



Committee of Adjustment Town of Oakville

AGENDA

Date: February 5, 2025
Time: 7:00 pm
Location: Virtual Meeting

Live streaming video is available at oakville.ca/live.html or the Town's YouTube channel at youtube.com/user/townofOakvilleTV.

Making submissions to the Committee of Adjustment

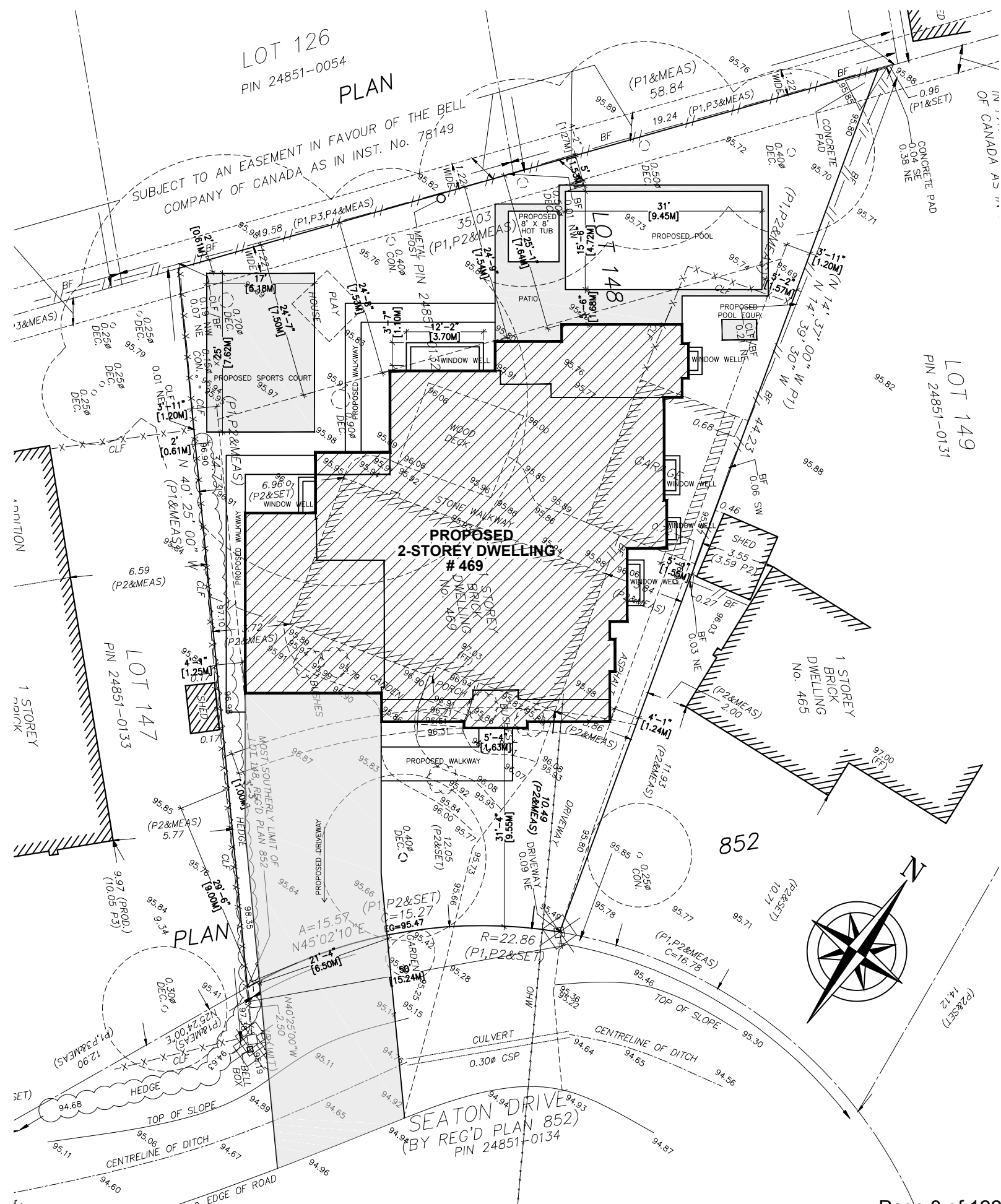
To participate in the electronic hearing or to submit written correspondence regarding an application on the agenda, please email the Secretary-Treasurer at coarequests@oakville.ca, or call 905-845-6601 ext. 1829, by noon the day before the hearing date.

	Pages
1. Reading of Preamble	
2. Regrets	
3. Declarations of Pecuniary Interest	
4. Requests for Deferrals or Withdrawals of Applications	
5. Consent Application(s)	
6. Minor Variance Application(s)	
6.1 A/006/2025 - 469 Seaton Drive	3 - 12
6.2 A/008/2025 - 190 Tilford Road	13 - 23
6.3 A/009/2025 - 163 Douglas Avenue	24 - 34
6.4 A/010/2025 - 530 Carson Lane	35 - 45
6.5 A/011/2025 - 181 Front Street	46 - 67
6.6 A/012/2025 - 158 Maple Grove Drive	68 - 81

6.7	A/013/2025 - 1574 Old Lakeshore Road	82 - 93
6.8	A/014/2025 - 244 Sabel Street	94 - 106
6.9	A/015/2025 - 263 Sunray Road	107 - 112
6.10	A/025/2025 - 528 Weir Avenue	113 - 122

7. Confirmation of Minutes

8. Adjournment



SITE STATISTICS: 469 SEATON DRIVE

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL3-0			
LOT AREA:	876.52M2			
LOT COVERAGE:	---	M2 294.57M2	---	M2 306.78M2 3,302 SQ. FT.
LOT COVERAGE:	---	% 33.64%	---	% 35 %
R.F.A. :	---	M2 381.29M2	---	M2 341.84M2 3,679 SQ. FT.
R.F.A. :	---	% 43.5%	---	% 39%
GARAGE AREA :	---	M2 46M2	---	M2 45M2
BLDG. HEIGHT	---	M 8.98 M	---	M 9 M
WINDOW WELL	---	M 3.7M&1.2M	---	M 1.8M&0.60M

SITE PLAN

SCALE: 1:225

MINOR VARIANCE REQUIRED



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1
PHONE: (905) 847-2350
WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 11, 2024
PERMIT # : 24 -

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 469 SEATON DRIVE

S1



KEEREN DESIGN
Residential Architecture

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PROJECT: 469 SEATON DRIVE

A3



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PROJECT: 469 SEATON DRIVE

A4



FRONT ELEVATION
SCALE : 1:75



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Residential Architecture

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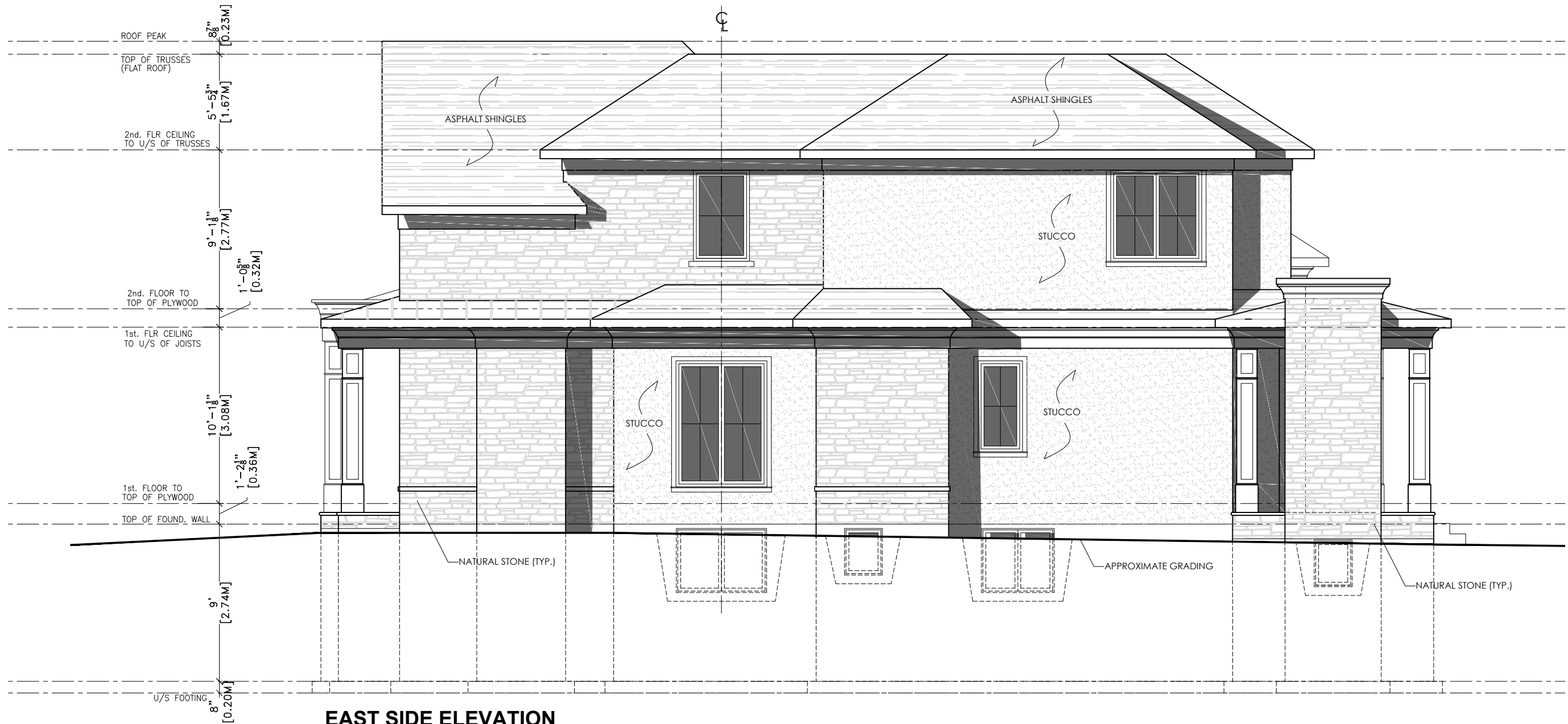
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PROJECT: 469 SEATON DRIVE

A5



EAST SIDE ELEVATION
SCALE : 1:75



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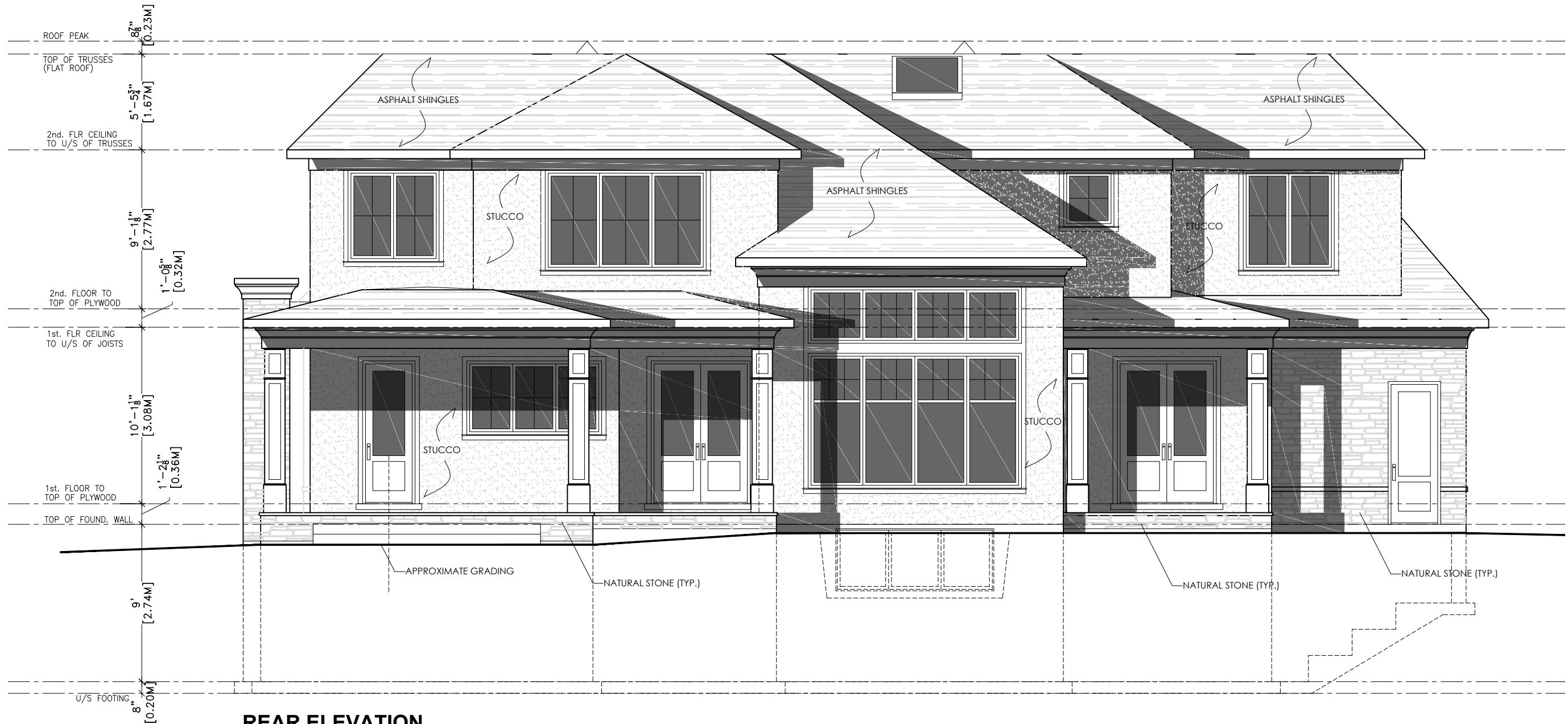
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PROJECT: 469 SEATON DRIVE

A6



REAR ELEVATION
SCALE : 1:75



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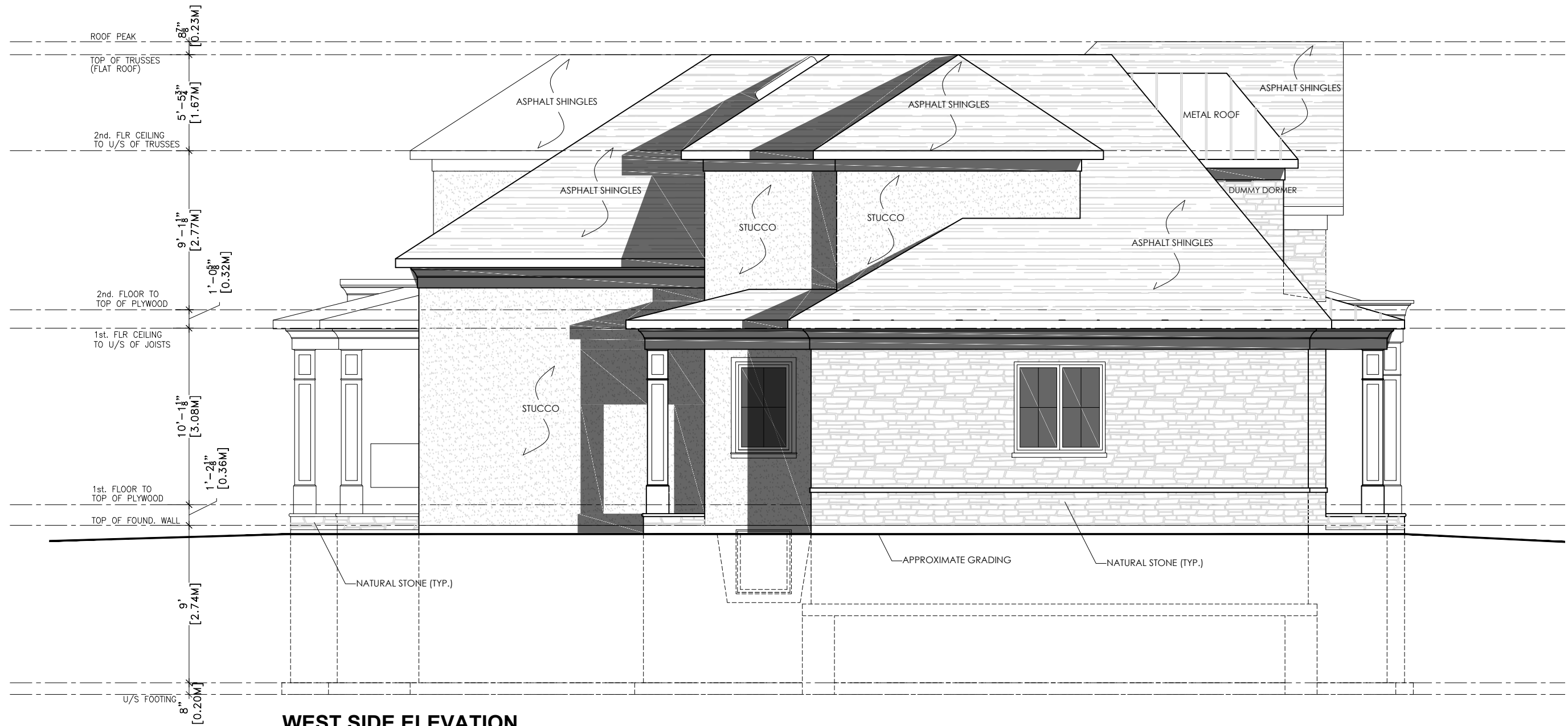
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PROJECT: 469 SEATON DRIVE

A7



WEST SIDE ELEVATION
SCALE : 1:75

Cover Letter

Property Address: 469 Seaton Dr

Nov 11, 2024

This application for minor variance is comprised of a proposed new single-family dwelling. The existing dwelling constructed circa 1970 will be completely demolished and new utility services will be installed as part of the redevelopment.

The following variances are being requested:

1. To allow for a Floor Area Ratio of 43.5%, where as 39% is permitted
2. To allow for a rear yard window well encroachment of 3.6m x 1.1m where as 1.8m & 0.6m is the maximum.
3. To allow a garage area of 46M2 whereas 45M2 is the maximum.

Justification and rationale for the variance requests:

1. The main dwelling complies fully with lot coverage, the additional sq. footage (RFA) is required to accommodate the needs of the immediate family for which the house is being built. This includes a total of six family members, one of them being elderly and requiring the elevator.
2. The additional area inside the garage is required for two vehicles and sufficient storage to accommodate various personal use items such as bicycles, lawn maintenance equipment etc.
3. The overall massing and scale of the dwelling is moderated by several features, including the 1 story front porch, the stepping and articulation of the front facade as well as the lowering of the roofline to the 1st floor.

Notice of Public Hearing Committee of Adjustment Application



File # A/006/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 5, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Y. Bortolussi D. Bortolussi	Joris Keeren Keeren Design 11 Bronte Rd Unit 31 Oakville ON L6L 0E1	469 Seaton Dr PLAN 852 LOT 148

Zoning of Property: RL3-0, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 4.3 (Row 7)</i> The maximum encroachment into a minimum yard for window wells with a maximum width of 1.8 metres shall be 0.6m.	To increase the maximum encroachment into the minimum rear yard for the window well to 1.20 m with a maximum width of 3.70 metres.
2	<i>Section 5.8.6 b)</i> For detached dwellings on lots having greater than or equal to 12.0 metres in lot frontage, the maximum total floor area for a private garage shall be 45.0 square metres.	To increase the maximum total floor area for the private garage to 46.0 square metres on a lot having greater than or equal to 12.0 metres in lot frontage.
3	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 836.00 m ² and 928.99 m ² shall be 39%.	To increase the maximum residential floor area ratio to 43.5%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

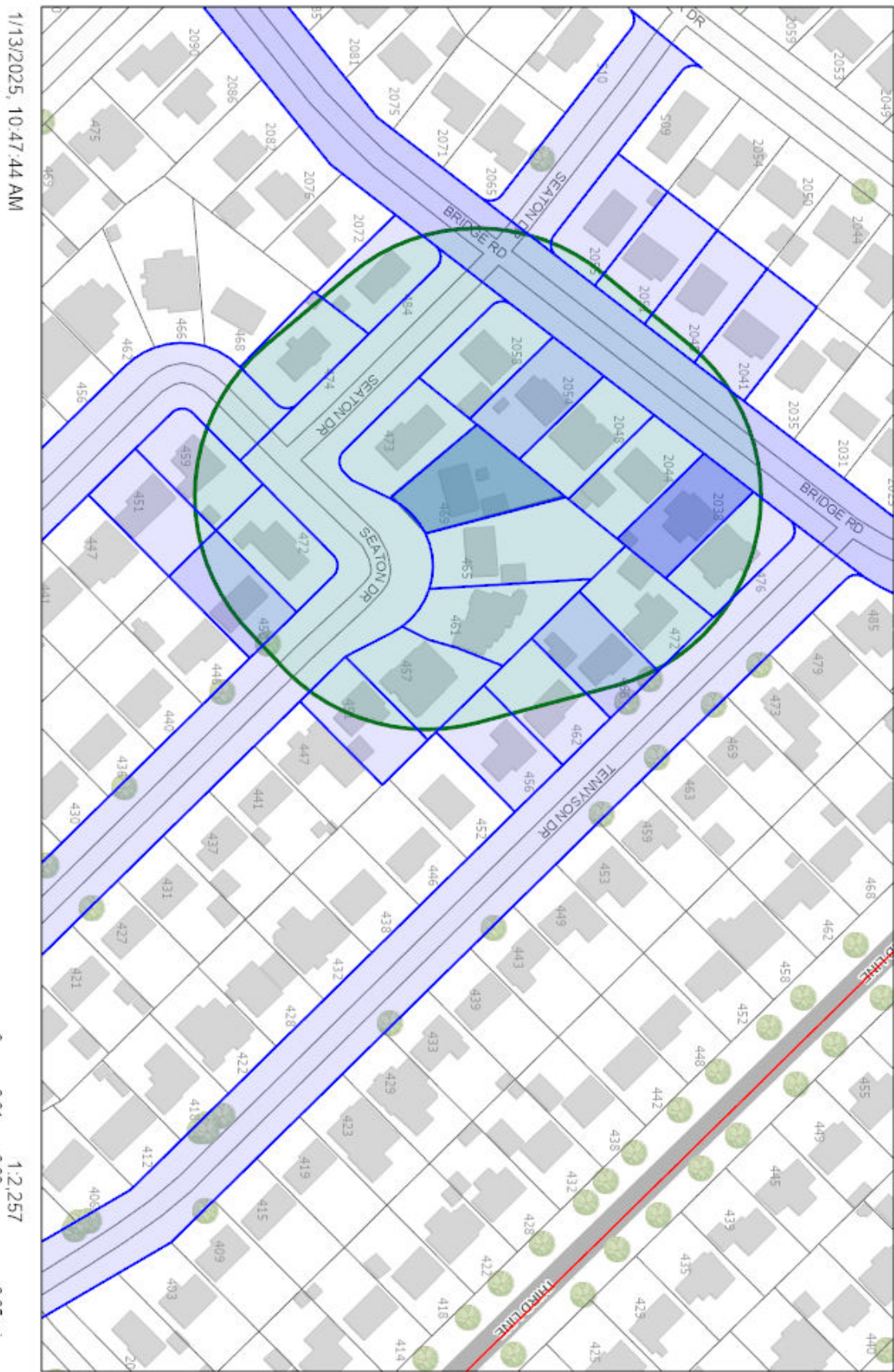
Contact information:

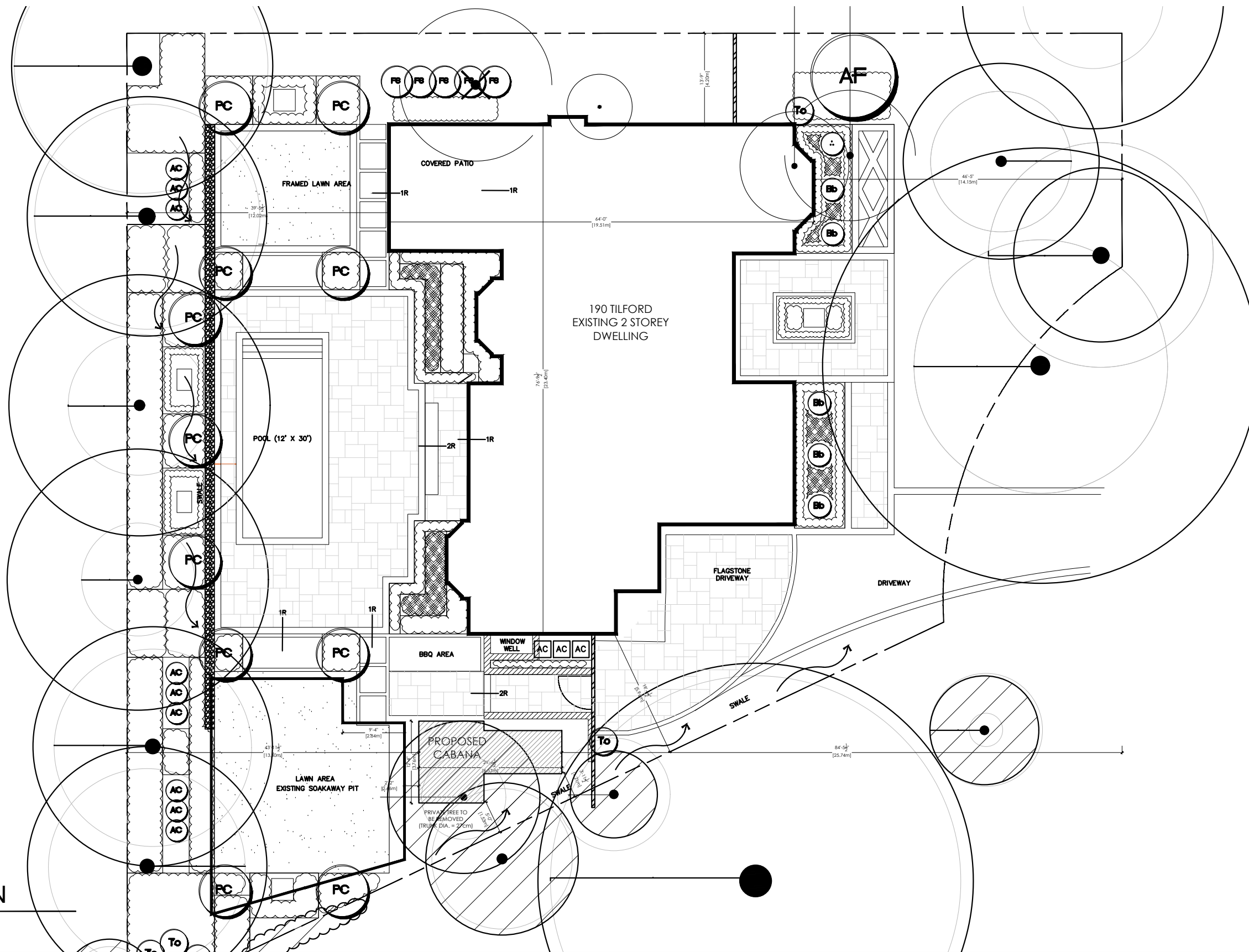
Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

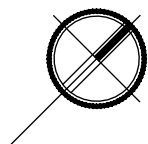
A/006/2025 - 469 Seaton Drive





CABANA SITE PLAN

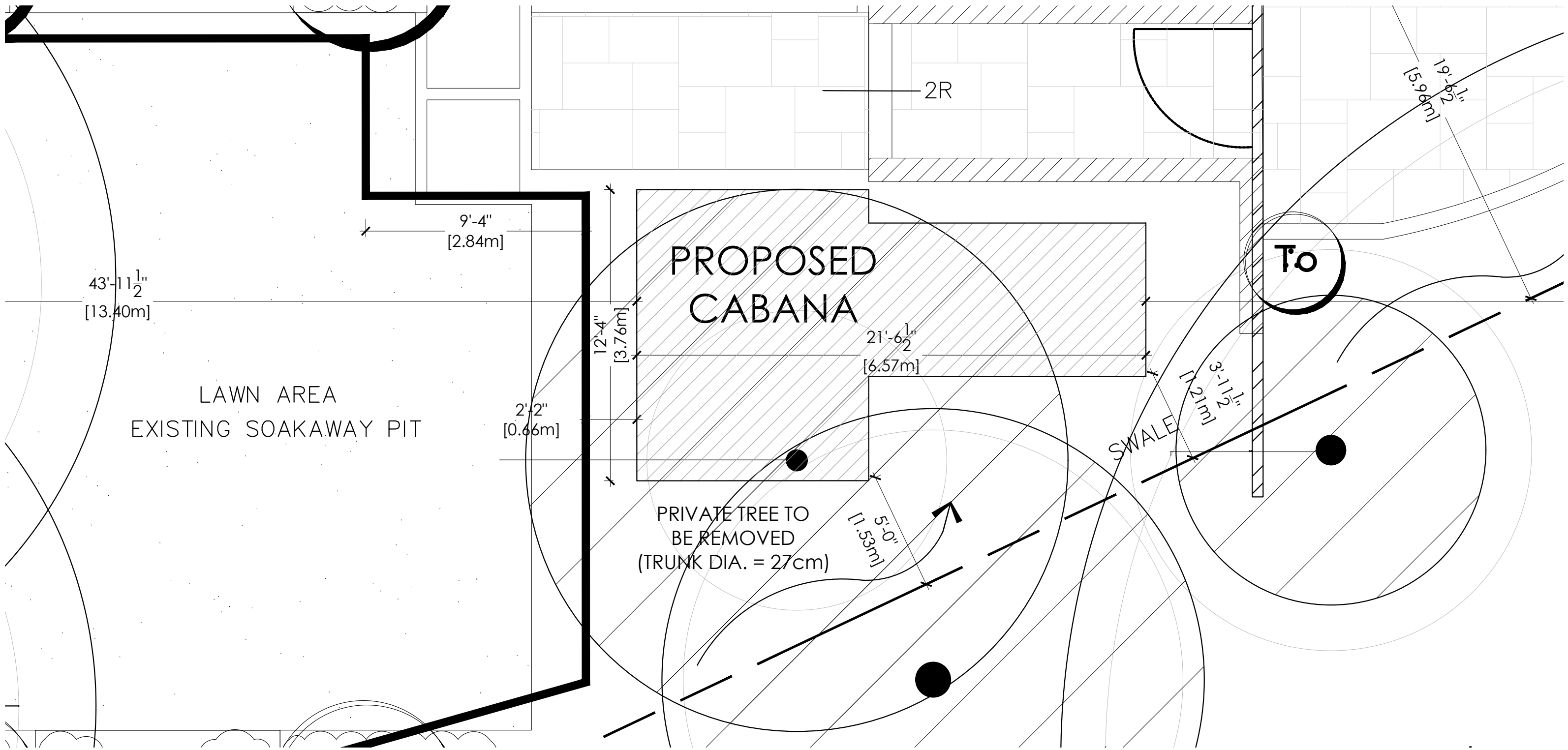
SCALE: 1/16" = 1'-0"



TILFORD CABANA

190 TILFORD ROAD
 OAKVILLE, ONTARIO
 NOVEMBER 25, 2024
 PROJECT NO. 2455





CABANA SITE PLAN CLOSE UP

SCALE: 1/16" = 1'-0"



TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455

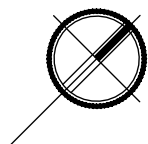


ZONING STATISTICS

ADDRESS: 190 TILFORD DRIVE		DATE: NOVEMBER 26, 2024
ZONING DESIGNATION:		RL1-0
LOT AREA:		1,473.01 SQ.M.
NEW BYLAW:		PERMITTED PROPOSED
EXISTING BUILDING COVERAGE:		318.29 SM (21.61%)
PROPOSED CABANA COVERAGE:		18.34 SM (1.24%)
TOTAL COVERAGE:		336.63 SM (22.85%)
CABANA:		
HEIGHT:	4.0 M	3.98 M
SETBACKS:		
FRONT:		25.74 M
REAR:	0.60 M	13.40 M
SIDE:	4.20 M	1.21 M*

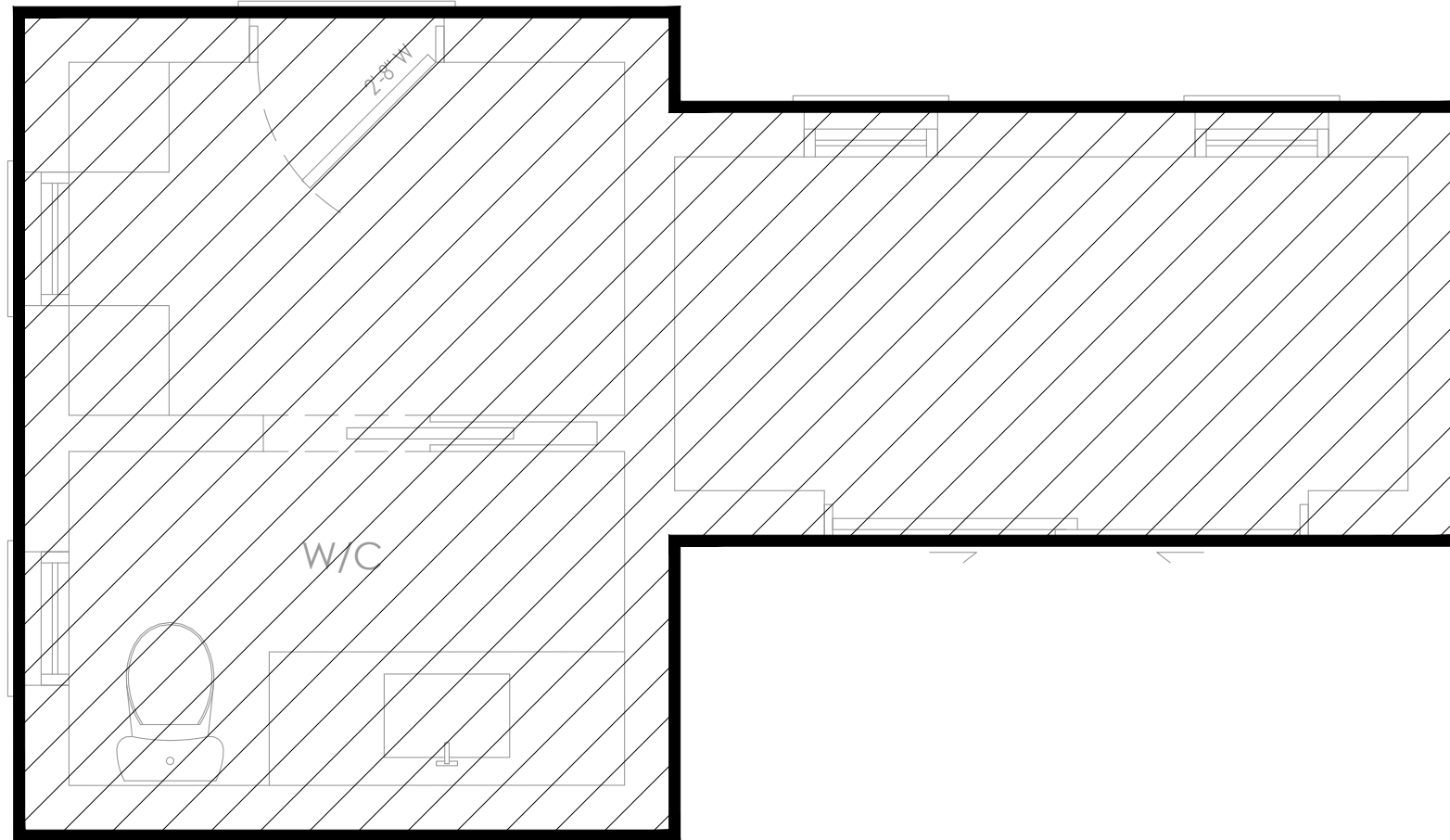
VARIANCES REQUESTED*

STATISTICS



TILFORD CABANA

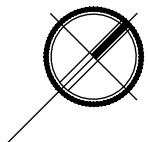
190 TILFORD ROAD
 OAKVILLE, ONTARIO
 NOVEMBER 25, 2024
 PROJECT NO. 2455



AREA = 197.42 SQ.FT.
(18.34 SQ.M.)

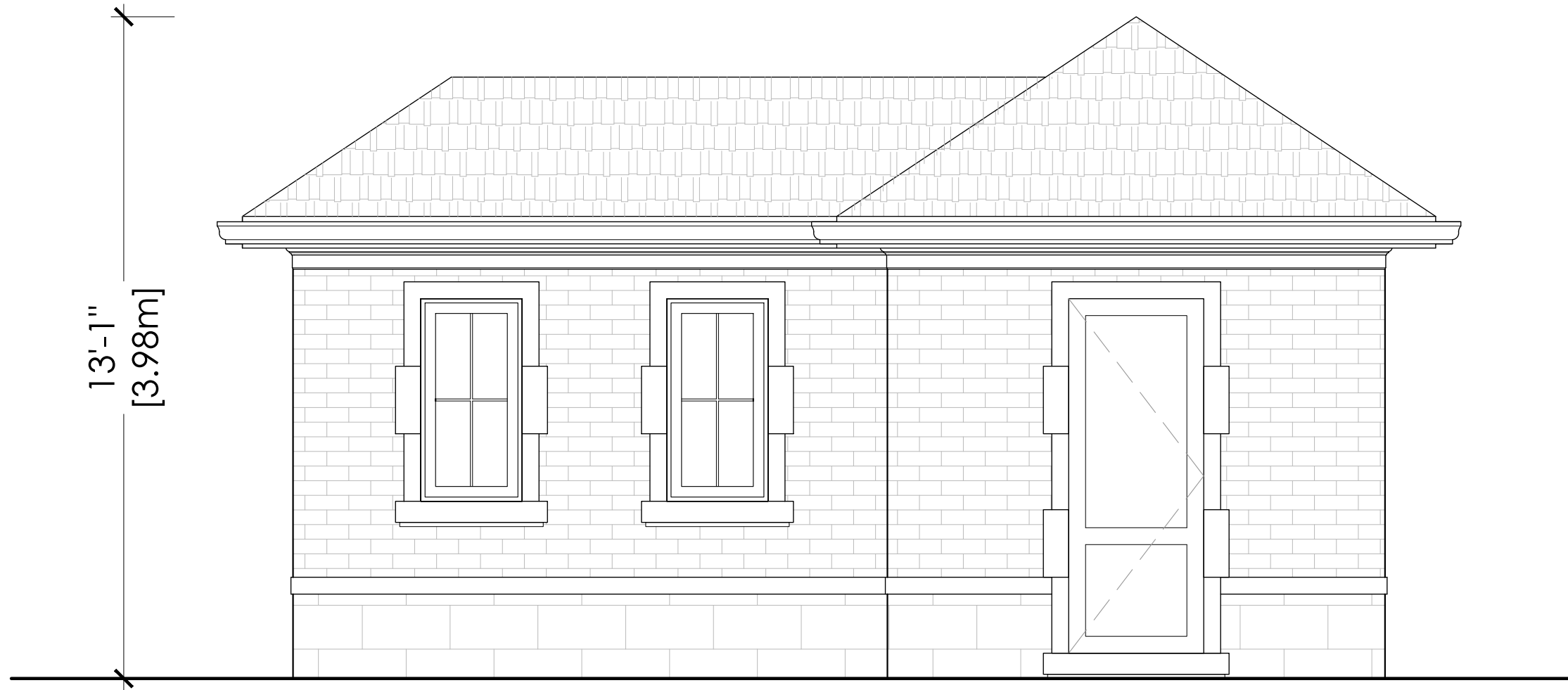
AREA CALCULATION

SCALE: 3/8" = 1'-0"



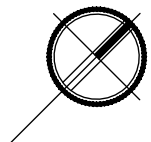
TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455



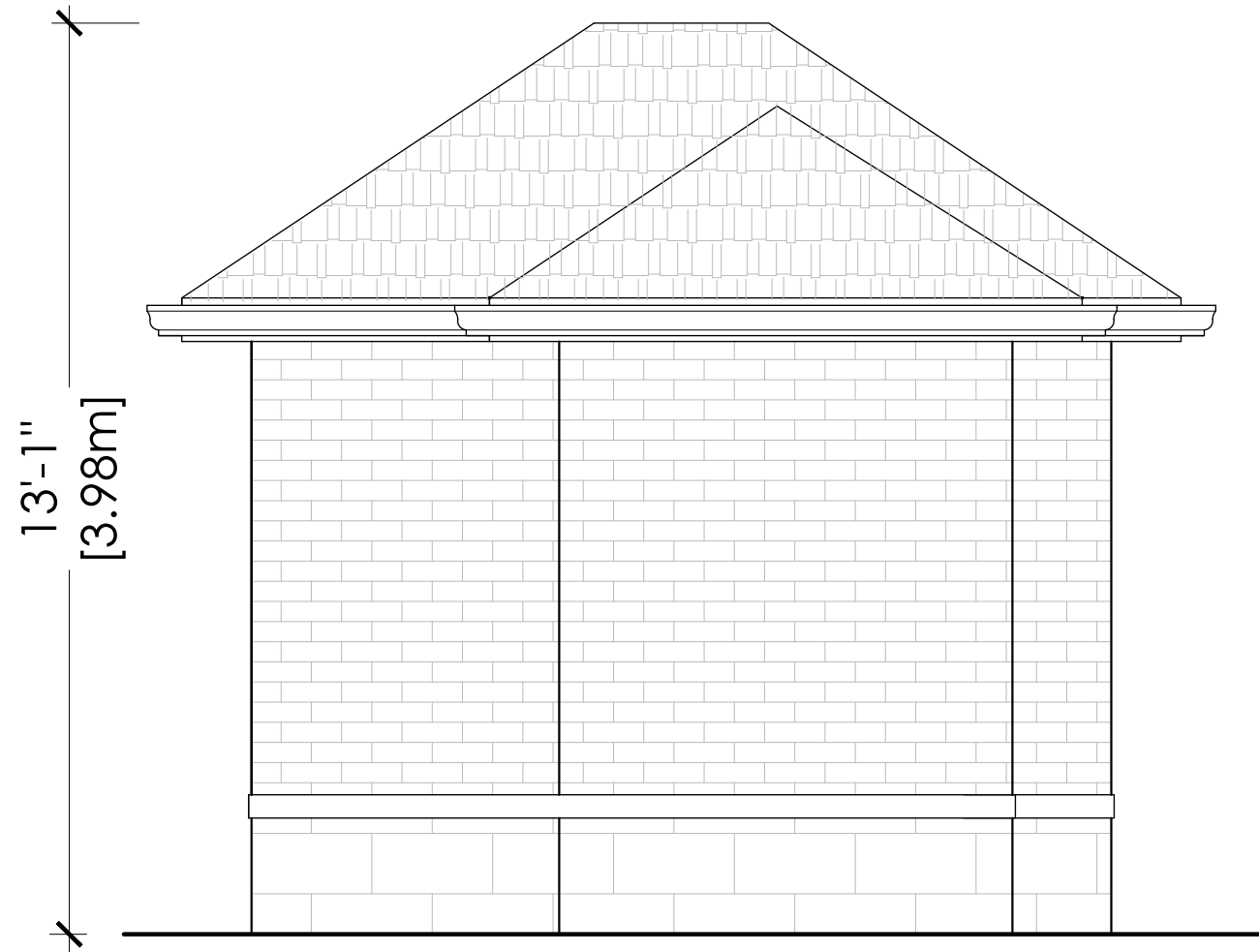
NORTH ELEVATION

SCALE: 3/8" = 1'-0"



TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455



EAST ELEVATION

SCALE: 3/8" = 1'-0"

TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455



WEST ELEVATION

SCALE: 3/8" = 1'-0"

TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455



SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

TILFORD CABANA

190 TILFORD ROAD
OAKVILLE, ONTARIO
NOVEMBER 25, 2024
PROJECT NO. 2455

Notice of Public Hearing Committee of Adjustment Application



File # A/008/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

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Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
M. Sargent R. Sargent	Sandra Gava Sandra Gava Architect Inc. 669 Montego Cres Burlington ON L7N 2Y9	190 Tilford Rd PLAN 530 LOT 14

Zoning of property: RL1-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a one-storey accessory building (cabana) on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	Table 6.3.1 (Row 5, Column RL1) The minimum interior side yard shall be 4.2 metres.	To reduce the minimum easterly interior side yard to 1.21 metres.

How do I participate if I have comments or concerns?

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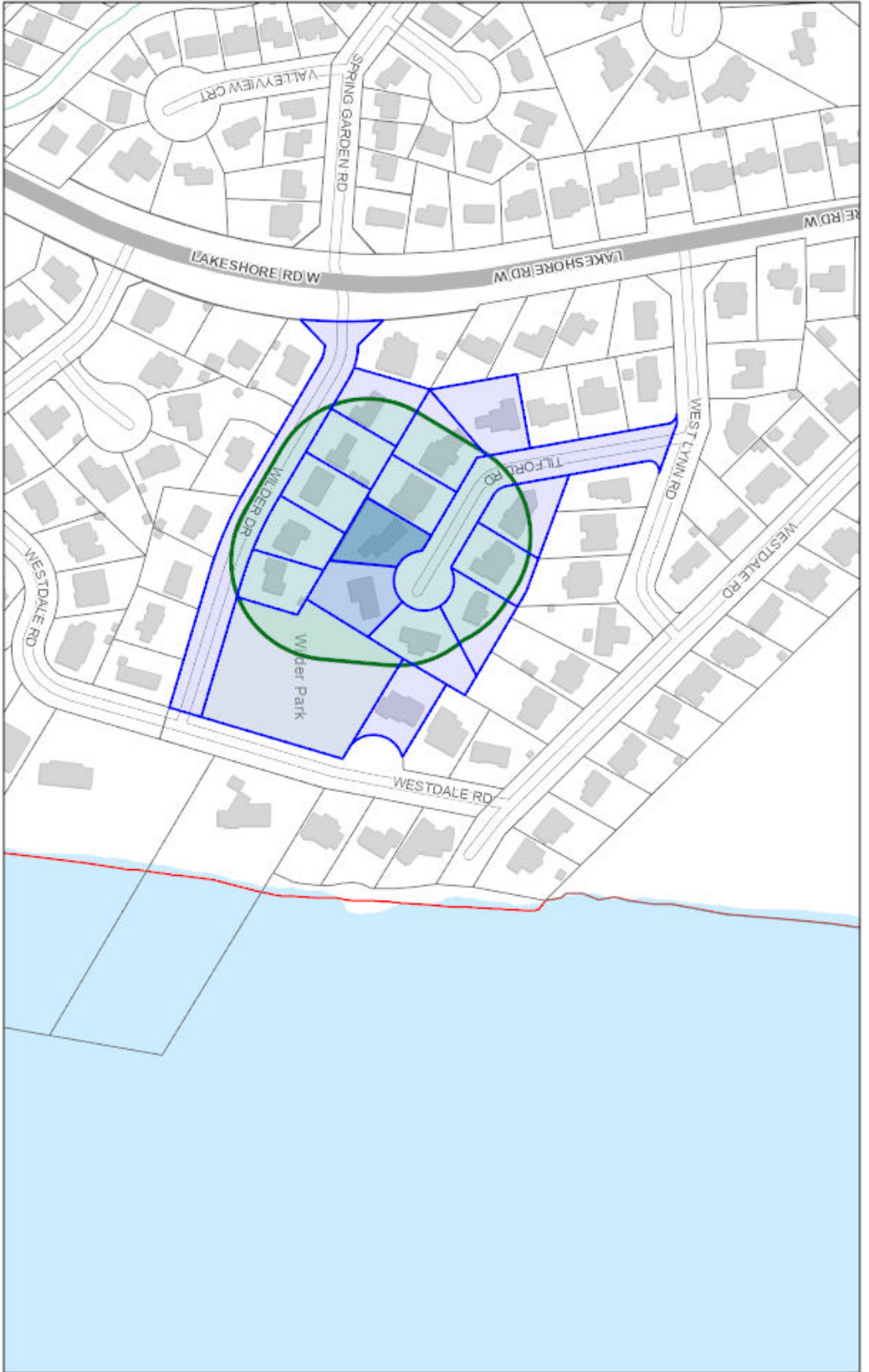
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Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/008/2025 - 190 Tilford Road

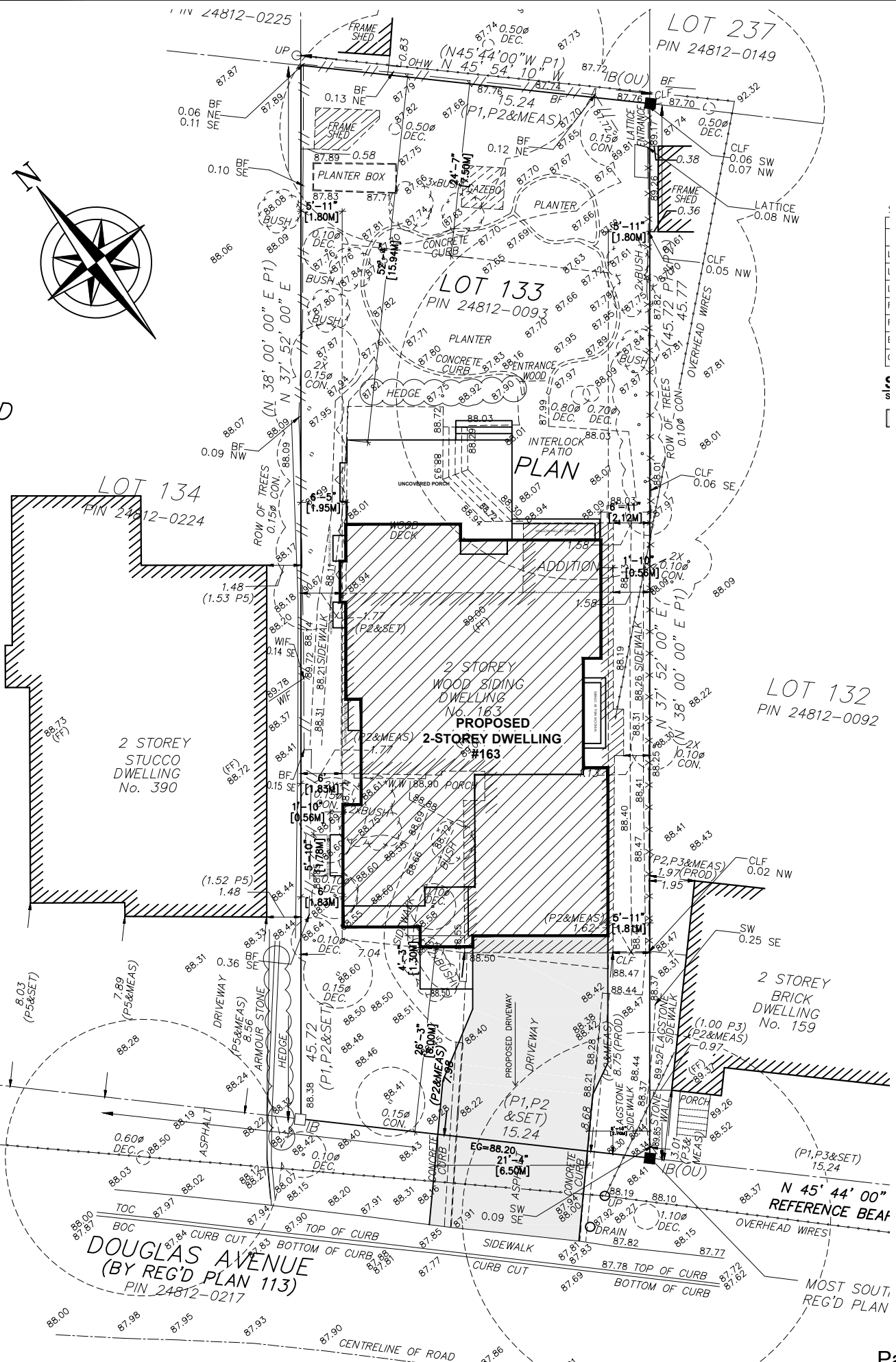


1/13/2025, 11:06:58 AM

- Ownership
- Parcel_Address
- Applicant Name Address
- Wards



Town of Oakville
2021 Town of Oakville



SITE STATISTICS: 163 DOUGLAS AVENUE

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL3-0	SP10		
LOT AREA:	692.78M2			
LOT COVERAGE:	--- M2	191.90 M2	--- M2	131.62M2 1,416 SQ. FT.
LOT COVERAGE:	---	27.7%	---	19 %
R.F.A. :	--- M2	283.68M2	--- M2	284.04M2 3,057 SQ. FT.
R.F.A. :	---	40.95%	---	41%
BLDG. HEIGHT	---	8.97 M	---	9 M
GARAGE AREA:	---	36.8 M2	---	38M2

SITE PLAN

SCALE: 1:150

MINOR VARIANCE REQUIRED



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PLOT DATE : NOVEMBER 15, 2024
PERMIT # : 24 -

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PROJECT: 163 DOUGLAS AVE.

S1



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Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

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PROJECT: 163 DOUGLAS AVE.

A2



FRONT ELEVATION
SCALE: 1:75



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OAKVILLE, ON
L6L 0E1

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PROJECT: 163 DOUGLAS AVE.

A3



EAST SIDE ELEVATION
SCALE: 1:75



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OAKVILLE, ON
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PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
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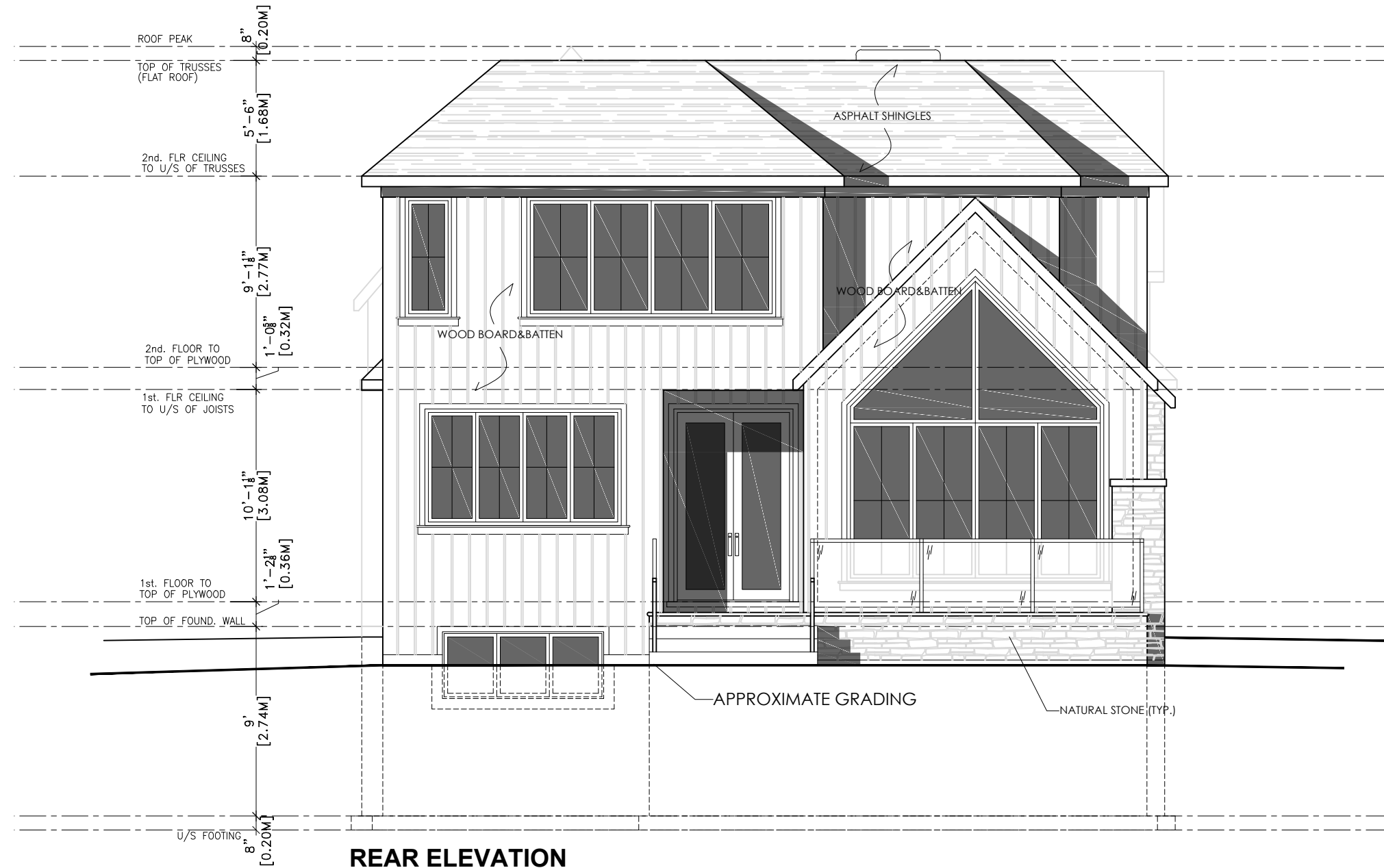
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PROJECT: 163 DOUGLAS AVE.

A4



REAR ELEVATION
SCALE: 1:75



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PROJECT: 163 DOUGLAS AVE.

A5



WEST SIDE ELEVATION
SCALE: 1:75

Planning Justification

Property Address: 163 Douglas Ave.

Nov 15 2024

1. Lot Coverage (Variance)

The permitted Lot Coverage is 19% and this application is asking for 27.7% . The main reasons for the overage are:

1. To provide an office space on the main floor to facilitate work-from-home.
2. To accommodate a garage for two vehicles.

The exterior front façade of the dwelling is designed to hide the massing associated with the additional lot coverage being requested. This is accomplished by lowering the roof line which has the effect to present the house as a 1.5 storey dwelling. There is also substantial articulation on the elevation, which serves to break up the massing further.

Note, the proposed dwelling improves on side yard setbacks, and in some areas are over 2 meters. This further helps to buffer the proposed dwelling from the neighbouring lots.

2. Mature tree

The footprint of the proposed dwelling has been adjusted to accommodate the large tree directly behind the kitchen.

Massing:

DESIGN GUIDELINES

1. New development, which is larger in overall massing than adjacent dwellings, should be designed to reduce the building massing through the thoughtful composition of smaller elements and forms that visually reflect the scale and character of the dwellings in the surrounding area. This design approach may incorporate:

- projections and/or recesses of forms and/or wall planes on the façade(s)
- single-level building elements when located adjacent to lower height dwellings
- variation in roof forms
- subdividing the larger building into smaller elements through additive and/or repetitive massing techniques
- porches and balconies that can reduce the verticality of taller

dwelling and bring focus to the main entrance

- *architectural components that reflect human scale and do not appear monolithic*
- *horizontal detailing to de-emphasize the massing*
- *variation in building materials and colours.*

2. New development should be designed to mitigate potential impacts of overshadowing on adjacent properties by avoiding bulky massing close to the shared property line, by stepping down the height of the structure, and/or by increasing the setback(s) from the side and rear property lines.

Scale:

DESIGN GUIDELINES

1. New development should not have the appearance of being substantially larger than the existing dwellings in the immediate vicinity. If a larger massing is proposed, it should be subdivided into smaller building elements that respond to the context of the neighbourhood patterns.

2. In instances where the lot patterning has been altered through redevelopment, the scale of the new development should be compatible with the scale of the surrounding buildings.

3. Neighbourhood Context.

The area is unique, with a mix of dwelling sizes, many of which also required increased lot coverage variances. The only variance being sought for the subject property is for lot coverage since that is lower than in standard RL3-0 zoning, this is triggered by SP-10. 2.

For some context, the following dwellings in the immediate area also have lot coverage higher than permitted by the zoning by-law:

390 Sumner Ave- lot coverage of 27% approx. (this is immediately adjacent to the subject site)

164 Douglas Ave. - Lot coverage of 34.94% (with COA approval) (across the st from subject)

179 Douglas Ave. - Lot Coverage of 23.75% (with COA approval)

254 Douglas Ave. - Lot coverage of 29.4 % (with COA approval) 3.

Four Tests:

1. The proposed development complies with the official plan in that it is a single-family dwelling unit, which is similar in size and scale to many other houses on the street and in the surrounding area.
2. The intent of the zoning by-law is met with this proposal because most key regulations, such as lot coverage, side yard setbacks and height are being met.
3. Single family dwellings of similar scale and massing are prevalent in the immediate area, therefore this proposal, being a single family, four-bedroom dwelling, is both desirable and appropriate.
4. The proposed development is appropriate for the site and area because it will complement the fabric of the neighbourhood.

Notice of Public Hearing Committee of Adjustment Application



File # A/009/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
S. Quon C. LiKamShum-Quon	JORIS KEEREN Keeren Design INC 11 Bronte Rd Suite 31 Oakville ON, CANADA L6L 0E1	163 Douglas Ave PLAN 113 LOT 133

Zoning of Property: RL3-0 sp:10, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a new two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	Section 15.10.1 (c) The maximum lot coverage for a dwelling having two storeys shall be 19%.	To increase the maximum lot coverage to 27.7%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

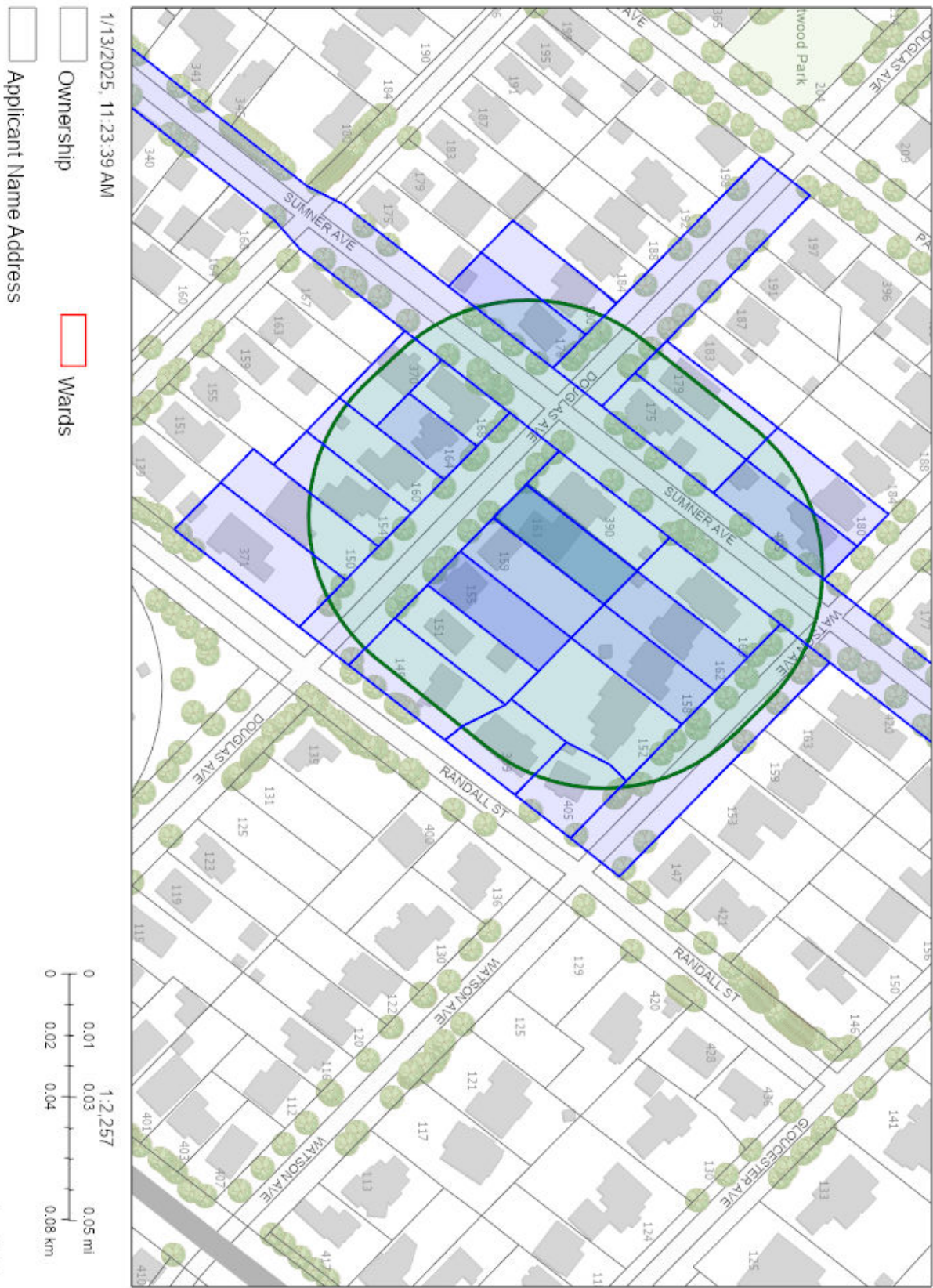
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/009/2025 - 163 Douglas Avenue





KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION

INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 530 CARSON LANE

S1

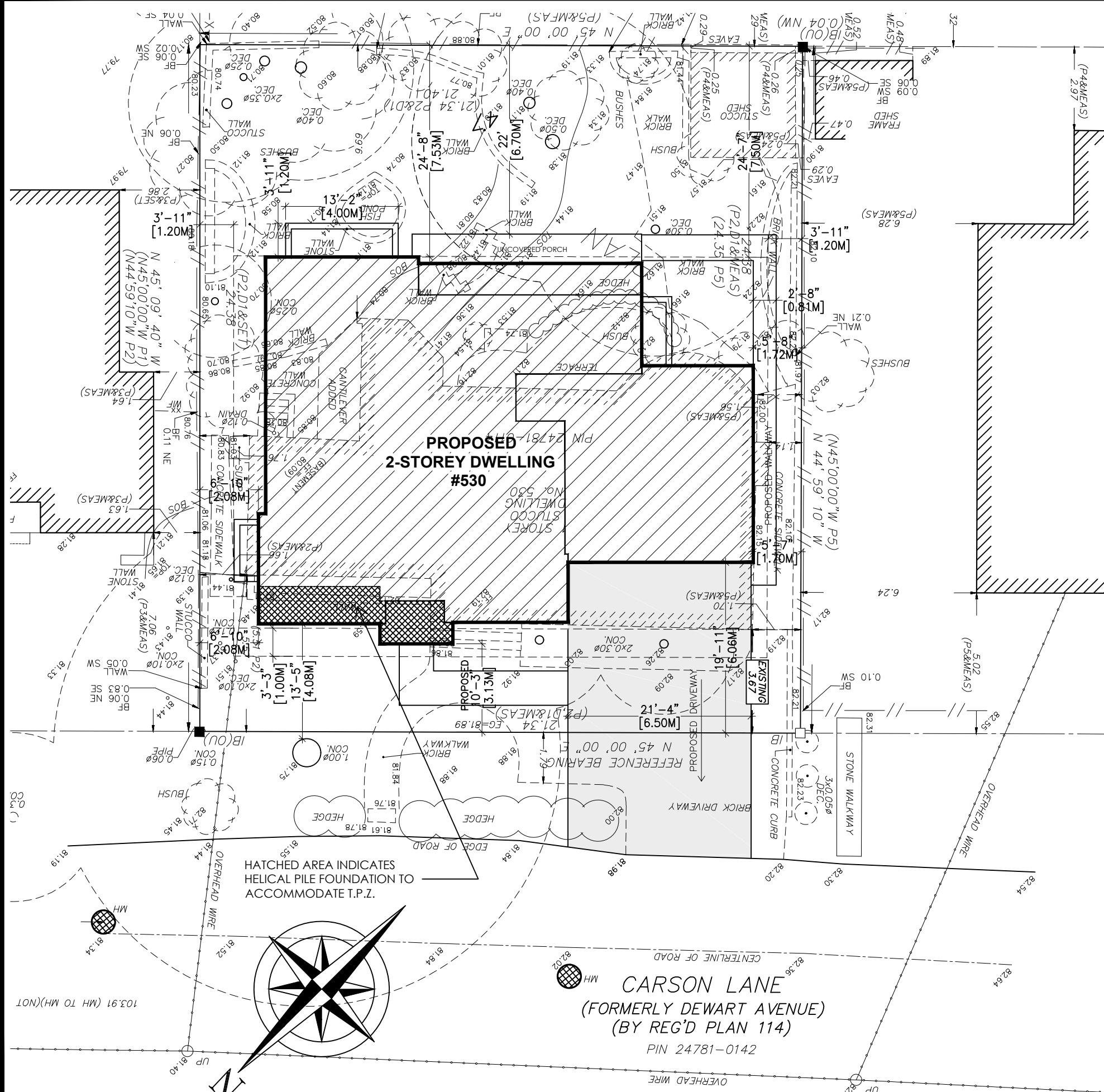
SITE STATISTICS: 530 CARSON LANE

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL3-0			
LOT AREA:	520.82M2			
LOT COVERAGE:	---	M2 197.63M2	---	M2 182.03M2 1,959 SQ. FT.
LOT COVERAGE:	---	38%	---	35 %
R.F.A. :	---	M2 265M2	---	M2 223.63M2 2,407 SQ. FT.
R.F.A. :	---	51%	---	43%
WINDOW WELL :	---	M 1.2Mx4.0M	---	M 0.6Mx1.8M
BLDG. HEIGHT (PEAK)	---	M 8.90M	---	M 9

SITE PLAN

SCALE: 1:150

MINOR VARIANCE REQUIRED





KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

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PROJECT: 530 CARSON LANE

A0



 KEEREN DESIGN Residential Architecture	11 BRONTE RD. SUITE 31 OAKVILLE, ON L6L 0E1 PHONE: (905) 847-2350 WWW.KEEREN.CA FIRM BCIN #: 31181	REVISION 	PROJECT: 530 CARSON LANE STREETSCAPE SCALE: N.T.S.	DRAWING INFORMATION INITIAL DESIGN : JUNE 2024 DESIGNER : JORIS KEEREN DRAWN BY : M. RICO PLOT DATE : NOVEMBER 22, 2024 PERMIT # : 24 -	<h1>A1</h1>
	JORIS KEEREN Residential Architect License #: 25348	These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.			



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

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INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
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PROJECT: 530 CARSON LANE

A5





KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
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DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

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PROJECT: 530 CARSON LANE

A6



WEST SIDE ELEVATION
SCALE: 1:75



KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

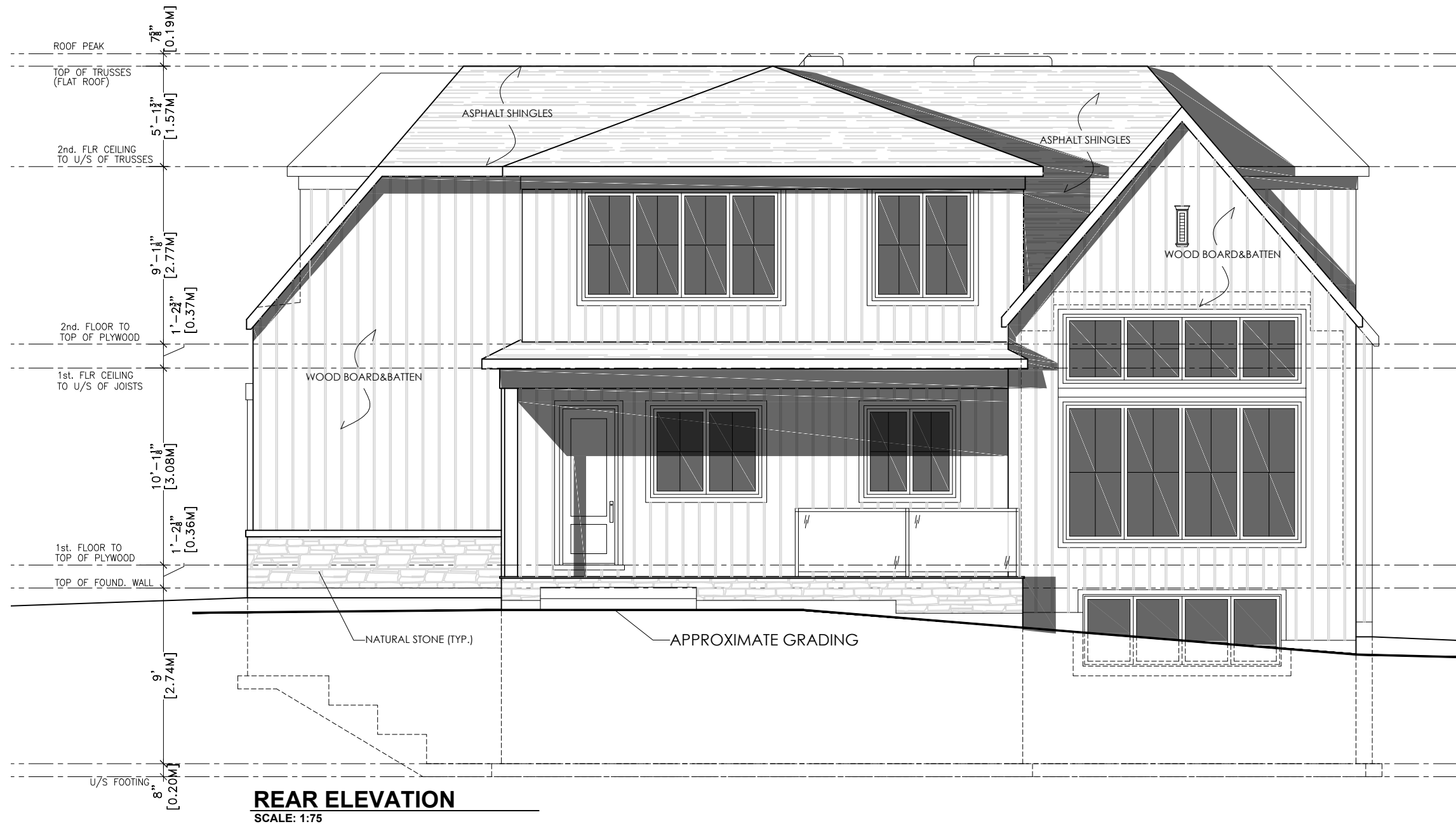
REVISION

DRAWING INFORMATION
INITIAL DESIGN : JUNE 2024
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

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PROJECT: 530 CARSON LANE

A7





KEEREN DESIGN
Residential Architecture

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
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DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : NOVEMBER 22, 2024
PERMIT # : 24 -

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PROJECT: 530 CARSON LANE

A8



EAST SIDE ELEVATION
SCALE: 1:75

Cover letter

Property Address: 530 Carson Lane

Oct 22, 2024

This application for minor variance is comprised of a proposed new single-family dwelling. The existing dwelling constructed circa 1940 will be completely demolished and new utility services will be installed as part of the redevelopment.

Mature Town Tree: There is an existing mature coniferous tree located at the front of the property. Please note that the foundation of the proposed dwelling has been reduced to provide a larger tree protection zone for this tree.

The following variances are being requested:

1. To allow for a Floor Area Ratio of 51%, where as 43% is permitted
2. To allow for a rear yard window well encroachment of 4m x 1.2m where as 1.8m & 0.6m is the maximum.
3. To allow a Lot Coverage of 38% whereas 35% is the maximum.

Justification and rationale for the variance requests:

1. The subject lot is one of, if not the, smallest in the area, and although it is legal, non conforming, it's actually less than the prescribed min under the RL3-0 zoning by-law. This results in both the permitted RFA and lot coverage ratios being artificial low, requiring variances.
2. The area is unique, with many larger homes in the immediate area. The additional sq. footage (RFA) is required to accommodate the needs of the immediate family for which the house is being built. The total sq. footage of the proposed dwelling is a moderate 2,800 above grade.
3. For some context, the dwelling immediately next door (on the East side # 536) was designed by our firm and has a square footage of about 5,100 sq. ft. with an RFA of over 70%. The dwelling across the street at 533 Carson Lane was approved in 2016 for an RFA of 48.28%.
4. Although the RFA request may seem high in terms of percentage, the actual size of the home is conservative at approximately 2,800 sq. ft. spread across the 1st and 2nd floor.
5. The overall massing and scale of the dwelling is moderated by several features, including the 1 story front porch, the stepping and articulation of the front facade as well as the lowering of the roofline to the 1st floor in many areas.

Joris Keeren

Page | 1

Notice of Public Hearing Committee of Adjustment Application



File # A/010/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

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Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
K. Bassett-Swinoga J. Swinoga	Joris Keeren Keeren Design 11 Bronte Rd Unit 31 Oakville ON, Canada L6L 0E1	530 Carson Lane PLAN 114 PT LOT 47

Zoning of property: RL3-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 4.3 (Row 7)</i> The maximum allowable encroachment of window wells with a maximum width of 1.8 metres shall be 0.6 metres.	To increase the maximum width of window wells to 4.0 metres and to increase the maximum allowable encroachment to 1.2 metres.
2	<i>Table 6.4.1</i> The maximum residential floor area for a lot having an area less than 557.5 m ² shall be 43%.	To increase the maximum residential floor area to 51%.
3	<i>Table 6.4.2</i> The maximum lot coverage where the detached dwelling is greater than 7.0 metres in height shall be 35%	To increase the maximum lot coverage where the detached dwelling is greater than 7.0 metres in height to 38%.

How do I participate if I have comments or concerns?

Submit written correspondence

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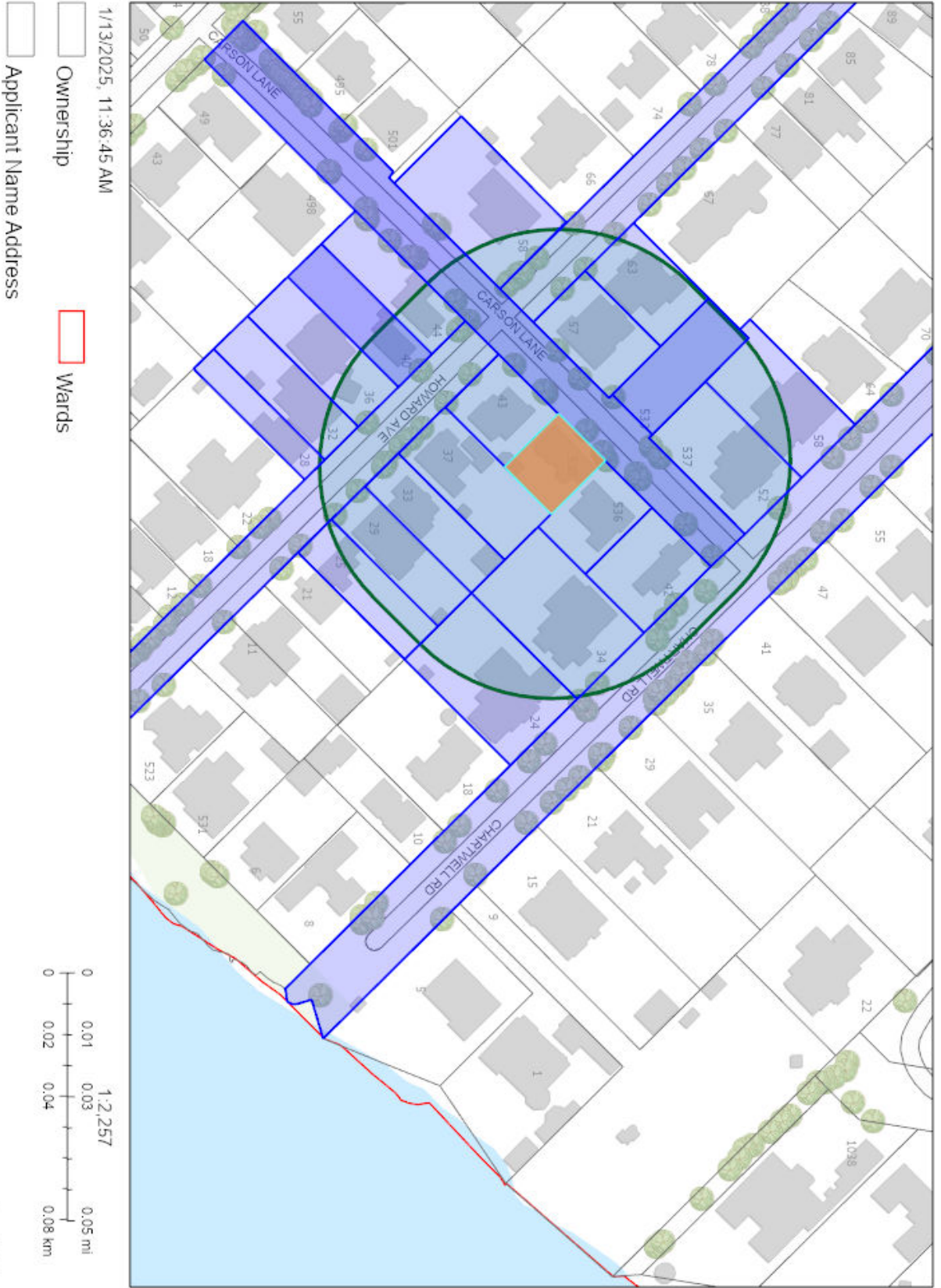
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/010/2025 -530 Carson Lane



METRIC
 DISTANCES SHOWN ON THIS PLAN ARE
 IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT

**PLAN OF SURVEY WITH TOPOGRAPHY OF
 PART OF LOTS D AND E
 BLOCK 22, REGISTERED PLAN 1
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON**



TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

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REPORT SUMMARY

PROPERTY DESCRIPTION: 181 FRONT STREET, BEING PART OF LOTS D AND E, BLOCK 22, REGISTERED PLAN 1, DESIGNATED AS PART 3, PLAN 20R-2119, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24779-0119.

EASEMENTS/RIGHTS-OF-WAY: NONE REGISTERED ON TITLE.

COMMENTS: NOTE LOCATION OF FENCES.

NOTES

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 85, HAVING A PUBLISHED ELEVATION OF 88.537 metres.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWESTERLY LIMIT OF FRONT STREET AS SHOWN ON PLAN 20R-2119, HAVING A BEARING OF N37°58'50"E.

SIDE AND REAR PROPERTY LIMITS WERE RE-ESTABLISHED BY USING THE MEASUREMENTS NOTED ON PLAN 20R-2119.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
CP	DENOTES	CONCRETE PIN
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB
BB	DENOTES	BELL BOX
CB	DENOTES	CATCH BASIN
MH	DENOTES	MANHOLE
TW	DENOTES	TOP OF WALL
WUP	DENOTES	WOOD UTILITY POLE
WW	DENOTES	WATER VALVE
P1	DENOTES	PLAN 20R-2119
P2	DENOTES	TARASICK McMILLAN KUBICKI LIMITED, O.L.S., JUNE 17, 2022
(WIT)	DENOTES	WITNESS
(950)	DENOTES	CUNNINGHAM McCONNELL LIMITED, O.L.S.
○ 0.20φ	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
◐ 0.20φ	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR PERSPECTIVE VIEWS INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON MAY 10, 2024

MAY 27, 2024
 DATE

Simeon Mitrev
 SIMEON MITREV
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-79691

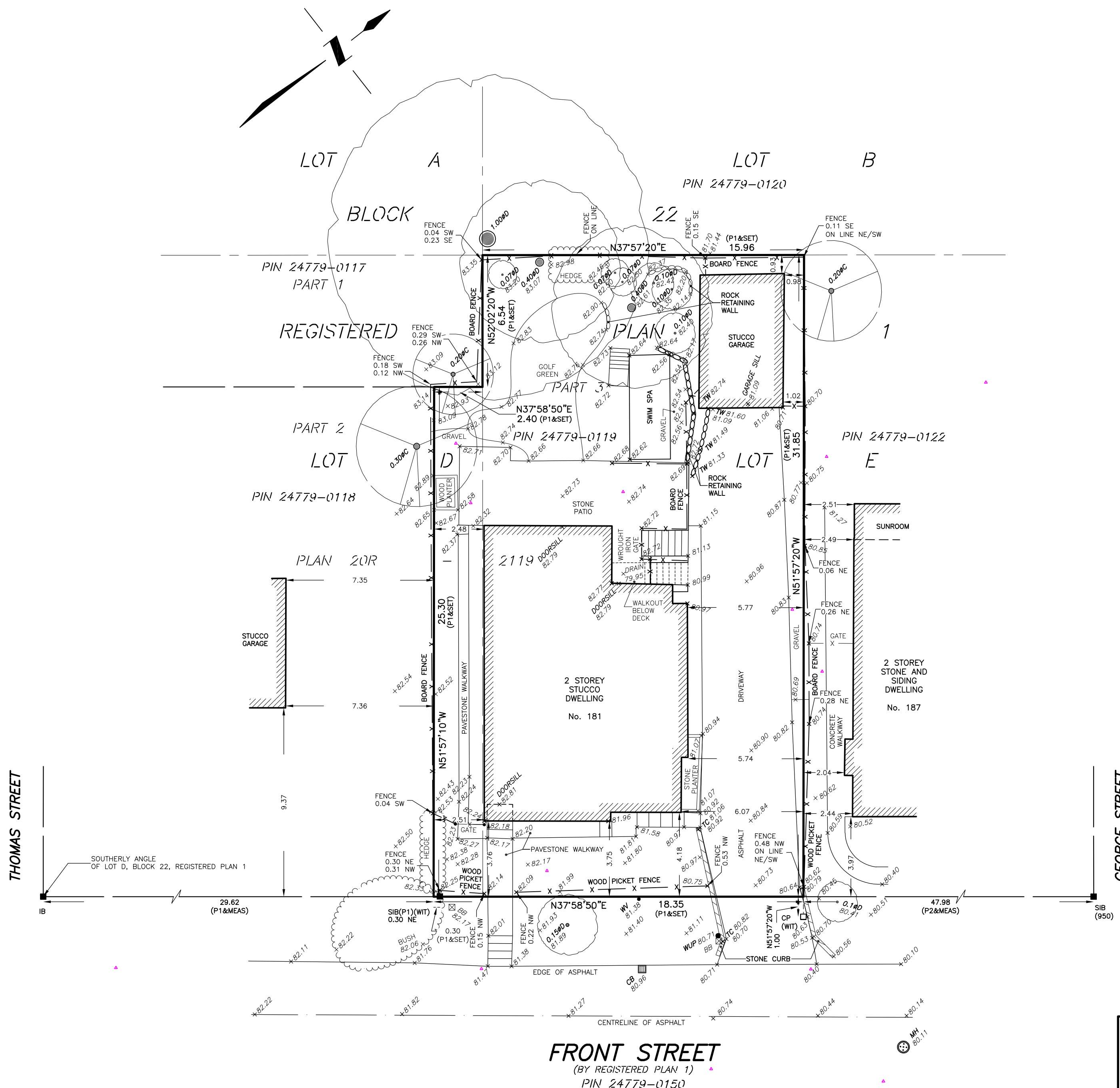
THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3)

TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
 TEL: (905) 569-8849 FAX: (905) 569-3160
 E-MAIL: office@tmksurveyors.com

DRAWN BY: JMH

FILE No. 10102-SRPR-T



METRIC
 DISTANCES SHOWN ON THIS PLAN ARE
 IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOTS D AND E
BLOCK 22, REGISTERED PLAN 1
TOWN OF OAKVILLE
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TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

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REPORT SUMMARY

PROPERTY DESCRIPTION: 181 FRONT STREET, BEING PART OF LOTS D AND E, BLOCK 22, REGISTERED PLAN 1, DESIGNATED AS PART 3, PLAN 20R-2119, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24779-0119.

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COMMENTS: NOTE LOCATION OF FENCES.

NOTES

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WV	DENOTES	WATER VALVE
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2. THE SURVEY WAS COMPLETED ON MAY 10, 2024

MAY 27, 2024
 DATE

Simeon Mitrev
 SIMEON MITREV
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-79691

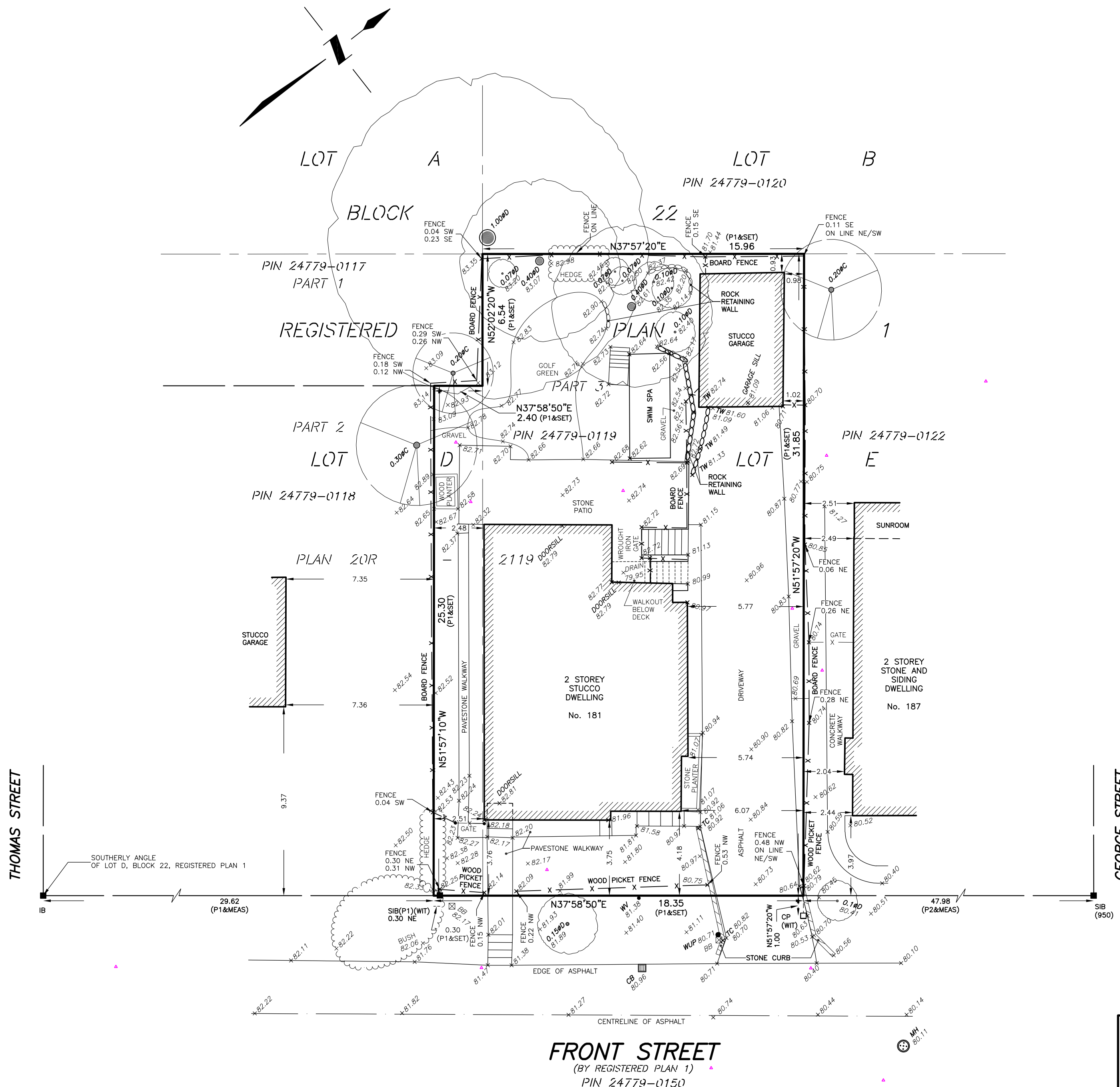
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4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
 TEL: (905) 569-8849 FAX: (905) 569-3160
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DRAWN BY: JMH

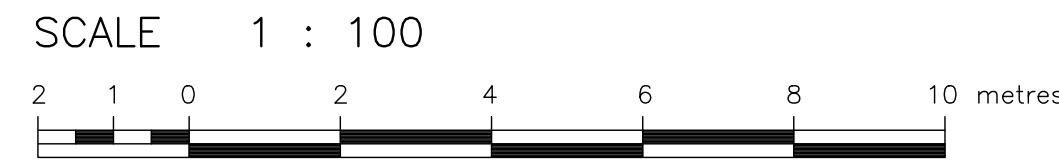
FILE No. 10102-SRPR-T



FRONT STREET
 (BY REGISTERED PLAN 1)
 PIN 24779-0150

SURVEYOR'S REAL PROPERTY REPORT

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ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 85, HAVING A PUBLISHED ELEVATION OF 88.537 metres.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWESTERLY LIMIT OF FRONT STREET AS SHOWN ON PLAN 20R-2119, HAVING A BEARING OF N37°58'50"E.

SIDE AND REAR PROPERTY LIMITS WERE RE-ESTABLISHED BY USING THE MEASUREMENTS NOTED ON PLAN 20R-2119.

LEGEND

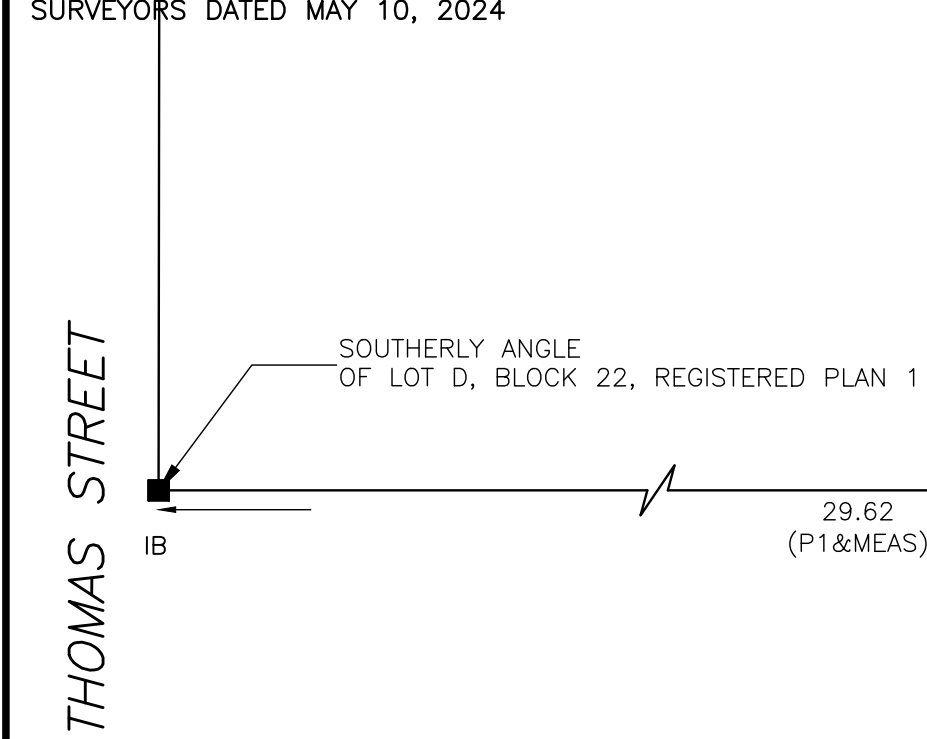
- DENOTES SURVEY MONUMENT FOUND
 - CP DENOTES SURVEY MONUMENT PLANTED
 - DENOTES CONCRETE PIN
 - IB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - TC DENOTES TOP OF CURB
 - BC DENOTES BOTTOM OF CURB
 - BB DENOTES BELL BOX
 - CB DENOTES CATCH BASIN
 - MH DENOTES MANHOLE
 - TW DENOTES TOP OF WALL
 - WUP DENOTES WOOD UTILITY POLE
 - WV DENOTES WATER VALVE
 - P1 DENOTES PLAN 20R-2119
 - P2 DENOTES TARASICK McMILLAN KUBICKI LIMITED, O.L.S., JUNE 17, 2022
 - (WIT) DENOTES WITNESS
 - (950) DENOTES CUNNINGHAM McCONNELL LIMITED, O.L.S.
 - 0.20φ DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
 - 0.20φ DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
- TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR PERSPECTIVE VIEWS INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

INFORMATION TAKEN FROM A SURVEY PREPARED BY TARASICK McMILLAN KUBICKI LIMITED ONTARIO LAND SURVEYORS DATED MAY 10, 2024



■ DENOTES EXISTING DWELLING

■ DENOTES NEW DWELLING

1 SITE PLAN
A1.1 SCALE: 1:250



3 KEY PLAN
A1.1 SCALE: NTS

ARCHITECT:		APPLICANT:		OWNER:	
				181 FRONT STREET OAKVILLE, ON. L6J 1A3	
SITE STATISTICS					
ADDRESS:		181 FRONT STRET OAKVILLE, ON. L6J 1A3			
LEGAL DESCRIPTION:		PART OF LOTS D AND E BLOCK 22, EG. PL. 1			
ZONING:		RL3 - SP11			
DESCRIPTION	REQUIRED METRIC	REQUIRED IMPERIAL	EXISTING - DEMO METRIC	EXISTING - DEMO IMPERIAL	PROPOSED METRIC
LOT AREA:					
LOT AREA			568.659	6,121	568.659
LOT FRONTS:					
1. AT STREET			0.00	0	
2. AS PER DEFINITION	T.B.V.	#VALUE!	0.000	0	
LOT COVERAGE:					
DWELLING			134.059	1,443	119.566
COVERED ENTRY PORCH			1.858	20	6.968
GARAGE			14.864	160	26.756
COVERED PORCH					15.701
TOTAL	142.165		150.782	1,623	168.991
COVERAGE (%)	25%		26.52%		29.72%
GROSS FLOOR AREA:					
GROUND FLOOR			134.059	1,443	119.566
SECOND FLOOR (I.L.C. 2ND. STAIRS)			76.552	824	119.090
TOTAL			210.611	2,267	237.646
RESIDENTIAL FLOOR AREA RATIO					
TOTAL	170.598	1,836	210.611	2,267	237.646
G.F.A (%)	30.0%		37%		42%
DWELLING DEPTH					
N/A					
BASEMENT					
FINISHED AREA			0.000	0	0.000
UNFINISHED AREA			0.000	0	0.000
TOTAL BASEMENT			0.000	0	0.000
YARDS:					
MINIMUM FRONT YARD					
FRONT YARD	6.00	29.5	3.75	12.3	6.00
REAR YARD	7.5	24.6	8.11	26.6	11.05
SIDE YARD EAST	2.4	7.9	2.48	8.1	2.99
SIDE YARD - WEST	2.4	7.9	5.74	18.8	2.44
MAXIMUM HEIGHT:					
MAXIMUM HEIGHT TO RIDGE	10.50	34.45			9.020
GARAGE WALL PROJECTION:					
	1.5	4.92			0.00

2 SITE STATISTICS
A1.1 SCALE: 1:250

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT

REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:



150 Wellington Street East, Suite 806
Guelph, Ontario N1H 0B5
p: 416-409-6718
e: vincent@pezzanoarchitectural.com
www.pezzanoarchitectural.com

CLIENT:
THE HITCHMAN RESIDENCE

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

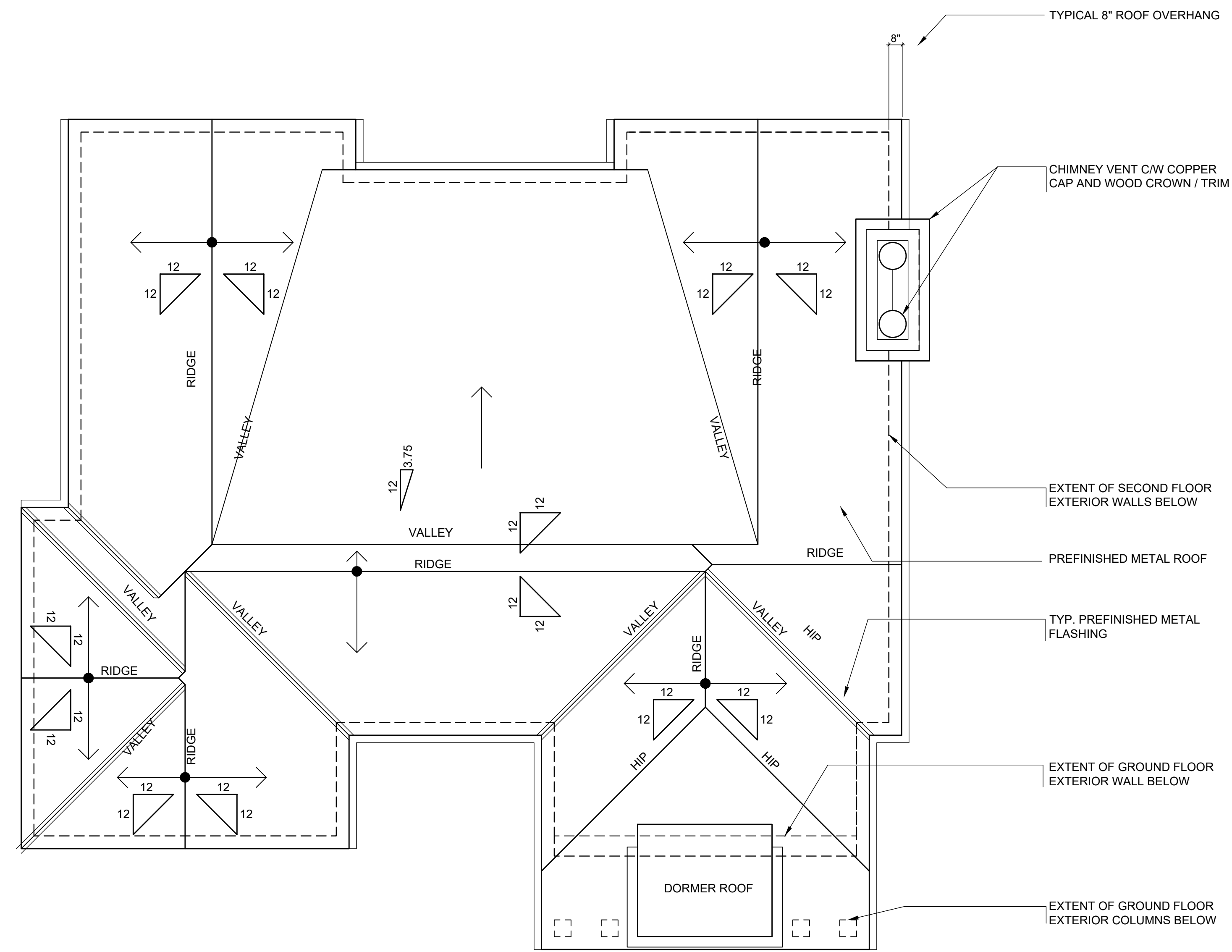
DRAWING TITLE:
**SITE PLAN
SITE STATISTICS**

DRAWN: VRP
DATE: AUG. 2024 SCALE: AS NOTED

JOB NUMBER: SHEET NUMBER:

24-017 A1.1

Drawings must NOT be scaled.
Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT
REF. DATE:	DESCRIPTION:	
REVISIONS / ISSUANCE:		

Pezzano
Architectural Design

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Guelph, Ontario N1H 0B5
p: 416-409-6718
e: vincent@pezzanoarchitectural.com
www.pezzanoarchitectural.com

CLIENT:
**THE HITCHMAN
RESIDENCE**

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
ROOF PLAN

DRAWN: VRP	SCALE: AS NOTED
DATE: AUG. 2024	SHEET NUMBER:
JOB NUMBER:	

24-017 **A3.4**

1
A3.4
ROOF PLAN
SCALE: 1/4"=1'-0"

11/16/2024 C:\USERS\VINCENT\ONEPAPER\DOCUMENTS\PEZZANO CONSULTING\PROJECTS\24-017_HUGHES RESIDENCE\DRAWINGS\181 FRONT STREET.DWG



SOUTH ELEVATION

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT
REF.	DATE	DESCRIPTION:
REVISIONS / ISSUANCE:		

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www.pezzanoarchitectural.com

CLIENT:
THE HITCHMAN RESIDENCE

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
SOUTH ELEVATION

DRAWN:	VRP
DATE:	AUG. 2024
JOB NUMBER:	24-017
SCALE:	AS NOTED
SHEET NUMBER:	A4.1

1/16/2024 - C:\USERS\VINCENT\ONEDESK\DOCUMENTS\PEZZANO\CONSULTING\PROJECTS\24-017_HUGHES RESIDENCE\DRAWINGS\181 FRONT STREET.DWG



WEST ELEVATION

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		

Pezzano
Architectural Design

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Guelph, Ontario N1H 0B5
p: 416-409-6718
e: vincent@pezzanoarchitectural.com
www.pezzanoarchitectural.com

CLIENT:
THE HITCHMAN RESIDENCE

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
WEST ELEVATION

DRAWN: VRP	
DATE: AUG. 2024	SCALE: AS NOTED
JOB NUMBER: 24-017	SHEET NUMBER: A4.2

11/16/2024 - C:\USERS\VINCENT\ONEPAPER\DOCUMENTS\PEZZANO CONSULTING\PROJECTS\24-017_HUGHES RESIDENCE\DRAWINGS\181 FRONT STREET.DWG

CHIMNEY VENT C/W COPPER
CAP AND WOOD CROWN / TRIM

10X10 WOOD POSTS

CONCRETE PORCHTOP

PREFINISHED METAL ROOF

WOOD FASCIA, FRIEZE & SOFFIT

DECORATIVE WOOD LOUVRE

WOOD WINDOW SURROUND

CEDAR PREMIUM GRADE RED LABEL
SHINGLE SIDING - PRESTAINED

WOOD CASEMENT WINDOWS WITH GRILL

WOOD FRIEZE

WOOD WINDOW SURROUND

WOOD APRON

FIN. CEILING

TOP OF WINDOW

8'-0"

9'-0"

SECOND FLOOR

TOP OF WINDOW

9'-0"

11'-0"

GROUND FLOOR 82.20

FIN. CLG.

ESTABLISHED GRADE - 81.40'

9'-0"

9'-10 1/2"

BASEMENT FLOOR

NORTH ELEVATION

Drawings must NOT be scaled.
Contractor must check and verify all
dimensions, specifications and
drawings on site and report any
discrepancies to the architect prior to
proceeding with any of the work.

2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT
REF.	DATE	DESCRIPTION
REVISIONS / ISSUANCE:		

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CLIENT:
**THE HITCHMAN
RESIDENCE**

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
NORTH ELEVATION

DRAWN: VRP	
DATE: AUG. 2024	SCALE: AS NOTED
JOB NUMBER:	SHEET NUMBER:

24-017 **A4.3**

1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2	24.11.05	HERITAGE REVIEW
1	24.08.28	PRE-CONSULT
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		

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www.pezzanoarchitectural.com

CLIENT:
**THE HITCHMAN
RESIDENCE**

ADDRESS: 181 FRONT STREET
CITY: OAKVILLE, ONTARIO

DRAWING TITLE:
EAST ELEVATION

DRAWN: VRP	
DATE: AUG. 2024	SCALE: AS NOTED
JOB NUMBER:	SHEET NUMBER:

24-017 **A4.4**



TAOS & CO.
A CREATIVE COMPANY

T. 647.534.4522 | E. info@taosco.ca | www.taosco.ca

TOWN OF OAKVILLE / COMMITTEE OF ADJUSTMENT

APPLICATION FOR C OF A RE 181 FRONT STREET

PREPARED BY WILLIAM HICKS

Date November 25, 2024

PLANNING RATIONAL STATEMENT

The owner of 181 Front Street has lived in this property for a number of years and his family is expanding and he wishes to remain in the old Oakville Heritage District and to reconstruct a new home and demolish the existing which was built a number of years ago.

The existing home on the site interestingly enough already exceeds the allowable coverage and gross floor area on the site. Knowing that it does not meet the intent of their family and their desire to remain on the site they wish to add approximately 500 sq ft to the house to accommodate 4 bedrooms and some common living area.

They intend to incorporate the garage into the structure which recognizes that it will be setback and less obtrusive as a single car garage.

The new development will meet all the setback requirements and is well under the maximum height on the site as it was designed with the intent of meeting the requirements of the new heritage study which has not been concluded yet.

There have been two to three discussions with Heritage on this application and revisions made along the way to satisfy their concerns and they have now recommended that we proceed with the C of A application. We will then , subject to approval by the Committee finalize our heritage applications.

We have also attended the preconsult meeting with planning and their concerns at that time were more or less in line with Heritages comments and thus by resolving heritage concerns I believe planning will support the application.

We recognize we also are subject to Halton Conservation approval as we are within their area of approval but we do not expect any concerns with them as we are well beyond their traditional 30 M setback plus slope stability line as it ends on the property across the street. Notwithstanding that we still require their approval which we will apply for subject to C of A applications.

There are two variances required to permit this proposal to proceed. The reasons for these are outlined below:

COVERAGE

The bylaw permits a maximum coverage of 25% due to the special provision zoning and its location within the heritage district.

The existing house is in fact 26.52% and we are proposing a coverage of 29.72 %.

Much of this is due to the covered porch in the back garden and the front porch added to support heritage concerns with the distinction of the front entry and to reduce any impact of the garage.

It is interesting to note that at some time the back northwestern corner of this site was cut off thus lowering its total lot area which accounts for about 1% of the excess coverage.

FLOOR AREA / LOT RATIO

The bylaw permits 30% in this area and we are proposing 42%

The existing house is already 37% and the increased area to be added for their growing family pushes this to 42% from the current 37%

It is interesting to note that at some time the back northwestern corner of this site was cut off thus lowering its total lot area which accounts for about 1% of the excess floor area.

The home has been pushed back to meet the required front yard setback at the suggestion of heritage and to create a balanced streetscape.

The house is designed so the roof line steps down as per the suggestions of the heritage district guidelines.

The existing house itself is not a house of heritage interest even though it is in the district and demolition will be supported.

This is not a development [play to build and resell as these clients have already bought an alternate house in the area that can meet their needs through the construction process and then they will come back to 181 front street.

I believe the proposed new house fits very well with the guidelines and intent of the district. It has been changed from a decidedly modern structure to one that is more traditional with shingle siding and the height of the eaves has been reduced as well as the floor area.

We believe it meets the intent and purpose of the four tests under the planning act and it is a desirable development within the district that reinforces their objectives and goals regardless of the two variances.

They are excited to proceed, and we look forward to our discussions.

Yours Truly

William R Hicks

B Arch, OAA, MRAIC

Pre-Consultation Comments Report

Date:	October 11, 2024	
To:	Bill Hicks	Williamhicks099@gmail.com
From:	Kate Cockburn , Acting Manager Planning Services	
Contact Info:	T: 905-845-6601 ext. 3124 E: kate.cockburn@oakville.ca	
Application:	Minor Variance Application	
Address:	181 Front Street	
Description:	New two-storey detached dwelling	
Meeting Date:	October 2, 2024	

NOTE: 2024 Planning application fees come into effect on January 1, 2024.

"Due to recent Provincial legislation, as of July 1, 2024, the Region's role in land use planning and development matters is changing. The Region will no longer be responsible for the Regional Official Plan – as this will become the responsibility of Halton's four local municipalities. As a result, the town may require certain reports and studies previously reviewed by the Region to undertake a peer review at the applicant's expense."

Applicants should review the Terms of Reference for supporting studies and Guidance documents prior to submitting the application.

Terms of References/Guidelines can be found: <https://www.oakville.ca/business/terms-of-reference.html>

Applications will be deemed complete when the following items have been provided to the Town:

- a completed application form,
- cover letter,
- comment response matrix that addresses pre-consultation comments,
- all information and materials prescribed by statute,
- an executed Pre-consultation Agreement,
- all supporting information and materials required to be provided with the initial submission pursuant to the Pre-consultation agreement in a digital format (PDF),
- the prescribed application fee(s).

General Information:

Revised and coordinated plans and documents which fully address the attached comments must be submitted according to the process outlined in the [Step by Step Digital Submissions Guide](#) on the Town of Oakville Website.

Other Applications:

Additional applications to other public agencies and governments, including, Provincial, Regional, Conservation Authority, and/or other Town Departments, may be necessary depending on the nature of the application.

File Naming:

Digital materials must be named in an organized and descriptive manner according to format outlined in Planning's [Digital Submission Naming Conventions](#) document.

Submission materials must be named according to the following format:

- **FileNumber_CondensedName_VersionNumber_Date (with no spaces)**

For example, your set of files should look like the following list:

- 00_CoverLetter_v1_2022-10-18
- 01_CRM_v1_2022-10-24
- 02_Aerial_v1_2022-03-05
- 03_Survey_v1_2021-02-23
- 04_SitePlan_v1_2022-10-15
- 05_SitePlanDetails_v1_2022-10-15
- Etc.

Requirements:

- NO spaces in the file name.
- NO special characters within the file name (e.g. @,#,\$,%,&,* , /, \, |)
- ONLY Letters, Numbers, Dashes, Underscores and Periods are permitted in the file name.

Furthermore, all reports, documents and drawings submitted must:

- be presented in metric measure that can be accurately scaled
- be prepared, stamped and signed by a qualified professional architect (for site plan and architectural drawings), engineer (for site plan and engineering drawings/reports), or landscape architect (for landscape and tree protection drawings/reports)
- All submission of plans and/or studies must be clearly labelled and in a larger font size in the title block as the next submission by number, corresponding to the version number and date in the file name

Circulation Comments:

NOTE: The comments below are **preliminary** and additional comments may be provided once a formal application is submitted.

Oakville Departments

1 Planning Services
Kate Cockburn, kate.cockburn@oakville.ca

Pre-Consultation

The applicant proposes to construct a new two-storey dwelling that has deficiencies with the Zoning By-law. Staff note that the existing conditions are in excess of the by-law requirements. Staff also note that the proposed dwelling requires a Heritage Permit.

Staff note that the applicant should consider reductions in the overall size and massing of the dwelling to better align with the Heritage Conservation District Plan. The applicant is advised to discuss the heritage matters further with Heritage Planning Staff directly. The Minor Variance application will be aligned with the Heritage Permit process.

General ROP Policy

The Region's Official Plan provides goals, objectives and policies to direct physical development and change in Halton. The proposed development and site alterations are located on the lands that are designated as 'Urban Area' and are located within the Built Boundary in the 2009 Halton Region Official Plan (ROP). The policies of Urban Area designation support a range of uses and the development of vibrant and healthy mixed-use communities which afford maximum choices for residence, work and leisure. The Urban Area policies state that the range of permitted uses and the creation of new lots in the Urban Area will be per Local Official Plans and Zoning-By-laws.

Regional Natural Heritage System (RNHS)

Given the location of the proposed works in relation to the RNHS (Per Section 115.2 of the ROP, the shoreline along Lake Ontario is defined as a component of RNHS), the proposed development would trigger the Environmental Impact Assessment (EIA) requirements in accordance with Sections 118 (3) & (3.1)c) of the ROP. Staff would consider it appropriate to waive the Region's EIA requirements in this instance as the proposed development will be setback sufficiently from any sensitive natural features or areas, and will not likely result in any impacts on the features or ecological functions of the Regional Natural Heritage System.

Archaeological Potential

The ROP also contains policies with respect to archaeological potential. The site is identified as having archaeological potential. An Archaeological Assessment is not required, as the subject lands were previously disturbed with the current land use.

As an advisory, should anything be found, the Archaeology Program Unit of the Ministry of Citizenship and Multiculturalism should be contacted.

The pre-consultation form is valid for 6 months, any extension request must be received BEFORE the approval lapses with the appropriate fee.

As part of your application, please include the pre-consultation form (executed by yourself and your client if relevant).

Please ensure all reports/plans follow the Town's [Terms of reference/guidelines](#). Additionally, you can obtain information about the submission process on our website [here](#).

Applicant is to do their due diligence regarding possible species at risk (SAR) in and adjacent to the property in keeping with MECP requirements. Please keep the town apprised of any requirements by the MECP and if there are any modifications to the proposed works required.

Several issues were identified as part of the pre-consultation meeting. It is important to address these issues before submission, in order to reduce processing delays.

ADDITIONAL COMMENTS:

- When preparing an **EIA**, please provide sensitive species information under a separate addendum to ensure the information is not shared publicly in keeping with the Natural Heritage Information Centre's Data Sensitivity Standards.

2 Planning & Development, Urban Design

Nada Almasri and Philip Wiersma; nada.almasri@oakville.ca, philip.wiersma@oakville.ca

Pre-Consultation

No Comments

3 Planning & Development, Environmental Planner

Elisa Bernier, elisa.bernier@oakville.ca

Pre-Consultation

No Comments

4 Planning & Development, Development Engineer

Stephen Pietrangelo, stephen.pietrangelo@oakville.ca

Pre-Consultation

Please note that this site is within the Bill97 buffer zone and is subject to a minor site plan application. The following will be required as part of the minor site plan submission.

All drawings, reports and studies are to be prepared by a qualified professional.

The below comments are provided to clarify additional details that will be requested for the submission. Additional submission items such as landscaping plans, site plans and other relevant plans/studies for a typical site plan submission are still required. As such, the below is included but not limited to:

1. Topographic Survey

- 5.0m beyond the property extents to determine external features and drainage patterns
- Determine and investigate any public or private servicing, utility and access easements

2. Site Servicing and Grading Plan

- Identify existing grades beyond the property limits
- Existing elevations along property line are to be maintained
- Identify all proposed and existing. Clearly show what is to remain and what is to be removed
- ESC measures should be shown

3. Stormwater Management Report

- The Town's Stormwater Master Plan incorporates a 25mm storm retention for each site and as such we ask that this be evaluated and confirm what SWM measures can be put in place to prevent negative impacts to downstream properties (including Town infrastructure). Please note that rain barrels will not be considered as

a formal stormwater control as their benefits are limited and the Town cannot ensure they are well maintained by the owner.

- Investigate external drainage contribution. Existing drainage patterns are to maintained or if altered, shall be accommodated without impacts to upstream lands

4. Arborist Report (Requested on behalf of Urban Forestry)

- Be prepared by a certified licensed arborist (licensed with Town of Oakville).
- Include all municipal trees, private trees, boundary trees, and trees on neighboring properties within 6.0m of property line.
- Include a report/discussion/table, with all tree data, including ownership of each tree and final recommendation of each tree.
- Include tree appraisals for all municipal trees.

The arborist report must be accompanied by a **Tree Preservation Plan**. The Tree Preservation Plan and grading/servicing plan must show:

- Location of all trees, with tree numbers
- All tree protection zone dimensions, to scale in metres
- Any horizontal tree protection/access corridors
- Location for any root exploration, as set out in AR/TPP.
- The information on the TPP must also be shown on the grading/servicing plan.

Security deposit is required for municipal trees, as per the appraised value of the trees in the arborist report
Town trees may not be removed unless they are dead/dying/high risk, they cannot be removed to accommodate new driveway etc.

Driveways may not be widened into the TPZ of town trees, existing driveway entrance is to be used, and may be widened once past tree.

Encroachments into minimum TPZ of neighbor/boundary trees is to be avoided/minimized, and are subject to review. For any minor TPZ Encroachments, where accepted, the project arborist must be present on site for excavation, based on the recommendations set out in the AR.

This must be reflected with notation on grading plan, and an arborist retention/confirmation letter is required to confirm the arborist has been retained to carry out the on-site work.

All site services (water/sani/storm) must be outside TPZ for all trees, in particular municipal trees. Where not possible, trenchless method must be used, i.e. underground boring, and grading plan must be updated with note.

Swales should also be outside TPZ's, if not possible they are to be dug under arborist supervision.

Boundary/neighbor trees cannot be removed unless written consent is provided by the neighbor.

All tree protection must be installed on site prior to demo/construction.

No trees can be cut until after final site plan approval.

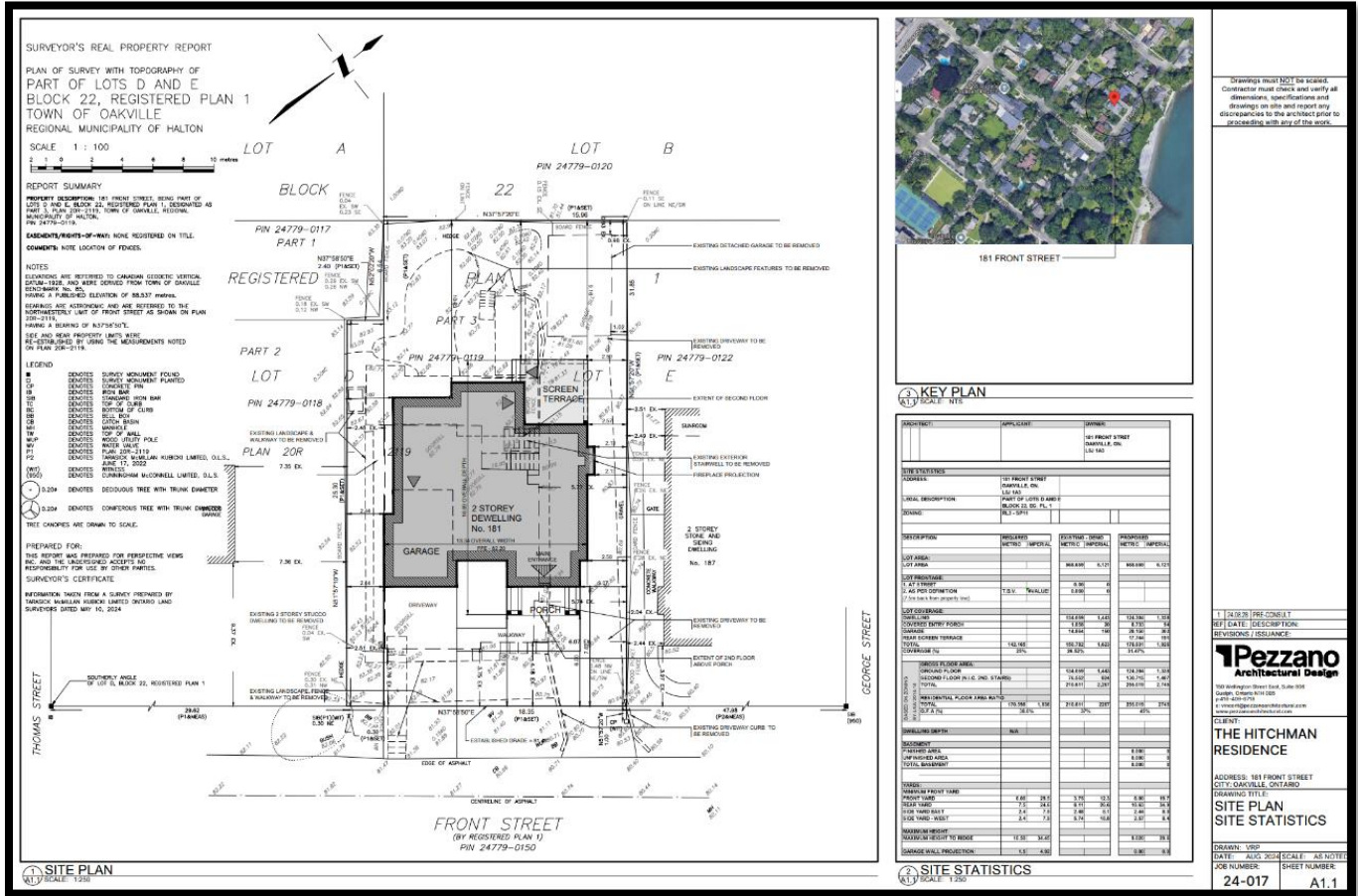
In addition to the Site Plan submission requirements noted, please refer to the Town's Development Engineering Procedures and Guidelines manual for further direction. <https://www.oakville.ca/assets/general%20-%20business/DevelopmentEngProceduresManual.pdf>

5 Transportation Services, Transportation Engineer

Aquisha Khan, aquisha.khan@oakville.ca

Pre-Consultation

Transportation Planning Preliminary Comments



Preliminary Comments:

- Applicant to provide dimensions on the width of the driveway.

If you require clarification or have questions regarding the above comments, please feel free to contact the undersigned.

6 Building Services, Zoning Examiner
 Gonzalo Marco, gonzalo.marco@oakville.ca

Pre-Consultation

The following preliminary comments are based on the material provided for discussion purposes only and should not be construed as formal zoning comments on the proposal.

- Site Plan Approval
- Heritage Approval
- Halton Conservation Approval

Zoning: RL3 sp:11, 2014-014, as amended

Drawings must NOT be signed. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any work.



THE HITCHMAN RESIDENCE

ADDRESS: 181 FRONT STREET
 CITY: OAKVILLE, ONTARIO

SITE PLAN SITE STATISTICS

DATE: 24-017 SCALE: AS NOTED SHEET NUMBER: A1.1



Project Description: To construct a new two storey single family dwelling.

1. Confirm location of any exterior air conditioning units on site plan to show compliance to table 4.3 Row 2.
2. Covered porch in the rear shows it to be enclosed with a screen door and retractable screening. If this is maintained then the rear covered porch will also need to be included in the RFA calculations which would alter the proposed RFA variance.
3. Provide driveway width on site plan to show compliance to section 5.8.2 c).
4. Provide dimensions of walkway showing compliance to section 5.8.2 g). Unable to verify from plans provided.
5. As per the requirements in sp:11 the maximum residential floor area for a two storey dwelling is 30%. Plans provided show a residential floor area of 45%.
6. As per the requirements in sp:11 the maximum coverage for all buildings on the lot is 25%. As per the plans provided a lot coverage of 31.47% is proposed.

Please note the following:

- Additional Zoning Comments may be forthcoming pending review of any new information.

External Agencies

7 Conservation Halton
Sean Stewart, sstewart@hrca.on.ca

Pre-Consultation

Conservation Halton (CH) regulates all watercourses, valleylands, wetlands, Lake Ontario Shoreline, hazardous lands including unstable soil and bedrock, as well as lands adjacent to these features. The property, 181 Front Street, Oakville, is in proximity to the shoreline of Lake Ontario. Through the review of the plans for development activities along the shoreline, CH seeks to ensure that waterfront development activity will generally be directed to areas outside of the hazardous lands. Hazardous lands are those lands adjacent to the shoreline of the Great Lakes - St. Lawrence River System, which are impacted by flooding, erosion, and/or dynamic beach hazards, as well as applicable regulated allowances. The combination of these hazardous lands delineates the extent of the development setback and is determined on-site specific conditions. Permission is required from CH prior to undertaking development activities within CH's regulated area and applications are reviewed under the *Conservation Authorities Act*, Ontario Regulation 41/24 and CH's Regulatory Policies and Guidelines.

While the property is considered to be partially within the erosion hazard of Lake Ontario based on our Approximate Regulation Limit (ARL) mapping, staff are of the opinion that the proposed works maintain

appropriate setbacks and meet CH policies. A CH Permit (Private Landowner – Minor) is required for the proposed development ahead of development, should the variances be approved.

We will review the Minor Variance when it is circulated and provide formal comment.

Requirements:

- Site Plan

CH will not attend the meeting. Inquiries can be sent to Shayan Ghahforokhi at sgahfarokhi@hrca.on.ca.

8 Region of Halton, Planning & Public Works Dept
Michaela Campbell, michaela.campbell@halton.ca

Pre-Consultation

No Comments

Notice of Public Hearing Committee of Adjustment Application



File # A/011/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
G. Hitchman A. Petrie	William Hicks William Hicks Holdings Inc. 905 Sangster Ave Mississauga ON, CANADA L5H 2Y3	181 Front St PLAN 1 BLK 22 PT LOTS E,D

Zoning of property: RL3 sp:11, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 15.11.1 c)</i> The maximum lot coverage for all buildings shall be 25%.	To increase the maximum lot coverage for all buildings to 29.72%.
2	<i>Table 15.11.1 h)</i> Maximum residential floor area for a dwelling having two or more storeys shall be 30% of the lot area.	To increase residential floor area for a dwelling having two or more storeys to 42% of the lot area.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

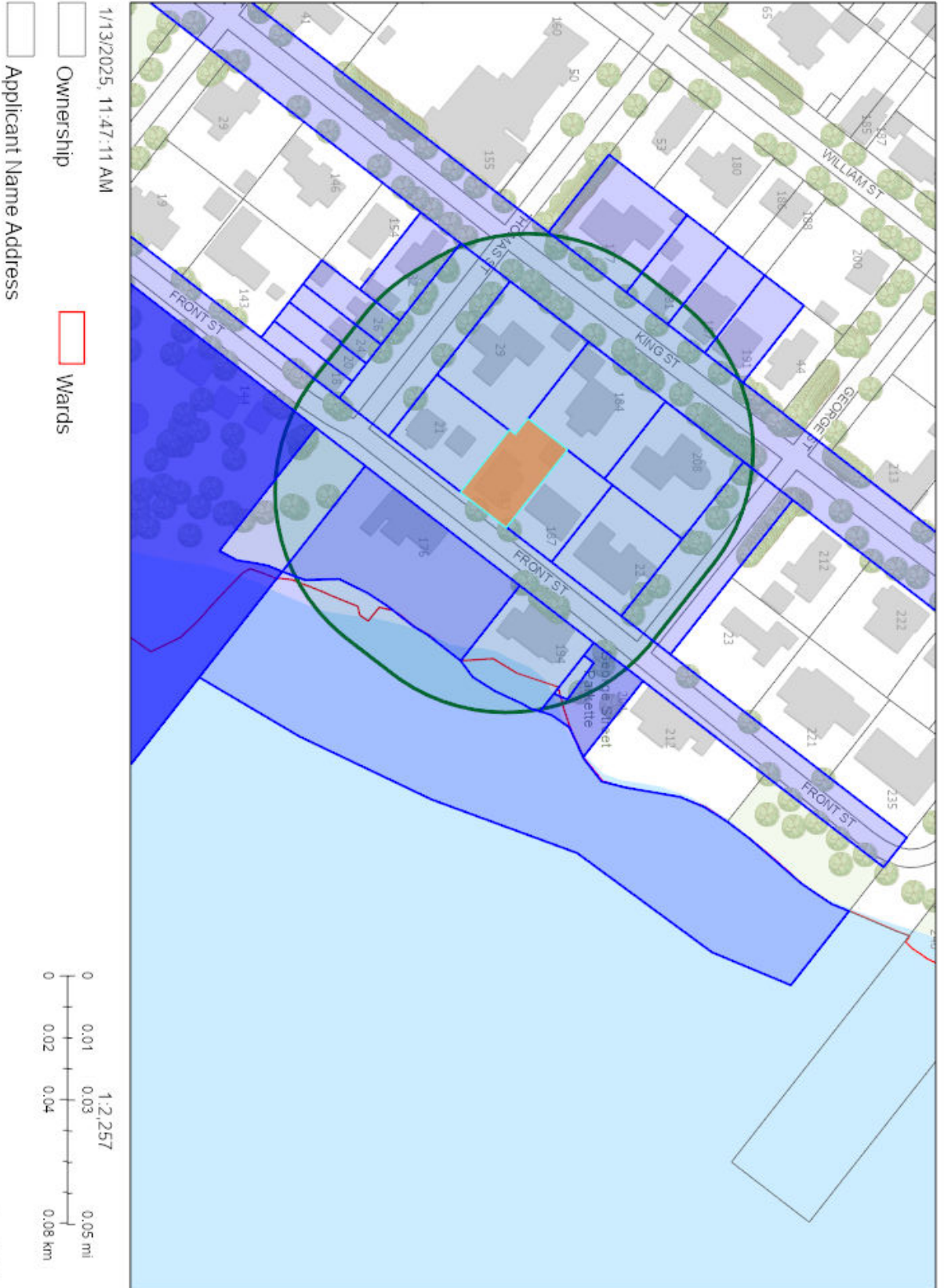
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

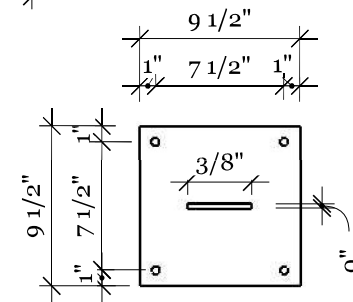
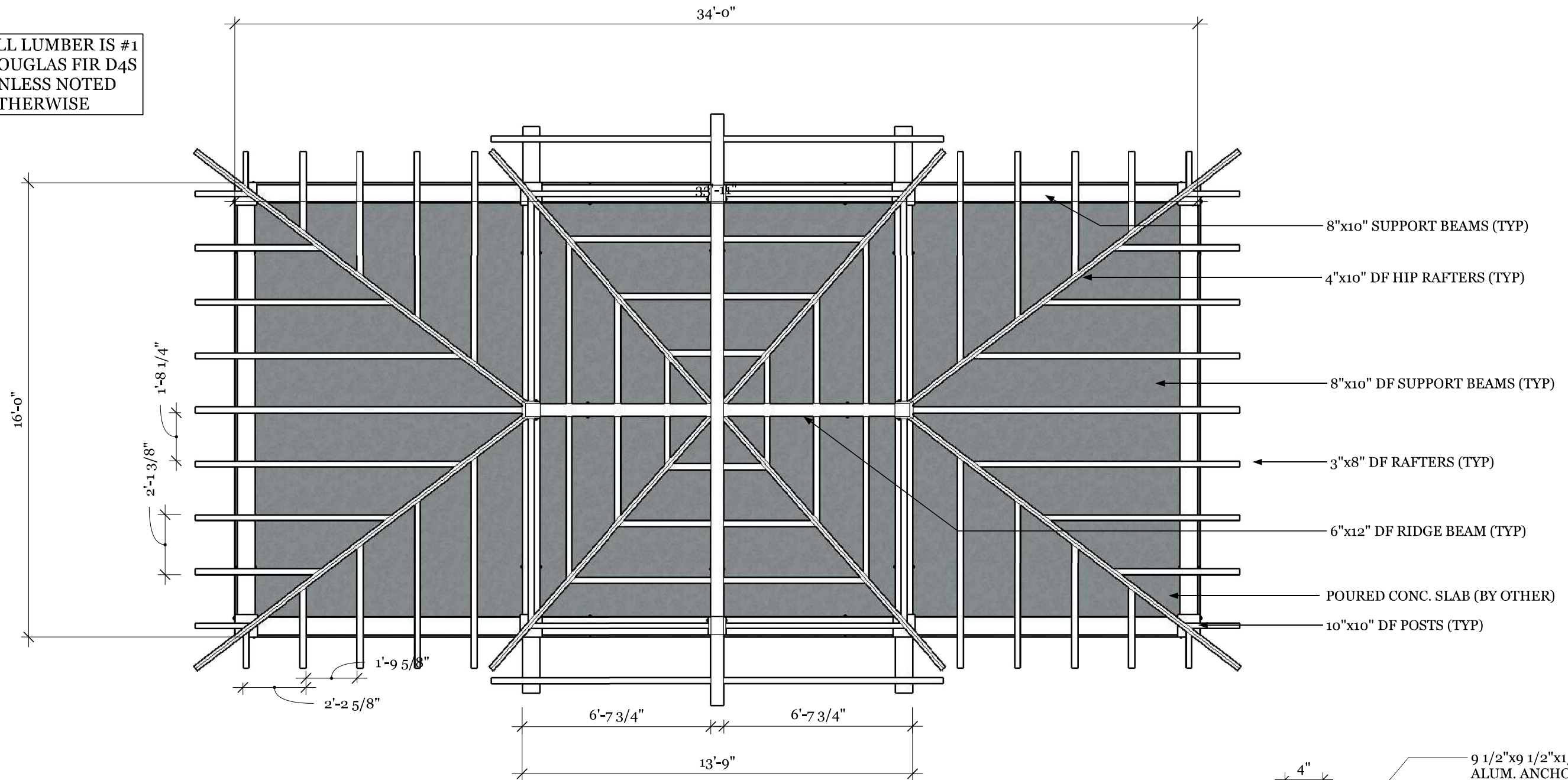
Date mailed:

January 21, 2025

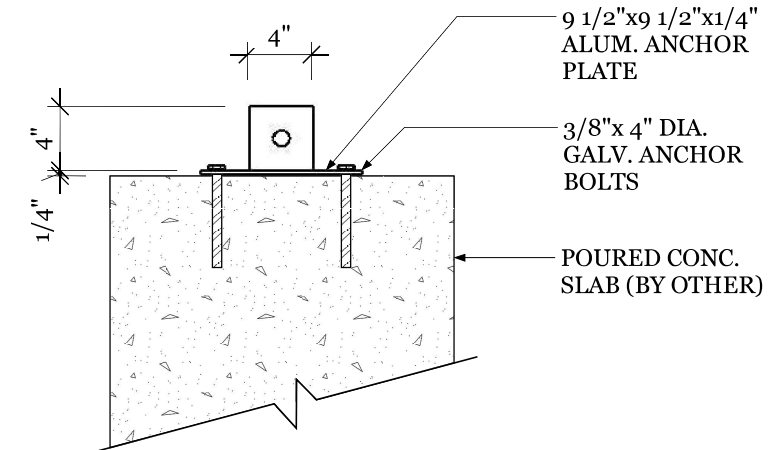
A/011/2025 - 181 Front Street



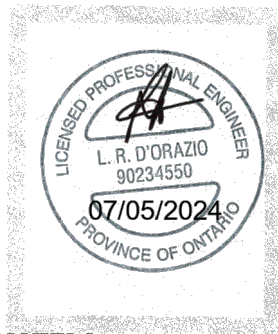
ALL LUMBER IS #1
DOUGLAS FIR D4S
UNLESS NOTED
OTHERWISE



ANCHOR PLATE PLAN DETAIL
N.T.S.



ANCHOR PLATE SECTION DETAIL
N.T.S.



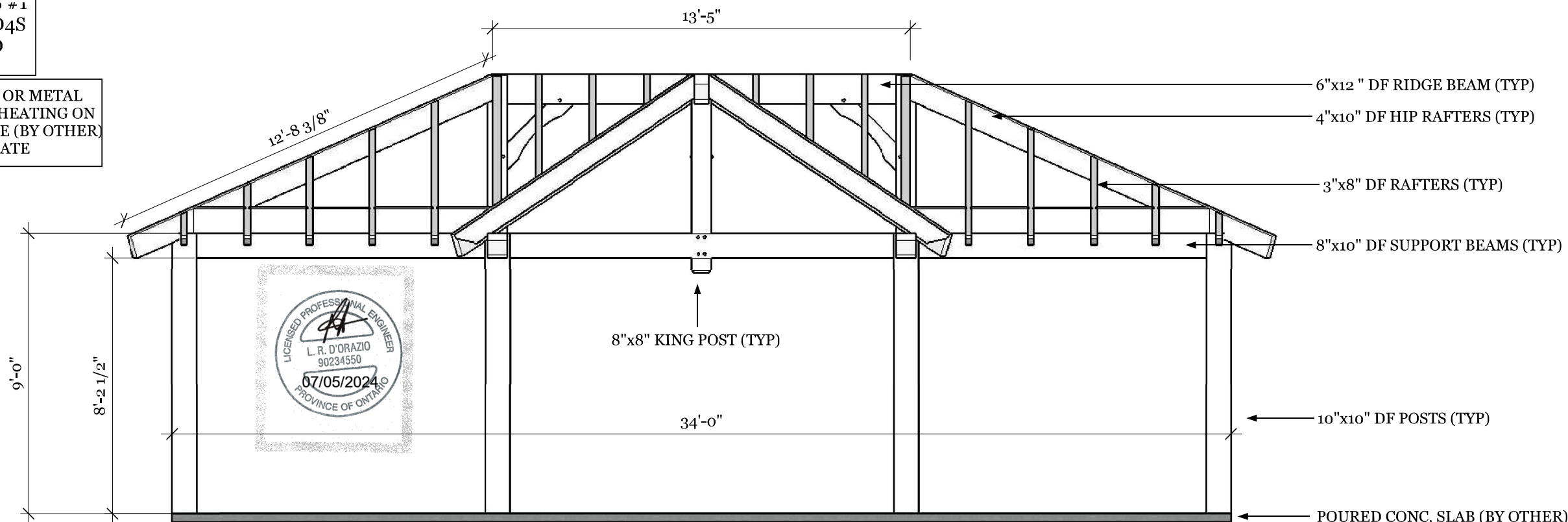
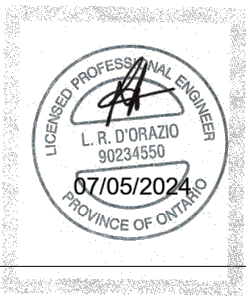
PLAN VIEW
1/4"=1'-0"

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

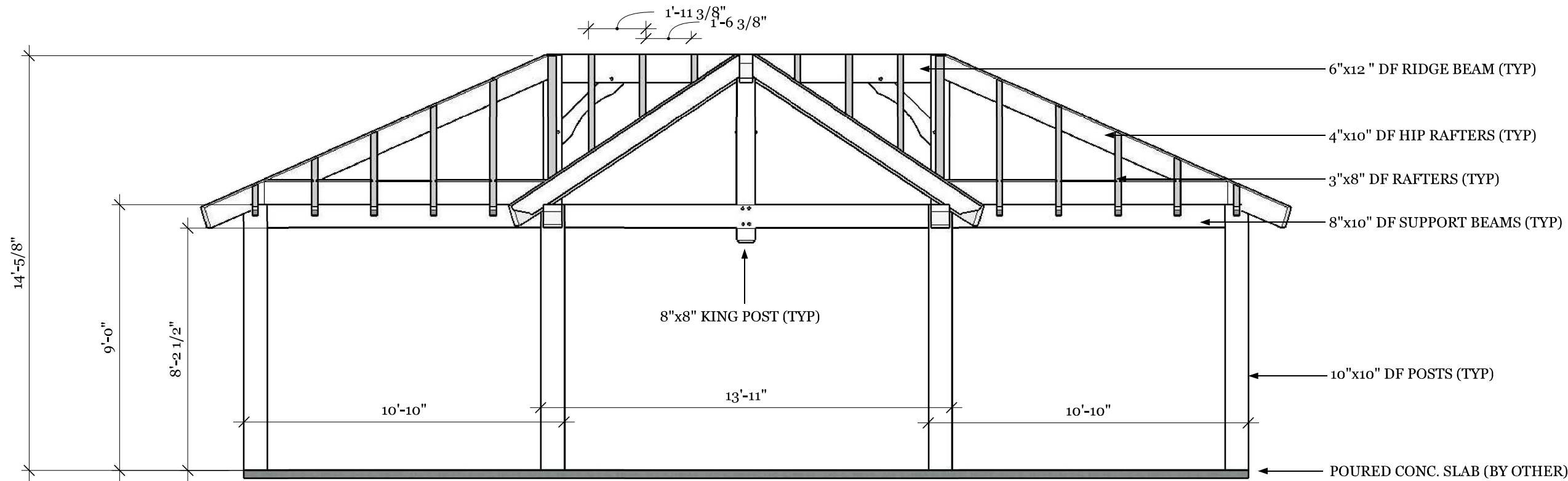
Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Plan & Pier Footing Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

ALL LUMBER IS #1
DOUGLAS FIR D4S
UNLESS NOTED
OTHERWISE

ASPHALT SHINGLES OR METAL
ON 1/2" PLYWOOD SHEATING ON
1/6" PINE SUBSTRATE (BY OTHER)
OR 2/6" PINE SUBSTRATE



FRONT ELEVATION
1/4"=1'-0"



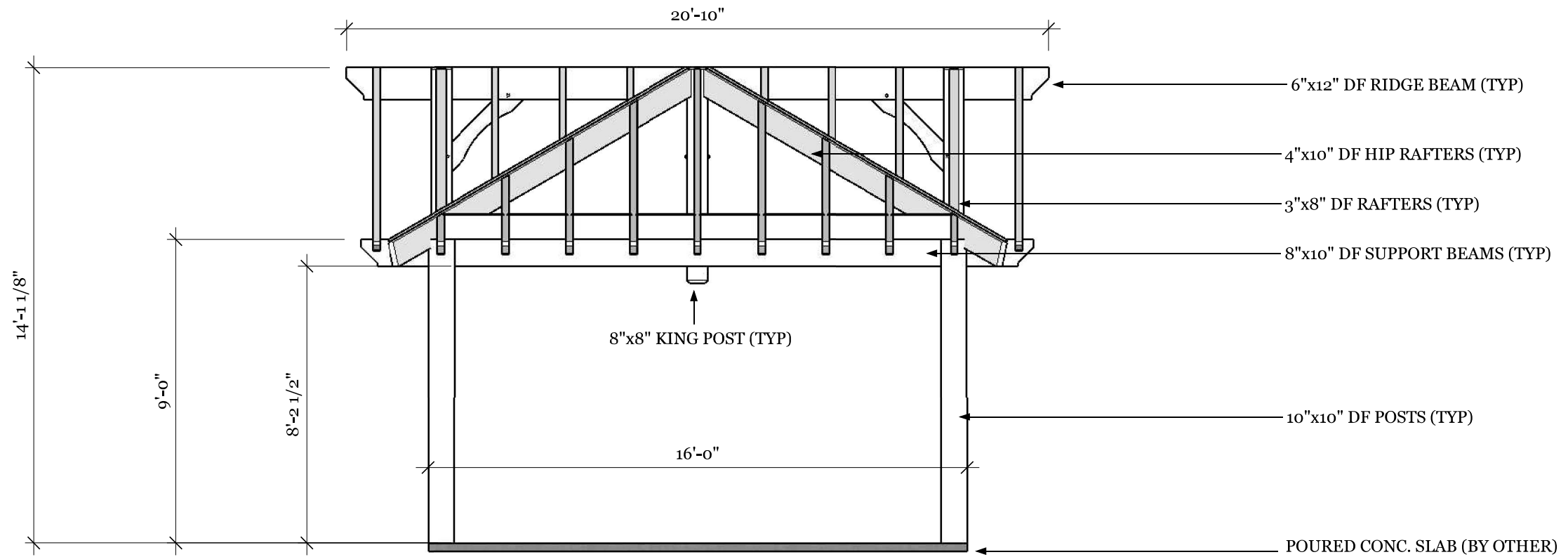
REAR ELEVATION
1/4"=1'-0"

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24
1	S.B	ENGINEER REVIEW	07/05/24

Tahboub Residence- Hexagon Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

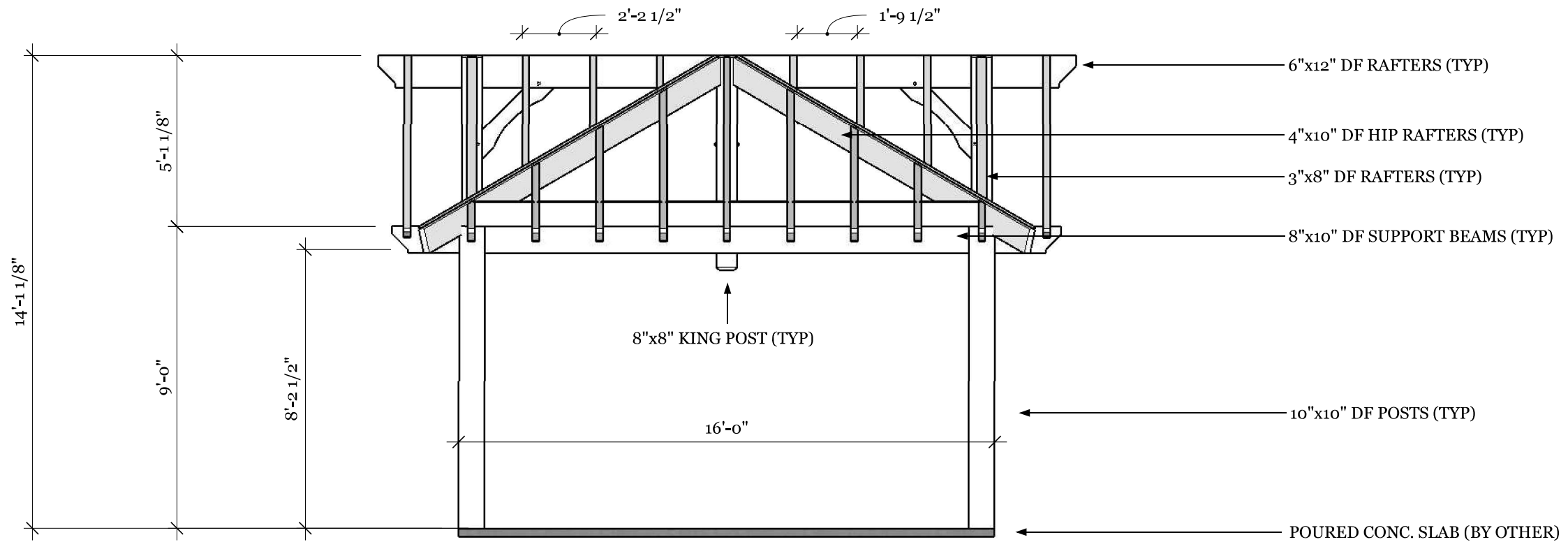
ALL LUMBER IS #1 DOUGLAS FIR D4S UNLESS NOTED OTHERWISE

ASPHALT SHINGLES OR METAL ON 1/2" PLYWOOD SHEATING ON 1/6" PINE SUBSTRATE (BY OTHER) OR 2/6" PINE SUBSTRATE



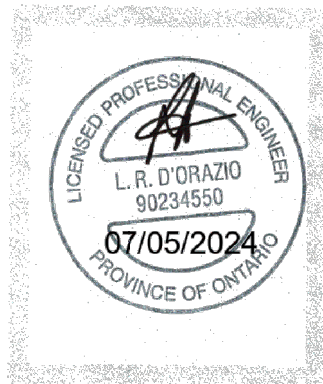
SIDE ELEVATION

1/4=1'-0"



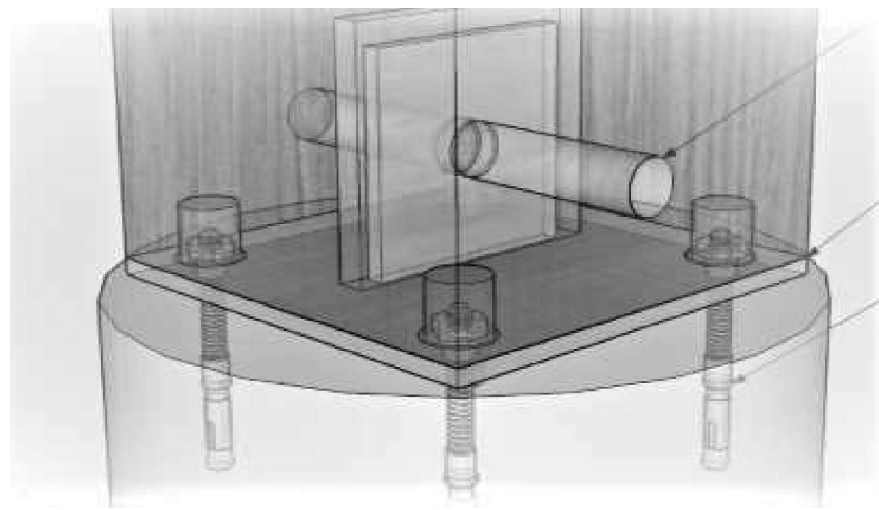
SIDE ELEVATION

1/4=1'-0"

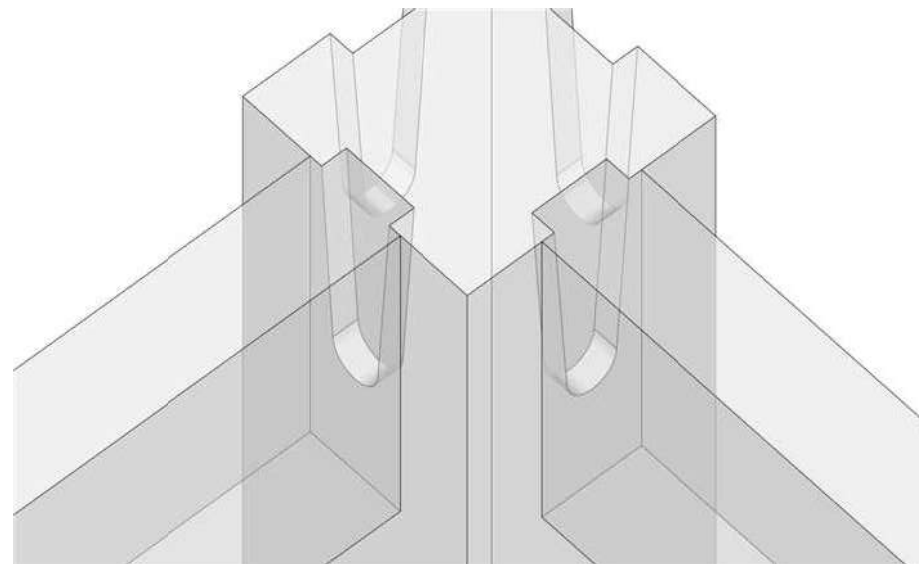


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24
2	S.B	ENGINEER REVIEW	07/05/24

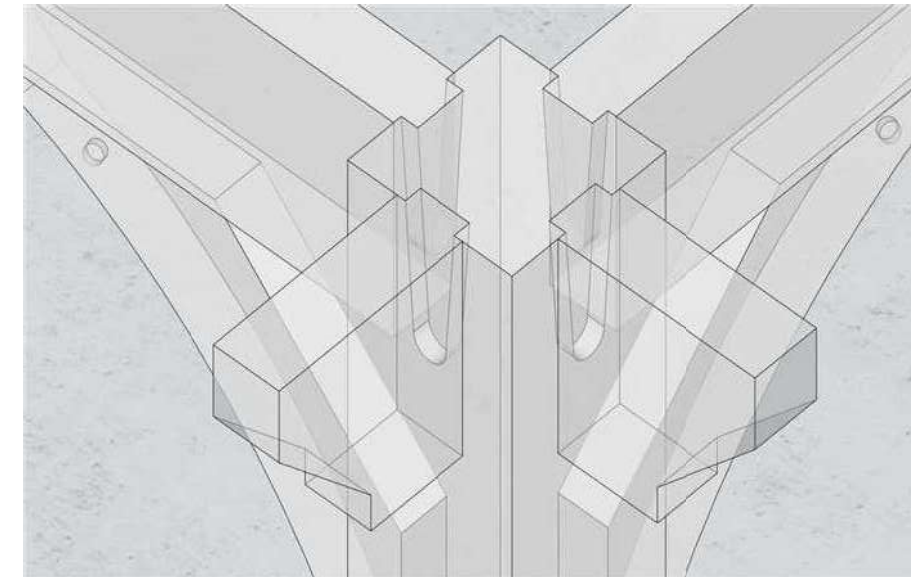
Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:



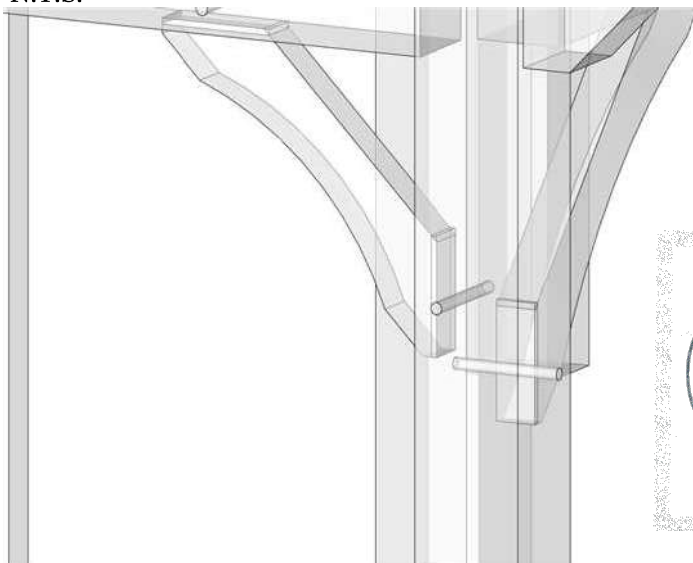
POST/ANCHOR PLATE CONNECTION SONO TUBES or OTHER METHOD
N.T.S.



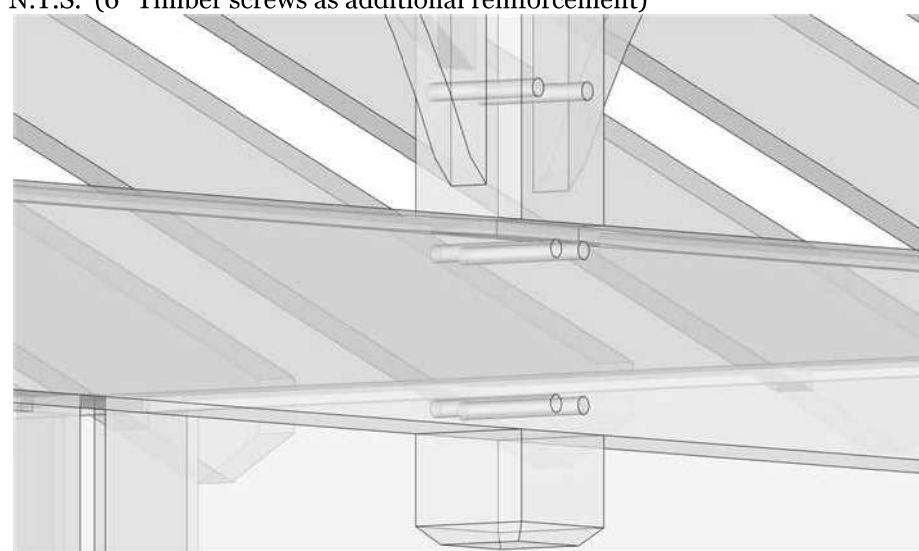
POST/SUPPORT BEAM CONNECTION (DOVE TAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



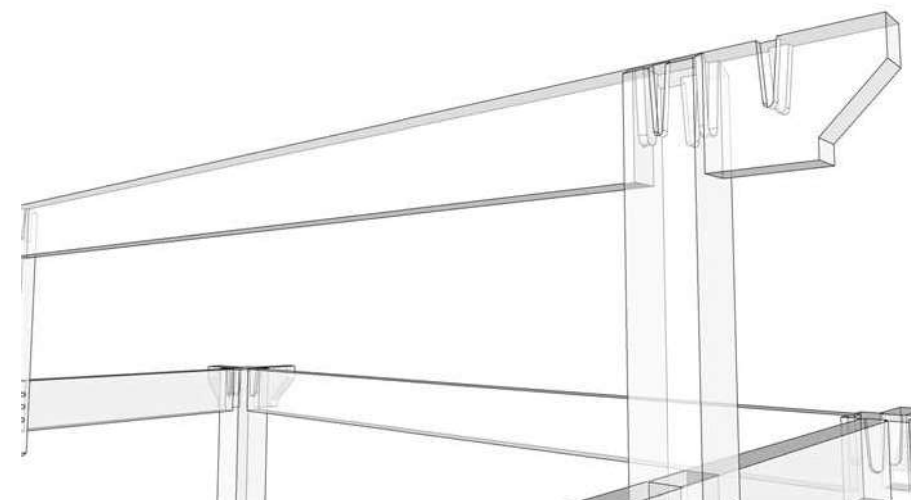
POST/OVERHANG CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



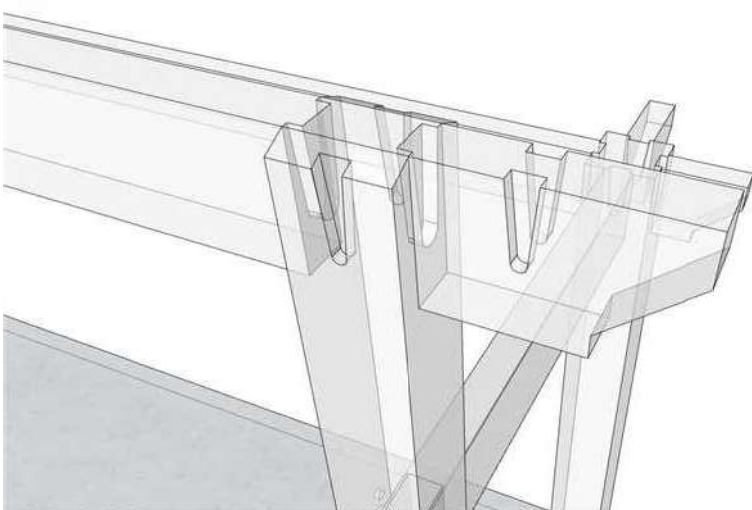
MORTICE BRACE/POST CONNECTION
N.T.S. (Straight tenon connection secured with 1" x 1 1/2" oak dowel)



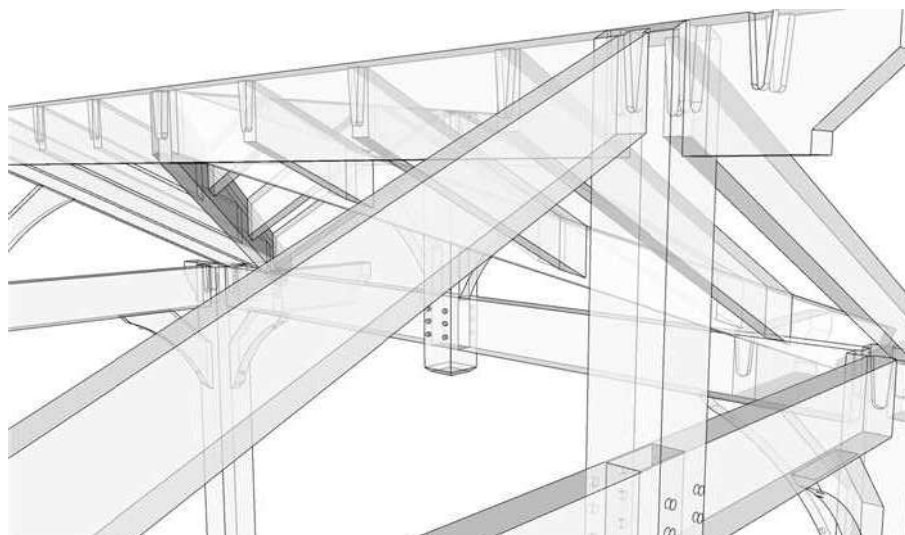
KING POST/SUPPORT BEAM CONNECTION
N.T.S.



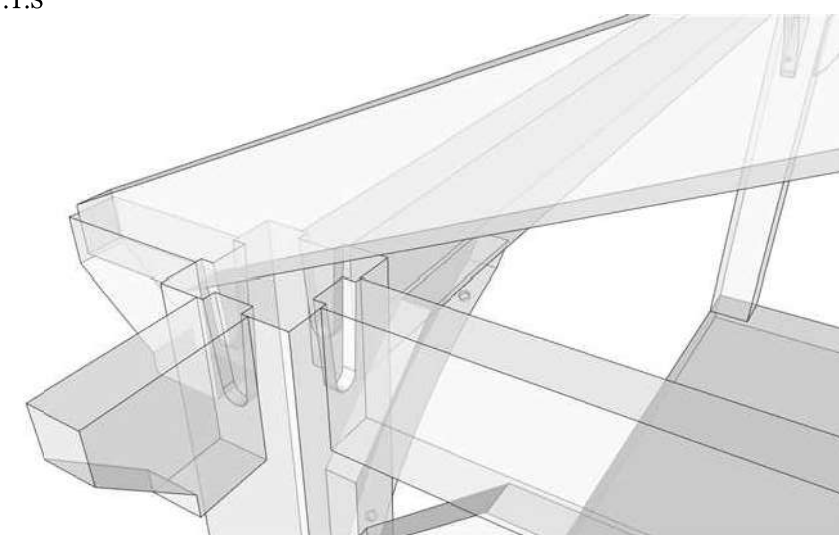
KING POST/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



KING POST/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



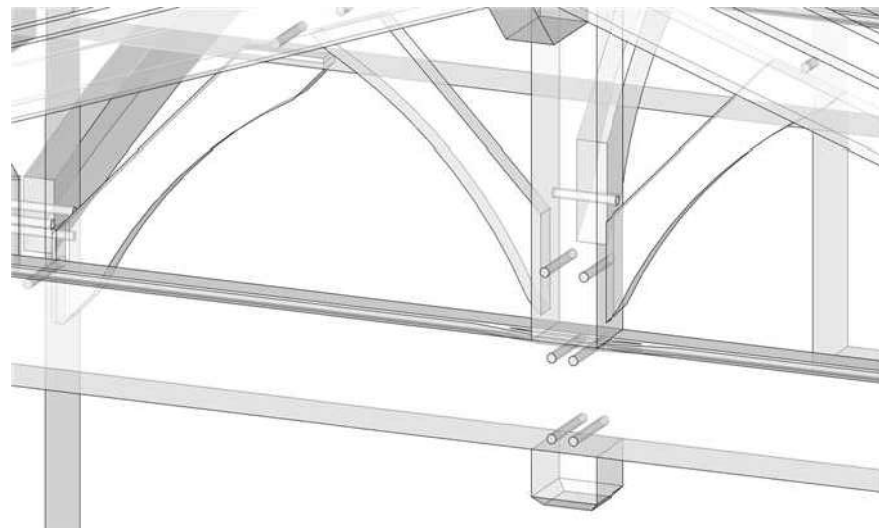
QUEEN RAFTER/KING POST CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" timber screw used for additional reinforcement)



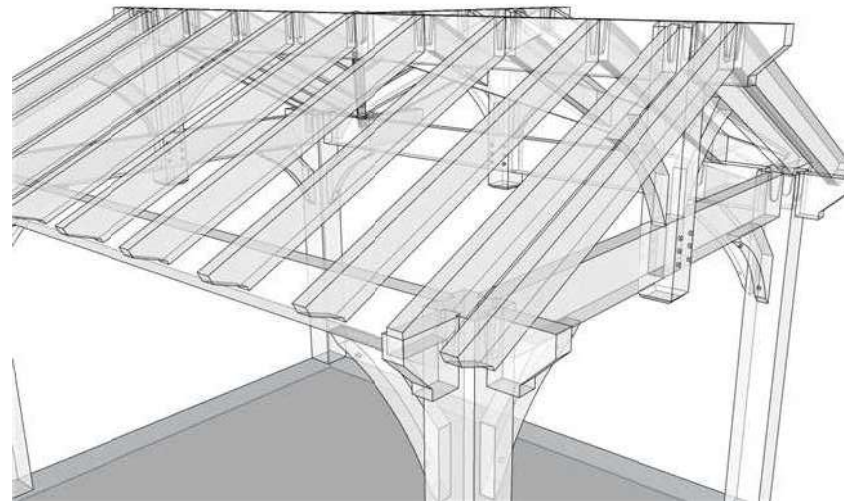
QUEEN RAFTER/OVERHANG CONNECTION
N.T.S. (11" timber screw thru queen rafter to post overhang)

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

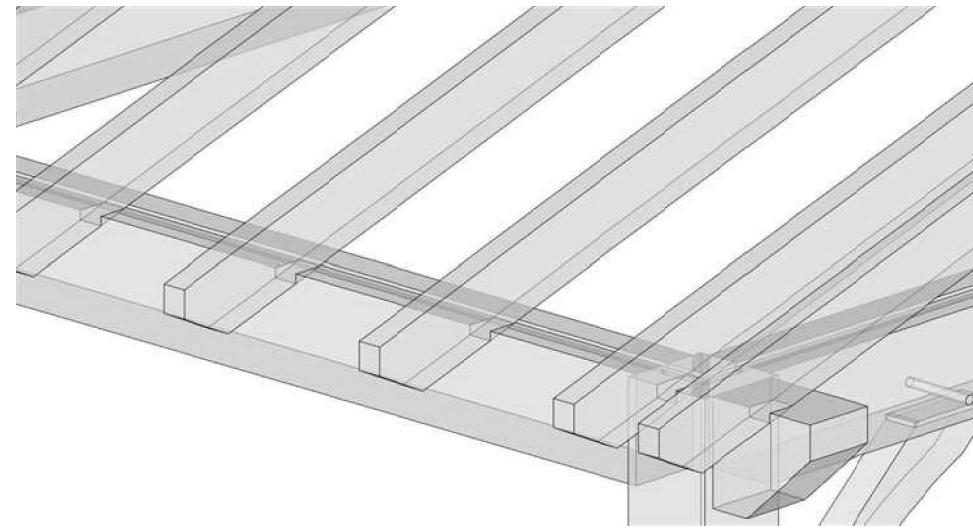
Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: General Connection Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:



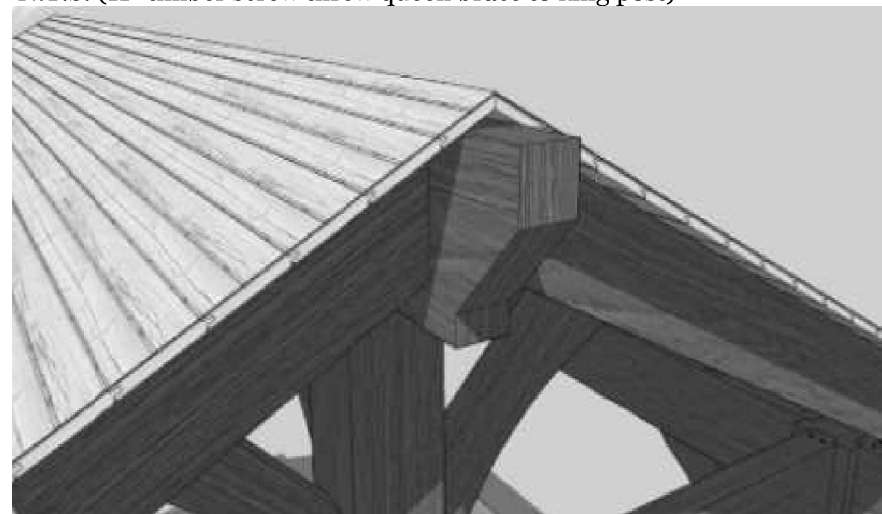
QUEEN BRACES/QUEEN RAFTER CONNECTION
N.T.S. (11" timber screw threw queen brace to king post)



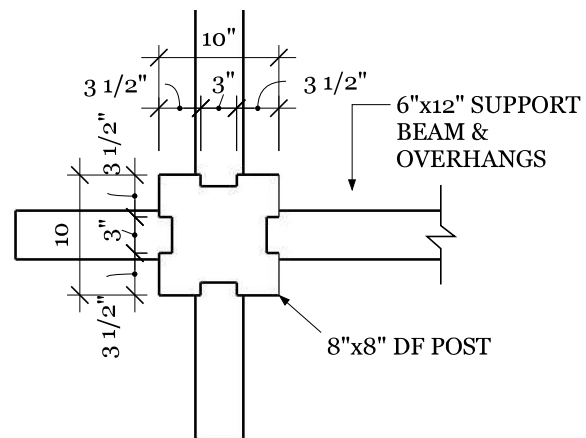
RAFTERS/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



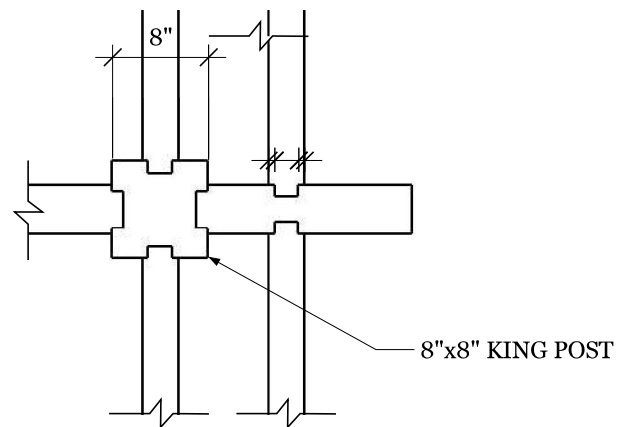
RAFTERS/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



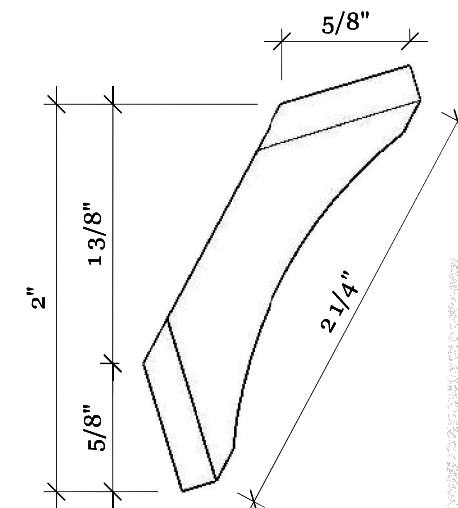
T&G ROOFING MATERIAL (1x6 or 2x6)
N.T.S.



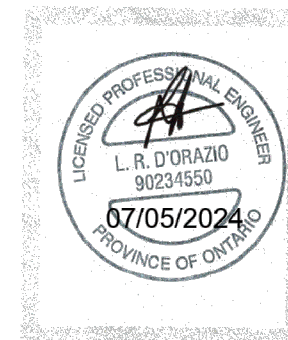
POST/SUPPORT BEAM CONNECTION
3/4"=1'-0"



KING POST/RIDGE BEAM CONNECTION
3/4"=1'-0"



MORTISE BRACE DETAIL
3/4"=1'-0"



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

		Timber width (inches)		1 3/4"	4"	6"	8"	10"	12"
50 B 50 N		$h\ 3\frac{1}{3} - 13"$		min. w 1 3/4 x h 3 1/2" max. w 4 x h 13"			$T\ 3\frac{1}{2} - 9"$	528 - 1'672 lbs	
				w 1 3/4 - 4"					
80 B 80 N		$h\ 3\frac{1}{2} - 13"$		min. w 3 1/8 x h 3 1/2" max. w 5 1/2 x h 13"			$T\ 3\frac{1}{2} - 9"$	726 - 2'178 lbs	
				w 3 1/8 - 5 1/2"					
120 B 120 N		$h\ 3\frac{1}{2} - 15"$		min. w 4 3/4 x h 3 1/2" max. w 8 x h 15"			$T\ 3\frac{1}{2} - 10\frac{1}{4}"$	1'100 - 3'630 lbs	
				w 4 3/4 - 8"					
160 B		$h\ 3\frac{1}{2} - 16"$		min. w 6 x h 3 1/2" max. w 12 x h 16"			$T\ 3\frac{1}{2} - 12"$	1'232 - 4'620 lbs	
				w 6 - 12"					

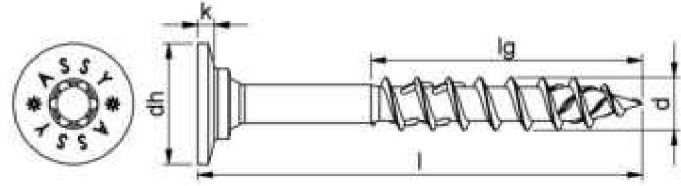
Min. / max. section
(width x height)

Optimal timber widths

Min. / max. working loads (lbs)
depending on dimensions



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24



Nominal diameter (d)	8 mm
Length (l)	100 mm
Thread length (lg)	60 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes

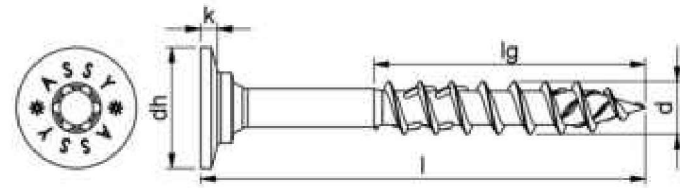


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

Product Datasheet

ASSY 4.0 WHII TS RW40 ZN M8x160 177.580160



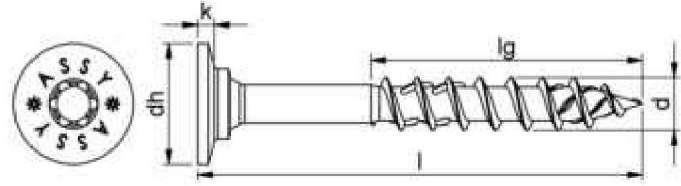
Nominal diameter (d)	8 mm
Length (l)	160 mm
Thread length (lg)	80 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

ASSY 4.0 WHII TS RW40 ZN M8X300 177.580300



Nominal diameter (d)	8 mm
Length (l)	300 mm
Thread length (lg)	100 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes



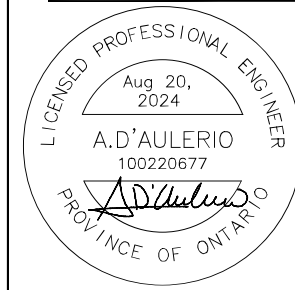
REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	06/30/24

Tahboub Residence- Hexagon Timber Pavilion 158 Maple Grove Drive., Oakville, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 06/30/24	PROJECT NO.:

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

DRAWINGS MUST NOT BE SCALED.

ALL DRAWINGS AND SPECIFICATIONS ARE AND REMAIN THE PROPERTY OF VALENCIA ENGINEERING CORP WHETHER THE WORK IS EXECUTED OR NOT. VALENCIA ENGINEERING CORP. RESERVES THE COPYRIGHT IN THEM AND THEY SHALL NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION BY VALENCIA ENGINEERING CORP.



ISSUED FOR:

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
REVIEW	PERMIT	TENDER	CHANGE	CONSTR

1.	Issued For Permit	Aug 20, 2024
No.	Issuance	Date

Project Name
Betz - Tahboub Residence
158 Maple Grove Drive, Oakville

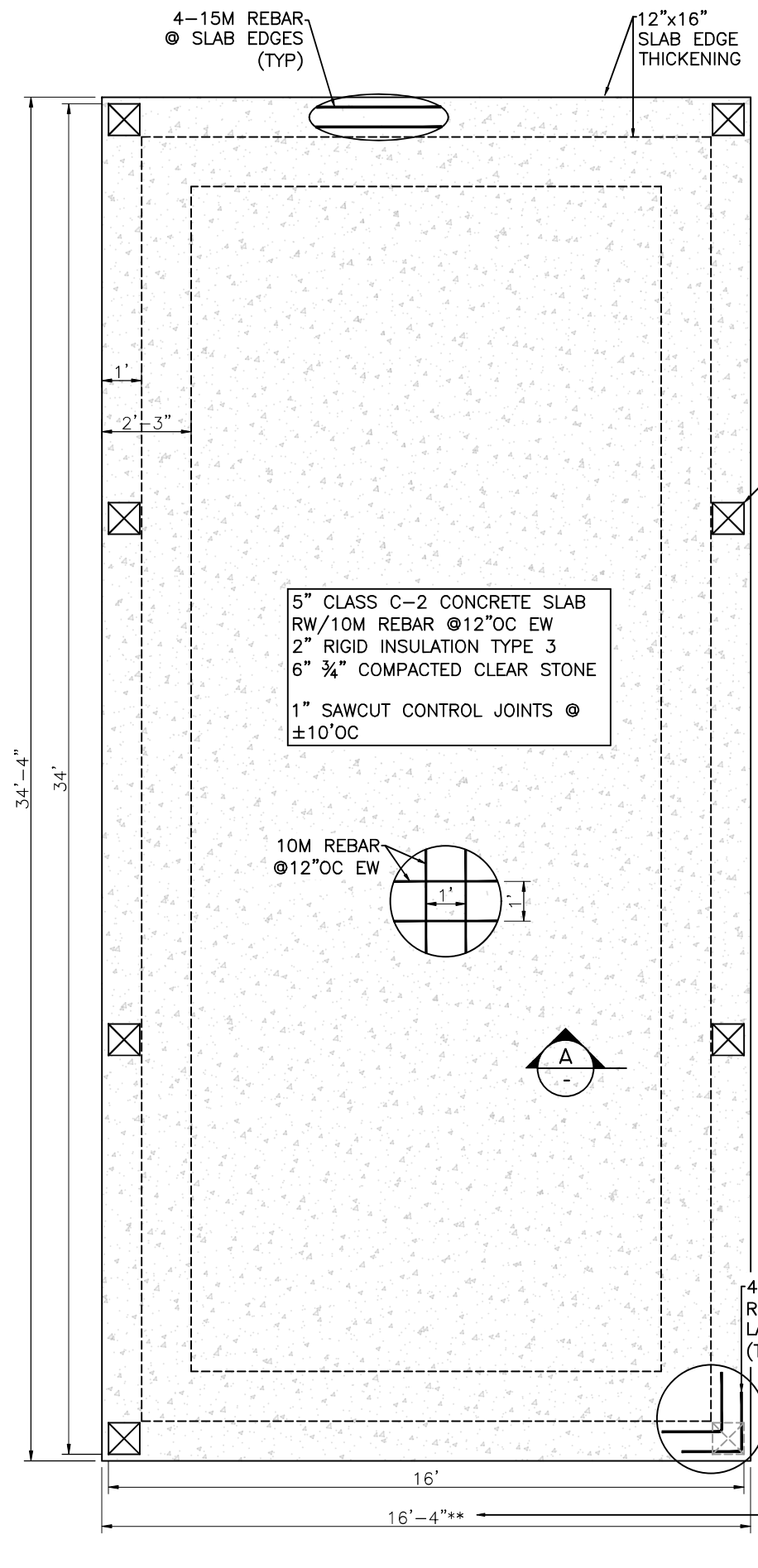
Proposed Accessory Structure
Foundations

Sheet Title
Covered Lounge Area Foundation

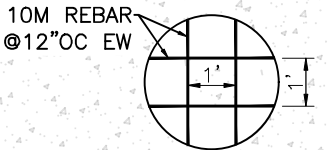
Drawn By: T.D Scale: As Shown
Designed By: T.D Date: Aug 20, 2024
VEC Project Number: VCE24-040

Sheet Number Revision

S201 **0**



5" CLASS C-2 CONCRETE SLAB
RW/10M REBAR @12"OC EW
2" RIGID INSULATION TYPE 3
6" 3/4" COMPACTED CLEAR STONE
1" SAWCUT CONTROL JOINTS @ ±10'OC

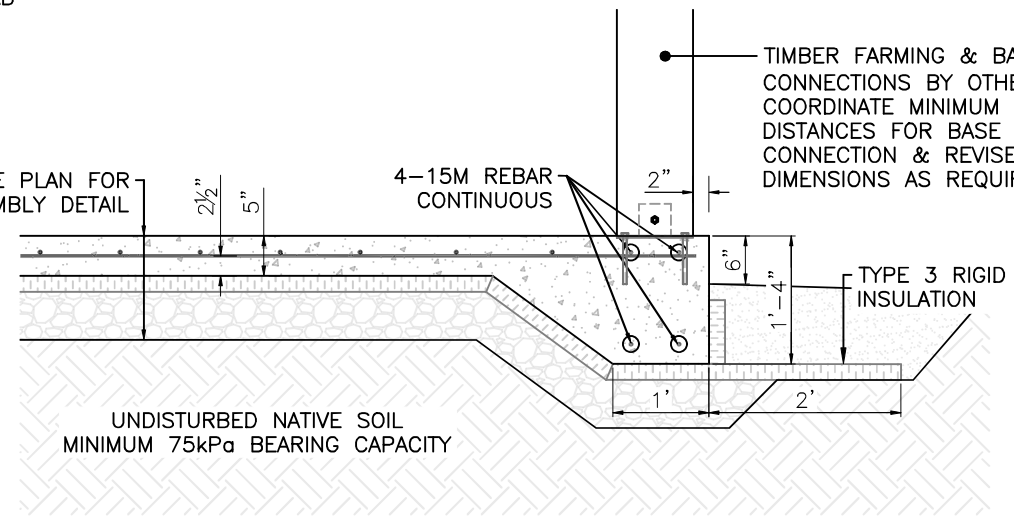


TIMBER FARMING & BASE CONNECTIONS BY OTHERS (TYP). COORDINATE MINIMUM EDGE DISTANCES FOR BASE PLATE CONNECTION & REVISED SLAB DIMENSIONS AS REQUIRED

4-15M 18'x18" CORNER REBAR. PROVIDE MIN 16" LAP TO SLAB EDGE REBAR (TYP)

**SLAB IS SHOWN 4" GREATER THAN WALL DIMENSION TO ALLOW FOR SITE & CONSTRUCTION ADJUSTMENT THIS MAY BE REVISED FROM 0" TO 4" TO SUIT

SEE PLAN FOR ASSEMBLY DETAIL



SECTION A
SCALE 1/2"=1'

COVERED LOUNGE FOUNDATION PLAN
SCALE 1/4"=1'

Notice of Public Hearing Committee of Adjustment Application



File # A/012/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
A. Tahboub	Paul Guest Betz Pools Limited 5688 MAIN St STOUFFVILLE ON, Canada L4A 2T1	158 Maple Grove Dr CON 3 SDS PT LOT 6

Zoning of property: RL1-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit an accessory structure (pavilion) on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.5.2 c)</i> The maximum height for any accessory building or structure shall be 4.0 metres measured from grade.	To increase the maximum height for the accessory structure to 4.30 metres measured from grade.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow

all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

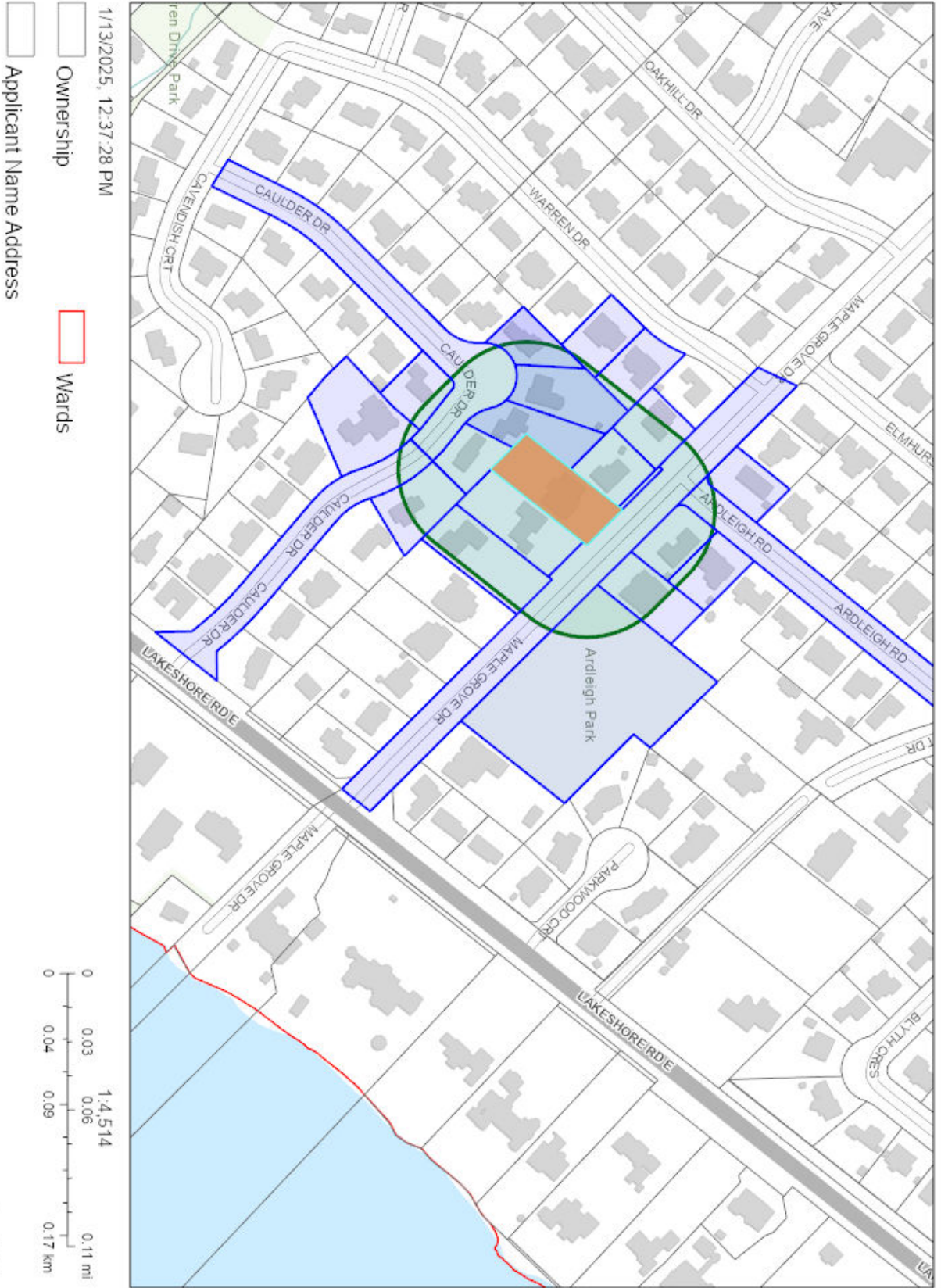
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/012/2025 - 158 Maple Grove Drive





FRONT PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A1



REAR PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A2



SIDE PERSPECTIVE VIEW



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

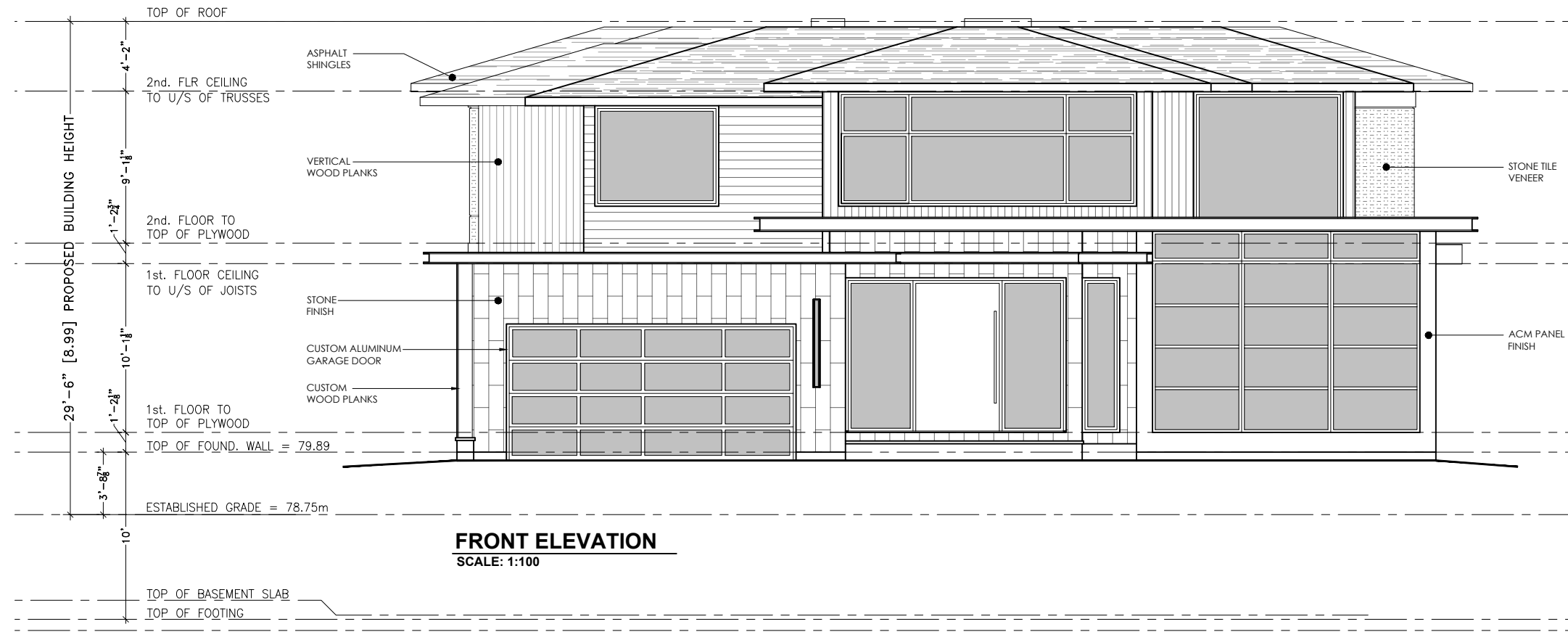
DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

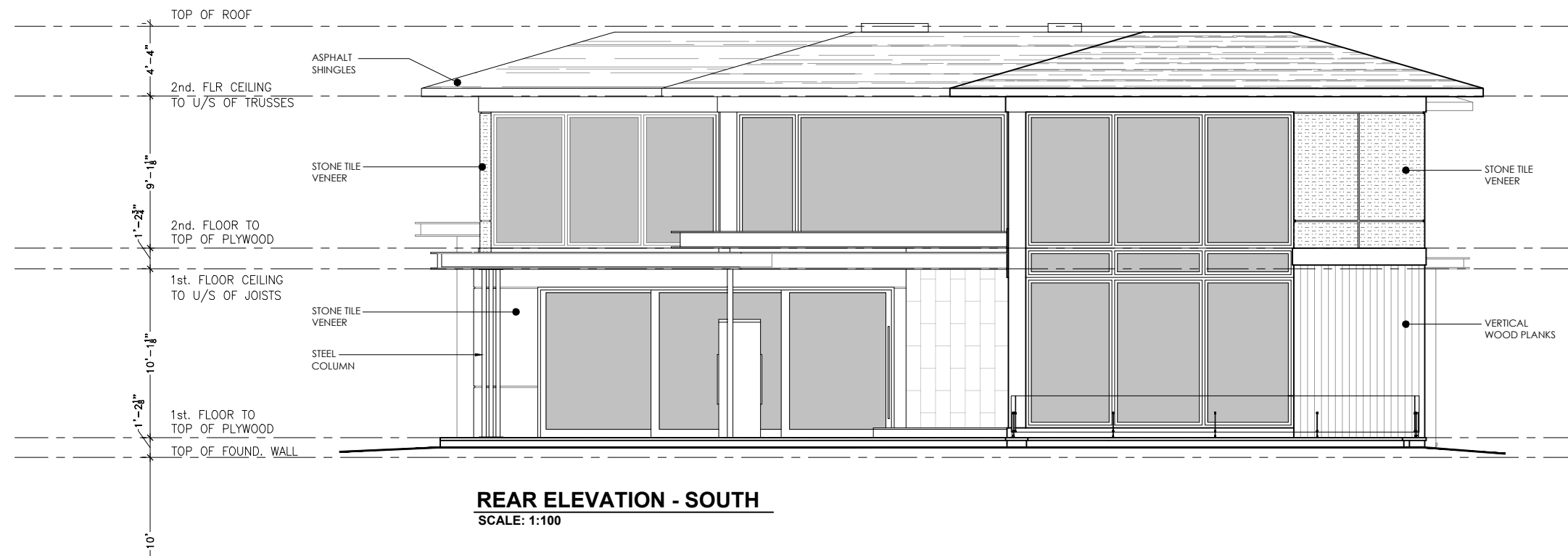
These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A2



FRONT ELEVATION
SCALE: 1:100



REAR ELEVATION - SOUTH
SCALE: 1:100



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A6



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

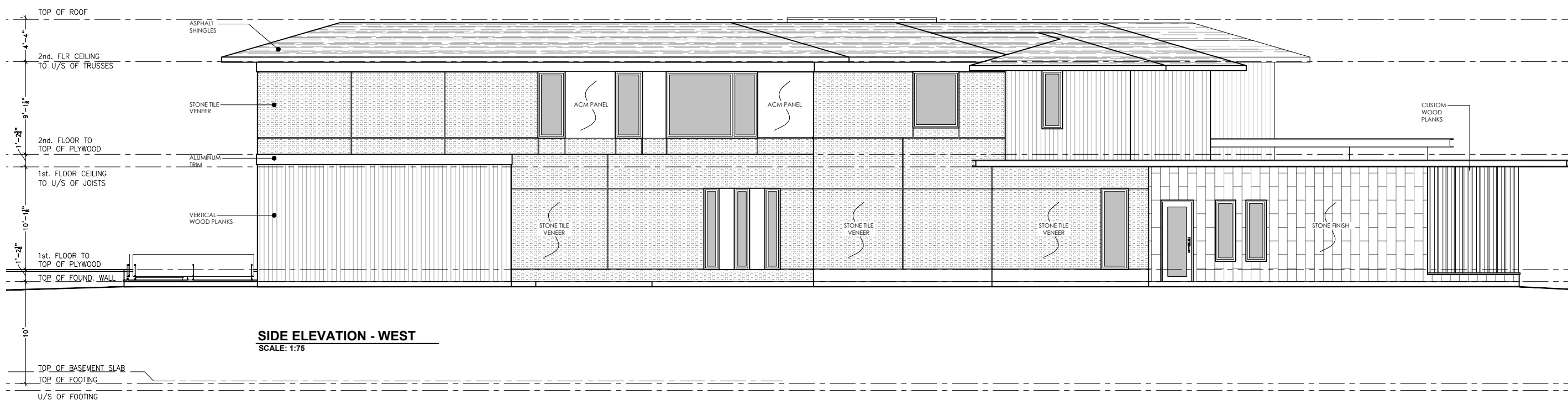
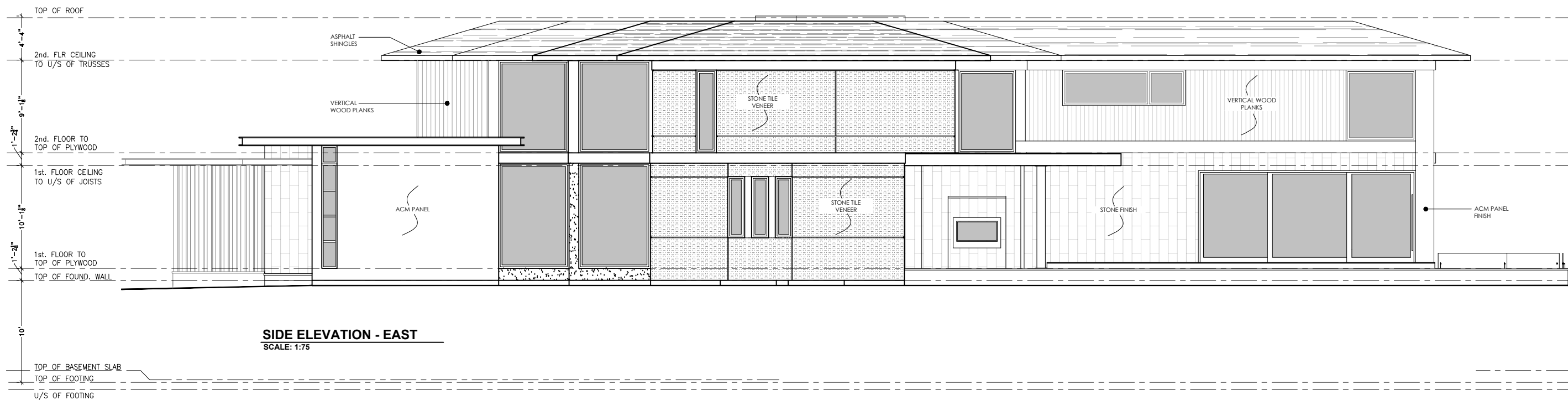
DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A7





CABANA - PERSPECTIVE VIEWS



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A8

TOP OF ROOF

11' - 10 3/4" [3.62] PROPOSED BUILDING HEIGHT

AVERAGE GRADE

ACM PANEL

VERTICAL WOOD PLANKS

STUCCO FINISH

CABANA - FRONT ELEVATION

SCALE: 1:50



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

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PROJECT: 1574 Old Lakeshore Rd

A10

TOP OF ROOF

AVERAGE GRADE

STUCCO FINISH

CABANA - REAR ELEVATION

SCALE: 1:50



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

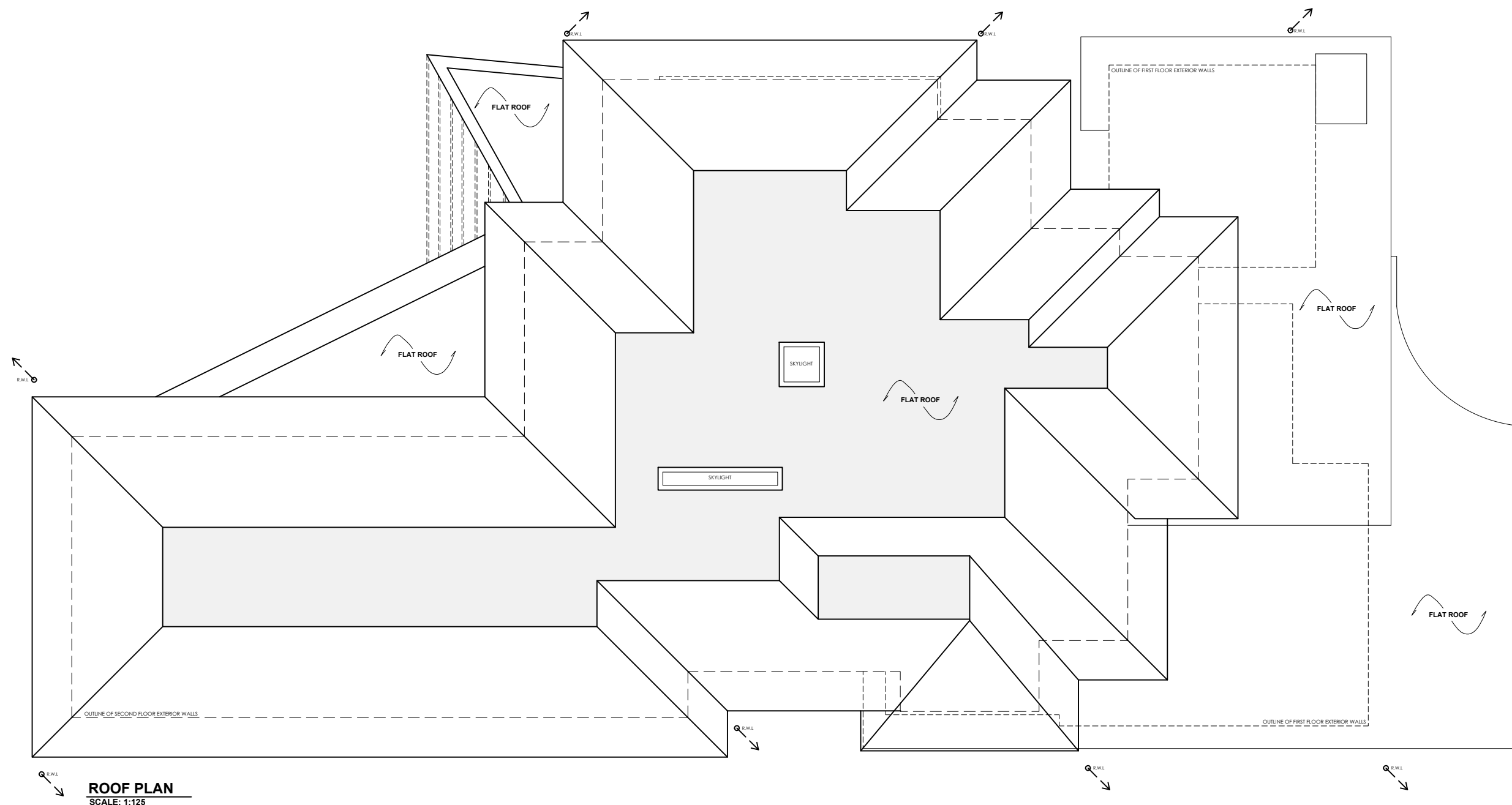
DRAWING INFORMATION

INITIAL DESIGN : May 2023
DESIGNER : Joris Keeren
DRAWN BY : M.R. / M.C.
PLOT DATE : November 18, 2024
Revision #:

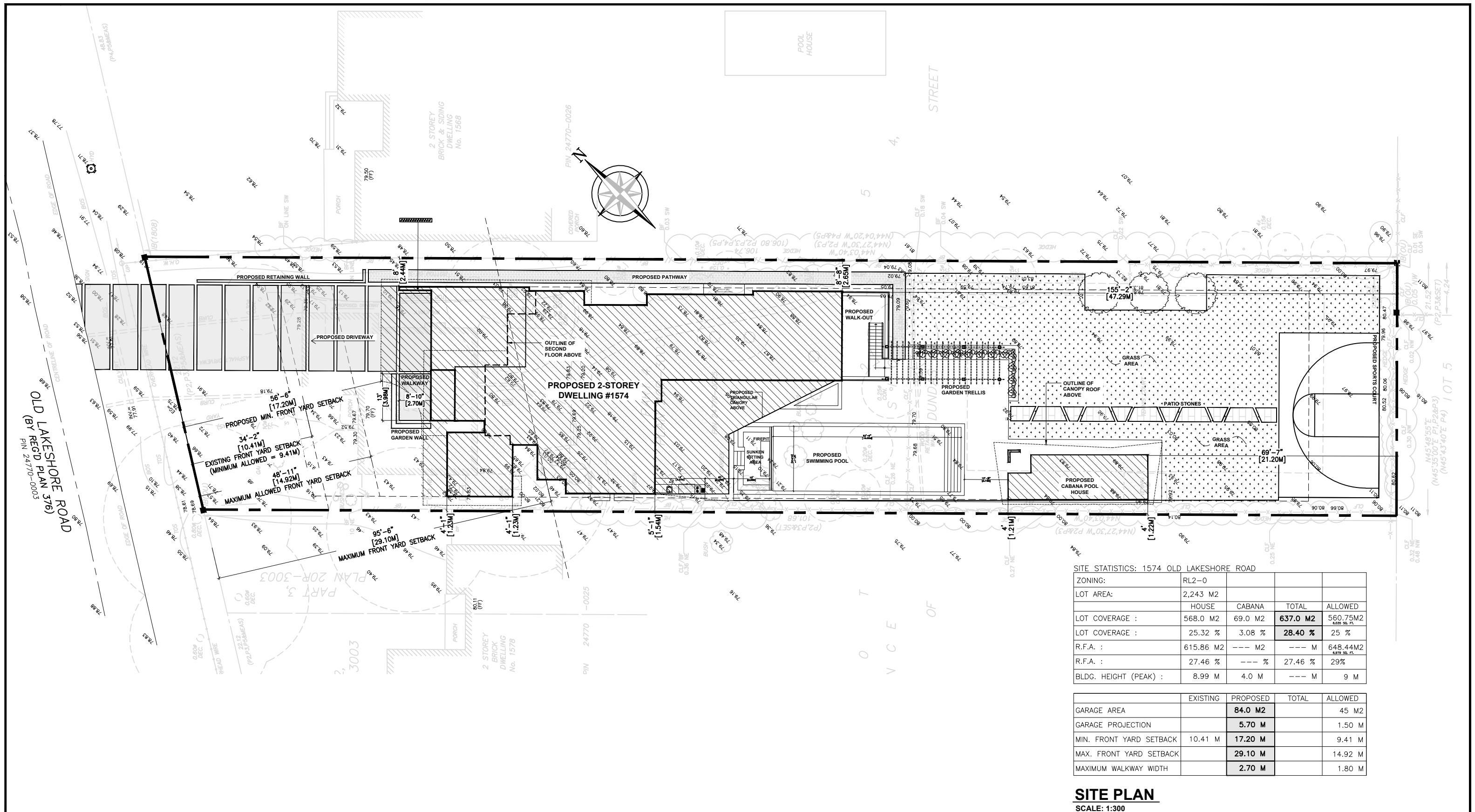
These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 1574 Old Lakeshore Rd

A10



ROOF PLAN
SCALE: 1:125




SITE STATISTICS: 1574 OLD LAKESHORE ROAD

ZONING:	RL2-0			
LOT AREA:	2,243 M ²			
	HOUSE	CABANA	TOTAL	ALLOWED
LOT COVERAGE :	568.0 M ²	69.0 M ²	637.0 M²	560.75M ² <small>0.039 96 FT.</small>
LOT COVERAGE :	25.32 %	3.08 %	28.40 %	25 %
R.F.A. :	615.86 M ²	--- M ²	--- M	648.44M ² <small>0.079 96 FT.</small>
R.F.A. :	27.46 %	--- %	27.46 %	29%
BLDG. HEIGHT (PEAK) :	8.99 M	4.0 M	--- M	9 M

	EXISTING	PROPOSED	TOTAL	ALLOWED
GARAGE AREA		84.0 M²		45 M ²
GARAGE PROJECTION		5.70 M		1.50 M
MIN. FRONT YARD SETBACK	10.41 M	17.20 M		9.41 M
MAX. FRONT YARD SETBACK		29.10 M		14.92 M
MAXIMUM WALKWAY WIDTH		2.70 M		1.80 M

SITE PLAN
SCALE: 1:300

 KEEREN DESIGN <small>RESIDENTIAL ARCHITECTURE</small>	11 BRONTE RD. SUITE 31 OAKVILLE, ON L6L 0E1 PHONE: (905) 847-2350 WWW.KEEREN.CA	FIRM BCIN #: 31181 JORIS KEEREN DESIGNER BCIN #: 25348	DRAWING INFORMATION INITIAL DESIGN : May 2023 DESIGNER : Joris Keeren DRAWN BY : M.R. / M.C. PLOT DATE : November 18, 2024 Revision #:	These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.	<h2 style="margin: 0;">PROJECT: 1574 Old Lakeshore Rd</h2>	S1
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Notice of Public Hearing Committee of Adjustment Application



File # A/013/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
J. Huang L. Zhixing Li	JORIS KEEREN Keeren Design INC 11 Bronte Rd Suite 31 Oakville ON L6L 0E1	1574 Old Lakeshore Rd CON 4 SDS PT LOT 25 RP 20R3003 PART 4

Zoning of property: RL2-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 5.8.2 f)</i> One walkway access may be connected to each side of a driveway. The maximum width of the walkway access at the point of attachment shall be 1.8 metres.	To increase the maximum width of the walkway access at the point of attachment to 2.7 metres.
2	<i>Section 5.8.6 b)</i> For detached dwellings on lots having greater than or equal to 12.0 metres in lot frontage, the maximum total floor area for a private garage shall be 45.0 square metres.	To increase the maximum total floor area for a private garage to 84.0 square metres.
3	<i>Section 5.8.7 c)</i> Attached or detached private garages shall not project more than 1.5 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line or flankage lot line.	To increase the maximum projection to 5.7 metres.
4	<i>Table 6.4.2</i> The maximum lot coverage where the detached dwelling is greater than 7.0 metres in height shall be 25%.	To increase the maximum lot coverage where the detached dwelling is greater than 7.0 metres in height to 28.4%.
5	<i>Section 6.4.3 a)</i>	To increase the minimum front yard to 17.2 metres.

	The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 9.41 metres.	
6	<i>Section 6.4.3 c)</i> The maximum front yard for new dwellings on all lots shall be 5.5 metres greater than the minimum front yard for the applicable lot. In this instance, the maximum front yard shall be 14.91 metres.	To increase the maximum front yard to 29.1 metres.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

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Participate in the electronic hearing by videoconference.

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Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

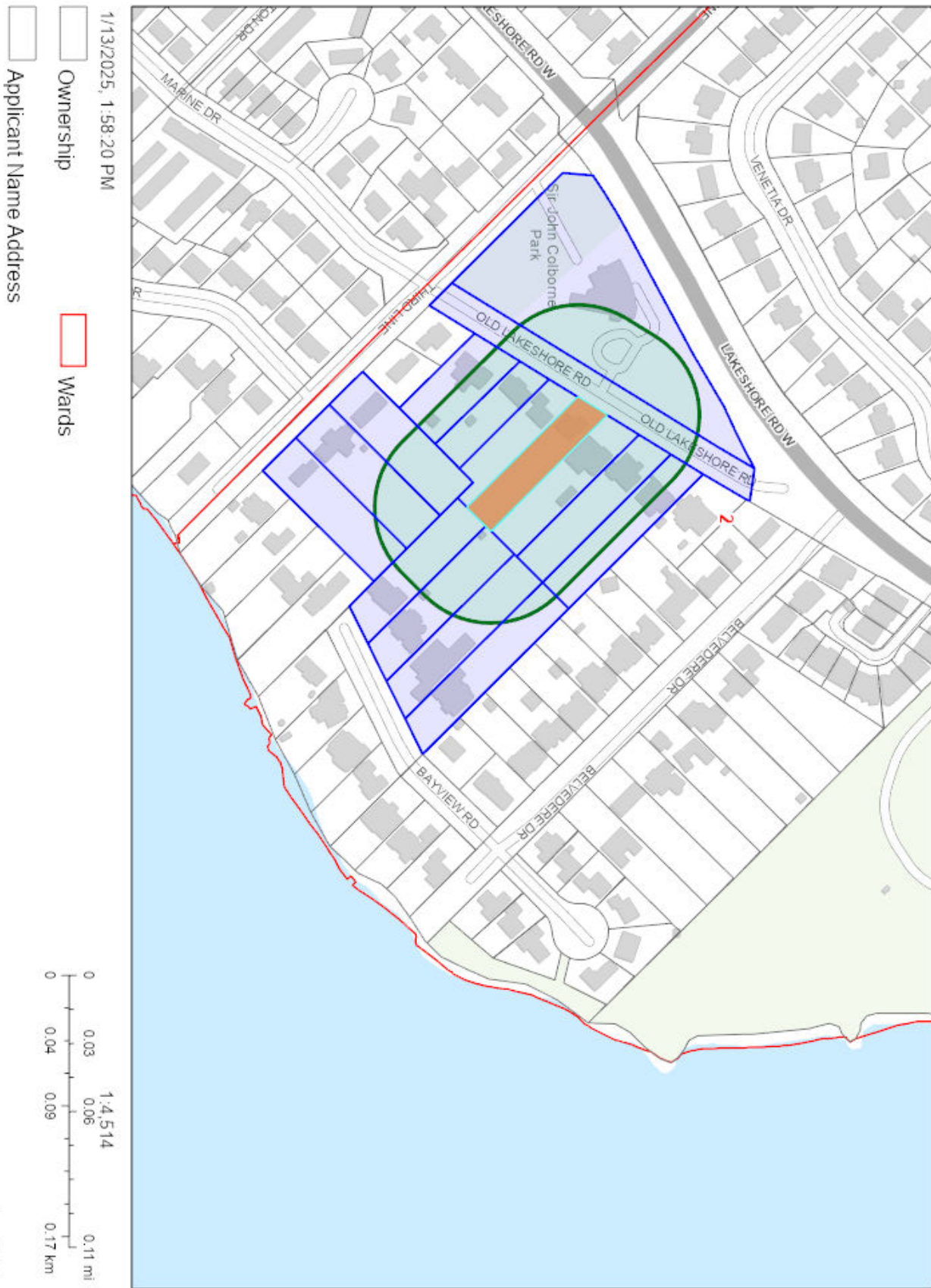
Contact information:

Jen Ulcar
 Secretary-Treasurer of Committee of Adjustment
 1225 Trafalgar Road
 Oakville, ON L6H 0H3
 Phone: 905-845-6601 ext. 1829
 Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/013/2025 - 1574 Old Lakeshore Road



LEGEND:

- EXISTING ELEVATION
- PROPOSED ELEVATION
- EXISTING TREE (CONIFEROUS=CT, DECIDUOUS=DT)
- GRADE SLOPE INDICATOR

No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

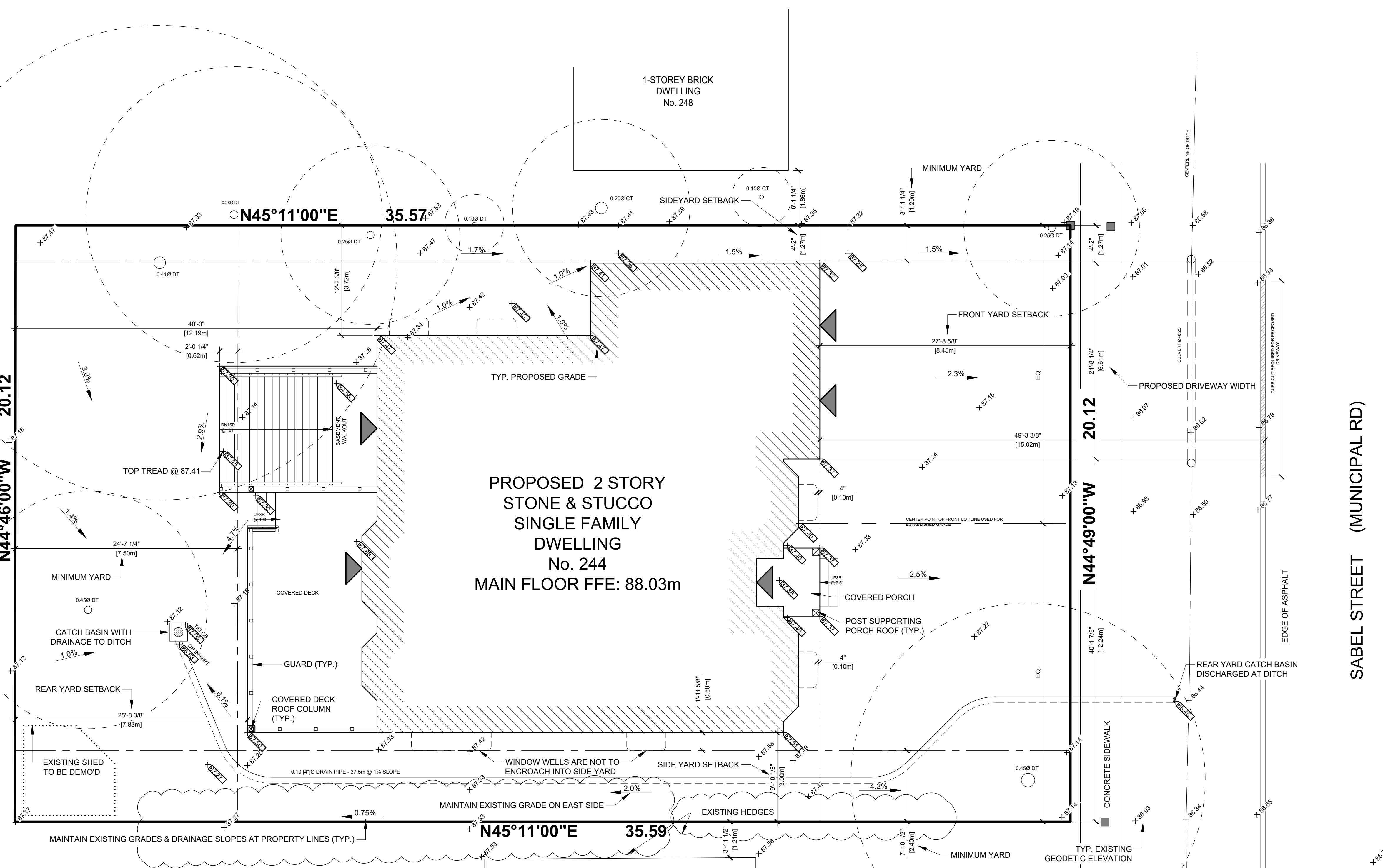
KELLER
ENGINEERING
www.kellerengineering.com

PROJECT:
PROPOSED 2-STORY SINGLE FAMILY DWELLING
CLIENT: TAJINDER NAGRA
244 Sabel St., Oakville, Ontario L6L 3V7

DRAWING:
PROPOSED SITE PLAN

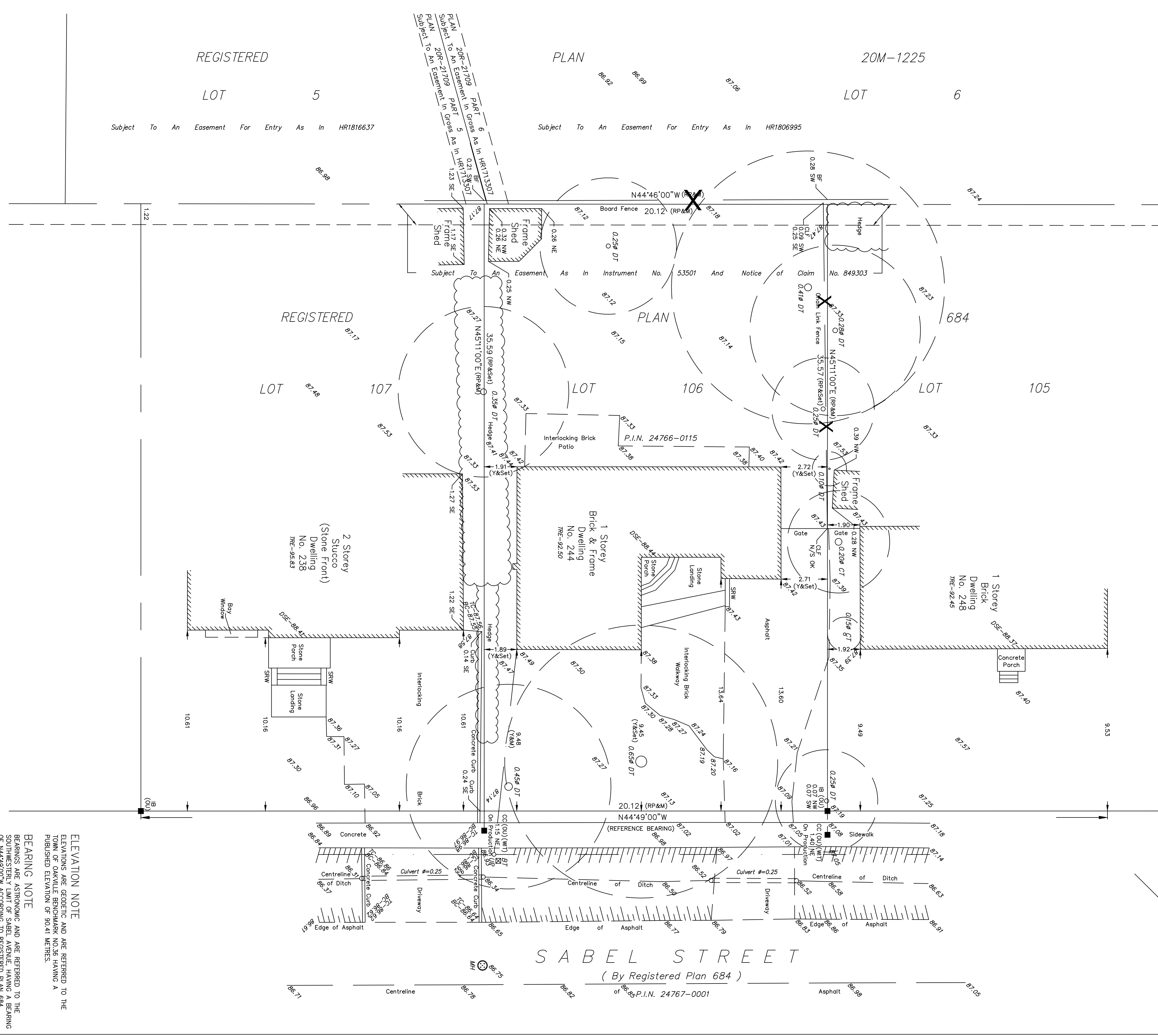
DESIGNED BY: MA	CHECKED BY: MA
DRAWN BY: CJ	SCALE: 1:75
DATE: 24-09-13	JOB No.: 07-4391
A100	

ORIGINAL SURVEY (PROJECT # 23-151) CONDUCTED BY AVANTI SURVEYING INC. AT 310 NORTH QUEEN ST. UNIT 102, TORONTO, ON M9C 5K4 ON AUGUST 16, 2023
AS PER OBC 9.14.6.1.(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED, AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. A FINAL GRADING CERTIFICATE WILL BE PROVIDED WITHIN 1 YEAR OF BUILDING OCCUPANCY.



ZONING COMPLIANCE SUMMARY		
	REGULATION	PROPOSED
ZONING DESCRIPTION		
LOT ZONING: RL3-0		
LOT AREA	557.5 m ²	715.89 m ²
MINIMUM LOT FRONTAGE	18.0 m	20.12 m
MINIMUM FRONT YARD	8.45 m	8.45 m (LEGALLY EXISTING - 1.0m)
MINIMUM INTERIOR SIDE YARD	2.4 m & 1.2 m	3.0 m & 1.27 m
MINIMUM REAR YARD	7.5 m	7.83 m
MAXIMUM BUILDING HEIGHT	9.0 m	9.0 m
FIRST FLOOR AREA	--	162.62 m ²
SECOND FLOOR AREA	--	161.29 m ²
TOTAL FLOOR AREA	293.51 m ²	323.91 m ²
MAX. RESIDENTIAL FLOOR AREA	41.0% [293.51 m ²]	45.25% [323.99 m ²]
MAXIMUM LOT COVERAGE	35.0%	34.7% [248.42 m ²]

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 LOT 106
 REGISTERED PLAN 684
 TOWN OF OAKVILLE
 Regional Municipality of Halton
 SCALE 1 : 150
 5m 2m 1m 0m
 AVANTI SURVEYING INC.
 © COPYRIGHT 2023



No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

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KELLER
 ENGINEERING
 www.kellerengineering.com

PROJECT:
**PROPOSED 2-STOREY
 SINGLE FAMILY DWELLING**
 CLIENT: TAJINDER NAGRA
 244 Sabel St., Oakville, Ontario L6L 3V7

DRAWING:
**EXISTING SITE SURVEY
 BY AVANTI SURVEYING INC.
 ON AUGUST 16, 2023**

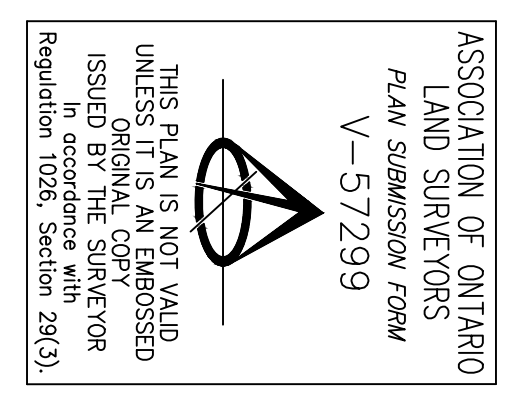
DESIGNED BY: MA | CHECKED BY: MA

DRAWN BY: CJ | SCALE: 1:125 | DRAWING No.: C100
 DATE: 24-09-13 | JOB No.: 07-4391

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 AND THE REGULATIONS MADE UNDER THESE ACT
 2. THE SURVEY WAS COMPLETED ON THE 14TH DAY OF
 JULY, 2023.

AUGUST 16, 2023
 CHRIS BERESNEVICZ
 ONTARIO LAND SURVEYOR



LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
RP	DENOTES	REGISTERED PLAN 684
N.S.E.W.	DENOTES	NORTH-SOUTH/EAST-WEST
DT	DENOTES	DEODOROUS TREE
CT	DENOTES	CONTIGUOUS TREE
OU	DENOTES	OPEN UNKNOWN
Y	DENOTES	PLAN BY YATES & YATES LIMITED, O.L.S.
WIT	DENOTES	WITNESS
WIT	DENOTES	PROPERTY IDENTIFIER NUMBER
OP	DENOTES	OVERHEAD WIRE
CLF	DENOTES	CHAIN LINK FENCE
SNW	DENOTES	STONE RETAINING WALL
MH	DENOTES	MANHOLE
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB

LEGEND (...CONT.)

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
 TOWN OF OAKVILLE BENCHMARK N036 HANNA A
 PUBLISHED ELEVATION OF 50.41 METRES.
 BEARING NOTE
 BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE
 SOUTHWESTERN LIMIT OF SABEL AVENUE, HAVING A BEARING
 OF N44°49'00"W ACCORDING TO REGISTERED PLAN 684

THIS PLAN WAS PREPARED FOR TAJINDER NAGRA
 PART 2 - SURVEY REPORT
 1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES
 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. 53501
 3) THIS PLAN DOES NOT CERTIFY COMPATIBILITY WITH ZONING BY-LAWS

AVANTI SURVEYING INC.
 310 North Guelph St., Unit 103, Toronto ON M9C-5K4
 Tel: (416) 231-1174 Fax: (416) 671-3360
 E-MAIL: info@avantisurveying.com
 DRAWN BY: CJ | CHECKED BY: MA | PROJECT 23-151



3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

No.	DATE	REVISION	INITIAL
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KELLER
ENGINEERING
www.kellerengineering.com

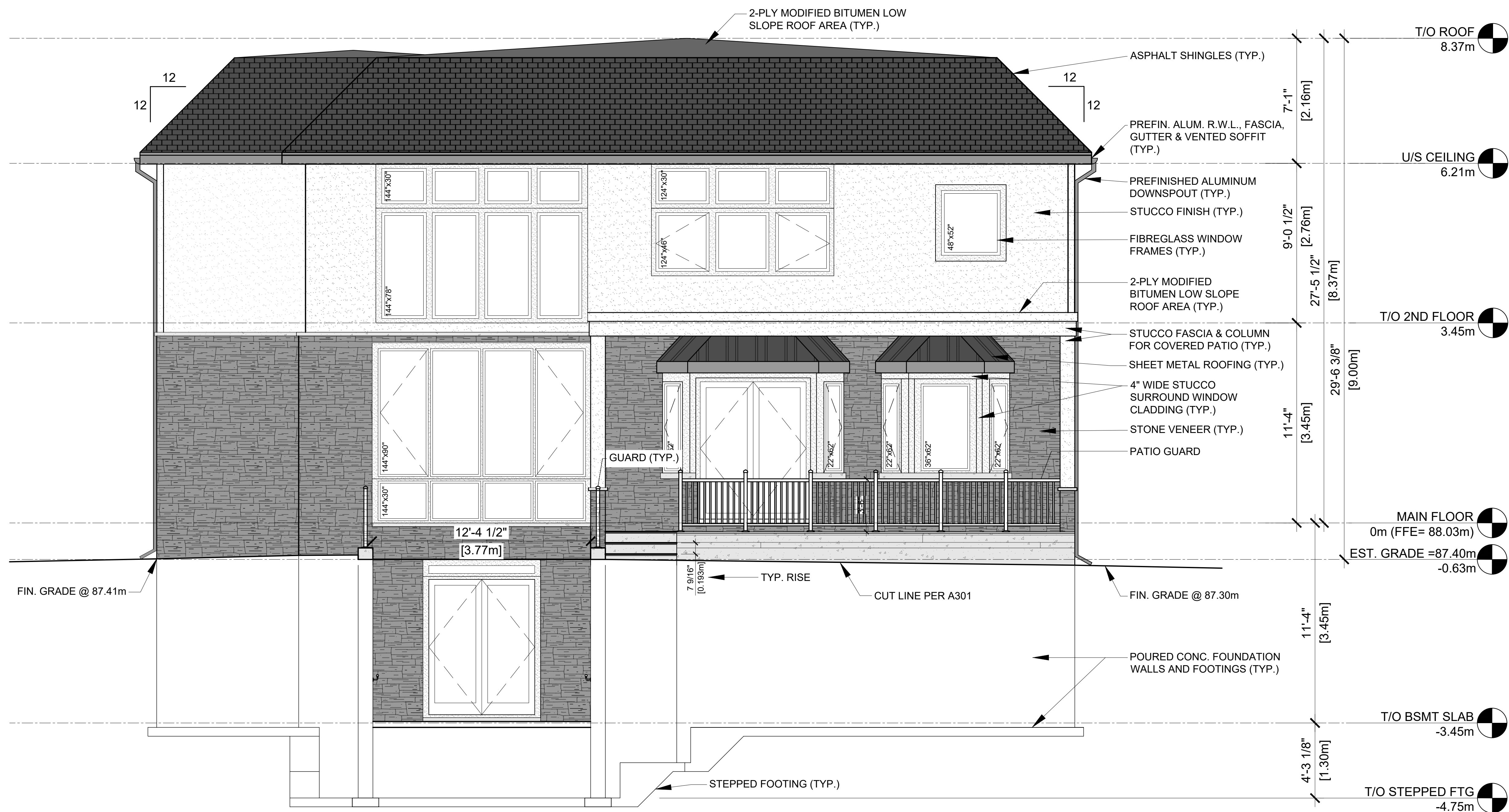
PROJECT:
**PROPOSED 2-STOREY
SINGLE FAMILY DWELLING**
CLIENT: TAJINDER NAGRA
244 Sabel St., Oakville, Ontario L6L 3V7

DRAWING:
**PROPOSED NORTH
ELEVATION**

DESIGNED BY: MA | CHECKED BY: MA

DRAWN BY: CJ | SCALE: 1:40 | DRAWING No.: A200

DATE: 24-09-13 | JOB No.: 07-4391



No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

No.	DATE	REVISION	INITIAL
-----	------	----------	---------



PROJECT:

**PROPOSED 2-STOREY
SINGLE FAMILY DWELLING**

CLIENT: TAJINDER NAGRA

244 Sabel St., Oakville, Ontario L6L 3V7

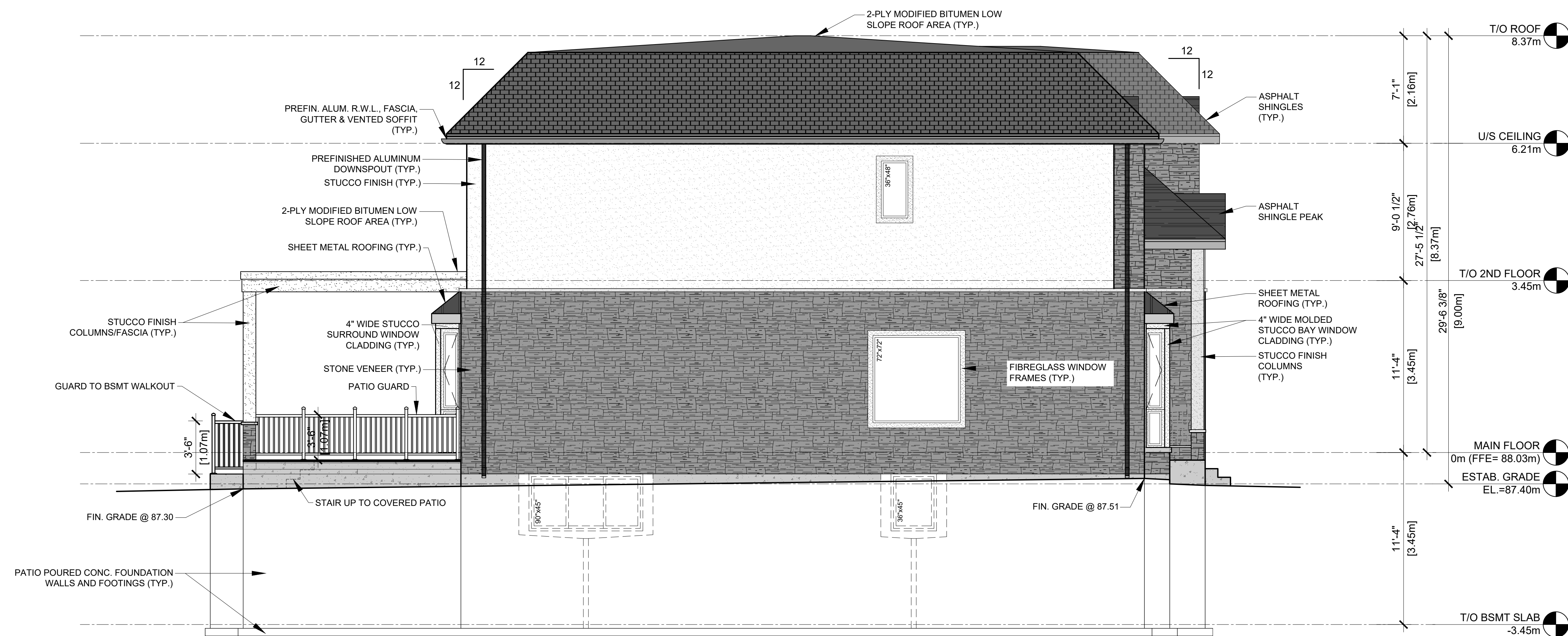
DRAWING:

**PROPOSED SOUTH
ELEVATION**

DESIGNED BY: MA	CHECKED BY: MA
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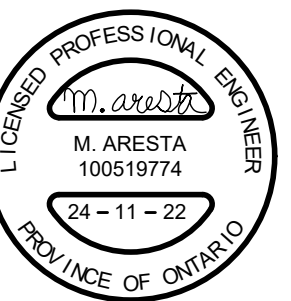
DRAWN BY: CJ	SCALE: 1:40	DRAWING No.: A201
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DATE: 24-09-13	JOB No.: 07-4391
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No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
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No.	DATE	REVISION	INITIAL
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KELLER
ENGINEERING
www.kellerengineering.com

PROJECT:

**PROPOSED 2-STOREY
SINGLE FAMILY DWELLING**

CLIENT: TAJINDER NAGRA

244 Sabel St., Oakville, Ontario L6L 3V7

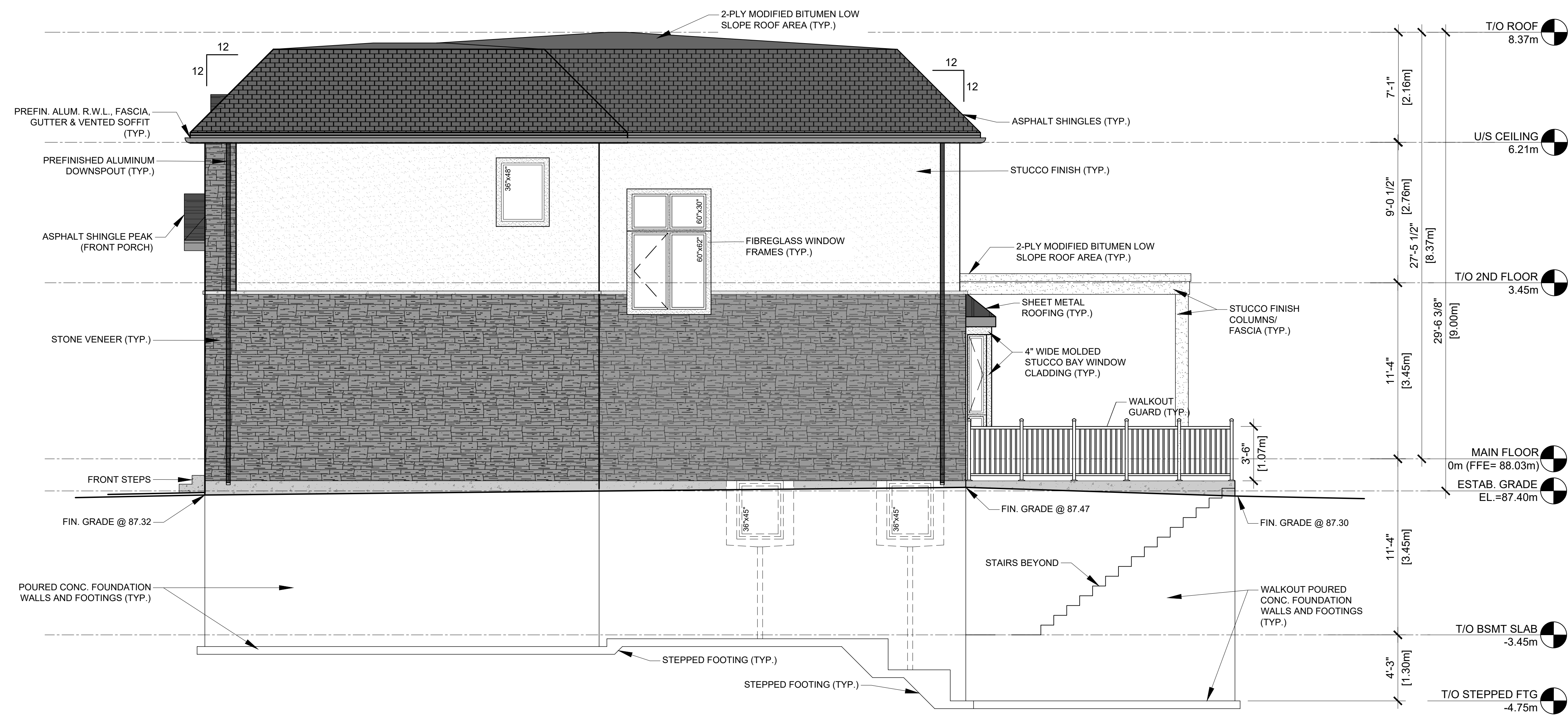
DRAWING:

**PROPOSED EAST
ELEVATION**

DESIGNED BY: MA	CHECKED BY: MA
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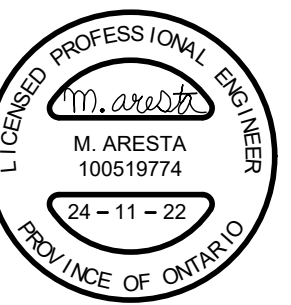
DRAWN BY: CJ	SCALE: 1:50	DRAWING No.: A202
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DATE: 24-09-13	JOB No.: 07-4391
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No.	DATE	REVISION	INITIAL
3	24-11-22	UPDATED DWG PER CLIENT REVIEW	CJ
2	24-10-15	SENT TO CLIENT FOR REVIEW	CJ
1	24-10-15	COMMITTEE OF ADJUSTMENT SET	CJ

No.	DATE	REVISION	INITIAL
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KELLER
ENGINEERING
www.kellerengineering.com

PROJECT:
**PROPOSED 2-STOREY
SINGLE FAMILY DWELLING**
CLIENT: TAJINDER NAGRA
244 Sabel St., Oakville, Ontario L6L 3V7

DRAWING:
**PROPOSED WEST
ELEVATION**

DESIGNED BY: MA
CHECKED BY: MA

DRAWN BY: CJ
SCALE: 1:50
DRAWING No.: A203

DATE: 24-09-13
JOB No.: 07-4391

October 11, 2024

Project No. 3230704

Town of Oakville Building Services Department
1225 Trafalgar Road
Oakville, ON L6H 0H3
(905) 845-6601

COVER LETTER
244 Sabel St., Oakville Ontario, L6L 3V7

Permit Application Number: 24-103773

To whom it may concern,

On behalf of the Owner, our primary purpose is for the committee of adjustment to review and consider accepting our application for minor variance of regarding Residential Floor Area (RFA) per Table 6.4.1.

Residential Floor Area: Table 6.4.1. - The maximum Residential Floor Area Ratio for a detached dwelling with a lot area between 650.00m² and 742.99m² shall be 41% (291.86m²) with a Lot area of 711.85m², the calculated amount of 45.25% (323.91m²) does not comply.

Proposed Dwelling Statistics:

- a) i) First Floor Area is 162.62 m²
- ii) 2nd floor Area: 161.37 m²
- iii) Total Floor Area: 323.99 m²
- iv) Lot area of 715.89 m² per site survey conducted by Avanti Surveying Inc. dated August 16, 2023.
- v) Residential Floor Area Ratio is 45.26%.
- vi) ** This will require Minor Variance for zoning compliance.

We have reviewed past minor variance applications made to the Committee in the general vicinity of 244 Sabel St. that fall are under the same zoning and under Table 6.4.1. (650.00 m² and 742.99 m², 41% RFA) requirements for Residential Floor Area Ratio.

According to the public data provided by past Committee of adjustment meetings, the properties in the area having similar percentage Residential Floor Area ratios that were **approved** by the Committee of Adjustment panel were as follows:

Approved:

1. 2378 Rebecca St. (Dated 2018-01-16) @ 45.9% RFA
2. 415 Third Line (Dated 24-01-24) @ 45.1 % RFA
3. 439 Seabourne Dr. (Dated 16-11-18) @ 44.6% RFA
4. 2450 Rebecca St. (Dated 22-08-30) @ 44.4% RFA
5. 241 Cherryhill Rd (Dated 23-02-22) @ 44.2% RFA

The subject property is located near the Southwest corner of Third Line and Rebecca Street. This older neighborhood consists of a mixture of 50's and 60's vintage single-family bungalows amongst a transforming landscape of more modern two-storey homes replacing some of these older homes. According to the Town of Oakville's "Livable Oakville" official plan maps, this property can be considered as the Northeast corner of Bronte District in Oakville. It is situated about 2.5km from the Bronte Go train station.

As highlighted in 2(b) of section 2.2.3 of the province's Official Plan "A place to Grow", midtown Oakville is the only area mentioned in the plan as an urban growth center and is to provide an increased density of 400 residents and jobs per hectare.

Per schedule F map (Southwest) in the official plan's land use schedule, the area of Rebecca Street and Third Line is categorized as "Low Density Residential". In schedule E map, it is evident that this property does not fall within any parkway belt or greenbelt sensitive land jurisdictions.

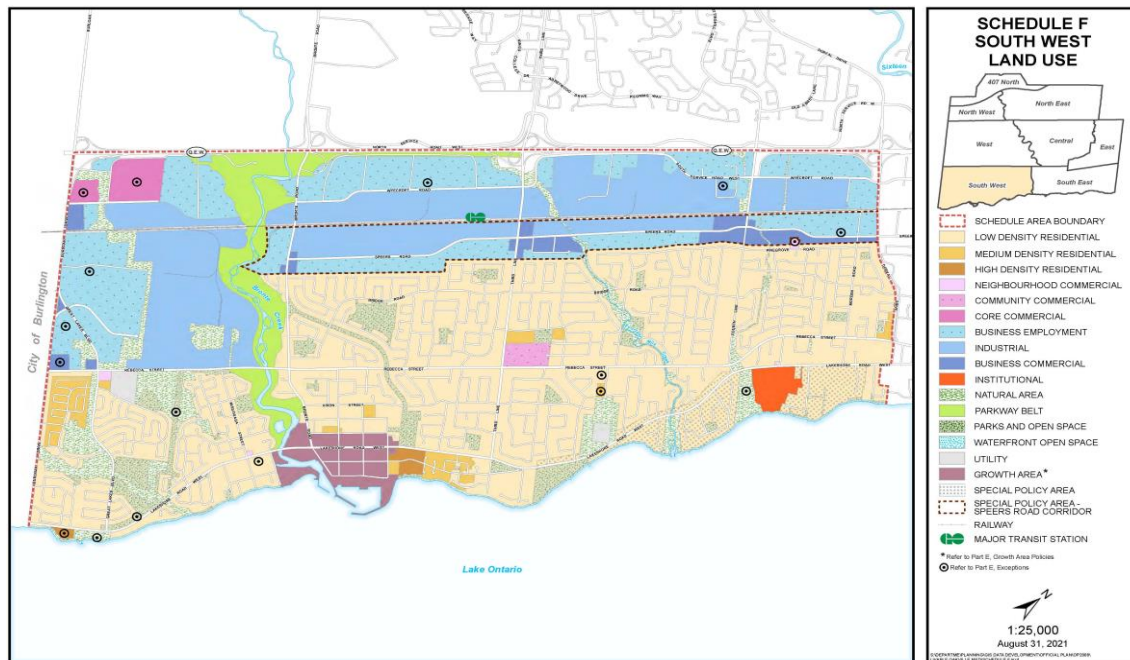


Figure 1: Livable Oakville Official Plan Schedule F (Southwest) land use map.

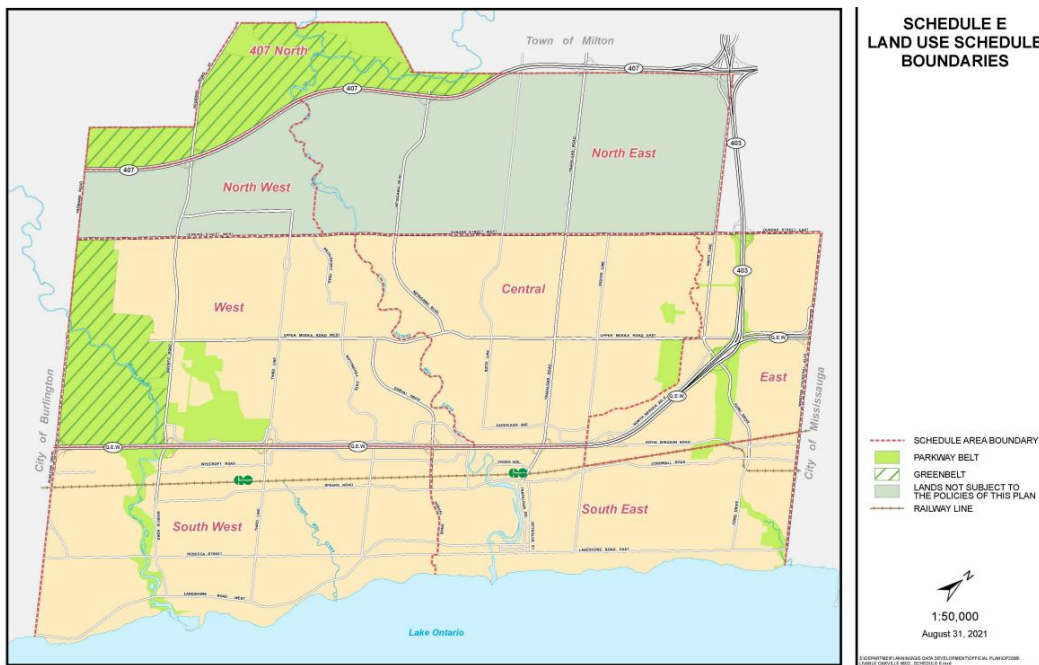


Figure 2: Livable Oakville Official Plan Schedule E Greenbelt map.

Under Part D of the ‘Livable Oakville’ Official Plan, section 11.1.8 describes provisions for land density intensification on existing or vacant lots within stable low-density residential areas. Since this proposed dwelling will be located on an existing low-density residential lot upon demolition of an existing house, the new footprint will fulfill the official plans provision to intensify the low-density area by providing increased density of livable area on the same lot, meanwhile being compliant with all other zoning regulations outlined for the RL3-0 zoned lot aside from the minor variance being requested in this application.

Section 11.1.9(a) describes that development of all stable residential communities be evaluated for their scale, height, mass, and architectural character and material compatibility with the surrounding neighborhood. Since this is a vintage neighborhood that is undergoing some intensification and modernization, we feel that our proposed design is compatible with the general direction of today’s architectural design and materials. Under 11.1.9 (b), the proposed subject dwelling is compatible with all setbacks, orientation and separation consistent with the previous dwelling footprint. Section 11.1.9(e) highlights that the property should have adequate municipal infrastructure, in which this property is fully serviced for water, wastewater, waste management and fire protection.

In summary, we believe that the request to increase the allowable residential floor area ratio from the by-law’s 41% to our requested 45.25% is not excessive, since we have identified that there have been several other applicant properties of comparable floor area range made within the low-density neighborhood which have been approved. This will also provide an opportunity to increase livable density and could provide potential future options for rental to increase the number of people occupying the house and help offset housing/rental shortages in the city.

We thank you for your consideration of our application.

Sincerely,



Henry J. Jansen, P.Eng, ACCI, LCCI.
DIRECTOR OF OPERATIONS – GTA & SOUTHERN ONTARIO



OTTAWA (613) 224-1594

GREATER TORONTO AREA (437) 488-1870

SOUTHERN ONTARIO (519) 940-0571

KINGSTON (613) 507-7536

CALGARY (403) 471-3492

EDMONTON (780) 884-7378

SASKATCHEWAN (306) 985-5136

VANCOUVER (778) 760-1259

Notice of Public Hearing Committee of Adjustment Application



File # A/014/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
T. Nagra	Keller Engineering (Henry Jansen) 25 First St Orangeville ON L9W 2C8	244 Sabel St PLAN 684 LOT 106

Zoning of property: RL3-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.4.1</i> The maximum residential floor area for a detached dwelling with a lot area between 650.0m ² and 742.99m ² shall be 41%.	To increase the maximum residential floor area to 45.25%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

Contact information:

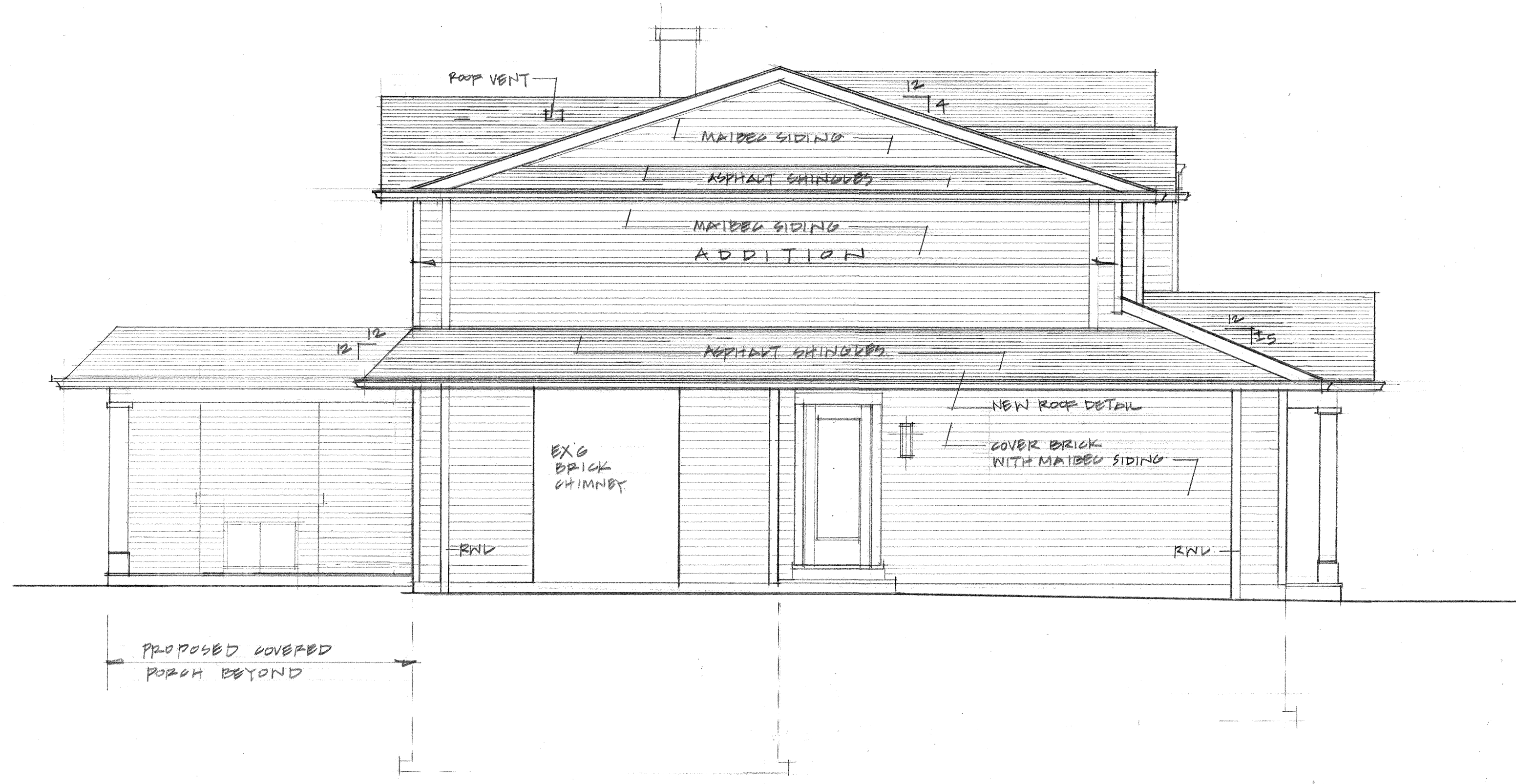
Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

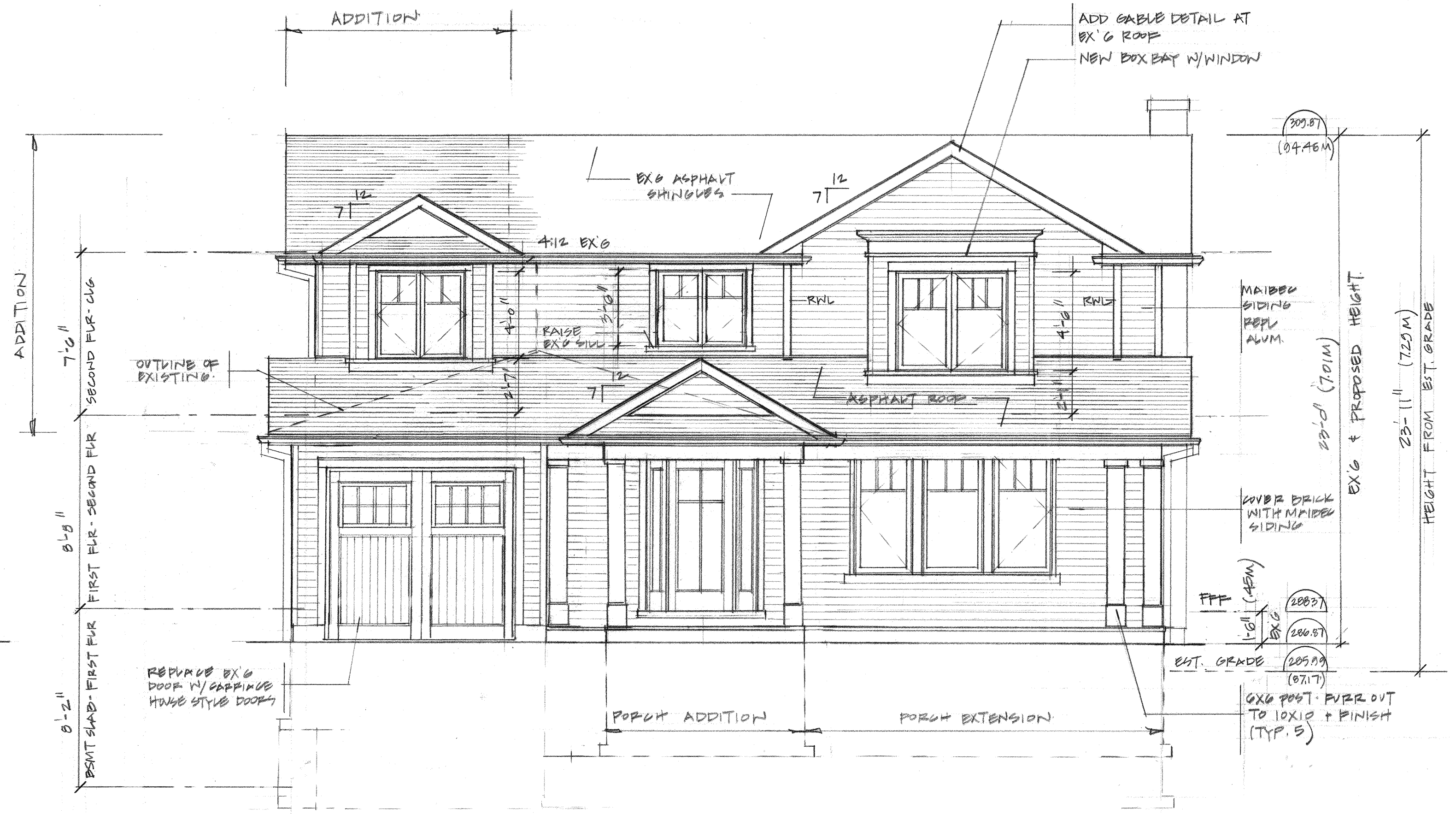
January 21, 2025

A/014/2025 - 244 Sabel Street

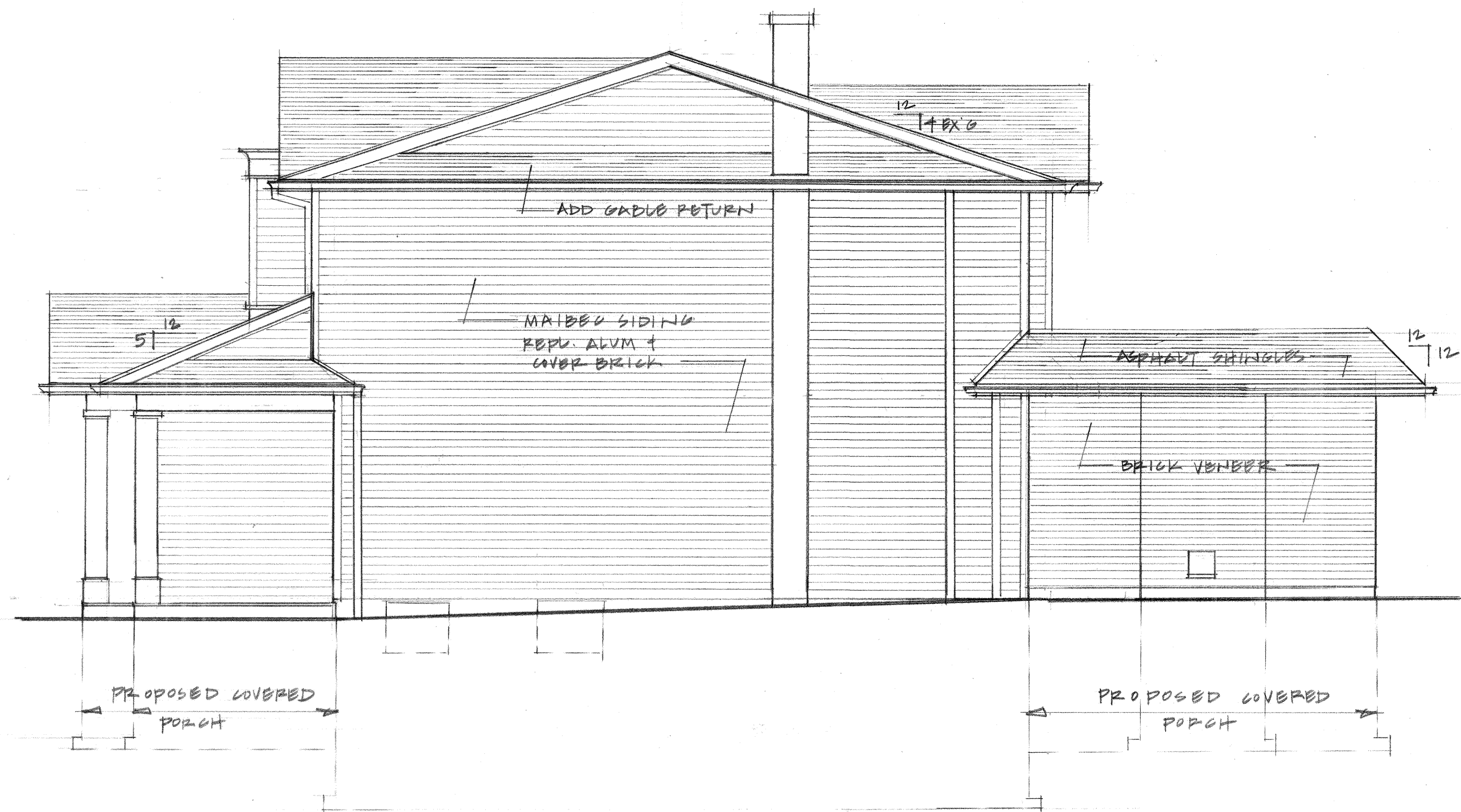




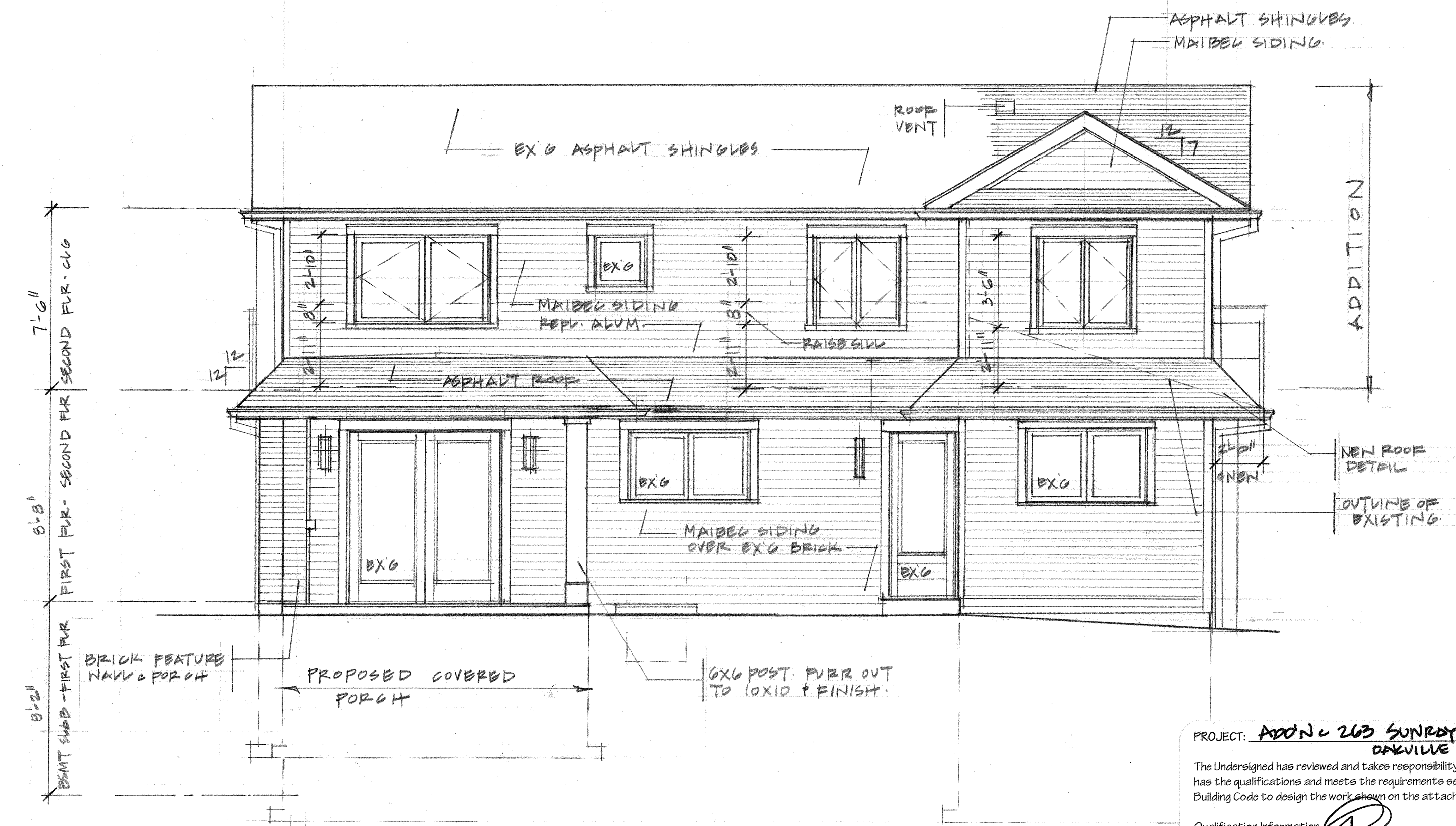
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

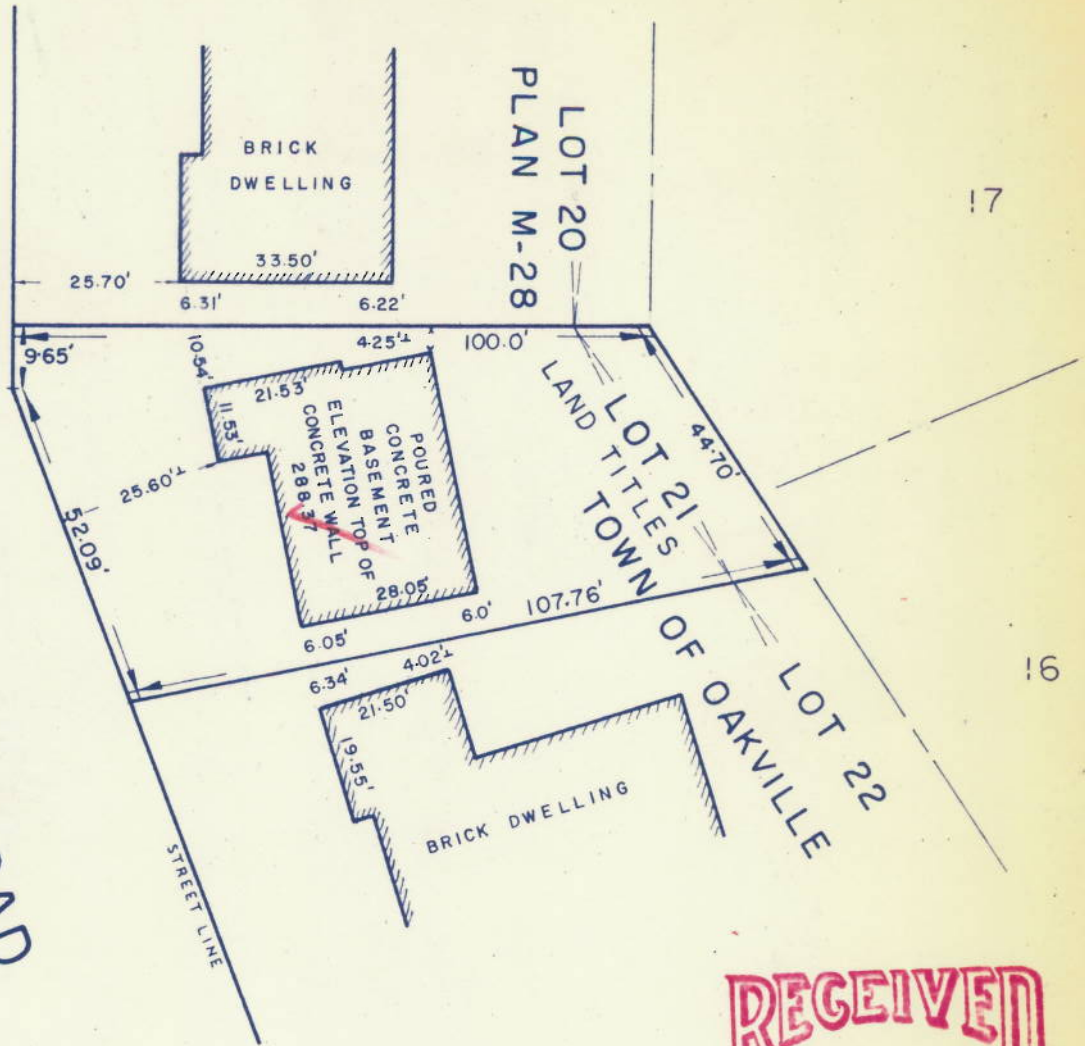
PROJECT: ADD'N TO 203 SUNNY RD ORVILLE
 The Undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.
 Qualification Information
 Syla Edelenboe BCN 26032
 Registration Information
 Just Drafting Ltd. BCN 31393 Date: JULY 16/24

ADD GRADING INFO TO SOUTH ELEV. 10.01.24

DRAWING ELEVATIONS			
DATE: MAR '24	SCALE: 1/4"=1'-0"	DRN: SD	PG: 3 OF 6

263 Sunray

SUNRAY ROAD



284-95

RECEIVED

OCT 20 1969

TOWN OF OAKVILLE BUILDING DEPARTMENT

SCALE 1" = 30'



TOWN OF OAKVILLE ZONING DEPARTMENT

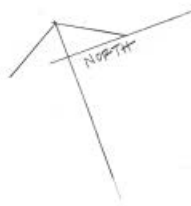
Approved by:

[Signature]
 OCT 20 1969

SEWELL AND SEWELL
 ONTARIO LAND SURVEYORS
 TORONTO
 233 ROBINSON ST. OAKVILLE

[Signature]
 H. D. SEWELL

DATE 7 OCTOBER 1969. NO. 69-200.



SUNRAY ROAD
SITE PLAN
SCALE 1/8" = 1'-0" (METRIC IN DIMENSIONS)

SITE CALCULATIONS

LOT AREA	4550.00 SQM	100.00 MS	
LOT COVER RATIO	20% MAXIMUM		
EX. DRIVEWAY	137.49 SQM	118.40 MS	
PROPOSED PORCHES	412.00 SQM	35.01 MS	
TOTAL COVERAGES	1000.49 SQM	105.81 MS	22.2%
PROPOSED ADDITION	360.00 SQM	30.78 MS	
TOTAL PROPOSED ADDITION	360.00 SQM	30.78 MS	44.52%

ADJUT. VIT AREA/PSI/PSI%	10.01 SQM
ADD. PAT. GRASS	10.01 SQM
100% FOR FRONT	17.17 SQM
100% FOR SIDE	17.17 SQM
ADD. STRUCTURAL 100% + 100%	17.15 SQM
100% FOR 2ND + 3RD	17.15 SQM
100% FOR 4TH	17.15 SQM
100% FOR 5TH	17.15 SQM
100% FOR 6TH	17.15 SQM
100% FOR 7TH	17.15 SQM
100% FOR 8TH	17.15 SQM
100% FOR 9TH	17.15 SQM
100% FOR 10TH	17.15 SQM

DESIGN & DRAINING BY
JUST DRAFTING LTD
TORONTO
416-464-3500

PROJECT: 2ND STY ADD N + INT. ALTERATIONS

SITE: 200 SUNRAY RD. DAVENPORT

CLIENT: MATHS + DRENT APARTMENTS

DRAWING: 2/17/2014 EX. 2 DRIVEWAY

DATE: APR 2014	DESIGN: MATHS	CHECK: MATHS	APP: MATHS
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PROJECT: ADD N + 2ND STY ADD N + INT. ALTERATIONS
The undersigned has assumed full legal responsibility for the design and construction of the above project and shall be held liable for any errors or omissions.
Registration Information
Just Drafting Ltd. 001-233-0000 Date: JULY 14/14

Notice of Public Hearing Committee of Adjustment Application



File # A/015/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, February 05, 2025 at 7 p.m.

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Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
B. Copeland	SYLVIA EDELENBOS JUST DRAFTING LTD 216 MEDLAND ST TORONTO ON M6P 2N7	263 Sunray Rd PLAN M28 LOT 21

Zoning of property: RL3-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit a second storey addition and porch addition proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.3.1 (Row 5, Column RL3)</i> The minimum interior side yard shall be 2.4 metres and 1.2 metres.	To reduce the minimum easterly interior side yard to 1.83 metres.
2	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling with a lot area less than 557.5m ² shall be 43%.	To increase the maximum residential floor area to 44.52%.
3	<i>Table 6.4.3</i> The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 6.8 metres.	To reduce the minimum front yard to 6.55 metres.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

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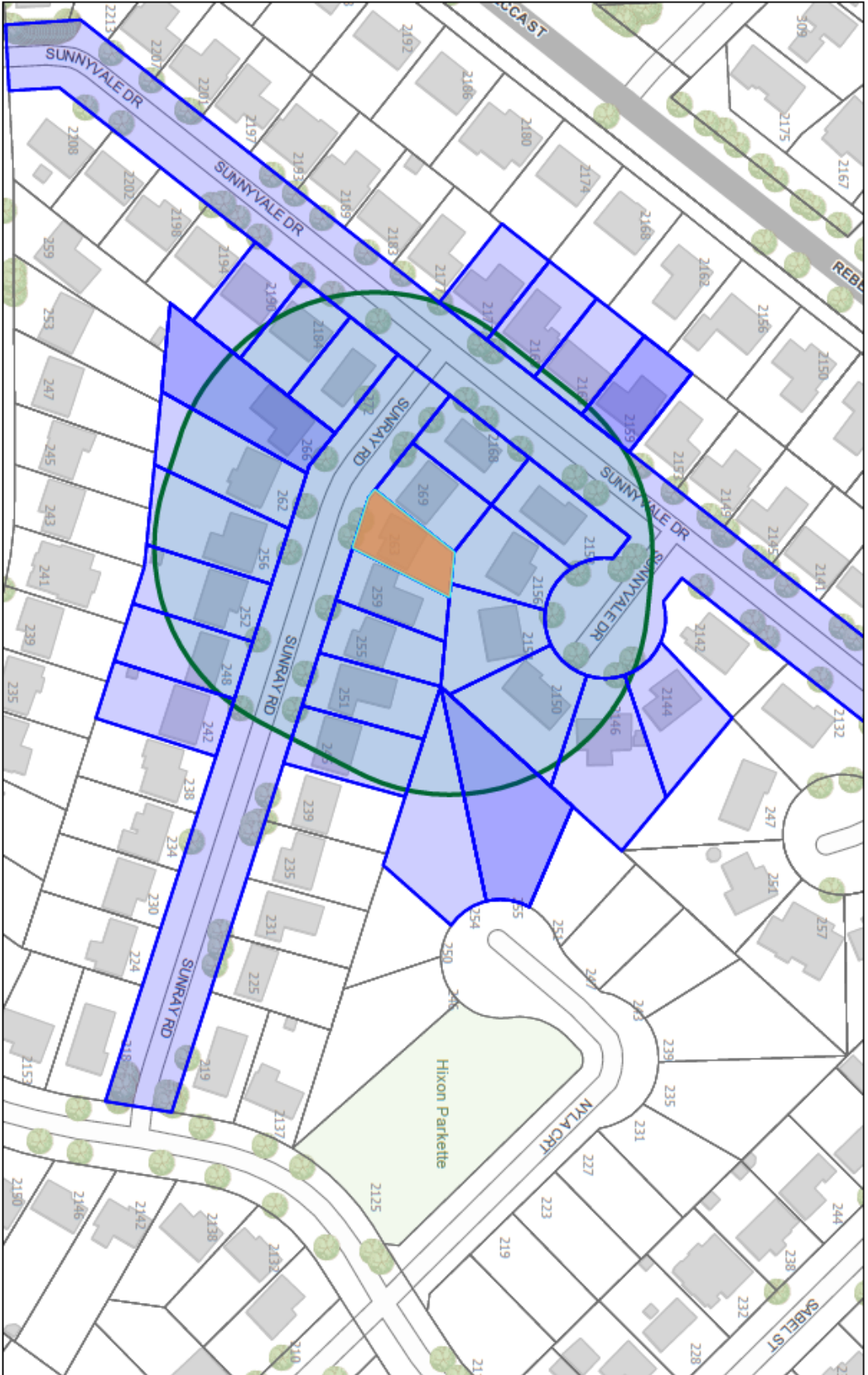
Contact information:

Jen Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/015/2025 - 263 Sunray Road



1/13/2025, 2:16:57 PM
Ownership
Applicant Name Address

Wards

0 0.01 0.03 0.05 mi
0 0.02 0.04 0.08 km

Town of Oakville
2021 Town of Oakville



1/4" = 1'-0"
FRONT ELEVATION

CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS

ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 4"

ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS

ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

QUALIFICATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION

AAMOU RAFIQ 113378
 NAME B.C.I.N.

LUCID HOMES INC. 114457
 FIRM NAME B.C.I.N.



LUCID HOMES INC.
 CUSTOM HOME AND RENOVATION DESIGN
 1435 CORNWALL RD - UNIT D2
 OAKVILLE ON - L6J 7T5
 T: 416-566-6588 E: INFO@LUCIDHOMES.CA
 WWW.LUCIDHOMES.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST

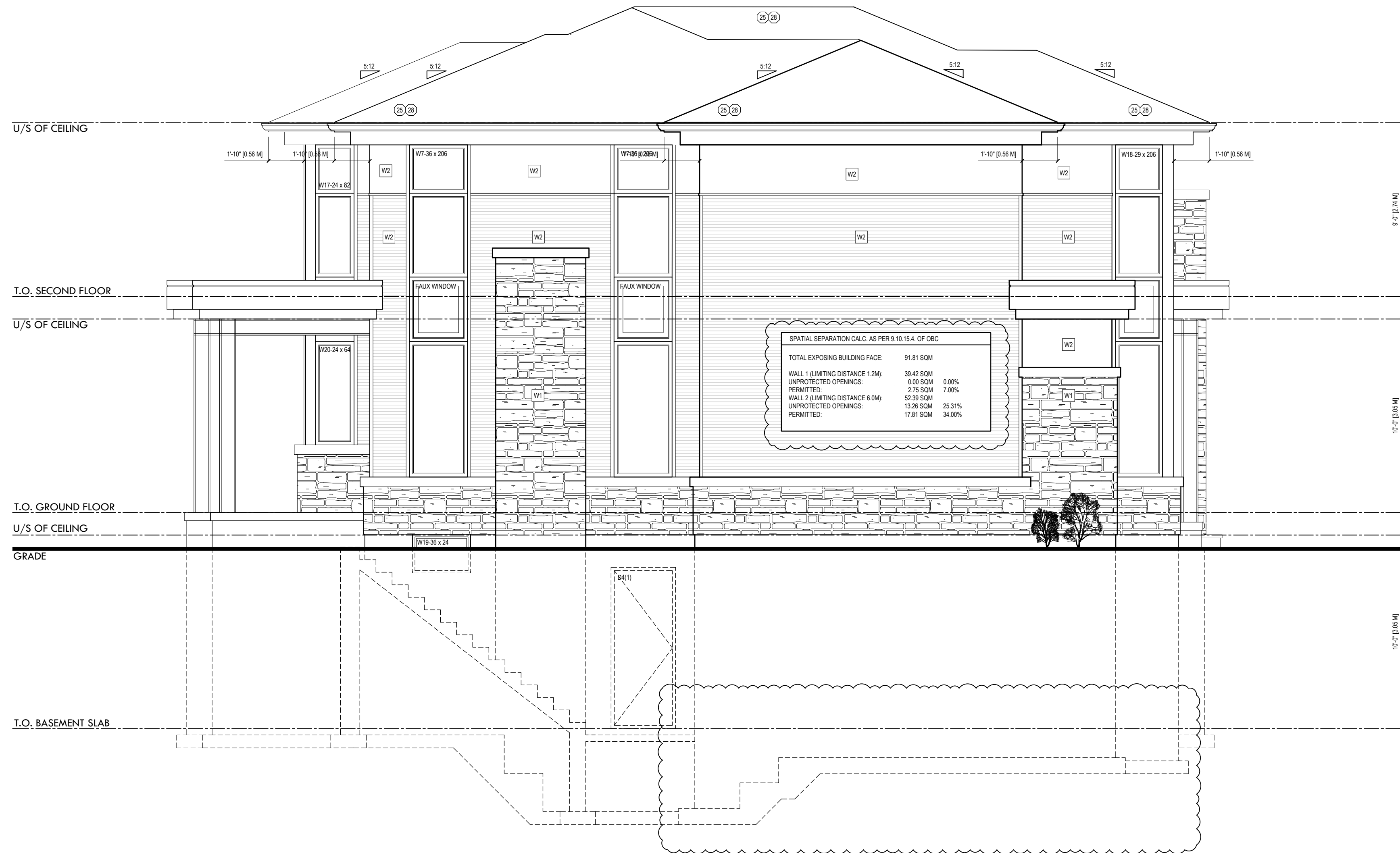
NO.	DESCRIPTION	DATE
1 -	MM.DD.YYYY	MM.DD.YYYY
2 -	MM.DD.YYYY	MM.DD.YYYY
3 -	MM.DD.YYYY	MM.DD.YYYY
4 -	MM.DD.YYYY	MM.DD.YYYY
5 -	MM.DD.YYYY	MM.DD.YYYY

ISSUE LIST

NO.	DESCRIPTION	DATE
1 -	MM.DD.YYYY	MM.DD.YYYY
2 -	MM.DD.YYYY	MM.DD.YYYY
3 -	MM.DD.YYYY	MM.DD.YYYY
4 -	MM.DD.YYYY	MM.DD.YYYY
5 -	MM.DD.YYYY	MM.DD.YYYY



DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 528 WEIR AVE, OAKVILLE
PROJECT NO: 2023-016 **SCALE:** 1/4" = 1'-0"
SHEET NO. **A201**



1/4" = 1'-0"
LEFT ELEVATION

CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS

ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 4"

ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS

ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

QUALIFICATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION

AAMOU RAFIQ 113376
NAME B.C.I.N.
LUCID HOMES INC. 114457
FIRM NAME B.C.I.N.



LUCID HOMES INC.
CUSTOM HOME AND RENOVATION DESIGN
1435 CORNWALL RD - UNIT D2
OAKVILLE ON - L6J 7T5
T: 416-566-6588 E: INFO@LUCIDHOMES.CA
WWW.LUCIDHOMES.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST

NO.	DATE	DESCRIPTION
1 -	MM.DD.YYYY	
2 -	MM.DD.YYYY	
3 -	MM.DD.YYYY	
4 -	MM.DD.YYYY	
5 -	MM.DD.YYYY	

ISSUE LIST

NO.	DATE	DESCRIPTION
1 -	MM.DD.YYYY	
2 -	MM.DD.YYYY	
3 -	MM.DD.YYYY	
4 -	MM.DD.YYYY	
5 -	MM.DD.YYYY	



DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: PR CHECKED BY: -
ADDRESS: 528 WEIR AVE, OAKVILLE
PROJECT NO: 2023-016 SCALE: 1/4" = 1'-0"
SHEET NO. **A202**



1/4" = 1'-0"
REAR ELEVATION

CONSTRUCTION NOTES

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QUALIFICATION INFORMATION

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 NAME B.C.I.N.

LUCID HOMES INC. 114457
 FIRM NAME B.C.I.N.



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 OAKVILLE ON - L6J 7T5
 T: 416-566-6588 E: INFO@LUCIDHOMES.CA
 WWW.LUCIDHOMES.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST

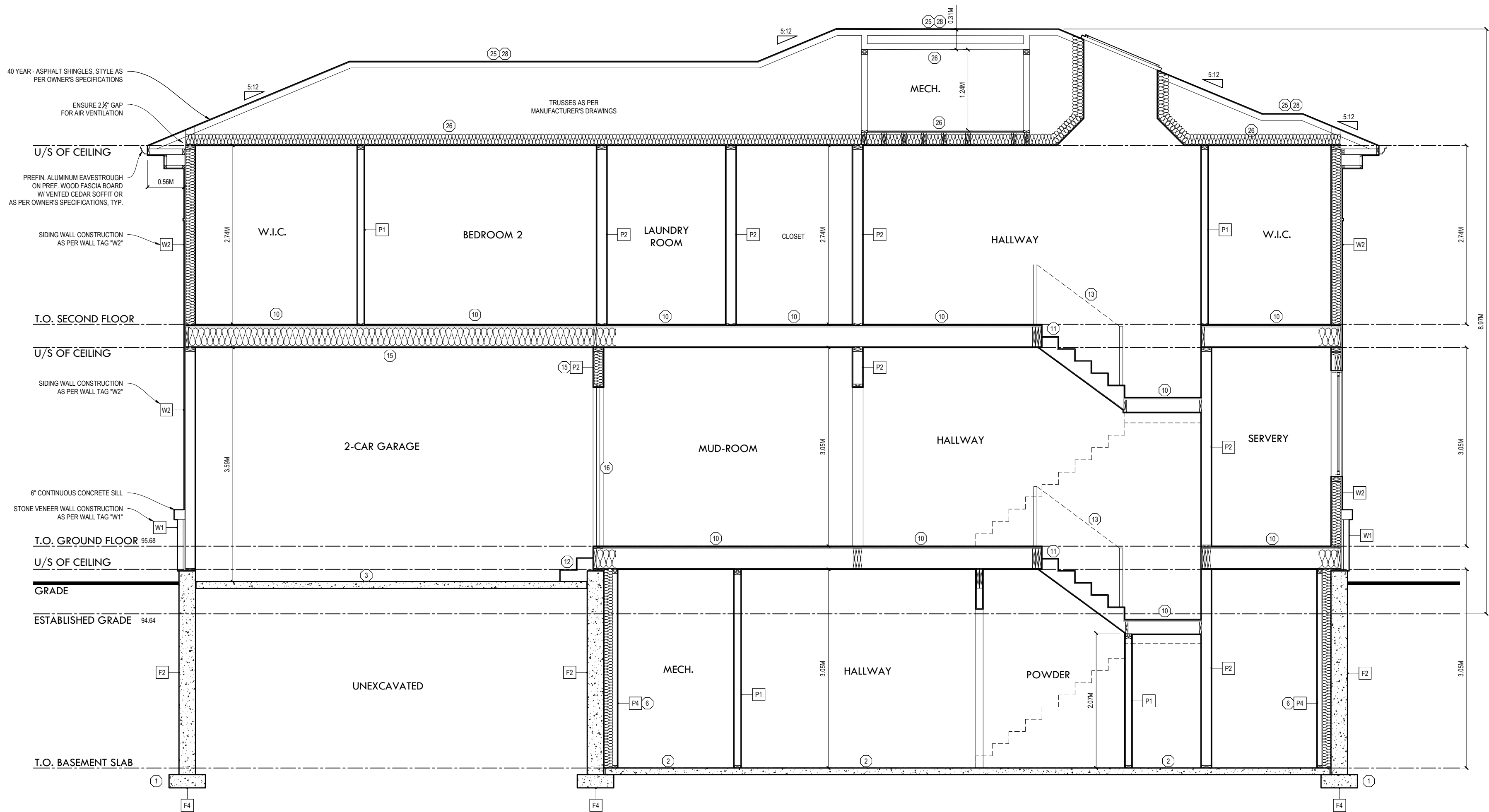
NO.	DESCRIPTION	DATE
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NO.	DESCRIPTION	DATE
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3 -		MM.DD.YYYY
4 -		MM.DD.YYYY
5 -		MM.DD.YYYY

ISSUE LIST



DRAWING TITLE: ARCHITECTURAL ELEVATIONS
 DRAWN BY: PR CHECKED BY: -
 ADDRESS: 528 WEIR AVE, OAKVILLE
 PROJECT NO: 2023-016 SCALE: 1/4" = 1'-0"
 SHEET NO. **A203**



40 YEAR - ASPHALT SHINGLES, STYLE AS PER OWNER'S SPECIFICATIONS
 ENSURE 2" GAP FOR AIR VENTILATION
 U/S OF CEILING
 PREFIN. ALUMINUM EAVESTROUGH ON PREF. WOOD FASCIA BOARD W/ VENTED CEDAR SOFFIT OR AS PER OWNER'S SPECIFICATIONS, TYP.
 SIDING WALL CONSTRUCTION AS PER WALL TAG "W2"

6" CONTINUOUS CONCRETE SILL
 STONE VENEER WALL CONSTRUCTION AS PER WALL TAG "W1"
 T.O. GROUND FLOOR 95.00
 U/S OF CEILING
 GRADE
 ESTABLISHED GRADE 94.64

T.O. BASEMENT SLAB

1/4" = 1'-0"
SECTION VIEW

CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES
 POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS
 ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 4"
 ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS
 ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

QUALIFICATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 AAMOU RAFIQ 113576
 NAME B.C.I.N.
 LUCID HOMES INC. 114457
 FIRM NAME B.C.I.N.



LUCID HOMES INC.
 CUSTOM HOME AND RENOVATION DESIGN
 1435 CORNWALL RD - UNIT D2
 OAKVILLE ON - L6J 7T5
 T: 416-566-6588 E: INFO@LUCIDHOMES.CA
 WWW.LUCIDHOMES.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST

NO.	DESCRIPTION	DATE
1 -		MM.DD.YYYY
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ISSUE LIST

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2 -		MM.DD.YYYY
3 -		MM.DD.YYYY
4 -		MM.DD.YYYY
5 -		MM.DD.YYYY



DRAWING TITLE: SECTION & DETAILS
 DRAWN BY: PR CHECKED BY: -
 ADDRESS: 528 WEIR AVE, OAKVILLE
 PROJECT NO: 2023-016 SCALE: 1/4" = 1'-0"
 SHEET NO. **A301**

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LOT 65

LOT 61

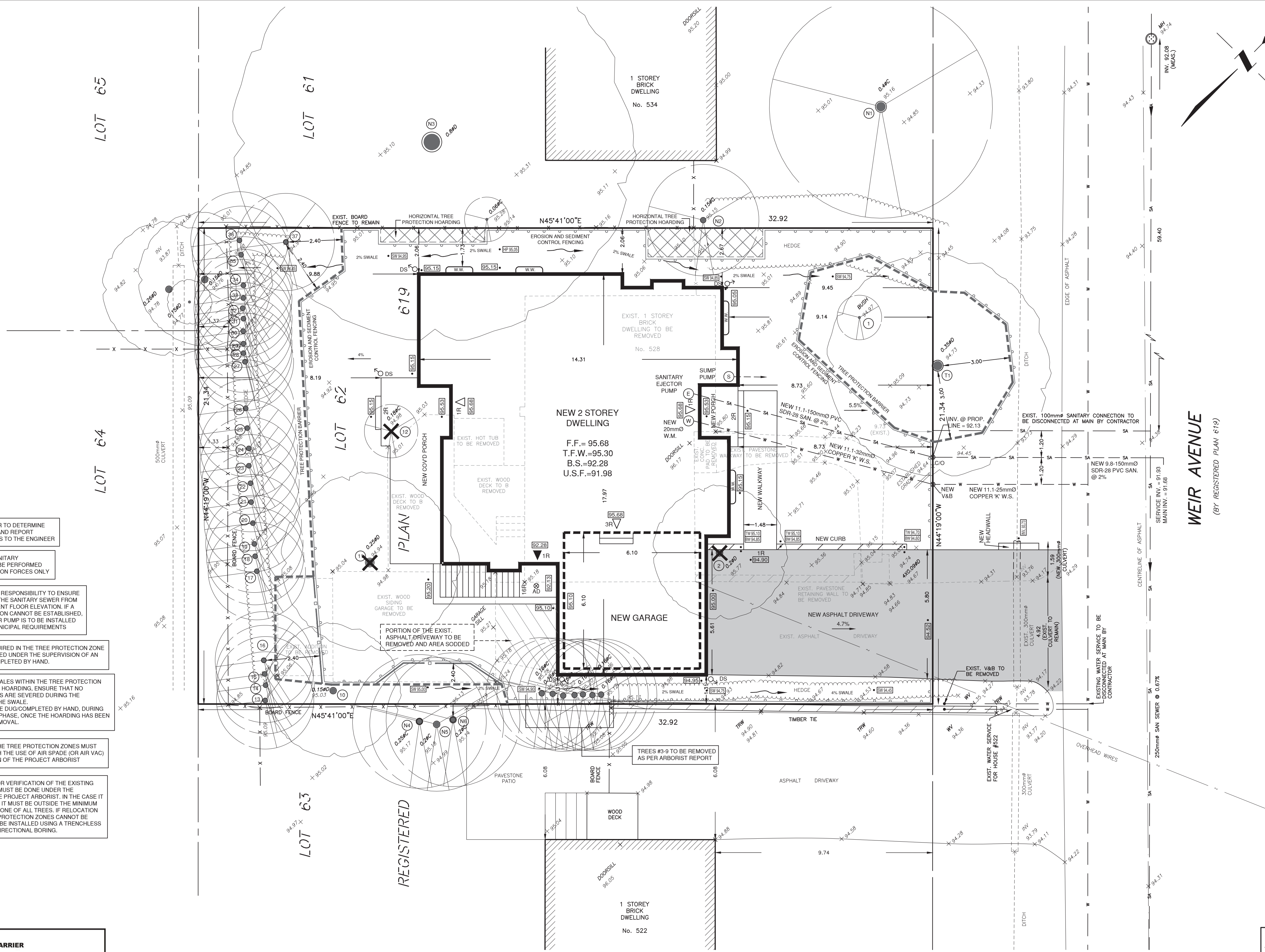
LOT 64

LOT 62

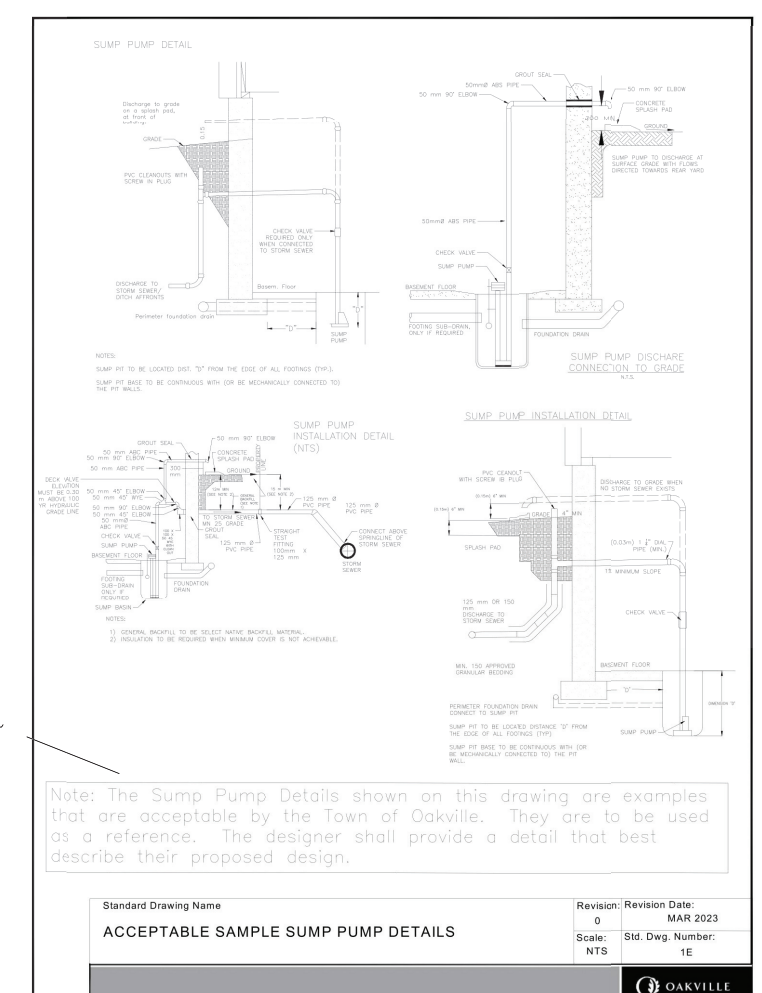
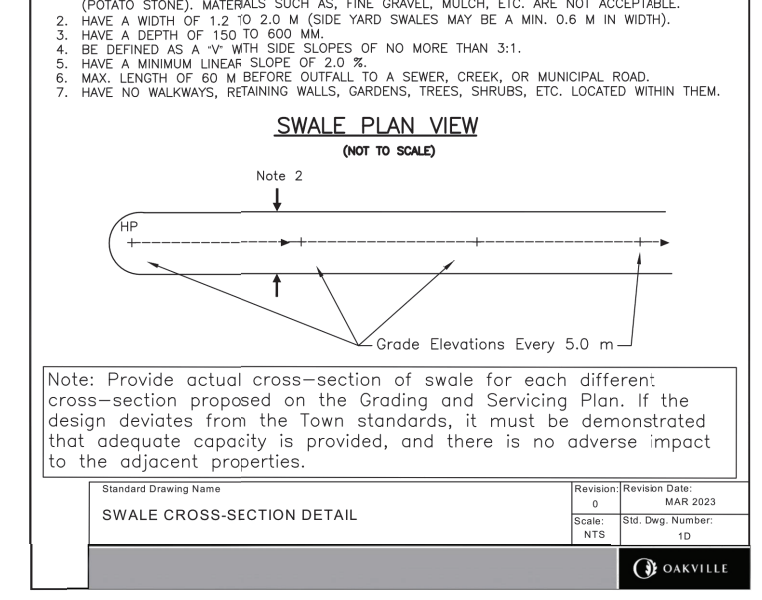
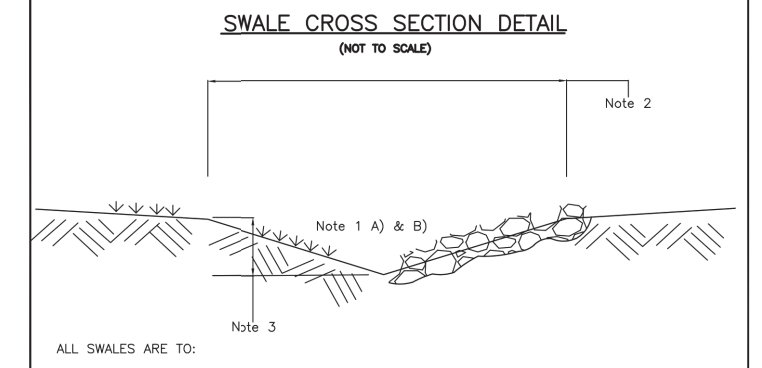
LOT 63

REGISTERED

WEIR AVENUE
(BY REGISTERED PLAN 619)



EXISTING ZONING RLS-0 By-law 2014-014		
LOT AREA	702.1 m ²	
LOT FRONTAGE	21.34 m	
BUILDING DATA		
	ALLOWED	PROPOSED
MAX. LOT COVERAGE	(35%) 245.7 m ²	(31.8%) 223.28 m ²
GROSS FLOOR AREA:		
GROUND FLOOR	155.93 m ²	
SECOND FLOOR	152.07 m ²	
TOTAL	(41%) 287.9 m ²	43.87% 308.00 m ²
MAX. HEIGHT	9.00 m	8.97 m
SETBACKS:		
MIN. FRONT YARD	9.73 m	8.73 m
MIN. REAR YARD	7.50 m	8.19 m
MIN. SIDE YARD (NORTH)	1.20 m	2.06 m
(SOUTH)	1.20 m	1.31 m



NOTE: CONTRACTOR TO DETERMINE EXISTING INVERTS AND REPORT ANY DISCREPANCIES TO THE ENGINEER

ALL WATER AND SANITARY MAIN TAPS ARE TO BE PERFORMED BY REGION OF HALTON FORCES ONLY

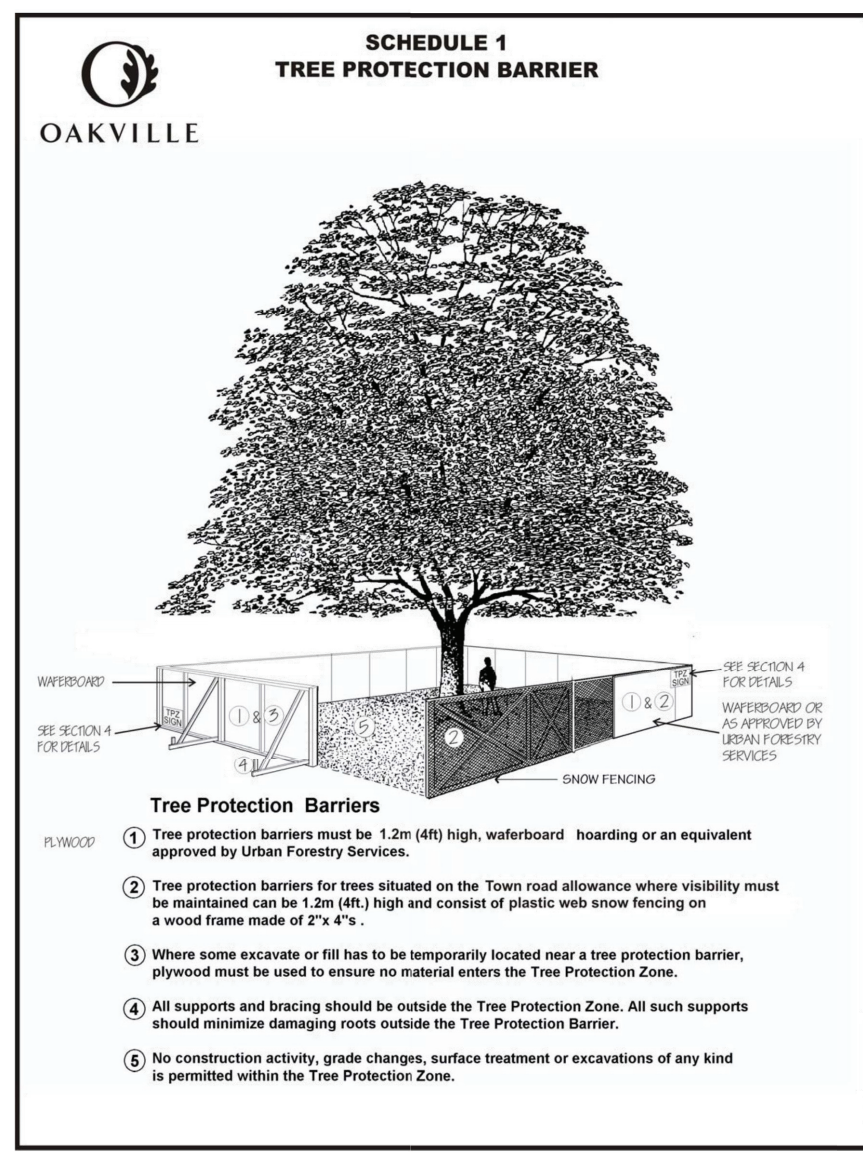
IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW OF THE SANITARY SEWER FROM PROPOSED BASEMENT FLOOR ELEVATION. IF A GRAVITY CONNECTION CANNOT BE ESTABLISHED, A SEWAGE EJECTOR PUMP IS TO BE INSTALLED AS PER O.B.C. & MUNICIPAL REQUIREMENTS

ANY GRADING REQUIRED IN THE TREE PROTECTION ZONE SHALL BE COMPLETED UNDER THE SUPERVISION OF AN ARBORIST AND COMPLETED BY HAND.

FOR PROPOSED SWALES WITHIN THE TREE PROTECTION ZONE AND/OR BEHIND HOARDING, ENSURE THAT NO STRUCTURAL ROOTS ARE SEVERED DURING THE INSTALLATION OF THE SWALE. THE SWALE MUST BE DUG/COMPLETED BY HAND, DURING THE LANDSCAPING PHASE, ONCE THE HOARDING HAS BEEN APPROVED FOR REMOVAL.

ALL WORK WITHIN THE TREE PROTECTION ZONES MUST BE COMPLETED WITH THE USE OF AIR SPADE (OR AIR VAC) UNDER SUPERVISION OF THE PROJECT ARBORIST

ANY EXCAVATION FOR VERIFICATION OF THE EXISTING SANITARY LATERAL MUST BE DONE UNDER THE SUPERVISION OF THE PROJECT ARBORIST. IN THE CASE IT MUST BE REPLACED, IT MUST BE OUTSIDE THE MINIMUM TREE PROTECTION ZONE OF ALL TREES. IF RELOCATION OUTSIDE THE TREE PROTECTION ZONES CANNOT BE ACHIEVED, IT SHALL BE INSTALLED USING A TRENCHLESS METHOD, SUCH AS DIRECTIONAL BORING.



SEWERS

DEPTH OF SANITARY SEWER CONNECTION AT THE STREET LINE TO BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION TO INSURE GRAVITY FLOW.

SUMP PUMP

FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SUMPED AND PUMPED TO THE SURFACE AND WILL DISCHARGE ONTO A CONCRETE SPLASH PAD IN THE FRONT OF THE HOUSE.

GENERAL NOTES

- SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF SITE GRADING WORKS, TO SATISFACTION OF THE CITY AND HALTON CONSERVATION.
- IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/BASE AREAS SHALL BE STABILIZED BY SEEDING.
- THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/OR EVERY WEEK.
- THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/OR REPLACED IF NECESSARY OR AS DIRECTED BY THE ENGINEER, CONSERVATION AUTHORITY OR THE CITY.
- ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION, GRADING, TOPSOILING AND SODDING ARE COMPLETE.
- WHEN ALL CONSTRUCTION, GRADING AND SODDING IS COMPLETED, THE SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS REINTEGRATED.
- ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.
- THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILED.
- CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

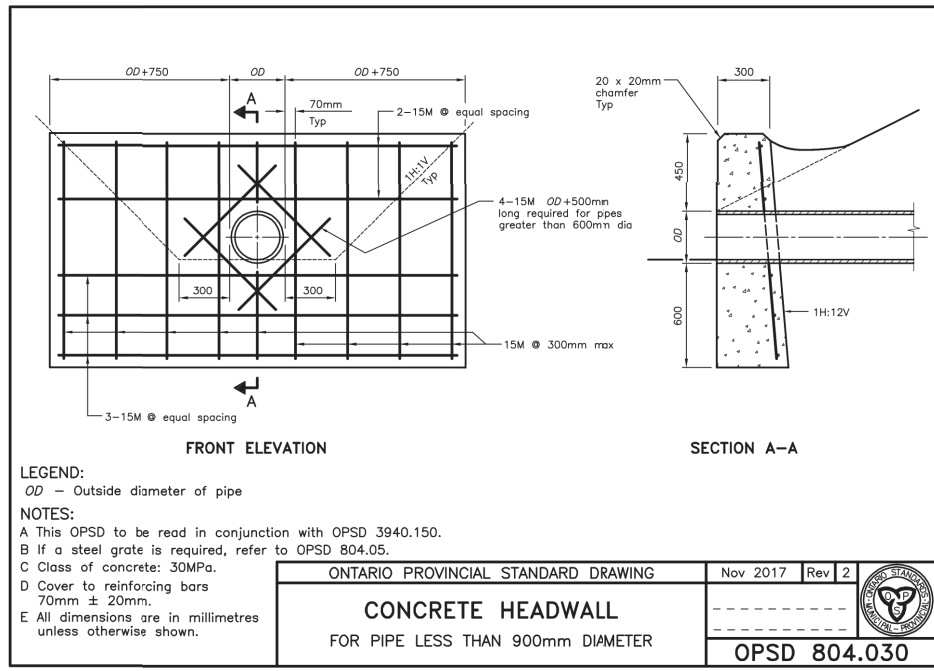
REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE AREA MUNICIPALITY.

DATED: _____ SIGNED: _____
INFRASTRUCTURE PLANNING AND POLICY

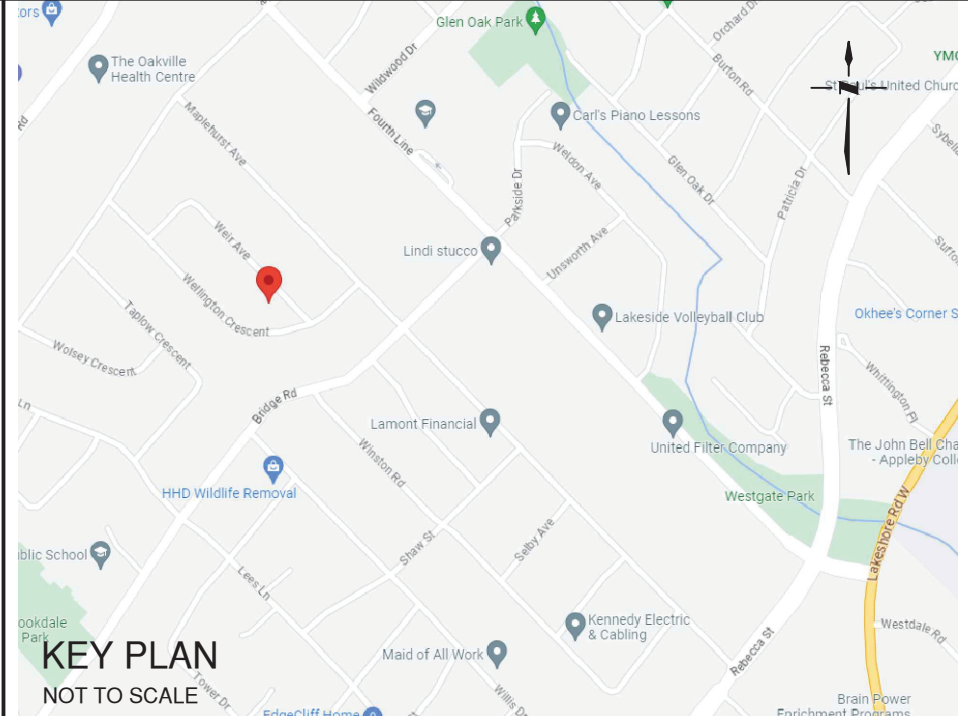
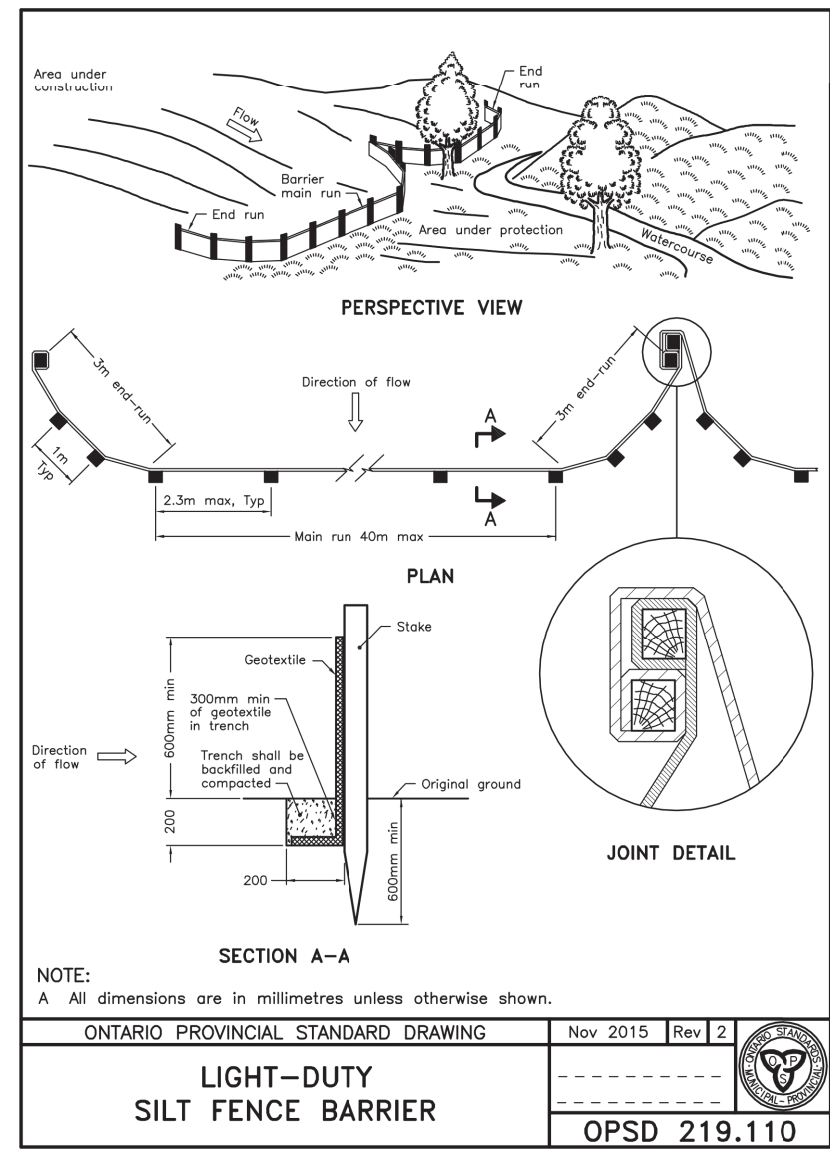
THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-855-6000). FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED ON.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.



EROSION AND SILTATION NOTES

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER:
 - WEEKLY
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40micron IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MIOCC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN A MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO: EROSION, FLOODING, NOISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS, ALL LETS (NEAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE LETS, ETC.) MUST BE SECURELY FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES, THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER OR OWNER'S AGENT SHALL IMMEDIATELY NOTIFY THE MIOCC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNER'S AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.



LEGAL DESCRIPTION:

LOT 62
REGISTERED PLAN 619
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 100
1 0 1 2 3 4 5 6 metres

SURVEY INFORMATION

SURVEY INFORMATION IS TAKEN FROM PLAN OF TOPOGRAPHY PREPARED BY TARASICK McMILLAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, DATED JUNE 14, 2023.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 193, HAVING A PUBLISHED ELEVATION OF 101.853 metres.

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

LEGEND	
CB	DENOTES CATCH BASIN
FI	DENOTES FIRE HYDRANT
MH	DENOTES MANHOLE
WUP	DENOTES WOOD UTILITY POLE
WV	DENOTES WATER VALVE
▲	DENOTES ENTRY POINT AT LOWER LEVEL
▲	DENOTES ENTRY POINT AT GROUND FLOOR
●	DENOTES PROPOSED SPOT ELEVATION
●	DENOTES PROPOSED RAINWATER DOWNSPOUT
●	DENOTES AREA DRAIN
○	DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
○	DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
○	DENOTES TREE TO BE REMOVED
○	DENOTES REPLACEMENT TREE
---	DENOTES TREE PROTECTION ZONE (1st STAGE)
---	DENOTES TREE PROTECTION ZONE (2nd STAGE)
→	DENOTES DIRECTION AND GRADIENT OF DRAINAGE
→	DENOTES DIRECTION OF SWALE

DO NOT SCALE DRAWINGS

- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.
- THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
- ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

1	DATE	REVISION

REVISIONS

CERTIFICATION FOR PROPOSED GRADING

AS PER OBC & 14.6.1.1 (1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

DATE: OCTOBER 25, 2023
MISSISSAUGA, ONTARIO
JACKIE HANG, Ontario Land Surveyor

APPLICANT/ OWNER
LUCID HOMES LTD.
1166 SOUTH SERVICE ROAD WEST
OAKVILLE, ON
L6L 5T7

SHEET TITLE:
SITE GRADING & SERVICING PLAN

PROJECT:
PROPOSED 2 STOREY DWELLING
528 WEIR AVENUE, OAKVILLE

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@trmsurveyors.com

SCALE: 1:100
DRAWN BY: D.H. FILE No. 9797-SGP-2023-10-24

WALL SCHEDULE - COMPLIANCE PACKAGE A1 OF 3.1.2.A OBC			
THE THERMAL VALUES IDENTIFIED IN THE ENERGY EFFICIENCY DESIGN SUMMARY (EEDS) FORM SHALL GOVERN OVER THOSE IN THE ARCHITECTURAL DRAWING SET IF ANY DISCREPANCIES EXIST.			
<p>W1</p> <p>STONEBRICK VENEER WALL CONSTR.</p> <ul style="list-style-type: none"> - 3/2" NATURAL STONE / BRICK VENEER OR AS PER PRODUCT MANUFACTURER - 1" AIR SPACE W/ FLASHING AND WEEP HOLES AS PER 9.20. OBC - 22MM x 180MM x 0.7MM (3/8" x 7" x 0.03") GALVANIZED METAL TIES @ 406MM (1'-4") O.C. HORIZ. AND 600MM (2'-0") O.C. VERT. - TYVEK AIR BARRIER OR APPROVED EQUAL (SHEATHING PAPER) - 13MM (1/2") EXTERIOR GRADE PLYWOOD SHEATHING - 38MM x 140MM (1 1/2" x 5 1/2") WOOD STUDS @ 406MM (1'-4") O.C. W/ RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 13MM (1/2") GYPSUM WALL BOARD INTERIOR FINISH 	<p>P1</p> <p>2' X 4' INTERIOR PARTITION</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 38MM x 89MM (2" x 4") @ 400MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM x 89MM (2" x 4") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS - 13MM (1/2") GYPSUM WALL BOARD 	<p>P3</p> <p>2' X 10' INTERIOR PARTITION</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 38MM x 235MM (2" x 10") @ 400MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM x 235MM (2" x 10") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS - 13MM (1/2") GYPSUM WALL BOARD 	<p>F1</p> <p>8" FOUNDATION WALL</p> <ul style="list-style-type: none"> 200MM (8") POURED CONCRETE FOUNDATION WALL (20 MPa) OR 200MM (8") CONCRETE MASONRY UNITS BITUMINOUS DAMPROOFING DRAINAGE MAT FOUNDATION WALL REINFORCED WITH 2-15M REBARS @ TOP OF FOUNDATION WALL & 15M REBAR @ 16" O.C. BOTH DIRECTIONS TYP. (OR AS OTHERWISE SPECIFIED) ENSURE MIN. 1 1/2" CONC. COVER SEE DETAILS FOR REFERENCE IF REQUIRED
<p>W2</p> <p>SIDING WALL CONSTRUCTION</p> <ul style="list-style-type: none"> - PREF. SIDING VENEER AS PER MANUFACTURER - TYVEK AIR BARRIER OR APPROVED EQUAL (SHEATHING PAPER) - 13MM (1/2") EXTERIOR GRADE PLYWOOD SHEATHING 38MM x 140MM (1 1/2" x 5 1/2") WOOD STUDS @ 406MM (1'-4") O.C. W/ RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 13MM (1/2") GYPSUM WALL BOARD INTERIOR FINISH 	<p>P2</p> <p>2' X 6' INTERIOR PARTITION</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 38MM x 140MM (2" x 6") @ 400MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM x 140MM (2" x 6") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS - 13MM (1/2") GYPSUM WALL BOARD 	<p>P4</p> <p>2' X 3' INTERIOR PARTITION AT @ FOUNDATION WALL (INSULATED)</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 38MM x 89MM (2" x 4") @ 400MM (1'-4") O.C. - 140MM (5 1/2") CONTINUOUS RSI 3.52 CI (R20) CI BATT INSULATION - GRADE DAMPROOF W/ BLDG. PAPER UP TO GRADE LEVEL 	<p>F2</p> <p>10" FOUNDATION WALL</p> <ul style="list-style-type: none"> 250MM (10") POURED CONCRETE FOUNDATION WALL (20 MPa) OR 250MM (10") CONCRETE MASONRY UNITS BITUMINOUS DAMPROOFING DRAINAGE MAT FOUNDATION WALL REINFORCED WITH 2-15M REBARS @ TOP OF FOUNDATION WALL & 15M REBAR @ 16" O.C. BOTH DIRECTIONS TYP. (OR AS OTHERWISE SPECIFIED) ENSURE MIN. 1 1/2" CONC. COVER SEE DETAILS FOR REFERENCE IF REQUIRED
<p>W3</p> <p>STUCCO WALL CONSTRUCTION</p> <ul style="list-style-type: none"> - STUCCO VENEER W/ RS INSULATED RIGID AS PER MANUFACTURER - TYVEK AIR BARRIER OR APPROVED EQUAL (SHEATHING PAPER) - 13MM (1/2") EXTERIOR GRADE PLYWOOD SHEATHING - 38MM x 140MM (1 1/2" x 5 1/2") WOOD STUDS @ 406MM (1'-4") O.C. W/ RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 13MM (1/2") GYPSUM WALL BOARD INTERIOR FINISH 	<p>P2a</p> <p>2' X 6' INTERIOR POCKET DOOR WALL</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 38MM x 140MM (2" x 6") @ 400MM (1'-4") O.C. ON SIDE BEARING PARTITIONS TO BE 38MM x 140MM (2" x 6") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS - 13MM (1/2") GYPSUM WALL BOARD 	<p>P4a</p> <p>2' X 3' INTERIOR PARTITION AT @ FOUNDATION WALL (INSULATED)</p> <ul style="list-style-type: none"> - 13MM (1/2") GYPSUM WALL BOARD - 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL - 38MM x 89MM (2" x 4") @ 400MM (1'-4") O.C. - 89MM (3 1/2") CONTINUOUS RSI 3.52 CI (R20) CI SPRAY FOAM INSULATION - GRADE DAMPROOF W/ BLDG. PAPER UP TO GRADE LEVEL 	<p>F3</p> <p>12" FOUNDATION WALL</p> <ul style="list-style-type: none"> 300MM (12") POURED CONCRETE FOUNDATION WALL (20 MPa) OR 300MM (12") CONCRETE MASONRY UNITS BITUMINOUS DAMPROOFING DRAINAGE MAT FOUNDATION WALL REINFORCED WITH 2-15M REBARS @ TOP OF FOUNDATION WALL & 15M REBAR @ 12" O.C. VERT. AND 16" O.C. HORIZ. DIRECTIONS TYP. (OR AS OTHERWISE SPECIFIED) ENSURE MIN. 1 1/2" CONC. COVER SEE DETAILS FOR REFERENCE IF REQUIRED

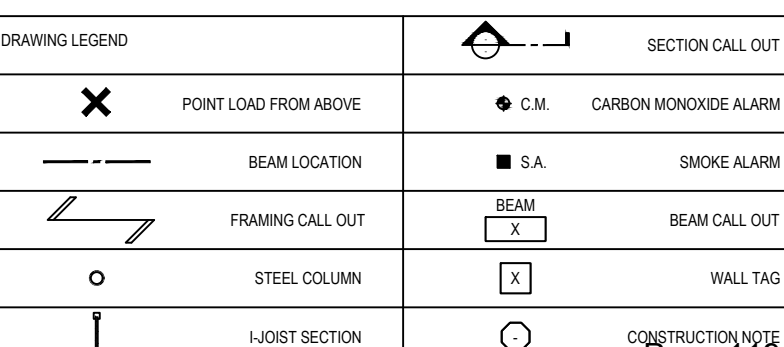
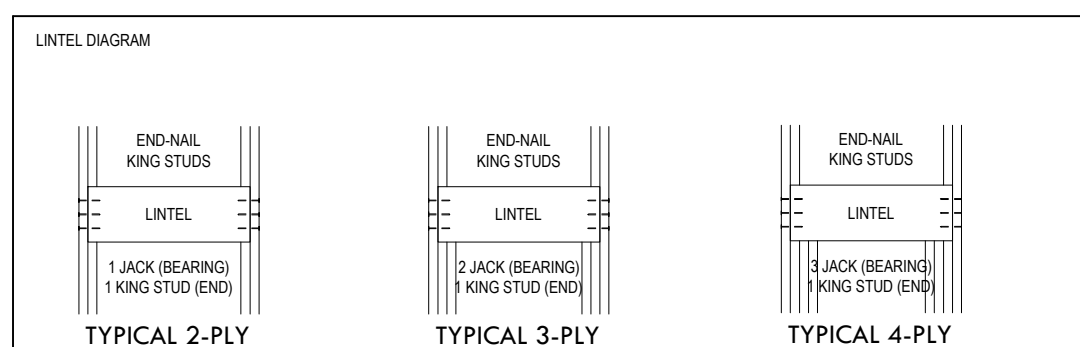
ABBREVIATIONS

AB.	AIR BARRIER	MIN.	MINIMUM
ALUM.	ALUMINUM	O.C.	ON CENTER
B/W	BETWEEN	PL	POINT LOAD FROM
C.J.	CEILING JOIST	PL	POINT LOAD FROM
C.L.	CENTERLINE	PREF.	PREFINISHED
CONC.	CONCRETE	PREP.	PREPARATION
D.A.	DIAMETER	P.T.	PRESSURE TREATED
D.J.	DOUBLE JOIST	R.J.	ROOF JOIST
E.G.	EXTERIOR GRADE	R.R.	ROOF RAFTERS
E.T.	EAVESTROUGH	R.V.	ROOF VENT
E.V.	EXHAUST FAN	T.J.	TRIPLE JOIST
F.J.	FLOOR JOIST	T.O.	TOP OF
F.R.	FIRE RATING	TYP.	TYPICAL
F.R.R.	FIRE RESISTANCE RTG.	U.S.	UNDERSIDE
G.T.	GIRDER TRUSS	V.B.	VAPOUR BARRIER
LDG.	LEDGER	W/	WITH
MAX.	MAXIMUM		

ALL CODE REFERENCES, CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE TO THE LATEST VERSION OF THE O.B.C. AS AMENDED

CONSTRUCTION NOTE SCHEDULE

<p>1. WEEPER TILE</p> <p>100 MM (4") DIA. WEEPER TILE W/ 150 MM (6") MIN. CRUSHED GRANULAR.</p> <p>2. POURED CONCRETE BASEMENT/ UNEXCAVATED PORCH SLAB</p> <p>100 MM (4") 25 MPa (3600 psi) POURED CONCRETE SLAB C/W 6 MIL. POLY. VAPOUR BARRIER OVER 2" RIGID INSULATION ON 150 MM (6") CRUSHED GRANULAR FILL.</p> <p>3. POURED CONCRETE GARAGE SLAB</p> <p>100 MM (4") 32 MPa (4640 psi) POURED CONCRETE SLAB W/ 5-8% AIR ENTRAINMENT ON 100MM (4") COARSE GRANULAR FILL W/ COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT OF GARAGE MIN. 1%.</p> <p>4. COLD STORAGE PORCH SLAB- FOR A MAX. 2500 MM (8'-3") PORCH DEPTH</p> <p>130 MM (5") 32 MPa (4640 psi) CONCRETE SLAB W/ 5-8% AIR ENTRAINMENT. REINFORCE W/ 10M BARS @ 200MM (8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. 610MM x 610MM (24" x 24") DOWELS @ 600MM (24") O.C. ANCHORED IN PERIMETER FOUNDATION WALLS. SLOPE SLAB MIN. 1% FROM DOOR.</p> <p>5. SILL PLATE</p> <p>38MM x 89MM (2" x 4") SILL PLATE W/ 13MM (1/2") DIA. 200MM (8") LONG 6 ANCHOR BOLTS EMBEDDED MIN. 100MM (4") INTO CONCRETE FOUNDATION WALL @ 2400MM (7'-10") O.C. PROVIDE CAULKING OR 25MM (1") MIN. MINERAL WOOL B/W SILL PLATE AND TOP OF CONCRETE FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHERE REQUIRED.</p> <p>6. WOOD IN CONTACT WITH CONCRETE</p> <p>WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED AND IN CONTACT WITH CONCRETE THAT IS LESS THAN 150 MM (6") ABOVE GRADE OR CONCRETE SLAB SHALL BE PROTECTED WITH 6 MIL. POLYETHYLENE FILM OR 15L (NO. 50) ROLL ROOFING DAMPROOFING BETWEEN WOOD AND CONCRETE.</p> <p>7. BEAM POCKET</p> <p>PROVIDE BEAM POCKET OR 200MM x 250MM (8" x 10") POURED CONCRETE NIB WALL. MIN. BEARING TO BE 90MM (3-1/2").</p> <p>8. FOUNDATION WALL REDUCTION/ REVERSE CHECK</p> <p>WHERE THE TOP OF A FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 350MM (14") AND NOT LESS THAN 90MM (3-1/2") THICK.</p> <p>9. FLOOR EXPOSED TO EXTERIOR</p> <p>PROVIDE RSI 5.46 (R31) INSULATION, 6 MIL. POLY. VAPOUR BARRIER AND CONT. TYVEK AIR BARRIER W/ PREF. SOFIT.</p> <p>10. FLOOR CONSTRUCTION</p> <p>PROVIDE 3/2" SUBFLOOR SHEATHING SCREWED AND GLUED TO FLOOR JOISTS. ALL FLOOR IN RESIDENTIAL OCCUPANCIES TO BE FINISHED AND OR WATER RESISTANT AS PER 9.3.1 AND 9.3.1.2. REFER TO 9.3.0.6 FOR CERAMIC TILE APPLICATION. PROVIDE 38MM x 38MM (2" x 2") CROSS BRACING OR SOLID BLOCKING @ 2100MM (6'-11") O.C. MAX. ALL JOISTS TO BE STRAPPED W/ 15MM x 64MM (1" x 3") @ 2100MM (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.</p> <p>11. EXTERIOR/INTERIOR STAIRS</p> <p>AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT, AND EXTERIOR STAIRS AND REQUIRED EXIT STAIRS SERVING A SINGLE DWELLING UNIT, SHALL HAVE A WIDTH OF NOT LESS THAN 860MM (2'-0"). MINIMUM HEIGHT OVER STAIRS AND LANDING WITHIN DWELLING UNITS SHALL BE 1950MM (6'-5"). THE VERTICAL HEIGHT BETWEEN ANY LANDINGS SHALL NOT EXCEED 3700 MM (12'-2").</p> <p>MAX. RISE: 200MM (7-7/8") MIN. RISE: 125MM (4-7/8") MAX. RUN: 355MM (14") MIN. RUN: 255MM (10") MAX. TREAD: 355MM (14") MIN. TREAD: 235 (9-1/4")</p> <p>ANGLED STAIRS SHALL HAVE AN AVERAGE RUN OF NOT LESS THAN 200MM (7-7/8") AND A MIN. RUN OF 150MM (5-7/8").</p> <p>12. PRECAST STEPS</p> <p>PRECAST CONCRETE STEP NOT MORE THAN 2 RISERS SHALL BE INSTALLED ON GRADE.</p> <p>13. EXTERIOR/INTERIOR GUARDS</p> <p>INTERIOR GUARDS: 900MM (2'-11") MIN. EXTERIOR GUARDS: 900MM (2'-11") MIN. FOR A GRADE DIFFERENCE LESS THAN 1800 MM (6'-0"), 1070MM (3'-6") MIN. FOR A GRADE DIFFERENCE MORE THAN 1800 MM (6'-0")</p> <p>HANDRAILS AT LANDINGS TO HAVE A MIN. HEIGHT OF 900MM (2'-11"). HANDRAILS AT STAIRS TO HAVE A MIN. HEIGHT OF 865MM (2'-10"). MIN. ONE HANDRAIL SHALL BE PROVIDED WITH STAIRS HAVING A WIDTH LESS THAN 1100MM (3'-7"). TWO HANDRAILS SHALL BE PROVIDED WITH STAIRS HAVING A WIDTH GREATER THAN 1100MM (3'-7").</p>	<p>14. TALL WALL</p> <p>PROVIDE 2-38MM x140MM (2-2" x 6") SPRUCE NO. 2 CONTINUOUS STUDS @ 300MM (1'-0") O.C. FOR BRICK AND 400MM (1'-4") O.C. FOR SIDING C/W 9.6MM (3/8") EXTERIOR GRADE PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220MM (4'-0") O.C. VERTICALLY.</p> <p>FOR HORIZONTAL DISTANCES NOT EXCEEDING 2900MM (9'-6"), PROVIDE 38MM x 140MM (2" x 6") WOOD STUDS @ 400MM (1'-4") O.C. C/W 3-38MM x 184MM (3-2" x 8") CONT. HEADER AT GROUND FLOOR CEILING LEVEL TO BE NEEDED & GLUED AT TOP PLATES, BOTTOM PLATES AND HEADERS.</p> <p>15. INTERIOR GARAGE PARTITION & CEILING</p> <p>13MM (1/2") GYPSUM WALL BOARD ON INTERIOR PARTITION AND CEILING BETWEEN HOUSE AND GARAGE. PROVIDE RSI 3.34 (R22) IN WALLS AND RSI 5.46 (R31) IN CEILING. TAPE, SEAL AND STRUCTURALLY SUPPORT ALL JOINTS IN ORDER TO BE GAS TIGHT.</p> <p>16. INTERIOR GARAGE MAIN DOOR</p> <p>DOOR AND FRAME TO BE GAS-PROOFED. DOOR TO BE EQUIPPED W/ SELF CLOSING DEVICE AND WEATHERSTRIPPING.</p> <p>17. DRYER EXHAUST</p> <p>CAPPED DRYER EXHAUST VENTED TO EXTERIOR. DUCTS SHALL CONFORM TO PART 6 OF THE O.B.C.</p> <p>18. MECHANICAL EXHAUST FAN FOR WASHROOM</p> <p>MECHANICAL EXHAUST FAN VENTED TO EXTERIOR TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. PROVIDE DUCT SCREEN AS PER 9.32.3.12.</p> <p>19. DIRECT VENT FURNACE TERMINAL FOR MECHANICAL ROOM</p> <p>DIRECT VENT FURNACE TERMINAL MIN. 900 MM (2'-11") FROM A GAS REGULATOR, MIN. 300MM (1'-0") ABOVE FINISHED GRADE, AWAY FROM ALL OPENINGS AND AWAY FROM EXHAUST AND INTAKE VENTS. HWV INTAKE TO MIN. 1850MM (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO LOCAL GAS UTILIZATION CODE.</p> <p>20. DIRECT VENT GAS FIREPLACE AND FIREPLACE FINISH</p> <p>DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. OF 300MM (1'-0") ABOVE FINISHED GRADE. AWAY FROM ALL OPENINGS AND AWAY FROM EXHAUST AND INTAKE VENTS. REFER TO LOCAL GAS UTILIZATION CODE. FIREPLACE TO COMPLY WITH CAN/ULC-S610-M "FACTORY BUILT FIREPLACES" INSTALLED WITH EXHAUST AS PER MANUFACTURER'S SPECIFICATIONS. IN THE CASE OF HEAVY MATERIAL CHOICE IN FINISHING OF FIREPLACE AN ENGINEER SHALL BE INVOLVED TO RECOMMEND REINFORCEMENT OF FLOOR BELOW TO SUPPORT WEIGHT.</p> <p>21. ATTIC ACCESS HATCH & CRAW SPACE HATCH</p> <p>500MM x 700MM (1'-8" x 2'-4") ATTIC ACCESS HATCH W/ WEATHERSTRIPPING AND RSI 10.56 (R60) RIGID INSULATION BAKING.</p> <p>22. EXTERIOR FIRE RATED WALL</p> <p>EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN WHERE LIMITING DISTANCES ARE LESS THAN 1200MM (3'-11") WHERE THE LIMITING DISTANCE IS LESS THAN 600MM (1'-11"). THE EXPOSING BUILDING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. INSTALL MIN. 15.9MM TYPE X GYPSUM BOARD INSIDE.</p> <p>23. BLOCKING BEHIND WASHROOM FIXTURES</p> <p>PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM AS PER OBC 9.5.2.3. GRAB BAR TO BE 840MM x 920MM (2'-9" x 3'-0") A.F. BEHIND TOILET AND 840MM (2'-9") A.F. ON THE WALL OPPOSITE TO THE ENTRANCE TO THE BATHUB OR SHOWER.</p> <p>24. NEW FOUNDATION JOINT INTO EXISTING FOUNDATION</p> <p>PROVIDE ONE ROW OF 10M DOWELS SPACED 16" O.C. VERTICALLY. SET DOWELS 8" IN 5/8" DRILLED HOLES FILLED WITH EPOXY RESIN IN EXISTING FOUNDATION WALL. ALLOW FOR 16" DOWEL PROJECTION INTO PROPOSED WALL. WATERPROOF AND SEAL JOINT ON EXTERIOR FACE OF CONCRETE FOUNDATION WALL.</p> <p>25. ROOF CONSTRUCTION</p> <p>ROOF TYPE AND CONSTRUCTION METHOD TO COMPLY WITH 9.2.6.3.1. OF OBC AS AMENDED. 210 (10.25KG/SQ. M.) 40 YEAR OLD ASPHALT SHINGLES, 13MM (1/2") PLYWOOD SHEATHING WITH "H" CLIPS ON APPROVED PRE-ENGINEERED WOOD TRUSSES OR CONVENTIONAL FRAMING AS PER PLAN. PROVIDE APPROVED GAVES PROTECTION EXTENDING 900MM (3'-0") FROM EDGE OF ROOF AND MIN. 300MM (1'-0") BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE 38MM x 89MM (2" x 4") TRUSS BRACING @ 1830MM (6'-0") O.C. @ BOTTOM CHORD</p> <p>26. ROOF INSULATION</p> <p>RSI 10.56 (R60) [RSI 5.46 (R31) FOR CEILING WITHOUT ATTIC SPACE] ROOF INSULATION AND APPROVED 6 MIL POLY. VAPOUR BARRIER, 16MM (5/8") INTERIOR DRYWALL FINISH OR APPROVED EQUAL.</p> <p>27. STEP FOOTINGS</p> <p>POURED CONCRETE STEP FOOTINGS TO HAVE A MIN. HORIZONTAL STEP OF 600MM (1'-11 5/8"). VERTICAL STEP TO HAVE MAX. 600MM (1'-11 5/8") STEP ON FIRM SOIL.</p>	<p>28. ROOF VENTILATION</p> <p>ROOF VENTILATION AS PER 9.19.1. VENT AREA SHALL BE NO LESS THAN 1/300 OF THE INSULATED CEILING AREA. WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NO LESS THAN 1/150 W/ NO LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF SPACE AND NO LESS THAN 25% LOCATED AT THE BOTTOM OF THE SPACE. NO LESS THAN 63MM OF SPACE SHALL BE PROVIDED BETWEEN TOP OF INSULATION AND UNDERSIDE OF ROOF SHEATHING. FULL 60 SQ IN OF NET FREE VENTILATING AREA (NFA) PER VENT.</p> <p>29. FLAT ROOFS</p> <p>CONFORMING TO C.G.S.B. 37-GP-56M "MEMBRANE, MODIFIED, BITUMINOUS, PREFABRICATED, AND REINFORCED FOR ROOFING"; 19MM (3/4") PLYWOOD SHEATHING WITH "H" CLIPS, ROOF FRAMING AS PER PLAN W/ PREF. ALUM. R.W.L.</p> <p>30. SLAB THICKENING UNDERNEATH LANDING</p> <p>SLAB UNDER LOAD BEARING WALLS SUPPORTING STAIR LANDINGS TO BE THICKENED TO 12" WITH 16" BOTTOM AND ANGELED MAX 45" TO HORIZONTAL SLAB.</p> <p>31. COOKING APPLIANCE EXHAUST FAN</p> <p>DUCTWORK FOR COOKING APPLIANCE EXHAUST FANS SHALL BE OF NON-COMBUSTIBLE, CORROSION-RESISTANT MATERIAL AND LEAD DIRECTLY TO THE OUTDOORS WITHOUT CONNECTION TO OTHER EXHAUST FANS OR DUCTS. DUCTWORK FOR COOKING APPLIANCE EXHAUST FANS SHALL BE EQUIPPED WITH A GREASE FILTER AT THE INTAKE.</p> <p>32. WINDOW WELLS</p> <p>ALL WINDOW WELLS DEEPER THAN 600MM SHALL BE EQUIPPED WITH A CERTIFIED, TRANSPARENT COVER THAT PREVENTS FROM FALLING INTO. INSTALLATION SHALL NOT COMPROMISE EASY ESCAPE REQUIRED BY 99.10.15. AS PER OBC.</p> <p>33. NAILING PATTERN FOR HIGH PERCENTAGE GLAZING WALLS</p> <p>FOR WALLS WHICH HAVE MORE THAN 75% GLAZING AND WHICH SERVE AS A SHEAR WALLS TIED TO PERPENDICULAR WALLS OF MINIMUM 40" IN LENGTH, THE NAILING PATTERN SHALL BE @ 6" O.C. WITH MIN. 3/4" PLYWOOD SHEATHING.</p>	<p>815 MM (3'-0") O.C.</p> <p>JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT UP WOOD MEMBERS INTERSECTING FLUSH BUILT UP WOOD MEMBERS. IF ANY DISCREPANCY EXISTS BETWEEN ENGINEERING DRAWINGS AND ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS AND NOTIFY DESIGNER IMMEDIATELY</p> <p>WOOD FRAMING NOT TREATED WITH WOOD PRESERVATIVE, OR IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 MIL. POLYETHYLENE FILM NO. 50 (45 LBS) ROLL FORMING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150 MM (6") ABOVE THE GROUND.</p> <p>TERMITE AND DECAY PROTECTION</p> <p>IN LOCATIONS WHERE TERMITES ARE KNOWN TO OCCUR, CLEARANCE BETWEEN STRUCTURAL WOOD ELEMENTS AND THE FINISHED GROUND LEVEL DIRECTLY BELOW THEM SHALL BE NOT LESS THAN 450MM (17-3/4") AND ALL SIDES OF SUPPORTING ELEMENTS SHALL BE VISIBLE TO INSPECTION.</p> <p>STRUCTURAL WOOD ELEMENTS SUPPORTED BY WOOD ELEMENTS IN CONTACT WITH THE GROUND OR OVER EXPOSED BARE SOIL SHALL BE PRESSURE TREATED WITH CHEMICAL THAT IS TOXIC TO TERMITES.</p> <p>STEEL</p> <p>STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".</p> <p>REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 40R</p> <p>SMOKE ALARM (REFER O.B.C. 9.10.19.1) ■ S.A.</p> <p>SMOKE ALARMS CONFORMING TO CAN/ULC-S531, "SMOKE ALARMS", SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM NOT WITHIN A DWELLING UNIT (9.10.19.1).</p> <p>THE SOUND PATTERN OF SMOKE ALARMS SHALL MEET THE TEMPORAL PATTERN OF ALARM SIGNALS, OR BE A COMBINATION OF TEMPORAL PATTERN AND VOICE RELAY (9.10.19.2).</p> <p>SMOKE ALARMS INSTALLED SHALL BE INSTALLED SO THAT THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENTS. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, A SMOKE ALARM SHALL BE INSTALLED IN THE HALLWAY.</p> <p>WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED IN A DWELLING UNIT, THE SMOKE ALARMS SHALL BE WIRELESS SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND (9.10.19.5).</p> <p>SMOKE ALARM SHALL HAVE A VISUAL COMPONENT AS REQUIRED BY OBC 9.10.19.1(2).</p> <p>CARBON MONOXIDE ALARMS (REFER TO O.B.C. 9.33.4) ◆ C.M.</p> <p>WHERE A FUEL BURNING APPLIANCE IS INSTALLED IN A SUITE OF A RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE. AN ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN EVERY SUITE OF RESIDENTIAL OCCUPANCY THAT IS ADJACENT TO THE SERVICE ROOM OR STORAGE GARAGE.</p> <p>INSTALL ALARMS AT MANUFACTURER'S RECOMMENDED HEIGHT, OR IN THE ABSENCE OF SPECIFIC, ON OR NEAR THE CEILING.</p> <p>A CARBON MONOXIDE ALARM SHALL BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE CARBON MONOXIDE ALARM. ALL CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED SO THAT ITS ACTIVATION WILL ACTIVATE ALL ALARMS WITHIN THE SUITE.</p> <p>ALARMS SHALL BE EQUIPPED SO THAT IT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED AND CONFORM TO CAN/CSA-6.19, "RESIDENTIAL CARBON MONOXIDE ALARMS DEVICES", OR UL 2034, "SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS".</p> <p>9.20.2 MASONRY UNITS</p> <p>9.20.2.1 MASONRY UNIT STANDARDS</p> <p>MASONRY UNITS SHALL COMPLY WITH,</p> <p>ASTM C73, "CALCIUM SILICATE BRICK (SAND-LIME BRICK)", ASTM C126, "CERAMIC GLAZED STRUCTURAL CLAY FACING TILE, FACING BRICK, AND SOLID MASONRY UNITS", ASTM C212, "STRUCTURAL CLAY FACING TILE", CAN/CSA-A82-1-M, "BURNED CLAY BRICK (SOLID MASONRY UNITS MADE FROM CLAY OR SHALE)", CSA A82-4-M, "STRUCTURAL CLAY LOAD-BEARING WALL TILE", CSA A82-5-M, "STRUCTURAL CLAY NON-LOAD-BEARING TILE", CAN3-A82-8-M, "HOLLOW CLAY BRICK", CAN/CSA-A165.1, "CONCRETE BLOCK MASONRY UNITS", CAN/CSA-A165.2, "CONCRETE BRICK MASONRY UNITS", CAN/CSA-A165.3, "PRECAST CONCRETE MASONRY UNITS", OR CAN3-A165.4-M, "AUTOCLAVED CELLULAR UNITS".</p> <p>25 MPA FOR ALL PAD AND STRIP FOOTINGS</p> <p>20 MPA FOR INTERIOR FLOORS OTHER THAN GARAGE AND CARPORT FLOORS</p> <p>15 MPA FOR ALL OTHER APPLICATIONS</p>
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QUALIFICATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION

AA000 RAQIO 113576
NAME B.C.I.N.

LUCID HOMES INC. 114457
FIRM NAME B.C.I.N.

LUCID HOMES INC.
CUSTOM HOME AND RENOVATION DESIGN
1435 CORNWALL RD - UNIT D2
OKVILLE ON L5J 1T5
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WWW.LUCIDHOMES.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST

1	-	MM.DD.YYYY
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

ISSUE LIST

1	-	MM.DD.YYYY
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

DRAWING TITLE: GENERAL NOTES

DRAWN BY: PR **CHECKED BY:**

ADDRESS: 528 WEIR AVE, OKVILLE

PROJECT NO.: 2023-016 **SCALE:**

SHEET NO.: A001

Notice of Public Hearing Committee of Adjustment Application



File No.: A/025/2025

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at Oakville.ca on Wednesday February 05, 2025 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
M. KHALID	Pamir Rafiq Lucid Homes Inc. 1435 CORNWALL RD UNIT D2 Oakville ON L6J 7T5	528 Weir Ave PLAN 619 LOT 62

Zoning of Property: RL3-0, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m ² and 742.99 m ² shall be 41%.	To increase the maximum residential floor area ratio to 43.87%.

How do I participate if I have comments or concerns?

Submit written correspondence

You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by teleconference or videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with all applicable access codes and instructions to enter the electronic hearing and may also be asked to test their audio/video capabilities prior to the hearing.

Watch the Committee of Adjustment hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at Oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

Contact information:

Jen Ulcar
Secretary-Treasurer, Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

January 21, 2025

A/025/2025 - 528 Weir Avenue

