard setback:

The house is set further back on the property than the existing dwelling and therefore requires a variance for this.

4. Maximum front yard setback:

Because the maximum front yard setback has to include at least 50% of the main walls on both floors, the increase is required to 29.1 meters.

5. Maximum walkway width:

The width of the proposed front walkway is increased beyond what the by-law permits because it is of a scale proportional and appropriate to the dwelling.

6. Garage Projection:

The proposed garage does not project more than 1.5 meters from the main wall of the house, however, because of the large canopy roof that extends in front of the garage, zoning staff have advised that the projection measurement needs to be taken from that point, resulting in the 5.8m requested.

This home has extensive articulation, especially on the front elevation, with a large canopy occurring on the 1st level and the 2nd floor substantially set back from the 1st floor walls.

The proposed house is set further back than the existing house is, and two variances are required for this. However, the proposed location brings the front of the house more or less in-line with the dwellings on either side. The lot is also quite deep, so the front setback is appropriate in that regard.

Massing:

DESIGN GUIDELINES

1. New development, which is larger in overall massing than adjacent dwellings, should be designed to reduce the building massing through the thoughtful composition of smaller elements and forms that visually reflect the scale and character of the dwellings in the surrounding area. This design approach may incorporate:

- projections and/or recesses of forms and/or wall planes on the façade(s)*
- single-level building elements when located adjacent to lower height dwellings*
- variation in roof forms*
- subdividing the larger building into smaller elements through additive and/or repetitive massing techniques*
- porches and balconies that can reduce the verticality of taller dwellings and bring focus to the main entrance*
- architectural components that reflect human scale and do not*

appear monolithic

- *horizontal detailing to de-emphasize the massing*
 - *variation in building materials and colours.*
2. *New development should be designed to mitigate potential impacts of overshadowing on adjacent properties by avoiding bulky massing close to the shared property line, by stepping down the height of the structure, and/or by increasing the setback(s) from the side and rear property lines.*

Scale:

DESIGN GUIDELINES

1. *New development should not have the appearance of being substantially larger than the existing dwellings in the immediate vicinity. If a larger massing is proposed, it should be subdivided into smaller building elements that respond to the context of the neighbourhood patterns.*
2. *In instances where the lot patterning has been altered through redevelopment, the scale of the new development should be compatible with the scale of the surrounding buildings.*

Four Tests:

1. The proposed development complies with the official plan in that it is a single-family dwelling unit, which is similar in size and scale to many other houses on the street and in the surrounding area.
2. The intent of the zoning by-law is met with this proposal because most key regulations, such as lot coverage, side yard setbacks and height are being met.
3. Single family dwellings of similar scale and massing are prevalent in the immediate area, therefore this proposal, being a single family, four-bedroom dwelling, is both desirable and appropriate.
4. The proposed development is appropriate for the site and area because it will complement the fabric of the neighbourhood.

COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/013/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
L. ZHIXING LI J. HUANG	JORIS KEEREN Keeren Design Inc. 11 Bronte Rd, Suite 31 Oakville ON, CANADA L6L 0E1	CON 4 SDS PT LOT 25 RP 20R3003 PART 4 1574 Old Lakeshore Rd Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential

ZONING: RL2-0, Residential

WARD: 2

DISTRICT: West

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 5.8.2 f)</i> One walkway access may be connected to each side of a driveway. The maximum width of the walkway access at the point of attachment shall be 1.8 metres.	To increase the maximum width of the walkway access at the point of attachment to 2.7 metres.
2	<i>Section 5.8.6 b)</i> For detached dwellings on lots having greater than or equal to 12.0 metres in lot frontage, the maximum total floor area for a private garage shall be 45.0 square metres.	To increase the maximum total floor area for a private garage to 84.0 square metres.
3	<i>Section 5.8.7 c)</i> Attached or detached private garages shall not project more than 1.5 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line or flankage lot line.	To increase the maximum projection to 5.7 metres.
4	<i>Table 6.4.2</i> The maximum lot coverage where the detached dwelling is greater than 7.0 metres in height shall be 25%.	To increase the maximum lot coverage where the detached dwelling is greater than 7.0 metres in height to 28.4%.
5	<i>Section 6.4.3 a)</i> The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 9.41 metres.	To increase the minimum front yard to 17.2 metres.

6	<p><i>Section 6.4.3 c)</i> The maximum front yard for new dwellings on all lots shall be 5.5 metres greater than the minimum front yard for the applicable lot. In this instance, the maximum front yard shall be 14.91 metres.</p>	To increase the maximum front yard to 29.1 metres.
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CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services:

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/013/2025 – 1574 Old Lakeshore Road (West District) (OP Designation: Low Density Residential)

Site Area and Context

The subject lands are located along the south side of Old Lakeshore Road, across the street from Sir John Colborn Recreation Centre for Seniors. The subject lands are centrally located along the street, which consists of two-storey dwellings varying architectural styles with some newer two-storey dwellings having been constructed within recent years. The dwellings are stepped back along the street because the front lot line is angled in relation to the side property lines.

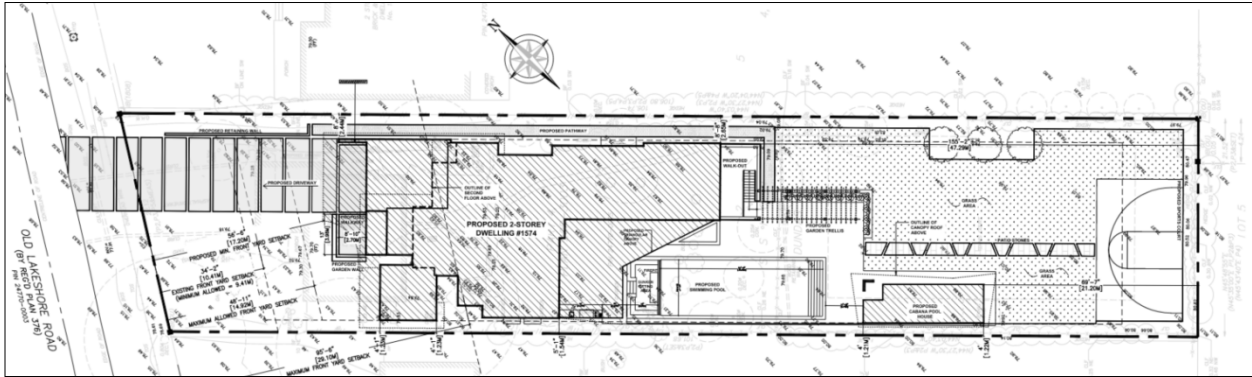


Aerial photo of 1574 Old Lakeshore Road



Existing dwelling located at 1574 Old Lakeshore Road

The following Site Plan illustrates the existing dwelling and the proposed new dwelling.



Excerpt of Site Plan for 1574 Old Lakeshore Road

The following perspectives illustrate the proposed new dwelling.



Excerpt of Front Perspective View for Proposed Dwelling at 1574 Old Lakeshore Road



Excerpt of Rear Perspective View for Proposed Dwelling at 1574 Old Lakeshore Road



Excerpt of Side Perspective View for Proposed Dwelling at 1574 Old Lakeshore Road

Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variances from provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met. Staff comments concerning the application of the four tests to this minor variance request are as follows:

Does the proposal maintain the general intent and purpose of the Official Plan?

The subject property is designated Low Density Residential in the Livable Oakville Official Plan. Development is required to be evaluated using the criteria established in Section 11.1.9 to maintain and protect the existing neighbourhood character. The proposal aligns with the setbacks of the adjacent dwellings and is compatible with in terms of scale, massing and architectural character with the surrounding neighbourhood. Staff is of the opinion that the proposal maintains the general neighbourhood character and complies with Livable Oakville. Therefore, the proposal is in keeping with the general intent of the Official Plan.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

The applicant is seeking relief from the Zoning By-law 2014-014, as amended, as follows:

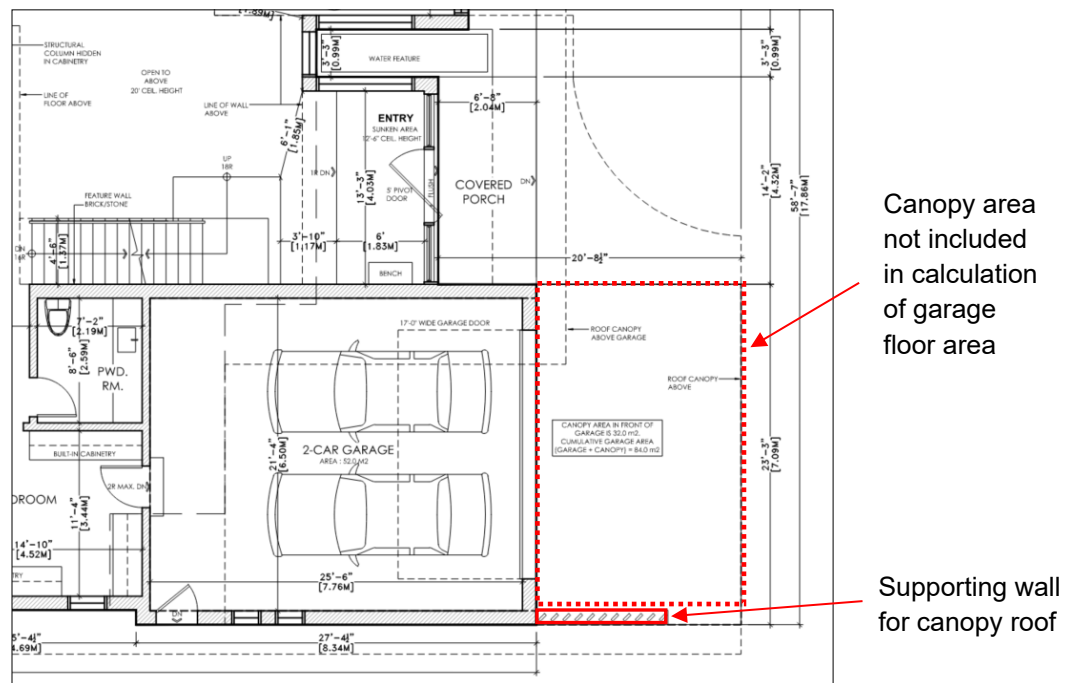
Variance #1 – Walkway Width (No Objection) – 1.8 m increased to 2.7 m

The intent of regulating the width of a walkway access on each side of the driveway is to ensure that the walkway is not used in conjunction with the parking of vehicles and that sufficient space remains available in the front yard for landscaping. The proposed walkway is 2.7 metres at the point of attachment to the front porch and staff is satisfied that the walkway will be used for its intended purpose and that sufficient space remains for landscaping in the front yard.

Variance #2 –Garage Floor Area (Objection) – 45 m² increased to 84 m²

Variance #3 – Garage Projection (No Objection) – 11.5 m increased to 5.7 m

The intent of regulating garage floor area and garage projection is to ensure that the garage is not a visually dominant feature of the dwelling. Staff note that the requested garage floor area variance includes the area in front of the garage that is covered by a roof canopy, which may be considered a carport / porte-cochere. Based on the definition of floor area and staff's interpretation of the By-law, the roof canopy portion is not counted towards the garage floor area calculation since less than 50% is surrounded exterior walls. Therefore, the actual total garage floor area is 52 m², not the requested 84 m². With respect to the proposed garage projection, staff note that the enclosed portion of the garage does not project more than 1.5 m from the main wall of the house. The requested variance is attributed to the canopy roof and supporting wall, which are architectural elements of the proposed dwelling (see illustration below).



Excerpt of First Floor Plan of proposed dwelling at 1574 Old Lakeshore Road

Staff support the variances, with the exception being that the garage floor area be reduced to 52 m², which reflects staff's interpretation of the By-law and the submitted architectural package.

Variance #4 – Lot Coverage (No Objection) – 25% increased to 28.4%

Variance #5 – Minimum Front Yard (No Objection) – 9.41 m increased to 17.2 m

Variance #6 – Maximum Front Yard (No Objection) – 14.91 m increased to 29.1 m

The Zoning By-law stipulates both minimum and maximum front yard setbacks to address the angular plane of Old Lakeshore Road and the intent behind the regulations is to ensure that development is appropriately set back from the street. The intent of regulating lot coverage is to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding neighbourhood. Increasing the minimum and maximum front yard setbacks are in keeping with the adjacent dwellings and will lessen the perceived impacts of the requested increase in lot coverage. Staff also note that stormwater management associated with the proposed is currently being reviewed through the Minor Site Plan process. Therefore, staff is satisfied that proposed dwelling is in keeping with the surrounding neighborhood

Based on the foregoing, staff is satisfied that the proposal maintains the general intent and purpose of the Zoning By-law.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff are of the opinion that the proposal represents appropriate development of the subject property. The variances are minor in nature and will not create any undue adverse impacts to adjoining properties or the existing neighbourhood character.

Recommendation:

Staff do not object to the proposed variance. Should these minor variance requests be approved by the Committee, the following conditions are recommended:

1. The dwelling be constructed in general accordance with the site plan and elevations dated November 18, 2024; and,
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Note:

Development Engineering staff advise that the proposed development is subject to Minor Site Plan due to the property being located within the Bill 97 Buffer (remnant channel) and is currently undergoing said review. The site requires 25mm storm retention to ensure that downstream properties and town infrastructure are not negatively impacted by the proposed development, and the applicant is instructed to illustrate swales (min. 2%) and flood lines on the plans to address concerns about flooding in the front and rear yards.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit an increase to the maximum width of the walkway access at the point of attachment to 2.7 m, an increase to the maximum total floor area for the private garage to 84.0 square m, an increase to the maximum garage projection to 5.7 m, an increase to the maximum lot coverage to 28.4%, an increase to the minimum front yard to 17.2 m and an increase to the maximum front yard to 29.1 m, under the requirements of the Town of Oakville Zoning By-law for the purpose of permitting the construction of a two-storey detached dwelling on the Subject Property.

Oakville Hydro: We do not have any comments to add for this group of minor variance applications.

Union Gas: No comments received.

Letter(s) in support – None

Letter(s) in opposition – None

General notes for all applications:

Note: The following standard comments apply to all applications. Any additional application specific comments are as shown below.

- The applicant is advised that permits may be required should any proposed work be carried out on the property i.e. site alteration permit, pool enclosure permit, tree preservation, etc.
- The applicant is advised that permits may be required from other departments/authorities (e.g. Engineering and Construction, Building, Conservation Halton etc.) should any proposed work be carried out on the property.
- The applicant is advised that any current or future proposed works that may affect existing trees (private or municipal) will require an arborist report.
- The applicant is advised that any current or future proposed works will require the removal of all encroachments from the public road allowance to the satisfaction of the Engineering and Construction Department.
- The applicant is advised that the comments provided pertain only to zoning and are not to be construed as a review or approval of any proposal

for the site. This review will be carried out through the appropriate approval process at which time the feasibility/scope of the works will be assessed.

- Unless otherwise states, the Planning basis for the conditions referenced herein are as follows:

- Building in general accordance with the submitted site plan and elevation drawings is required to ensure what is requested and ultimately approved, is built on site. This provides assurance and transparency through the process, noting the documents that are submitted with the application, provide the actual planning, neighbourhood and site basis for the request for the variances, and then the plans to be reviewed through the building permit and construction processes.

- A two (2) year timeframe allows the owner to obtain building permit approval for what is ultimately approved within a reasonable timeframe of the application being heard by the Committee of Adjustment based on the requirements when it is processed, but cognizant of the ever-changing neighbourhoods, policies and regulations which might then dictate a different result. Furthermore, if a building permit is not obtained within this timeframe, a new application would be required and subject to the neighbourhood notice circulation, public comments, applicable policies and regulations at that time.

Requested conditions from circulated agencies:

1. The dwelling be constructed in general accordance with the site plan and elevations dated November 18, 2024; and,
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

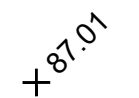
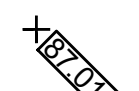
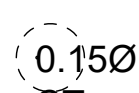
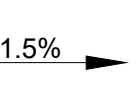
Note:

Development Engineering staff advise that the proposed development is subject to Minor Site Plan due to the property being located within the Bill 97 Buffer (remnant channel) and is currently undergoing said review. The site requires 25mm storm retention to ensure that downstream properties and town infrastructure are not negatively impacted by the proposed development, and the applicant is instructed to illustrate swales (min. 2%) and flood lines on the plans to address concerns about flooding in the front and rear yards.

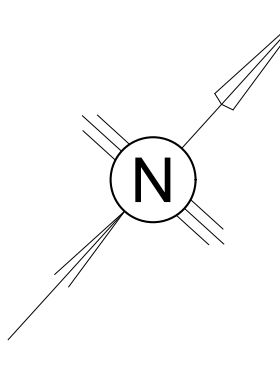
J. Ulcar

Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment

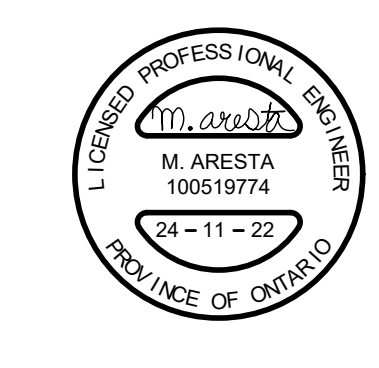
LEGEND:

-  EXISTING ELEVATION
-  PROPOSED ELEVATION
-  EXISTING TREE (CONIFEROUS=CT, DECIDUOUS=DT)
-  GRADE SLOPE INDICATOR

No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ



N



LICENCED PROFESSIONAL ENGINEER
M. ARESTA
100519774
24-11-22
PROVINCE OF ONTARIO

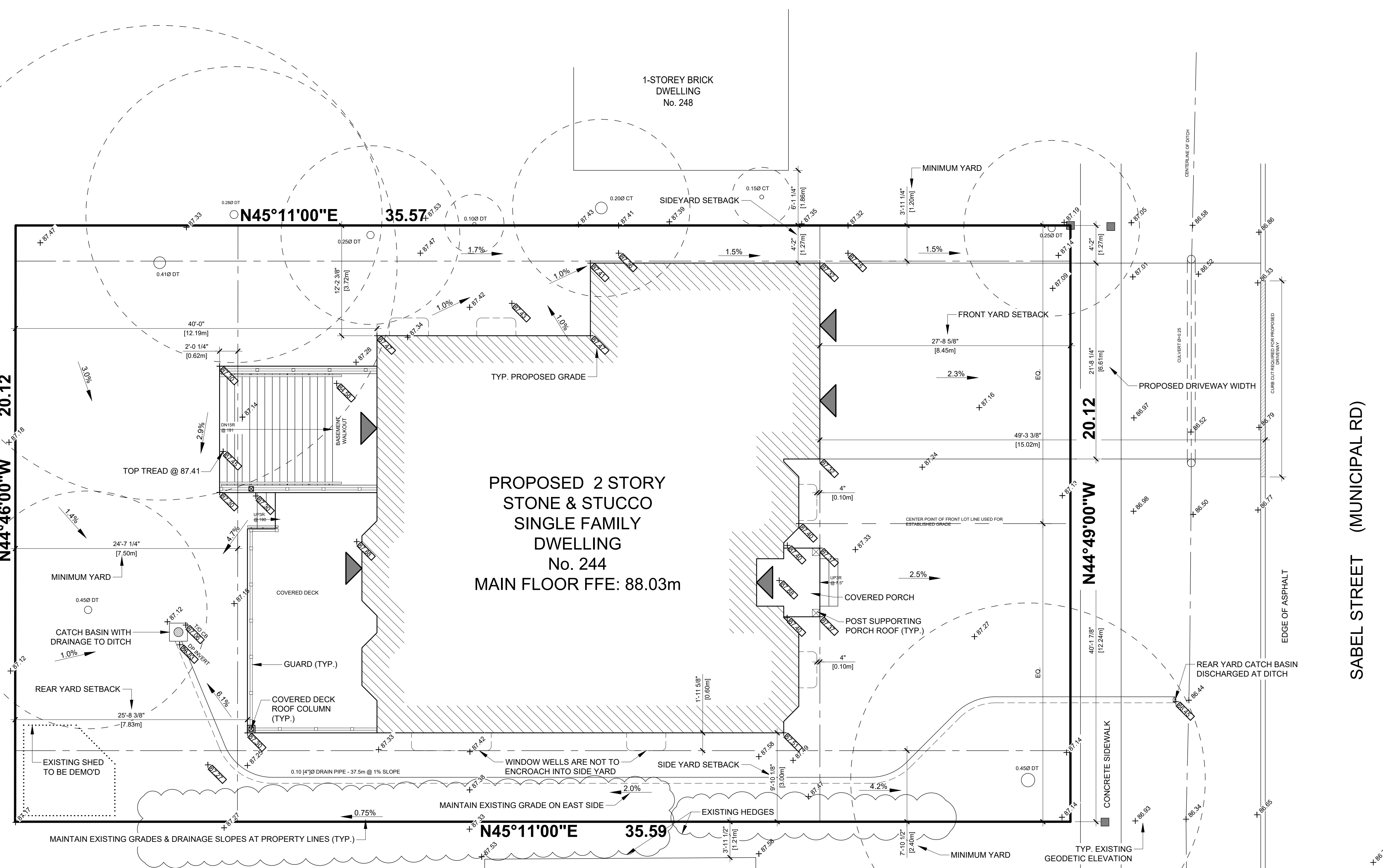
KELLER
ENGINEERING
www.kellerengineering.com

PROJECT:
PROPOSED 2-STORY SINGLE FAMILY DWELLING
CLIENT: TAJINDER NAGRA
244 Sabel St., Oakville, Ontario L6L 3V7

DRAWING:
PROPOSED SITE PLAN

DESIGNED BY: MA	CHECKED BY: MA
DRAWN BY: CJ	SCALE: 1:75
DATE: 24-09-13	JOB No.: 07-4391
A100	

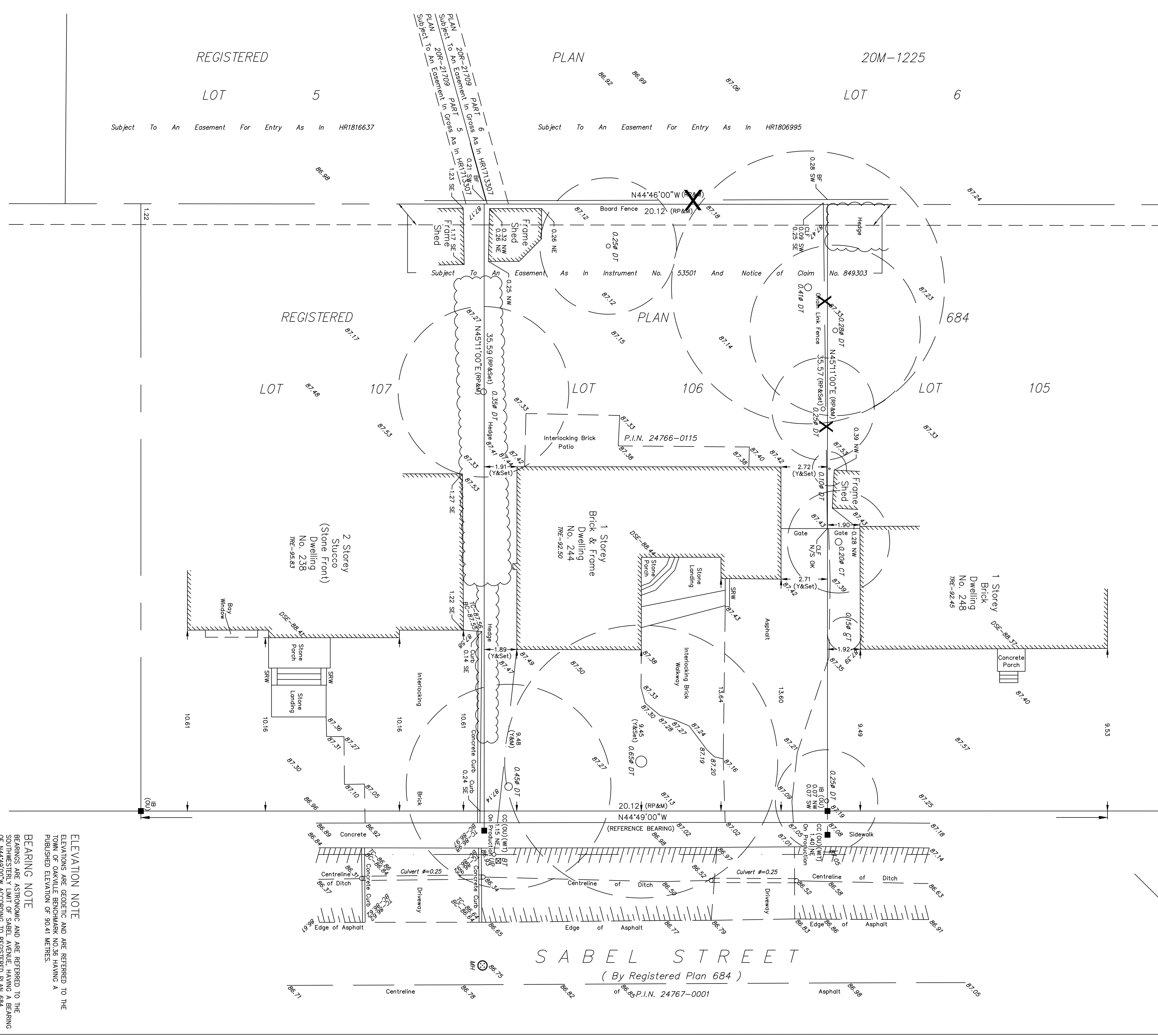
ORIGINAL SURVEY (PROJECT # 23-151) CONDUCTED BY AVANTI SURVEYING INC. AT 310 NORTH QUEEN ST. UNIT 102, TORONTO, ON M9C 5K4 ON AUGUST 16, 2023
AS PER OBC 9.14.6.1.(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED, AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. A FINAL GRADING CERTIFICATE WILL BE PROVIDED WITHIN 1 YEAR OF BUILDING OCCUPANCY.



**PROPOSED 2 STORY
STONE & STUCCO
SINGLE FAMILY
DWELLING
No. 244
MAIN FLOOR FFE: 88.03m**

ZONING COMPLIANCE SUMMARY		
	REGULATION	PROPOSED
ZONING DESCRIPTION		
LOT ZONING: RL3-0		
LOT AREA	557.5 m ²	715.89 m ²
MINIMUM LOT FRONTAGE	18.0 m	20.12 m
MINIMUM FRONT YARD	8.45 m	8.45 m (LEGALLY EXISTING - 1.0m)
MINIMUM INTERIOR SIDE YARD	2.4 m & 1.2 m	3.0 m & 1.27 m
MINIMUM REAR YARD	7.5 m	7.83 m
MAXIMUM BUILDING HEIGHT	9.0 m	9.0 m
FIRST FLOOR AREA	--	162.62 m ²
SECOND FLOOR AREA	--	161.29 m ²
TOTAL FLOOR AREA	293.51 m ²	323.91 m ²
MAX. RESIDENTIAL FLOOR AREA	41.0% [293.51 m ²]	45.25% [323.99 m ²]
MAXIMUM LOT COVERAGE	35.0%	34.7% [248.42 m ²]

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 LOT 106
 REGISTERED PLAN 684
 TOWN OF OAKVILLE
 Regional Municipality of Halton
 SCALE 1 : 150
 5m 2m 1m 0m 5m
 AVANTI SURVEYING INC.
 © COPYRIGHT 2023



No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

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KELLER ENGINEERING
 www.kellerengineering.com

PROJECT:
PROPOSED 2-STOREY SINGLE FAMILY DWELLING
 CLIENT: TAJINDER NAGRA
 244 Sabel St., Oakville, Ontario L6L 3V7

DRAWING:
EXISTING SITE SURVEY BY AVANTI SURVEYING INC. ON AUGUST 16, 2023

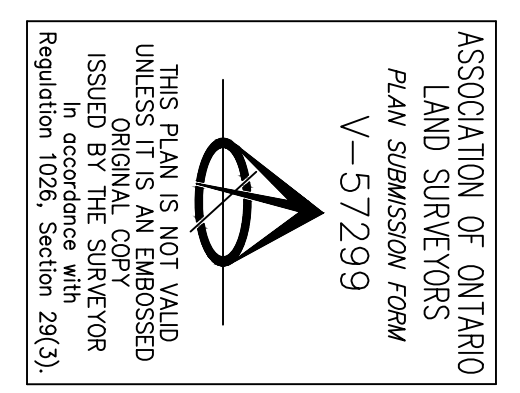
DESIGNED BY: MA | CHECKED BY: MA

DRAWN BY: CJ | SCALE: 1:125 | DRAWING No.: C100
 DATE: 24-09-13 | JOB No.: 07-4391

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEREIN;
 2. THE SURVEY WAS COMPLETED ON THE 14TH DAY OF JULY, 2023.

AUGUST 16, 2023
 CHRIS BERESNEVICZ
 ONTARIO LAND SURVEYOR



LEGEND	LEGEND (...CONT.)
■ DENOTES SURVEY MONUMENT FOUND	DSE DENOTES DOORSET ELEVATION
RP REGISTERED PLAN 684	TR TREE
N.S.E.W. NORTH-SOUTH/EAST-WEST	DE DECIDUOUS TREE
ME MEASURED	CT CONTEMPORARY TREE
CC CALCULATED	OU ORIGIN UNKNOWN
IB IRON BARS	Y PLAN BY YATES & YATES LIMITED, U.S.
WIT WITNESSES	DATED FEBRUARY 3, 1987
UP PROPERTY IDENTIFIER NUMBER	
CF CHAIN LINK FENCE	
BF BOARD FENCE	
SNW STONE RETAINING WALL	
MH MANHOLE	
TC TOP OF CURB	
BC BOTTOM OF CURB	

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK NO.36 HAVING A PUBLISHED ELEVATION OF 50.41 METRES.
 BEARING NOTE
 BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTHWESTERN LIMIT OF SABEL AVENUE, HAVING A BEARING OF N44°49'00"W ACCORDING TO REGISTERED PLAN 684

THIS PLAN WAS PREPARED FOR TAJINDER NAGRA
PART 2 - SURVEY REPORT
 1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD Wires
 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. 53501
 3) THIS PLAN DOES NOT CERTIFY COMPATIBILITY WITH ZONING BY-LAWS

AVANTI SURVEYING INC.
 310 North Guelph St., Unit 102, Toronto ON M5C-5K4
 Tel: (416) 231-1174 Fax: (416) 671-3360
 E-MAIL: info@avantisurveying.com
 DRAWN BY: CJ | CHECKED BY: MA | PROJECT 23-151



3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

No.	DATE	REVISION	INITIAL
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KELLER
ENGINEERING
www.kellerengineering.com

PROJECT:
**PROPOSED 2-STORY
SINGLE FAMILY DWELLING**
CLIENT: TAJINDER NAGRA
244 Sabel St., Oakville, Ontario L6L 3V7

DRAWING:
**PROPOSED NORTH
ELEVATION**

DESIGNED BY: MA | CHECKED BY: MA

DRAWN BY: CJ | SCALE: 1:40 | DRAWING No.: A200

DATE: 24-09-13 | JOB No.: 07-4391



No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

No.	DATE	REVISION	INITIAL
-----	------	----------	---------



PROJECT:

**PROPOSED 2-STOREY
SINGLE FAMILY DWELLING**

CLIENT: TAJINDER NAGRA

244 Sabel St., Oakville, Ontario L6L 3V7

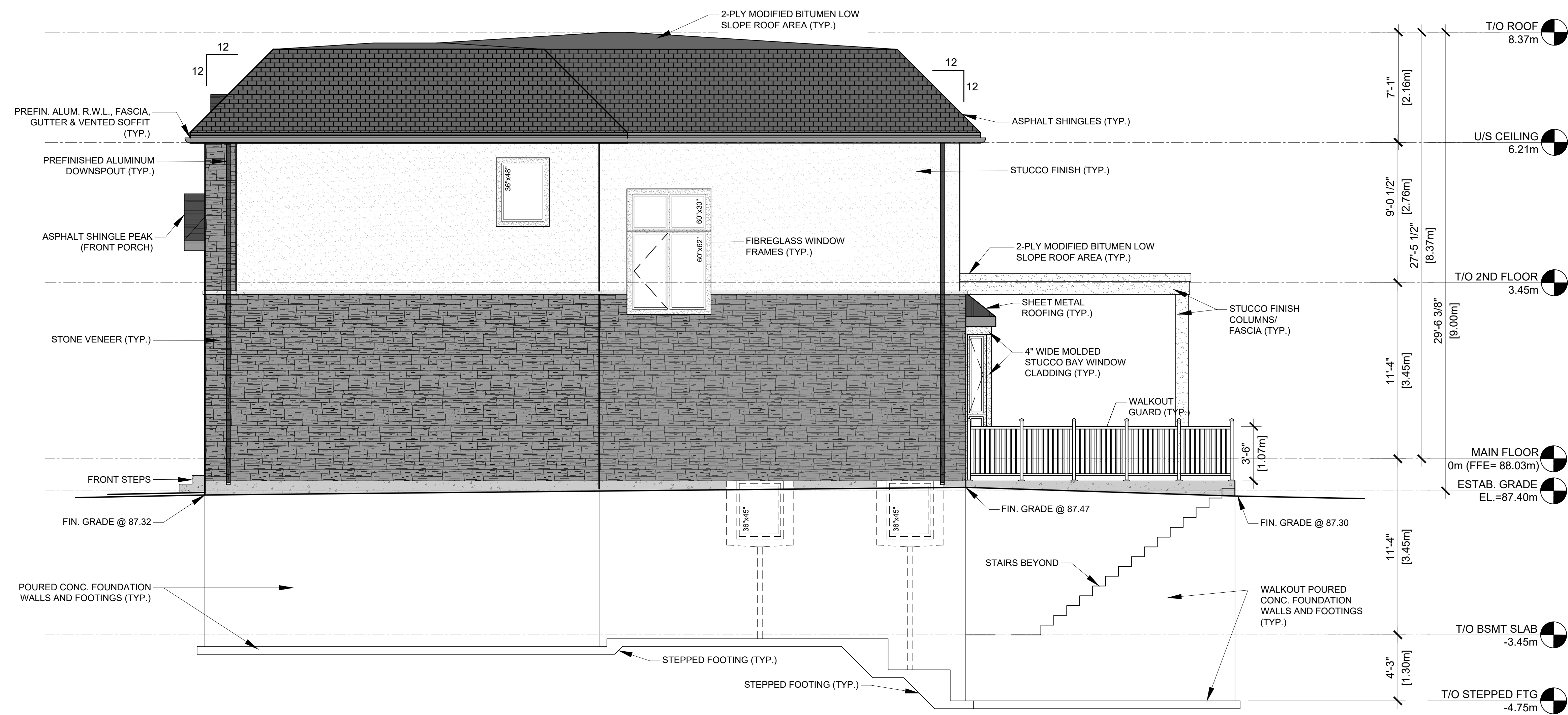
DRAWING:

**PROPOSED SOUTH
ELEVATION**

DESIGNED BY: MA	CHECKED BY: MA
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DRAWN BY: CJ	SCALE: 1:40	DRAWING No.: A201
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DATE: 24-09-13	JOB No.: 07-4391
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No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

No.	DATE	REVISION	INITIAL
-----	------	----------	---------



KELLER
ENGINEERING
www.kellerengineering.com

PROJECT:

**PROPOSED 2-STORY
SINGLE FAMILY DWELLING**

CLIENT: TAJINDER NAGRA

244 Sabel St., Oakville, Ontario L6L 3V7

DRAWING:

**PROPOSED WEST
ELEVATION**

DESIGNED BY: MA CHECKED BY: MA

DRAWN BY: CJ SCALE: 1:50 DRAWING No.: A203

DATE: 24-09-13 JOB No.: 07-4391

October 11, 2024

Project No. 3230704

Town of Oakville Building Services Department
1225 Trafalgar Road
Oakville, ON L6H 0H3
(905) 845-6601

COVER LETTER
244 Sabel St., Oakville Ontario, L6L 3V7

Permit Application Number: 24-103773

To whom it may concern,

On behalf of the Owner, our primary purpose is for the committee of adjustment to review and consider accepting our application for minor variance of regarding Residential Floor Area (RFA) per Table 6.4.1.

Residential Floor Area: Table 6.4.1. - The maximum Residential Floor Area Ratio for a detached dwelling with a lot area between 650.00m² and 742.99m² shall be 41% (291.86m²) with a Lot area of 711.85m², the calculated amount of 45.25% (323.91m²) does not comply.

Proposed Dwelling Statistics:

- a) i) First Floor Area is 162.62 m²
- ii) 2nd floor Area: 161.37 m²
- iii) Total Floor Area: 323.99 m²
- iv) Lot area of 715.89 m² per site survey conducted by Avanti Surveying Inc. dated August 16, 2023.
- v) Residential Floor Area Ratio is 45.26%.
- vi) ** This will require Minor Variance for zoning compliance.

We have reviewed past minor variance applications made to the Committee in the general vicinity of 244 Sabel St. that fall are under the same zoning and under Table 6.4.1. (650.00 m² and 742.99 m², 41% RFA) requirements for Residential Floor Area Ratio.

According to the public data provided by past Committee of adjustment meetings, the properties in the area having similar percentage Residential Floor Area ratios that were **approved** by the Committee of Adjustment panel were as follows:

Approved:

1. 2378 Rebecca St. (Dated 2018-01-16) @ 45.9% RFA
2. 415 Third Line (Dated 24-01-24) @ 45.1 % RFA
3. 439 Seabourne Dr. (Dated 16-11-18) @ 44.6% RFA
4. 2450 Rebecca St. (Dated 22-08-30) @ 44.4% RFA
5. 241 Cherryhill Rd (Dated 23-02-22) @ 44.2% RFA

The subject property is located near the Southwest corner of Third Line and Rebecca Street. This older neighborhood consists of a mixture of 50's and 60's vintage single-family bungalows amongst a transforming landscape of more modern two-storey homes replacing some of these older homes. According to the Town of Oakville's "Livable Oakville" official plan maps, this property can be considered as the Northeast corner of Bronte District in Oakville. It is situated about 2.5km from the Bronte Go train station.

As highlighted in 2(b) of section 2.2.3 of the province's Official Plan "A place to Grow", midtown Oakville is the only area mentioned in the plan as an urban growth center and is to provide an increased density of 400 residents and jobs per hectare.

Per schedule F map (Southwest) in the official plan's land use schedule, the area of Rebecca Street and Third Line is categorized as "Low Density Residential". In schedule E map, it is evident that this property does not fall within any parkway belt or greenbelt sensitive land jurisdictions.

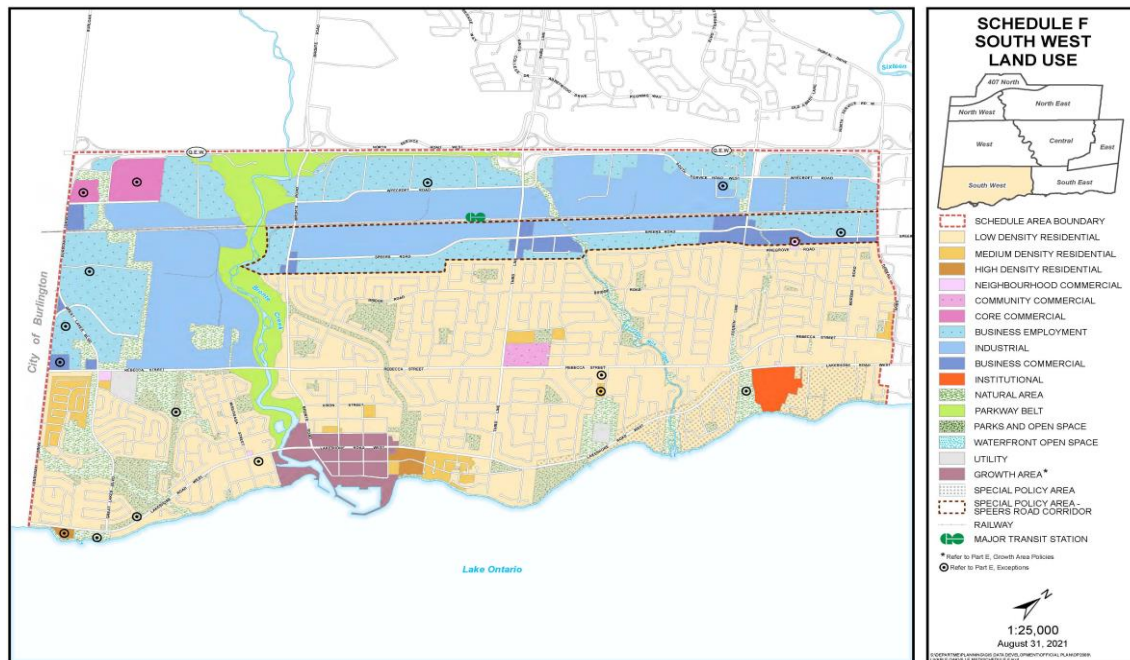


Figure 1: Livable Oakville Official Plan Schedule F (Southwest) land use map.

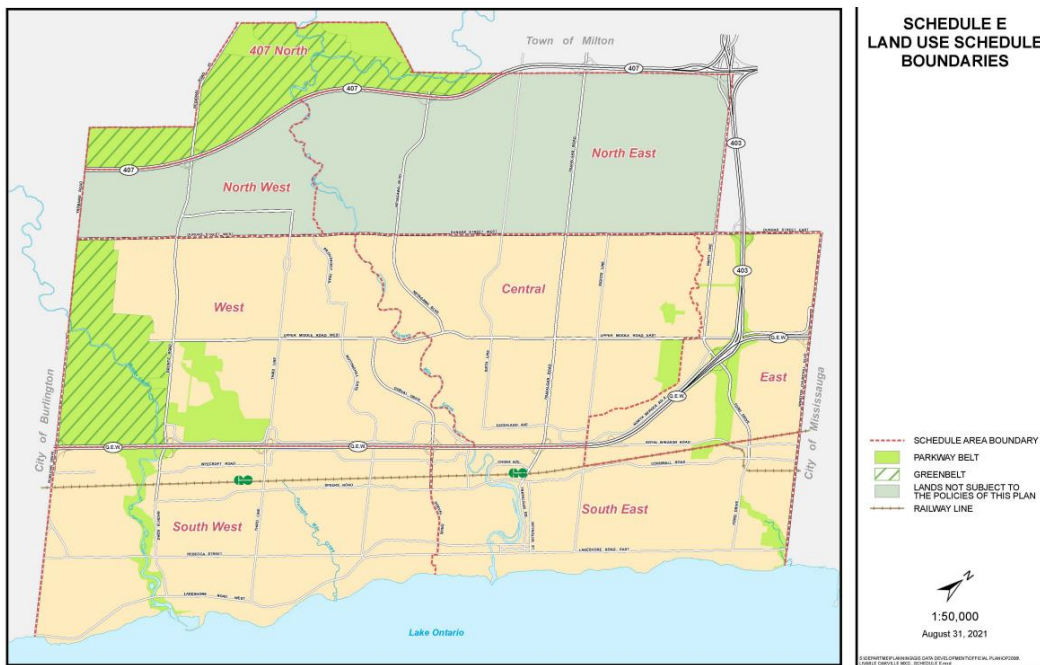


Figure 2: Livable Oakville Official Plan Schedule E Greenbelt map.

Under Part D of the ‘Livable Oakville’ Official Plan, section 11.1.8 describes provisions for land density intensification on existing or vacant lots within stable low-density residential areas. Since this proposed dwelling will be located on an existing low-density residential lot upon demolition of an existing house, the new footprint will fulfill the official plans provision to intensify the low-density area by providing increased density of livable area on the same lot, meanwhile being compliant with all other zoning regulations outlined for the RL3-0 zoned lot aside from the minor variance being requested in this application.

Section 11.1.9(a) describes that development of all stable residential communities be evaluated for their scale, height, mass, and architectural character and material compatibility with the surrounding neighborhood. Since this is a vintage neighborhood that is undergoing some intensification and modernization, we feel that our proposed design is compatible with the general direction of today’s architectural design and materials. Under 11.1.9 (b), the proposed subject dwelling is compatible with all setbacks, orientation and separation consistent with the previous dwelling footprint. Section 11.1.9(e) highlights that the property should have adequate municipal infrastructure, in which this property is fully serviced for water, wastewater, waste management and fire protection.

In summary, we believe that the request to increase the allowable residential floor area ratio from the by-law’s 41% to our requested 45.25% is not excessive, since we have identified that there have been several other applicant properties of comparable floor area range made within the low-density neighborhood which have been approved. This will also provide an opportunity to increase livable density and could provide potential future options for rental to increase the number of people occupying the house and help offset housing/rental shortages in the city.

We thank you for your consideration of our application.

Sincerely,



Henry J. Jansen, P.Eng, ACCI, LCCI.
DIRECTOR OF OPERATIONS – GTA & SOUTHERN ONTARIO



OTTAWA (613) 224-1594
GREATER TORONTO AREA (437) 488-1870
SOUTHERN ONTARIO (519) 940-0571
KINGSTON (613) 507-7536

CALGARY (403) 471-3492
EDMONTON (780) 884-7378
SASKATCHEWAN (306) 985-5136
VANCOUVER (778) 760-1259

Notice of Public Hearing Committee of Adjustment Application



File # A/014/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
T. Nagra	Keller Engineering (Henry Jansen) 25 First St Orangeville ON L9W 2C8	244 Sabel St PLAN 684 LOT 106

Zoning of property: RL3-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.4.1</i> The maximum residential floor area for a detached dwelling with a lot area between 650.0m ² and 742.99m ² shall be 41%.	To increase the maximum residential floor area to 45.25%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/014/2025 - 244 Sabel Street



COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/014/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
T. NAGRA	Keller Engineering Henry Jansen 25 First St Orangeville ON, CANADA L9W 2E1	PLAN 684 LOT 106 244 Sabel St Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential

ZONING: RL3-0, Residential

WARD: 1

DISTRICT: West

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.4.1</i> The maximum residential floor area for a detached dwelling with a lot area between 650.0m ² and 742.99m ² shall be 41%.	To increase the maximum residential floor area to 45.25%.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services:

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/014/2025 – 244 Sabel Street (West District) (OP Designation: Low Density Residential)

The applicant proposes to construct a two-storey detached dwelling, subject to the variance listed above.

Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variances from provisions of the Zoning By-law provided the

requirements set out under 45(1) in the *Planning Act* are met. Staff comments concerning the application of the four tests to this minor variance request are as follows:

Site and Area Context

The subject property is located in an area that has experienced some redevelopment in the form of replacement dwellings and additions/alterations to existing dwellings. The neighbourhood consists of original one-storey detached dwellings, as well as newer two-storey detached dwellings with diverse architectural styles. The following images provide the neighbourhood context in the immediate vicinity of the subject lands.



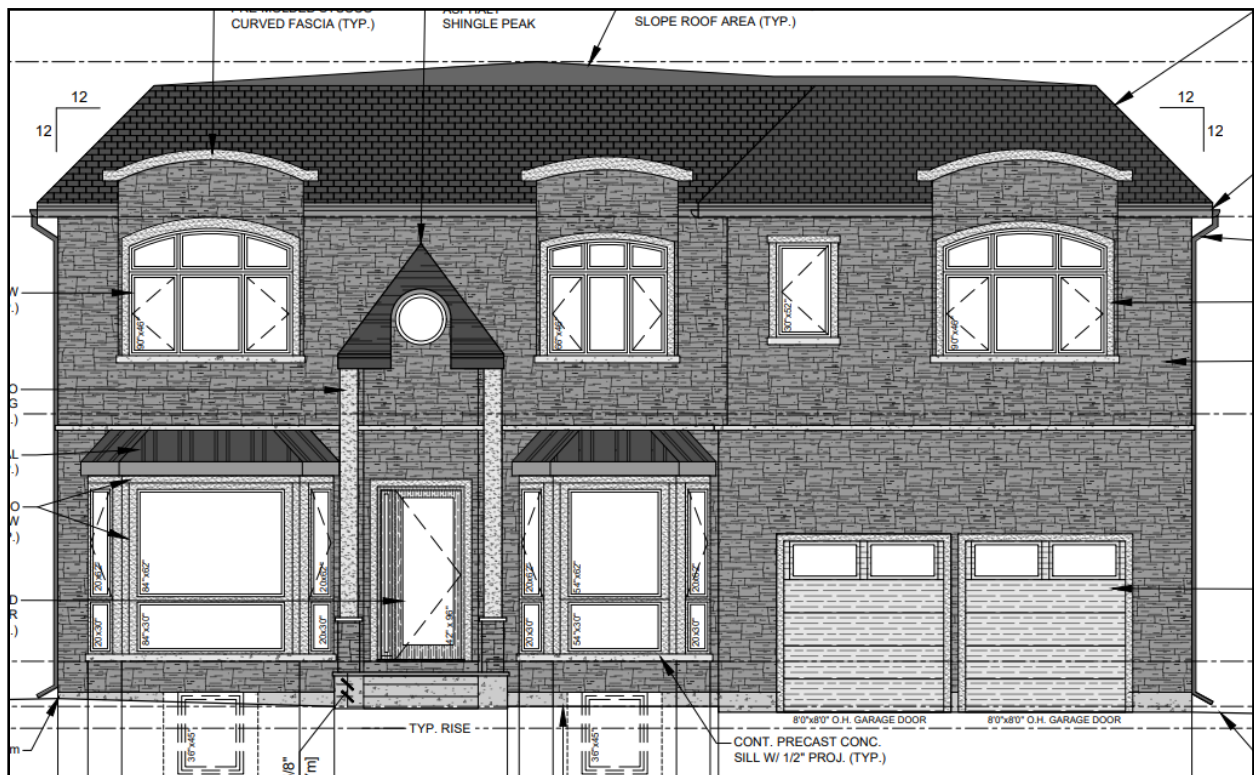
Aerial Photo of subject lands – 244 Sabel Street



Photograph of subject lands – 244 Sabel Street and the neighbouring dwellings abutting the property to the south at 238 Sabel Street (left side of photo) and the north at 248 Sabel Street (right side of photo) [Photo taken January 21, 2025]



Photograph of the existing one-storey dwellings located on the east side of Sabel Street, opposite the subject lands (Photo taken January 21, 2025)



244 Sabel Street – Proposed Front Elevation

As seen in the photos above, to the immediate north of the proposed development is a one-storey bungalow original to the neighbourhood. To the immediate south, there is a

newer construction two-storey detached dwelling containing a one-car integral garage. Across the street from the subject lands are additional one-storey bungalows original to the neighbourhood.

Does the proposal maintain the general intent and purpose of the Official Plan?

The subject lands are designated Low Density Residential in the Official Plan. Development within stable residential communities shall be evaluated against the criteria in Section 11.1.9 to ensure new development will maintain and protect the existing neighbourhood character. The proposal was evaluated against the criteria established under Section 11.1.9, and the following criteria apply:

Policies 11.1.9 a), b), and h) state:

“a) The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.

b) Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood.

h) Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.”

The proposed development has been evaluated against the Design Guidelines for Stable Residential Communities, which are used to direct the design of the new development to ensure the maintenance and preservation of the existing neighbourhood character in accordance with Section 11.1.9 of Livable Oakville. Section 6.1.2 c) of Livable Oakville provides that the urban design policies of Livable Oakville will be implemented through design documents, such as the Design Guidelines for Stable Residential Communities, and the Zoning By-law. Staff are of the opinion that the proposal would not implement the Design Guidelines for Stable Residential Communities, in particular, the following sections:

3.1.1. Character: *New development should be designed to maintain and preserve the scale and character of the site and its immediate context and to create compatible transitions between the new dwelling and existing dwellings in the surrounding neighbourhood.*

3.1.3 Scale: *New development should not have the appearance of being substantially larger than the existing dwellings in the immediate vicinity. If a larger massing is proposed, it should be subdivided into smaller building elements that respond to the context of the neighbourhood patterns.*

3.2.1 Massing: *New development, which is larger in overall massing than adjacent dwellings, should be designed to reduce the building massing through the thoughtful composition of smaller elements and forms that visually reflect the scale and character of the dwellings in the surrounding area. The design approach may incorporate:*

- *Projections and/or recesses of forms and/or wall planes on the façade(s).*
- *Single-level building elements when located adjacent to lower height dwellings.*
- *Variations in roof forms.*
- *Subdividing the larger building into smaller elements through additive and/or repetitive massing techniques.*

- *Porches and balconies that can reduce the verticality of taller dwellings and bring focus to the main entrance.*
- *Architectural components that reflect human scale and do not appear monolithic.*
- *Horizontal detailing to de-emphasize the massing.*
- *Variation in building materials and colours.*

3.2.2. Height: *New development should make every effort to incorporate a transition in building height when the proposed development is more than a storey higher than the adjacent dwellings. The transition may be achieved by:*

- *stepping down the proposed dwelling height towards the adjacent shorter dwellings*
- *constructing a mid-range building element between the shorter and taller dwellings on either side*
- *increasing the separation distance between dwellings*

New development is encouraged to incorporate upper storey living spaces wholly or partially within the roof structure to de-emphasize the height and overall building scale, and to divide the massing of the roof. Dormer and end gable windows can provide adequate light into these spaces.

3.2.4 Primary Façade: *New development is discouraged to project significant built form and elements toward the street which may create an overpowering effect on the streetscape.*

In staff's opinion, the proposed residential floor area increase, along with the architectural design of the dwelling's exterior, have not been properly considered when examining it against the existing character of the stable residential neighbourhood in which the dwelling is located. As such, the proposal results in a development that appears to be substantially larger than those around it and would result in negative cumulative impacts on the surrounding neighbourhood. In particular, the proposed two-storey entryway feature would enhance the verticality of the primary façade and contribute to the development of a dwelling which helps further exacerbate the negative impacts of mass and scale on nearby properties, and the local streetscape. Furthermore, the proposed dwelling does not provide an appropriate transition to the abutting one-storey dwelling to the north or the existing one-storey dwellings across the street either. The height of the proposed dwelling should be stepped down towards the northern end of the property or the second floor integrated into a lowered roofline. Portions of the second floor could also be stepped back along the front main wall to help mitigate the potential shadowing, massing, and scale impacts on the abutting one-storey dwelling.

On this basis, it is staff's opinion that the proposed variance does not maintain the general intent and purpose of the Official Plan as it would contribute to a proposal that would not maintain nor protect the character of the existing neighbourhood.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

Variance #1 – Floor Area Ratio (Objection) – Increase from 41% to 45.25%

The applicant requests relief from Zoning By-law 2014-014, as amended, to permit a maximum residential floor area increase of 4.25% from what is permitted. The intent of

the Zoning By-law provision for residential floor area is to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding neighbourhood.

The residential floor area ratio (RFA) variance results in a total increase of approximately 30.48 square metres above the maximum permitted under the by-law for this lot. The proposed dwelling also consists of massing resulting from the large open-to-below area of approximately 25.61 square metres in the rear, that pushes the second-storey floor area to the perimeter of the dwelling. While the open-to-below does not technically count towards the residential floor area, it contributes to the massing and scale of the proposed dwelling in a manner that is not compatible with the neighbourhood character. The 25.61 square metres of open-to-below area, combined with the increase in residential floor area of approximately 30.48 square metres above the maximum permitted under the by-law, effectively results in a total of 56.09 square metres of additional perceived massing for the dwelling. The resulting overall built-form massing equates to a residential floor area ratio of 48.83%. The combination of both the proposed increase in the residential floor area ratio and the large open-to-below area will result in a dwelling that appears to be much larger from the public realm than its abutting neighbours, causing undue adverse impacts upon the local streetscape. The proposal as currently envisioned, does not help maintain or protect the existing character of the stable residential neighbourhood.

The dwelling design does not appropriately mitigate the potential massing and scale impacts on abutting properties either. It is noted that the roofline for instance, has not been lowered or integrated into the second storey to help mitigate massing and scale from the public realm. Additionally, the inclusion of the two-storey front porch creates an overpowering front façade element which also projects massing towards the public realm.

The proposal also does not incorporate design elements that would help to mitigate the impact of the significant massing and scale on adjacent properties such as: the second storey being stepped back from the front main wall of the first storey, variations in dwelling height, lowered rooflines, wall plane variations, façade articulation, adequate recesses, variation in roof forms, and massing that is broken up into smaller elements.

On this basis, it is staff's opinion that the intended development would appear visually larger than the surrounding dwellings, and as currently proposed, does not maintain or protect the neighbourhood's existing character. In Staff's opinion, the proposed variance does not meet the general intent and purpose of the Zoning By-law and would negatively impact the streetscape.

Notwithstanding the comments above, it should be noted that the Town's Development Engineering Department also provided comments on this application and indicated that there are no issues with the specific variance. Development Engineering will require a Site Alteration permit and on-site stormwater management will also be asked for as a part of the application. Additionally, staff have stated that the following should be noted moving forward based on the review of the plans that were submitted:

- The site requires a best-efforts stormwater management approach. Development Engineering recommends the 25mm retention through stormwater management implementation.
- Please note swales are required to be minimum 2%

- Please note Development Engineering Procedures and Guidelines must be followed for grading, swales, catch basin connections, etc. when developing a lot grading design.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff are of the opinion that the proposal does not represent the appropriate development of the subject lands as the variance is not minor in nature and will result in a dwelling that appears larger than those in the immediate area. The proposed dwelling creates negative impacts on the streetscape in terms of massing and scale, and ultimately it does not fit within the context of the surrounding neighbourhood.

On this basis, it is staff's opinion that the application does not meet the four tests under Section 45 (1) of the *Planning Act* and staff recommends that the application be denied.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit an increase to the maximum residential floor area ratio to 45.25%, under the requirements of the Town of Oakville Zoning By-law for the purpose of constructing a two-storey detached dwelling on the Subject Property.

Oakville Hydro: We do not have any comments for this group of minor variance applications.

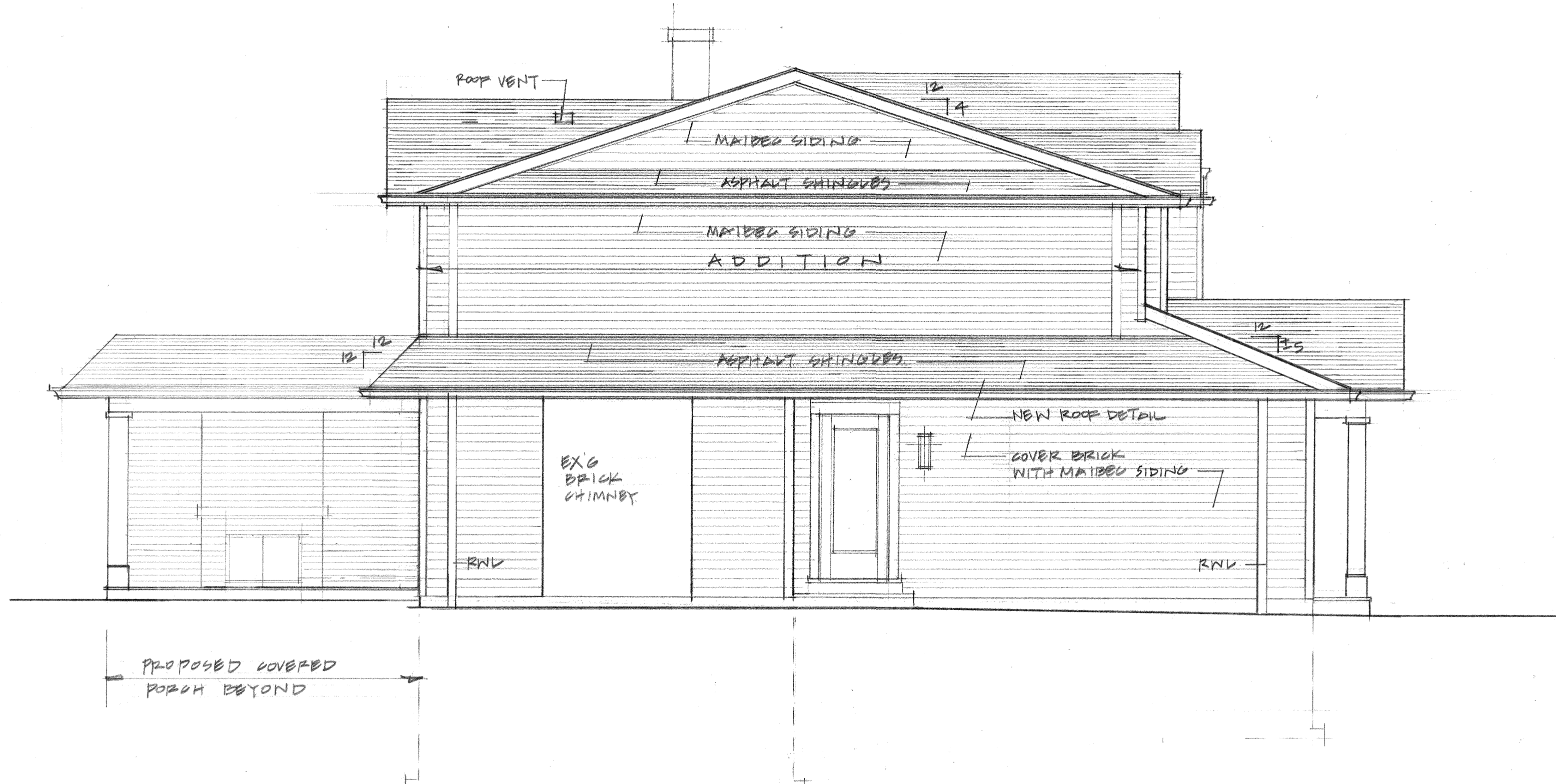
Union Gas: No comments received.

Letter(s) in support – None

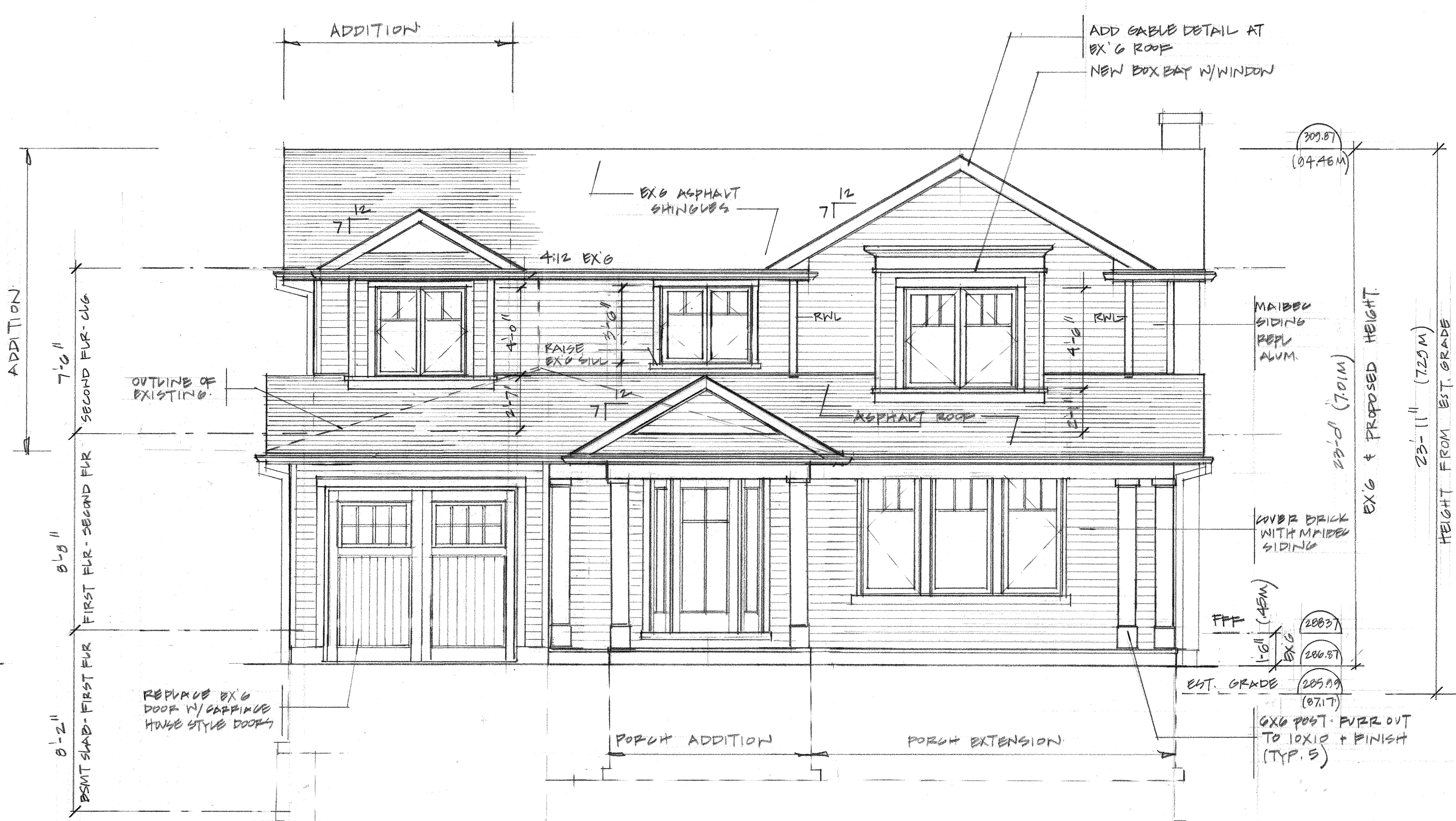
Letter(s) in opposition – None

J. Ulcar

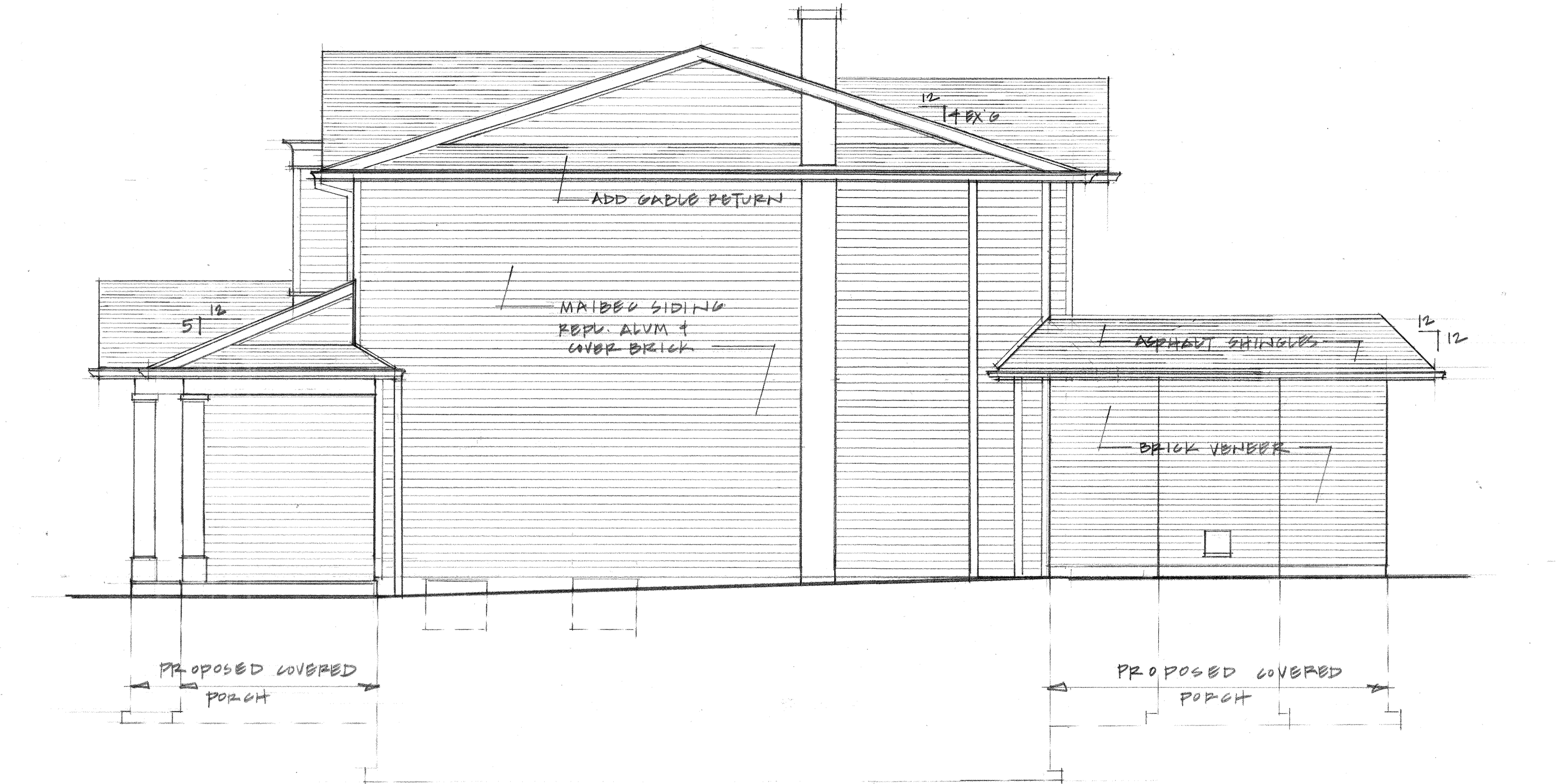
Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment



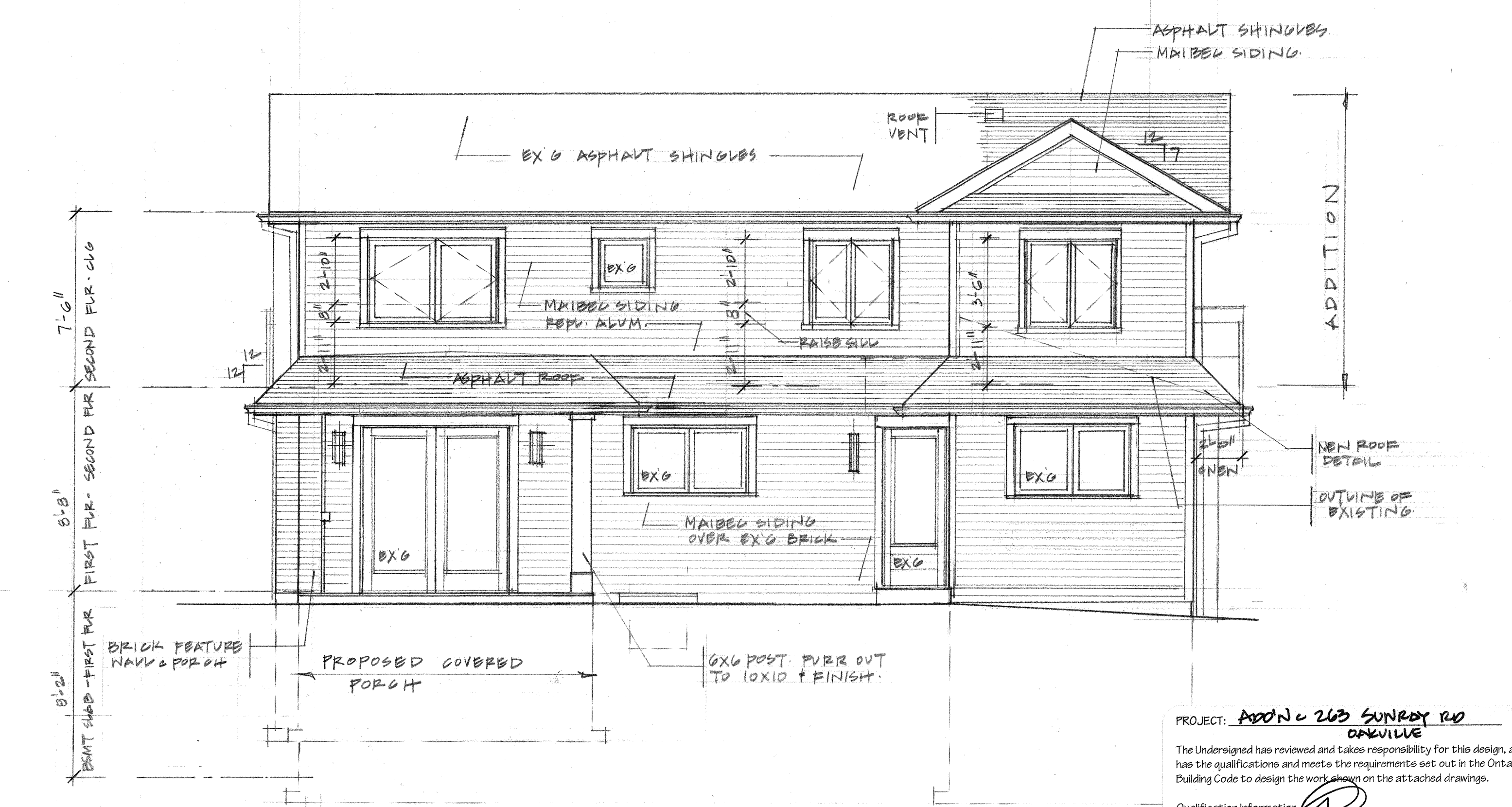
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

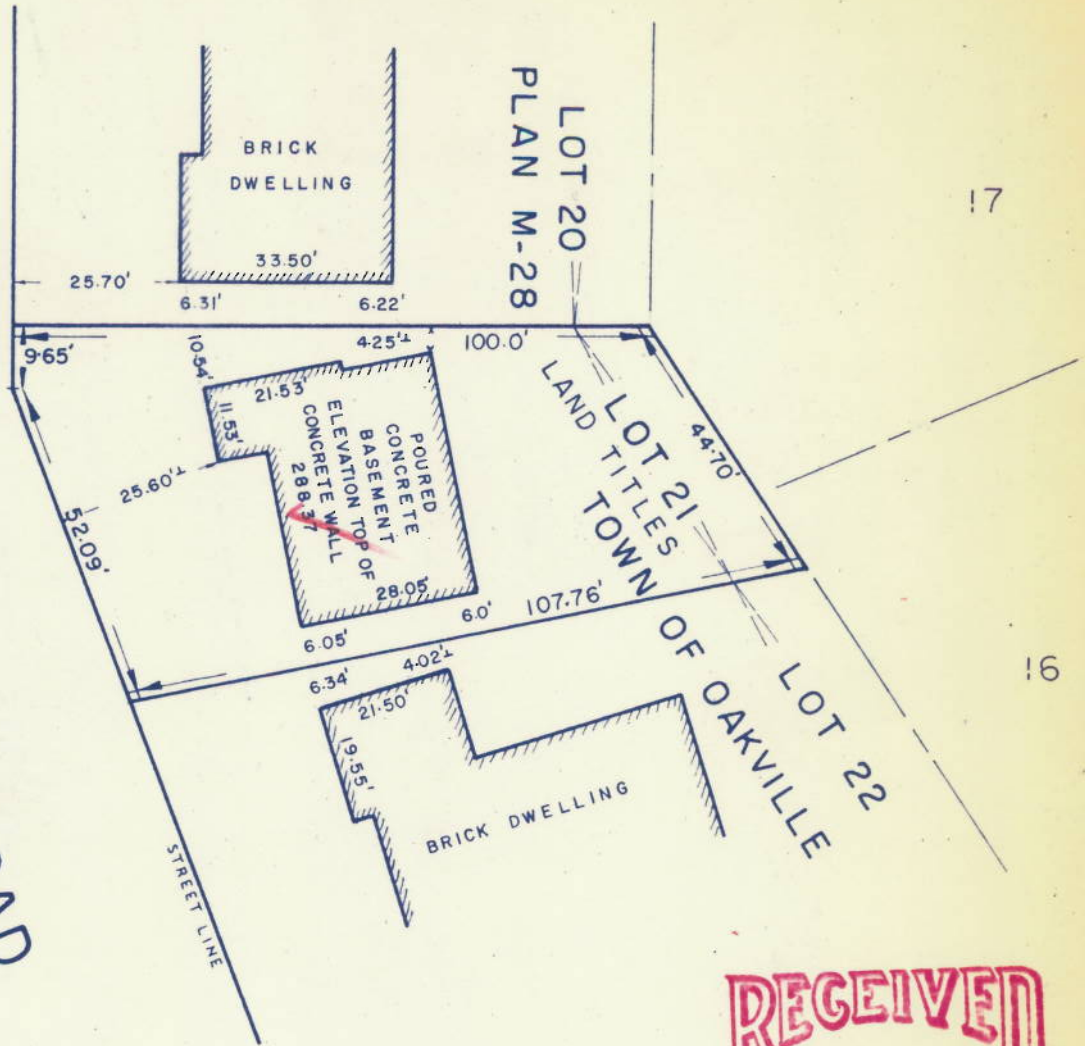
PROJECT: **ADDN 203 SUNNY RD ORVILLE**
 The Undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.
 Qualification Information
 Syla Edelenboe BCN 26032
 Registration Information
 Just Drafting Ltd. BCN 31393 Date: **JULY 16/24**

ADD GRADING INFO TO SOUTH ELEV. 1001.24

DRAWING ELEVATIONS			
DATE: MAR '24	SCALE: 1/4"=1'-0"	DRN: SD	PG: 5 OF 6

263 Sunray

SUNRAY ROAD



284-95

RECEIVED

OCT 20 1969

TOWN OF OAKVILLE BUILDING DEPARTMENT

SCALE 1" = 30'



TOWN OF OAKVILLE ZONING DEPARTMENT

Approved by:

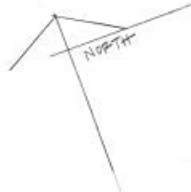
[Signature]

OCT 20 1969

SEWELL AND SEWELL
 ONTARIO LAND SURVEYORS
 TORONTO
 233 ROBINSON ST. OAKVILLE

[Signature]
 H. D. SEWELL

DATE 7 OCTOBER 1969. NO. 69-200.



SUNRAY ROAD
SITE PLAN
SCALE 1/50 (METERS IN DIMENSIONS)

SITE CALCULATIONS

LOT AREA	4550.00 SQM	490.00 M ²	
LOT COVER RATIO	20% MAXIMUM		
EX. 2ND STY	1374.89 SQM	148.40 M ²	
PROPOSED PORCHES	412.00 SQM	44.00 M ²	
TOTAL COVERAGES	1786.89 SQM	192.40 M ²	39.9%
FLOOR SPACE INDEX	49% MAXIMUM		
EX. 2ND STY	2037.04 SQM	218.36 M ²	
PROPOSED ADDITIONS	360.00 SQM	38.78 M ²	
TOTAL FLOOR SPACE INDEX	2397.04 SQM	257.14 M ²	56.5%

ADJCT. VIT. AREA/PL/PL%	10.01 SQM
ADD. PAT. GRASS	10.01 SQM
100% FOR FRONT	17.17 SQM
100% FOR REAR	17.17 SQM
ADD. STRUCTURAL 100% + 100%	17.15 SQM
100% FOR BNS + HVAL	17.15 SQM
REAR PORCH ADDITION	10.51 SQM
REAR GARAGE ADDITION	10.51 SQM
100% FOR 2ND STY REVIEW	10.51 SQM
100% FOR 2ND STY REVIEW	10.51 SQM

DESIGN & DRAINING BY
JUST DRAFTING LTD
TORONTO
416-464-3505

PROJECT: 2ND STY ADDN + INT. ALTERATIONS

SITE: 250 SUNRAY RD. DANFORTH

CLIENT: MATHS + BRENT APPEALS

DRAWING: SITE PLAN + EX. 2ND STY

DATE: APR 2024	DESIGN: MATHS	CHECK: MATHS	APP: MATHS
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PROJECT: ADD N. 2ND STY TO
REAR PORCH
The undersigned has obtained and bears responsibility for the design and construction of the proposed works and shall be held responsible for the same.
Qualification: Professional Engineer
Registration No.: 000000000
Registration Information
Just Drafting Ltd. 416-464-3505 Date: JULY 14/24

Notice of Public Hearing Committee of Adjustment Application



File # A/015/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
B. Copeland	SYLVIA EDELENBOS JUST DRAFTING LTD 216 MEDLAND ST TORONTO ON M6P 2N7	263 Sunray Rd PLAN M28 LOT 21

Zoning of property: RL3-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit a second storey addition and porch addition proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.3.1 (Row 5, Column RL3)</i> The minimum interior side yard shall be 2.4 metres and 1.2 metres.	To reduce the minimum easterly interior side yard to 1.83 metres.
2	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling with a lot area less than 557.5m ² shall be 43%.	To increase the maximum residential floor area to 44.52%.
3	<i>Table 6.4.3</i> The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 6.8 metres.	To reduce the minimum front yard to 6.55 metres.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

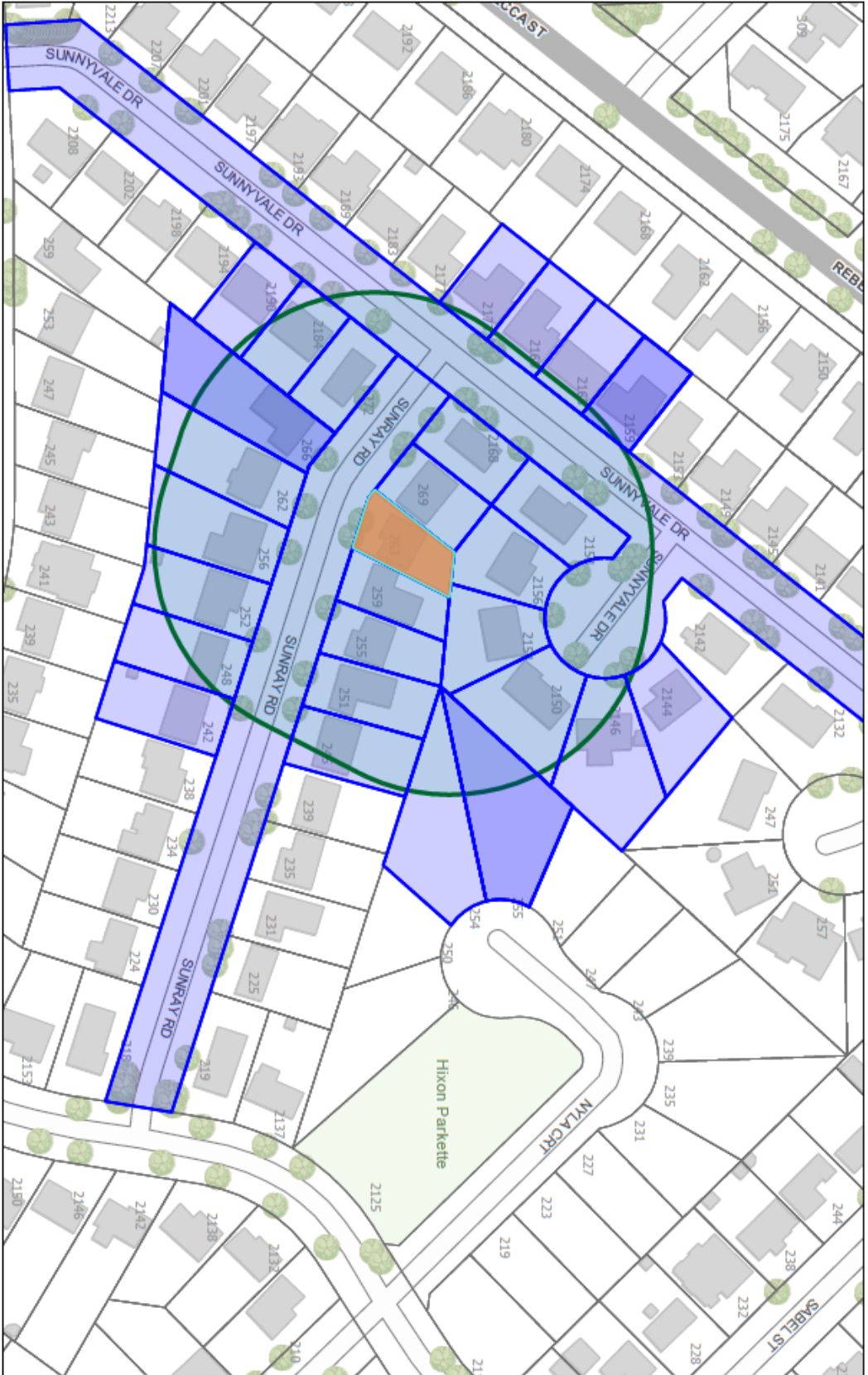
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/015/2025 - 263 Sunray Road

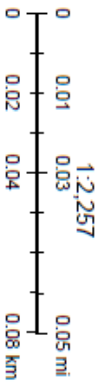


1/13/2025, 2:16:57 PM

Ownership

Applicant Name Address

Wards



Town of Oakville
2021 Town of Oakville

COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/015/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
B. COPELAND	SYLVIA EDELENBOS JUST DRAFTING LTD 216 MEDLAND ST TORONTO ON, CANADA M6P 2N7	PLAN M28 LOT 21 263 Sunray Rd Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential

ZONING: RL3-0, Residential

WARD: 1

DISTRICT: West

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit a second storey addition and porch addition proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.3.1 (Row 5, Column RL3)</i> The minimum interior side yard shall be 2.4 metres and 1.2 metres.	To reduce the minimum easterly interior side yard to 1.83 metres.
2	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling with a lot area less than 557.5m ² shall be 43%.	To increase the maximum residential floor area to 44.52%.
3	<i>Table 6.4.3</i> The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 6.8 metres.	To reduce the minimum front yard to 6.55 metres.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services:

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

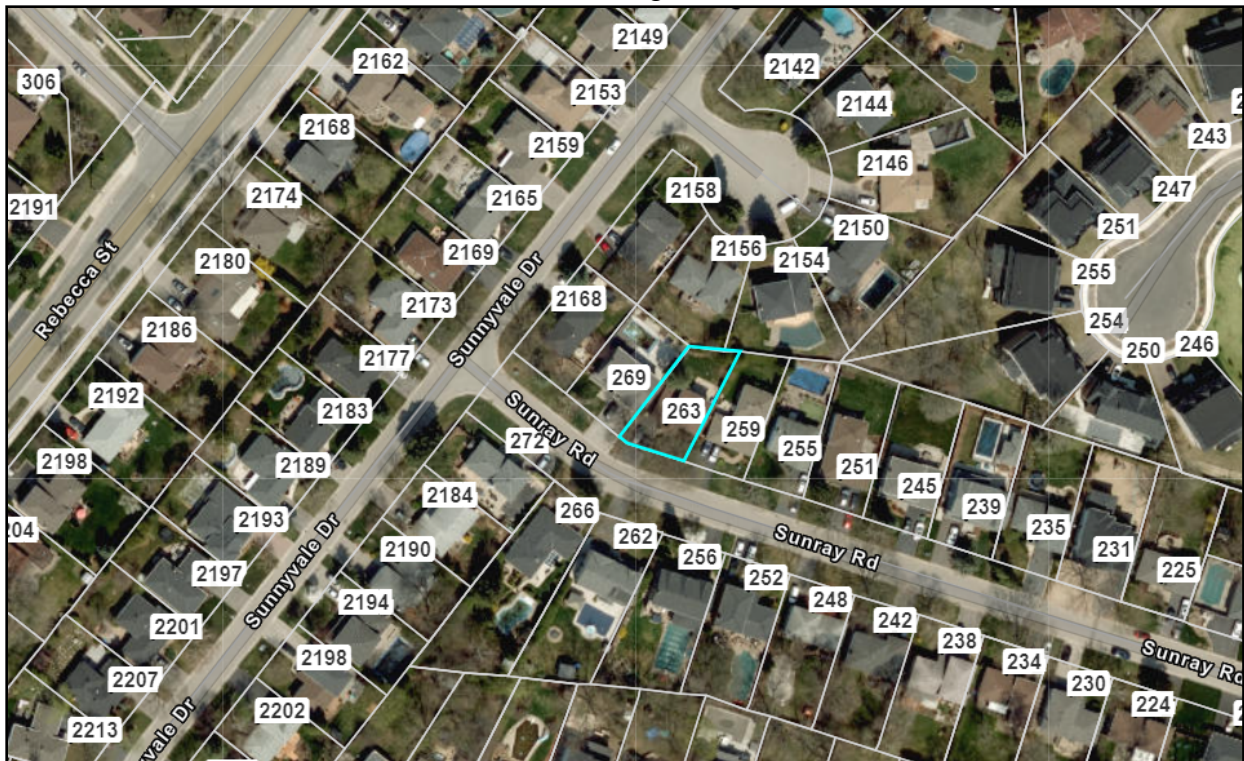
A/015/2025 – 263 Sunray Road (West District) (OP Designation: Low Density Residential)

The applicant proposes to construct a second storey addition and porch additions to the existing detached dwelling, subject to the variances listed above.

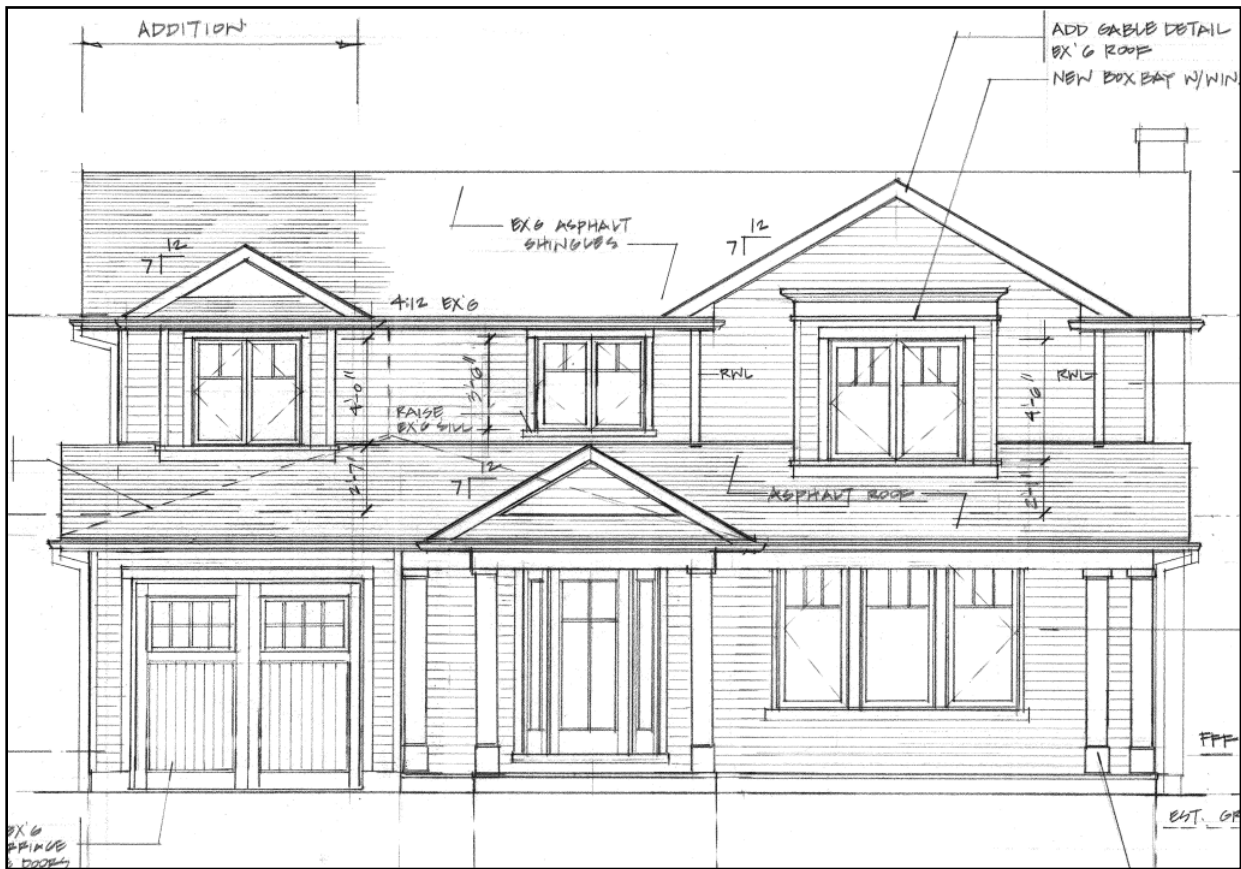
Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variances from provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met. Staff comments concerning the application of the four tests to this minor variance request are as follows:

Site Area and Context

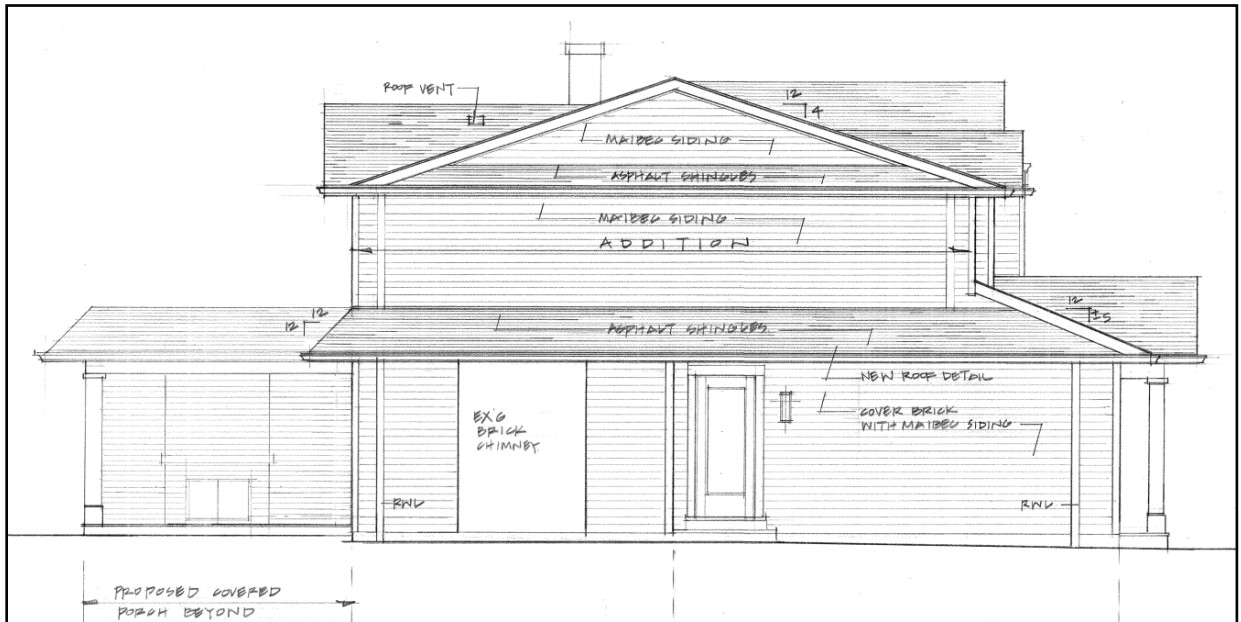
The subject lands are within a neighbourhood that has experienced some redevelopment over the past number of years, predominately in the form of additions/alterations to existing dwellings, but also a few replacement dwellings. The neighbourhood primarily consists of two-storey and one-storey existing housing stock. Some of which have been renovated, with the inclusion of new additions to expand the dwellings, along with some newer two-storey replacement dwellings. Dwellings in the surrounding area consist of a similar architectural style with design elements that help maintain and contribute to the established neighbourhood character.



Aerial Photo – 263 Sunray Road



Front Elevation – 263 Sunray Road



West Elevation – 263 Sunray Road

It should be noted that the Town's Development Engineering Department provided comments on this application and indicated that there are no issues with the specific variances being proposed, as the anticipated works are generally only impacting the existing footprint. Development Engineering will require a Site Alteration Permit and on-site stormwater management will be asked for as part of the application. As existing topographic information has not been provided, it is difficult for Development Engineering to provide additional comments. The cabana is close to property line which could cause difficulties with drainage and grading, but it is difficult to determine without

a grading plan that includes existing topographic information. Grading Plans are to be completed by a qualified professional.

Does the proposal maintain the general intent and purpose of the Official Plan The subject property is designated Low Density Residential in the Official Plan. Development within stable residential communities shall be evaluated against the criteria in Section 11.1.9 to ensure new development will maintain and protect the existing neighbourhood character. The proposal was evaluated against the criteria established under 11.1.9, and the following criteria apply:

Policy 11.1.9 a) states:

“a) The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.”

Section 6.1.2 c) of Livable Oakville provides that the urban design policies of Livable Oakville will be implemented through design documents, such as the Design Guidelines for Stable Residential Communities, and the Zoning By-law. The variances have been evaluated against the Design Guidelines for Stable Residential Communities, which are used to direct the design of the new development to ensure the maintenance and protection of the existing neighbourhood character in accordance with Section 11.1.9 of Livable Oakville. Staff are of the opinion that the proposal adequately implements the Design Guidelines for Stable Residential Communities.

The proposed second-storey addition, along with the front yard and rear yard covered porch additions generally maintain the existing setback conditions on the property, while modestly increasing the footprint of the existing dwelling. On this basis, the variances maintain the general intent and purpose of the Official Plan.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

Variance #1 – Interior Side Yard setback (No Objection) – Decrease from 2.4 metres to 1.83 metres

The applicant requests relief from Zoning By-law 2014-014, as amended, to decrease the interior easterly side yard from 2.4 metres to 1.83 metres. The intent of regulating the side yard setback is to ensure adequate spatial separation between dwellings and to limit negative impacts on drainage. Staff note that the variance can be considered technical in nature, as it would recognize the existing setback condition on the lot. The proposed addition to the dwelling does not contribute whatsoever to the side yard setback reduction, the variance is to simply allow for the current setback to be legalized. The front and rear yard covered porches are also in-line with the existing dwelling, resulting in a built form that provides for the same easterly interior side yard setback which currently exists. Staff note the setback still provides space for a swale for the drainage of surface runoff and sufficient space for access and maintenance.

Variance #2 – Floor Area Ratio (No Objection) – Increase from 43% to 44.52%

The applicant requests relief from Zoning By-law 2014-014, as amended, to increase the floor area ratio from 43% to 44.52%. The intent of the Zoning By-law provision for regulating the maximum residential floor area is to ensure a dwelling's mass and scale does not appear larger than the dwellings in the surrounding area. The impacts of the floor area ratio increase of 1.52% are mitigated through the step backs made to the

second storey along the front and rear of the dwelling. The overall massing and scale for the proposed dwelling is further mitigated through the articulation of the front façade, incorporation and use of one-storey architectural elements including the front porch and exterior window treatments, and the step backs of the primary façade so that the dwelling has a reduced second storey floor area. This will provide additional buffering to the neighbouring dwellings and help limit any potential massing, shadowing, or overlook concerns related to the floor area ratio increase.

Variance #3 – Front Yard Setback (No Objection) – Decrease from 6.8 metres to 6.55 metres

The applicant requests relief from Zoning By-law 2014-014, as amended, to decrease the front yard setback from 6.8 metres to 6.55 metres. The intent of regulating the front yard setback is to ensure a relatively uniform setback along the street. The proposed variance is primarily attributed to the proposed one-storey front porch addition. The front yard setback to the front main wall of the dwelling is setback further than the minimum required under the By-law. The dwelling as a whole is still aligned with the front yard setbacks of adjacent dwellings and will blend in with the streetscape of the surrounding neighbourhood.

It is staff's opinion that the cumulative effect of the proposed variances does not negatively impact adjacent properties or the surrounding area. Measures have been taken to mitigate the potential impacts the proposed development may have, and the proposed variances meet the general intent and purpose of the Zoning By-law and would not negatively impact the streetscape.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature?

Staff are of the opinion that the proposal represents appropriate development of the subject property. The variances are minor in nature and will not create any undue adverse impacts to adjoining properties or the existing neighbourhood character.

Recommendation:

Staff do not object to the proposed variances. Should this minor variance request be approved by the Committee, the following conditions are recommended:

1. The second storey addition and porch additions to the existing detached dwelling be constructed in general accordance with the submitted site plan and elevation drawings dated October 1, 2024; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit a decrease to the minimum easterly interior side yard to 1.83 m, an increase to the maximum residential floor area to 44.52% and a decrease to the minimum front yard to 6.55 m, under the requirements of the Town of Oakville Zoning By-law for the purpose of permitting a second storey addition and a porch addition on the Subject Property.

Oakville Hydro: We do not have any comments to add for this group of minor variance applications.

Union Gas: No comments received.

Letter(s) in support – None

Letter(s) in opposition – None

General notes for all applications:

Note: The following standard comments apply to all applications. Any additional application specific comments are as shown below.

- The applicant is advised that permits may be required should any proposed work be carried out on the property i.e. site alteration permit, pool enclosure permit, tree preservation, etc.
- The applicant is advised that permits may be required from other departments/authorities (e.g. Engineering and Construction, Building, Conservation Halton etc.) should any proposed work be carried out on the property.
- The applicant is advised that any current or future proposed works that may affect existing trees (private or municipal) will require an arborist report.
- The applicant is advised that any current or future proposed works will require the removal of all encroachments from the public road allowance to the satisfaction of the Engineering and Construction Department.
- The applicant is advised that the comments provided pertain only to zoning and are not to be construed as a review or approval of any proposal for the site. This review will be carried out through the appropriate approval process at which time the feasibility/scope of the works will be assessed.
- Unless otherwise states, the Planning basis for the conditions referenced herein are as follows:

- Building in general accordance with the submitted site plan and elevation drawings is required to ensure what is requested and ultimately approved, is built on site. This provides assurance and transparency through the process, noting the documents that are submitted with the application, provide the actual planning, neighbourhood and site basis for the request for the variances, and then the plans to be reviewed through the building permit and construction processes.
- A two (2) year timeframe allows the owner to obtain building permit approval for what is ultimately approved within a reasonable timeframe of the application being heard by the Committee of Adjustment based on the requirements when it is processed, but cognizant of the ever-changing neighbourhoods, policies and regulations which might then dictate a different result. Furthermore, if a building permit is not obtained within this timeframe, a new application would be required and subject to the neighbourhood notice circulation, public comments, applicable policies and regulations at that time.

Requested conditions from circulated agencies:

1. The second storey addition and porch additions to the existing detached dwelling be constructed in general accordance with the submitted site plan and elevation drawings dated October 1, 2024; and
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

J. Ulcar

Jennifer Ulcar
Secretary-Treasurer
Committee of Adjustment



1/4" = 1'-0"
FRONT ELEVATION

CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS

ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 4"

ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS

ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

QUALIFICATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION

AAMOU RAFIQ 113376
NAME B.C.I.N.

LUCID HOMES INC. 114457
FIRM NAME B.C.I.N.



LUCID HOMES INC.
CUSTOM HOME AND RENOVATION DESIGN
1435 CORNWALL RD - UNIT D2
OAKVILLE ON - L6J 7T5
T: 416-566-6588 E: INFO@LUCIDHOMES.CA
WWW.LUCIDHOMES.CA

GENERAL NOTES

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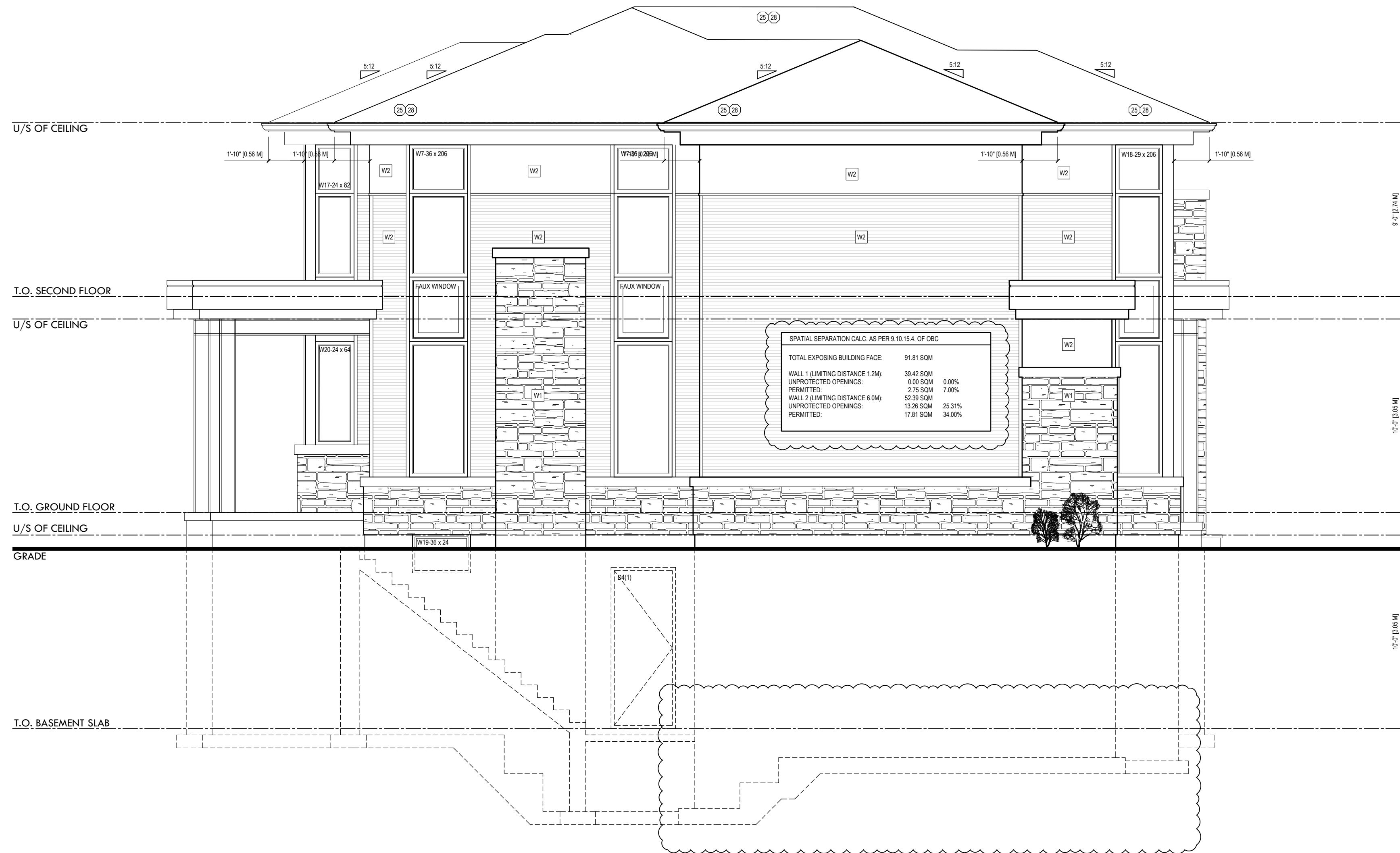
REVISION LIST

NO.	DATE	DESCRIPTION
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3 -	MM.DD.YYYY	
4 -	MM.DD.YYYY	
5 -	MM.DD.YYYY	

NO.	DATE	DESCRIPTION
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2 -	MM.DD.YYYY	
3 -	MM.DD.YYYY	
4 -	MM.DD.YYYY	
5 -	MM.DD.YYYY	



DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 528 WEIR AVE, OAKVILLE
PROJECT NO: 2023-016 **SCALE:** 1/4" = 1'-0"
SHEET NO. **A201**



1/4" = 1'-0"
LEFT ELEVATION

CONSTRUCTION NOTES

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QUALIFICATION INFORMATION

AAMOU RAFIQ 113376

NAME B.C.I.N.

LUCID HOMES INC. 114457

FIRM NAME B.C.I.N.



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ISSUE LIST

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3 -	MM.DD.YYYY
4 -	MM.DD.YYYY
5 -	MM.DD.YYYY



DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: PR CHECKED BY: -
ADDRESS: 528 WEIR AVE, OAKVILLE
PROJECT NO: 2023-016 SCALE: 1/4" = 1'-0"
SHEET NO. **A202**



1/4" = 1'-0"
REAR ELEVATION

CONSTRUCTION NOTES

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QUALIFICATION INFORMATION

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 NAME B.C.I.N.

LUCID HOMES INC. 114457
 FIRM NAME B.C.I.N.



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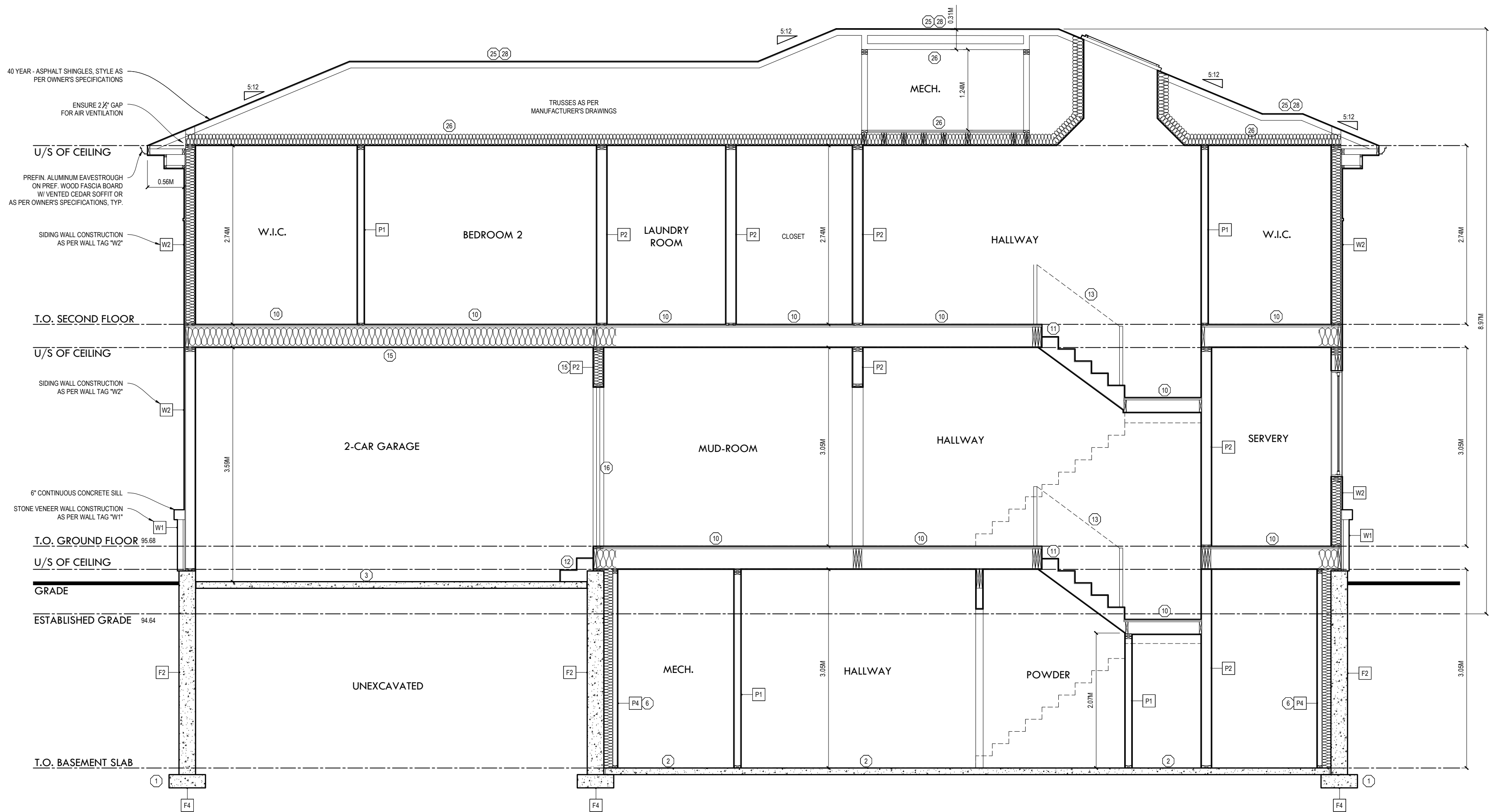
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ISSUE LIST

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5 -	MM.DD.YYYY



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 DRAWN BY: PR CHECKED BY:
 ADDRESS: 528 WEIR AVE, OAKVILLE
 PROJECT NO: 2023-016 SCALE: 1/4" = 1'-0"
 SHEET NO. **A203**



40 YEAR - ASPHALT SHINGLES, STYLE AS PER OWNER'S SPECIFICATIONS
 ENSURE 2" GAP FOR AIR VENTILATION
 TRUSSES AS PER MANUFACTURER'S DRAWINGS
 U/S OF CEILING
 PREFIN. ALUMINUM EAVESTROUGH ON PREF. WOOD FASCIA BOARD W/ VENTED CEDAR SOFFIT OR AS PER OWNER'S SPECIFICATIONS, TYP.
 SIDING WALL CONSTRUCTION AS PER WALL TAG "W2"

6" CONTINUOUS CONCRETE SILL
 STONE VENEER WALL CONSTRUCTION AS PER WALL TAG "W1"
 T.O. GROUND FLOOR 95.00
 U/S OF CEILING
 GRADE
 ESTABLISHED GRADE 94.64

1/4" = 1'-0"
SECTION VIEW

CONSTRUCTION NOTES

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 QUALIFICATION INFORMATION
 AAMOU RAFIQ 113576
 NAME B.C.I.N.
 LUCID HOMES INC. 114457
 FIRM NAME B.C.I.N.



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REVISION LIST

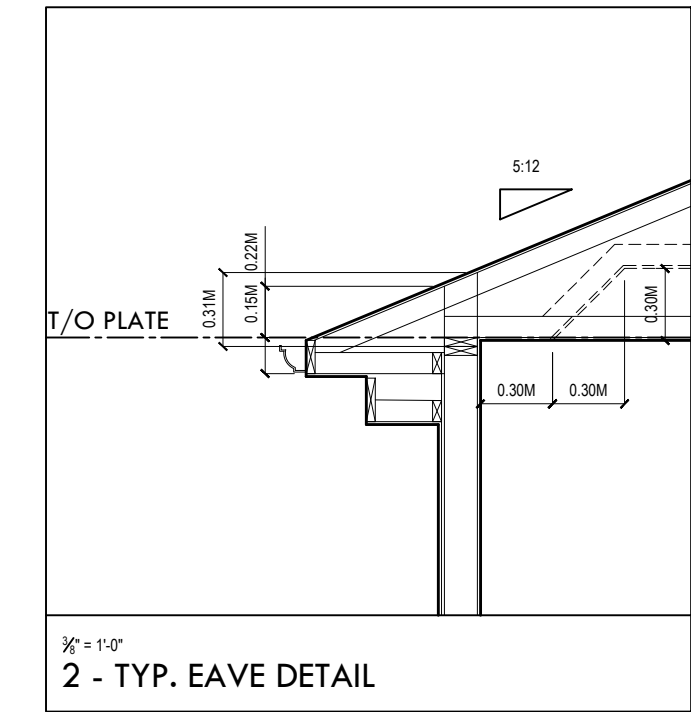
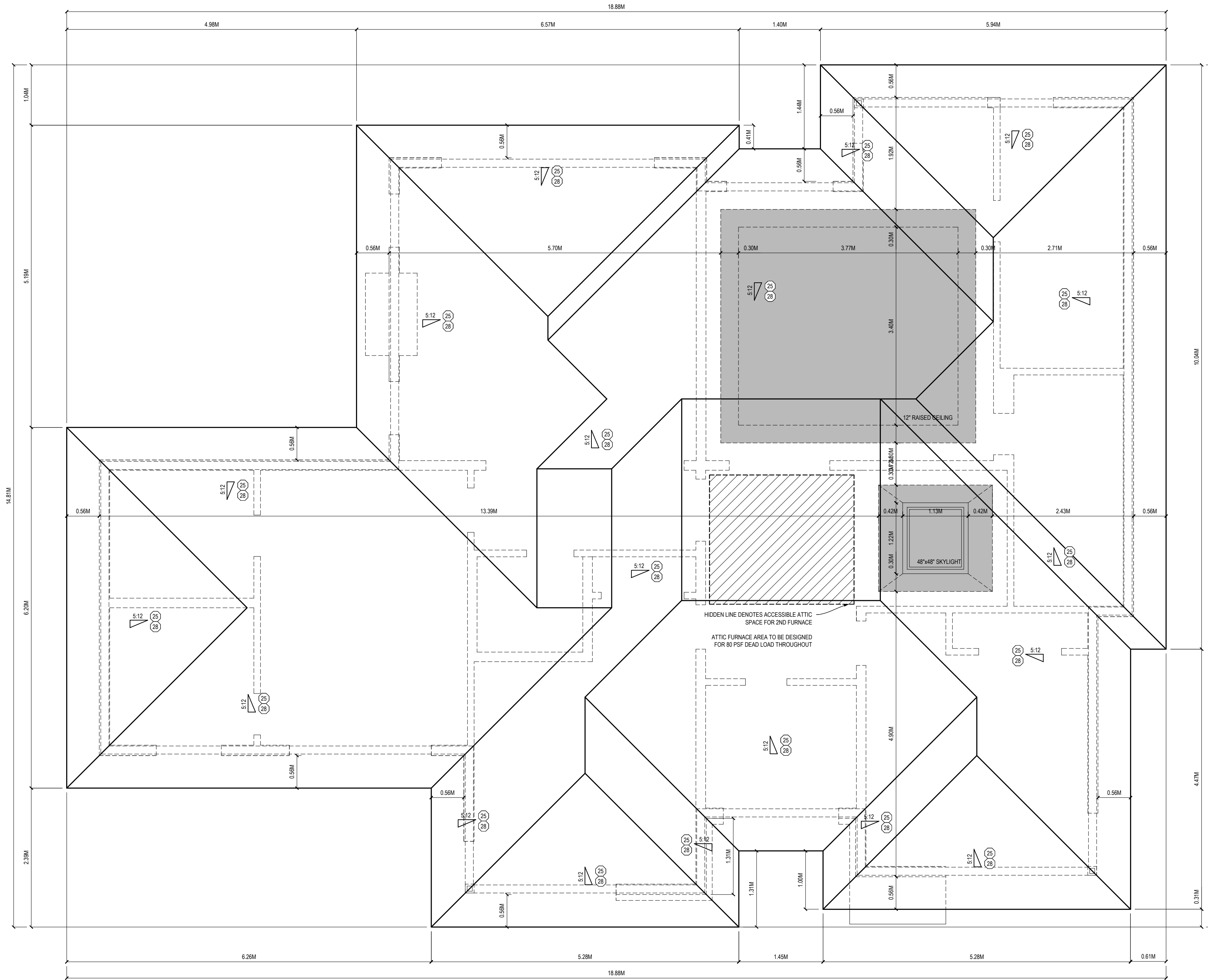
NO.	DESCRIPTION	DATE
1 -		MM.DD.YYYY
2 -		MM.DD.YYYY
3 -		MM.DD.YYYY
4 -		MM.DD.YYYY
5 -		MM.DD.YYYY

ISSUE LIST

NO.	DESCRIPTION	DATE
1 -		MM.DD.YYYY
2 -		MM.DD.YYYY
3 -		MM.DD.YYYY
4 -		MM.DD.YYYY
5 -		MM.DD.YYYY



DRAWING TITLE: SECTION & DETAILS
 DRAWN BY: PR CHECKED BY: -
 ADDRESS: 528 WEIR AVE, OAKVILLE
 PROJECT NO: 2023-016 SCALE: 1/4" = 1'-0"
 SHEET NO. **A301**



3/16\"/>

CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS

ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 4"

ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS

ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

QUALIFICATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION

AAMOU RAFIQ 113576
NAME B.C.I.N.

LUCID HOMES INC. 114457
FIRM NAME B.C.I.N.




GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST	
1 -	MM.DD.YYYY
2 -	MM.DD.YYYY
3 -	MM.DD.YYYY
4 -	MM.DD.YYYY
5 -	MM.DD.YYYY

ISSUE LIST	
1 -	MM.DD.YYYY
2 -	MM.DD.YYYY
3 -	MM.DD.YYYY
4 -	MM.DD.YYYY
5 -	MM.DD.YYYY



DRAWING TITLE: ROOF PLAN
 DRAWN BY: PR CHECKED BY: -
 ADDRESS: 528 WEIR AVE, OAKVILLE
 PROJECT NO: 2023-016 SCALE: 1/4" : 1'-0"
 SHEET NO. **A103**

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LOT 65

LOT 61

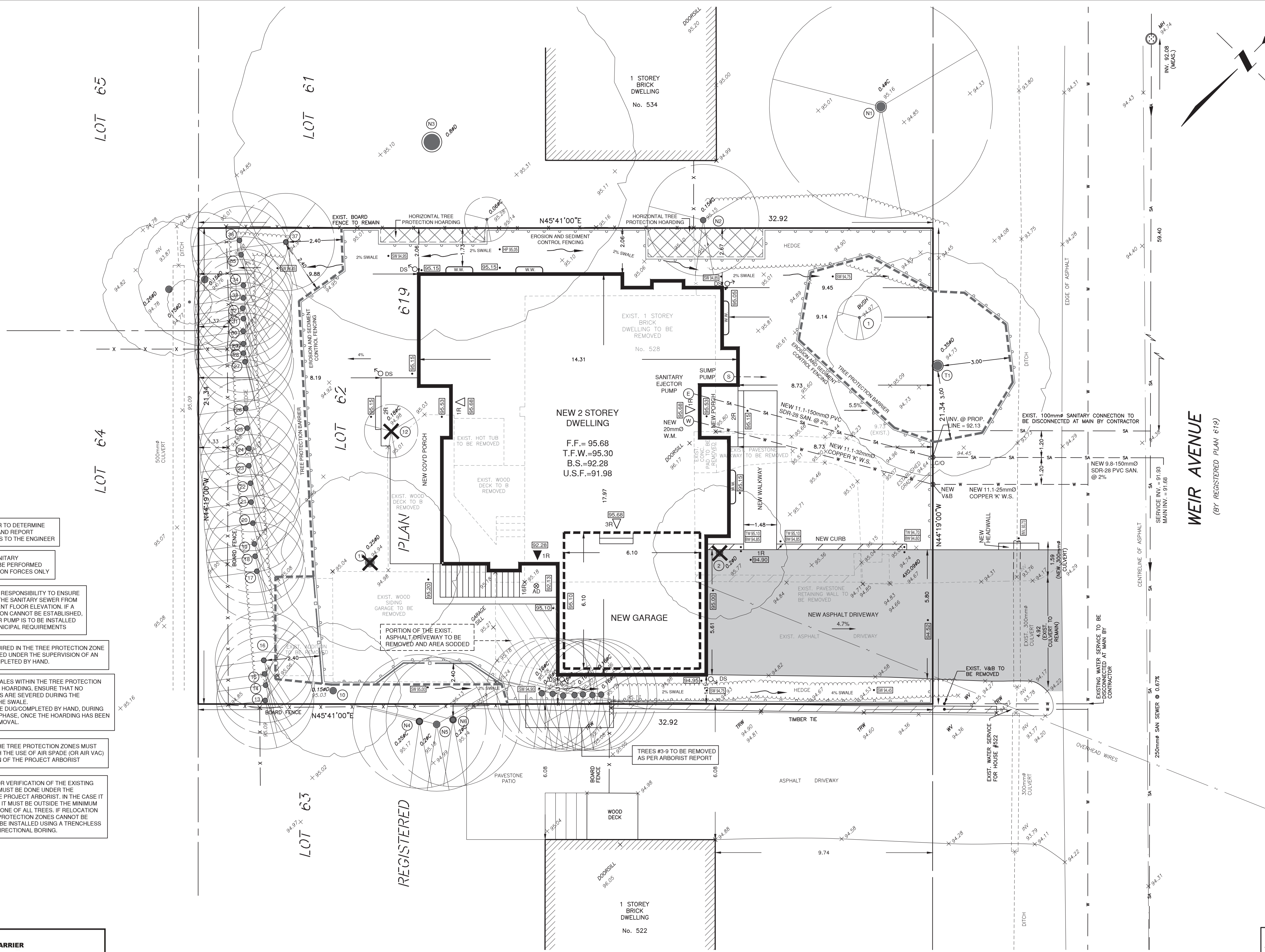
LOT 64

LOT 62

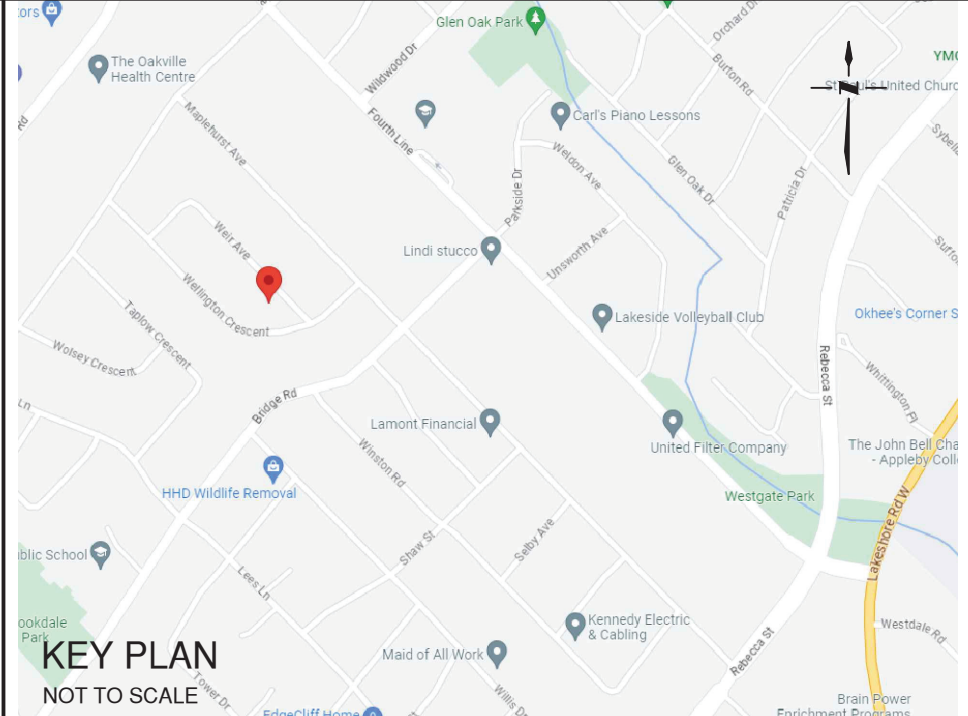
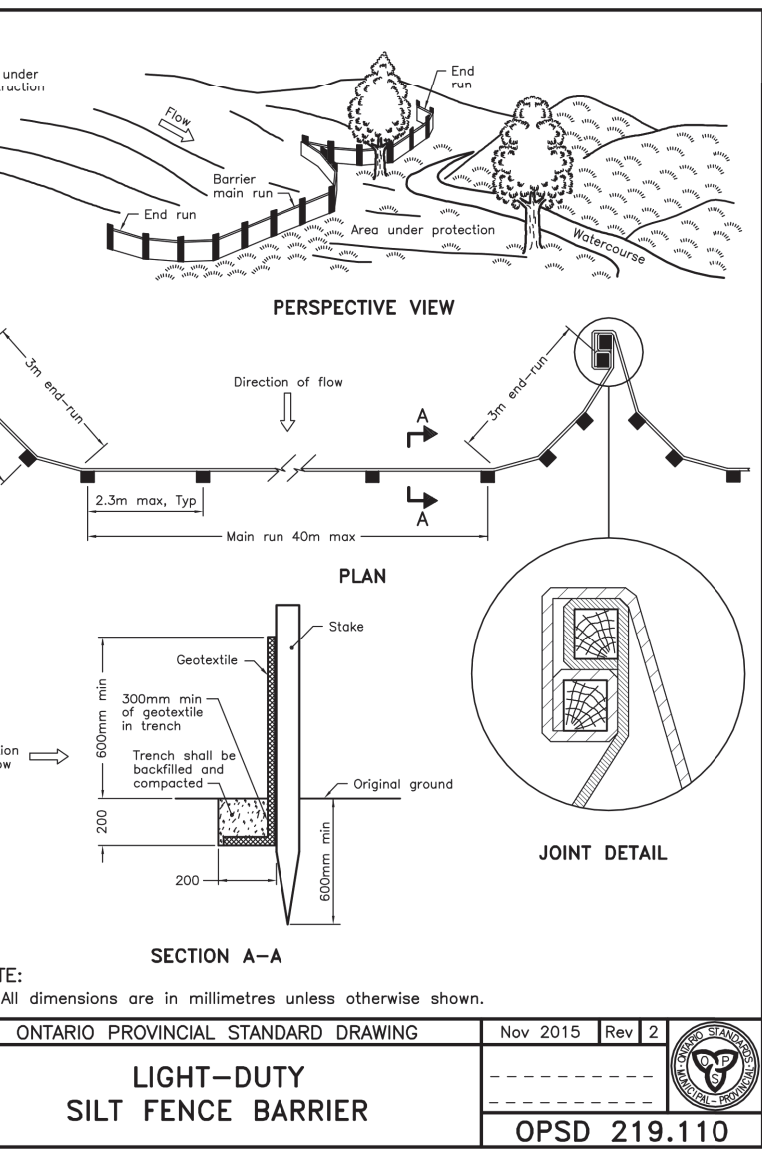
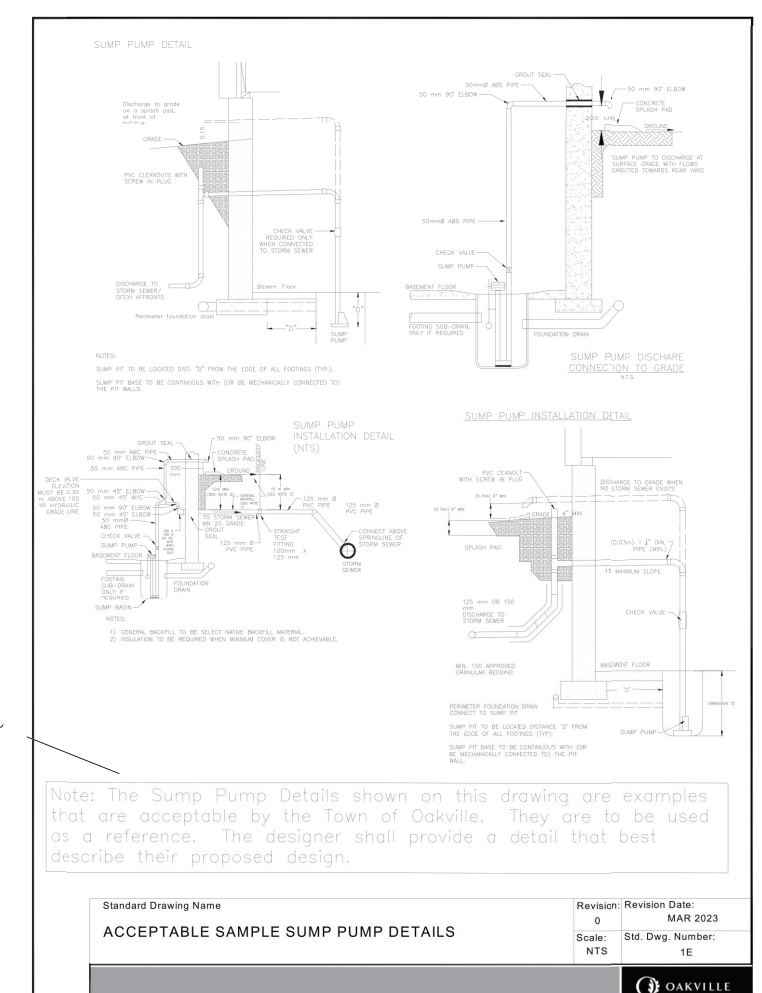
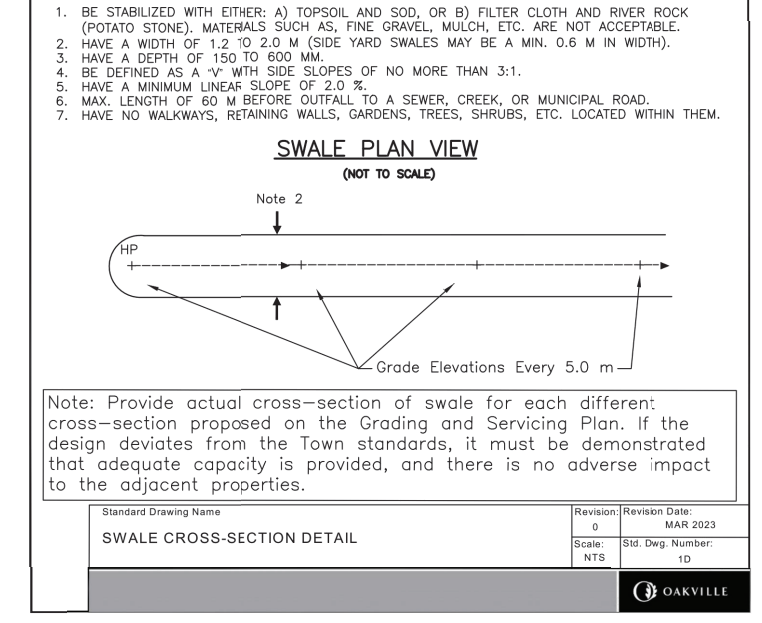
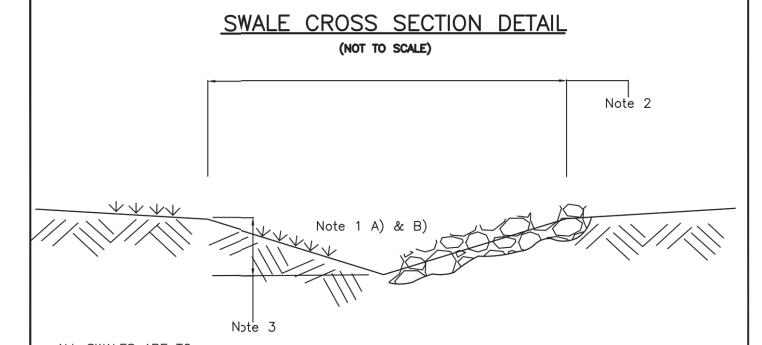
LOT 63

REGISTERED

WEIR AVENUE
(BY REGISTERED PLAN 619)



EXISTING ZONING RLS-0 By-By-law 2014-014		
LOT AREA	702.1 m ²	
LOT FRONTAGE	21.34 m	
BUILDING DATA		
	ALLOWED	PROPOSED
MAX. LOT COVERAGE	(35%) 245.7 m ²	(31.8%) 223.28 m ²
GROSS FLOOR AREA:		
GROUND FLOOR	155.93 m ²	
SECOND FLOOR	152.07 m ²	
TOTAL	(41%) 287.9 m ²	43.87% 308.00 m ²
MAX. HEIGHT	9.00 m	8.97 m
SETBACKS:		
MIN. FRONT YARD	9.73 m	8.73 m
MIN. REAR YARD	7.50 m	8.19 m
MIN. SIDE YARD (NORTH)	1.20 m	2.06 m
(SOUTH)	1.20 m	1.31 m



LEGAL DESCRIPTION:
LOT 62
REGISTERED PLAN 619
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 100
1 0 1 2 3 4 5 6 metres
SURVEY INFORMATION
SURVEY INFORMATION IS TAKEN FROM PLAN OF TOPOGRAPHY PREPARED BY TARASICK McMillan Kubicki Limited, Ontario Land Surveyors, DATED JUNE 14, 2023.

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 193, HAVING A PUBLISHED ELEVATION OF 101.853 METRES.
UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMillan Limited ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

LEGEND

CB	DENOTES	CATCH BASIN
FH	DENOTES	FIRE HYDRANT
MH	DENOTES	MANHOLE
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
▲	DENOTES	ENTRY POINT AT LOWER LEVEL
▲	DENOTES	ENTRY POINT AT GROUND FLOOR
●	DENOTES	EXISTING SPOT ELEVATION
○	DENOTES	PROPOSED SPOT ELEVATION
●	DENOTES	PROPOSED RAINWATER DOWNSPOUT
●	DENOTES	AREA DRAIN
○	DENOTES	0.300 CONIFEROUS TREE WITH TRUNK DIAMETER
○	DENOTES	0.300 DECIDUOUS TREE WITH TRUNK DIAMETER
○	DENOTES	TREE TO BE REMOVED
○	DENOTES	REPLACEMENT TREE
---	DENOTES	TREE PROTECTION ZONE (1st STAGE)
---	DENOTES	TREE PROTECTION ZONE (2nd STAGE)
→	DENOTES	DIRECTION AND GRADIENT OF DRAINAGE
→	DENOTES	DIRECTION OF SWALE

DO NOT SCALE DRAWINGS

- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.
- THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
- ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

1	DATE	REVISION

CERTIFICATION FOR PROPOSED GRADING
AS PER OBC 14.6.1.1 (1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

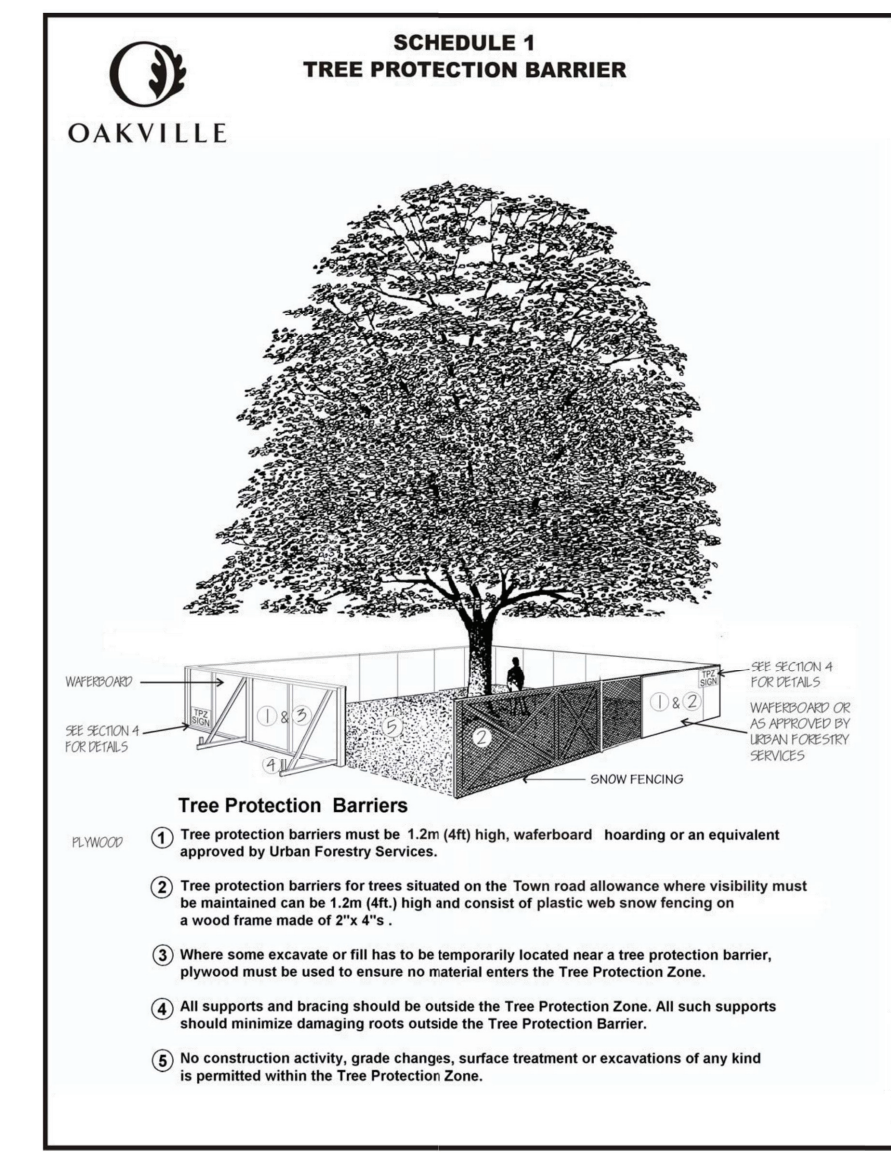
DATE: OCTOBER 25, 2023
MISSISSAUGA, ONTARIO
JACKIE HANG, Ontario Land Surveyor

APPLICANT/ OWNER
LUCID HOMES LTD.
1166 SOUTH SERVICE ROAD WEST
OAKVILLE, ON
L6L 5T7

SHEET TITLE:
SITE GRADING & SERVICING PLAN

PROJECT:
PROPOSED 2 STOREY DWELLING
528 WEIR AVENUE, OAKVILLE

TARASICK McMillan KUBICKI LIMITED
ONTARIO LAND SURVEYORS
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@trmsurveyors.com
SCALE: 1:100
DRAWN BY: D.H. FILE No. 9797-SGP-2023-10-24



SEWERS
DEPTH OF SANITARY SEWER CONNECTION AT THE STREET LINE TO BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION TO INSURE GRAVITY FLOW.

SUMP PUMP
FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SUMPED AND PUMPED TO THE SURFACE AND WILL DISCHARGE ONTO A CONCRETE SPLASH PAD IN THE FRONT OF THE HOUSE.

GENERAL NOTES

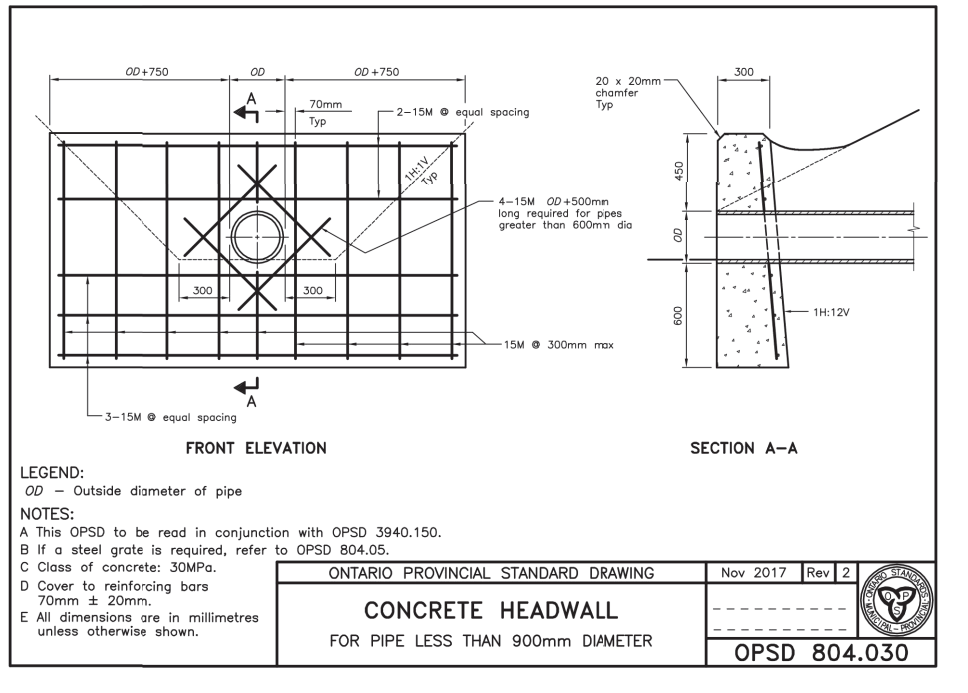
- SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF SITE GRADING WORKS. TO SATISFACTION OF THE CITY AND HALTON CONSERVATION.
- IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/BASE AREAS SHALL BE STABILIZED BY SEEDING.
- THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/OR EVERY WEEK.
- THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/OR REPLACED IF NECESSARY OR AS DIRECTED BY THE ENGINEER, CONSERVATION AUTHORITY OR THE CITY.
- ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION, GRADING, TOPSOILING AND SODDING ARE COMPLETE.
- WHEN ALL CONSTRUCTION, GRADING AND SODDING IS COMPLETED, THE SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS REINTEGRATED.
- ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.
- THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILD.
- CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

REGIONAL APPROVAL
REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE AREA MUNICIPALITY.

DATED: _____ SIGNED: _____
INFRASTRUCTURE PLANNING AND POLICY

THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-865-6032). FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED ON.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.



EROSION AND SILTATION NOTES

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER:
 - WEEKLY
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40micron IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MIOCC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN A MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO: EROSION, FLOODING, NOISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS, ALL LETS (NEAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE LETS, ETC.) MUST BE SECURELY FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES, THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) OR EMANATING FROM THE SITE, THE OWNER OR OWNER'S AGENT SHALL IMMEDIATELY NOTIFY THE MIOCC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNER'S AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

WALL SCHEDULE - COMPLIANCE PACKAGE A1 OF 3.1.2.A OBC
 THE THERMAL VALUES IDENTIFIED IN THE ENERGY EFFICIENCY DESIGN SUMMARY (EEDS) FORM SHALL GOVERN OVER THOSE IN THE ARCHITECTURAL DRAWING SET IF ANY DISCREPANCIES EXIST.

<p>W1</p> <p>STONEBRICK VENEER WALL CONSTR.</p> <ul style="list-style-type: none"> - 3/2" NATURAL STONE / BRICK VENEER OR AS PER PRODUCT MANUFACTURER - 1" AIR SPACE W/ FLASHING AND WEEP HOLES AS PER 9.20. OBC - 22MM x 180MM x 0.7MM (3/2" x 7" x 0.03") GALVANIZED METAL TIES @ 406MM (1'-4") O.C. HORIZ. AND 600MM (2'-0") O.C. VERT. - TYVEK AIR BARRIER OR APPROVED EQUAL (SHEATHING PAPER) - 13MM (1/2") EXTERIOR GRADE PLYWOOD SHEATHING - 38MM x 140MM (1 1/2" x 5 1/2") WOOD STUDS @ 406MM (1'-4") O.C. W/ RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 13MM (1/2") GYPSUM WALL BOARD INTERIOR FINISH 	<p>P1</p> <p>2' X 4' INTERIOR PARTITION</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 38MM x 89MM (2" x 4") @ 400MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM x 89MM (2" x 4") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS - 13MM (1/2") GYPSUM WALL BOARD 	<p>P3</p> <p>2' X 10' INTERIOR PARTITION</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 38MM x 235MM (2" x 10") @ 400MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM x 235MM (2" x 10") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS - 13MM (1/2") GYPSUM WALL BOARD 	<p>F1</p> <p>8" FOUNDATION WALL</p> <ul style="list-style-type: none"> 200MM (8") POURED CONCRETE FOUNDATION WALL (20 MPa) OR 200MM (8") CONCRETE MASONRY UNITS BITUMINOUS DAMPROOFING DRAINAGE MAT FOUNDATION WALL REINFORCED WITH 2-15M REBARS @ TOP OF FOUNDATION WALL & 15M REBAR @ 16" O.C. BOTH DIRECTIONS TYP. (OR AS OTHERWISE SPECIFIED) ENSURE MIN. 1 1/2" CONC. COVER SEE DETAILS FOR REFERENCE IF REQUIRED
<p>W2</p> <p>SIDING WALL CONSTRUCTION</p> <ul style="list-style-type: none"> - PREF. SIDING VENEER AS PER MANUFACTURER - TYVEK AIR BARRIER OR APPROVED EQUAL (SHEATHING PAPER) - 13MM (1/2") EXTERIOR GRADE PLYWOOD SHEATHING 38MM x 140MM (1 1/2" x 5 1/2") WOOD STUDS @ 406MM (1'-4") O.C. W/ RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 13MM (1/2") GYPSUM WALL BOARD INTERIOR FINISH 	<p>P2</p> <p>2' X 6' INTERIOR PARTITION</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 38MM x 140MM (2" x 6") @ 400MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM x 140MM (2" x 6") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS - 13MM (1/2") GYPSUM WALL BOARD 	<p>P4</p> <p>2' X 3' INTERIOR PARTITION AT @ FOUNDATION WALL (INSULATED)</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 38MM x 89MM (2" x 4") @ 400MM (1'-4") O.C. - 140MM (5 1/2") CONTINUOUS RSI 3.52 CI (R20) CI BATT INSULATION - GRADE DAMPROOF W/ BLDG. PAPER UP TO GRADE LEVEL 	<p>F2</p> <p>10" FOUNDATION WALL</p> <ul style="list-style-type: none"> 250MM (10") POURED CONCRETE FOUNDATION WALL (20 MPa) OR 250MM (10") CONCRETE MASONRY UNITS BITUMINOUS DAMPROOFING DRAINAGE MAT FOUNDATION WALL REINFORCED WITH 2-15M REBARS @ TOP OF FOUNDATION WALL & 15M REBAR @ 16" O.C. BOTH DIRECTIONS TYP. (OR AS OTHERWISE SPECIFIED) ENSURE MIN. 1 1/2" CONC. COVER SEE DETAILS FOR REFERENCE IF REQUIRED
<p>W3</p> <p>STUCCO WALL CONSTRUCTION</p> <ul style="list-style-type: none"> - STUCCO VENEER W/ RS INSULATED RIGID AS PER MANUFACTURER - TYVEK AIR BARRIER OR APPROVED EQUAL (SHEATHING PAPER) - 13MM (1/2") EXTERIOR GRADE PLYWOOD SHEATHING - 38MM x 140MM (1 1/2" x 5 1/2") WOOD STUDS @ 406MM (1'-4") O.C. W/ RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 13MM (1/2") GYPSUM WALL BOARD INTERIOR FINISH 	<p>P2a</p> <p>2' X 6' INTERIOR POCKET DOOR WALL</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 38MM x 140MM (2" x 6") @ 400MM (1'-4") O.C. ON SIDE BEARING PARTITIONS TO BE 38MM x 140MM (2" x 6") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS - 13MM (1/2") GYPSUM WALL BOARD 	<p>P4a</p> <p>2' X 3' INTERIOR PARTITION AT @ FOUNDATION WALL (INSULATED)</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 38MM x 64MM (2" x 3") @ 400MM (1'-4") O.C. - 89MM (3 1/2") CONTINUOUS RSI 3.52 CI (R20) CI SPRAY FOAM INSULATION - GRADE DAMPROOF W/ BLDG. PAPER UP TO GRADE LEVEL 	<p>F3</p> <p>12" FOUNDATION WALL</p> <ul style="list-style-type: none"> 300MM (12") POURED CONCRETE FOUNDATION WALL (20 MPa) OR 300MM (12") CONCRETE MASONRY UNITS BITUMINOUS DAMPROOFING DRAINAGE MAT FOUNDATION WALL REINFORCED WITH 2-15M REBARS @ TOP OF FOUNDATION WALL & 15M REBAR @ 12" O.C. VERT. AND 16" O.C. HORIZ. DIRECTIONS TYP. (OR AS OTHERWISE SPECIFIED) ENSURE MIN. 1 1/2" CONC. COVER SEE DETAILS FOR REFERENCE IF REQUIRED

ABBREVIATIONS

AB.	AIR BARRIER	MIN.	MINIMUM
ALUM.	ALUMINUM	O.C.	ON CENTER
B/W	BETWEEN	PL	POINT LOAD FROM
C.J.	CEILING JOIST		ABOVE
C.L.	CENTERLINE	PREF.	PREFINISHED
CONC.	CONCRETE	PREP.	PREPARATION
D.A.	DIAMETER	P.T.	PRESSURE TREATED
D.J.	DOUBLE JOIST	R.J.	ROOF JOIST
E.G.	EXTERIOR GRADE	R.R.	ROOF RAFTERS
E.T.	EAVESTROUGH	R.V.	ROOF VENT
E.V.	EXHAUST FAN	T.J.	TRIPLE JOIST
F.J.	FLOOR JOIST	T.O.	TOP OF
F.R.	FIRE RATING	TYP.	TYPICAL
F.R.R.	FIRE RESISTANCE RTG.	U.S.	UNDERSIDE
G.T.	GIRDER TRUSS	V.B.	VAPOUR BARRIER
LDG.	LEDGER	W/	WITH
MAX.	MAXIMUM		

11. EXTERIOR/INTERIOR STAIRS
 AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT, AND EXTERIOR STAIRS AND REQUIRED EXIT STAIRS SERVING A SINGLE DWELLING UNIT, SHALL HAVE A WIDTH OF NOT LESS THAN 860MM (2'-0"). MINIMUM HEIGHT OVER STAIRS AND LANDING WITHIN DWELLING UNITS SHALL BE 1950MM (6'-5"). THE VERTICAL HEIGHT BETWEEN ANY LANDINGS SHALL NOT EXCEED 3700 MM (12'-2").

12. PRECAST STEPS
 PRECAST CONCRETE STEP NOT MORE THAN 2 RISERS SHALL BE INSTALLED ON GRADE.

13. EXTERIOR/INTERIOR GUARDS
 INTERIOR GUARDS: 900MM (2'-11") MIN.
 EXTERIOR GUARDS: 900MM (2'-11") MIN. FOR A GRADE DIFFERENCE LESS THAN 1800 MM (6'-0"), 1070MM (3'-6") MIN. FOR A GRADE DIFFERENCE MORE THAN 1800 MM (6'-0")

HANDRAILS AT LANDINGS TO HAVE A MIN. HEIGHT OF 900MM (2'-11"). HANDRAILS AT STAIRS TO HAVE A MIN. HEIGHT OF 865MM (2'-10"). MIN. ONE HANDRAIL SHALL BE PROVIDED WITH STAIRS HAVING A WIDTH LESS THAN 1100MM (3'-7"). TWO HANDRAILS SHALL BE PROVIDED WITH STAIRS HAVING A WIDTH GREATER THAN 1100MM (3'-7").

ALL CODE REFERENCES, CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE TO THE LATEST VERSION OF THE O.B.C. AS AMENDED

CONSTRUCTION NOTE SCHEDULE

<p>1. WEEPER TILE</p> <p>100 MM (4") DIA. WEEPER TILE W/ 150 MM (6") MIN. CRUSHED GRANULAR.</p> <p>2. POURED CONCRETE BASEMENT/ UNEXCAVATED PORCH SLAB</p> <p>100 MM (4") 25 MPa (3600 psi) POURED CONCRETE SLAB C/W 6 MIL. POLY. VAPOUR BARRIER OVER 2" RIGID INSULATION ON 150 MM (6") CRUSHED GRANULAR FILL.</p> <p>3. POURED CONCRETE GARAGE SLAB</p> <p>100 MM (4") 32 MPa (4640 psi) POURED CONCRETE SLAB W/ 5-8% AIR ENTRAINMENT ON 100MM (4") COARSE GRANULAR FILL W/ COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT OF GARAGE MIN. 1%.</p> <p>4. COLD STORAGE PORCH SLAB- FOR A MAX. 2500 MM (8'-3") PORCH DEPTH</p> <p>130 MM (5") 32 MPa (4640 psi) CONCRETE SLAB W/ 5-8% AIR ENTRAINMENT. REINFORCE W/ 10M BARS @ 200MM (8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. 610MM x 610MM (24" x 24") DOWELS @ 600MM (24") O.C. ANCHORED IN PERIMETER FOUNDATION WALLS. SLOPE SLAB MIN. 1% FROM DOOR.</p> <p>5. SILL PLATE</p> <p>38MM x 89MM (2" x 4") SILL PLATE W/ 13MM (1/2") DIA. 200MM (8") LONG 6 ANCHOR BOLTS EMBEDDED MIN. 100MM (4") INTO CONCRETE FOUNDATION WALL @ 2400MM (7'-10") O.C. PROVIDE CAULKING OR 25MM (1") MIN. MINERAL WOOL B/S SILL PLATE AND TOP OF CONCRETE FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHERE REQUIRED.</p> <p>6. WOOD IN CONTACT WITH CONCRETE</p> <p>WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED AND IN CONTACT WITH CONCRETE THAT IS LESS THAN 150 MM (6") ABOVE GRADE OR CONCRETE SLAB SHALL BE PROTECTED WITH 6 MIL. POLYETHYLENE FILM OR 15L (NO. 30) ROLL ROOFING DAMPROOFING BETWEEN WOOD AND CONCRETE.</p> <p>7. BEAM POCKET</p> <p>PROVIDE BEAM POCKET OR 200MM x 250MM (8" x 10") POURED CONCRETE NIB WALL. MIN. BEARING TO BE 90MM (3-1/2").</p> <p>8. FOUNDATION WALL REDUCTION/ REVERSE CHECK</p> <p>WHERE THE TOP OF A FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 350MM (14") AND NOT LESS THAN 90MM (3-1/2") THICK.</p> <p>9. FLOOR EXPOSED TO EXTERIOR</p> <p>PROVIDE RSI 5.46 (R31) INSULATION, 6 MIL. POLY. VAPOUR BARRIER AND CONT. TYVEK AIR BARRIER W/ PREF. SOFFIT.</p> <p>10. FLOOR CONSTRUCTION</p> <p>PROVIDE 3/2" SUBFLOOR SHEATHING SCREWED AND GLUED TO FLOOR JOISTS. ALL FLOOR IN RESIDENTIAL OCCUPANCIES TO BE FINISHED AND OR WATER RESISTANT AS PER 9.3.1 AND 9.3.1.2. REFER TO 9.30.6 FOR CERAMIC TILE APPLICATION. PROVIDE 38MM x 38MM (2" x 2") CROSS BRACING OR SOLID BLOCKING @ 2100MM (6'-11") O.C. MAX. ALL JOISTS TO BE STRAPPED W/ 15MM x 64MM (1" x 3") @ 2100MM (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.</p> <p>11. EXTERIOR/INTERIOR STAIRS</p> <p>AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT, AND EXTERIOR STAIRS AND REQUIRED EXIT STAIRS SERVING A SINGLE DWELLING UNIT, SHALL HAVE A WIDTH OF NOT LESS THAN 860MM (2'-0"). MINIMUM HEIGHT OVER STAIRS AND LANDING WITHIN DWELLING UNITS SHALL BE 1950MM (6'-5"). THE VERTICAL HEIGHT BETWEEN ANY LANDINGS SHALL NOT EXCEED 3700 MM (12'-2").</p> <p>MAX. RISE: 200MM (7-7/8") MIN. RISE: 125MM (4-7/8") MAX. RUN: 355MM (14") MIN. RUN: 255MM (10") MAX. TREAD: 355MM (14") MIN. TREAD: 235 (9-1/4")</p> <p>ANGLED STAIRS SHALL HAVE AN AVERAGE RUN OF NOT LESS THAN 200MM (7-7/8") AND A MIN. RUN OF 150MM (5-7/8").</p> <p>12. PRECAST STEPS</p> <p>PRECAST CONCRETE STEP NOT MORE THAN 2 RISERS SHALL BE INSTALLED ON GRADE.</p> <p>13. EXTERIOR/INTERIOR GUARDS</p> <p>INTERIOR GUARDS: 900MM (2'-11") MIN. EXTERIOR GUARDS: 900MM (2'-11") MIN. FOR A GRADE DIFFERENCE LESS THAN 1800 MM (6'-0"), 1070MM (3'-6") MIN. FOR A GRADE DIFFERENCE MORE THAN 1800 MM (6'-0")</p> <p>HANDRAILS AT LANDINGS TO HAVE A MIN. HEIGHT OF 900MM (2'-11"). HANDRAILS AT STAIRS TO HAVE A MIN. HEIGHT OF 865MM (2'-10"). MIN. ONE HANDRAIL SHALL BE PROVIDED WITH STAIRS HAVING A WIDTH LESS THAN 1100MM (3'-7"). TWO HANDRAILS SHALL BE PROVIDED WITH STAIRS HAVING A WIDTH GREATER THAN 1100MM (3'-7").</p>	<p>14. TALL WALL</p> <p>PROVIDE 2-38MM x 140MM (2-2" x 6") SPRUCE NO. 2 CONTINUOUS STUDS @ 300MM (1'-0") O.C. FOR BRICK AND 400MM (1'-4") O.C. FOR SIDING C/W 9.6MM (3/8") EXTERIOR GRADE PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220MM (4'-0") O.C. VERTICALLY.</p> <p>FOR HORIZONTAL DISTANCES NOT EXCEEDING 2900MM (9'-6"), PROVIDE 38MM x 140MM (2" x 6") WOOD STUDS @ 400MM (1'-4") O.C. C/W 3-38MM x 184MM (3-2" x 8") CONT. HEADER AT GROUND FLOOR CEILING LEVEL TO BE NEEDED & GLUED AT TOP PLATES, BOTTOM PLATES AND HEADERS.</p> <p>15. INTERIOR GARAGE PARTITION & CEILING</p> <p>13MM (1/2") GYPSUM WALL BOARD ON INTERIOR PARTITION AND CEILING BETWEEN HOUSE AND GARAGE. PROVIDE RSI 3.34 (R22) IN WALLS AND RSI 5.46 (R31) IN CEILING. TAPE, SEAL AND STRUCTURALLY SUPPORT ALL JOINTS IN ORDER TO BE GAS TIGHT.</p> <p>16. INTERIOR GARAGE MAIN DOOR</p> <p>DOOR AND FRAME TO BE GAS-PROOFED. DOOR TO BE EQUIPPED W/ SELF CLOSING DEVICE AND WEATHERSTRIPPING.</p> <p>17. DRYER EXHAUST</p> <p>CAPPED DRYER EXHAUST VENTED TO EXTERIOR. DUCTS SHALL CONFORM TO PART 6 OF THE O.B.C.</p> <p>18. MECHANICAL EXHAUST FAN FOR WASHROOM</p> <p>MECHANICAL EXHAUST FAN VENTED TO EXTERIOR TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. PROVIDE DUCT SCREEN AS PER 9.32.3.12.</p> <p>19. DIRECT VENT FURNACE TERMINAL FOR MECHANICAL ROOM</p> <p>DIRECT VENT FURNACE TERMINAL MIN. 900 MM (2'-11") FROM A GAS REGULATOR, MIN. 300MM (1'-0") ABOVE FINISHED GRADE, AWAY FROM ALL OPENINGS AND AWAY FROM EXHAUST AND INTAKE VENTS. HWV INTAKE TO MIN. 1830MM (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO LOCAL GAS UTILIZATION CODE.</p> <p>20. DIRECT VENT GAS FIREPLACE AND FIREPLACE FINISH</p> <p>DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. OF 300MM (1'-0") ABOVE FINISHED GRADE. AWAY FROM ALL OPENINGS AND AWAY FROM EXHAUST AND INTAKE VENTS. REFER TO LOCAL GAS UTILIZATION CODE. FIREPLACE TO COMPLY WITH CAN/ULC-S610-M "FACTORY BUILT FIREPLACES" INSTALLED WITH EXHAUST AS PER MANUFACTURER'S SPECIFICATIONS. IN THE CASE OF HEAVY MATERIAL CHOICE IN FINISHING OF FIREPLACE AN ENGINEER SHALL BE INVOLVED TO RECOMMEND REINFORCEMENT OF FLOOR BELOW TO SUPPORT WEIGHT.</p> <p>21. ATTIC ACCESS HATCH & CRAW SPACE HATCH</p> <p>500MM x 700MM (1'-8" x 2'-4") ATTIC ACCESS HATCH W/ WEATHERSTRIPPING AND RSI 10.56 (R60) RIGID INSULATION BAKING.</p> <p>22. EXTERIOR FIRE RATED WALL</p> <p>EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN WHERE LIMITING DISTANCES ARE LESS THAN 1200MM (3'-11") WHERE THE LIMITING DISTANCE IS LESS THAN 600MM (2'-0"). THE EXPOSING BUILDING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. INSTALL MIN. 15.9MM TYPE-X GYPSUM BOARD INSIDE.</p> <p>23. BLOCKING BEHIND WASHROOM FIXTURES</p> <p>PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM AS PER OBC 9.5.2.3. GRAB BAR TO BE 840MM x 920MM (2'-9" x 3'-0") A.F. BEHIND TOILET AND 840MM (2'-9") A.F. ON THE WALL OPPOSITE TO THE ENTRANCE TO THE BATHUB OR SHOWER.</p> <p>24. NEW FOUNDATION JOINT INTO EXISTING FOUNDATION</p> <p>PROVIDE ONE ROW OF 10M DOWELS SPACED 16" O.C. VERTICALLY. SET DOWELS 8" IN 5/8" DRILLED HOLES FILLED WITH EPOXY RESIN IN EXISTING FOUNDATION WALL. ALLOW FOR 16" DOWEL PROJECTION INTO PROPOSED WALL. WATERPROOF AND SEAL JOINT ON EXTERIOR FACE OF CONCRETE FOUNDATION WALL.</p> <p>25. ROOF CONSTRUCTION</p> <p>ROOF TYPE AND CONSTRUCTION METHOD TO COMPLY WITH 9.2.6.3.1. OF OBC AS AMENDED. 210 (10.25KG/SQ. M.) 40 YEAR OLD ASPHALT SHINGLES, 13MM (1/2") PLYWOOD SHEATHING WITH "H" CLIPS ON APPROVED PRE-ENGINEERED WOOD TRUSSES OR CONVENTIONAL FRAMING AS PER PLAN. PROVIDE APPROVED GAVES PROTECTION EXTENDING 900MM (3'-0") FROM EDGE OF ROOF AND MIN. 300MM (1'-0") BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE 38MM x 89MM (2" x 4") TRUSS BRACING @ 1830MM (6'-0") O.C. @ BOTTOM CHORD</p> <p>26. ROOF INSULATION</p> <p>RSI 10.56 (R60) [RSI 5.46 (R31) FOR CEILING WITHOUT ATTIC SPACE] ROOF INSULATION AND APPROVED 6 MIL. POLY. VAPOUR BARRIER, 16MM (5/8") INTERIOR DRYWALL FINISH OR APPROVED EQUAL.</p> <p>27. STEP FOOTINGS</p> <p>POURED CONCRETE STEP FOOTINGS TO HAVE A MIN. HORIZONTAL STEP OF 600MM (1'-11 5/8"). VERTICAL STEP TO HAVE MAX. 600MM (1'-11 5/8") STEP ON FIRM SOIL.</p>	<p>28. ROOF VENTILATION</p> <p>ROOF VENTILATION AS PER 9.19.1. VENT AREA SHALL BE NO LESS THAN 1/300 OF THE INSULATED CEILING AREA. WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NO LESS THAN 1/150 W/ NO LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF SPACE AND NO LESS THAN 25% LOCATED AT THE BOTTOM OF THE SPACE. NO LESS THAN 63MM OF SPACE SHALL BE PROVIDED BETWEEN TOP OF INSULATION AND UNDERSIDE OF ROOF SHEATHING. FULL 60 SQ. IN OF NET FREE VENTILATING AREA (NFA) PER VENT.</p> <p>29. FLAT ROOFS</p> <p>CONFORMING TO C.G.S.B. 37-GP-56M "MEMBRANE, MODIFIED, BITUMINOUS, PREFABRICATED, AND REINFORCED FOR ROOFING"; 19MM (3/4") PLYWOOD SHEATHING WITH "H" CLIPS, ROOF FRAMING AS PER PLAN W/ PREF. ALUM. R.W.L.</p> <p>30. SLAB THICKENING UNDERNEATH LANDING</p> <p>SLAB UNDER LOAD BEARING WALLS SUPPORTING STAIR LANDINGS TO BE THICKENED TO 12" WITH 16" BOTTOM AND ANGELED MAX 45" TO HORIZONTAL SLAB.</p> <p>31. COOKING APPLIANCE EXHAUST FAN</p> <p>DUCTWORK FOR COOKING APPLIANCE EXHAUST FANS SHALL BE OF NON-COMBUSTIBLE, CORROSION-RESISTANT MATERIAL AND LEAD DIRECTLY TO THE OUTDOORS WITHOUT CONNECTION TO OTHER EXHAUST FANS OR DUCTS. DUCTWORK FOR COOKING APPLIANCE EXHAUST FANS SHALL BE EQUIPPED WITH A GREASE FILTER AT THE INTAKE.</p> <p>32. WINDOW WELL</p> <p>ALL WINDOW WELLS DEEPER THAN 600MM SHALL BE EQUIPPED WITH A CERTIFIED, TRANSPARENT COVER THAT PREVENTS FROM FALLING INTO. INSTALLATION SHALL NOT COMPROMISE EASY ESCAPE REQUIRED BY 99.10.15. AS PER OBC.</p> <p>33. NAILING PATTERN FOR HIGH PERCENTAGE GLAZING WALLS</p> <p>FOR WALLS WHICH HAVE MORE THAN 75% GLAZING AND WHICH SERVE AS A SHEAR WALLS TIED TO PERPENDICULAR WALLS OF MINIMUM 40" IN LENGTH, THE NAILING PATTERN SHALL BE @ 6" O.C. WITH MIN. 3/4" PLYWOOD SHEATHING.</p>	<p>815 MM (3'-0") O.C.</p> <p>JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT UP WOOD MEMBERS INTERSECTING FLUSH BUILT UP WOOD MEMBERS. IF ANY DISCREPANCY EXISTS BETWEEN ENGINEERING DRAWINGS AND ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS AND NOTIFY DESIGNER IMMEDIATELY</p> <p>WOOD FRAMING NOT TREATED WITH WOOD PRESERVATIVE, OR IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 MIL. POLYETHYLENE FILM NO. 50 (45 LBS) ROLL FORMING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150 MM (6") ABOVE THE GROUND.</p> <p>TERMITE AND DECAY PROTECTION</p> <p>IN LOCATIONS WHERE TERMITES ARE KNOWN TO OCCUR, CLEARANCE BETWEEN STRUCTURAL WOOD ELEMENTS AND THE FINISHED GROUND LEVEL DIRECTLY BELOW THEM SHALL BE NOT LESS THAN 450MM (17-3/4") AND ALL SIDES OF SUPPORTING ELEMENTS SHALL BE VISIBLE TO INSPECTION.</p> <p>STRUCTURAL WOOD ELEMENTS SUPPORTED BY WOOD ELEMENTS IN CONTACT WITH THE GROUND OR OVER EXPOSED BARE SOIL SHALL BE PRESSURE TREATED WITH CHEMICAL THAT IS TOXIC TO TERMITES.</p> <p>STEEL</p> <p>STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".</p> <p>REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 40R</p> <p>SMOKE ALARM (REFER O.B.C. 9.10.19.) ■ S.A.</p> <p>SMOKE ALARMS CONFORMING TO CAN/ULC-S531, "SMOKE ALARMS", SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM NOT WITHIN A DWELLING UNIT (9.10.19.1).</p> <p>THE SOUND PATTERN OF SMOKE ALARMS SHALL MEET THE TEMPORAL PATTERN OF ALARM SIGNALS, OR BE A COMBINATION OF TEMPORAL PATTERN AND VOICE RELAY (9.10.19.2).</p> <p>SMOKE ALARMS INSTALLED SHALL BE INSTALLED SO THAT THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENTS. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, A SMOKE ALARM SHALL BE INSTALLED IN THE HALLWAY.</p> <p>WHERE MORE THAN ONE SMOKE ALARM IS WIRELESS IN A DWELLING UNIT, THE SMOKE ALARMS SHALL BE REQUIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND (9.10.19.5).</p> <p>SMOKE ALARM SHALL HAVE A VISUAL COMPONENT AS REQUIRED BY OBC 9.10.19.1(2).</p> <p>CARBON MONOXIDE ALARMS (REFER TO O.B.C. 9.33.4) ◆ C.M.</p> <p>WHERE A FUEL BURNING APPLIANCE IS INSTALLED IN A SUITE OF A RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE. AN ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN EVERY SUITE OF RESIDENTIAL OCCUPANCY THAT IS ADJACENT TO THE SERVICE ROOM OR STORAGE GARAGE.</p> <p>INSTALL ALARMS AT MANUFACTURER'S RECOMMENDED HEIGHT, OR IN THE ABSENCE OF SPECIFIC, ON OR NEAR THE CEILING.</p> <p>A CARBON MONOXIDE ALARM SHALL BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE CARBON MONOXIDE ALARM. ALL CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED SO THAT ITS ACTIVATION WILL ACTIVATE ALL ALARMS WITHIN THE SUITE.</p> <p>ALARMS SHALL BE EQUIPPED SO THAT IT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED AND CONFORM TO CAN/CSA-6.19, "RESIDENTIAL CARBON MONOXIDE ALARMS DEVICES", OR UL 2034, "SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS".</p> <p>9.20.2 MASONRY UNITS</p> <p>9.20.2.1 MASONRY UNIT STANDARDS</p> <p>MASONRY UNITS SHALL COMPLY WITH,</p> <p>ASTM C73, "CALCIUM SILICATE BRICK (SAND-LIME BRICK)", ASTM C126, "CERAMIC GLAZED STRUCTURAL CLAY FACING TILE, FACING BRICK, AND SOLID MASONRY UNITS", ASTM C212, "STRUCTURAL CLAY FACING TILE", CAN/CSA-A82-1-M, "BURNED CLAY BRICK (SOLID MASONRY UNITS MADE FROM CLAY OR SHALE)", CSA A82-4-M, "STRUCTURAL CLAY LOAD-BEARING WALL TILE", CSA A82-5-M, "STRUCTURAL CLAY NON-LOAD-BEARING TILE", CAN3-A82-8-M, "HOLLOW CLAY BRICK", CAN/CSA-A165.1, "CONCRETE BLOCK MASONRY UNITS", CAN/CSA-A165.2, "CONCRETE BRICK MASONRY UNITS", CAN/CSA-A165.3, "PRECAST CONCRETE MASONRY UNITS", OR CAN3-A165.4-M, "AUTOCLAVED CELLULAR UNITS".</p> <p>20 MPA FOR INTERIOR FLOORS OTHER THAN GARAGE AND CARPORT FLOORS.</p> <p>15 MPA FOR ALL OTHER APPLICATIONS.</p>
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<p>FOOTING SCHEDULE</p> <p>FT1 16" x 8" STRIP FOOTING FT2 18" x 8" STRIP FOOTING FT3 20" x 8" STRIP FOOTING FT4 22" x 8" STRIP FOOTING FT5 24" x 8" STRIP FOOTING 2-15M REBAR TO BE INSTALLED INTO ALL STRIP FOOTING TYP. UNLESS NOTED OTHERWISE</p> <p>MIN. 25 MPa (3600 psi) POURED CONCRETE FOR ALL PAD AND STRIP FOOTINGS UNLESS NOTED OTHERWISE.</p> <p>SOIL</p> <p>FOUNDATIONS TO BEAR ON NATURAL UNDISTURBED SOIL. BEARING SOIL CAPACITY OF 120 KPA MIN. TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION</p>	<p>STEEL LINTEL</p> <p>SL1 3 1/2" x 3 1/2" x 1/2" STEEL LINTEL SL2 4" x 3 1/2" x 1/2" STEEL LINTEL SL3 5" x 3 1/2" x 1/2" STEEL LINTEL SL4 5" x 3" x 1/2" STEEL LINTEL SL5 6" x 4" x 1/2" STEEL LINTEL SL6 7" x 4" x 1/2" STEEL LINTEL</p> <p>PAD FOOTING SCHEDULE</p> <p>PF1 24" x 24" x 12" PAD FOOTING PF2 30" x 30" x 16" PAD FOOTING PF3 36" x 36" x 20" PAD FOOTING PF4 42" x 42" x 20" PAD FOOTING PF5 48" x 48" x 24" PAD FOOTING PF6 66" x 66" x 30" PAD FOOTING</p> <p>LEDGER SCHEDULE</p> <p>LDG PROVIDE 2-2" x 6" W/ 1/2" LAG BOLTS ANCHORED TO TOP OF CONCRETE FOUNDATION WALL @ 2'-4" O.C.</p>	<p>POST SCHEDULE</p> <p>P1 2-2" x 4" BUILT-UP WOOD POST P2 3-2" x 4" BUILT-UP WOOD POST P3 2-2" x 4" BUILT-UP WOOD POST P4 2-2" x 6" BUILT-UP WOOD POST P5 3-2" x 6" BUILT-UP WOOD POST P6 4-2" x 6" BUILT-UP WOOD POST P7 2-2" x 8" BUILT-UP WOOD POST P8 3-2" x 8" BUILT-UP WOOD POST P9 4-2" x 8" BUILT-UP WOOD POST</p>	<p>LINTEL SCHEDULE</p> <p>L1 2-2" x 6" WOOD LINTEL L2 2-2" x 8" WOOD LINTEL L3 2-2" x 10" WOOD LINTEL L4 2-2" x 12" WOOD LINTEL</p> <p>BEAM SCHEDULE</p> <p>B1 3-2" x 6" WOOD BEAM B2 4-2" x 6" WOOD BEAM B3 3-2" x 8" WOOD BEAM B4 4-2" x 8" WOOD BEAM B5 3-2" x 10" WOOD BEAM B6 4-2" x 10" WOOD BEAM B7 3-2" x 12" WOOD BEAM B8 4-2" x 12" WOOD BEAM</p>	<p>COLUMN SCHEDULE</p> <p>C1 HSS 3.5"x3.5"x1/2" STL. COL. W/ 8" x WIDTH TO SUIT x 1/2" TOP PLATE W/ 10"x5"x1/2" BASE PLT.</p> <p>C2 HSS 4"x4"x1/2" STL. COL. W/ 8" x WIDTH TO SUITE x 1/2" TOP PLATE W/ 10"x5"x1/2" BASE PLT.</p> <p>C3 HSS 5"x5"x1/2" STL. COL. W/ 8" x WIDTH TO SUITE x 1/2" TOP PLATE W/ 10"x5"x1/2" BASE PLT.</p> <p>PROVIDE 2-5/8" DIA. ANCHOR BOLTS 12" LONG C/W 3" HOOK FOR ALL BASE PLATES U.N.O.</p>	<p>CONCRETE</p> <p>UNLESS NOTED OTHERWISE:</p> <p>32 MPA FOR GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLATWORK</p> <p>25 MPA FOR ALL PAD AND STRIP FOOTINGS</p> <p>20 MPA FOR INTERIOR FLOORS OTHER THAN GARAGE AND CARPORT FLOORS.</p> <p>15 MPA FOR ALL OTHER APPLICATIONS.</p>
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<p>LINTEL DIAGRAM</p> <p>TYPICAL 2-PLY TYPICAL 3-PLY TYPICAL 4-PLY</p>	<p>DRAWING LEGEND</p> <ul style="list-style-type: none"> POINT LOAD FROM ABOVE BEAM LOCATION FRAMING CALL OUT STEEL COLUMN I-JOIST SECTION 	<p>SECTION CALL OUT</p> <ul style="list-style-type: none"> C.M. CARBON MONOXIDE ALARM S.A. SMOKE ALARM BEAM CALL OUT WALL TAG 	<p>QUALIFICATION</p> <p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.</p> <p>QUALIFICATION INFORMATION</p> <p>AA00U RAQIO 113576 NAME B.C.I.N.</p> <p>LUCID HOMES INC. 114457 FIRM NAME B.C.I.N.</p>	<p>LUCID HOMES INC.</p> <p>CUSTOM HOME AND RENOVATION DESIGN 1435 CORNWALL RD. - UNIT D2 OAKVILLE, ON L6J 1T5 T. 416.566.6588 E. INFO@LUCIDHOMES.CA WWW.LUCIDHOMES.CA</p>	<p>GENERAL NOTES</p> <p>DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.</p>	<p>REVISION LIST</p> <table border="1"> <tr><td>1</td><td>-</td><td>MM.DD.YYYY</td></tr> <tr><td>2</td><td>-</td><td>MM.DD.YYYY</td></tr> <tr><td>3</td><td>-</td><td>MM.DD.YYYY</td></tr> <tr><td>4</td><td>-</td><td>MM.DD.YYYY</td></tr> <tr><td>5</td><td>-</td><td>MM.DD.YYYY</td></tr> </table> <p>ISSUE LIST</p> <table border="1"> <tr><td>1</td><td>-</td><td>MM.DD.Y</td></tr></table>	1	-	MM.DD.YYYY	2	-	MM.DD.YYYY	3	-	MM.DD.YYYY	4	-	MM.DD.YYYY	5	-	MM.DD.YYYY	1	-	MM.DD.Y
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Notice of Public Hearing Committee of Adjustment Application



File No.: A/025/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at Oakville.ca on Wednesday February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
M. KHALID	Pamir Rafiq Lucid Homes Inc. 1435 CORNWALL RD UNIT D2 Oakville ON L6J 7T5	528 Weir Ave PLAN 619 LOT 62

Zoning of Property: RL3-0, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m ² and 742.99 m ² shall be 41%.	To increase the maximum residential floor area ratio to 43.87%.

How do I participate if I have comments or concerns?

Submit written correspondence

You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by teleconference or videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with all applicable access codes and instructions to enter the electronic hearing and may also be asked to test their audio/video capabilities prior to the hearing.

Watch the Committee of Adjustment hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at Oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

Contact information:

Jen Ulcar
Secretary-Treasurer, Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/025/2025 - 528 Weir Avenue



COMMITTEE OF ADJUSTMENT

MINOR VARIANCE REPORT

STATUTORY AUTHORITY: Section 45 of the Planning Act, 1990

APPLICATION: A/025/2025

RELATED FILE: N/A

DATE OF MEETING:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at Oakville.ca on Wednesday February 05, 2025 at 7 p.m.

<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
M. KHALID	Pamir Rafiq Lucid Homes Inc. 1435 CORNWALL RD, Unit D2 Oakville ON, Canada L6J 7T5	PLAN 619 LOT 62 528 Weir Ave Town of Oakville

OFFICIAL PLAN DESIGNATION: Low Density Residential

ZONING: RL3-0, Residential

WARD: 2

DISTRICT: West

APPLICATION:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m ² and 742.99 m ² shall be 41%.	To increase the maximum residential floor area ratio to 43.87%.

CIRCULATED DEPARTMENTS AND AGENCIES COMMENTS RECEIVED

Planning Services:

(Note: Planning Services includes a consolidated comment from the relevant district teams including, Current, Long Range and Heritage Planning, Urban Design and Development Engineering)

A/025/2025 – 528 Weir Ave (West District) (OP Designation: Low Density Residential)

The applicant proposes to construct a two-storey detached dwelling, subject to the variance listed above.

Site Area and Context

The subject lands are within a neighbourhood that is in transition, consisting of one-storey dwellings with some newer two-storey dwellings ranging in architectural forms and design having been constructed within recent years.



Aerial photo of 528 Weir Avenue



Subject lands – 258 Weir Avenue



Lands to the south – 522 Weir Avenue



Lands to the north – 534 Weir Avenue



Lands further north along west side of Weir Avenue – 540 to 552 Weir Avenue

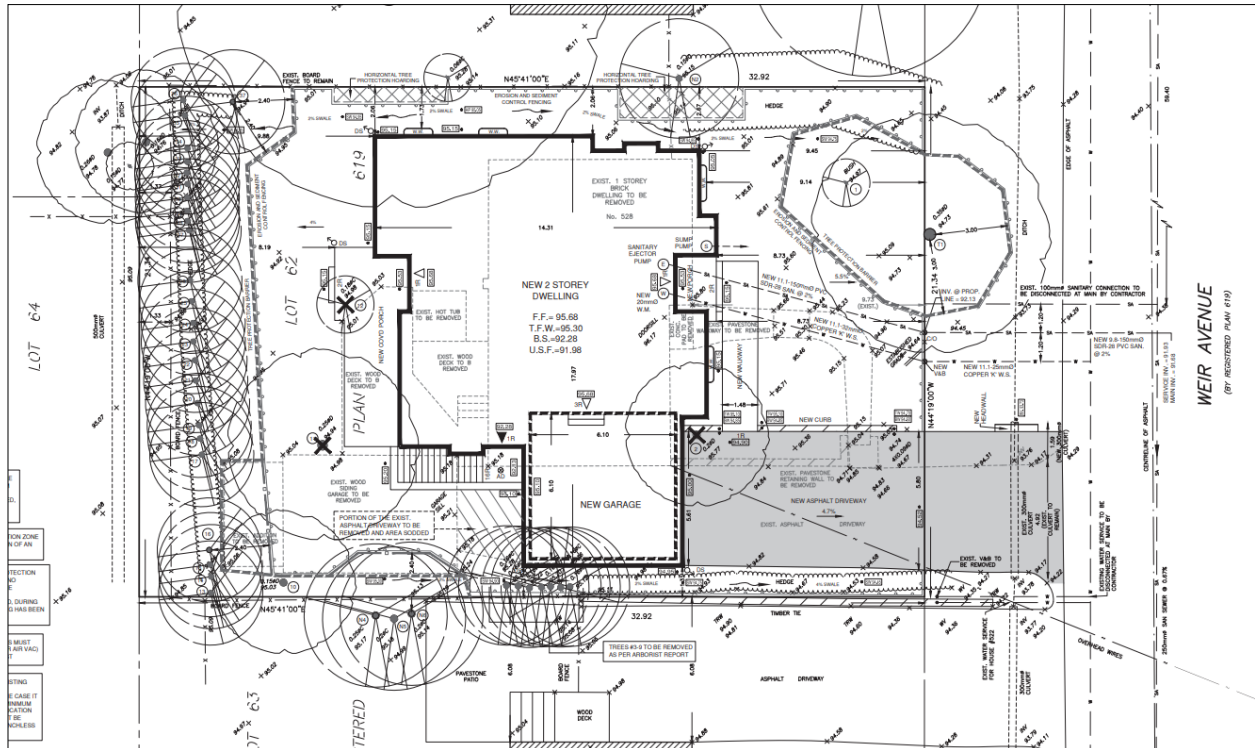


Lands along east side of Weir Avenue (opposite of the subject lands) – 531 to 521 Weir Avenue



Lands further north along east side of Weir Avenue (opposite of the subject lands) – 543 to 555 Weir Avenue

The following Site Plan illustrates the existing dwelling and the proposed new dwelling.

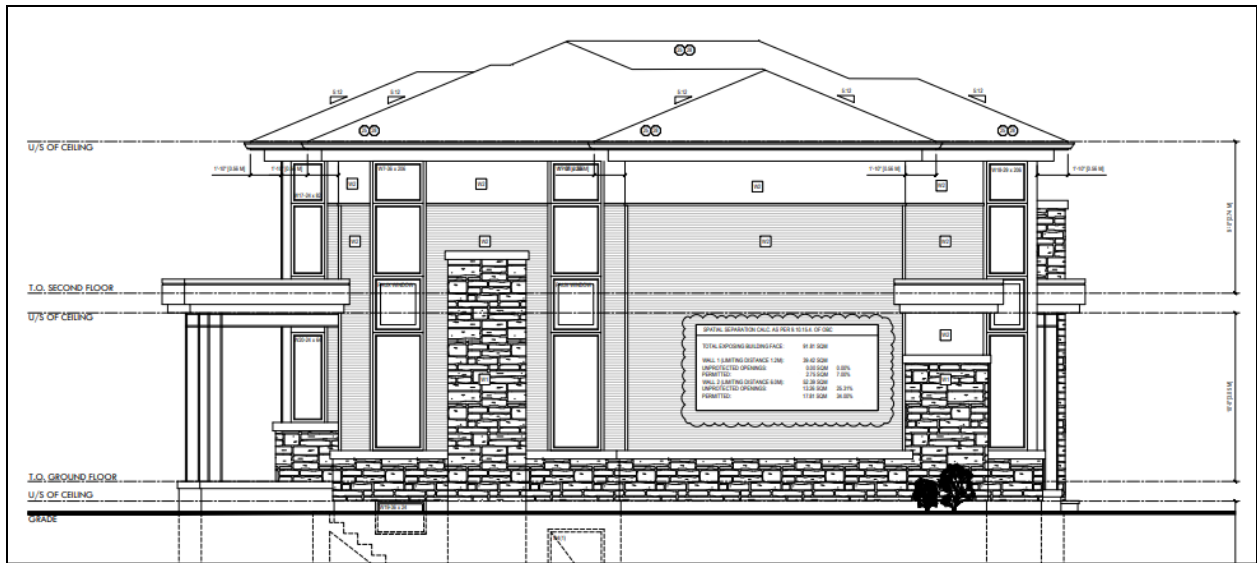


Excerpt of Site Grading and Servicing Plan for 158 Weir Avenue

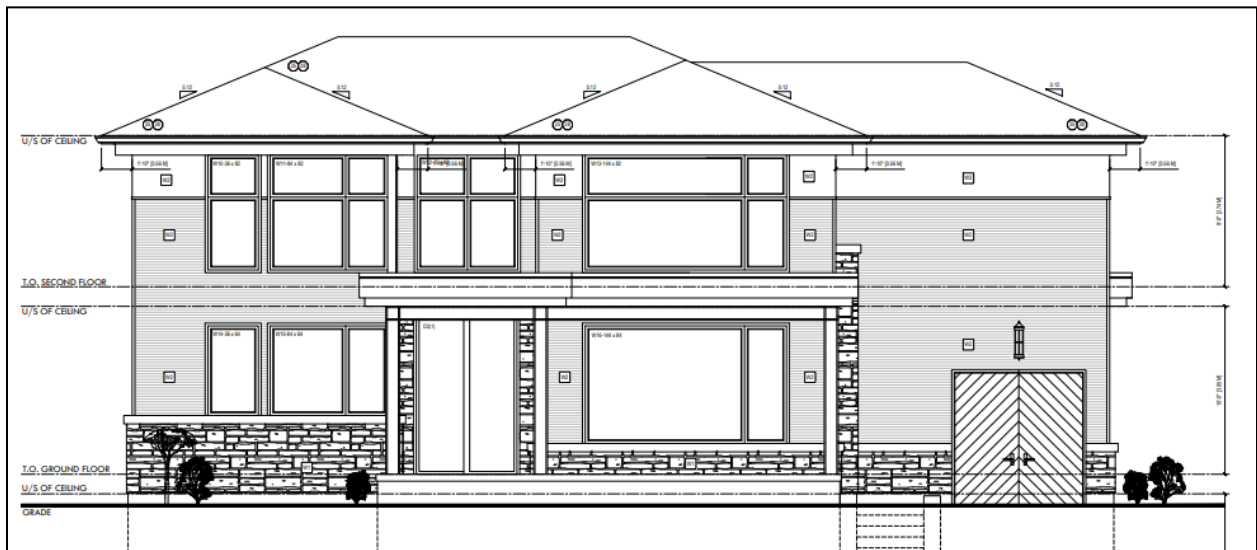
The following elevations illustrate the proposed new dwelling.



Excerpt of Proposed Front Elevation for 158 Weir Avenue



Excerpt of Proposed Left (East) Elevation for 158 Weir Avenue



Excerpt of Proposed Rear Elevation for 158 Weir Avenue

Section 45 of the *Planning Act* provides the Committee of Adjustment with the authority to authorize minor variances from provisions of the Zoning By-law provided the requirements set out under 45(1) in the *Planning Act* are met. Staff comments concerning the application of the four tests to this minor variance request are as follows:

Does the proposal maintain the general intent and purpose of the Official Plan

The subject property is designated Low Density Residential in the Livable Oakville Official Plan. Development is required to be evaluated using the criteria established in Section 11.1.9 to maintain and protect the existing neighbourhood character. The proposal maintains the setbacks of the original one-storey dwelling and is compatible in terms of scale, massing and architectural character with the surrounding neighbourhood through architectural articulation of the front façade, as well as step backs of the second storey. Staff is of the opinion that the proposed increase of 20 square metres maintains and protects the neighbourhood character and complies with Livable Oakville. Therefore, the proposal is in keeping with the general intent of the Official Plan.

Does the proposal maintain the general intent and purpose of the Zoning By-law?

The applicant is requesting relief from By-law 2014-014 to permit an increase in maximum residential floor area from 41% to 43.87%. The intent of regulating residential floor area is to ensure the dwelling does not have the appearance of being larger than other dwellings in the neighbourhood. The potential impacts of the increased floor area ratio are mitigated through the articulation of the front façade, including the architectural elements of the front porch and horizontal detailing that de-emphasizes massing. Additional mitigation is provided to the adjacent single storey dwellings through step backs of the second floor above the garage and minimal fenestration along the both sides of the second storey. The proposed dwelling will have a mass and scale that appears similar to the newer dwellings in the surrounding neighborhood, which meets the intent of the Zoning By-law.

Is the proposal desirable for the appropriate development of the subject lands and minor in nature

Staff are of the opinion that the proposal represents appropriate development of the subject property. The variance is minor in nature and will not create any undue adverse impacts to adjoining properties or the existing neighbourhood character.

Recommendation:

Staff do not object to the proposed variance. Should this minor variance request be approved by the Committee, the following conditions are recommended:

1. The dwelling be constructed in general accordance with the submitted site grading and servicing plan included in the Minor Variance Application submission and elevations dated October 25, 2023; and,
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Note:

Development Engineering staff advise that the proposed development is subject to Minor Site Plan due to the property being located within the Bill 97 Buffer (remnant channel) and is currently undergoing said review. The site requires 25mm storm retention to ensure that downstream properties are not negatively impacted by the

proposed development, and the applicant is instructed to illustrate swales (min. 2%) and flood lines on the plans to address concerns about flooding in the front and rear yards.

Bell Canada: No comments received.

Fire: No Concerns for Fire.

Halton Region:

- Due to Provincial legislation, Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan - as this has become the responsibility of Halton's four local municipalities.
- Regional staff has no objection to the proposed minor variance application seeking relief under Section 45(1) of the Planning Act in order to permit an increase to the maximum residential floor area ratio to 43.87%, under the requirements of the Town of Oakville Zoning By-law for the purpose of constructing a two-storey detached dwelling on the Subject Property.

Oakville Hydro: We do not have any comments for this group of minor variance applications.

Union Gas: No comments received.

Letter(s) in support – None

Letter(s) in opposition – None

General notes for all applications:

Note: The following standard comments apply to all applications. Any additional application specific comments are as shown below.

- The applicant is advised that permits may be required should any proposed work be carried out on the property i.e. site alteration permit, pool enclosure permit, tree preservation, etc.
- The applicant is advised that permits may be required from other departments/authorities (e.g. Engineering and Construction, Building, Conservation Halton etc.) should any proposed work be carried out on the property.
- The applicant is advised that any current or future proposed works that may affect existing trees (private or municipal) will require an arborist report.
- The applicant is advised that any current or future proposed works will require the removal of all encroachments from the public road allowance to the satisfaction of the Engineering and Construction Department.

- The applicant is advised that the comments provided pertain only to zoning and are not to be construed as a review or approval of any proposal for the site. This review will be carried out through the appropriate approval process at which time the feasibility/scope of the works will be assessed.
- Unless otherwise states, the Planning basis for the conditions referenced herein are as follows:
 - Building in general accordance with the submitted site plan and elevation drawings is required to ensure what is requested and ultimately approved, is built on site. This provides assurance and transparency through the process, noting the documents that are submitted with the application, provide the actual planning, neighbourhood and site basis for the request for the variances, and then the plans to be reviewed through the building permit and construction processes.
 - A two (2) year timeframe allows the owner to obtain building permit approval for what is ultimately approved within a reasonable timeframe of the application being heard by the Committee of Adjustment based on the requirements when it is processed, but cognizant of the ever-changing neighbourhoods, policies and regulations which might then dictate a different result. Furthermore, if a building permit is not obtained within this timeframe, a new application would be required and subject to the neighbourhood notice circulation, public comments, applicable policies and regulations at that time.

Requested conditions from circulated agencies:

1. The dwelling be constructed in general accordance with the submitted site grading and servicing plan included in the Minor Variance Application submission and elevations dated October 25, 2023; and,
2. That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.

Note:

Development Engineering staff advise that the proposed development is subject to Minor Site Plan due to the property being located within the Bill 97 Buffer (remnant channel) and is currently undergoing said review. The site requires 25mm storm retention to ensure that downstream properties are not negatively impacted by the proposed development, and the applicant is instructed to illustrate swales (min. 2%) and flood lines on the plans to address concerns about flooding in the front and rear yards.

J. Ulcar

Jennifer Ulcar
 Secretary-Treasurer
 Committee of Adjustment