



# Committee of Adjustment Town of Oakville

## AGENDA

Date: December 11, 2024  
Time: 7:00 pm  
Location: Virtual Meeting

Live streaming video is available at [oakville.ca/live.html](http://oakville.ca/live.html) or the Town's YouTube channel at [youtube.com/user/townofOakvilleTV](https://youtube.com/user/townofOakvilleTV).

### **Making submissions to the Committee of Adjustment**

To participate in the electronic hearing or to submit written correspondence regarding an application on the agenda, please email the Secretary-Treasurer at [coarequests@oakville.ca](mailto:coarequests@oakville.ca), or call 905-845-6601 ext. 1829, by noon the day before the hearing date.

---

	<b>Pages</b>
1. Reading of Preamble	
2. Regrets	
3. Declarations of Pecuniary Interest	
4. Requests for Deferrals or Withdrawals of Applications	
5. Consent Application(s)	
None	
6. Minor Variance Application(s)	
6.1 CAV A/158/2024 - 25 Lambert Common	3 - 10
6.2 CAV A/167/2024 - 20 Belvedere Drive	11 - 31
6.3 CAV A/168/2024 - 78 Trafalgar Road	32 - 55
6.4 CAV A/169/2024 - 2114 Hixon Street	56 - 65
6.5 CAV A/170/2024 - 324 Spruce Street	66 - 78

6.6	CAV A/171/2024 - 115 Glenashton Drive	79 - 87
6.7	CAV A/172/2024 - 147 Elmwood Road	88 - 145
6.8	CAV A/173/2024 - 2318 Bennington Gate	146 - 155
6.9	CAV A/174/2024 - 412 Silver Maple Road	156 - 159
6.10	CAV A/139/2024 - 208 Donessle Drive (Deferred from October 2, 2024)	160 - 181

7. Confirmation of Minutes

8. Adjournment



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/158/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
J. Gouda	Kruti Shah/Amritpal Kaur RJ CAD SOLUTIONS INC 4 ABACUS Rd Unit BRAMPTON ON, CANADA L6T 5J6	25 Lambert Common HVLCP 620 LEVEL 1 UNIT 16

**Zoning of property:** RL1-0 sp:314, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit a below grade entrance in the rear yard on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	Table 6.3 (Row 6, Column RL1) The minimum rear yard shall be 10.5 metres.	To reduce the minimum rear yard to 8.6 metres.
2	Table 4.3 (Row 18, Column 3) Maximum encroachment into a minimum rear yard for uncovered access stairs below grade shall be 1.5 metres.	To increase the maximum encroachment into the minimum rear yard for uncovered access stairs below grade to 3.2 metres.

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

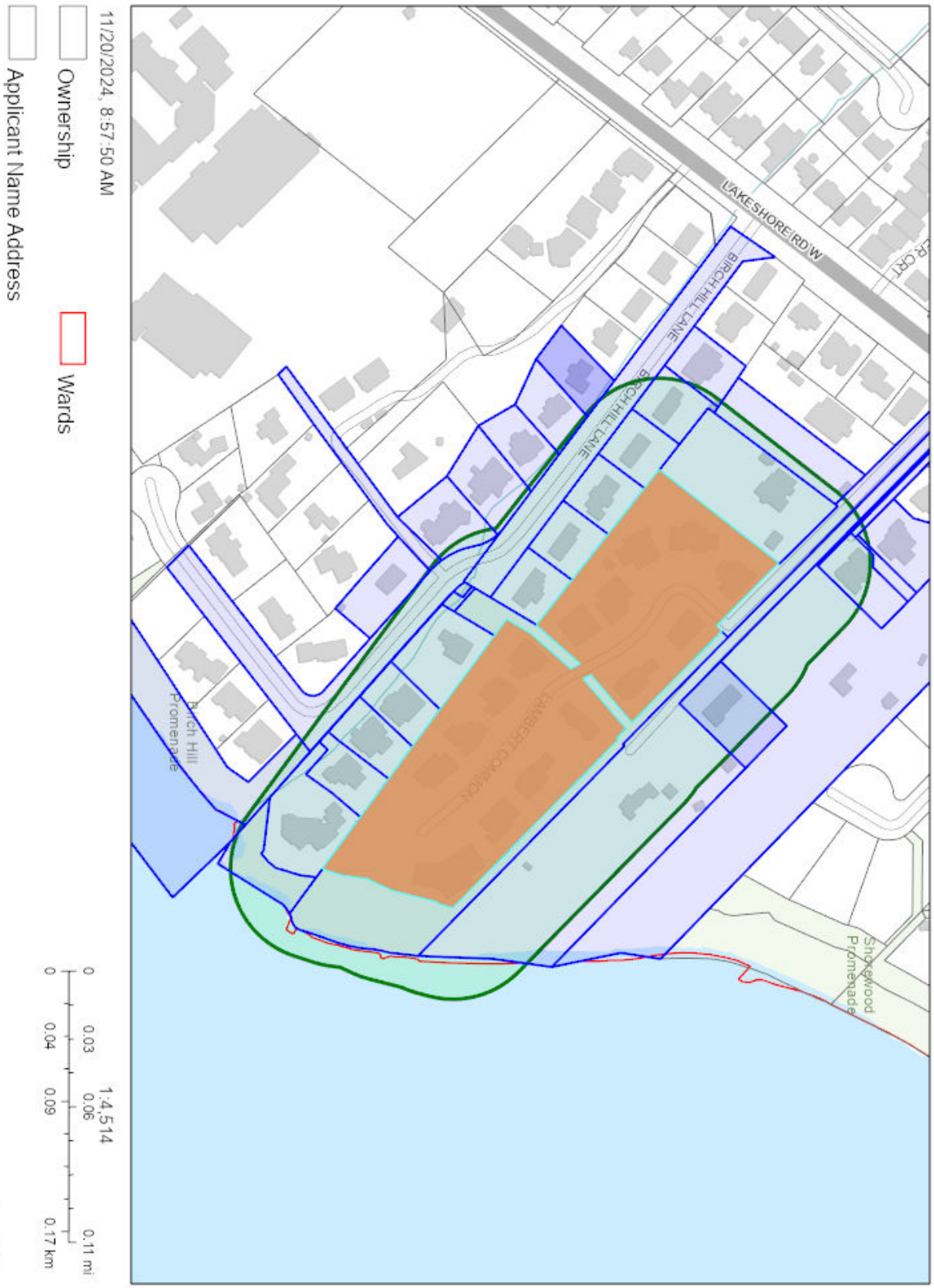
### **Contact information:**

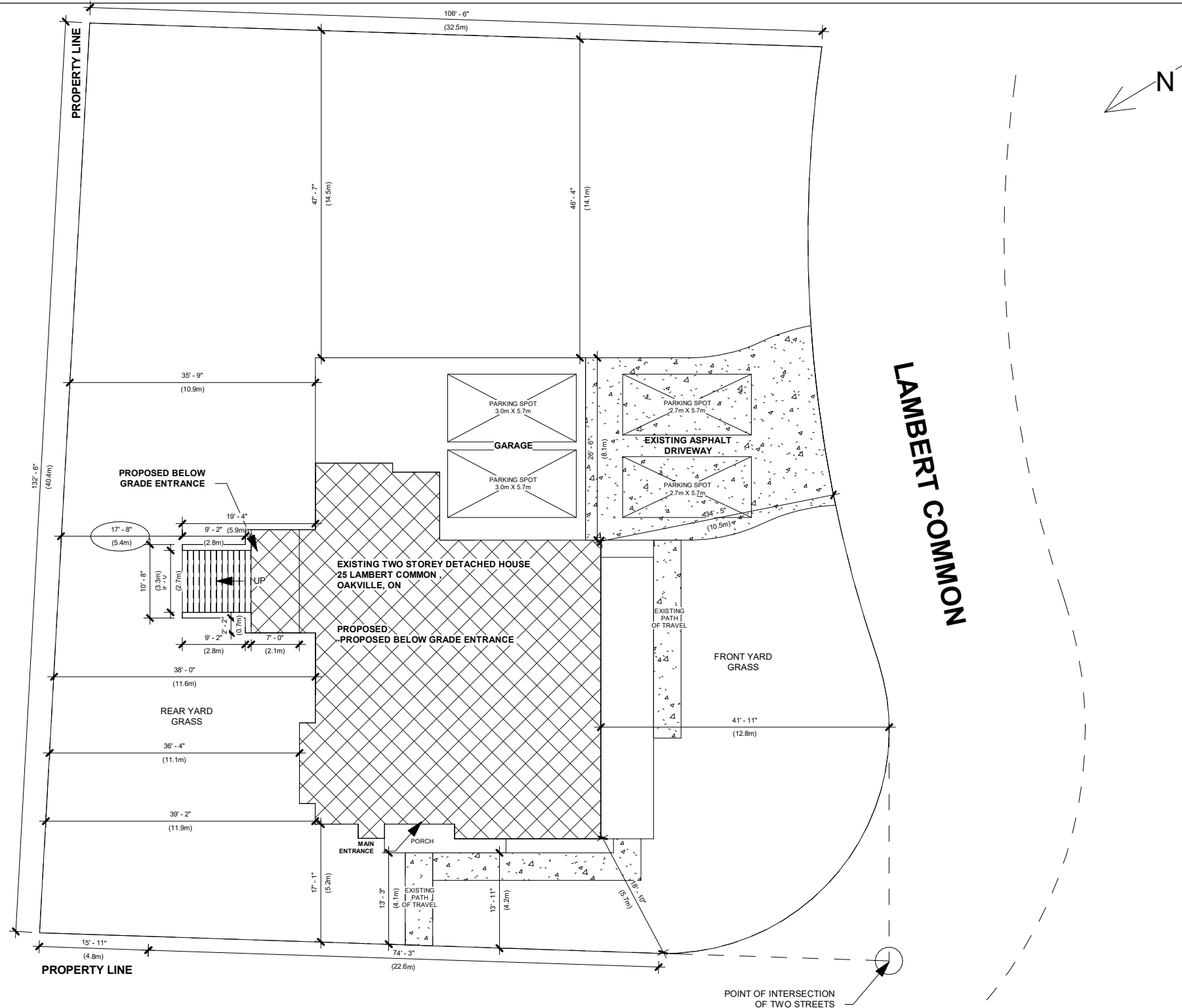
Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

### **Date mailed:**

November 22, 2024

# CAV A/158/2024 - 25 Lambert Common





EXISTING COVERED AREA - 3241.04 SQF  
 PROPOSED COVERED AREA - 105.00 SQF  
 TOTAL COVERED AREA = 3346.04 (22.5%)  
 TOTAL SITE AREA = 14809.61 SQF (77.5%)

No.	ISSUED FOR PERMIT	2024-10-10
1.		
2.		
No.	REVISION	DATE

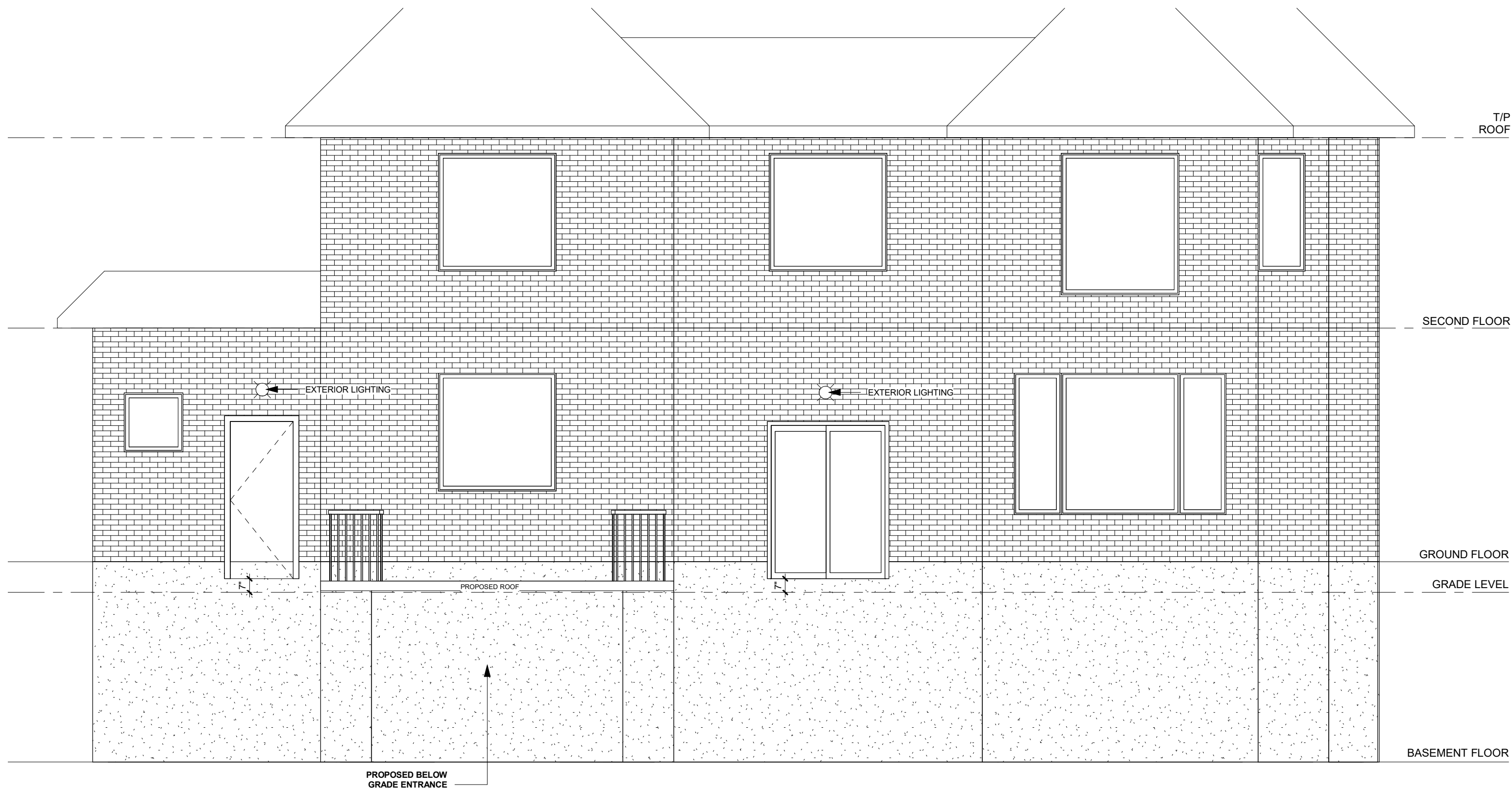


25 LAMBERT COMMON ,  
OAKVILLE, ON

SITE PLAN

RJ CAD SOLUTIONS

Date	2024-10-10	Scale	1 : 220
Drawn By	HS	Checked By	KS
Project Number	0001		
SHEET NUMBER	A1		



T/P ROOF

SECOND FLOOR

GROUND FLOOR

GRADE LEVEL

BASEMENT FLOOR

PROPOSED BELOW GRADE ENTRANCE

PROPOSED ROOF

EXTERIOR LIGHTING

EXTERIOR LIGHTING

No.	REVISION	DATE
1.	ISSUED FOR PERMIT	2024-10-10
2.		

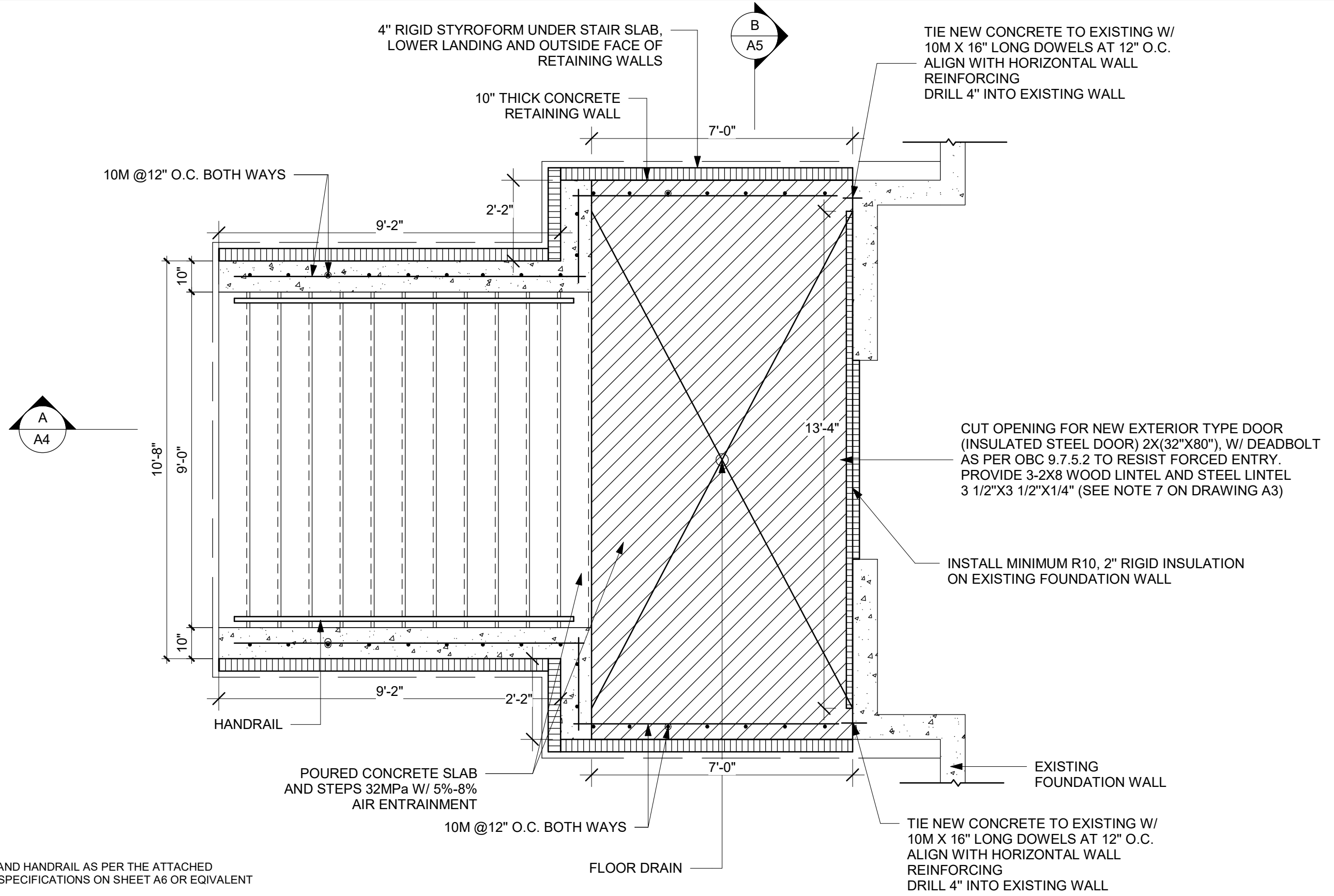


25 LAMBERT COMMON,  
OAKVILLE, ON

REAR SIDE ELEVATION

RJ CAD SOLUTIONS

Date	2024-10-10	Scale	1/4" = 1'-0"
Drawn By	HS	Checked By	KS
Project Number	0001		
SHEET NUMBER	A2		



**NOTE:** GUARDRAIL AND HANDRAIL AS PER THE ATTACHED MANUFACTURER'S SPECIFICATIONS ON SHEET A6 OR EQUIVALENT

No.	REVISION	DATE
1.	ISSUED FOR PERMIT	2024-10-30
2.		



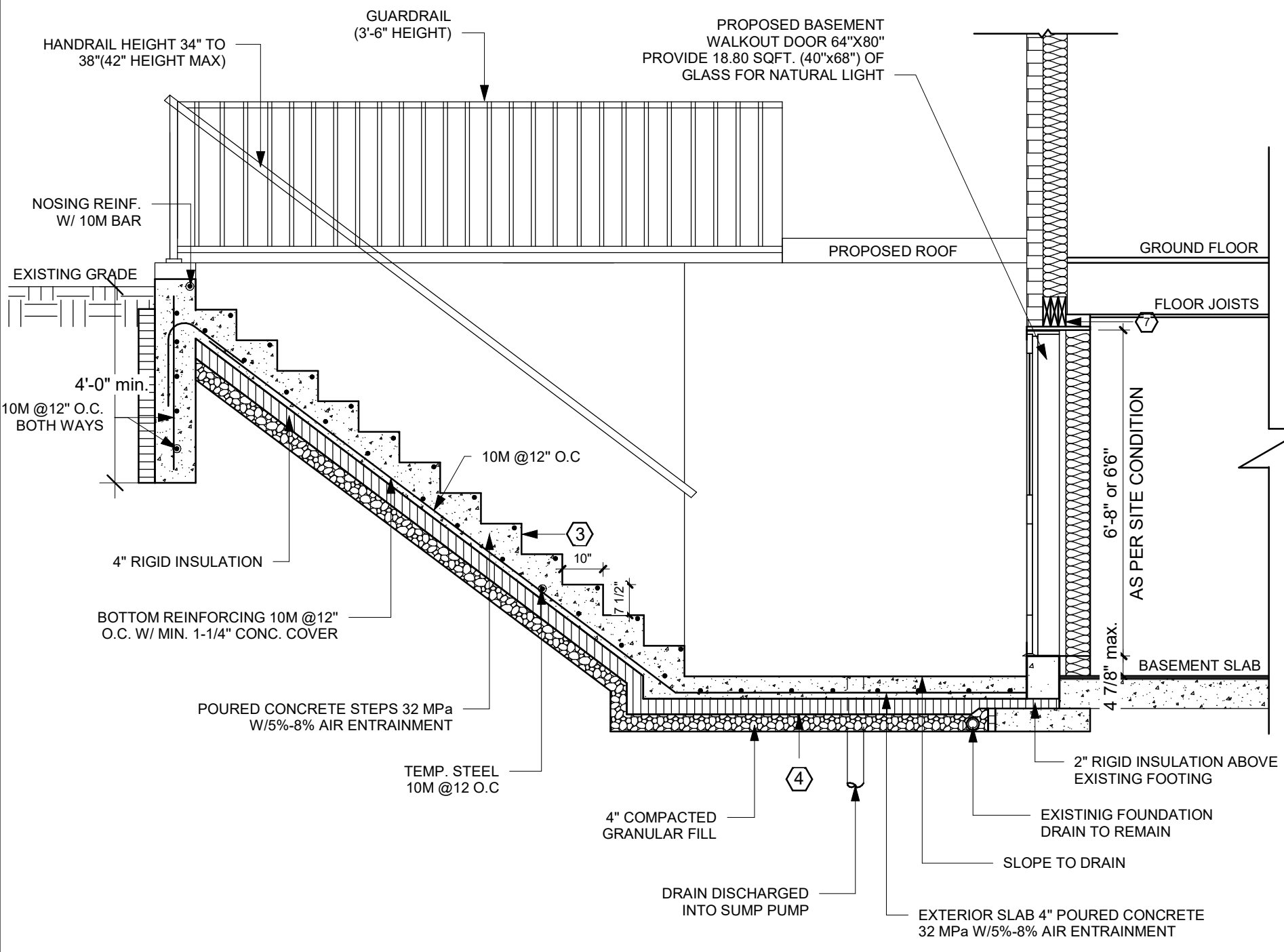
25 LAMBERT COMMON ,  
OAKVILLE, ON

WALKOUT PLAN

RJ CAD SOLUTIONS

Date	2024-10-30	Scale	3/8" = 1'-0"
Drawn By	HS	Checked By	KS
Project Number	0001		
SHEET NUMBER	A3		





A SECTION A-A

**NOTE:** GUARDRAIL AND HANDRAIL AS PER THE ATTACHED MANUFACTURER'S SPECIFICATIONS ON SHEET A6 OR EQUIVALENT

**DRAWING NOTES**

1. **CONCRETE**  
- MINIMUM COMPRESSIVE STRENGTH OF 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT
2. **REINFORCEMENT**  
- MINIMUM YIELD STRENGTH OF STEEL 60 KSI  
- THE REINFORCEMENT SHALL BE LAPPED A MINIMUM OF 450MM FOR 10M BARS AND 650MM FOR 10M BARS.
3. **EXTERIOR STAIRS**  
RISE 4 7/8" MINIMUM 7 7/8" MAXIMUM  
RUN 10" MINIMUM 14" MAXIMUM  
ADJUST STEP SIZE TO SUIT SITE
4. **INSULATION**  
- MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL  
- PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB, LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS
5. **RETAINING WALL**  
- 10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE  
- PROVIDE 10M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M HORIZONTAL REINFORCEMENT @ 12" O.C.
6. **GUARDS**  
- 42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" AND 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS
7. **PROVIDE LINTEL AS FOLLOWS**  
- WOOD LINTEL: 3-2x8 SPF NO.1 or NO.2 WITH MINIMUM BEARING OF 4" AT EACH END  
- STEEL LINTEL: 1L 3-1/2"x3-1/2"x1/4" ANGLE FOR BRICK VENEER WITH MINIMUM BEARING OF 6" AT EACH END  
- STEEL LINTEL: 2L 3-1/2"x3-1/2"x1/4" ANGLE FOR SOLID MASONRY WITH MINIMUM BEARING OF 6" AT EACH END
8. **EXTERIOR DOOR**  
- EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 64"x80" ( or 78"), W/ DEADBOLT AS PER OBC 9.7.5.2. TO RESIST FORCED ENTRY.

2.		
1.	ISSUED FOR PERMIT	2024-10-30
No.	REVISION	DATE

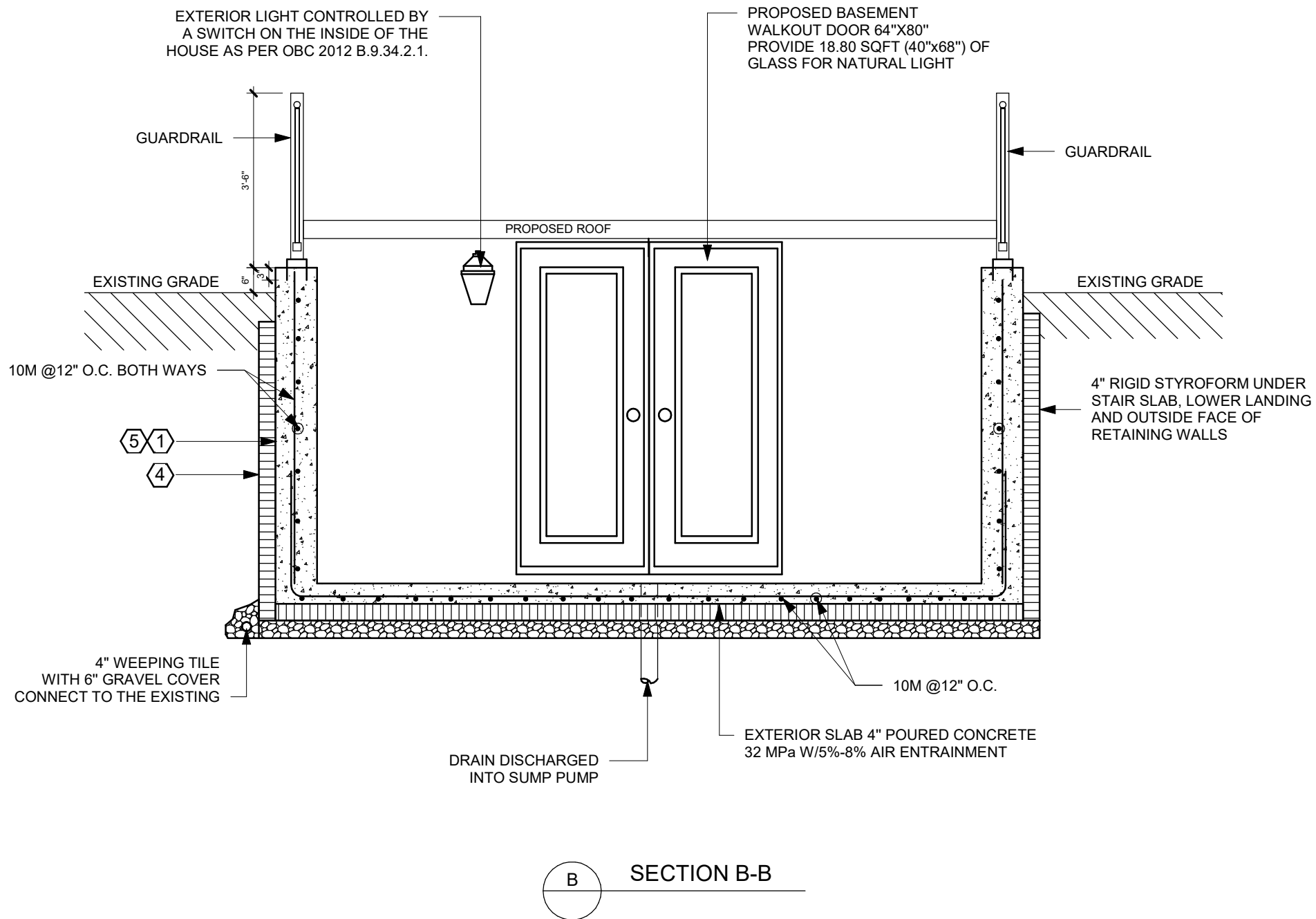


25 LAMBERT COMMON ,  
OAKVILLE, ON

SECTION - A

RJ CAD SOLUTIONS

Date	2024-10-30	Scale	3/8" = 1'-0"
Drawn By	HS	Checked By	KS
Project Number	0001		
SHEET NUMBER	A4		



**GENERAL NOTES**

- ALL WORK SHALL CONFORM TO ONTARIO BUILDING CODE (OBC) 2012, O. REF 332/12, AS AMENDED, CITY BY-LAWS AND STANDARDS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL CONFORM TO OBC 2012, O. REG. 332/12, AS AMENDED, DIVISION B, 9.12. BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING
- DAMPROOFING ON THE INTERIOR SURFACE OF THE FOUNDATION WALL BELOW GRADE SHALL CONSISTS OF #2 TYPE BREATHER PAPER OR TYPE 'S' ROLL ROOFING
- DRAINAGE SHALL CONFORM TO OBC 2012 O. REG. 332/12, AS AMENDED, DIVISION B, 9.14.
- MAINTAIN PERIMETER FOUNDATION DRAINAGE - MINIMUM 4 INCH DIAMETER WEEPING TILE, WITH A MINIMUM 6 INCH GRANULAR COVER.
- ANY AREA DRAIN, EXTERIOR OF A BUILDING (IN A CONCRETE DECK OR IN THE LOWEST LANDING OF A STAIRWELL) SHALL BE CONNECTED TO EITHER THE STORM SEWER OR CONNECTED TO A SUMP PIT. IN EITHER SITUATION IT SHALL NOT BE CONNECTED TO THE SANITARY DRAINAGE SYSTEM OR WEEPING TILE

**NOTE:** GUARDRAIL AND HANDRAIL AS PER THE ATTACHED MANUFACTURER'S SPECIFICATIONS ON SHEET A6 OR EQUIVALENT

No.	REVISION	DATE
1.	ISSUED FOR PERMIT	2024-10-30
2.		



25 LAMBERT COMMON ,  
OAKVILLE, ON

SECTION - B

RJ CAD SOLUTIONS

Date	2024-10-30	Scale	3/8" = 1'-0"
Drawn By	HS	Checked By	KS
Project Number	0001		
SHEET NUMBER	A5		



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/167/2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
C. Dovale M. Dovale	Joseph Domb JD COA Consulting 133 Torresdale Ave Unit 207 North York ON, CANADA M2R 3T2	20 Belvedere Dr PLAN 358 LOT 20

**Zoning of property:** RL2-0, Residential

### Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the one-storey accessory structure (cabana) on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.4.2 (Row 1, Column 3)</i> The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height.	To increase the maximum lot coverage to 27.32% where the detached dwelling is greater than 7.0 metres in height.

### How do I participate if I have comments or concerns?

#### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

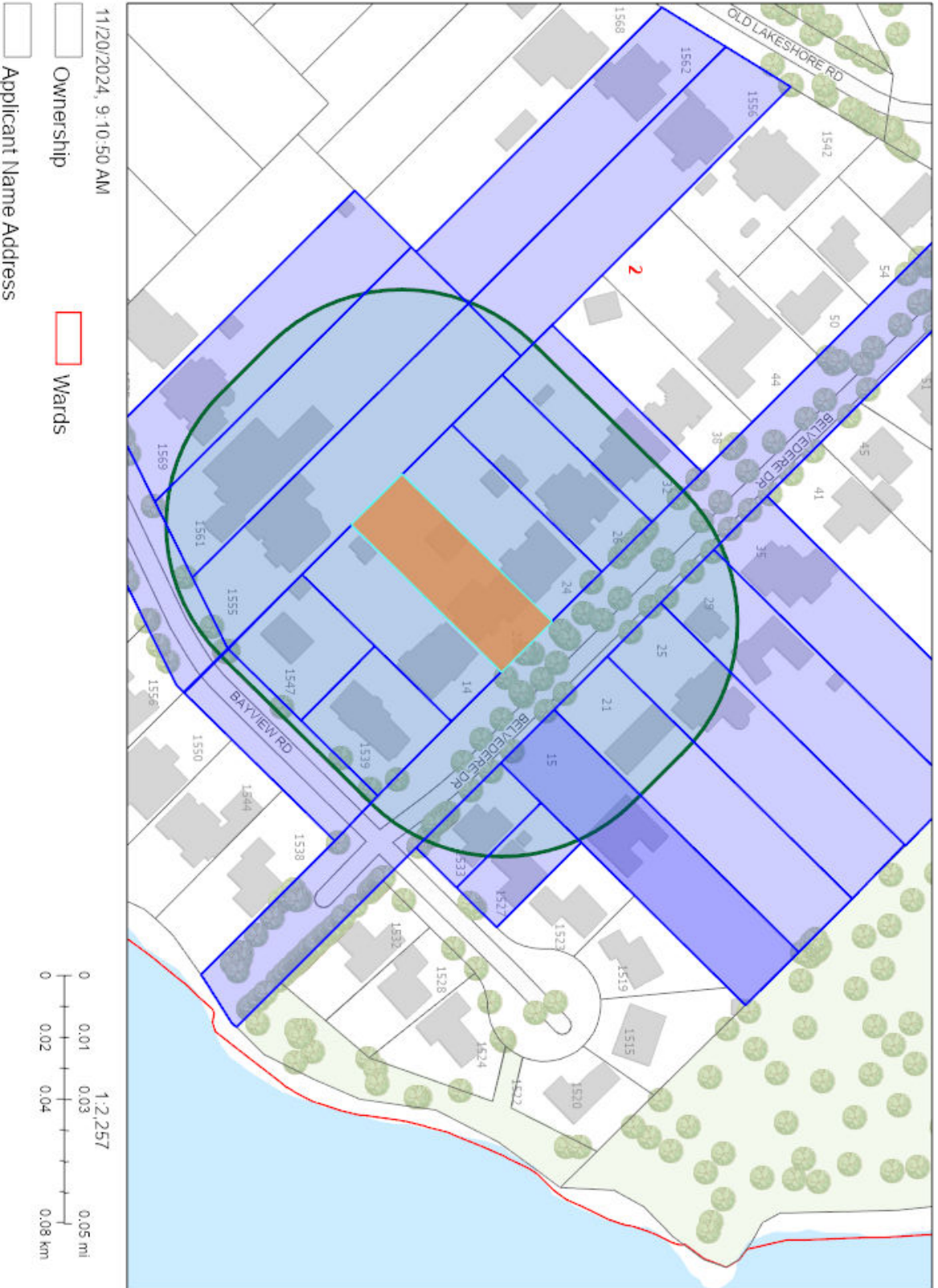
**Contact information:**

Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

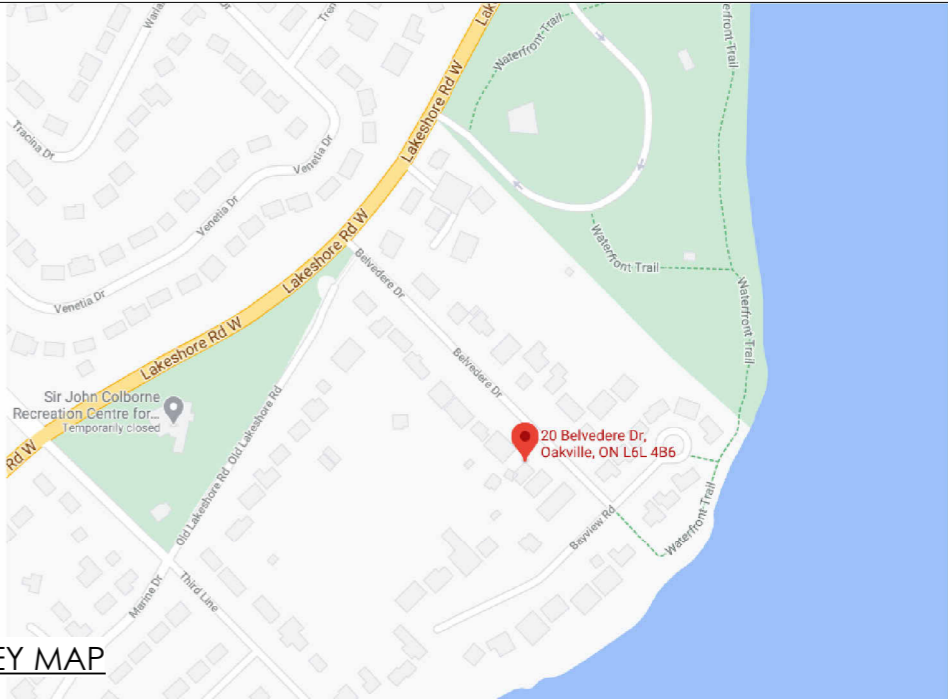
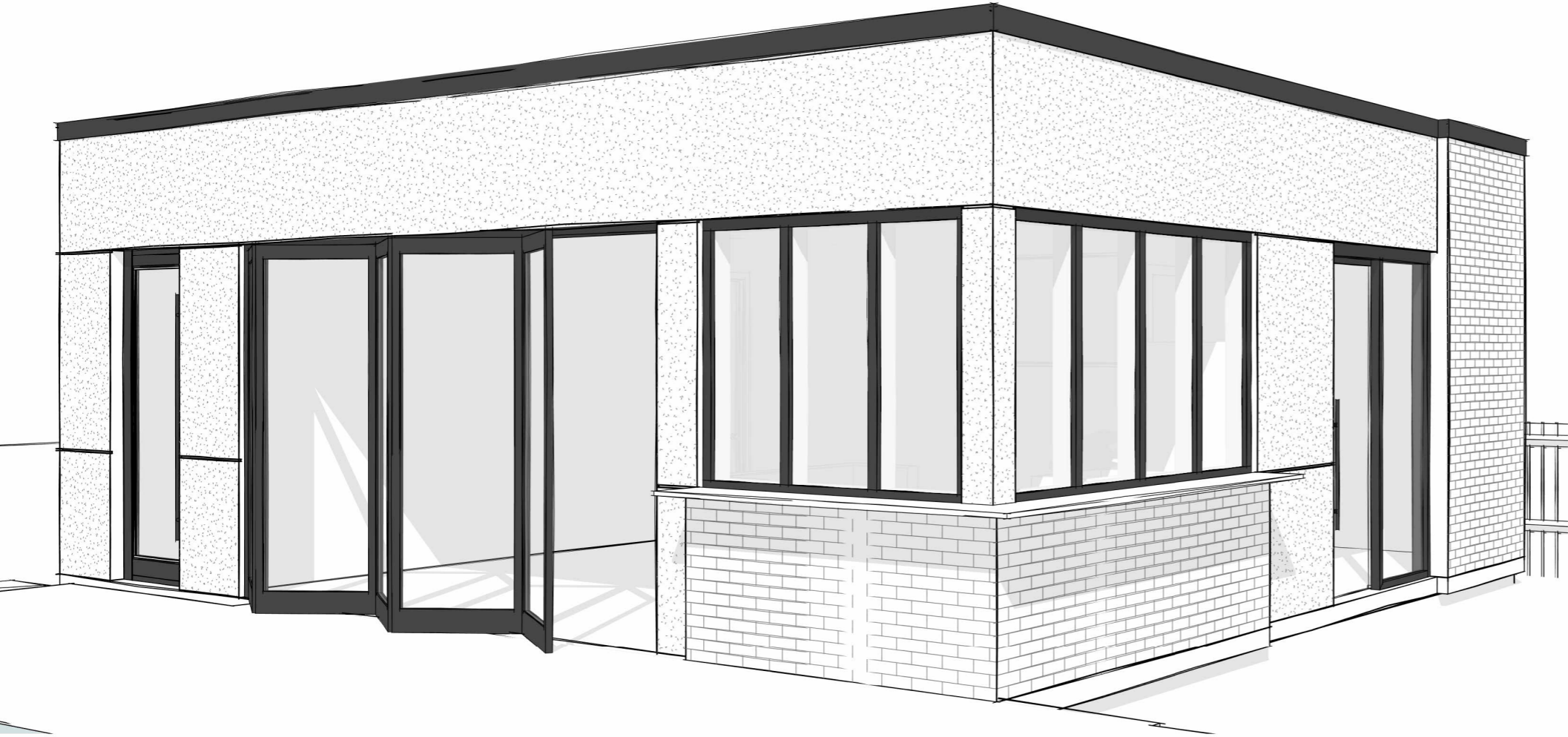
November 22, 2024

CAV A/167/2024 - 20 Belvedere Drive



# 20 BELVEDERE DRIVE

## COMMITTEE OF ADJUSTMENT



KEY MAP

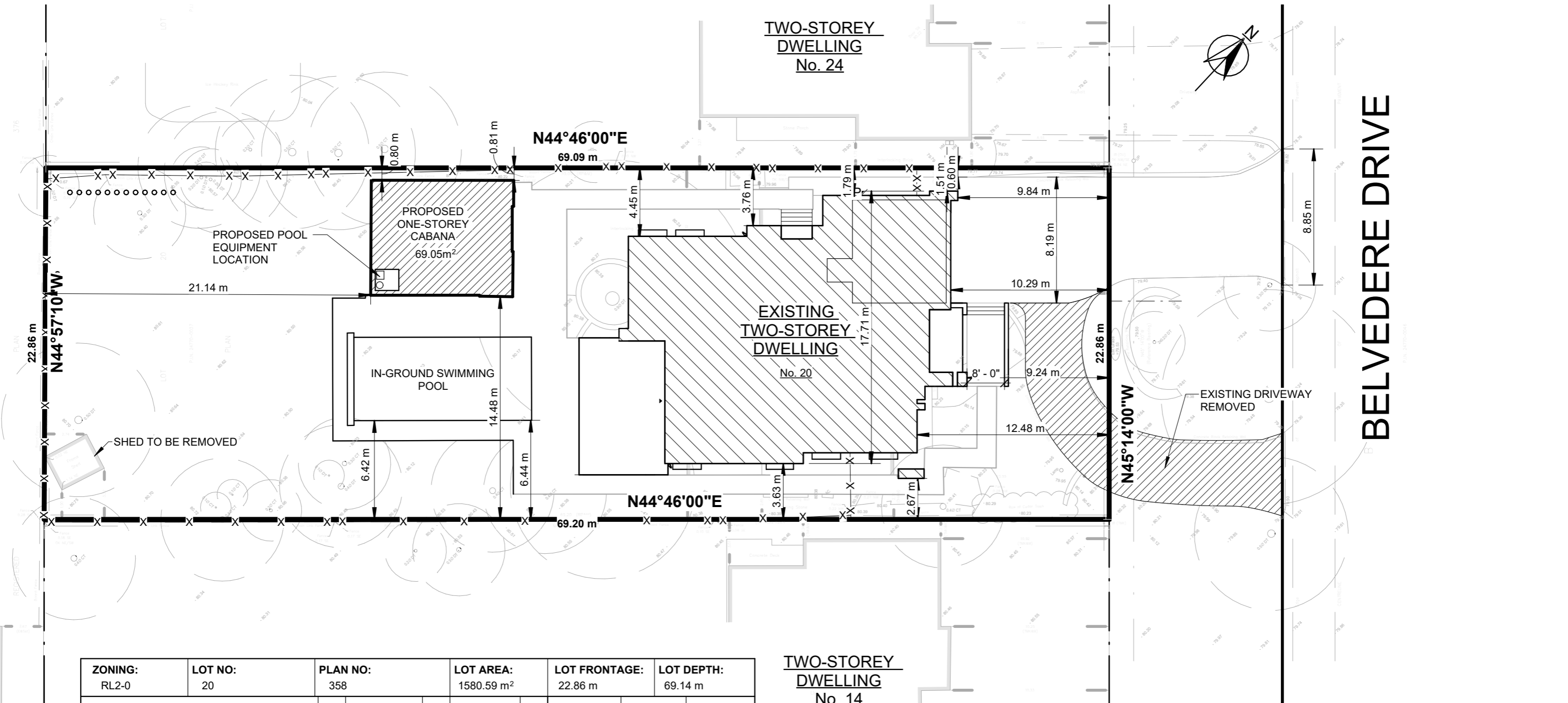
DRAWING LIST - ZONING	
TITLE SHEET	Z01.1
SITE PLAN	Z02.1
FOUNDATION PLAN	Z02.2
MAIN FLOOR PLAN	Z02.3
ROOF PLAN	Z02.4
EAST ELEVATION	Z03.1
NORTH ELEVATION	Z03.2
SOUTH ELEVATION	Z03.3
WEST ELEVATION	Z03.4

### TITLE SHEET

Scale:

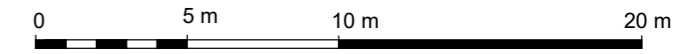
2024-09-23 2:21:18 PM





ZONING:	LOT NO:	PLAN NO:	LOT AREA:	LOT FRONTAGE:	LOT DEPTH:				
RL2-0	20	358	1580.59 m <sup>2</sup>	22.86 m	69.14 m				
DESCRIPTION	EXISTING	%	PROPOSED	%	REQUIRED	%	SETBACKS	REQUIRED	PROPOSED
DWELLING COVERAGE <sup>(1)</sup>	362.90 m <sup>2</sup>	23.0			395.15 m <sup>2</sup>	25.0	FRONT YARD	N/A	N/A
CABANA COVERAGE			68.97 m <sup>2</sup>	4.36	79.03 m <sup>2</sup>	5.00	REAR YARD	0.60 m	21.14 m
SHED COVERAGE	7.65 m <sup>2</sup>	00.5					SIDE YARD (NORTH)	0.60 m	0.80 m
TOTAL			431.87 m <sup>2</sup>	27.32	395.15 m <sup>2</sup>	25.0	SIDE YARD (SOUTH)	0.60 m	14.48 m
							BUILDING HEIGHT	4.00 m	3.53 m
(1) COVERAGE CALCULATION INCLUDES COVERED PORCHES AND GARAGE						NO. OF STOREYS			
(2) GROSS FLOOR AREA CALCULATION DOES NOT INCLUDE OPEN TO BELOW AREAS						REQ'D. 1 PROP. 1			

**TWO-STOREY DWELLING No. 14**



# SITE PLAN

Scale: 1 : 250

2024-09-23 2:21:19 PM

plot: 24" x 36" (609.6mm x 914.4mm) file: G:\Eaglebrooke\lscg\21060\Plans\21060\LSGP.dwg [LSGP-1] date: 24.08.28 12:03am

2 STOREY FRAME & STONE DWELLING NO. 24

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTING ENGINEER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE CONSULTING ENGINEER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTING ENGINEER.

Table with 3 columns: NO., DETAILS, DATE. Contains revision history from 1st submission to 5th revision.

- LEGEND: Symbols for Sanitary Manhole, Storm Manhole, Catchbasin, Hydrant, Valve & Box, Top of Curb, Bottom of Curb, etc.

STANDARD NOTES:

- 1. THE LOCATION OF ALL UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE DRAWINGS... 2. THE BUILDER IS RESPONSIBLE TO RESTORE ALL DAMAGED AND/OR DISTURBED PROPERTY WITHIN THE MUNICIPAL RIGHT-OF-WAY TO TOWN OF OAKVILLE.

TOWN OF OAKVILLE BENCHMARK No. 24: ELEVATION: 77.602 m.

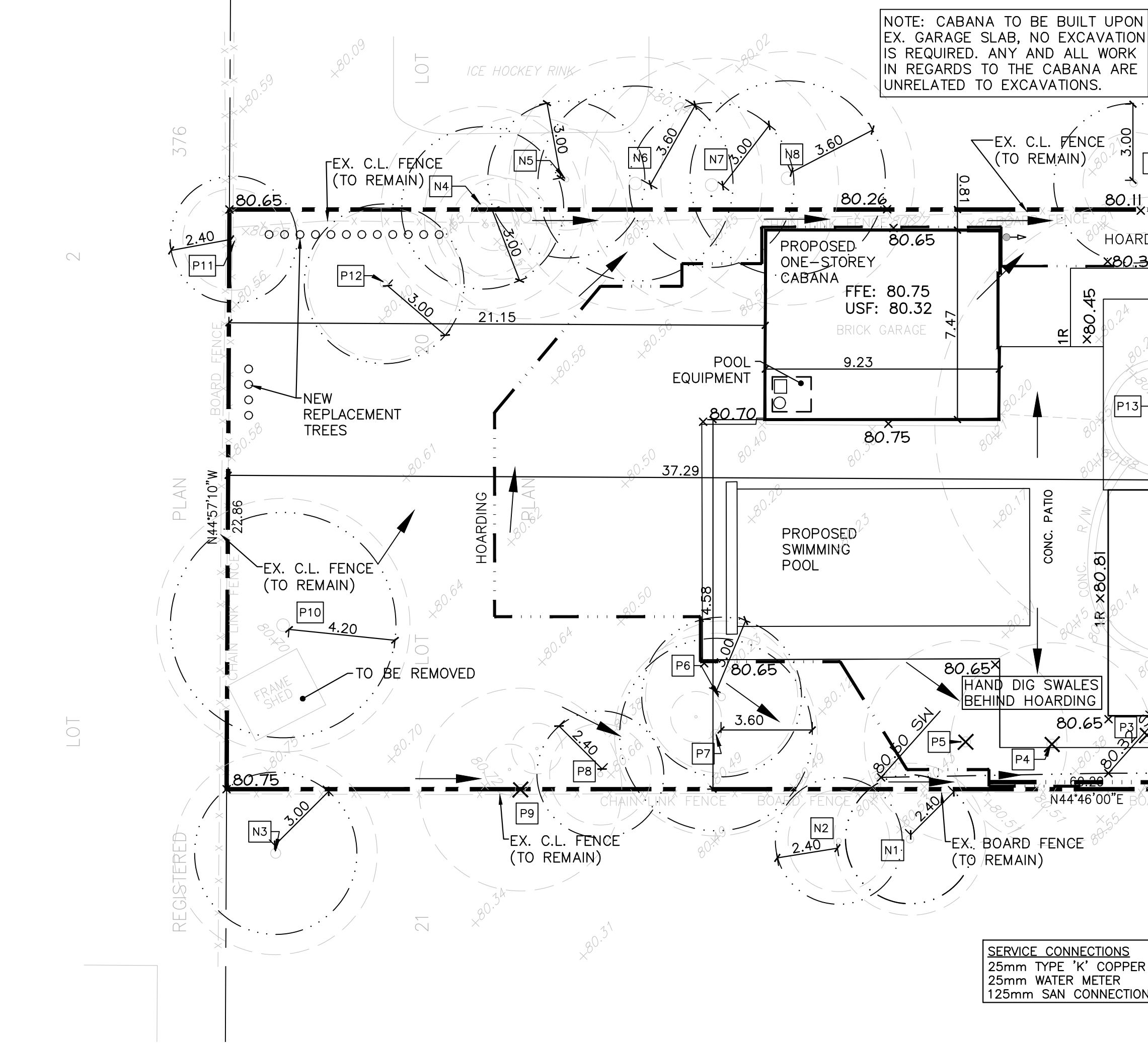
OWNER: MARK AND CARMELA DOVALE, 20 BELVEDERE DRIVE, OAKVILLE, ON L6L 4B6, TEL: (416) 804-0867 / (416) 725-5407

PROJECT: PROPOSED RESIDENCE 20 BELVEDERE DRIVE TOWN OF OAKVILLE

ENGINEER: Eaglebrooke Engineering Limited, Consulting Engineers, 1228 Gorham Street, Unit 15, Newmarket, ON L3Y 6Z1, Tel: 905.286.5553, Fax: 905.657.5811, Email: eaglebrooke@rogers.com

DRAWING TITLE: LOT SERVICING & GRADING PLAN

ENGINEERS STAMP: J. G. MEDEIROS, 90221557, License No. 240827. SCALE: 1:150. DRAWN BY: JGM. DATE: 21.03.03. DESIGNED BY: JGM. TOWN NO.: 21-134142. DRAWING NO.: 21060-LSG-1



NOTE: CABANA TO BE BUILT UPON EX. GARAGE SLAB. NO EXCAVATION IS REQUIRED. ANY AND ALL WORK IN REGARDS TO THE CABANA ARE UNRELATED TO EXCAVATIONS.

SERVICE CONNECTIONS: 25mm TYPE 'K' COPPER W/S, 25mm WATER METER, 125mm SAN CONNECTION

REGION OF HALTON NOTES:

- 1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT HALTON PUBLIC WORKS STANDARDS AND SPECIFICATIONS. 2. WATER SERVICE 50mm (2") AND SMALLER MUST BE COPPER TYPE 'K' SOFT TO ASTM B 88-49.

SERVICING NOTES:

- 1. STORM AND SANITARY CONNECTIONS UP TO 150 mm TO BE PVC GRAVITY PIPE, CSA SPECIFICATION B-182.2, OR 28, OR LATEST AMENDMENT. 2. BACKWATER VALVE SHALL BE INSTALLED ON THE STORM CONNECTION, AT THE BUILDING.

GRADING NOTES:

- 1. THE BUILDER MUST PERFORM ALL NECESSARY WORKS TO ENSURE THAT NO SURFACE DRAINAGE PROBLEMS ARE CREATED ON ADJACENT PRIVATE OR PUBLIC LANDS BECAUSE OF THEIR ACTIVITIES. 2. THE LOT GRADING SHALL BE INSPECTED BY EAGLEBROOKE ENGINEERING LIMITED PRIOR TO FINE GRADING AND FINAL LOT CERTIFICATION.

EROSION & SEDIMENT CONTROL NOTES:

- 1. THE BUILDER MUST PERFORM ALL NECESSARY WORKS TO ENSURE THAT NO SURFACE DRAINAGE PROBLEMS ARE CREATED ON ADJACENT PRIVATE OR PUBLIC LANDS BECAUSE OF THEIR ACTIVITIES. 2. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.

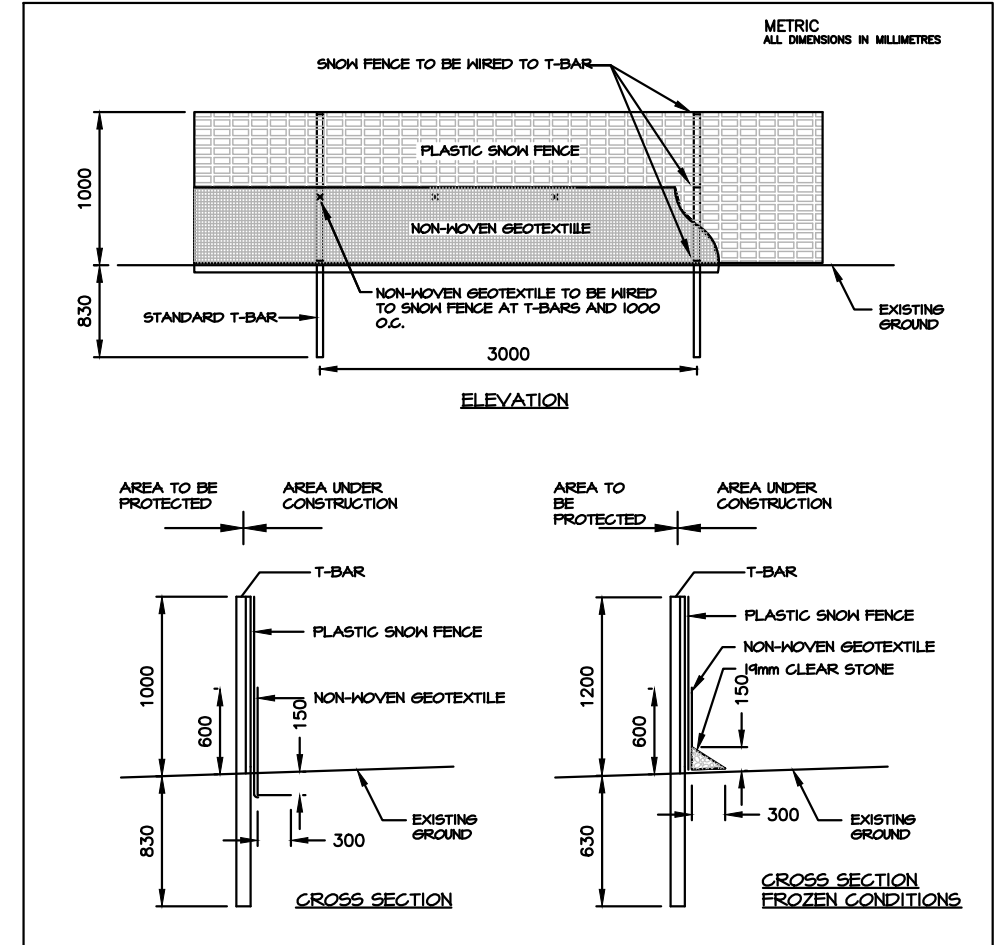
NOTE: REPLACEMENT TREES MUST BE A MINIMUM OF 30mm CALIPER IF THEY ARE DECIDUOUS OR A MINIMUM OF 150cm IN HEIGHT IF THEY ARE CONIFEROUS... IT IS PREFERRED THAT LARGE STATURE CONIFEROUS TREES BE PLANTED, SUCH AS EASTERN WHITE PINE, EASTERN HEMLOCK, ETC.

THE TREE PROTECTION ZONE

THE TREE PROTECTION ZONE (TPZ) IS THE MINIMUM SETBACK REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE TREE'S ANCHOR ROOTS. BASED ON GENERALLY ACCEPTED ARBORCULTURAL PRINCIPLES, TPZ ARE PROTECTED TO THE TPZ THEN THE TREE'S ANCHOR ROOT STRUCTURES IS EXPECTED TO BE MAINTAINED.

Table with 2 columns: DIAMETER OF TRUNK (DBH) (cm), TREE PROTECTION ZONE DISTANCE FROM TRUNK MEASURED (m). Lists values for trunk diameters from <10 to 91-100 cm.

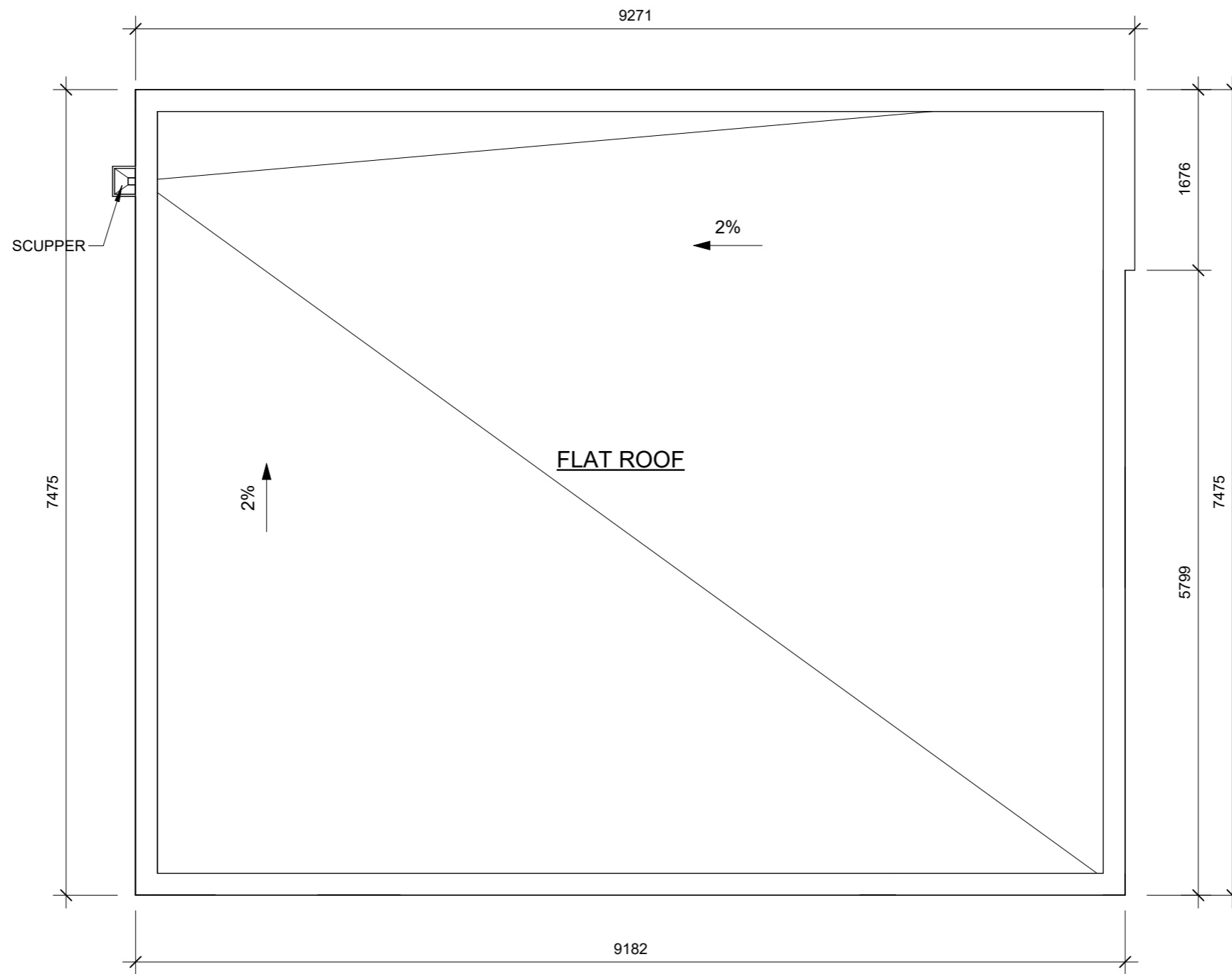
- 1. FOR TREES OVER 100 cm DBH, ADD 10 cm TO THE TPZ FOR EVERY ONE cm OF DBH. 2. ROOTS CAN EXTEND FROM THE TRUNK TO 2-3 TIMES THE DISTANCE OF THE DRIP LINE (SEE DETAIL TP-1 (SCHEDULE 4) FOR FURTHER INFORMATION).






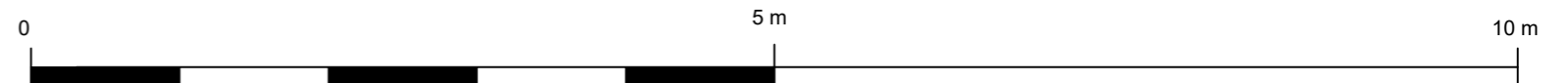
- NOTES: 1. NON-WOVEN GEOTEXTILE TO HAVE WEAVE DENSITY OF 270R OR EQUIVALENT. 2. NON-WOVEN GEOTEXTILE TO HAVE A HORIZONTAL OVERLAP OF 150mm AT JOINTS.

REGIONAL APPROVAL:

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY. SIGNED: J. G. MEDEIROS, 24.08.27. DATED: [ ]



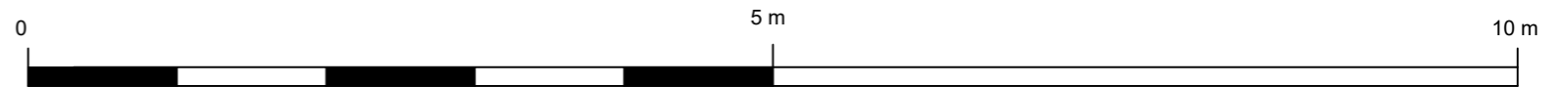
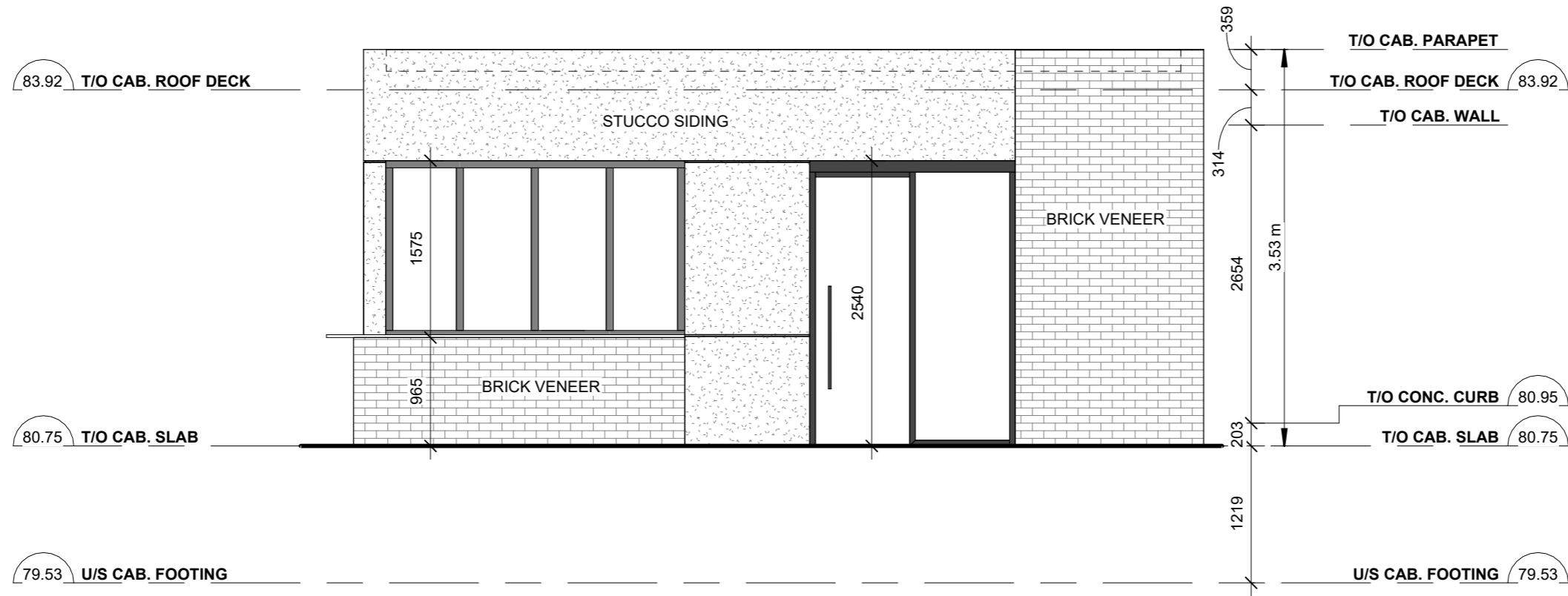
LEGEND	
	EXISTING WALLS TO REMAIN
	WALLS TO BE DEMOLISHED
	PROPOSED WALLS



# ROOF PLAN

Scale: 1 : 50

2024-09-23 2:21:20 PM

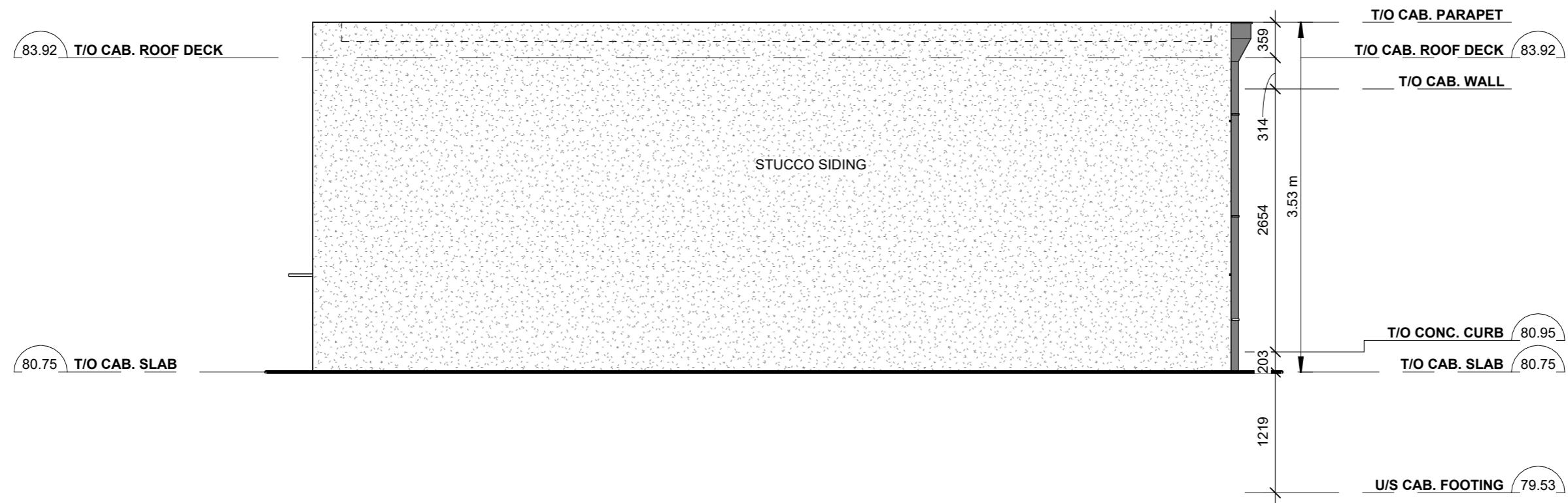


# EAST ELEVATION

Scale: 1 : 50

2024-09-23 2:21:20 PM

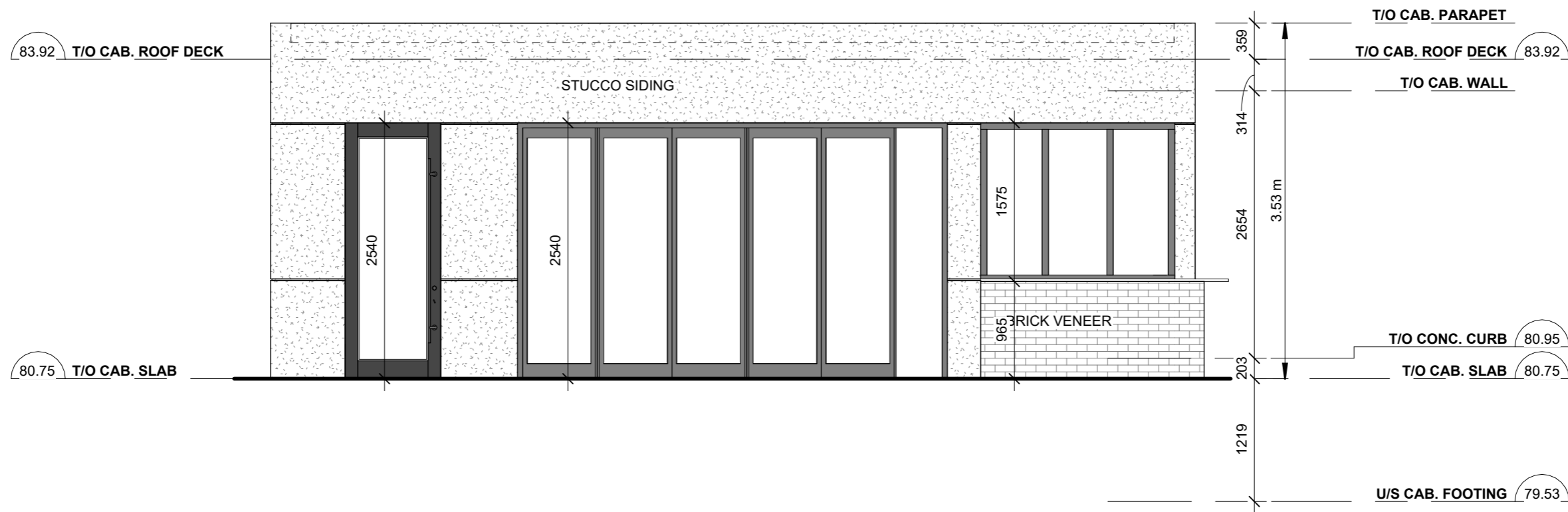




# NORTH ELEVATION

Scale: 1 : 50

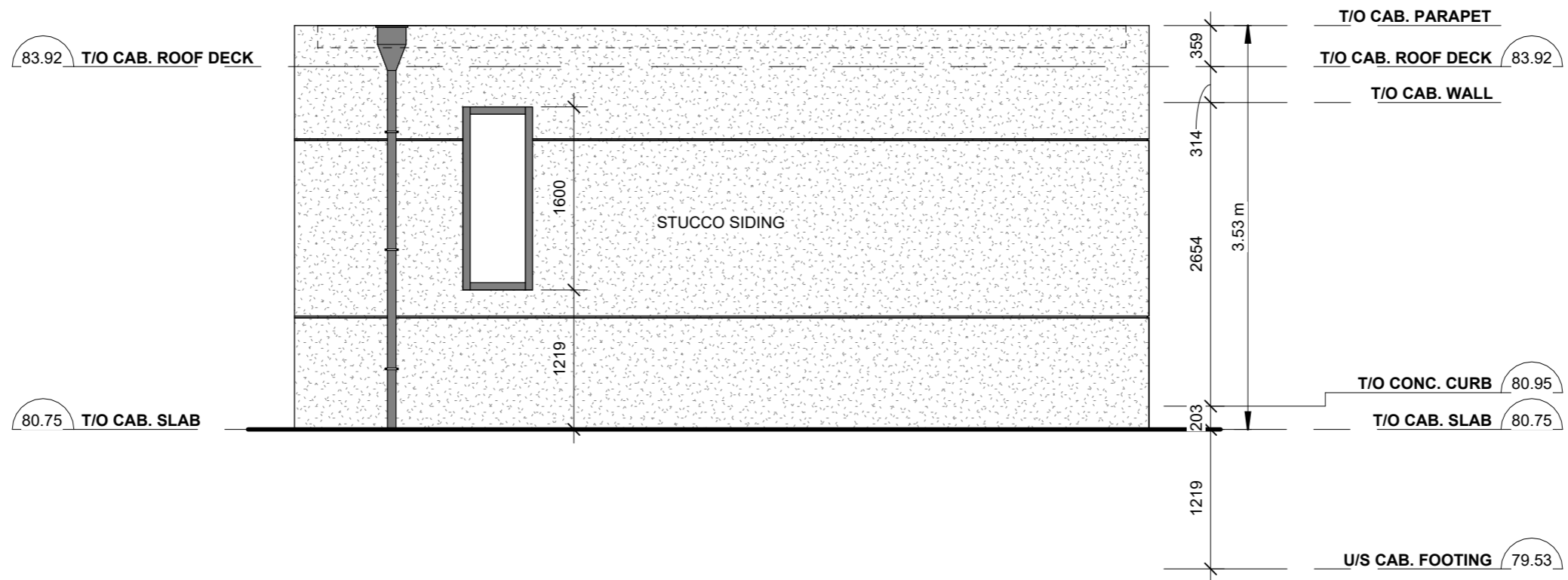
2024-09-23 2:21:20 PM



# SOUTH ELEVATION

Scale: 1 : 50

2024-09-23 2:21:20 PM



# WEST ELEVATION

Scale: 1 : 50

2024-09-23 2:21:20 PM



Lakeshore Tree Services Inc.

1011 Upper Middle Road E. Suite 1550 Oakville ON L6H 5Z9

905-407-5253 | [lakeshoretreeservices@gmail.com](mailto:lakeshoretreeservices@gmail.com) | [www.lakeshoretreeservices.ca](http://www.lakeshoretreeservices.ca)

---

# ARBORIST REPORT & TREE PROTECTION PLAN

**Project Address:**

**20 Belvedere Drive, Oakville, Ontario**

Prepared by Lakeshore Tree Services Inc.

20 January 2021

**Revised 17 May 2022**

Stephen Shelton ON-0542AT, TRAQ 1589

[steve@summitsks.ca](mailto:steve@summitsks.ca)

**Arborist Report - 20 Belvedere Drive, Oakville, Ontario**

**Table of Contents**

Project Overview	3
Municipal Trees	3
Neighbouring Trees	4
Private Trees	4
Tree Data Graph	6
Author's Qualifications	7
Limitations of Assessment	8
Tree Preservation Plan	9

## Arborist Report - 20 Belvedere Drive, Oakville, Ontario

Lakeshore Tree Services Inc. have been retained by the property owners to prepare this Arborist Report and Tree Protection Plan for 20 Belvedere Drive in Oakville, Ontario. The tree assessment was completed on the 16th day of January 2021 on a clear and sunny day.

The purpose of this report is to inventory and assess trees 15cm in diameter, measured at breast height and larger on the subject property, in the city road allowance adjacent to the property and any trees within 6m of the property line.

The owner of this property intends to demolish the existing house and build a new one. Six (6) of the trees on this property will need to be removed as a result of the proposed construction. *As this property is very well treed with considerable new grading needed the owners have opted to pay cash in lieu of replanting the requested 18 replacement trees. Replacement trees must be a minimum of 30mm caliper if they are deciduous or a minimum of 150cm in height if they are coniferous. It is preferred that the majority of new trees are deciduous trees, where possible, and that trees be planted in both the front and back yard. This can include planting some 'large/medium stature trees' such as oak, tulip tree, Kentucky coffee tree, zelkova, linden, etc., and other options include planting some small ornamental/flowering trees, such as dogwood, Japanese lilac, etc. Another option is to plant trees that are columnar/narrow in form, such as columnar tulip tree, columnar European hornbeam, columnar oak, etc. These can be planted with closer spacing to form a privacy screen or hedge row. Juniper/yew/emerald cedars are not accepted as primary replanting for conifer trees. If cedar is accepted, only white cedar can be used, not emerald cedar. If conifers are planted, it is preferred that large stature coniferous trees be planted, such as eastern white pine, eastern hemlock, etc*

### Municipally Owned Trees



Tree M1 is a 29cm dbh Red Maple that is growing near the street in front of the house. This tree is in fair condition and requires a tree protection zone of 2.4m.



Tree M2 is a 92cm dbh Silver Maple that is growing near the street in front of the house. This tree is in fair condition and requires a tree protection zone of 6m.



Tree M3 is a 63cm dbh Silver Maple that is growing near the street in front of 14 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 4.2m.



Tree M4 is a twin stemmed Paper Birch that is growing near the property line in front of the house. This tree is in poor condition and requires a tree protection zone of 2.4m.

## Arborist Report - 20 Belvedere Drive, Oakville, Ontario

Tree Number	Tree Species	Diameter of Appraised Tree (cm)	Area Of Appraised Tree (cm)	Diameter of Replacement Tree (cm)	Area of the Replacement Tree (cm)	Cost of Replacement Tree	Basic Price	Species Rating	Basic Value	Location Rating	Condition's Rating	Appraised Value (\$)
M1	Red Maple	29	660.185	8	827.5	927.5	1.120845921	61.00%	813.1041	70.00%	75.00%	426.879629
M2	Silver Maple	92	6644.24	10	1250	927.5	0.742	56.00%	3168.915	65.00%	75.00%	1544.84587
M3	Silver Maple	63	3115.665	10	1250	785	0.628	56.00%	1441.117	65.00%	75.00%	702.54457
M4	Paper Birch	20	314	8	927.5	500	0.539083558	55.00%	318.0997	65.00%	60.00%	124.058895

### Neighbouring Trees

Tree N1 is a 20cm dbh Fir tree that is growing near the north property line in the backyard of 14 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree N2 is a 15cm dbh Fir tree that is growing near the north property line in the backyard of 14 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree N3 is a 40cm dbh Norway Spruce that is growing near the north property line in the backyard of 14 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m.

Tree N4 is a 40cm dbh Poplar that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m.

Tree N5 is a 39cm dbh Poplar that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m.

Tree N6 is a 50cm dbh Norway Spruce that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m. *A minor encroachment is expected into the recommended TPZ of this tree to allow for the construction of the proposed cabana. No negative impacts are expected from this construction as the proposed cabana will utilize the existing foundation and no excavation is required.*

Tree N7 is a 49cm dbh Norway Spruce that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3m. *A minor encroachment is expected into the recommended TPZ of this tree to allow for the construction of the proposed cabana. No negative impacts are expected from this construction as the proposed cabana will utilize the existing foundation and no excavation is required.*

Tree N8 is a 51cm dbh Norway Spruce that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is in fair condition and requires a tree protection zone of 3.6m. *A minor encroachment is expected into the recommended TPZ of this tree to allow for the construction of the proposed cabana. No negative impacts are expected from this construction as the proposed cabana will utilize the existing foundation and no excavation is required.*

Tree N9 is a twin stemmed Green Ash that is growing near the south property line in the backyard of 24 Belvedere Drive. This tree is dead and is recommended for removal. A written letter of consent will be needed from the neighbour should you choose to remove this tree.

### Privately Owned Trees

Tree P1 is a White Cedar Hedge that is growing near the south property line in the front yard. These trees are in good condition and shall have protective tree hoarding erected along the drip line.

Tree P2 is a 39cm dbh Norway Spruce that is growing near the south east corner of the existing house. This tree is in fair condition however it is recommended for removal due to development impacts.

Tree P3 is a 60cm dbh Norway Spruce that is growing near the south property line in the backyard. This tree is in fair condition however it is recommended for removal due to development impacts.

Tree P4 is a 43cm dbh Norway Spruce that is growing near the south property line in the backyard. This tree is in fair condition however it is recommended for removal due to development impacts.

Tree P5 is a 38cm dbh Norway Spruce that is growing near the south property line in the backyard. This tree is in fair condition however it is recommended for removal due to development impacts.

## **Arborist Report - 20 Belvedere Drive, Oakville, Ontario**

Tree P6 is a 42cm dbh Austrian Pine that is growing near the south property line in the backyard. This tree is in fair condition and requires a tree protection zone of 3m.

Tree P7 is a 57cm dbh White Pine that is growing near the south property line in the backyard. This tree is in poor condition and requires a tree protection zone of 3.6m.

Tree P8 is a 22cm dbh Blue Spruce that is growing near the south property line in the backyard. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree P9 is a 38cm dbh Green Ash that is growing on the south property line in the backyard and as a boundary tree, ownership is shared with the owners of 14 Belvedere Drive. This tree is infested with Emerald Ash Borer and is recommended for removal. As this tree is a boundary tree, a signed agreement letter from the neighbour will be required for its removal.

Tree P10 is a 65cm dbh Norway Spruce that is growing near the south west corner of the backyard. This tree is in fair condition and requires a tree protection zone of 4.2m.

Tree P11 is a 20cm dbh Poplar that is growing near the north west corner of the backyard. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree P12 is a 30cm dbh Apple tree that is growing near the north west corner of the backyard. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree P13 is a 95cm dbh Silver Maple that is growing on the west side of the existing dwelling. This tree is in fair condition however it is recommended for removal due to development impacts.

**All protective tree hoarding shall be installed prior to commencement of any demolition or construction activities as per Town of Oakville specifications.**



## Arborist Report - 20 Belvedere Drive, Oakville, Ontario

Tree Number	Common Name	Latin Name	DBH (cm)	Height	Spread	Crown Height	Health	Structure	TPZ (m)	Site Plan Results
M1	Red Maple	<i>Acer rubrum</i>	29	8	5	6	F	F	2.4	Preserve
M2	Silver Maple	<i>Acer saccharinum</i>	92	20	15	17	F	F	6	Preserve
M3	Silver Maple	<i>Acer saccharinum</i>	63	20	10	16	P	F	4.2	Preserve
M4	Paper Birch	<i>Betula papyrifera</i>	15/18	6	5	4	F	P	2.4	Preserve
N1	Fir	<i>Abies balsamea</i>	25	15	5	10	F	F	2.4	Preserve
N2	Fir	<i>Abies balsamea</i>	15	15	3	10	F	F	2.4	Preserve
N3	Norway Spruce	<i>Picea abies</i>	40	20	5	10	F	F	3	Preserve
N4	Poplar	<i>Populus alba</i>	40	18	10	10	F	F	3	Preserve
N5	Poplar	<i>Populus alba</i>	39	18	10	10	F	F	3	Preserve
N6	Norway Spruce	<i>Picea abies</i>	50	20	10	15	F	F	3.6	Preserve
N7	Norway Spruce	<i>Picea abies</i>	49	20	10	15	F	F	3	Preserve
N8	Norway Spruce	<i>Picea abies</i>	51	18	10	15	F	F	3.6	Preserve
N9	Green Ash	<i>Fraxinus pennsylvanica</i>	40/40	8	3	5	P	P	3	Preserve
P1	White Cedar Hedge	<i>Thuja occidentalis</i>	10-15	18	3	10	F	F	2.4	Preserve
P2	Norway Spruce	<i>Picea abies</i>	39	15	5	5	F	F	3	Remove
P3	Norway Spruce	<i>Picea abies</i>	60	20	10	18	F	F	3.6	Remove
P4	Norway Spruce	<i>Picea abies</i>	43	20	8	18	F	F	3	Remove
P5	Norway Spruce	<i>Picea abies</i>	38	20	5	18	F	F	3	Remove
P6	Austrian Pine	<i>Pinus nigra</i>	42	18	5	5	F	F	3	Preserve
P7	White Pine	<i>Pinus strobus</i>	57	10	8	6	F	P	3.6	Preserve
P8	Blue Spruce	<i>Picea glauca</i>	22	6	4	4	F	F	2.4	Preserve
P9	Green Ash	<i>Fraxinus pennsylvanica</i>	38	15	5	8	P	P	3	EAB
P10	Norway Spruce	<i>Picea abies</i>	65	20	10	14	F	F	4.2	Preserve
P11	Poplar	<i>Populus alba</i>	20	8	5	4	F	F	2.4	Preserve
P12	Apple	<i>Malus spp.</i>	30	6	8	3	F	F	3	Preserve
P13	Silver Maple	<i>Acer saccharinum</i>	95	20	15	10	F	F	6	Remove

**Tree ownership is indicated by the tree naming system, tree names beginning with the letter M are municipally owned, tree names beginning with the letter N are on neighbouring properties within 6m of the property line and tree names beginning with the letter P are privately owned and on the subject property. Tree P9 is a boundary tree growing on the property line shared with 14 Belvedere Drive.**

# Arborist Report - 20 Belvedere Drive, Oakville, Ontario



## The International Society of Arboriculture

Hereby Announces That

*Stephen W. Shelton*

Has Earned the Credential

### ISA Certified Arborist ®

By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

*Caitlyn Pollihan*

Caitlyn Pollihan  
CEO & Executive Director

18 March 2000

30 June 2024

ON-0542AT

Issue Date

Expiration Date

Certification Number



## The International Society of Arboriculture

Hereby Announces That

*Stephen W. Shelton*

Has Earned the Credential

### ISA Tree Risk Assessment Qualification®

By successfully meeting ISA Tree Risk Assessment Qualification certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

*Caitlyn Pollihan*

Caitlyn Pollihan  
CEO & Executive Director

1 February 2013

19 August 2021

Issue Date

Expiration Date



## Arborist Report - 20 Belvedere Drive, Oakville, Ontario

### LIMITATIONS OF ASSESSMENTS

It is the policy of Lakeshore Tree Services Inc. to attach the following clause in regards to limitations. This is to ensure that the client is fully aware of what is technically and professionally realistic in the preservation and assessment of trees in the urban environment.

The assessment of the trees in this report has been done in conjunction with and according to accepted arboriculture methods and techniques. These include an examination of the above ground parts of the tree for structural defects, scars, cracks, the overall condition of the root structures, the severity and direction of lean (if any), the general condition of the trees and the surrounding environment, external indications of decay such as fungal fruiting bodies, evidence of attack by insects, symptoms of infestation and pathogens, discoloured foliage, and the proximity of potential targets should a tree fail. Except where specifically noted, the trees were not cored, probed or climbed and there was no detailed inspection of the root crowns involving excavations, or samples taken to be scientifically tested.

Notwithstanding the recommendations and conclusions presented in this report, it must be acknowledged that trees are living organisms. They are not immune to changes in site conditions, dramatic weather events or seasonal variations in climate. Therefore it should always be recognized that trees are ever evolving and their health and vigour constantly vary over time. While all reasonable efforts have been made to ensure that the subject trees are healthy, no guarantees are offered or implied that these trees or part(s) of any trees will remain intact.

It is professionally and practically impossible to predict with absolute certainty the behaviour of any tree or its component parts under all circumstances and variables. Most trees have the potential for failure under adverse weather conditions and the risk can only be completely eliminated if the tree is removed. Inherently, a standing tree will always pose some level of risk. Although every effort has been made to ensure that this assessment is reasonably accurate, trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

This report is property of Lakeshore Tree Services Inc. and/or its agents and may not be used until payment is made in full unless written permission is granted. Lakeshore Tree Services Inc. reserves the right to withdraw this report and its recommendations, if any requirements are not met. All details and graphics are copyright of Lakeshore Tree Services Inc.

On behalf of Lakeshore Tree Services Inc.



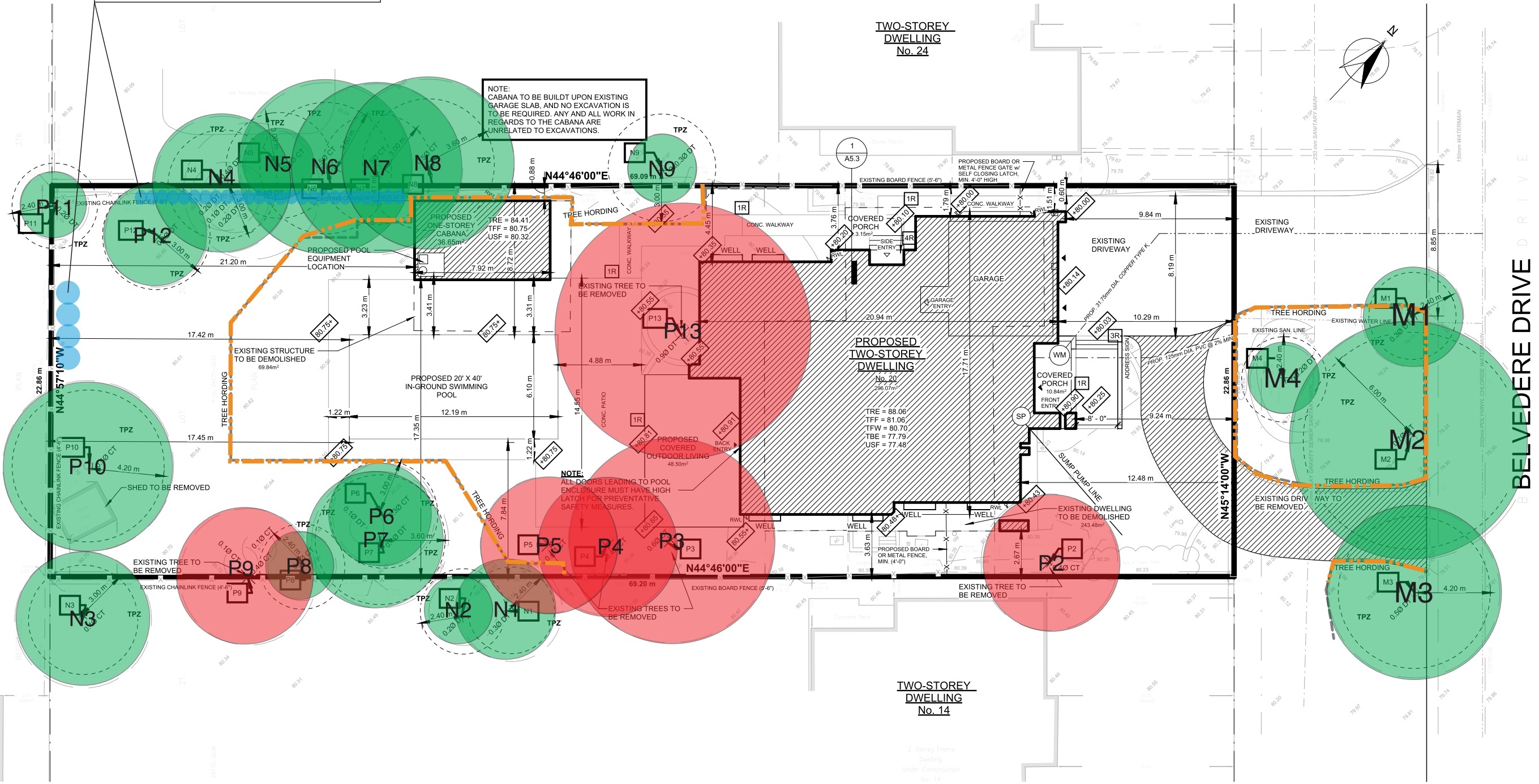
Sebastian Bravo,  
Certified Arborist  
ISA ON-1852A



ON-1852A

LOCATION OF PROPOSED REPLACEMENT TREES

KEY MAP - N.T.S.



**LEGEND**

- property line
- existing tree number (refer to chart)
- existing vegetation to remain
- existing vegetation to be removed
- minimum tree protection zone (tpz) - as per Town of Oakville guidelines
- location of proposed replacement tree
- tree protection

**NOTE:**  
Vegetation inventory undertaken by Stephen Shelton, ISA Certified Arborist (ON-#0542AT) on 23 April 2021

**REVISIONS/ SUBMISSIONS**

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		

**CERTIFICATIONS**

TRAQ 1589

ON-0542AT

**CLIENT**  
Finelines Designs Inc.

**MUNICIPALITY**  
Town of Oakville

**PROJECT**  
Private Residence  
20 Belvedere Drive

**MUNICIPAL FILE NUMBER**  
#- n/a

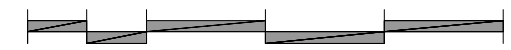
**SHEET**  
Tree Protection Plan

**SCHEDULE 1**  
**TREE PROTECTION BARRIER**  
OAKVILLE

**Tree Protection Barriers**

- Tree protection barriers must be 1.2m (4ft) high, waterboard boarding or an equivalent approved by the Planning Department.
- Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of plastic webbing forcing on a wood frame made of 2x4's.
- Where some excavate or fill has to be temporarily located near a tree protection barrier, provision must be made to ensure no material enters the Tree Protection Zone.
- All supports and trussing should be outside the Tree Protection Zone. All such supports should remove damaging roots outside the Tree Protection Zone.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

Note: not to scale



**SUMMIT**  
PROFESSIONAL CONSULTING ARBORISTS

5-871 Equestrian Court  
Oakville, ON L6L 6L7  
1. 289.830.8900  
www.summitsks.ca





## NOTICE OF EXPIRED PERMIT

**21-134142**  
**20 Belvedere Dr**

**October 16, 2024**

Dear **Mark Dovale**

This email is notice that permit number **21-134142** above address has expired as of **Aug 30/24** and is now in violation of the Site Alteration By-law 2023-047.

If the works under this permit have been completed, log into [your town account](#) and request a Final Inspection. For information on final inspections, please visit "[What do I Need to do to Prepare my Development Engineering Application?](#)"

If you require additional time beyond the current expiry date to complete the works applied for, log into [your town account](#) and request a Permit Renewal and pay the applicable renewal fees by **Oct 30/24**.

**If you do not intend to complete the works under this permit, as per By-law 2023-047, Section 9.7, you are required to restore the property to its original condition. Please have the restoration completed within 30 days after the permit expiry date, or contact the Transportation and Engineering Department to apply for an extension.**

Please note that you must have a valid permit/approval from the Town of Oakville to continue the works applied for. Failure to obtain a valid permit/approval is an offence under the town's by-laws and may result in charges.

For assistance regarding this email, please contact [service@oakville.ca](mailto:service@oakville.ca) or 905-845-6601.

Regards,

Transportation & Engineering Department

c. **Fine Lines Design (Joshua Theriault)**

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/168/2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
2848327 Ontario Limited	Sebastian Alzamora Glen Schnarr & Associates Inc. 10 Kingsbridge Garden Cir Unit 700 Mississauga ON, CANADA L5R 3K6	78 Trafalgar Rd PLAN 1 BLK 16 PT LOT C

**Zoning of property:** RM1 sp:50, Residential

### Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to recognize the common element condominium as one block for the purposes determining zoning compliance proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	Section 6.10 c) For a common element condominium, the applicable zoning regulations shall apply to the proposed lots or blocks to be parcels of tied land until the lots or blocks are formally established.	To permit the applicable zoning regulations to apply to the entirety of the lot/block for a common element condominium.

## **How do I participate if I have comments or concerns?**

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

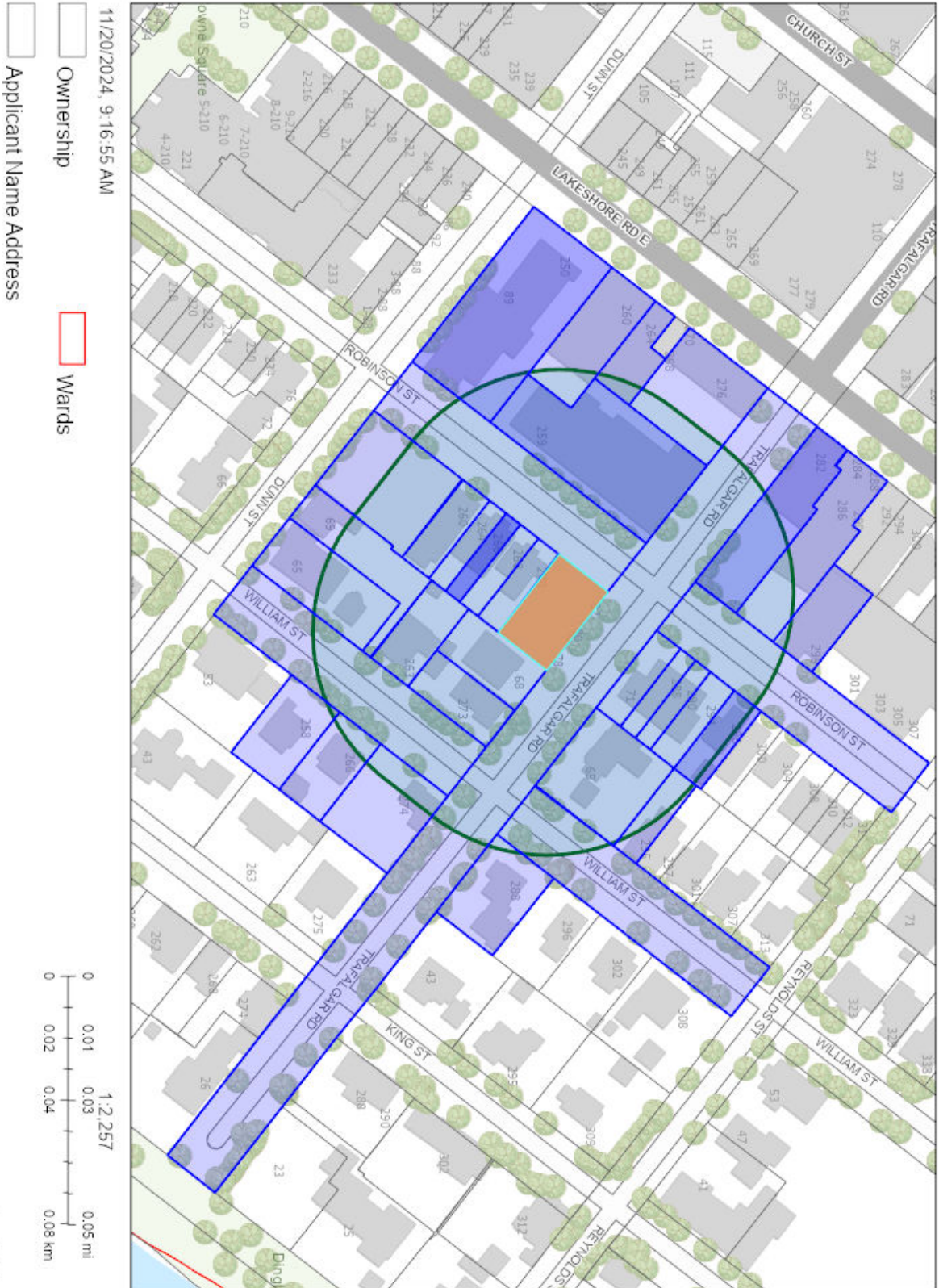
### **Contact information:**

Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

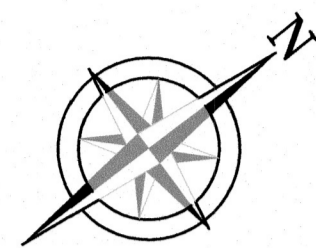
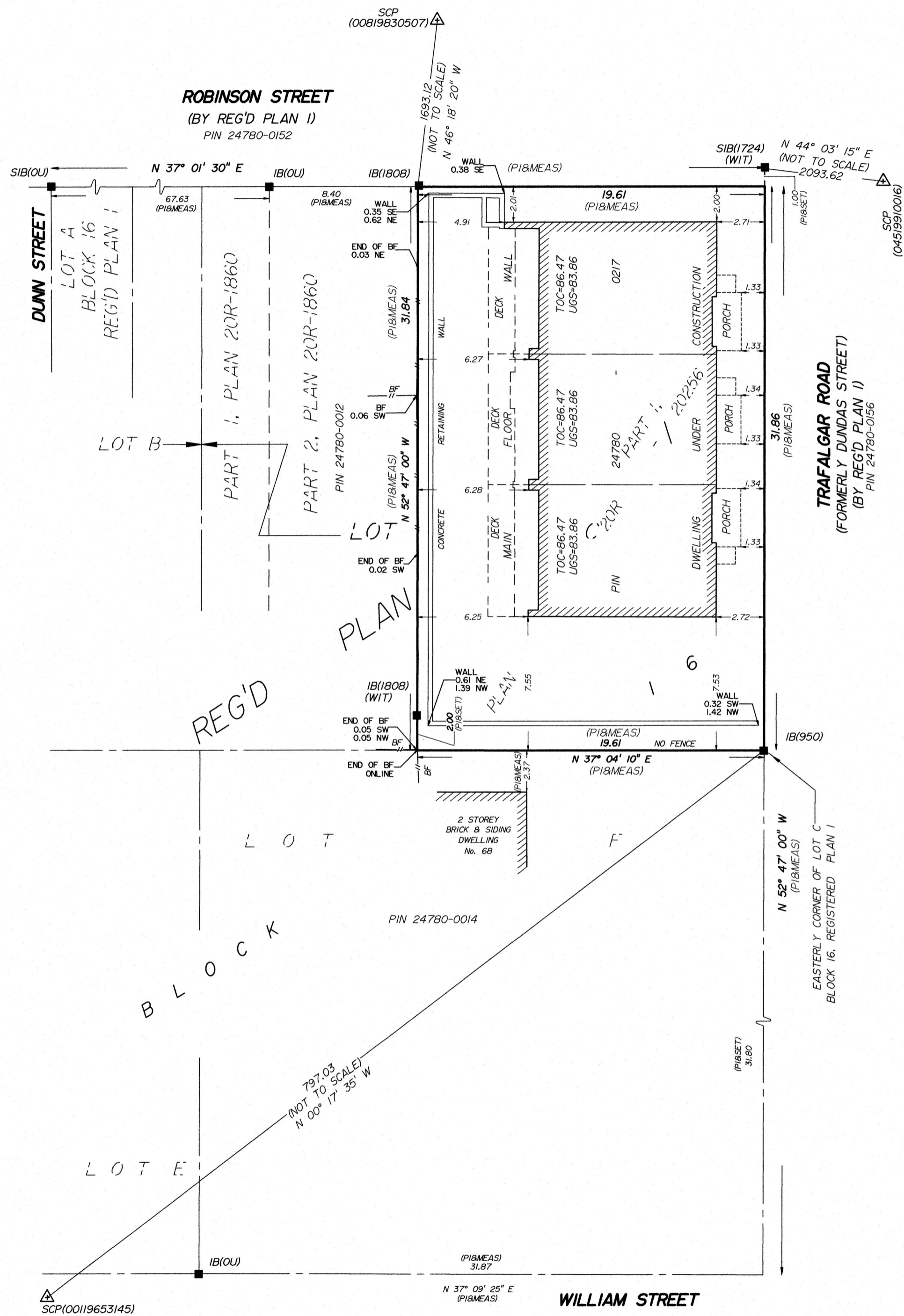
### **Date mailed:**

November 22, 2024

# CAV A/168/2024 - 78 Trafalgar Road







**SURVEYOR'S REAL PROPERTY REPORT - PART 1**

PLAN OF SURVEY OF  
**PART OF LOT C, BLOCK 16**  
**REGISTERED PLAN 1**  
**TOWN OF OAKVILLE**

REGIONAL MUNICIPALITY OF HALTON  
 0 5 10 15 20 Metres

Scale 1:200

J. H. Gelbloom Surveying Limited  
 Ontario Land Surveyor 2024

© COPYRIGHT 2024 J. H. Gelbloom Surveying Limited  
 The reproduction, alteration, or use of this REPORT in whole or in part, without the written permission of J. H. Gelbloom Surveying Limited is Strictly Prohibited.

**SURVEYOR'S REAL PROPERTY REPORT - PART 2**

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY  
 None

**NOTABLES**  
 Note the location of the Fences around the Subject Property.

**LEGEND**

□	Survey Monument Set	N	North
■	Survey Monument Found	E	East
SIB	Standard Iron Bar	S	South
IB	Iron Bar	W	West
(1724)	McCannell and Maughan Ltd., O.L.S.	TOC	Top of Concrete
(950)	F. G. Cunningham O.L.S.	BF	Board Fence
(1808)	J. H. Gelbloom Ltd., O.L.S.		
(OU)	Origin Unknown		
(WIT)	Witness		
PI	Plan 20R-20256		
UGS	Unfinished Garage Sill Elevation		
SCP	Specified Control Point		

**BENCHMARK**  
 Elevations are Geodetic and are Referred to the Geodetic Surveys of Canada Benchmark No. 18 having an Elevation of 90.393 m.

**NOTE**  
 This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.  
 All building ties are from the foundation and are perpendicular to property lines, unless otherwise noted.

This REPORT was prepared for Craig Auwaerter and the undersigned accepts no responsibility for use by other parties.

**NOTE**  
 Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

**BEARING NOTE**  
 BEARINGS ARE GRID, DERIVED FROM SPECIFIED CONTROL POINTS LISTED IN THE FOLLOWING TABLE, AND ARE REFERENCED TO THE CENTRAL MERIDIAN OF 6° UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (ORIG).

SPECIFIED CONTROL POINTS: UTM ZONE 17, NAD83 (ORIG).  
 COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
00119653145	4 810 478.250	608 001.415
04519910016	4 812 799.242	609 426.602
00819830507	4 812 448.026	606 736.355

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Distances shown on this plan are Ground Distances and can be converted to Grid Distances by Multiplying the Combined Scale Factor of 0.999737.

**SURVEYOR'S CERTIFICATE**

I certify that:  
 1: This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.  
 2: The survey was completed on the 29th day of January, 2024.

May 16, 2024  
 Date

Andrew Musil, O.L.S.

Party Chief:	Drawn By:	Checked By:	Project:
D.L.	N.A.	A.M.	23-134

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 V-69429



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

**J. H. Gelbloom Surveying Limited**  
 Ontario Land Surveyor  
 476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4  
 office@jhsurveying.ca  
 Phone:(905) 338-8210



CONSTRUCTION SCHEDULE:

**FOUNDATION WALL CONST.**

**EXTERIOR WALL CONSTRUCTION**

**FOUNDATION WALL CONSTRUCTION POURED CONCRETE,**

10" REIN. FDN. WALL ON 24" X 8" FOOTING. 15M HORIZONTAL AND VERT @ 16" O/C INSIDE FACE C/W 2-15M TOP AND BOTTOM MATCHING DOWELS INTO FTG. TYPICAL WHEN SOIL HEIGHT <math>28'-6''</math> (2.5m) PER CBC 9.15.4.2X SEE PLAN FOR REIN. AREA

**FOUNDATION WALL CONSTRUCTION POURED CONCRETE,**

10" CON. FND. WALL ON FTG. (SEE FDN PLAN) PROVIDE 15M @ 16" H.V. INSIDE FACE IF UNSUPPORTING BASEMENT HEIGHT EXCEEDS 8'-2", OR MAX. HEIGHT OF FIN. GRADE ABOVE BSMT. IS MORE THAN 7'-7"

**FOUNDATION WALL CONSTRUCTION**

**INTERIOR**

**EXTERIOR**

4" CONCRETE SLAB ON 5" CLEAN GRANULAR FILL 32 MPa - 5-8% AIR ENTR. C/W 6" X 6" X 3/16" WWM OPT. CLASS C1

MIN. CONCRETE STRENGTH = 25MPa

TOP OF WALL

FIN. GRADE

FREE DRAINAGE GRANULAR BACKFILL

10" POURED CONCRETE WALL

CONCRETE FOOTING (SEE FDN PLAN)

**EXTERIOR WALL CONSTRUCTION**

**W1** BRICK/ STONE VENEER, CONTINUOUS LIMESTONE SILL  
INSTALL BELOW CONCRETE SILL:  
4" BRICK / STONE VENEER BASE  
1" AIR SPACE  
4"x6" CONTINUOUS STONE SILL FINISHED W/ ROUGH FINING EDGES, SMOOTH TOP AND BOTTOM AND DRIP EDGE.  
INSTALL SILL W/ 2% SLOPE AWAY FROM HOUSE  
"TYVEK" MOISTURE PROTECTION  
3/4" SPRUCE PLYWOOD  
2"x6" SPRUCE STUDS @ 16" O.C  
R24 MINERAL WOOL INSULATION  
6 MIL POLY VAPOUR BARRIER, TAPE AND SEAL ALL JOINTS  
3/2" GYPSUM BOARD

**W2** E.I.F.S. WALLS  
SCREEN WALL CONSTRUCTION  
APPROVED MINISTER'S RULING:  
-No. 95-07-66 (12874-R)-DRYVIT  
-No. 95-03-22 (12416-R)-Sto  
FINISH COAT  
BASE COAT  
REINFORCING MESH  
PREP COAT  
MINIMUM 1" RIGID INSULATION BOARD  
ADHESIVE AS PER MANUFACTURER'S SPECIFICATION  
WATER PENETRATION BARRIER AS PER MANUFACTURER'S SPECIFICATIONS  
2"x6" SPRUCE STUDS @ 16" O.C.  
R24 MINERAL WOOL INSULATION  
6 MIL POLY CONTINUOUS VAPOUR BARRIER  
3/2" GYPSUM BOARD

**W3**

**INTERIOR WALL CONSTRUCTION**

**N1** INTERIOR DRYWALL PARTITION  
3/2" GYPSUM BOARD  
EACH SIDE OF 2"x4" OR 2"x6" SPRUCE STUDS @ 16" O.C.  
NOTE:  
ALL INTERIOR WALLS TO BE 'N1' CONSTRUCTION, UNLESS OTHERWISE NOTED.

**N2** INTERIOR ATTIC/KNEE INTERIOR WALL  
2"x6" SPRUCE STUDS @ 16" O.C.  
R24 MINERAL WOOL "ROXUL" INSULATION  
6 MIL POLY CONTINUOUS VAPOUR BARRIER  
3/2" GYPSUM BOARD

**N3** INTERIOR LOAD BEARING, ABOVE BASEMENT  
--- DENOTES EXTENT OF INTERIOR LOAD BEARING WALLS TO BE CONSTRUCTED OF:  
2"x6" SPRUCE STUDS @ 12" O.C.  
OR 2"x4" SPRUCE STUDS @ 12" O.C  
C/W 3/2" GYPSUM BOARD EACH SIDE OF STUDS AS INDICATED ON PLANS

**N4** INTERIOR LOAD BEARING, THRU BASEMENT FLOOR  
--- DENOTES EXTENT OF INTERIOR LOAD BEARING WALLS TO BE CONSTRUCTED OF:  
2"x6" SPRUCE STUDS @ 12" O.C.  
ON SILL GASKET/MOISTURE PROTECTION ON 1 COURSE OF 6" CONCRETE BLOCK ON CONTINUOUS 18"x6" POURED CONCRETE FOOTING C/W 3/2" GYPSUM BOARD EACH SIDE OF STUDS AS INDICATED ON PLANS

**N5** INTERIOR AT GARAGE WALL  
3/2" GYPSUM BOARD  
2"x6" SPRUCE STUDS @ 16" O.C.  
R24 MINERAL WOOL INSULATION  
6 MIL POLY CONTINUOUS VAPOUR BARRIER  
3/2" GYPSUM BOARD

**TYPICAL NOTES FOR INTERIOR WALLS: STANDARD APPLICATION**  
NOTE:  
1. WASHROOM WALLS TO HAVE WATER RESISTANT GYPSUM BOARD.  
2. SHOWER ENCLOSURES TO BE LAD WITH WOODER BOARD.  
3. PROVIDE POLY MOISTURE PROTECTION BELOW WALLS ATOP OF CONCRETE FLOOR SLABS.  
4. PROVIDE SOUND ABSORPTIVE INSULATION IN PARTITIONS AROUND WASHROOMS, ENSUITES, POWDER ROOMS & LAUNDRY ROOMS.

**FLOOR CONSTRUCTION**

**F1** EXISTING CONCRETE FLOOR CONSTRUCTION SLAB ON GRADE  
4" CONCRETE FLOOR SLAB  
6 MIL POLY DAMPROOFING  
5" OF 3/4" CLEAR CRUSHED STONE ON GRADE

**F2** NEW CONCRETE FLOOR CONSTRUCTION SLAB ON GRADE  
4" CONCRETE FLOOR SLAB  
6 MIL POLY DAMPROOFING  
5" OF 3/4" CLEAR CRUSHED STONE ON GRADE

**F3** CONCRETE FLOOR CONSTRUCTION GARAGE FLOOR  
4" CONCRETE SLAB (MINIMUM DEPTH)  
C/W 35MPa & 8% AIR ENTRAINMENT  
PROVIDE 6"x6"x6" WIRE MESH SHEETS  
SLAB TO BE ON 6" CLEAR CRUSHED STONE AND HAVE MINIMUM 2% SLOPE TOWARDS OVERHEAD DOOR

**F4** WOOD FLOOR CONSTRUCTION TYPICAL APPLICATION  
3/4" T&G SPRUCE PLYWOOD SUBFLOOR  
SCREW TO WOOD FLOOR JOISTS.  
REFER TO FLOOR PLANS FOR SIZES  
2"x2" CROSS BRIDGING AT MAXIMUM 7'-0" SPACING  
3/8" GYPSUM BOARD CEILING, DIRECTLY APPLIED TO UNDERSIDE OF JOISTS

**F5** WOOD FLOOR CONSTRUCTION INSULATED, BOTTOM EXTERIOR  
3/4" T&G SPRUCE PLYWOOD SUB-FLOOR  
SCREW TO WOOD FLOOR JOISTS, REFER TO FLOOR PLANS  
2"x2" CROSS BRIDGING AT MAXIMUM 7'-0" SPACING  
MIN. R40 SPRAY FOAM INSULATION BETWEEN JOISTS, AND AROUND HVAC DUCTING, AND MECHANICAL PIPING AS PER CAN./ULC S705.1  
CONTINUOUS 6 MIL POLY VAPOUR BARRIER C/W LAPPED AND CAULKED JOINTS  
3/2" DRYWALL, GAS PROOF JOINTS

**F6** EXTERIOR FLOOR CONSTRUCTION FLAGSTONE TOPPING ON STRUCTURAL SLAB  
1/2" FLAGSTONE TOPPING,  
STYLE & COLOUR TO BE APPROVED BY OWNER & ARCHITECT  
1" MORTAR BED  
REINFORCED CONCRETE SLAB ON GRADE  
REINFORCING AS PER STRUCTURAL DRAWINGS  
COMPLETE WITH MINIMUM 2% SLOPE AWAY FROM HOUSE FOR DRAINAGE

**F7** WOOD FLOOR CONSTRUCTION INSULATED, ABOVE GARAGE  
WASTE PIPE  
HOT & COLD WATER SUPPLY  
RETURN AIR DUCT  
MINIMUM 4" CLEARANCE FOR CIRCULATION  
PLYWOOD SUBFLOOR GLUED & SCREWED TO FLOOR JOISTS  
3/2" SUSPENDED STEEL JOIST FRAMING  
CONTINUOUS 6 MIL POLY VAPOUR BARRIER C/W LAPPED & CAULKED JOINTS  
2 LAYERS R20 BATT INSUL. INSTALLED PERPENDICULAR TO EACH OTHER

**GENERAL NOTES**  
1. ALL ELECTRICAL FIXTURES IN CEILING TO BE EITHER SURFACE MOUNTED OR SEALED AGAINST GAS FUME PENETRATION.  
2. LOCATE SUPPLY AND RETURN AIR DUCTS TO PROVIDE CROSS FLOW ACROSS PLENUM.  
3. SUPPLY AND RETURN AIR DUCT SIZES AS PER HEATING DRAWINGS  
4. SUPPLY AND RETURN AIR DUCTS TO BE EQUIPPED WITH ACCESSIBLE BALANCING DAMPER THIS SKETCH REPRESENTS UNIFORM ACCEPTANCE.  
5. CRITERIA FOR HEATED FLOOR CEILING PLENUM SYSTEMS. THIS SYSTEM IS ONLY ONE METHOD TO ACHIEVE A WARM FLOOR SURFACE.

**ROOF CONSTRUCTION**

**R1** ASPHALT SHINGLE ROOF RAFTER / CEILING JOISTS  
ASPHALT SHINGLES - 25 YEAR  
3/4" SPRUCE PLYWOOD + 1" CLIPS ON RAFTERS AND CEILING JOISTS AS PER PLANS  
R60 BLOWN IN INSULATION,  
LOCATE "RAFT-R-MATE" ATTIC RAFTER VENTS TO ENSURE MIN 2" AIR FLOW SPACE BETWEEN TOP OF INSULATION AND BOTTOM OF PURLINS  
6 MIL POLY VAPOUR BARRIER (GARAGE CEILINGS WILL NOT BE INSULATED)  
3/4" GYPSUM BOARD  
3/2" PLYWOOD SUB-SOFFIT & 1"x4" T&G WOOD SOFFIT @ PORCHES)

**R2** LOW SLOPE CONSTRUCTION LOW SLOPE MEMBRANE  
2 PLY ASPHALT BASED MEMBRANE ROOF SYSTEM TORCH APPLIED TO PROTECTION BOARD ON TAR PRIMER COAT IF REQUIRED BY MEMBRANE MANUFACTURER AS PER CGSB 37-GP-52M  
3/4" FIR PLYWOOD SHEATHING  
2"x4" CUT FOR A MINIMUM 2% SLOPE TO DRAINS OR EDGE  
ROOF JOISTS AS PER STRUCTURAL LAYOUT

**R3** ASPHALT SHINGLE ROOF SLOPED CEILING, FINISHED  
ASPHALT SHINGLES - 25 YEAR  
3/4" SPRUCE PLYWOOD + 1" CLIPS ON 2"x4" CROSS PURLINS FOR VENTILATION  
ROOF RAFTERS AND SPACING AS PER PLANS  
MIN. R31 MINERAL WOOL BATT INSULATION  
LOCATE "RAFT-R-MATE" ATTIC RAFTER VENTS TO ENSURE MIN 2" AIR FLOW SPACE BETWEEN TOP OF INSULATION AND BOTTOM OF PURLINS AT RAFTER TO WALL INTERSECTIONS.  
6 MIL POLY VAPOUR BARRIER  
3/2" CEILING BOARD, GYPSUM

**R4** STANDING SEAM, METAL ROOF SLOPED FINISHED CEILING  
STANDING SEAM METAL ROOF, BY VIC WEST OR APPROVED OTHER  
LOCATE "RAFT-R-MATE" CROSS PURLINS, USE PLASTIC CAP SCREWS W/ RUBBER WASHER  
ROOF RAFTERS AND SPACING AS PER PLANS  
MIN. R31 MINERAL WOOL BATT INSULATION  
LOCATE "RAFT-R-MATE" ATTIC RAFTER VENTS TO ENSURE MIN 2" AIR FLOW SPACE BETWEEN TOP OF INSULATION AND BOTTOM OF PURLINS AT RAFTER TO WALL INTERSECTIONS.  
6 MIL POLY VAPOUR BARRIER  
3/2" CEILING BOARD, GYPSUM

ROOF VENTING OBC 9.19.1.3  
PROVIDE MIN. 63mm (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE

ROOF SPACE VENTING OBC 9.19.1.2(2)  
ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/2 OF THE INSULATED CEILING AREA

ROOF SPACE VENTING OBC 9.19.1.2(3)  
REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE/EAVE TYPE/GABLE-END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A)UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING, (B)WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C)WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE

FLASHING AT INTERSECTIONS OBC 9.26.4  
FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY

PARTY WALL STC RATING TO BE AT LEAST 50

PARTY WALL FIRE SEPARATION RATING = 1 HOUR

FIRE SEPARATIONS  
ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE "F" FIRE RATED SYSTEM TESTED TO TEST METHOD CAN-S115.

9.10.8.3 RATING OF SUPPORTING CONSTRUCTION  
ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY

9.10.9.6. PENETRATION OF FIRE SEPARATIONS  
(1) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**

**NOTE SCHEDULE:**

1. GARAGE GAS PROOFING NOTES:  
ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT INFILTRATION OF GASES INTO DWELLING  
1. PROVIDE 1/2" GYPSUM BOARD WITH MINIMUM 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.  
2. CALK JOINTS BETWEEN GYPSUM BOARD & OTHER SURFACES WITH ACROUSTIC SEALANT.  
3. CALK ALL PENETRATIONS SUCH AS HOSE BIBS WITH ACROUSTIC SEALANT.  
4. DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING AND WEATHER-STRIPPED AND PROVIDED WITH A SELF CLOSING DEVICE. DOOR MUST NOT OPEN DIRECTLY INTO A ROOM INTENDED FOR SLEEPING.  
5. GARAGE SLAB SHALL BE SLOPED TO DRAIN TO OUTDOORS  
6. WHERE AN ATTACHED GARAGE IS ADJACENT TO AN ATTIC SPACE, CARRY GYPSUM BOARD UP TO ROOF SHEATHING & CALK WITH ACROUSTIC SEALANT.

2. INSUL. METAL DOOR GAS PROOFED WITH SELF CLOSER AND WEATHER STRIPPING. MAXIMUM 1/2" HIGH THRESHOLD

3. SECTIONAL WOOD OVERHEAD DOOR C/W GARAGE DOOR OPENER

4. WOOD TREAD, OPEN RISER STAIR

5. ROD & SHELF

6. WOOD STAIRS C/W HANDRAIL REFER TO SPECIFICATION FOR TYPE OF STRINGER, RISER, TREAD AND RAILING COMPONENTS

7. ALL STAIRS/EXTERIOR STAIRS  
MAX. RISE = 200 (7 7/8")  
MIN. TREAD = 255 (10")  
MIN. NOSING = 25 (1")  
MIN. HEADROOM = 1950 (6' 1")  
MIN. WIDTH = 860 (2' 10")  
FOR CURVED STAIRS.....  
MIN. RISE = 150 (5 7/8")  
MIN. AVERAGE RUN = 200 (7 7/8")

HANDRAIL & GUARDRAIL  
GUARD @ INTERIOR LANDING 2'-11"  
RAIL @ INTERIOR STAIR 2'-7"  
GUARD @ EXTERIOR LANDING (GREATER THAN 5'-10" ABOVE FINISHED GRADE) 3'-5"  
RAIL @ EXTERIOR LANDING (LESS THAN 5'-10" ABOVE FINISHED GRADE) 2'-11"  
RAIL @ EXTERIOR STAIR 2'-11"  
MAXIMUM SPACE BETWEEN PICKETS 4"

8. UPPER AND LOWER CABINETS TO COUNTRYMANUFACTURER DETAIL C/W 1/2"x12" GYPSUM BOARD BULKHEAD

9. GYPSUM BOARD BULKHEAD C/W FIRESTOPPING WITH SOLID LUMBER OR 1/2" GYPSUM BOARD TO UNDERSIDE OF JOISTS

10. FILL ARCH COMPLETE WITH TRIM AND CASING TO MATCH DOORS.

11. DECORATIVE WOOD COLUMN

12. 36" WIDE X FULL HEIGHT MIRROR ABOVE VANITY

13. MILLWORK TO CABINETS MANUFACTURER DETAIL

14. ZERO CLEARANCE GAS FIREPLACE C/W VENT TO EXTERIOR. NON-COMBUSTIBLE & CORROSION RESISTANT DUCTING

15. COOK TOP VENT DIRECT TO EXTERIOR W/ NON COMBUSTIBLE DUCTING

16. KITCHEN CABINETS AS PER KITCHEN MANUFACTURER'S LAYOUT  
CONFORM LOCATION OF APPLIANCES WITH OWNER AND ARCHITECT

17. DRYER VENT TO EXTERIOR W/ NON COMBUSTIBLE DUCTING

18. VANITY AS PER CABINET COMPANY DETAILS C/W FULL HEIGHT X VANITY WIDTH MIRROR

19. TEMPERED GLASS SHOWER ENCLOSURE C/W 24X72 TEMP. GLASS DOOR.  
4" CURB AND CERAMIC TILE WALLS AND CEILING

20. CERAMIC TILE TUB PLATFORM. PROVIDE RECESS ADJACENT TO WINDOW (WHERE APPLICABLE) PROVIDE ACCESS TO WHIRLPOOL EQUIPMENT

21. STRUCTURAL WOOD POST OR STEEL COLUMN CLAD WITH MINIMUM 1 1/2" PINE CLADDING PAINTED ON BOTH SIDES

22. WOOD BEAM C/W TRIM & MOULDING

23. 5 ADJUSTABLE WOOD SHELVES

24. 18"x24" RECESSED MEDICINE CABINET

25. 30" X 30" INSULATED ATTIC HATCH

26. STONE WINDOW WELL C/W WEEDING TILE CONNECTED TO PERIMETER DRAINAGE AND STONE LEDGE

27. SLOPE CONCRETE FLOOR TO FLOOR DRAIN WITH MINIMUM 2% SLOPE

28. RECESSED WOOD PANEL

29. SQUARE CUT INDIANA LIMESTONE, CONTINUOUS SILL C/W SLOPE. COPPER WALL FLASHING AND DRIP EDGE

30. CUT OUT FOUNDATION WALLS FOR OVERHEAD DOOR OR WIN DOOR ABOVE

31. STAINLESS STEEL B-VEN INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND CLEARANCE TO COMBUSTIBLE CONSTRUCTION AS PER MANUFACTURER'S SPECS

32. CONTINUOUS PREFINISHED METAL FLASHING & PREFINISHED METAL VALLEY FLASHING

33. PROVIDE ROOF CRACKETS WITH POSITIVE SLOPE AWAY FROM ANY OBSTRUCTIONS ON ROOF

34. PREFINISHED METAL EAVETROUGH & 6" HOPPERS DOWNSPOUTS

35. EXHAUST FAN ROOMS WHERE SPECIFIED TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST 1 AIRCHANGE PER HOUR.

36. ROOF VENTS TO BE PREFINISHED METAL MUSHROOM TYPE. NO VENTS ON FRONT ELEVATION

37. INSTALL PREFINISHED METAL FLASHINGS IN ALL VALLEYS.

38. PROVIDE ICE AND WATER SHIELD PROTECTIVE MEMBRANE BY "TWO INDUSTRIES" OR APPROVED EQUAL. APPLY MEMBRANE OVER PLYWOOD SHEATHING. MEMBRANE TO EXTEND FROM EDGE OF ROOF OVERHANG (AT LOW SLOPE) TO A POINT MINIMUM 5'-0" BEYOND INSIDE FACE OF EXTERIOR WALLS. ALSO INSTALL MEMBRANE UP WALLS MINIMUM 1'-0" UP SLOPE EACH WAY TYPICAL. CBCM APPROVAL NO. 12413-L (MINISTER'S RULING: M1894-10-010-(12413-R)) (EAVE PROTECTION AS PER OBC 9.26.5)

39. 1/2" PLYWOOD SUB-SOFFIT & 1"x4" T&G WOOD SOFFIT @ PORCHES C/W CONT. VENT STRIP

40. MINIMUM 1/2" PARING WITH BROOM FINISH

41. 1'-4" - OVERHANG CONSTRUCTION - 1 1/2" SHINGLE MOULD ON 1X8 WOOD FASCIA, WITH 1X4 T&G SOFFIT

42. DORMER OVERHANG CONSTRUCTION - 3/4" SHINGLE MOULD ON 1X8 WOOD FASCIA, SLOPE FASCIA

43. STEP DOWN FOOTING, AS PER O.B.C. REQUIREMENTS

44. STUCCO SURROUNDS-  
HEADER : 8"x2" STANDARD FLAT STUCCO  
SIDES : 6" STANDARD FLAT STUCCO  
SILLS : 4" STANDARD FLAT STUCCO  
POSITIONS AS REQUIRED

45. STUCCO BAND: 23" (PRECAST LOOK)

46. STUCCO FREEZE: 10.5" AS PER ELEVATIONS

47. WROUGHT IRON RAILINGS, TO LATER DETAIL

48. WOOD PLASTER TO MATCH COLUMN DETAIL

49. CULTURED STONE OR EQUAL FINISH (MAX. 2" THICK) INSTALLED AS PER MANUF. SPECIFICATIONS

50. LOW SLOPE ROOFING TO BE OF A MINIMUM 2 PLY ASPHALT BASE MEMBRANE ON PROTECTION BOARD. MIN. 1:25 SLOPE TO ROOF EDGE.

51. CHIMNEY CONSTRUCTION: 4" STONE VENEER ON CONCRETE MASONRY UNITS, PROVIDE FLASHING AT ALL ROOF INTERSECTIONS (AT ROOF CHIMNEY)

52. CHIMNEY CONSTRUCTION: STONE TILE VENEER ON WOOD FRAMED CHIMNEY CHASE, PROVIDE FLASHING AT ALL ROOF INTERSECTIONS. (AT REAR CHIMNEY)

53. CHIMNEY CAP CONSTRUCTION: PRECAST CONCRETE CAP, C/W FLASHING & DRIP EDGE. (AT FRONT CHIMNEY)

54. TRIM FINISH, CORNER BATTENS: 2"x6" PAINTED WOOD, ON BOTH INSIDE AND OUTSIDE CORNERS.

55. CHIMNEY CAP CONSTRUCTION: STUCCO CAP PROFILE TO MATCH STUCCO CAP, C/W FLASHING & DRIP EDGE. (AT REAR CHIMNEY)

56. PROVIDE ROOF CRACKETS WITH POSITIVE SLOPE AWAY FROM ANY OBSTRUCTIONS ON ROOF.

57. ALL INTERIOR FINISHES TO BE SPECIFIED BY INTERIOR DESIGNER, UNLESS NOTED ON DRAWINGS.

58. ROOF VENTILATION (HIGH)  
--- INSTALL PREFINISHED METAL MUSHROOM TYPE VENTS TO PROVIDE VENT AREA OF 1/300 OF THE INSULATED CEILING AREA, OR VENT AREA OF 1/150 WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6.  
ROOF VENTILATION (LOW)--- INSTALL 1" CONTINUOUS CORE VENT BETWEEN CROWN MOULDING AND EXTERIOR WALL

59. WALL FLASHING: ALL FLASHING TO BE PREFINISHED METAL

60. ROOF TO WALL FLASHING: ALL FLASHING TO BE PREFINISHED METAL

**JRCP DESIGNS INC.**  
ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO (416) 655-0245  
email: jrpedesigns@yahoo.ca  
www: jrpedesigns.com

**GENERAL NOTES:**  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

**ISSUE DATE AND REVISION LOG**

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR CONSTRUCTION	FEB 09 2024

**FOR ARCHITECTURAL & STRUCTURAL REVIEW**

**PROJECT NAME AND ADDRESS:**  
**TOWNHOUSE DEVELOPMENT**  
78-80-82 TRAFALGAR RD.  
OAKVILLE, ON.  
(PROPOSED 78, 80 & 82 TRAFALGAR RD.)

**SCOPE OF WORKS:**  
**NEW BUILD CONSTRUCTION**

**DRAWINGS TITLE** SHEET NO.  
**CONSTRUCTION NOTES**  
**A-1**

DATE: MAY 30 2022  
DESIGNED BY: SCALE  
DRAWN BY: NOTED

**NO CHANGES TO DRAWINGS NEW PERMIT APPLICATION TO REPLACE ORIGINAL ISSUED PERMIT # 15-1138, 15-1139 & 15-1140**

**STRUCTURAL NOTES**

- AN ALLOWABLE SOIL BEARING CAPACITY OF 75 KPa (1550 psf) HAS BEEN USED FOR THE DESIGN OF FOUNDATIONS. THE ALLOWABLE SOIL BEARING CAPACITY SHALL BE SITE VERIFIED BY A CERTIFIED SOILS ENGINEER AT THE UNDERSIDE OF FOOTINGS PRIOR TO POURING CONCRETE.
  - CONTRACTOR IS TO NOTIFY ENGINEER OF COMMENCEMENT OF CONSTRUCTION.
  - CONTRACTOR IS TO NOTIFY ENGINEER 48 HOURS PRIOR TO FIRST FOUNDATION WALL POUR FOR REBAR INSPECTION.
  - CONTRACTOR IS TO CONTACT ENGINEER FOR FINAL FRAMING INSPECTION.
  - CONTRACTOR IS TO PROVIDE ADEQUATE SHORING DURING CONSTRUCTION FOR THE SAFE INSTALLATION OF ALL CONSTRUCTION MATERIALS.
  - ALL TIMBER TO BE SPF #2 OR BETTER. ROOF TRUSS LATERAL DEFLECTION NOT TO EXCEED 1/4".
  - ALL ENGINEERED LUMBER TO BE GRADE 2.0e PSL OR LVL (EXCEPT WHERE NOTED).
  - ALL STRUCTURAL STEEL BEAMS AND COLUMNS SHALL CONFORM TO CSA G40.21-92.
  - ALL REINFORCING STEEL TO BE GRADE 400 MPa AND SHALL CONFORM TO CSA-G30.18-M92.
  - CONCRETE FOR FOOTINGS AND FOUNDATION WALLS:  $f'_c = 25$  MPA AT 28 DAYS, SLUMP 75 MM (3"), AIR CONTENT IN CONCRETE EXPOSED TO WEATHER 3%-6%.
  - ALL TIMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED, INCLUDING STRUCTURAL TIMBER WITHIN EXTERIOR COLUMNS.
  - ALL STEEL EXPOSED TO THE EXTERIOR IS TO BE HOT DIPPED GALVANIZED.
  - ARCHITECT TO CONFIRM FLUSH AND DROPPED BEAMS (ALL BEAMS FLUSH UNLESS OTHERWISE NOTED). PROVIDE SADDLE FOR WOOD BEAMS WHICH BEAR ONTO OR INTO STEEL COLUMNS W/ 2-1/2" THROUGH BOLTS.
  - PROVIDE AND CONNECT A 2"x6" WOOD TOP PLATE TO THE TOP OF ALL STEEL BEAMS AND FASTEN WITH 1/2" DIAMETER THROUGH BOLT @ 2'-0" o/c STAGGERED IN PRE-DRILLED HOLES. IF USING SIDE MOUNTED HANGERS, FILL WEB OF STEEL BEAM WITH 2"x MEMBERS TO CLEAR FLANGE AND FASTEN TO BEAM WEB USING 1/2" THROUGH BOLT @ 2'-0" o/c.
  - ENGINEERED JOIST AND BEAM SHOP DRAWINGS (STAMPED BY P. ENG.) WHICH INCLUDE SPECS FOR ALL REQUIRED JOIST AND BEAM HANGERS ARE TO BE PROVIDED TO ENGINEER FOR REVIEW.
  - DESIGN LOADS:  
GROUND AND SECOND FLOOR LIVE LOADS = 40 PSF. ROOF SNOW LOAD = 25 PSF.  
GROUND AND SECOND FLOOR DEAD LOADS = 15 PSF. ROOF DEAD LOAD = 15 PSF.  
TERRACE/BALCONY LIVE LOAD = 40 PSF. CEILING LOAD = 7 PSF.  
TERRACE/BALCONY DEAD LOAD = 12 PSF. CEILING DEAD LOAD = 5 PSF.  
DEAD LOAD FOR ALL TILED AREAS = 20 psf
  - ROOF SHEATHING TO BE 1/2" PLYWOOD MIN. W/ H-CLIPS.
  - FLOOR SHEATHING TO BE 3/4" PLYWOOD MIN. T&G, GLUED AND SCREWED.
  - PROVIDE DOUBLE JOISTS (D.J.) BELOW WALLS WHICH ARE NON-BEARING AND PARALLEL TO SAID JOISTS.
  - PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL BEARING WALLS WHICH ARE PERPENDICULAR TO SAID JOISTS.
  - FLOOR JOIST SCHEDULE**  
TJI JOISTS HAVE BEEN DESIGNED FOR A DIRECT APPLIED GYPSUM CEILING TO THEIR BOTTOM CHORDS PLUS SOLID BLOCKING OR BRIDGING AT 8'-0" O.C. MAX.  
FJ-2= 9 1/2" TJI-S31 @ 16" o.c.  
FJ-3= 9 1/2" TJI-S33 @ 12" o.c.  
FJ-4= EXISTING 2"x8" @ 16"+ NEW 9 1/2" TJI-S31 @ 16" o.c.  
FJ-5= 2"x8" @ 16"
  - TIMBER BEAM SCHEDULE**  
2B8=2-2x8  
3B8=3-2x8  
2B9=2 PLY 1 1/2"x9 1/2" 2.0e PSL  
3B9=3 PLY 1 1/2"x9 1/2" 2.0e PSL  
4B9=4 PLY 1 1/2"x9 1/2" 2.0e PSL  
2B10=2-2x10  
3B10=3-2x10  
2B11=2 PLY 1 1/2"x11 1/2" 2.0e PSL  
3B11=3 PLY 1 1/2"x11 1/2" 2.0e PSL  
4B11=4 PLY 1 1/2"x11 1/2" 2.0e PSL  
2B12=2-2x12  
3B12=3-2x12
  - TIMBER LINTEL SCHEDULE**  
3L6=3-2x6  
2L8=2-2x8  
3L8=3-2x8  
2L9=2 PLY 1 1/2"x9 1/2" 2.0e PSL  
3L9=3 PLY 1 1/2"x9 1/2" 2.0e PSL  
2L10=2-2x10  
3L10=3-2x10  
2L11=2 PLY 1 1/2"x11 1/2" 2.0e PSL  
3L11=3 PLY 1 1/2"x11 1/2" 2.0e PSL  
3L12=3-2x12
  - TYPICAL BEARING WALL IS 2"x6" @ 12" O.C.
  - POST SCHEDULE:  
P2: 2-2"x6"  
P3: 3-2"x6"  
P4: 4-2"x6"  
P5: 5-2"x6"
  - COLUMN SCHEDULE:  
C1: HSS 3.5" x 0.25" PLUS 6"x3/8"x8" CAP PLATE W/ 4- 1/2" BOLTS AND 6"x3/8"x8" BASE PLATE W/ 2- 1/2" A.BOLTS.  
C2: HSS 4"x4"x0.313" COLUMN PLUS 8"x3/4"x8" CAP PLATE W/ 4- 1/2" BOLTS AND 10"x8"x10" BASE PLATE W/ 4-5/8" A.BOLTS.  
C3: HSS 5"x5"x0.25" COLUMN PLUS 8"x3/4"x8" CAP PLATE 12"x8"x12" BASE PLATE W/ 4-5/8" A.BOLTS.
- WHERE STEEL BEAMS ARE NOTED AS CONTINUOUS OVER INTERMEDIATE COLUMNS, PROVIDE A 3/8" THICK WEB STIFFENER PLATE ON BOTH SIDES OF THE BEAM WEB (DIRECTLY OVER THE COLUMNS).
- 10" (OR 12" THICK - SEE PLAN AND SECTIONS) BASEMENT CONCRETE WALLS NOT EXCEEDING 8'-2" (2500) IN UNSUPPORTED HEIGHT WITH A MAXIMUM HEIGHT OF FINISH GRADE ABOVE THE BASEMENT FLOOR NOT EXCEEDING 7'-7" (2300) CAN BE CONSTRUCTED OF UNREINFORCED CONCRETE. POURED CONCRETE FOUNDATION WALLS, 25 MPA AT 28 DAYS, WITH A MAXIMUM HEIGHT OF 10'-8" (3200MM) IN UNSUPPORTED HEIGHT WILL REQUIRE THE FOLLOWING REINFORCING (DOWELS FROM FOOTINGS TO WALLS SHALL MATCH THE SIZE & SPACING OF WALL REINFORCING):  
15M @ 16" O.C. V.I.F. (V.I.F. = VERTICAL INSIDE FACE)  
15M @ 16" O.C. H.I.F. (H.I.F. = HORIZONTAL INSIDE FACE)
  - PROVIDE 2-15M VERT. FULL HEIGHT ON EITHER SIDE OF BASEMENT WINDOW 4'-0" IN WIDTH OR GREATER.
  - TYPICAL EXTERIOR STRIP FOOTING TO BE 24"x8" DP. W/ 2-15M CONTINUOUS U/N OTHERWISE
  - TYPICAL INTERIOR STRIP FOOTING TO BE 20"x8" DP. W/ 2-15M CONTINUOUS U/N OTHERWISE  
F1-1: 48"x48"x16" THICK  
F1-2: 36"x36"x15" THICK  
F1-3: 66"x66"x30" THICK  
F1-4: 72"x72"x33" THICK
  - TYP. FIREPLACE FOOTING: 12" DEEP WITH 12" PROJECTION AROUND BASE REINFORCED WITH 15M @ 12" O.C. TOP AND BOTTOM EACH WAY.
  - PROVIDE 4'-0" MINIMUM FROST COVER FOR ALL EXTERIOR FOOTINGS.
  - STRUCTURAL SLAB "S1" DENOTES 6" THICK 32 MPa, 6%-8% AIR ENTRAINMENT CONCRETE REINFORCED WITH 10MB8" BOTTOM EACH WAY + 10MB18" TOP DOWELS ALL AROUND.  
STRUCTURAL SLAB S2 DENOTES 8" THICK 32 MPa, 4%-8% AIR ENTRAINMENT CONCRETE REINFORCED WITH 20MB12" BOTTOM LOWER LAYER (SHORT DIRECTION) AND 15MB12" BOTTOM UPPER LAYER (LONG DIRECTION) + 10MB18" TOP DOWELS ALL AROUND.
  - FOR ALL STEEL BEAMS BEARING ON CONCRETE WALL, PROVIDE A 6"x3/8"x10" WALL PLATE W/ 2-1/2" ANCHOR BOLTS.
  - LOOSE LINTELS:  
L1: L3.5"x3.5"x1/4" UP TO 3'-11" (4" BEARING).  
L2: L3.5"x3.5"x1/8" UP TO 5'-11" (6" BEARING).  
L3: L3.5"x3.5"x1/8" UP TO 7'-10" (8" BEARING).  
L4: L5.4"x3.8" UP TO 9'-10" (8" BEARING).

**NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140**

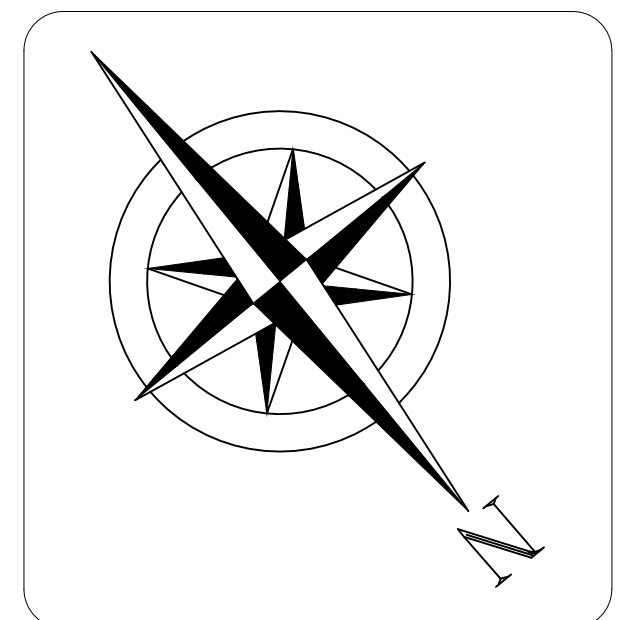
**JRCP  
DESIGNS INC.**  
ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
(416) 655-0245  
email: jrpedesigns@yahoo.ca  
www: jrpedesigns.com

**GENERAL NOTES:**  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ADJUST END WALLS AS PER CLIENTS REQUEST SEE BUBBLES	DEC 07 2023
06	ADDED COLD ROOM	DEC 18 2023
07	ISSUED FOR CLIENT REVIEW	DEC 20 2023
08	ISSUED FOR STL. SUPPLIER	JAN 29 2024
09	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

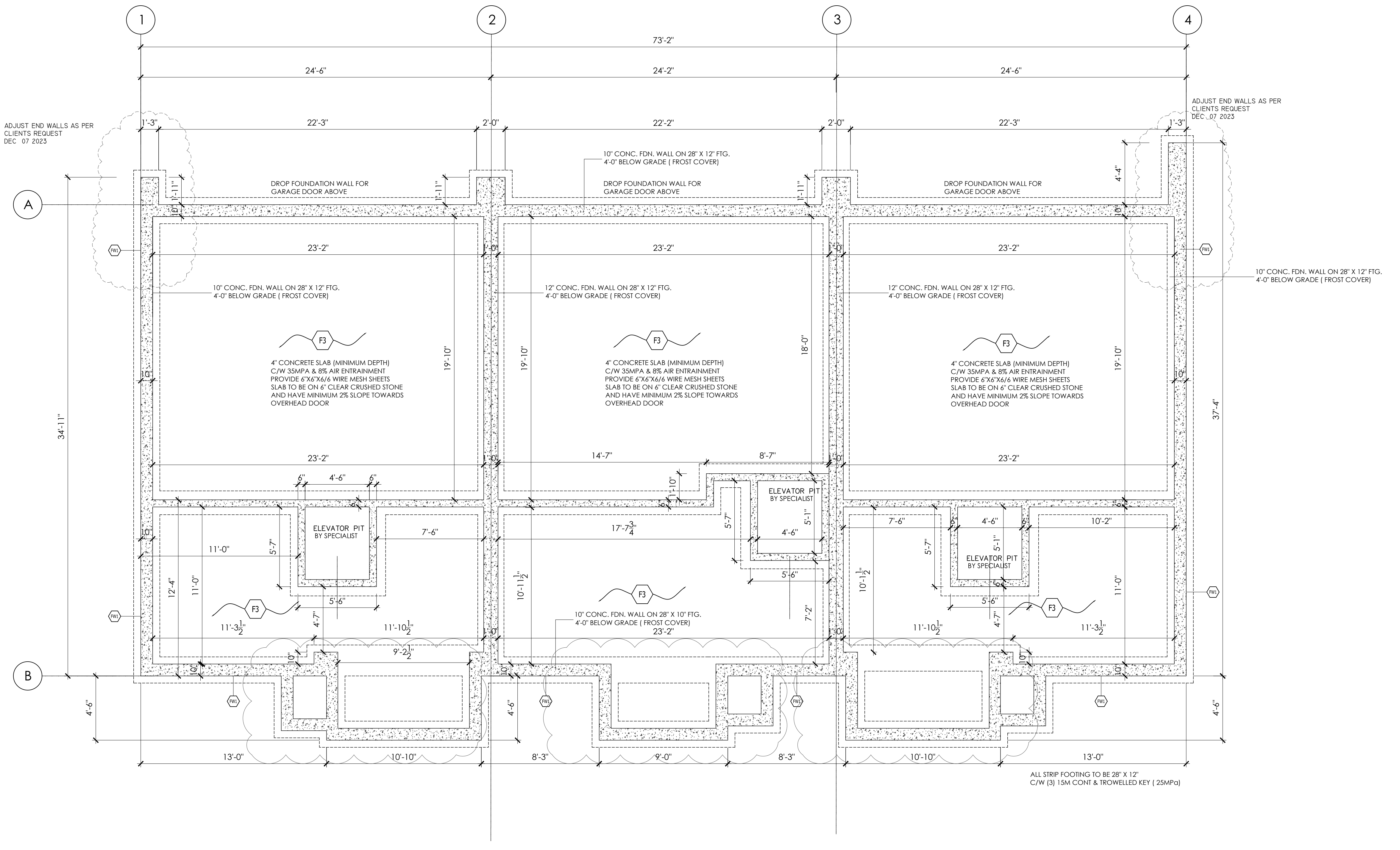
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.  
OAKVILLE, ON.  
(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE	SHEET NO.
<b>FOUNDATION PLAN</b>	<b>A-1.1</b>
DATE	MAY 30 2022
DESIGNED BY:	SCALE
DRAWN BY:	NOTED

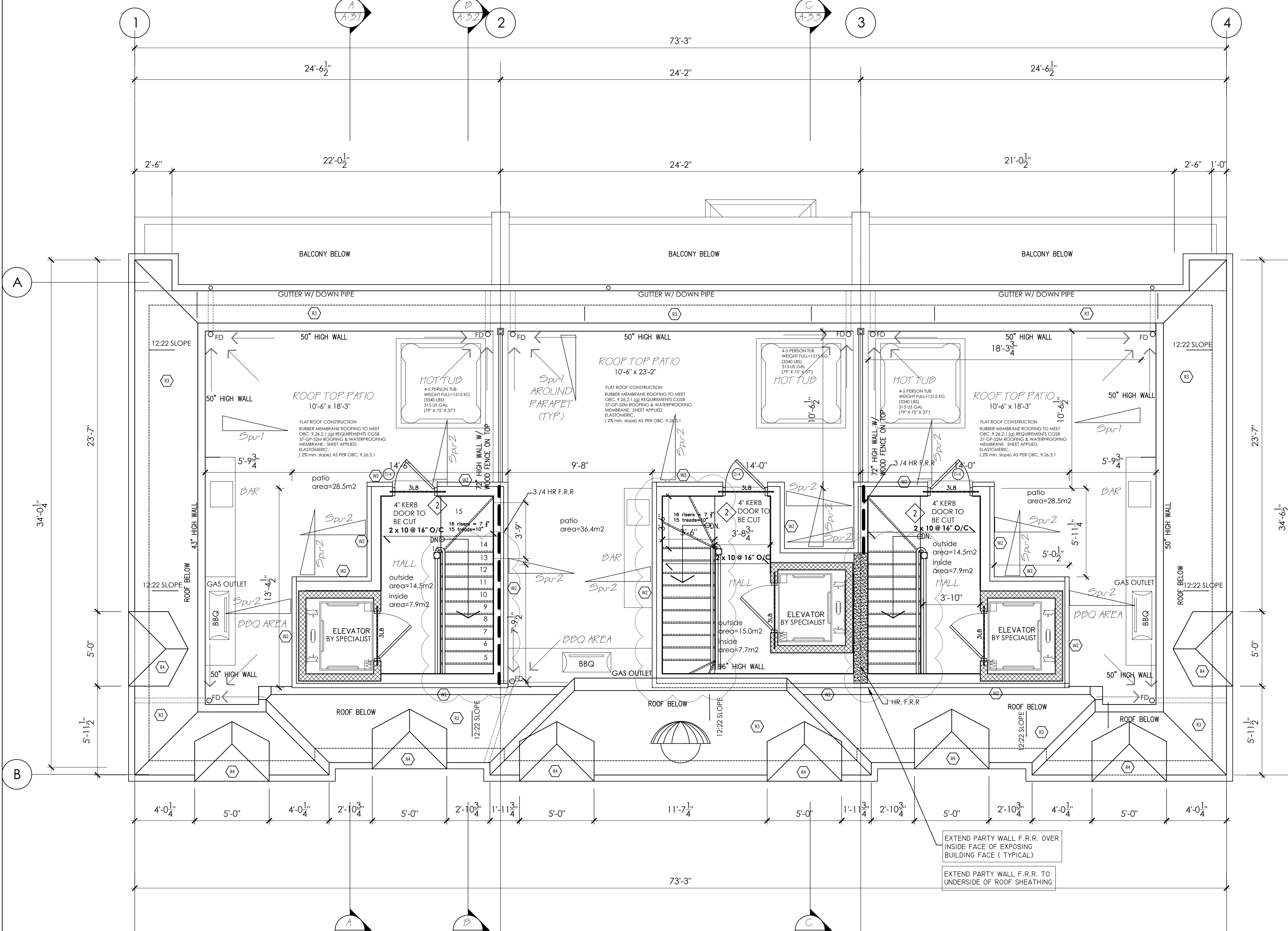
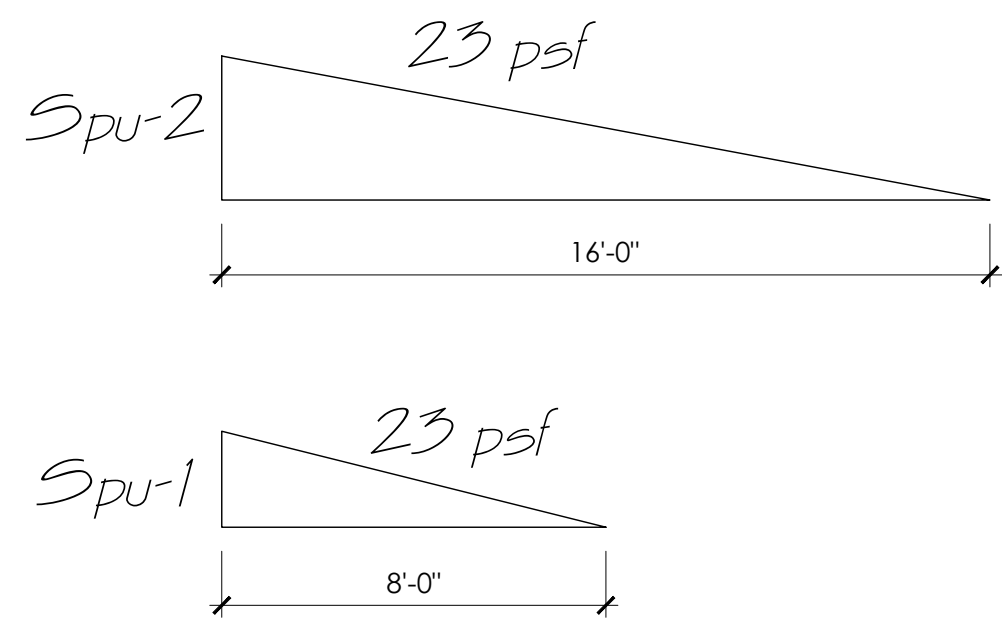
**THE STRUCTURE HAS BEEN DESIGNED  
IN ACCORDANCE WITH THE REQUIREMENTS  
OF THE 2012 ONTARIO BUILDING CODE  
LATEST EDITION. CONSTRUCTION  
PRACTICES SHALL BE ACCORDING TO THE SAME**



**FOUNDATION PLAN**  
1/4" = 1'-0"

<p><b>DAMP-PROOFING INTERIOR WALLS</b> O.B.C. 9.13.2.6 WHERE AN INTERIOR FINISH IS APPLIED TO FOUNDATION WALLS THE INTERIOR SURFACE OF THE WALL SHALL BE DAMP-PROOFED BELOW GROUND LEVEL.</p>	<p>9.9.10.1 EGRESS WINDOWS OR DOORS FOR BEDROOMS (1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT: A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 m<sup>2</sup> (3.8 FT<sup>2</sup>) WITH NO DIMENSION LESS THAN 380mm (15 IN) AND C) MAINTAINS THE REQUIRED OPENING DESCRIBED IN CLAUSE (B) WITHOUT THE NEED FOR ADDITIONAL SUPPORT (2) EXCEPT FOR BASEMENT AREAS, THE WINDOW DESCRIBED IN SENTENCE (1) SHALL HAVE A MAXIMUM SILL HEIGHT OF 1000mm (3FT 5IN) ABOVE THE FLOOR. (3) WHEN SLIDING WINDOWS ARE USED, THE MINIMUM DIMENSION DESCRIBED IN SENTENCE (1) SHALL APPLY TO THE OPENABLE PORTION OF THE WINDOW</p>	<p>SB-12. 3.1.1.1.2 DRAIN WATER HEAT RECOVERY A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN A DWELLING UNIT. IN AN UPRIGHT POSITION THAT DOES NOT DIVERGE MORE THAN 5 DEGREES FROM THE VERTICAL IN A POSITION SUCH THAT THE COLD WATER INLET CONNECTION IS AT THE BOTTOM OF THE UNIT. DOWNS TREAM OF A WATER SOFTENER WHERE A WATER SOFTENER IS INSTALLED AND IN A CONDITIONED SPACE OR ON THE WARM SIDE OF THE DEWPOINT OF THE WALL ASSEMBLY</p>	<p>WINDOW WELL GREAT THAN 0.6M (2'-0") DEEP SHALL BE PROTECTED WITH A GUARD OR GRATE O.B.C. 9.16.6.3 WINDOW WELLS SHALL BE DRAINED TO FOOTING LEVEL OR OTHER SUITABLE LOCATION</p>	<p>9.7.1.4 WINDOW OPENING INTO A WINDOW WELL (1) WHERE A WINDOW REQUIRED IN ARTICLE 9.7.1.3 OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 550MM SHALL BE PROVIDED IN FRONT OF THE WINDOW. (2) WHERE THE SASH OF A WINDOW REFERRED TO IN SENTENCE (1) SWINGS TOWARDS THE WINDOW-WELL, THE OPERATION OF THE SASH SHALL NOT REDUCE THE CLEARANCE IN A MANNER THAT WOULD RESTRICT ESCAPE IN AN EMERGENCY</p>	<p>ALL WINDOW MECHANICAL SYSTEM EFFICIENCIES AND THERMAL INSULATION LEVELS ARE TO COMPLY WITH THE APPROVED EEDS FORM.</p>	<p>SEE SEPARATE HVAC DRAWINGS FOR ALL HVAC APPROVAL INFORMATION, REVIEW NOTES AND RELATED COMMENTS</p>	<p>FLOOR AND ROOF FRAMING TO BE CO-ORDINATED BETWEEN ARCHITECTURAL PLANS AND ENGINEERING PLANS AND SPECIFICATIONS FROM LUMBER COMPANY</p>
<p><b>WOOD FRAME CONSTRUCTION</b> O.B.C. 9.23.2.3 UNTREATED WOOD FRAMING MEMBERS ON CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY MIN. 0.05MM (6MIL) POLYETHYLENE OR TYPE S ROLL ROOFING</p>	<p>NATURAL VENTILATION O.B.C. 9.13.2.6 OPENING FOR NATURAL VENTILATION OF COLD CELLAR SHALL BE 0.2 PERCENT OF FLOOR AREA AND PROTECTED FROM WEATHER AND INSECTS</p>	<p>STAIRWAY LIGHTING O.B.C. 9.34.2.3 (2) 3 WAY WALL SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAY SHALL BE PROVIDED TO CONTROL AT LEAST ONE LIGHTING OUTLET FOR STAIRWAYS WITH MORE THAN 4 RISERS</p>					



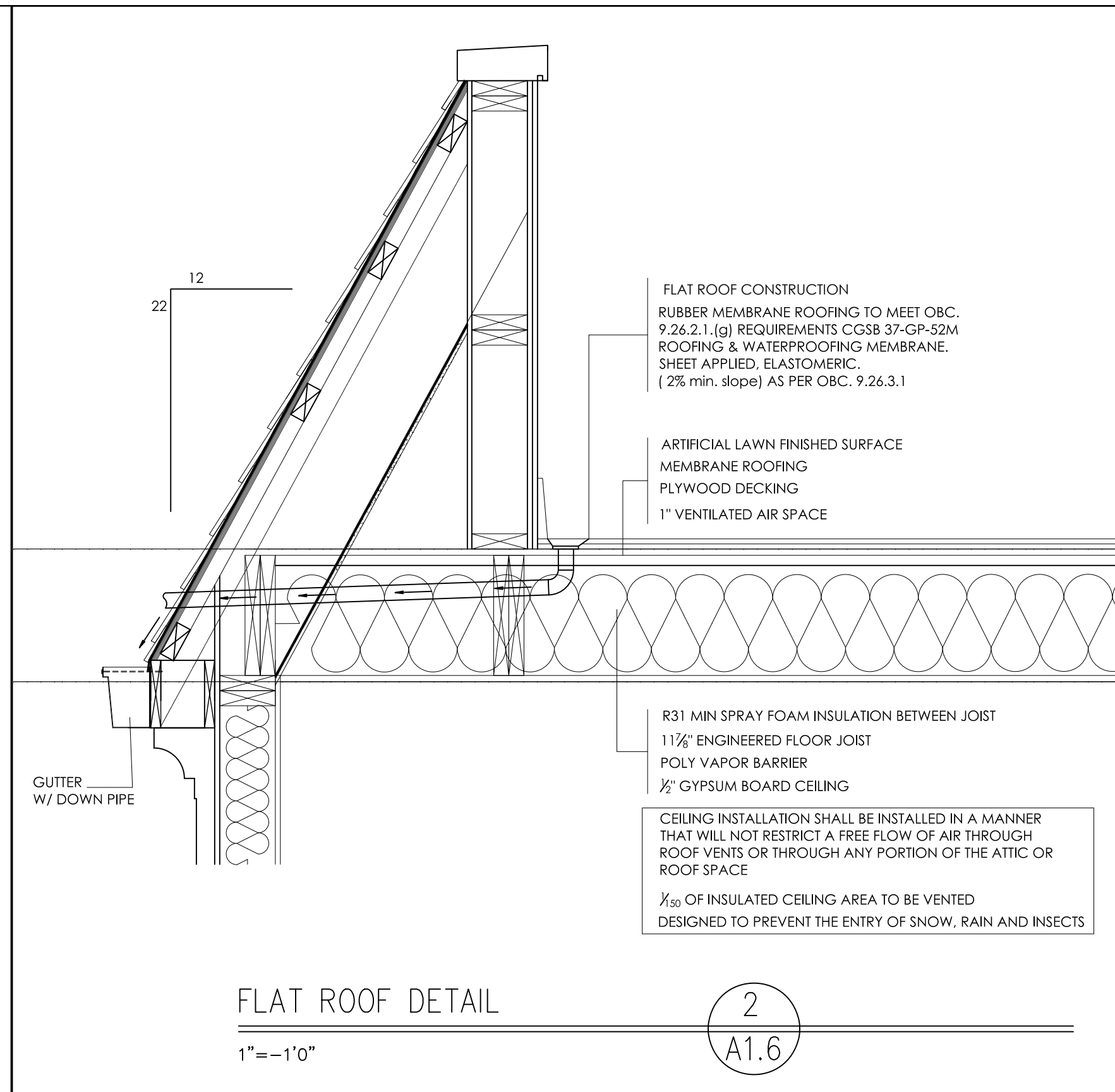


**UNIT-1**  
157 SQ.FT.  
(119 SQ.FT. (INTERIOR))

**UNIT-2**  
157 SQ.FT.  
(119 SQ.FT. (INTERIOR))

**UNIT-3**  
157 SQ.FT.  
(119 SQ.FT. (INTERIOR))

ROOF PLAN  
1/4" = 1'-0"



**FLAT ROOF DETAIL**  
1" = 1'-0"

NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140

PARTY WALL STC RATING TO BE AT LEAST 50

PARTY WALL FIRE SEPARATION RATING = 1 HOUR

FIRE SEPARATIONS  
ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE 1" FIRE RATED SYSTEM TESTED TO TEST METHOD CANA-SIS.

9.10.8.3 RATING OF SUPPORTING CONSTRUCTION  
ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY

9.10.9.6. PENETRATION OF FIRE SEPARATIONS  
(1) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION

ROOF VENTING OBC 9.19.1.3  
PROVIDE MIN. 63MM (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE

ROOF SPACE VENTING OBC 9.19.1.2(2)  
ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/6 OF THE INSULATED CEILING AREA

ROOF SPACE VENTING OBC 9.19.1.2(3)  
REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE, LEAVE TYPE, GABLE END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING, (B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE

FLASHING AT INTERSECTIONS OBC 9.26.4  
FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY

EXTEND PARTY WALL F.R.R. OVER INSIDE FACE OF EXPOSING BUILDING FACE ( TYPICAL)

EXTEND PARTY WALL F.R.R. TO UNDERSIDE OF ROOF SHEATHING

FLOOR AND ROOF FRAMING TO BE CO-ORDINATED BETWEEN ARCHITECTURAL PLANS AND ENGINEERING PLANS AND SPECIFICATIONS FROM LUMBER COMPANY

THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME

GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12

ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE  
**ROOF PLAN**

SHEET NO.  
**A-1.6**

DATE  
MAY 30 2022

DESIGNED BY:  
SCALE

DRAWN BY:  
NOTED

NO CHANGES TO DRAWINGS  
 NEW PERMIT APPLICATION  
 TO REPLACE ORIGINAL ISSUED  
 PERMIT # 15-1138, 15-1139 & 15-1140

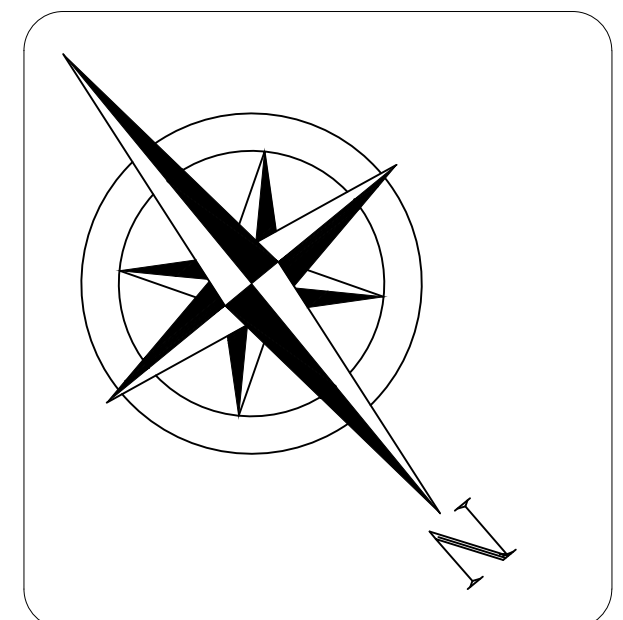
**JRCP**  
**DESIGNS INC.**  
 ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
 (416) 655-0245  
 email: jrpedesigns@yahoo.ca  
 www: jrpedesigns.com

GENERAL NOTES:  
 THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
 GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
 CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
 THIS DRAWING IS NOT TO BE SCALED.  
 ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
 ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
 ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

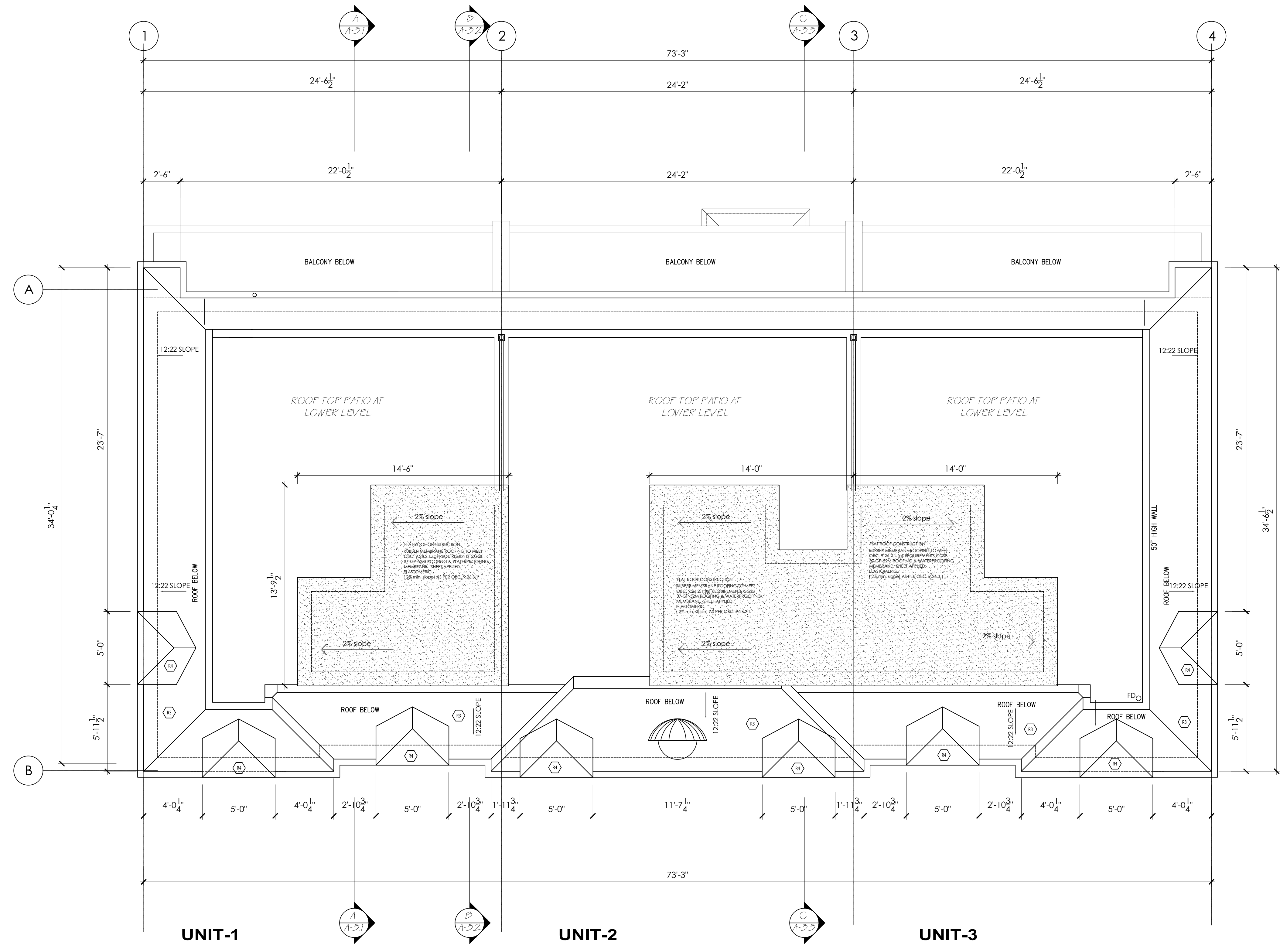
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>ROOF PLAN</b>	SHEET NO. <b>A-1.7</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	DRAWN BY:

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**

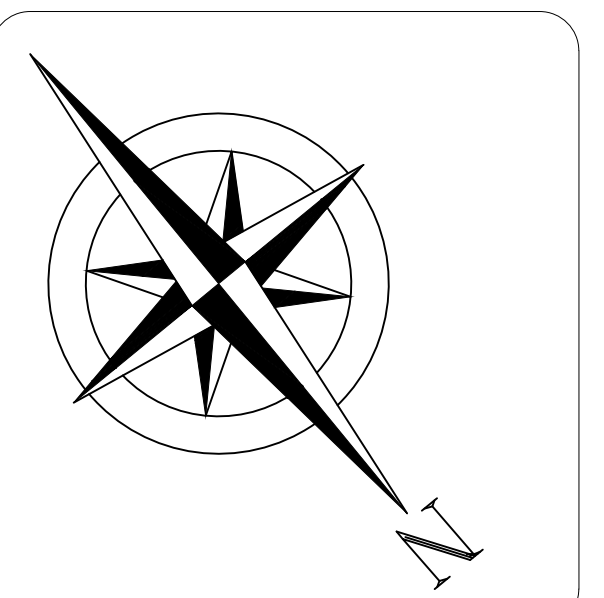


ROOF PLAN ( AT TOP OF ELEVATOR SHAFT) 1  
 1/4" = 1'-0" A1.7

FLOOR AND ROOF FRAMING TO BE CO-ORDINATED BETWEEN ARCHITECTURAL PLANS AND ENGINEERING PLANS AND SPECIFICATIONS FROM LUMBER COMPANY

GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG		
NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	METER BANK LOCATION	JAN 31 2023
05	RE-ISSUED TO CONSULTANTS	APR 19 2023
06	ISSUED FOR CLIENT REVIEW	DEC 20 2023
07	ISSUED FOR STL. SUPPLIER	JAN 29 2024
08	ISSUED FOR CLIENT REVIEW REVISED ELEVATIONS	FEB 01 2024
09	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:  
  
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>EAST ELEVATION</b>	SHEET NO. <b>A-2.1</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	DRAWN BY:

**THE STRUCTURE HAS BEEN DESIGNED  
IN ACCORDANCE WITH THE REQUIREMENTS  
OF THE 2012 ONTARIO BUILDING CODE  
LATEST EDITION. CONSTRUCTION  
PRACTICES SHALL BE ACCORDING TO THE SAME**



EAST ELEVATION (TRAFALGAR ROAD) 1  
A2.1  
1/4" = 1'-0"

NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140

**JRCP**  
DESIGNS INC.  
ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
(416) 655-0245  
email: jrpedesigns@yahoo.ca  
www: jrpedesigns.com

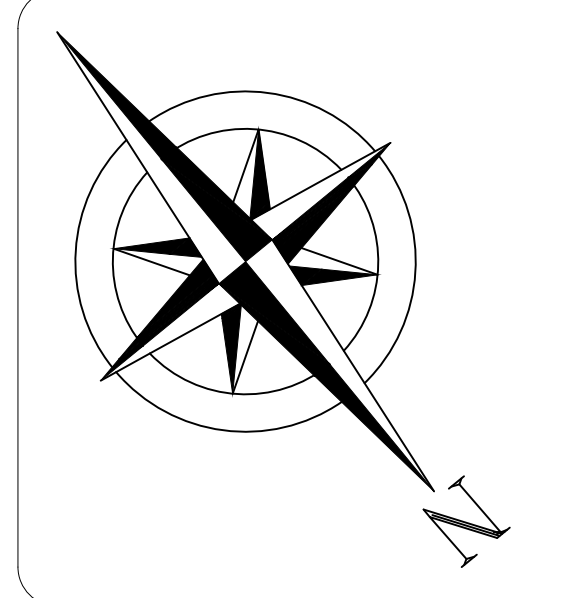
GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	MIETER BANK LOCATION	JAN 31 2023
05	RE-ISSUED TO CONSULTANTS	APR 19 2023
06	ISSUED FOR CLIENT REVIEW	DEC 20 2023
07	ISSUED FOR STL. SUPPLIER	JAN 29 2024
08	ISSUED FOR CLIENT REVIEW REVISED ELEVATIONS	FEB 01 2024
09	ISSUED FOR CONSTRUCTION	FEB 09 2024

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	MIETER BANK LOCATION	JAN 31 2023
05	RE-ISSUED TO CONSULTANTS	APR 19 2023
06	ISSUED FOR CLIENT REVIEW	DEC 20 2023
07	ISSUED FOR STL. SUPPLIER	JAN 29 2024
08	ISSUED FOR CLIENT REVIEW REVISED ELEVATIONS	FEB 01 2024
09	ISSUED FOR CONSTRUCTION	FEB 09 2024



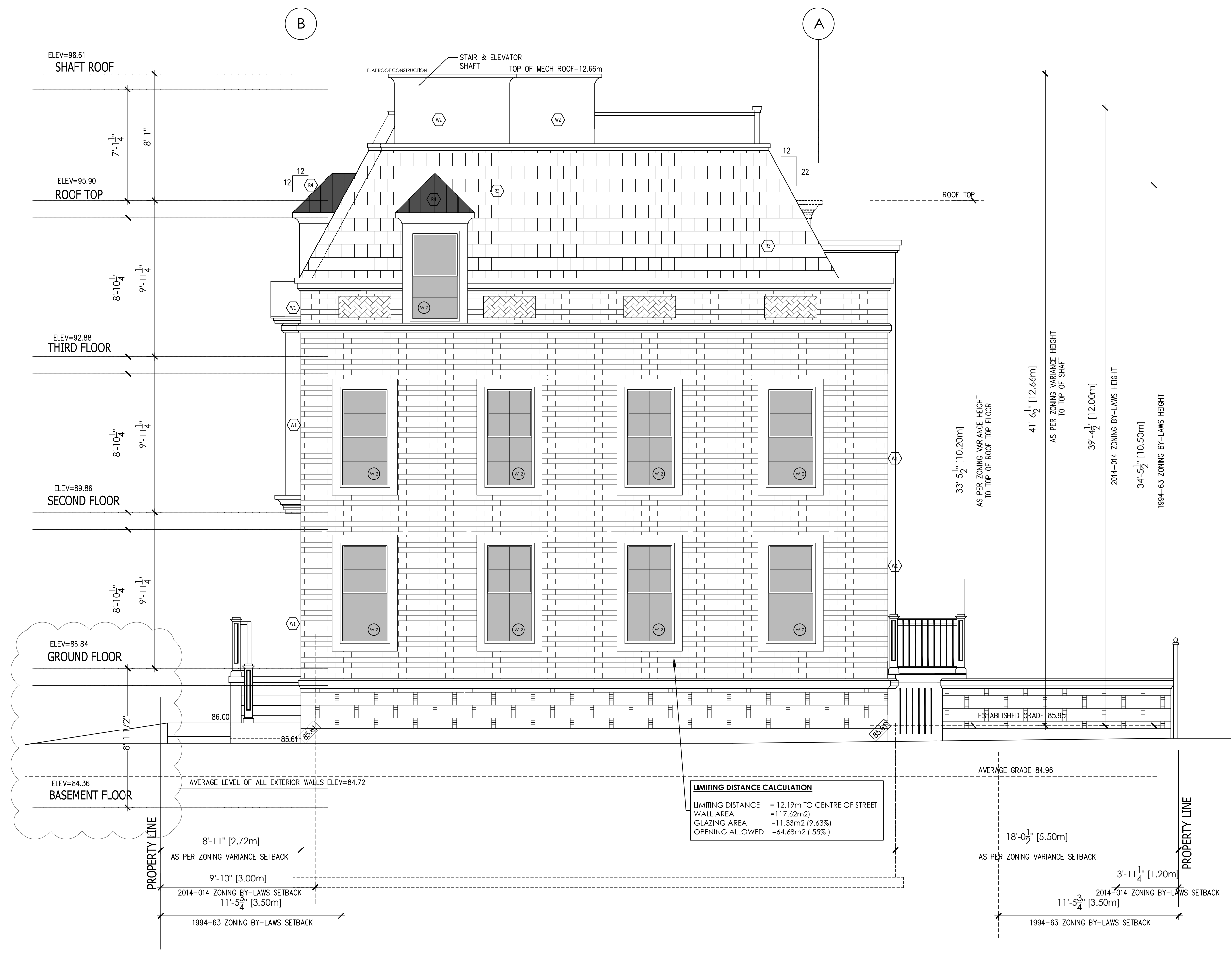
SEAL:  
  
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>NORTH ELEVATION</b>	SHEET NO. <b>A-2.2</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	DRAWN BY:

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



NORTH ELEVATION (ROBINSON STREET)

1/4" = 1'-0"

1  
A.2.2

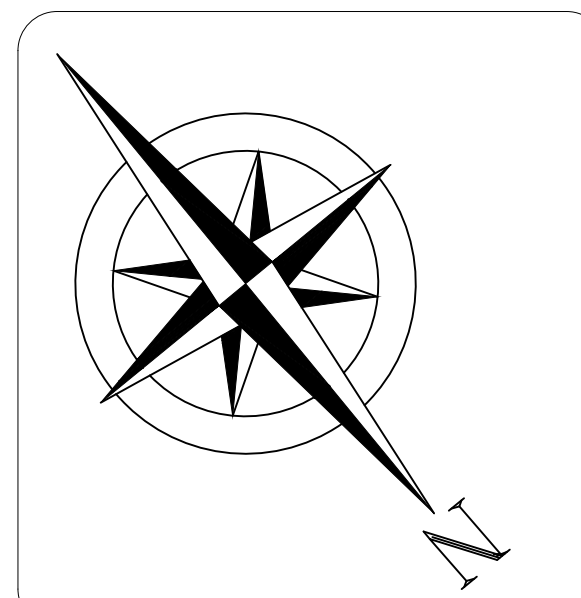


GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CLIENT REVIEW REVISED ELEVATIONS	FEB 01 2024
08	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:

**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE  
**WEST ELEVATION**

SHEET NO.

**A-2.3**

DATE

MAY 30 2022

DESIGNED BY:

SCALE

DRAWN BY:

NOTED

**THE STRUCTURE HAS BEEN DESIGNED  
IN ACCORDANCE WITH THE REQUIREMENTS  
OF THE 2012 ONTARIO BUILDING CODE  
LATEST EDITION. CONSTRUCTION  
PRACTICES SHALL BE ACCORDING TO THE SAME**



**LIMITING DISTANCE CALCULATION**

LIMITING DISTANCE	= 5.5m
WALL AREA	=86m <sup>2</sup>
GLAZING AREA	=10.3m <sup>2</sup> (12%)
OPENING ALLOWED	=25.8m <sup>2</sup> (30%)

WEST ELEVATION (REAR)

1  
A.2.3

1/4" = 1'0"

NO CHANGES TO DRAWINGS  
 NEW PERMIT APPLICATION  
 TO REPLACE ORIGINAL ISSUED  
 PERMIT # 15-1138, 15-1139 & 15-1140

**JRCP**  
**DESIGNS INC.**  
 ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
 (416) 655-0245  
 email: jrpd designs@yahoo.ca  
 www: jrpd designs.com

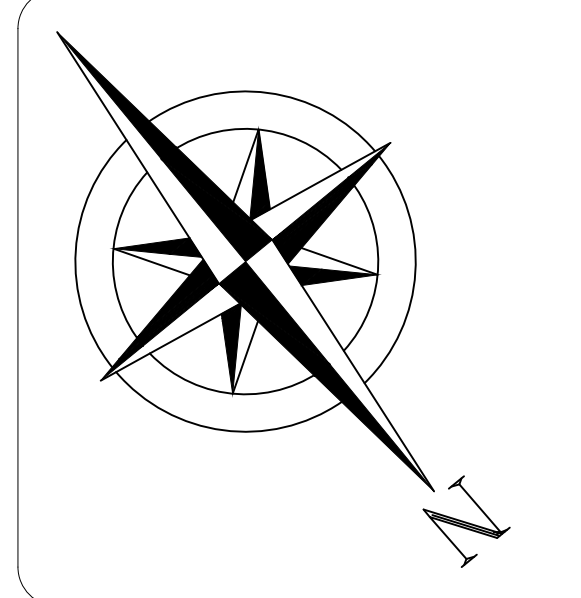
GENERAL NOTES:  
 THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
 GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
 CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
 THIS DRAWING IS NOT TO BE SCALED.  
 ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
 ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
 ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CLIENT REVIEW REVISED ELEVATIONS	FEB 01 2024
08	ISSUED FOR CONSTRUCTION	FEB 09 2024

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CLIENT REVIEW REVISED ELEVATIONS	FEB 01 2024
08	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

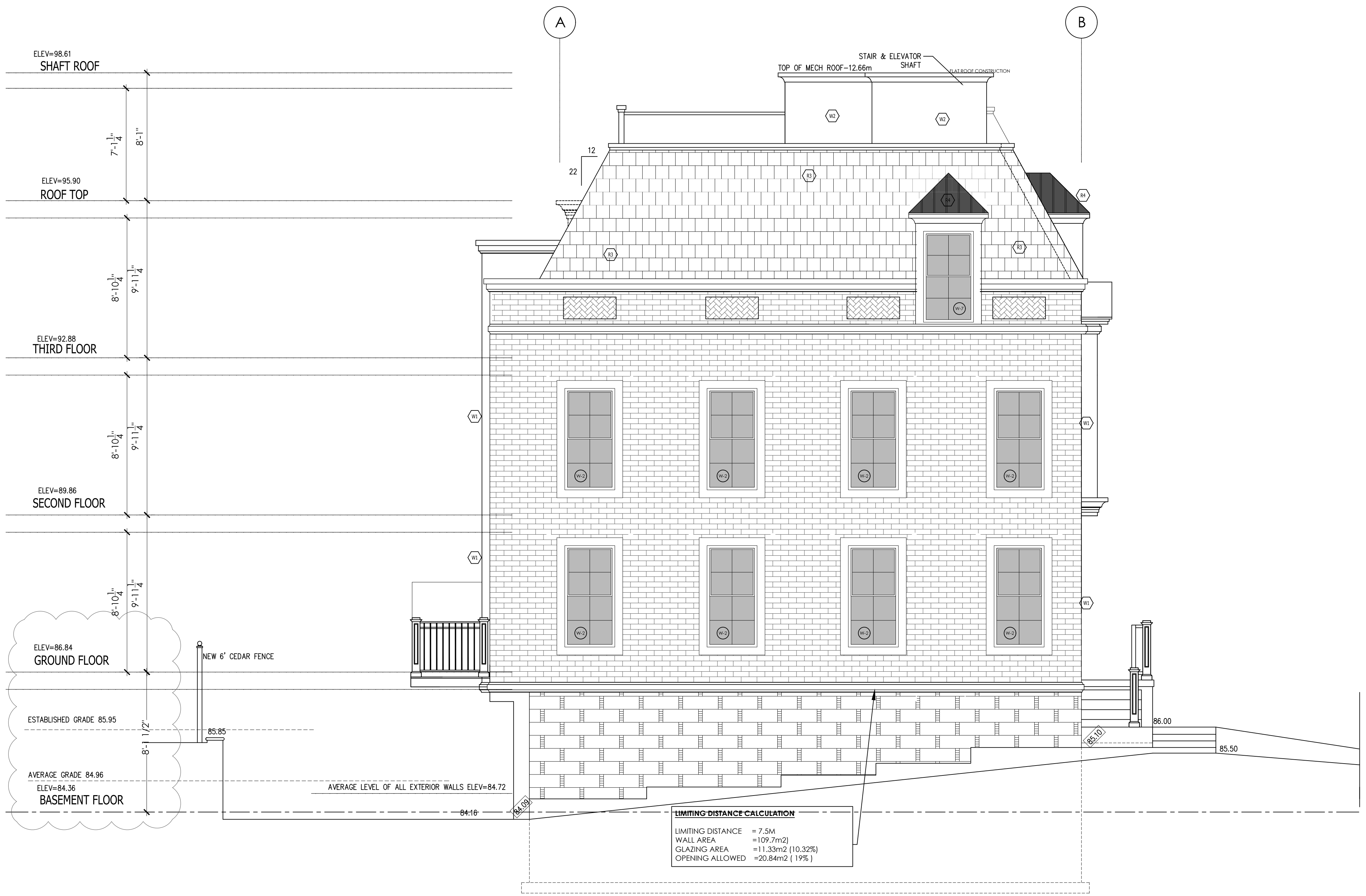
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>SOUTH ELEVATION</b>	SHEET NO. <b>A-2.4</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	DRAWN BY:

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**

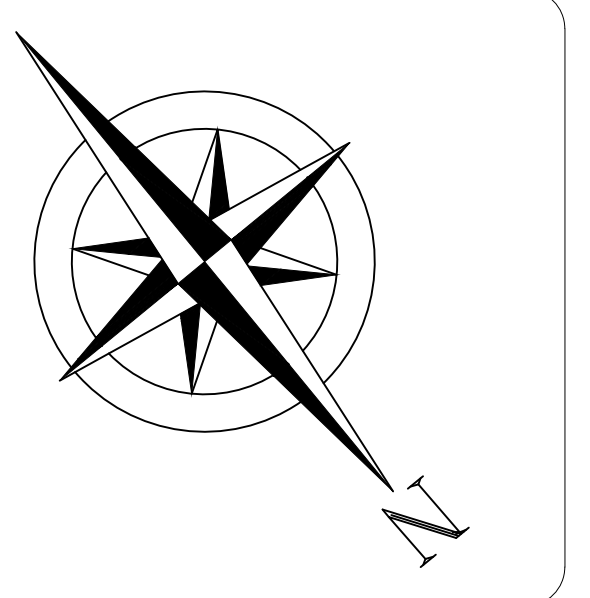


SOUTH ELEVATION (INTERIOR SIDE) 1  
 1/4" = 1'0" A2.4

GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CONSTRUCTION	FEB 09 2024



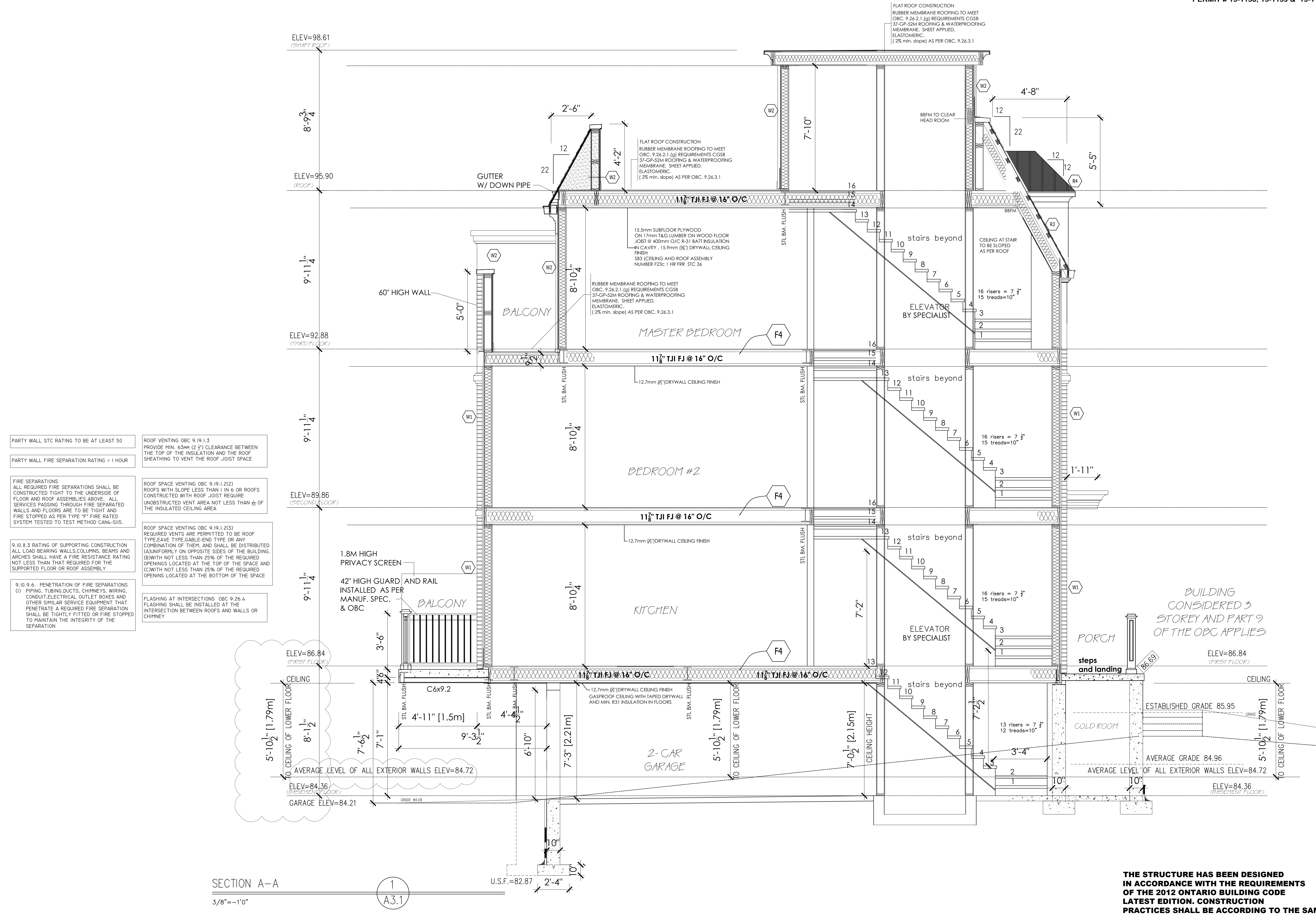
SEAL:  
  
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
78-80-82 TRAFALGAR RD.  
OAKVILLE, ON.  
(PROPOSED 78, 80 & 82 TRAFALGAR RD.)

SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>SECTION A-A</b>	SHEET NO. <b>A-3.1</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	SCALE
DRAWN BY:	NOTED

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



PARTY WALL STC RATING TO BE AT LEAST 50  
PARTY WALL FIRE SEPARATION RATING = 1 HOUR  
FIRE SEPARATIONS ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE 1" FIRE RATED SYSTEM TESTED TO TEST METHOD CAN-515.  
9.10.8.3 RATING OF SUPPORTING CONSTRUCTION ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY  
9.10.9.6. PENETRATION OF FIRE SEPARATIONS (I) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICES EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION  
ROOF VENTING OBC 9.19.1.3 PROVIDE MIN. 63mm (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE  
ROOF SPACE VENTING OBC 9.19.1.2(2) ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/4 OF THE INSULATED CEILING AREA  
ROOF SPACE VENTING OBC 9.19.1.2(3) REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE, LEAVE TYPE, GABLE-END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING, (B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE  
FLASHING AT INTERSECTIONS OBC 9.26.4 FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY

SECTION A-A  
3/8" = 1'-0"

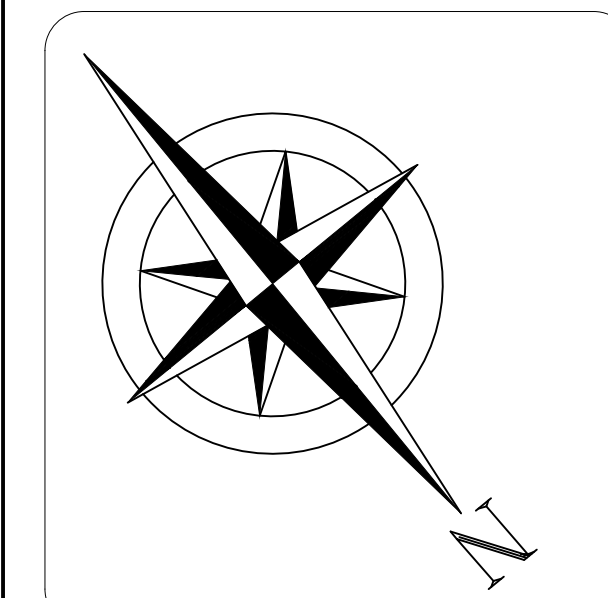
1  
A3.1

GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

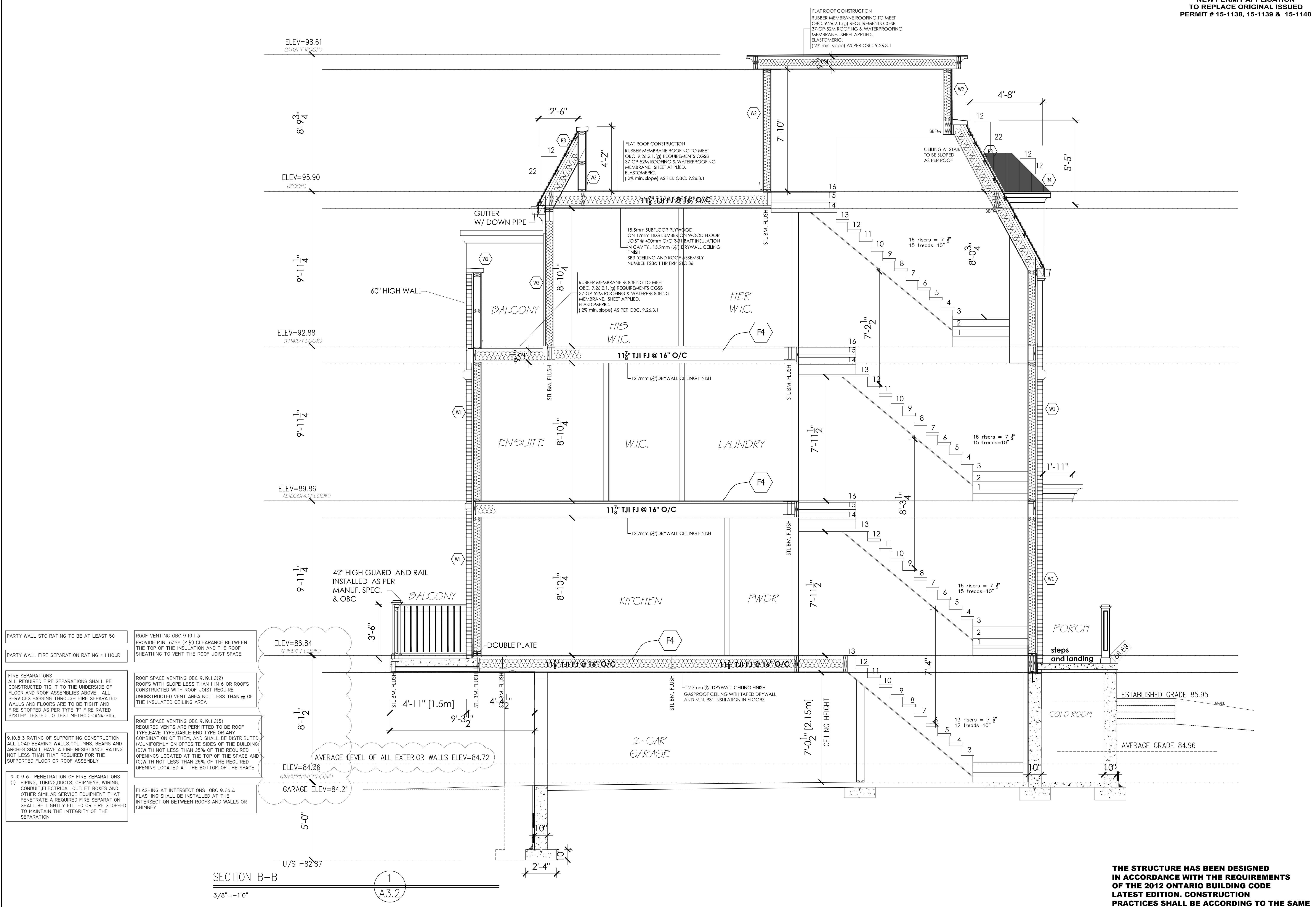
NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:  
FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
**78-80-82 TRAFALGAR RD.**  
**OAKVILLE, ON.**  
**(PROPOSED 78, 80 & 82 TRAFALGAR RD.)**  
SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE <b>SECTION B-B</b>	SHEET NO. <b>A-3.2</b>
DATE MAY 30 2022	SCALE NOTED
DESIGNED BY:	SCALE
DRAWN BY:	NOTED



PARTY WALL STC RATING TO BE AT LEAST 50  
PARTY WALL FIRE SEPARATION RATING = 1 HOUR  
FIRE SEPARATIONS ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE "F" FIRE RATED SYSTEM TESTED TO TEST METHOD CAN-U-SIS.  
9.10.8.3 RATING OF SUPPORTING CONSTRUCTION ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY.  
9.10.6.6. PENETRATION OF FIRE SEPARATIONS (I) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION

ROOF VENTING OBC 9.19.1.3 PROVIDE MIN. 65MM (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE  
ROOF SPACE VENTING OBC 9.19.1.2(2) ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/50 OF THE INSULATED CEILING AREA  
ROOF SPACE VENTING OBC 9.19.1.2(3) REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE, EAVE TYPE, GABLE-END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING; (B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE  
FLASHING AT INTERSECTIONS OBC 9.26.4 FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY

SECTION B-B  
3/8" = 1'-0"

1  
A3.2

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



NO CHANGES TO DRAWINGS  
NEW PERMIT APPLICATION  
TO REPLACE ORIGINAL ISSUED  
PERMIT # 15-1138, 15-1139 & 15-1140

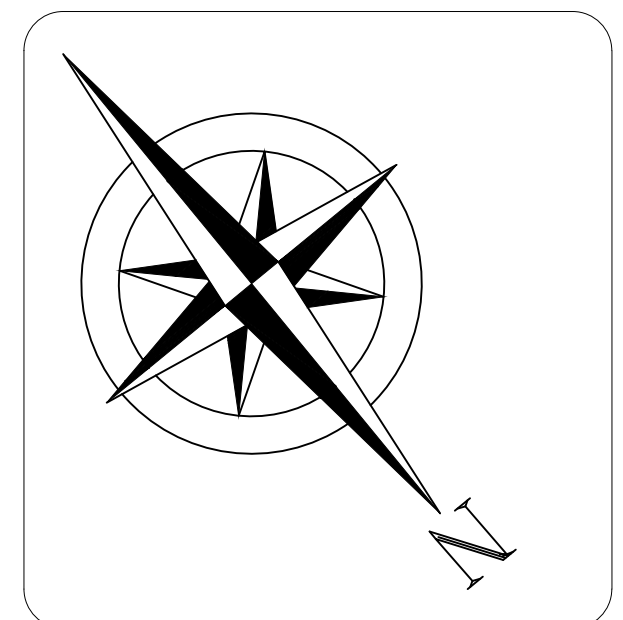
**JRCP**  
DESIGNS INC.  
ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
(416) 655-0245  
email: jrpedesigns@yahoo.ca  
www.jrpedesigns.com

GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
ASSUME SOIL BEARING CAPACITY OF 75 KPA

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	ISSUED FOR CONSULTANTS	JUNE 7 2022
02	ISSUED FOR BP	AUG 03 2022
03	AS PER EXAMINERS COMMENTS	SEP 28 2022
04	RE-ISSUED TO CONSULTANTS	APR 19 2023
05	ISSUED FOR CLIENT REVIEW	DEC 20 2023
06	ISSUED FOR STL. SUPPLIER	JAN 29 2024
07	ISSUED FOR CONSTRUCTION	FEB 09 2024



SEAL:

FOR ARCHITECTURAL & STRUCTURAL REVIEW

PROJECT NAME AND ADDRESS:  
**TOWNHOUSE DEVELOPMENT**  
78-80-82 TRAFALGAR RD.  
OAKVILLE, ON.  
(PROPOSED 78, 80 & 82 TRAFALGAR RD.)

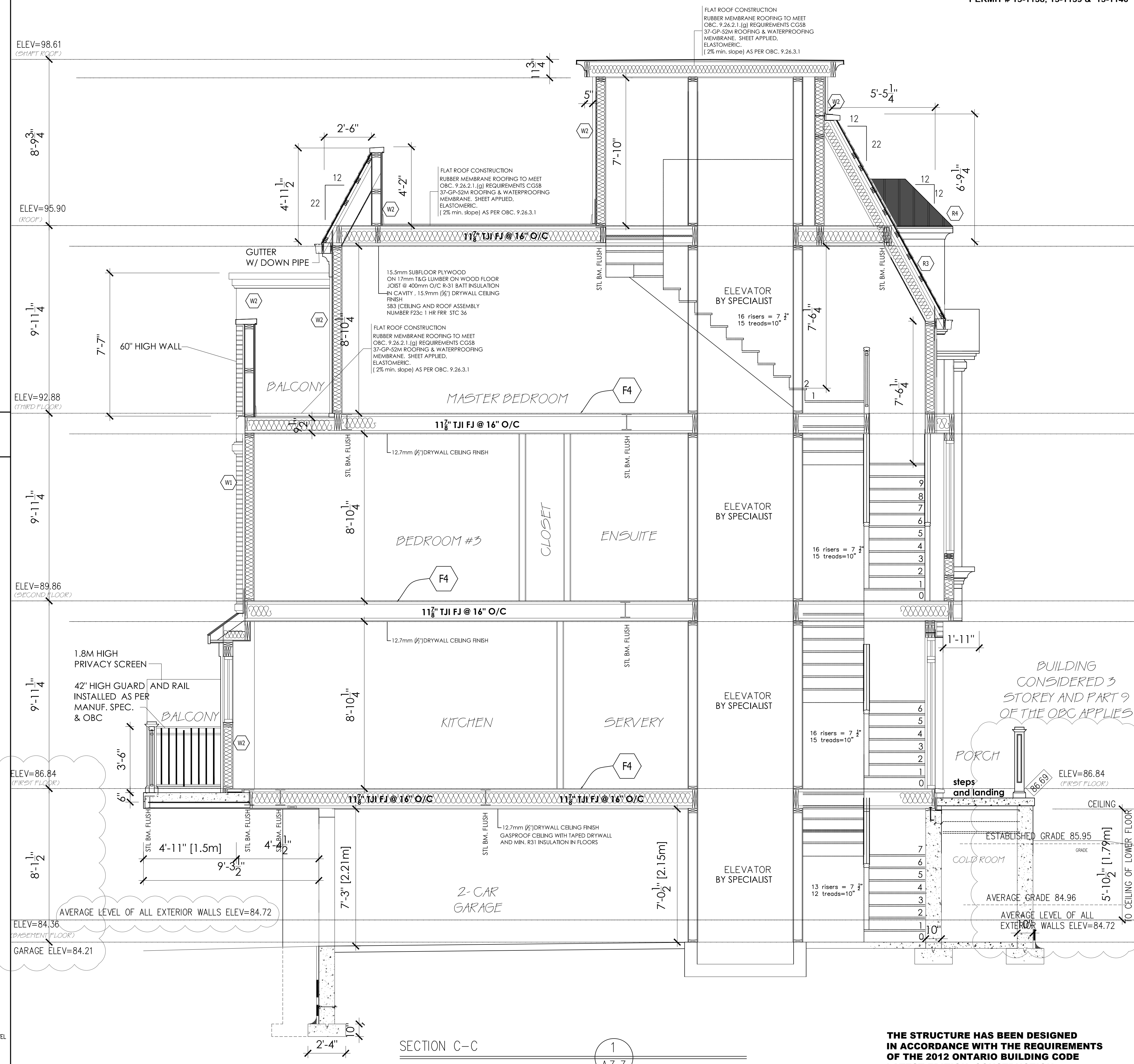
SCOPE OF WORKS:  
**NEW BUILD CONSTRUCTION**

DRAWINGS TITLE: SECTION C-C SHEET NO. **A-3.3**

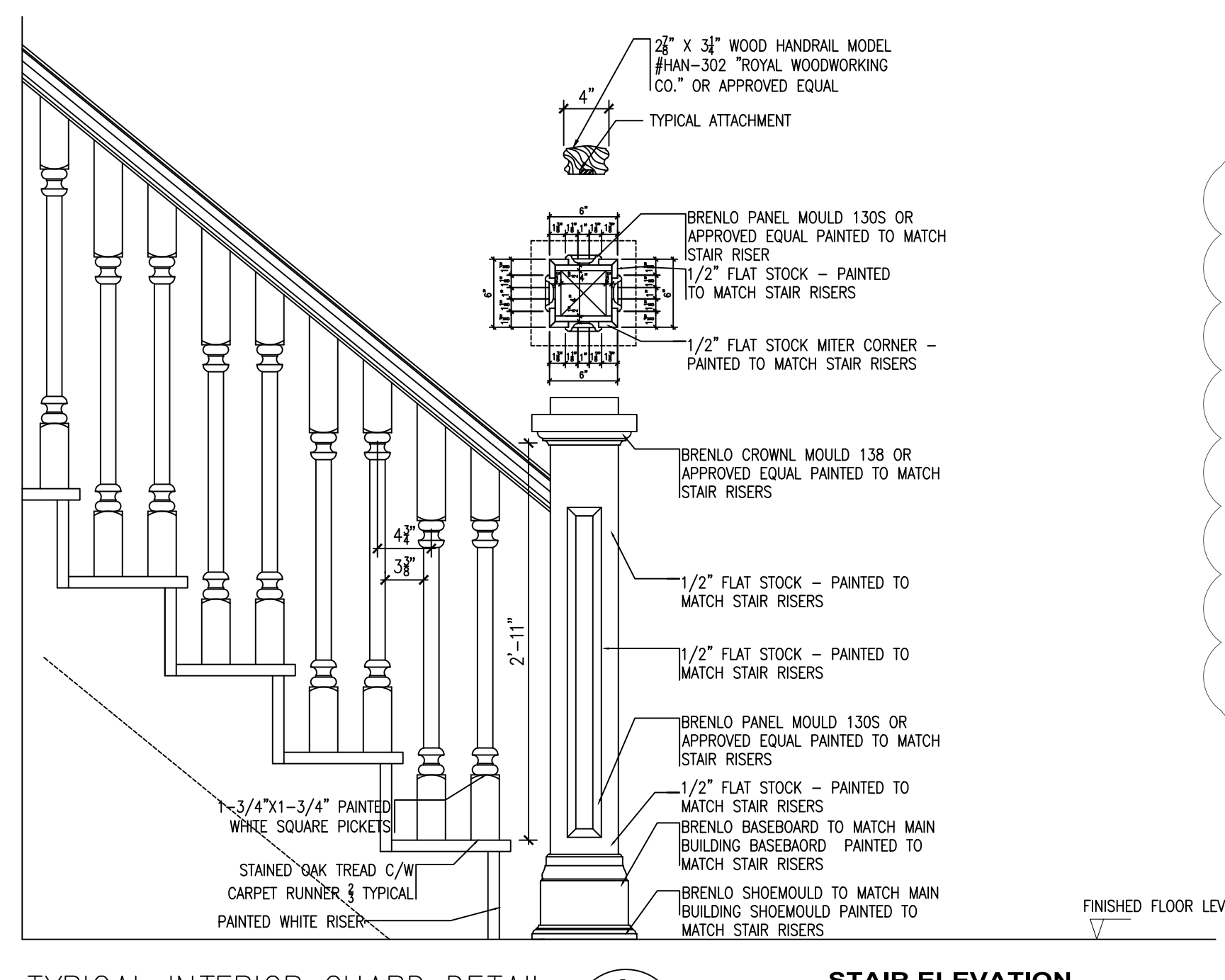
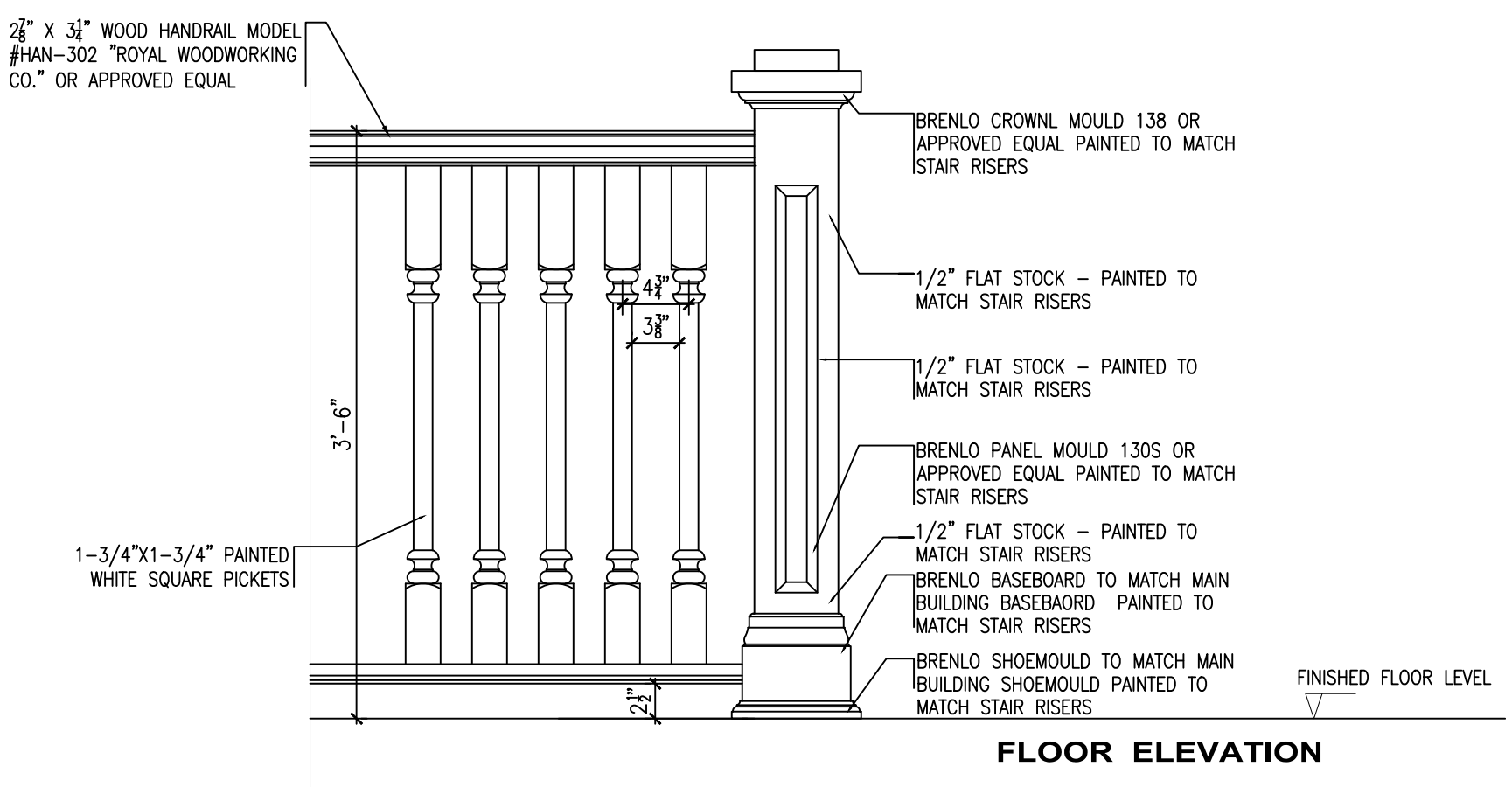
DATE: MAY 30 2022

DESIGNED BY: SCALE: NOTED

DRAWN BY: NOTED



- PARTY WALL STC RATING TO BE AT LEAST 50
- PARTY WALL FIRE SEPARATION RATING = 1 HOUR
- FIRE SEPARATIONS ALL REQUIRED FIRE SEPARATIONS SHALL BE CONSTRUCTED TIGHT TO THE UNDERSIDE OF FLOOR AND ROOF ASSEMBLIES ABOVE. ALL SERVICES PASSING THROUGH FIRE SEPARATED WALLS AND FLOORS ARE TO BE TIGHT AND FIRE STOPPED AS PER TYPE "F" FIRE RATED SYSTEM TESTED TO TEST METHOD CAN-U-SIS.
- 9.10.8.3 RATING OF SUPPORTING CONSTRUCTION ALL LOAD BEARING WALLS, COLUMNS, BEAMS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY.
- 9.10.9.6. PENETRATION OF FIRE SEPARATIONS (I) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION
- ROOF VENTING OBC 9.19.1.3 PROVIDE MIN. 63mm (2 1/2") CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE ROOF SHEATHING TO VENT THE ROOF JOIST SPACE
- ROOF SPACE VENTING OBC 9.19.1.2(2) ROOFS WITH SLOPE LESS THAN 1 IN 6 OR ROOFS CONSTRUCTED WITH ROOF JOIST REQUIRE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/2 OF THE INSULATED CEILING AREA
- ROOF SPACE VENTING OBC 9.19.1.2(3) REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE EAVE TYPE, GABLE-END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED (A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING, (B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND (C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE
- FLASHING AT INTERSECTIONS OBC 9.26.4 FLASHING SHALL BE INSTALLED AT THE INTERSECTION BETWEEN ROOFS AND WALLS OR CHIMNEY



TYPICAL INTERIOR GUARD DETAIL  
scale=1"=1'-0"

SECTION C-C  
3/8" = 1'-0"

**THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE LATEST EDITION. CONSTRUCTION PRACTICES SHALL BE ACCORDING TO THE SAME**



October 21, 2024

GSAI File: 1424-001

Town of Oakville  
Planning Services  
1225 Trafalgar Road  
Oakville, Ontario, L6H 0H3

**Attention:** Brandon Hassan, MCIP, RPP  
Senior Planner  
Planning & Development

**Re: Minor Variance Application**  
**2848327 Ontario Limited**  
**78-82 Trafalgar Road, Oakville, ON**  
**Related File: SP.1713.040/03 & 24CDM-24008/1713**

Glen Schnarr & Associates Inc. (“GSAI”) are the planning consultants for 2848327 Ontario Limited, owner of the lands municipally addressed as 78, 80, 82 Trafalgar Road (herein referred to as the “subject lands” or the “site”). On behalf of the owner, we are pleased to submit this Minor Variance Application to seek relief in the Town of Oakville Zoning By-law 2014-014 to facilitate the development of three (3) townhouse units (the “proposed development”).

### **Site Description and Surrounding Land Uses**

The subject lands are generally located south of Robinson Street and west of Trafalgar Road in the Town of Oakville. The site is rectangular in shape with an approximate area of 0.06 hectares (0.15 acres), and it is legally described as “Part of Lot C, Block 16, Plan 1, designated as Part 1 on Plan 20R-20256; Oakville”.

The lands surrounding the subject property generally consist of residential and commercial uses. A four-storey residential apartment building is located directly north of the site, while single detached residences are located to the east, west and south. A commercial plaza is located to the northeast of the site.

The site is currently under construction.

### **Proposed Development**

The development can be generally described as three townhouse units facing Trafalgar Road with heights of three storeys and a total lot area of approximately 624.57 sq. metres. The proposed units have a depth of 11.4 metre and a width of 22.33 metres with a gross floor area of approximately 711.35 sq. metres, respectively.

The proposal is accessible through continuous walkways off of Robinson Street and Trafalgar Road. Vehicular access is provided from the Trafalgar Road right of way, providing access to the garages of the residents which are situated beneath the units.

The Minor Variance request before the Committee is based on the drawings associated with the previously approved Site Plan application and Note to File. These processes are briefly described below.

### **Background and Ongoing/Future Planning Processes**

While not in the purview of the Committee, we provide the following discussion regarding the Background and Ongoing/Future Planning processes associated with or tied to the subject lands.

Firstly, we note that previously, the Committee of Adjustment approved a series of minor variances (CAV.A/040/2014) to permit relief of various zoning provisions under the Town's Zoning By-law. These approvals remain in place for the subject lands.

In 2023, our client obtained formal Site Plan Approval (File: SP.1713.040/03) and most recently on July 23, 2024, obtained approval for a Note to File which ultimately amended the approved site plan drawings (however minimally).

GSAI is also advancing a Plan of Condominium application (File: 24CDM-24008/1713) to facilitate approval for a Common Element Condominium ("CEC") on the subject lands. Ultimately, the CEC will create three distinct lots and common elements. This application proceeded to the Town's Planning and Development Council ("PDC") on October 15, 2024 where staff recommended conditions of approval. At the meeting, the PDC approved the staff's recommendation for the proposed Plan of Condominium application.

Additionally, GSAI is presently preparing to file an application for Part Lot Control Exemption ("PLCE") under a separate cover to facilitate the creation of the three lots. We confirm the lands exist as a part of a Registered Plan of Subdivision (Part of Lot C, Block 16, Plan 1, designated as Part 1 on Plan 20R-20256).

Of relevance to the application before Committee today, we confirm that our Client had various discussions with Planning, legal and zoning staff (as appropriate) as part of the Site Plan Approval process regarding the appropriateness of the CEC application, given the development proposal characteristics. Ultimately, it was agreed upon that while a CEC application could be filed, alongside a PLCE (at the appropriate time), a Minor Variance application would be required to address the zoning deficiencies resultant of the formal creation of the 3 lots. To confirm the mutual

understanding of the parties, our Client (2848327 ONTARIO LIMITED) entered into an Agreement (known as the “letter agreement”) with the Town of Oakville (THE CORPORATION OF THE TOWN OF OAKVILLE) which included “Schedule D Form of Common Element Minor Variance”.

Schedule D provides:

Zoning By-law Regulation	Variance Request
Section 6.10 c) - For a common element condominium, the applicable zoning regulations shall apply to the proposed lots or blocks to be parcels of tied land until the lots or blocks are formally established.	To permit the applicable zoning regulations to apply to the entirety of the lot for a common element condominium.

Therefore, in accordance with the letter agreement, specifically Schedule D, we are pleased to advance this formal application for Minor Variance.

**Proposed Variance**

As agreed upon through the letter agreement, the owner is proposing relief of *Section 6.10c)* regarding separation of dwelling units under the Town’s Zoning By-law 2014-014, which states the following:

*“For a common element condominium, the applicable zoning regulations shall apply to the proposed lots or blocks to be parcels of tied land until the lots or blocks are formally established.”*

Relief from *Section 6.10c)* will enable the dwelling units, following formal lot creation, to comply with the applicable zoning regulations, and ultimately, that the three lots continue to be treated as one lot for the purposes of zoning compliance. This variance request can be seen as a ‘blanket’ variance request to address the zoning compliance issues that would result from the lot creation (forthcoming). This variance is largely technical in nature and does not alter/change the approved development plans through the Site Plan approval process. This is simply a housekeeping matter to address the zoning deficiencies that would arise through formal lot creation (through the CEC/PLCE process).

**Planning Rationale for Proposed Variances**

Section 45(1) of the Planning Act, as amended, identifies the four tests which must be satisfied in order for the Committee of Adjustment to approve this application. The following section provides an analysis demonstrating how the variances satisfy these tests.

*1. The variance maintains the general intent and purpose of the Official Plan.*

The subject property is designated as ‘Medium Density Residential’ in the Town’s Official Plan, which permits a range of density housing types including multiple-attached dwelling units. Section 11.1.8 of the Official Plan permits development of underutilized lands which are designated as Medium Density in stable residential communities. The proposed development contemplates three townhouse units and creates more efficient use of the subject lands in a stable residential neighbourhood. It is our opinion that the proposed variance maintains the general intent and purpose of the Official Plan.

*2. The variance maintains the general intent and purpose of the Zoning By-law.*

The subject property is zoned ‘Residential Medium Special Exception 50 (RM1-SP50)’ in the Town’s Zoning By-law 2014-014. The variance maintains the general intent and purpose of the Zoning By-law, as the use for townhouse units will be maintained as permitted in the ‘Residential Medium Special Exception 50 (RM1-SP50)’ zone. The proposal seeks relief from the zoning by-law to rectify any issues of compliance resulting from the CEC and lot creation.

In short, relief from the relevant zoning standard as described in the variance request would not change the proposal (as approved through Site Plan) and maintains the building configuration, however it simply prescribes that the zoning would apply as if the site were one lot (for zoning purposes), rather than 3 lots in the ultimate scenario, as being pursued through the CEC and PLCE applications. Therefore, on the basis that the configuration of the site and building is maintained, which cleared Zoning for the purposes of Site Plan Approval, meaning that this variance is technical in nature and does not frustrate the intent of the Zoning By-law, it is our opinion that the proposed variance maintains the general intent and purpose of the Town’s Zoning By-law.

*3. The variance is desirable for the appropriate development or use of the land.*

The variance is desirable for the appropriate development or use of the land as it is largely technical and continues to provide for a proposal that was otherwise approved and deemed appropriate by staff. The variance does not change the approved or intended use of the lands.

*4. The variance is minor in nature.*

The variance is minor in nature as the site plan approved (and therefore zoning compliant) building or structure itself remains unchanged. This variance is technical in nature and responds to the forthcoming creation of lots through the associated processes. The actual development therefore, continues to satisfy the applicable zoning by-law, when the site is viewed as one lot for zoning purposes (rather than reviewing zoning compliance for 3 separate lots).

**Conclusion**

It is our opinion that the proposal satisfies Section 45(1) of the Planning Act, as the requested zoning relief is in keeping with the Town’s approval for Minor Variance under CAV.A/040/2014,

Site Plan Application under SP.1713.040/03 and Plan of Condominium Application under 24CDM-24008/1713.

**Submission Deliverables**

In support of the pre-consultation submission, please find the following materials enclosed herein:

- Architectural Drawings as prepared by JRCP Architects dated July 5, 2024;
- Survey plan as prepared by J.H. Gelbloom Surveying Limited dated May 16, 2024;
- Landscape plan as prepared by Uncommon Ground dated July 4, 2024;
- Email correspondence with Zoning Staff, dated June 6, 2024.

We trust that the enclosed materials are satisfactory for the purposes of a Minor Variance Application. Please contact the undersigned should you have any questions.

Respectfully submitted,

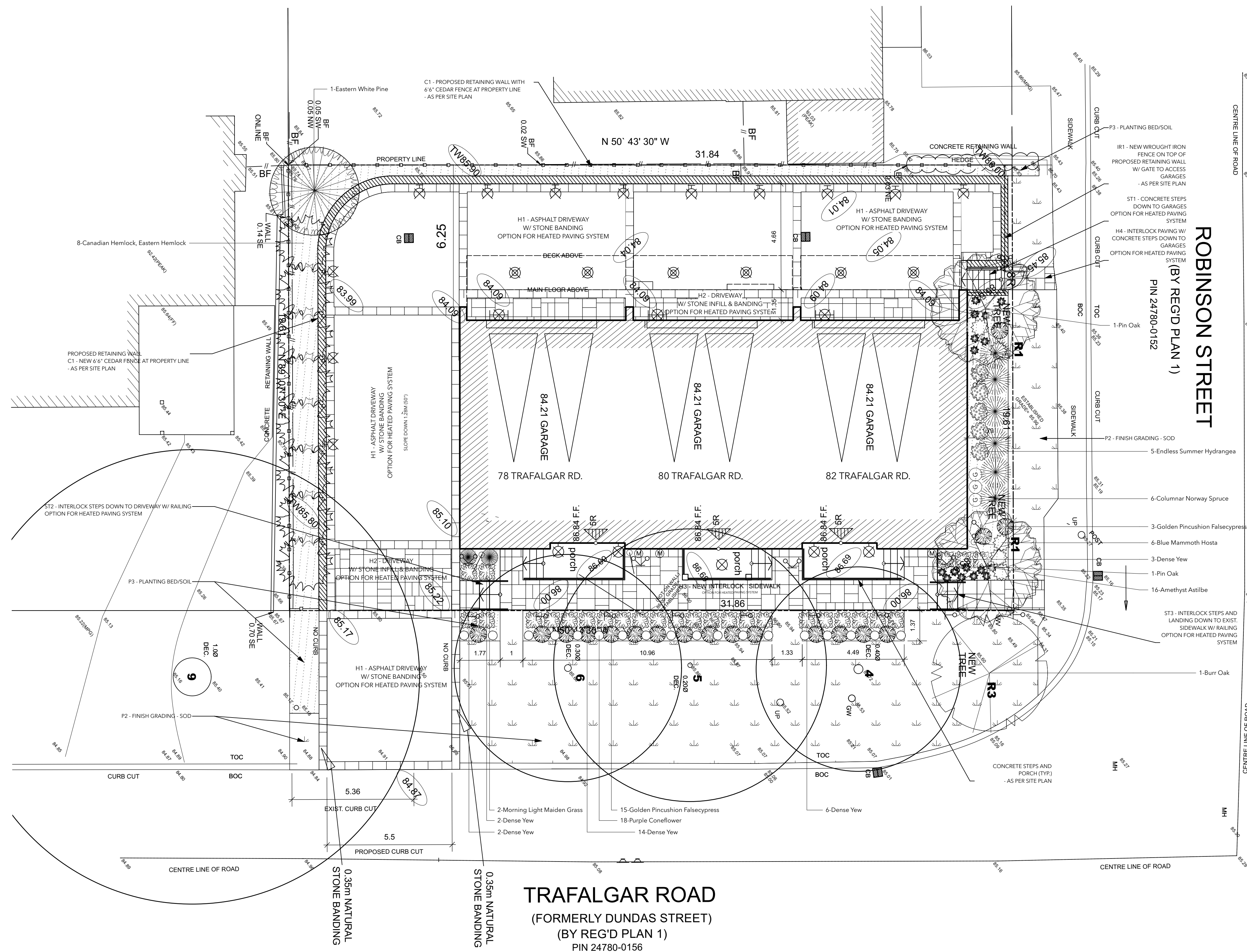
**GLEN SCHNARR & ASSOCIATES INC.**



---

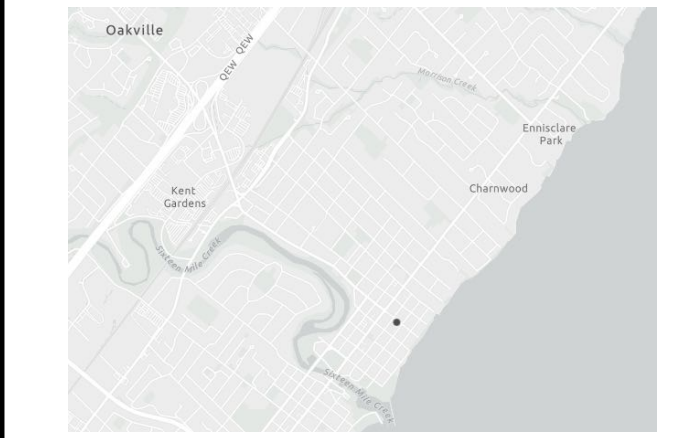
**Sebastian Alzamora, MCIP, RPP**  
Planner





### Plant List

Common Name	Botanical Name	Qty	Scheduled Size
<b>Coniferous Trees</b>			
Canadian Hemlock, Eastern Hemlock	<i>Tsuga canadensis</i>	8	150cm WB
Columnar Norway Spruce	<i>Picea abies 'Cupressina'</i>	6	250cm WB
Eastern White Pine	<i>Pinus strobus</i>	1	200cm WB
<b>Deciduous Trees</b>			
Burr Oak	<i>Quercus macrocarpa</i>	1	60mm WB
Pin Oak	<i>Quercus palustris</i>	2	60mm WB
<b>Evergreen Shrubs</b>			
Dense Yew	<i>Taxus x Media 'Densiformis'</i>	27	30cm 3gal
Golden Pincushion Falsecypress	<i>Chamaecyparis pisifera 'Golden Pincushion'</i>	18	40cm 3gal
<b>Shrubs</b>			
Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Endless Summer'</i>	5	2gal
<b>Perennials</b>			
Amethyst Astilbe	<i>Astilbe arendsii 'Amethyst'</i>	16	1gal
Blue Mammoth Hosta	<i>Hosta 'Blue Mammoth'</i>	6	1gal
Purple Coneflower	<i>Echinacea purpurea</i>	18	1gal
<b>Ornamental Grasses</b>			
Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2	2gal



### REVISIONS

No.	Date	DESCRIPTION	BY
1	2022-09-28	TREE REVISION - CONIFER REPLACED W/ DECIDUOUS (AS PER SITE PLAN APPROVAL SECOND SUBMISSION)	EN
2	2022-10-27	REVISED FRONT STEPS & FFE BASED ON ARCH REVISIONS - ADDED NOTATIONS FOR SOW	EN
3	2022-11-04	CEDAR FENCE LAYOUT & NOTATIONS	EN
4	2023-02-03	RETAINING WALL REMOVED FROM UCG SCOPE OF WORK & QU'TY	EN
5	2023-04-24	COORDINATE DRAWING TO MATCH LATEST ARCH. (APRIL 13, 2023)	EN
6	2024-07-04	RELOCATED GAS METER & UPDATED BUILDING FOOTPRINT	EN



**NOTES:**

- Please check and verify all dimensions and conditions on the project and immediately report any discrepancies to the designer before proceeding with the work.
- Do not scale drawings.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor shall check all underground services and utilities staked by each appropriate agency having jurisdiction prior to commencing with the work.
- All planting is to meet horticultural standards of the CNTA Guide Specification for nursery stock. All plants material is to be No. 1 Grade.
- No plant substitutions will be permitted without the approval of the designer.
- Planting soil mixture will consist of 5 parts sandy loam topsoil; 1 part well rotted cattle manure; and 1 part peat moss.
- All shrubs to be planted in continuous beds.
- Soil shall be No. 1 cultivated turf grass, grown in accordance with the classifications of the Nursery Sod Growers Association of Ontario.
- All excavations shall be kept away from the drip line of trees.
- Slopes with grass do not exceed 3:1
- This drawing is an instrument of services only and shall remain the property of the designer at all times. Any persons using these drawings for the purposes of construction without the expressed written consent of the designer, shall be prosecuted to the fullest extent of the law.

PREPARED BY:

**UNCOMMON GROUND**  
landscape design & outdoor living

2189 Hixon St., Oakville, Ont. Canada  
Telephone 416.898.5965 gary@uncommonground.ca  
[www.uncommonground.ca](http://www.uncommonground.ca)

PREPARED FOR:

NORTH:

PROJECT TITLE: **78-80-82 TRAFALGAR RD.**

SHEET DESCRIPTION: **LANDSCAPE PLAN**

DATE: 2022-08-04 ISSUED: 2024-07-04

PROJECT NUMBER: 13-0010C DRAWN BY: EN

SCALE: 1:100 CHECKED BY: GV

SHEET NUMBER: **LP**

R6-13-0010C\_78-80-82 TrafalgarRd\_04.07.24\_EN.vwx

#### LEGEND

	MAIN LEVEL ENTRY POINT
	PROPERTY LINE
	EXISTING SPOT ELEVATION
	EXISTING ELEVATION TO REMAIN
	PROPOSED SPOT ELEVATION
	DIRECTION OF SWALE
	DIRECTION OF DRAINAGE
	RAINWATER DOWNSPOUTS
	AIR CONDITIONER
	DENOTES CONIFEROUS TREE (WITH TRUNK DIAMETER) TO REMAIN
	DENOTES DECIDUOUS TREE (WITH TRUNK DIAMETER) TO REMAIN
	DENOTES TREE (WITH TRUNK DIAMETER) TO BE REMOVED
	PLANTING BED
	SOD
	WATER METER
	GAS METER

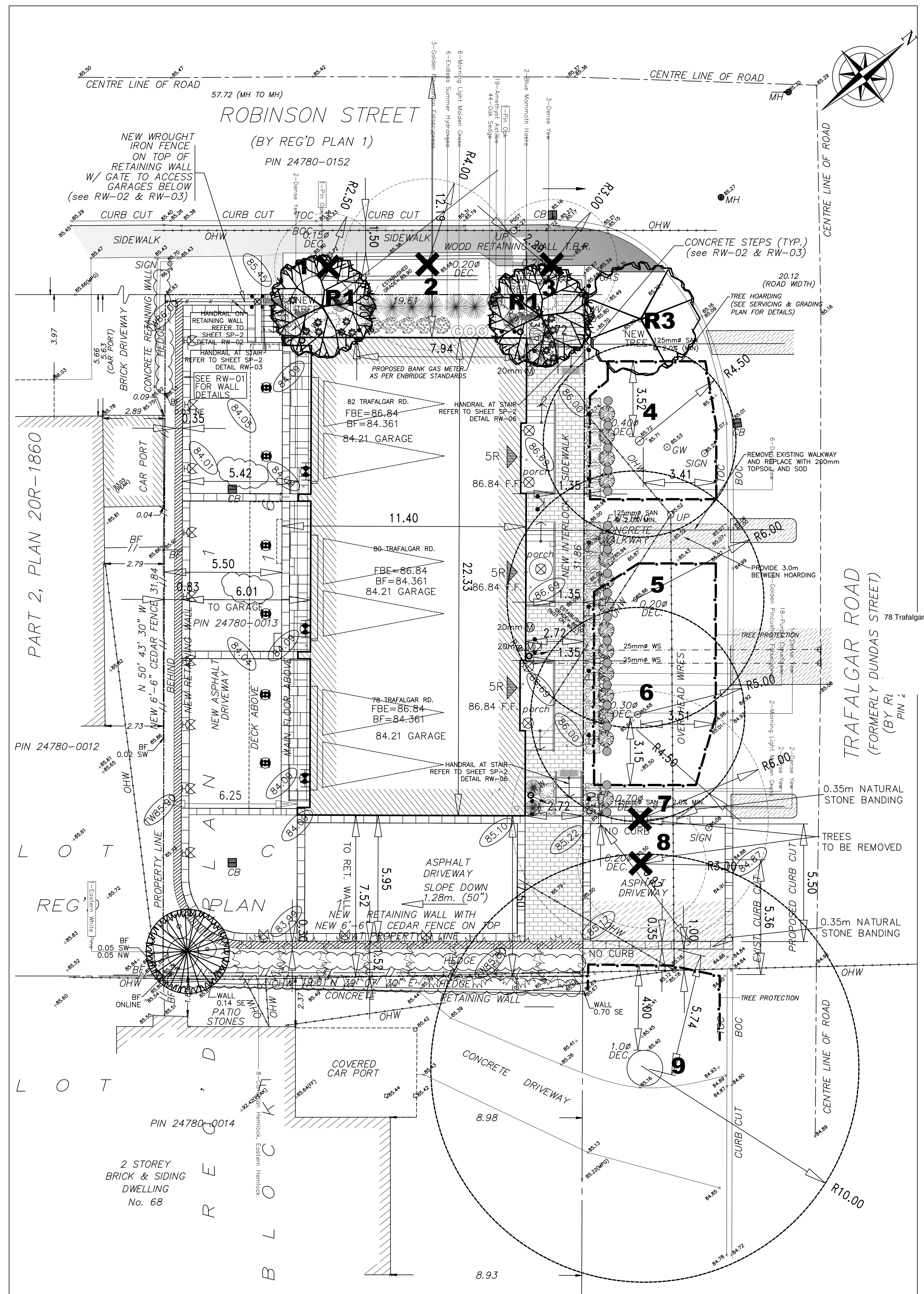
#### EXTERIOR LIGHTING SCHEDULE

	POT LIGHT (GARAGE)
	WALL MOUNTED LANTERN
	CANISTER WALL MOUNTED LIGHT UP & DOWN
	CEILING MOUNTED LANTERN
	LANDSCAPE ADJUSTABLE FLOOD LIGHT (UP TO THE BUILDING)
	LANDSCAPE BALLARD 360
	LANTERN ON METAL POST
	WALL MOUNTED CANISTER (DOWN)

**EXTERIOR LIGHTING NOTE:**  
"ALL LIGHTING DEVICES SHALL BE FULL CUT OFF AND NIGHT SKY FRIENDLY AND SHALL BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0 fci) WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES"

AS PER SITE PLAN & TREE PROTECTION PLAN SUBMITTED FOR APPROVAL





**LEGEND**

MFG	Mid Point Grade
F.F.	Finished Floor
CW	Guy Wire
UP	Utility Pole
DEC.	Deciduous
Ø	Diameter
TOC	Top of Curb
BOC	Bottom of Curb
BF	Board Fence
CB	Catch Basin
MH	Maintenance Hole
OHW	Over head Wire
WV	Water Valve
X92.13	Elevations
(M)	Water meter
(G)	Gas meter

**TREE PROTECTION PLAN**  
 Hoarding denotes high visibility snow fence installed as per Town Standard.

X Denotes tree to be removed

Removals  
 3 Globe Maples 24 cm DBH  
 1 Norway Maple 20 cm. DBH  
 1 Silver Maple 70.38 cm DBH

Pruning  
 1 Norway Maple 33 cm DBH  
 1 Locust 28.34 cm DBH  
 1 Norway Maple 35.03 cm DBH

Protect  
 1 Red Oak 100cm DBH

**REFERENCE BEARING**  
 Bearings are Astronomic and are Referred to the Southwesterly limit of Robinson Street being N 39° 05' 00" E as shown on Reg'd Plan 1.

**METRIC**  
 Distances shown on this plan are in metric and can be converted to feet by dividing by 0.3048.

**BENCHMARK**  
 Elevations are Geodetic and are Referred to the Town of Oakville Benchmark No. 85 having an Elevation of 88.537 m.  
 Topographic Survey completed on the 25th day of June, 2009.  
 Topographic Survey up-dated on October 21, 2010.  
 Updated Topographic Survey on June 6, 2013.

No.	Date	Revision/Issue
20	05.07.24	LANDSCAPE LAYOUT
19	18.06.24	GAS METERS RELOCATED
18	09.06.23	HEATED DRIVEWAY REMOVED

No.	Date	Revision/Issue
17	19.04.23	BANK METER LOCATION
16	03.30.23	BANK METER LOCATION
15	01.31.23	BANK METER LOCATION
14	10.09.22	AS PER CITY COMMENTS
13	09.28.22	AS PER CITY COMMENTS
12	09.03.15	AS PER CITY COMMENTS
11	05.03.15	REVISED DRIVEWAY WIDTH
10	10.02.15	REVISED DRIVEWAY WIDTH
9	28.05.14	REVISED
8	14.05.14	REVISED FOR SPA
7	05.03.14	REVISED FOR SPA
6	03.02.14	REVISED FOR SPA
5	10.01.14	REVISED FOR SPA
4	11.11.13	REVISED FOR SPA
3	24.09.13	REVISED FOR SPA
2	10.08.13	REVISED FOR SPA
1	25.06.13	ISSUED FOR SPA APPLICATION

**EXTERIOR LIGHTING SCHEDULE**

- POT LIGHT (GARAGE)
- WALL MOUNTED LANTERN
- CANISTER WALL MOUNTED LIGHT UP & DOWN
- CEILING MOUNTED LANTERN
- LANDSCAPE ADJUSTABLE FLOOD LIGHT (UP TO THE BUILDING)
- LANDSCAPE BALLARD 360
- LANTERN ON METAL POST
- WALL MOUNTED CANISTER (DOWN)

**EXTERIOR LIGHTING NOTE:**  
 "ALL LIGHTING DEVICES SHALL BE FULL CUT OFF AND NIGHT SKY FRIENDLY, AND SHALL BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0 fc) WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES"

**NOTE:** RETAINING WALL DETAIL REFER TO SHEET SP-2 DETAIL RW-01

**NOTE:** OAKVILLE HYDRO ANY RESULTING CONFLICTS WITH EXISTING HYDRO FACILITIES DUE TO CONSTRUCTION ARE TO BE REFLECTED AT THE OWNERS EXPENSE

**NOTE:** FOR TREE #9 NO CURB TO BE INSTALLED & ALL EXCAVATION IN THIS AREA SHALL BE AIR-SPADE OR SIMILAR UNDER DIRECTION OF THE OF THE PROJECT ARBORIST

**NOTE:** HANDRAIL ON RETAINING WALL REFER TO SHEET SP-2 DETAIL RW-02

**NOTE:** HANDRAIL AT STAIR REFER TO SHEET SP-2 DETAIL RW-03

**NOTE:** CEDAR FENCE DETAIL REFER TO SHEET SP-2 DETAIL RW-05

**NOTE:** THIS DRAWING TO BE READ IN CONJUNCTION WITH UNCOMMON GROUND LANDSCAPE DESIGN & OUTDOOR LIVING

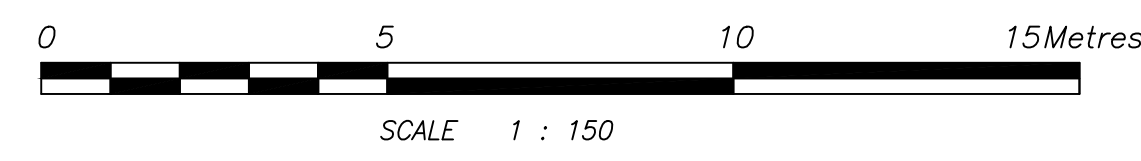
**NOTE:** FOR TREE #4 & 6 EXCAVATION WITHIN THE TPZ SHALL BE COMPLETED USING AIR-SPADE/DRY-VAC TECHNOLOGY, UNDER SUPERVISION OF THE PROJECT ARBORIST

**NOTE:** THIS DRAWING TO BE READ IN CONJUNCTION WITH TRAFALGAR ENGINEERING LTD. SERVICING & GRADING PLAN

**NOTE:** MUNICIPAL BOULEVARD WILL BE RESTORED TO THE SATISFACTION OF TOWN OF OAKVILLE ENGINEERING & TRANSPORTATION

**SITE STATISTICS - ZONE RM1sp:50**

- LOT AREA = 135.0 m2/UNIT (624.57 m2 TOTAL)
- LOT FRONTAGE = 31.86m (30.50m Minimum).
- AREAS FOR COVERAGE = 247.3 m2; (A) EX. MAIN DWELLING = 247.3 m2;
- LOT COVERAGE = 40% (40.0% Maximum).
- ESTABLISHED GRADE = 85.95m.
- BUILDING HEIGHTS:
  - ROOF RIDGE = 12.97m (12.0m Maximum);
- SETBACKS:
  - FRONT = 1.35m (4.50m Minimum);
  - FLANKAGE = 2.72m (3.00m Minimum);
  - REAR = 5.50m (6.00m Minimum);
  - SIDES: 7.50m (1.20m Minimum);
- FLOOR AREA = 711.35 m2.
  - UNIT-1 FLOOR AREA = 238.20 m2.
  - UNIT-2 FLOOR AREA = 241.08 m2.
  - UNIT-3 FLOOR AREA = 232.07 m2.
- FA/LOT RATIO = 114.8% (42% Maximum)



THE ARCHITECT / DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

**SITE ACCREDITATION:**  
 PLAN OF TOPOGRAPHY OF PART OF LOT C, BLOCK 16 REGISTERED PLAN 1 TOWN OF OAKVILLE (REGIONAL MUNICIPALITY OF HALTON) INFORMATION TAKEN FROM A SURVEY PREPARED BY: J.H. GELBLOOM SURVEYING LTD. ONTARIO LAND SURVEYORS

**SITE LEGEND:**

---	PROPERTY LINE
---	EXISTING GRADE
---	FINISHED GRADE
F.F.E.	FINISHED FLOOR ELEVATION
F.B.E.	FINISHED BASEMENT ELEVATION
T.F.W.	TOP OF FOUNDATION WALL
F.P.E.	FINISHED PORCH ELEVATION
▲	MAIN ENTRANCE
▲	SECONDARY ENTRANCE
■	EXISTING BUILDING
---	OUTLINE OF EXISTING STRUCTURES
---	TREE HOARDING
○	EXISTING TREE TO REMAIN
⊗	EXISTING TREE TO BE REMOVED

No.	Date	Revision/Issue
17	19.04.23	BANK METER LOCATION
16	03.30.23	BANK METER LOCATION
15	01.31.23	BANK METER LOCATION
14	10.09.22	AS PER CITY COMMENTS
13	09.28.22	AS PER CITY COMMENTS
12	09.03.15	AS PER CITY COMMENTS
11	05.03.15	REVISED DRIVEWAY WIDTH
10	10.02.15	REVISED DRIVEWAY WIDTH
9	28.05.14	REVISED
8	14.05.14	REVISED FOR SPA
7	05.03.14	REVISED FOR SPA
6	03.02.14	REVISED FOR SPA
5	10.01.14	REVISED FOR SPA
4	11.11.13	REVISED FOR SPA
3	24.09.13	REVISED FOR SPA
2	10.08.13	REVISED FOR SPA
1	25.06.13	ISSUED FOR SPA APPLICATION

**JRCP DESIGNS INC.**  
 ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
 (416) 655-0245  
 email: jrpedesigns@yahoo.ca  
 www.jrpedesigns.com

Project Name and Address  
**78-80-82 TRAFALGAR RD.  
 OAKVILLE, ON.  
 (PROPOSED 78, 80 & 82 TRAFALGAR RD.)**

DRAWING TITLE  
**SITE PLAN &  
 TREE PROTECTION PLAN  
 S.P.1713.040/02**

Project	Sheet
DRAWN BY: RRR	<b>SP-1</b>
Date JULY 19, 2013	
Scale 1: 150	

## Sebastian Alzamora

---

**From:** Kelly Lanaus <kelly.lanaus@oakville.ca>  
**Sent:** June 6, 2024 1:06 PM  
**To:** Sebastian Alzamora; Brandon Hassan; Timothy Lee  
**Cc:** Sarah Clark; Leigh Musson  
**Subject:** RE: 78 Trafalgar - Minor Variance  
**Attachments:** 03\_CondoPlan\_v1\_2024-02-26.pdf

Hello Sebastian

Thank you for your patients as we discussed this with our legal department.

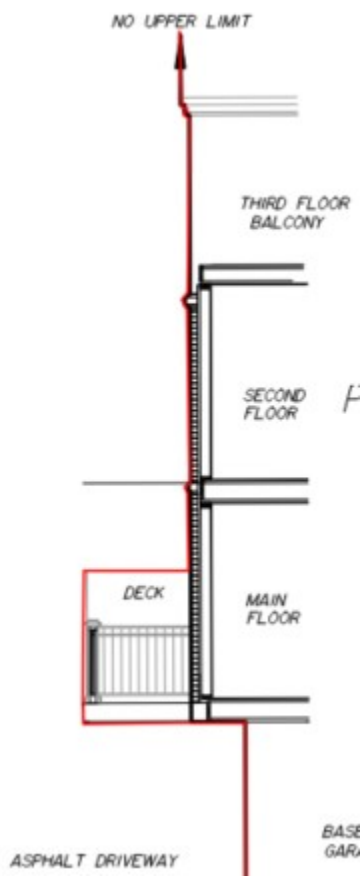
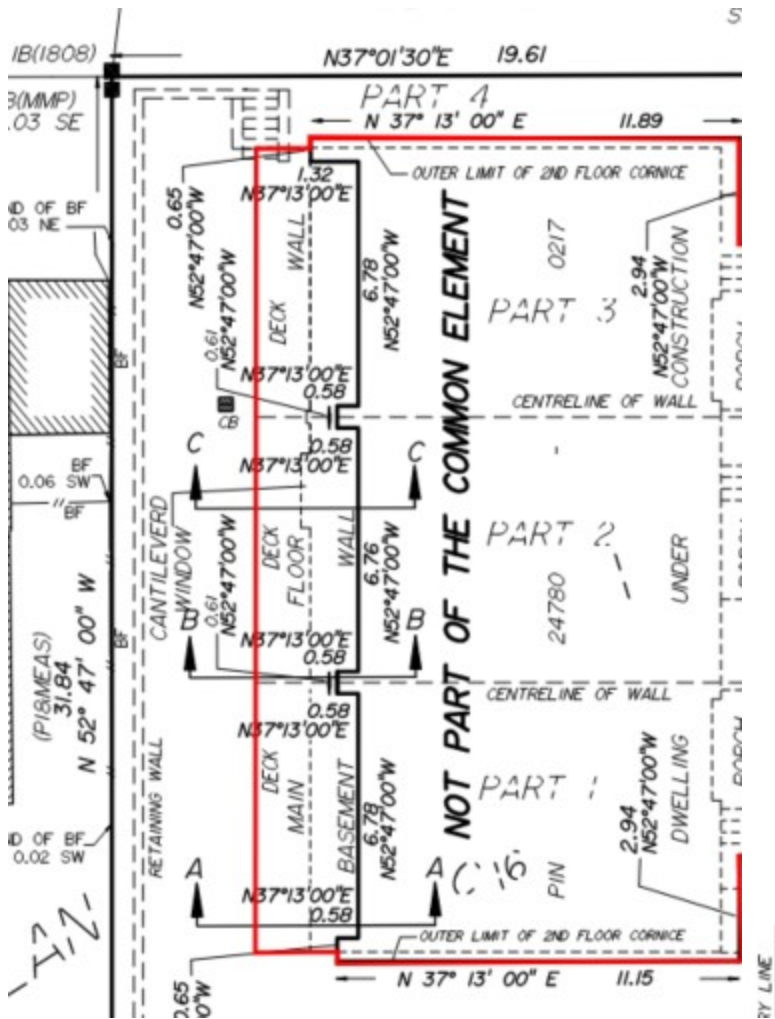
In these discussions, and considering the property in question, along with the Final CAV decision, we are now recommending that you would actually need to seek relief from section 6.10 c) of bylaw 2014 and applying section 6.10 b)

Seeking relief of the bylaw would rectify any issues with frontage and thus relief would not be required from section 4.13.

The decks are currently shown as part of the condo plan, that is of course why we were asking about them. If it is exclusive to each owner then you need to change the lines on the condo plan to something similar to the red line below.

Next steps would be to submit your application so we can do a full review and identify any further issues.

Thank you,  
Kelly



**Kelly Lanaus, CPT**  
**Senior Zoning Plans Examiner**  
**Building Services**

Town of Oakville | 905-845-6601, ext. 3036 | f: 905-338-4230 | [www.oakville.ca](http://www.oakville.ca)

**Vision: A vibrant and livable community for all**

Please consider the environment before printing this email.  
<http://www.oakville.ca/privacy.html>

**From:** Sebastian Alzamora <SebastianA@gsai.ca>  
**Sent:** Thursday, June 6, 2024 12:49 PM  
**To:** Brandon Hassan <brandon.hassan@oakville.ca>; Kelly Lanaus <kelly.lanaus@oakville.ca>; Timothy Lee <timothy.lee@oakville.ca>  
**Cc:** Sarah Clark <sarahc@gsai.ca>; Leigh Musson <leigh.musson@oakville.ca>  
**Subject:** RE: 78 Trafalgar - Minor Variance

Thanks Brandon.

@Kelly Lanaus @Timothy Lee - can you please advise?

**Sebastian Alzamora, MCIP, RPP | Planner**  
 700 - 10 Kingsbridge Garden Circle  
 Mississauga, ON L5R 3K6  
 C: 416 419-8862  
[www.gsai.ca](http://www.gsai.ca)

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/169/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
W. Li	Kurtis Van Keulen Huis Design Studio 301-1a Conestoga Dr Brampton ON, Canada L6Z 4N5	2114 Hixon St PLAN M16 LOT 1 BLK A

**Zoning of property:** RL3-0, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.4.1 (Row 4)</i> The maximum residential floor area ratio for a detached dwelling with a lot area between 743.00 m <sup>2</sup> and 835.99 m <sup>2</sup> shall be 40%.	To increase the maximum residential floor area ratio to 44.75%.
2	<i>Section 6.4.3 a)</i> The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 7.81 metres.	To reduce the minimum front yard to 7.56 metres.

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments



regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

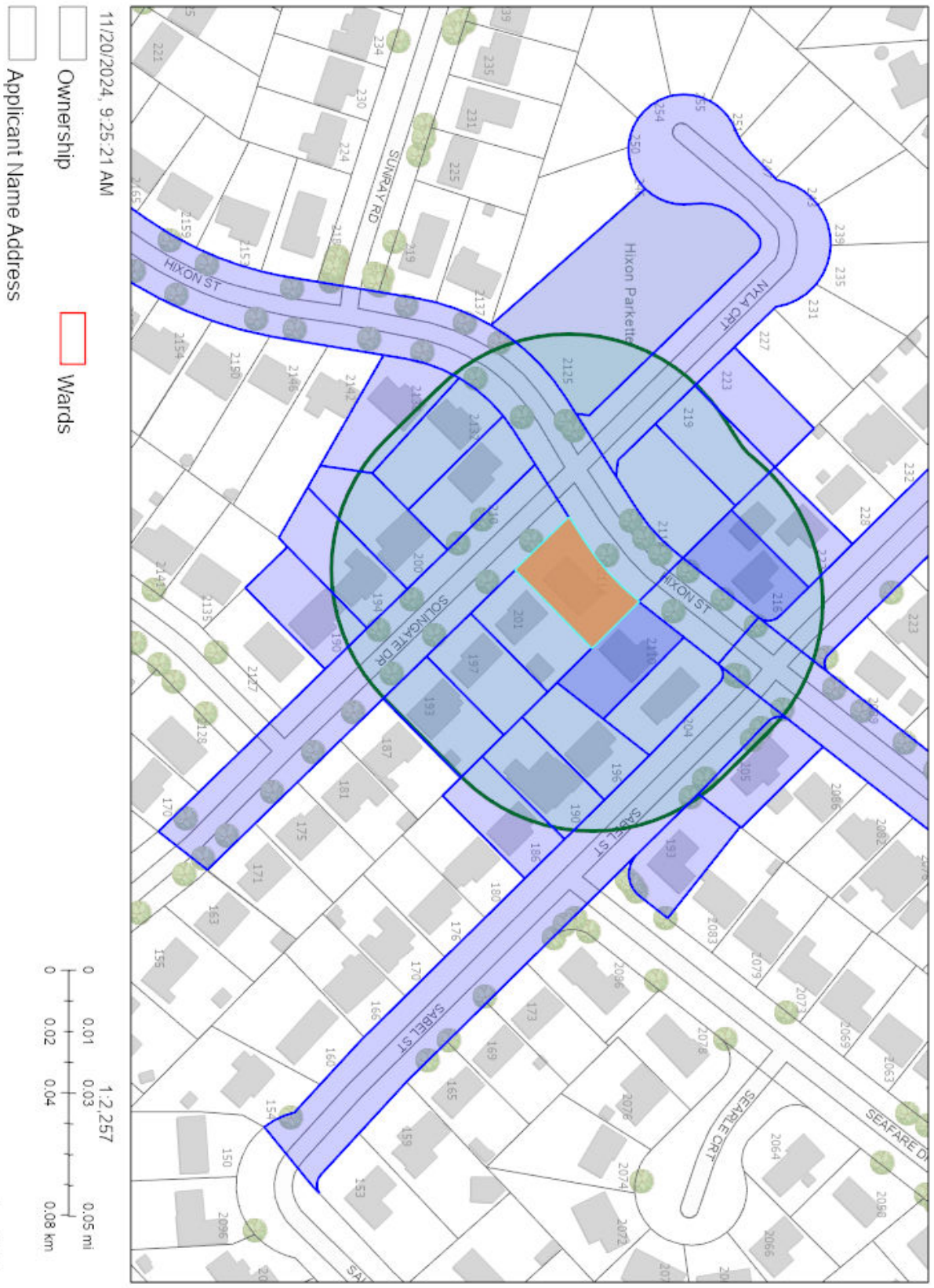
**Contact information:**

Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

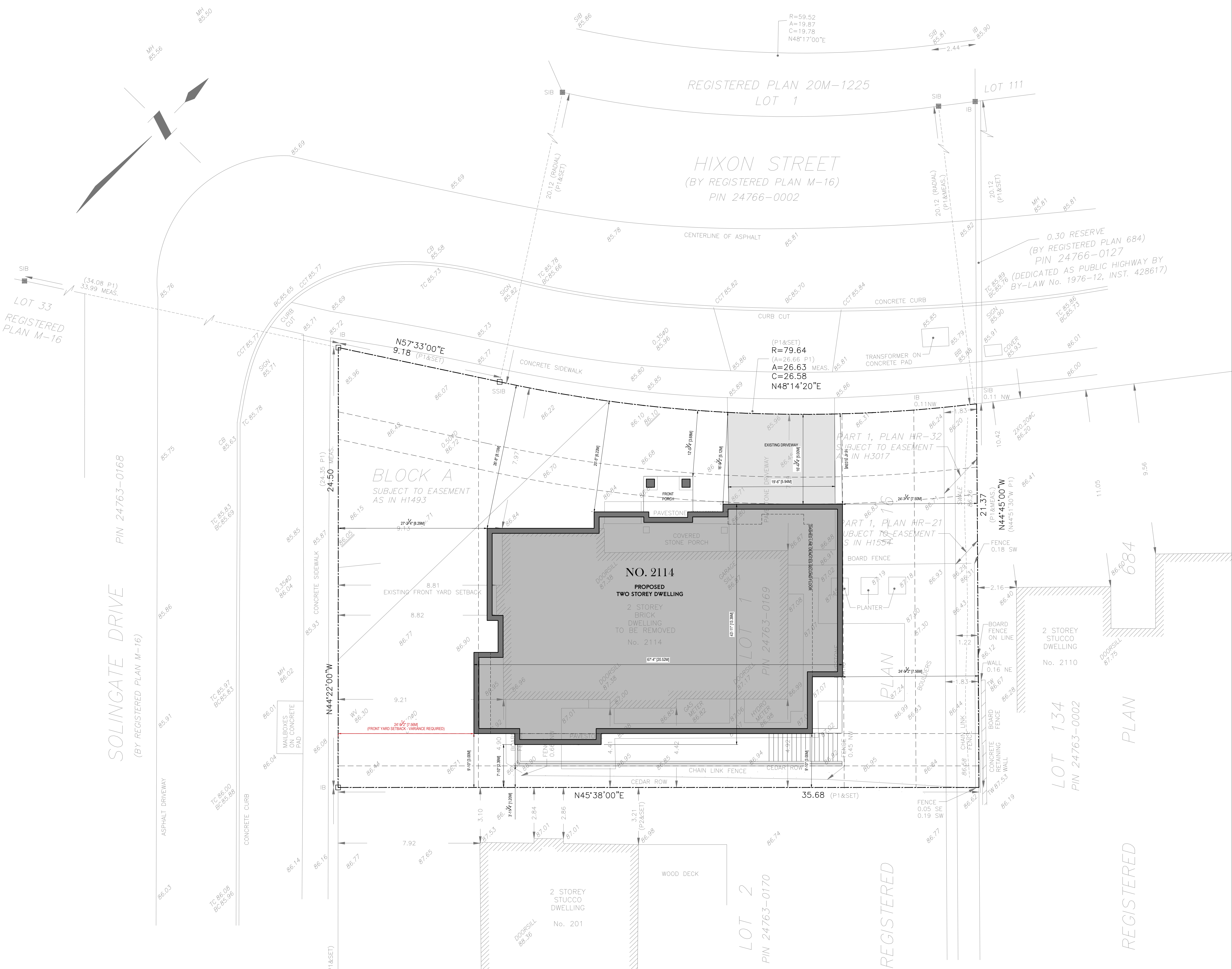
November 22, 2024

# CAV A/169/2024 - 2114 Hixon Street





SITE STATISTICS		
ADDRESS:	2114 HIXON STREET	
ZONING:	RL3-0	
LOT AREA	Proposed 776.77 m <sup>2</sup>	Required 557.5 m <sup>2</sup>
LOT FRONTAGE	22.9 m	18.00 m
ESTABLISHED GRADE	86.08	N/A
HEIGHT TO MID-POINT	7.88 m	N/A
HEIGHT TO HIGHEST RIDGE	9.00 m	9.00 m
HEIGHT TO EAVE	6.61 m	N/A
<b>RFA (FLOOR AREA)</b>	<b>Proposed</b>	<b>Required</b>
GROUND FLOOR	194.96 m <sup>2</sup>	N/A
SECOND FLOOR	213.67 m <sup>2</sup>	N/A
GARAGE (NOT INCL.)	45.94 m <sup>2</sup>	N/A
<b>SUBTOTAL</b>	<b>408.63 m<sup>2</sup></b>	<b>N/A</b>
OPEN AREAS (TO BE DEDUCTED)	60.99 m <sup>2</sup>	N/A
<b>TOTAL RFA</b>	<b>347.64 m<sup>2</sup></b>	<b>310.71 m<sup>2</sup></b>
RFA TO LOT AREA (MAX 41%)	<b>44.75 %</b>	40 %
<b>LOT COVERAGE</b>	<b>Proposed</b>	<b>Required</b>
DWELLING FOOTPRINT (INCL GARAGE)	240.90 m <sup>2</sup>	N/A
FRONT PORCH	6.14 m <sup>2</sup>	N/A
<b>TOTAL LOT COVERAGE:</b>	<b>247.04 m<sup>2</sup></b>	<b>271.87 m<sup>2</sup></b>
<b>MAX ALLOWED = 35%</b>	<b>31.80 %</b>	35 %
<b>SETBACKS</b>	<b>Proposed</b>	<b>Required</b>
FRONT YARD (EXISTING (8.81M) - 1.00M)	<b>7.56 m</b>	7.81 m
FLANKAGE YARD	3.68 m	3.50 m
INTERIOR SIDE YARD	2.39 m	1.20 m
REAR YARD	7.5 m	7.50 m



1300 ARCHITECTURAL SITE PLAN

**FINAL DESIGN SIGN OFF**

I, THE CLIENT, HEREBY STATE THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.

CLIENT INITIALS: \_\_\_\_\_ HUIS INITIALS: \_\_\_\_\_

BETTER HOMES  
DEVELOPMENT & BUILDER INC.  
BASSAN ALKERH  
T: 443-778-4423  
WWW.BETTERHOMESBUILDER.CA

huis design studio  
CUSTOM HOME DESIGN

HUIS DESIGN STUDIO LTD.  
CUSTOM HOME DESIGN  
14 COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5  
T: 1-833-658-6847 (HUIS) E: INFO@HUISDESIGN.CA  
HUISDESIGN.CA

**GENERAL NOTES**

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

**QUALIFICATION INFORMATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANAGED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

**REGISTRATION INFORMATION**

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.

FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

**REVISION LIST**

NO.	ISSUE	DATE	BY
1	ISSUED FOR DESIGN SIGN OFF	04.13.2024	J.H.
2	ISSUED FOR COA	05.15.2024	J.H.
3			
4			
5			

**PROJECT NORTH: TRUE NORTH:**

**DRAWING TITLE:** ARCHITECTURAL SITE PLAN  
**DRAWN BY:** J.H.  
**CHECKED BY:** J.H.  
**PROJECT ADDRESS:** 2114 HIXON STREET  
**PROJECT NO.:** 2024-055  
**SHEET NO.:** 1/10

**SP**



1/4" = 1'-0"  
FRONT ELEVATION

**FINAL DESIGN SIGN-OFF**  
I, THE CLIENT, HEREBY STATE THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.

CLIENT INITIALS: \_\_\_\_\_ HUIS INITIALS: \_\_\_\_\_

**Better Homes**  
Development & Building Inc.  
BETTER HOMES DEVELOPMENT & BUILDING INC.  
BASSAM ALGERVILI  
T: 416.770.1422  
WWW.BETTERHOMESBUILDER.CA

**huis design studio**  
CUSTOM HOME DESIGN  
HUIS DESIGN STUDIO LTD.  
CUSTOM HOME DESIGN  
14 CONESTOGA DRIVE #201 | BRAMPTON, ON L6Z 4N6  
T: 1.833.466.4847 (TOLL FREE) | E: INFO@HUISDESIGN.CA  
HUISDESIGN.CA

**GENERAL NOTES**  
DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGAIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED UPON COMPLETION OF ANY STAGE OF CONSTRUCTION. THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

**QUALIFICATION INFORMATION**  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

**REGISTRATION INFORMATION**  
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C.1.2.4 OF THE ONTARIO BUILDING CODE

FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

REVISION LIST	
1	MI/DO.YYYY
2	MI/DO.YYYY
3	MI/DO.YYYY
4	MI/DO.YYYY
5	MI/DO.YYYY

ISSUE LIST	
1	ISSUED FOR DESIGN SIGN OFF 04.13.2024
2	ISSUED FOR COA 05.13.2024
3	MI/DO.YYYY
4	MI/DO.YYYY
5	MI/DO.YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
DRAWN BY: J.H. CHECKED BY: K.V.K.  
PROJECT ADDRESS: 2714 HIXON STREET  
SCALE: 1/4" = 1'-0"  
PROJECT NO. 2024-055  
SHEET NO. **A201**





RIGHT ELEVATION

**FINAL DESIGN SIGN OFF**  
 I (THE CLIENT) HEREBY THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.

CLIENT INITIALS: \_\_\_\_\_ HUIS INITIALS: \_\_\_\_\_

**Better Homes**  
 Development & Builder Inc.  
 BETTER HOMES  
 DEVELOPMENT & BUILDING INC.  
 BASSAM AL-KERCHI  
 T. 647-770-4423  
 WWW.BETTERHOMESBUILDER.CA

**huis design studio**  
 CUSTOM HOME DESIGN  
 HUIS DESIGN STUDIO LTD.  
 CUSTOM HOME DESIGN  
 1A COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N6  
 T. 1.833.456.4847 (HUIS) E. INFO@HUISDESIGNSTUDIO.CA  
 HUISDESIGNSTUDIO.CA

**GENERAL NOTES**  
 DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

**QUALIFICATION INFORMATION**  
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANIFESTED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_  
 REGISTRATION INFORMATION  
 REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.  
 FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

REVISION LIST	
1	ISSUED FOR DESIGN SIGN OFF
2	ISSUED FOR COA
3	
4	
5	

DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
 DRAWN BY: J.H. CHECKED BY: K.V.K.  
 PROJECT ADDRESS: 2114 HIXON STREET  
 PROJECT NO.: 2024-055  
 SHEET NO.: \_\_\_\_\_  
 SCALE: 1/8"=1'-0"

**A202**





**SPATIAL SEPARATION 'A'**

EXPOSING BUILDING FACE	201.22	SQ. FT.	18.69	SQ. M
UNPROTECTED OPENINGS PERMITTED	30.19	SQ. FT.	19.00	%
PERMITTED	30.18	SQ. FT.	15.00	%

LIMITING DISTANCE = 2.40M (2.00M AS PER TABLE 9.10.15.4.)

**SPATIAL SEPARATION 'B'**

EXPOSING BUILDING FACE	1190.49	SQ. FT.	109.67	SQ. M
UNPROTECTED OPENINGS PERMITTED	77.00	SQ. FT.	7.21	%
PERMITTED	118.05	SQ. FT.	10.00	%

LIMITING DISTANCE = 3.00M (3.00M AS PER TABLE 9.10.15.4.)

1/8" = 1'-0"  
**REAR ELEVATION**

**FINAL DESIGN SIGN-OFF**  
I, THE CLIENT, HEREBY STATE THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.



**GENERAL NOTES**  
DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

**QUALIFICATION INFORMATION**  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

**REGISTRATION INFORMATION**  
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.

**REVISION LIST**

1	ISSUED FOR DESIGN SIGN OFF	04.13.2024	MM.DD.YYYY
2	ISSUED FOR COA	05.15.2024	MM.DD.YYYY
3			MM.DD.YYYY
4			MM.DD.YYYY
5			MM.DD.YYYY

**DRAWING TITLE:** ARCHITECTURAL ELEVATIONS  
**DRAWN BY:** J.H.  
**CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 2114 HYON STREET  
**PROJECT NO.:** 2024-055  
**SCALE:** 1/8"=1'-0"  
**SHEET NO.:** A203



LEFT ELEVATION

**FINAL DESIGN SIGN-OFF**  
 I, THE CLIENT, HEREBY STATE THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.

CLIENT INITIALS: \_\_\_\_\_ HUIS INITIALS: \_\_\_\_\_



BETTER HOMES  
 DEVELOPMENT & BUILDER INC.  
 BASSAN AL-KERHI  
 T. 647-770-4423  
 WWW.BETTERHOMESBUILDER.CA



HUIS DESIGN STUDIO LTD.  
 CUSTOM HOME DESIGN  
 1A COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N6  
 T. 1.833.456.4847 (HUIS) E. INFO@HUISDESIGNS.CA  
 HUISDESIGNS.CA

**GENERAL NOTES**  
 DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

**QUALIFICATION INFORMATION**  
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

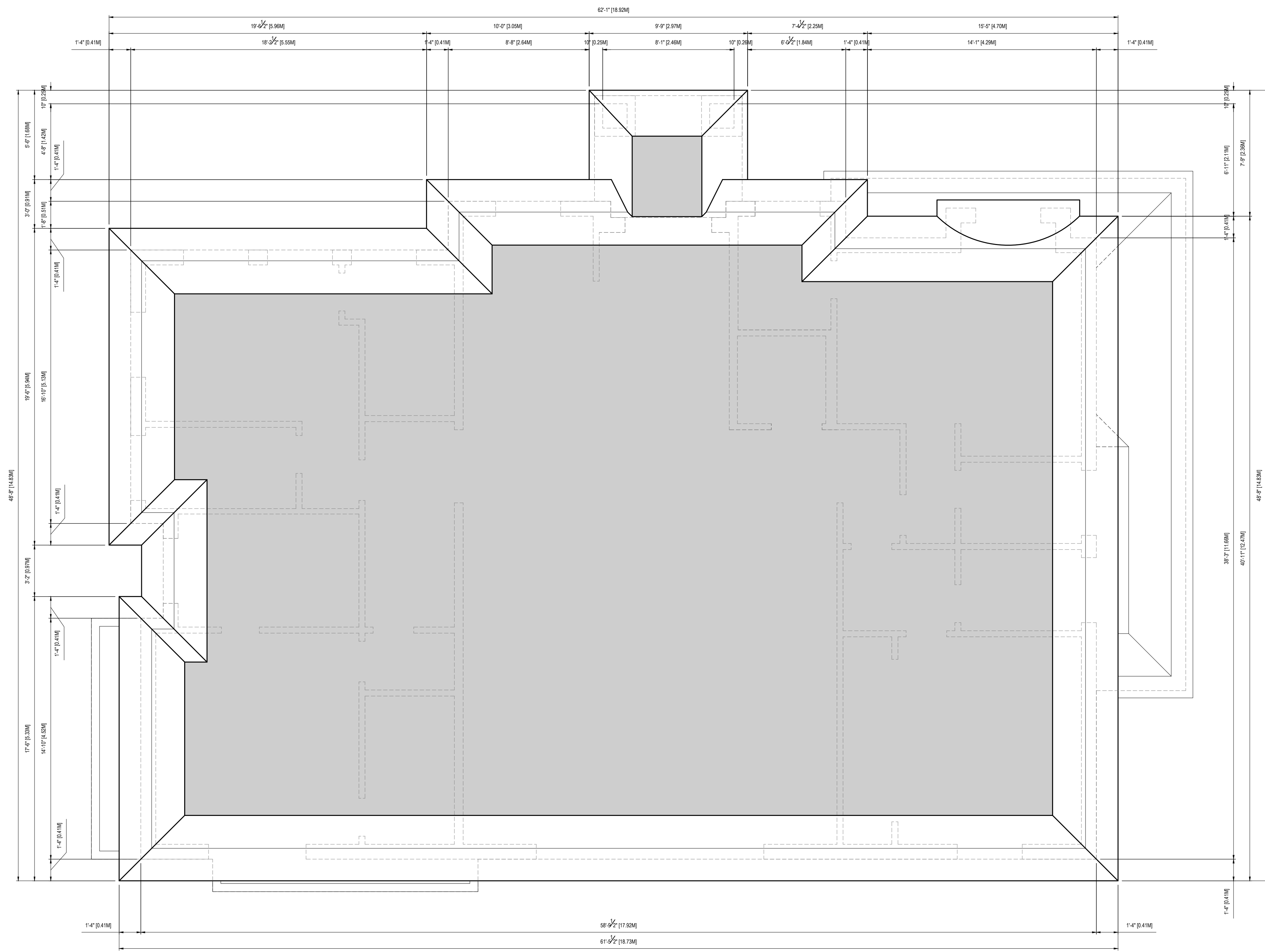
FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

REVISION LIST	
1	ISSUED FOR DESIGN SIGN OFF
2	ISSUED FOR COA
3	
4	
5	

ISSUE LIST  
 1 04.13.2024  
 2 05.15.2024  
 3  
 4  
 5

**DRAWING TITLE:** ARCHITECTURAL ELEVATIONS  
**DRAWN BY:** J.H.  
**CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 2114 HIXON STREET  
**PROJECT NO.:** 2024.055  
**SHEET NO.:** \_\_\_\_\_

SCALE: 1/8"=1'-0"  
**A204**



100'-0" ROOF PLAN

**FINAL DESIGN SIGN OFF**  
 I (THE CLIENT) HEREBY THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.

CLIENT INITIALS: \_\_\_\_\_ HUIS INITIALS: \_\_\_\_\_



**BETTER HOMES**  
 DEVELOPMENT & BUILDER INC.  
 BASSAM ALKERWII  
 T: 647-770-4423  
 WWW.BETTER-HOMESBUILDER.CA



**HUIS DESIGN STUDIO LTD.**  
 CUSTOM HOME DESIGN  
 1A COMESTOGA DRIVE #201 BRAMPTON, ON L2Z 4N5  
 T: 1-833-456-4847 (HUIS) | E: INFO@HUISDESIGN.CA  
 HUISDESIGN.CA

**GENERAL NOTES**  
 DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

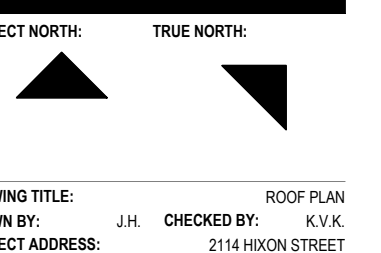
FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

**QUALIFICATION INFORMATION**  
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

REVISION LIST	
1	ISSUED FOR DESIGN SIGN OFF
2	ISSUED FOR COA
3	
4	
5	

ISSUE LIST	
1	ISSUED FOR DESIGN SIGN OFF 04.13.2024
2	ISSUED FOR COA 05.15.2024
3	
4	
5	



PROJECT TITLE: \_\_\_\_\_ ROOF PLAN  
 DRAWN BY: J.H. CHECKED BY: K.V.K.  
 PROJECT ADDRESS: 2114 HIXON STREET  
 PROJECT NO.: 2024-055 SCALE: 1/8"=1'-0"  
 SHEET NO.: \_\_\_\_\_

**A104**



NOT TO SCALE  
3D VIEW

**FINAL DESIGN SIGN-OFF**  
I, THE CLIENT, HEREBY STATE THAT I HAVE REVIEWED THIS DRAWING SET IN ITS ENTIRETY AND HEREBY AGREE TO SIGN OFF ON ALL ARCHITECTURAL DESIGN WORK INCLUDED WITHIN THIS DRAWING SET. ANY MAJOR DESIGN CHANGES REQUESTED FROM THIS POINT FORWARD WILL INCUR AN HOURLY CHARGE, AS LISTED ON THE INITIAL ARCHITECTURAL SERVICES CONTRACT PROVIDED BY HUIS DESIGN STUDIO. ALL TERMS, CONDITIONS AND AGREEMENTS OF THE ORIGINAL CONTRACT WILL REMAIN IN EFFECT.

CLIENT INITIALS: \_\_\_\_\_ HUIS INITIALS: \_\_\_\_\_



**BETTER HOMES**  
DEVELOPMENT & BUILDING INC.  
BASSAN ALKERN  
1-847-775-4423  
WWW.BETTERHOMESBUILDER.CA



**huis design studio**  
CUSTOM HOME DESIGN  
HUIS DESIGN STUDIO LTD.  
CUSTOM HOME DESIGN  
14 COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N6  
T: 1-833-458-4847 (HUIS) E: INFO@HUISDESIGN.CA  
HUISDESIGN.CA

**GENERAL NOTES**  
DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL, UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

**QUALIFICATION INFORMATION**  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

**REVISION LIST**

1	-	MI.DD.YYYY
2	-	MI.DD.YYYY
3	-	MI.DD.YYYY
4	-	MI.DD.YYYY
5	-	MI.DD.YYYY

**ISSUE LIST**

1	ISSUED FOR DESIGN SIGN OFF	04.13.2024
2	ISSUED FOR COA	05.15.2024
3	-	MI.DD.YYYY
4	-	MI.DD.YYYY
5	-	MI.DD.YYYY

**DRAWING TITLE:** 3D VIEW  
**DRAWN BY:** J.H.  
**CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 2114 HIXON STREET  
**PROJECT NO.:** 2024-055  
**SHEET NO.:** \_\_\_\_\_

**A205**



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/170/2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
C. Best J. Hammond	Alex Blanchard Carrothers and Associates 505 YORK Blvd 3 Hamilton ON, L8R 3K4	324 Spruce St PLAN 121 LOT 9

**Zoning of property:** RL3-0 sp:10, Residential

### Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	15.10.1 c) The maximum lot coverage for a dwelling have two storeys shall be 19%.	To increase the maximum lot coverage for a dwelling having two storeys to 25.96%.

### How do I participate if I have comments or concerns?

#### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

Sharon Coyne  
Assistant Secretary-Treasurer, Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 x. 1829  
[coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

November 22, 2024

# CAV A/170/2024 - 324 Spruce Street



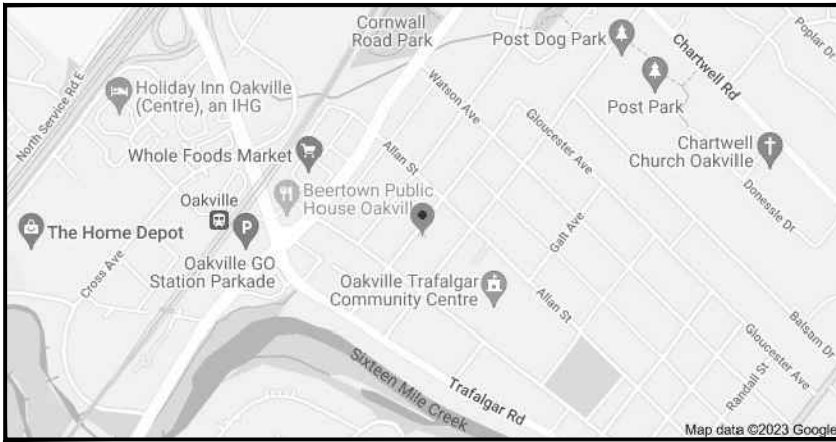


# PRIVATE RESIDENCE

## NEW CUSTOM SINGLE FAMILY DWELLING

324 SPRUCE STREET, OAKVILLE, ONTARIO L6J 2H1

ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:

### ZONING AND PROPERTY STATISTICS

DESCRIPTION:	LOT 9 REGISTERED PLAN 121 TOWN OF OAKVILLE		
ADDRESS:	324 SPRUCE STREET, OAKVILLE, ONTARIO		
	REQUIRED:	PROPOSED:	
ZONING DESIGNATION:	RL3-0 SP:10	RL3-0 SP:10	(EXISTING)
LOT AREA:	557.5 m <sup>2</sup>	674.33 m <sup>2</sup>	(EXISTING)
FRONTAGE:	18.00 m	15.24 m	(EXISTING)
DWELLING COVERAGE:		143.2 m <sup>2</sup>	(21.24%)
FRONT PORCH COVERAGE:		22.9 m <sup>2</sup>	(3.40%)
FUTURE SHED COVERAGE:		8.9 m <sup>2</sup>	(1.32%)
TOTAL LOT COVERAGE:	128.12 m <sup>2</sup> (19%)	<b>**175.0 m<sup>2</sup> (25.96%)</b>	
FLOOR AREA RATIO:	276.48 m <sup>2</sup> (41%)	258.73 m <sup>2</sup> (38.37%)	
FRONT YARD TO HOUSE:	6.07 m	6.45 m	
REAR YARD TO HOUSE:	7.50 m	20.52 m	
RIGHT YARD TO HOUSE:	1.20 m	1.80 m	
LEFT YARD TO HOUSE:	2.40 m	2.83 m	
BUILDING HEIGHT:	9.0 m	8.68 m	
PARKING SPACES:	2	2	
<b>** MINOR VARIANCE REQUIRED</b>			

#### AREA CALCULATIONS

BASEMENT	= 1517 sqft (141 m <sup>2</sup> )
MAIN FLOOR PLAN	= 1535 sqft (143 m <sup>2</sup> )
SECOND FLOOR PLAN	= 1250 sqft (116 m <sup>2</sup> )
TOTAL GFA	= 2785 sqft (259 m <sup>2</sup> )

#### LOT COVERAGE CALCULATIONS

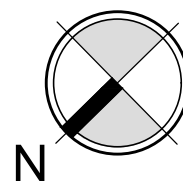
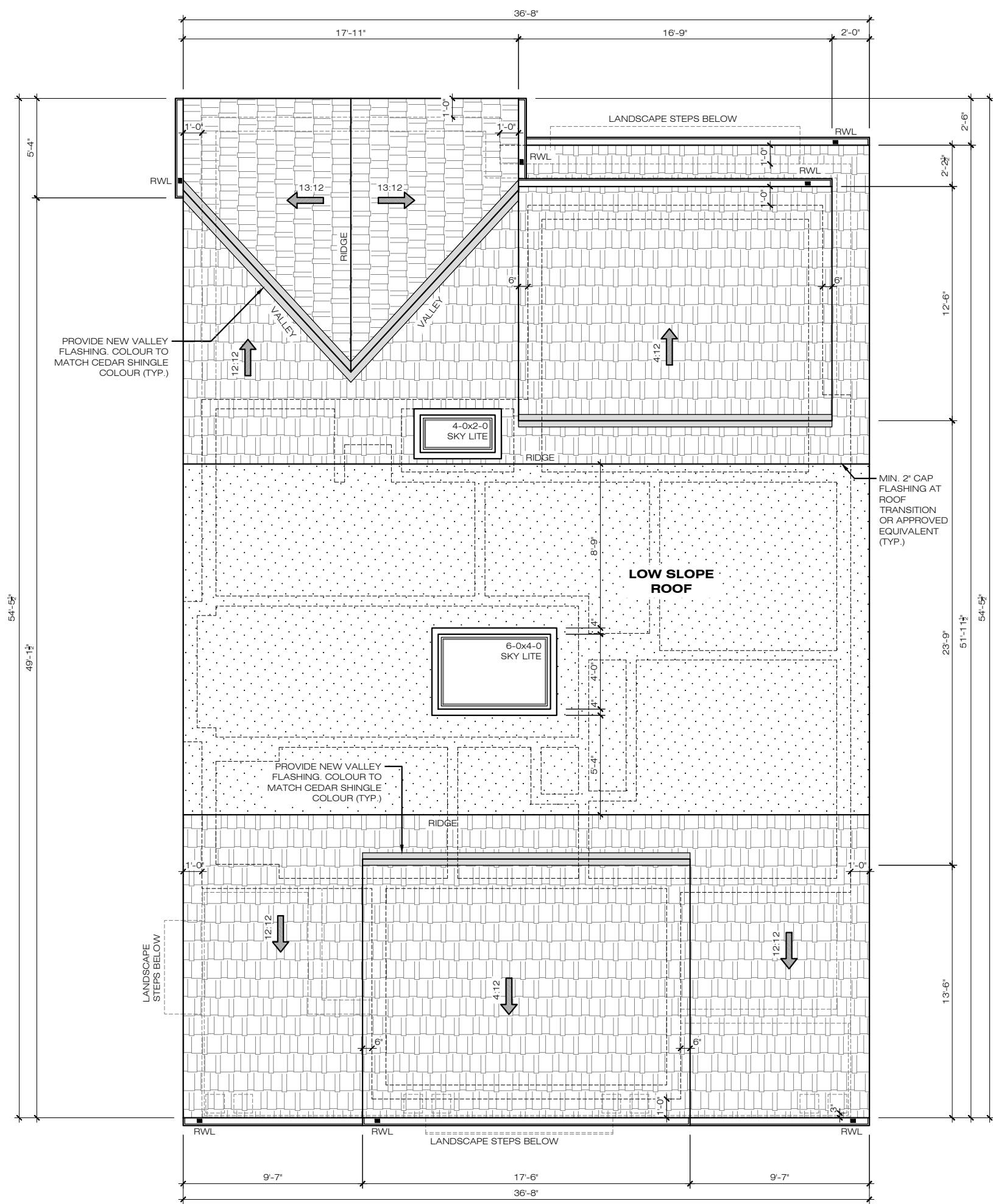
DWELLING	= 1541 sqft (143 m <sup>2</sup> )
FRONT PORCH	= 247 sqft (22.9 m <sup>2</sup> )
FUTURE SHED	= 95.8 sqft (8.9 m <sup>2</sup> )
TOTAL COVERAGE	= 1884 sqft (175 m <sup>2</sup> )



NEW ELEVATION (FOR REFERENCE ONLY):

<h1>ISSUED FOR COMMITTEE OF ADJUSTMENT</h1>	Project Name: <b>PRIVATE RESIDENCE</b> NEW CUSTOM SINGLE FAMILY DWELLING 324 SPRUCE STREET OAKVILLE, ON. L6J 2H1	Drawn By: Checked By: Scale: N.T.S. Date: OCT 2024 Project No: 2023-18
	Sheet Title: <b>COVER PAGE &amp; ZONING STATISTICS</b>	<h1>A1</h1>
	1 OCT 17/24 ISSUED FOR MINOR VARIANCE No. Date: Issue/Revision By:	





**ROOF PLAN**

**ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE  
 NEW CUSTOM SINGLE  
 FAMILY DWELLING**  
 324 SPRUCE STREET  
 OAKVILLE, ON. L6J 2H1

Sheet Title:  
**ROOF PLAN  
 (FOR REFERENCE ONLY)**

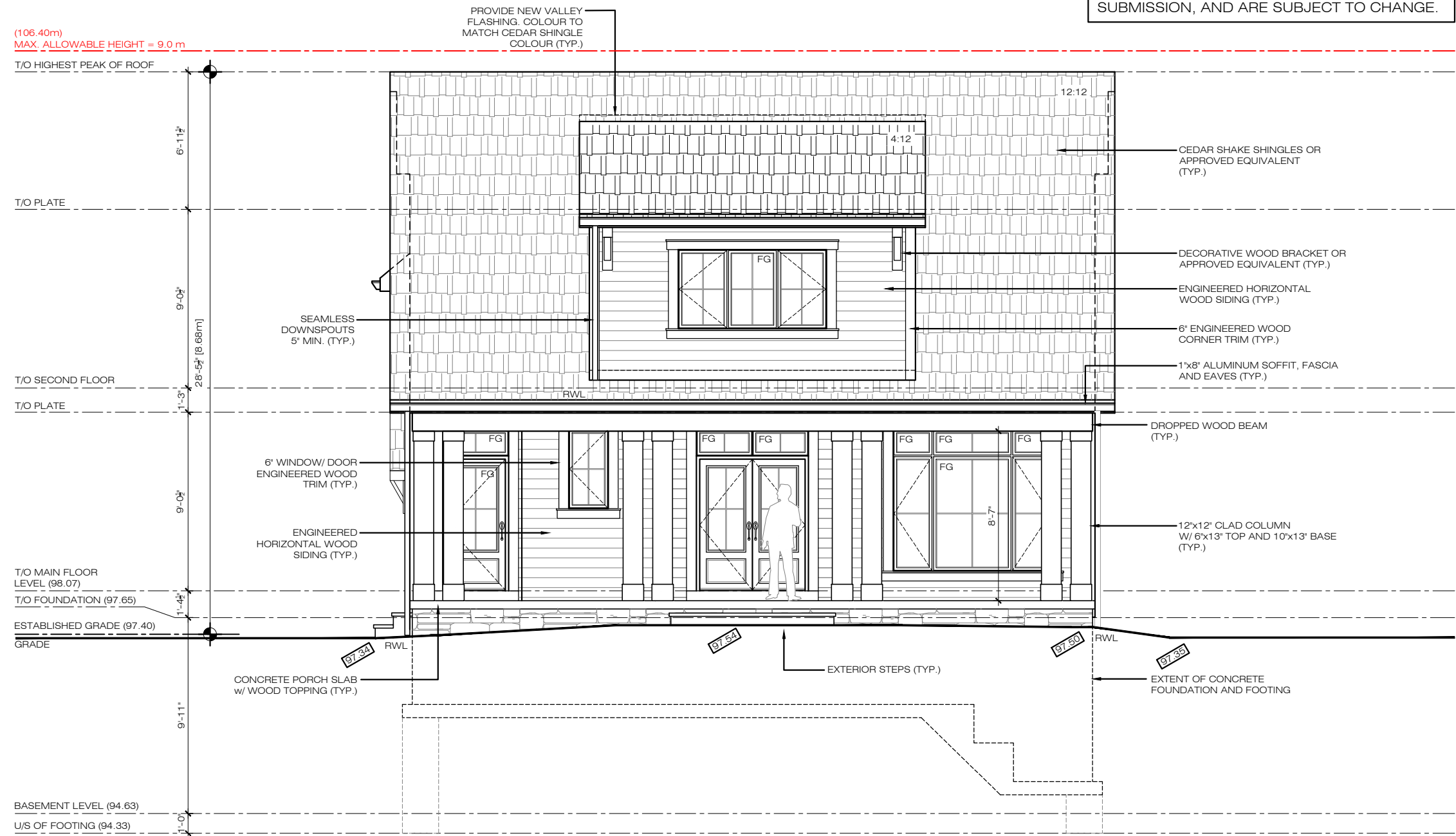
No.	Date:	Issue/Revision
1	OCT 17/24	ISSUED FOR MINOR VARIANCE

Drawn By:	
Checked By:	
Scale:	1:75
Date:	OCT 2024
Project No.:	2023-18

**A5**

**ISSUED FOR COMMITTEE OF ADJUSTMENT**

**\*NOTE:**  
 ALL MAKES, MODELS, MATERIALS, AND COLOURS HAVE NOT BEEN FINALIZED AT TIME OF MINOR VARIANCE APPLICATION SUBMISSION, AND ARE SUBJECT TO CHANGE.



**FRONT ELEVATION**

Project Name:  
**PRIVATE RESIDENCE**  
 NEW CUSTOM SINGLE FAMILY DWELLING  
 324 SPRUCE STREET  
 OAKVILLE, ON L6J 2H1

No.	Date	Issue/Revision
1	OCT 17/24	ISSUED FOR MINOR VARIANCE

Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Scale: 1:75  
 Date: OCT 2024  
 Project No: 2023-18

**A6**



**ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT**

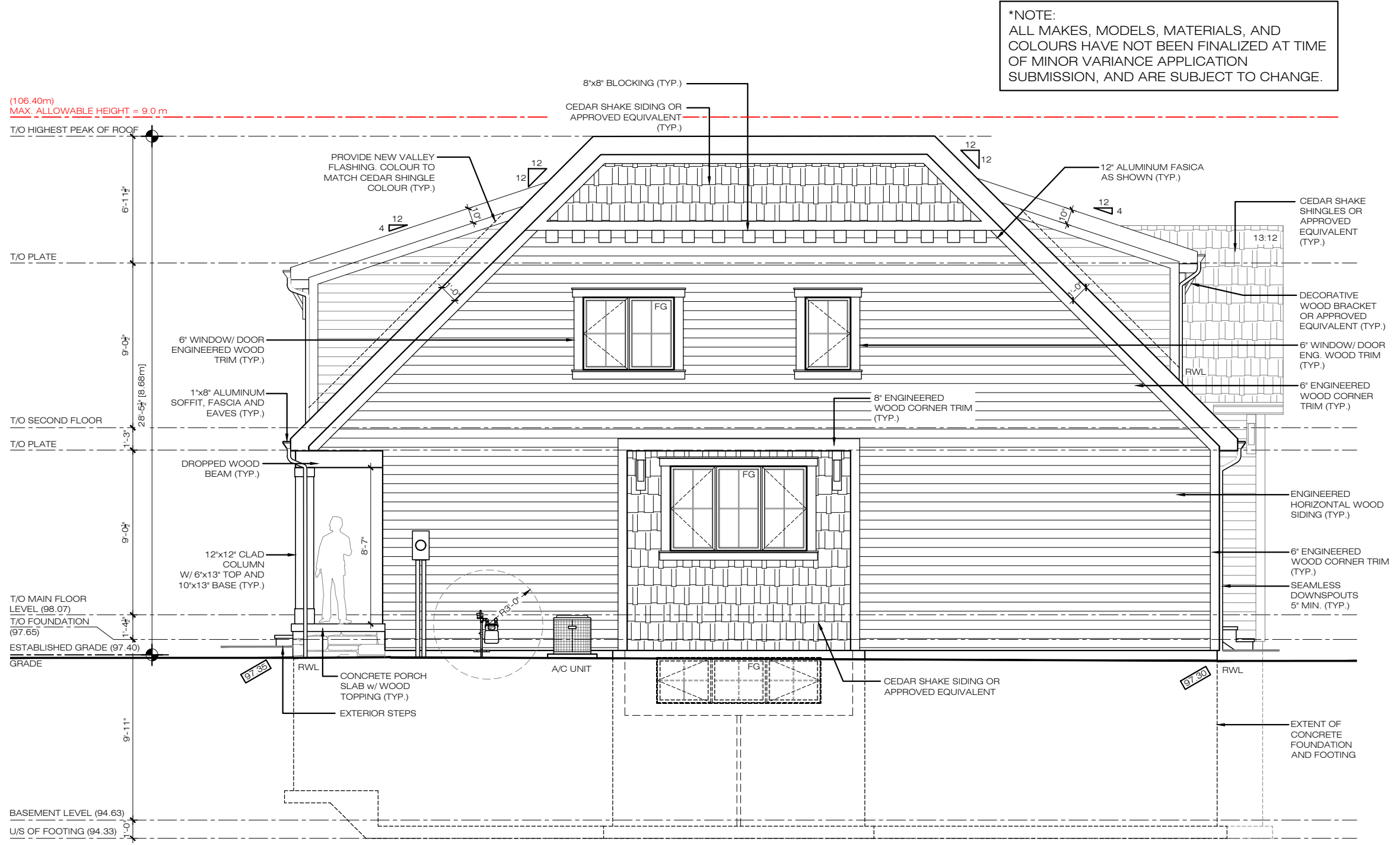
RIGHT SIDE ELEVATION  
(FOR REFERENCE ONLY)

**PRIVATE RESIDENCE**  
 NEW CUSTOM SINGLE  
 FAMILY DWELLING  
 324 SPRUCE STREET  
 OAKVILLE, ON L6J 2H1

No.	1
Date	OCT 17/24
Issued/Revised	ISSUED FOR MINOR VARIANCE
By	

Drawn By	
Checked By	
Scale	1:75
Date	OCT 2024
Project No.	2023-18

**A7**

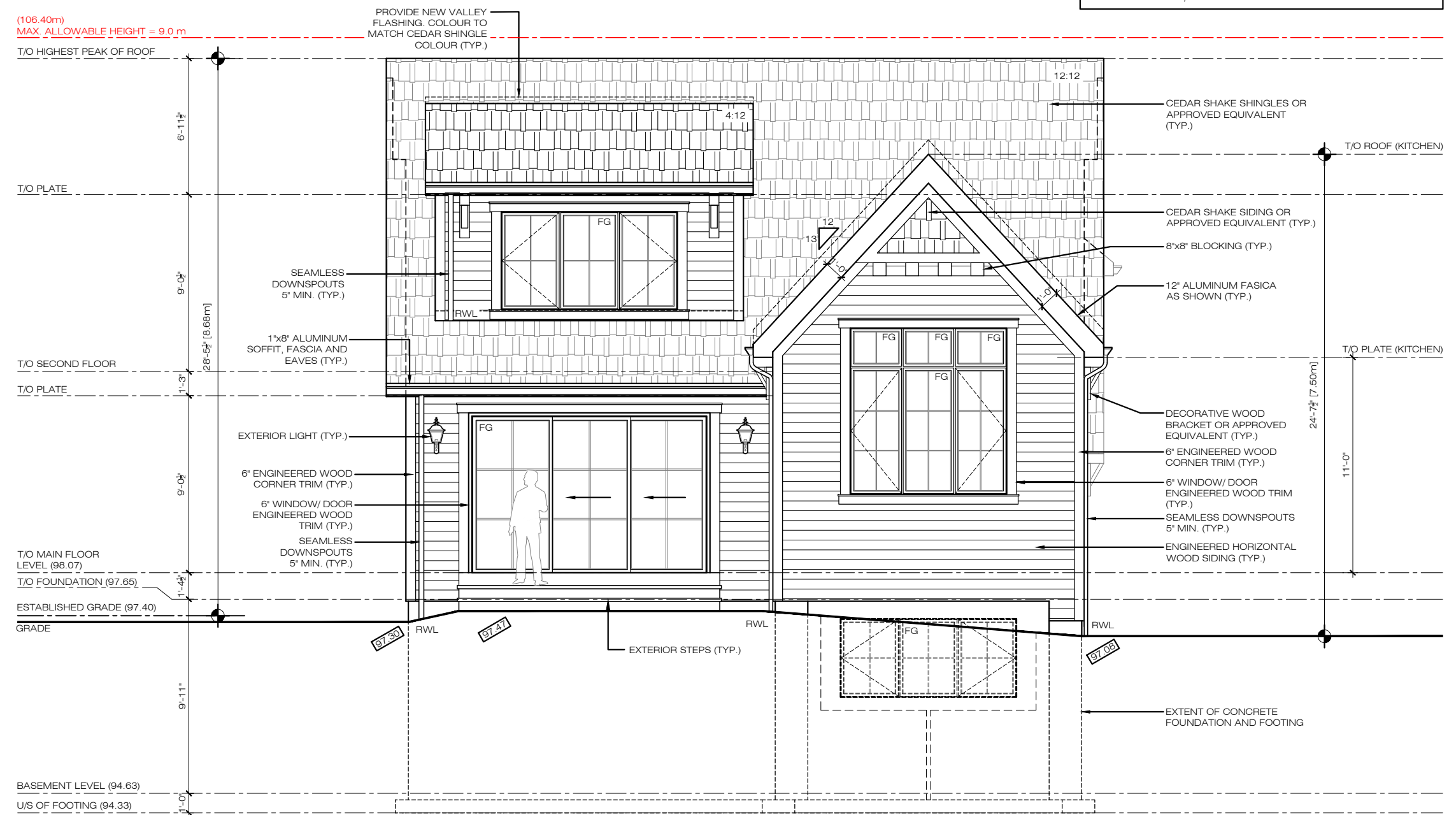


\*NOTE:  
 ALL MAKES, MODELS, MATERIALS, AND  
 COLOURS HAVE NOT BEEN FINALIZED AT TIME  
 OF MINOR VARIANCE APPLICATION  
 SUBMISSION, AND ARE SUBJECT TO CHANGE.

**RIGHT SIDE ELEVATION**

ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT

**\*NOTE:**  
ALL MAKES, MODELS, MATERIALS, AND  
COLOURS HAVE NOT BEEN FINALIZED AT TIME  
OF MINOR VARIANCE APPLICATION  
SUBMISSION, AND ARE SUBJECT TO CHANGE.



**REAR ELEVATION**

Project Name:  
**PRIVATE RESIDENCE**  
NEW CUSTOM SINGLE  
FAMILY DWELLING  
324 SPRUCE STREET  
OAKVILLE, ON L6J 2H1

Sheet Title:  
**REAR ELEVATION**  
(FOR REFERENCE ONLY)

No.	Date	Issue/Revisions
1	OCT 17/24	ISSUED FOR MINOR VARIANCE

Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Scale: 1:75  
Date: OCT 2024  
Project No: 2023-18

**A8**

ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT

Project Name:  
**PRIVATE RESIDENCE**  
NEW CUSTOM SINGLE  
FAMILY DWELLING  
324 SPRUCE STREET  
OAKVILLE, ON L6J 2H1

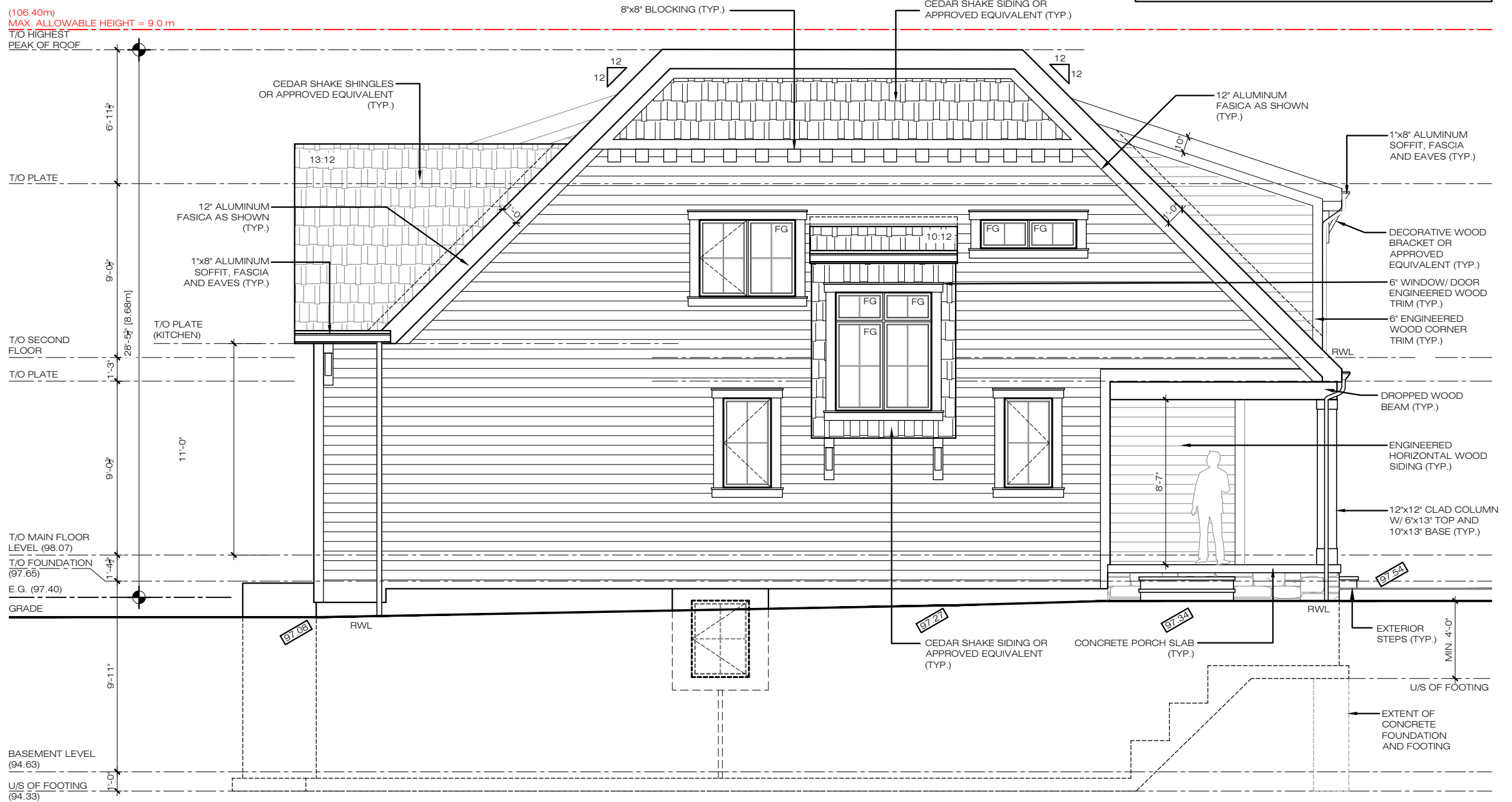
Sheet Title:  
**LEFT SIDE ELEVATION**  
(FOR REFERENCE ONLY)

No.	Date	Issued For / Revisions	By
1	OCT 17/24	ISSUED FOR MINOR VARIANCE	

Drawn By:  
Checked By:  
Scale: 1:75  
Date: OCT 2024  
Project No: 2023-18

**A9**

**\*NOTE:**  
ALL MAKES, MODELS, MATERIALS, AND  
COLOURS HAVE NOT BEEN FINALIZED AT TIME  
OF MINOR VARIANCE APPLICATION  
SUBMISSION, AND ARE SUBJECT TO CHANGE.

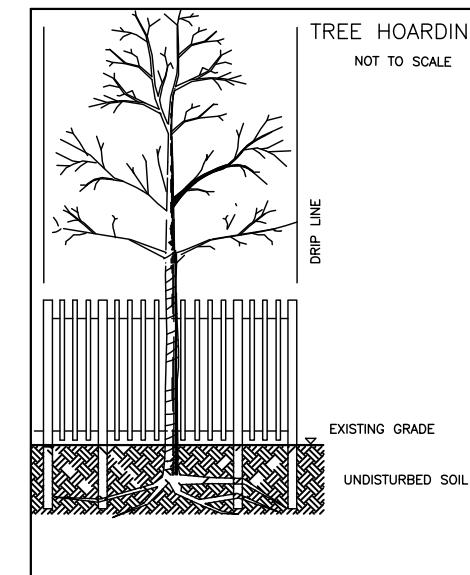


**LEFT SIDE ELEVATION**



**TREE PROTECTION NOTE**

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERRECTED BEFORE THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN THE ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLS, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
- GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ).
- UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ.
- NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.



NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW, THE TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

TRUNK DIAMETER (DBH)*	MINIMUM PROTECTION DISTANCES REQUIRED†
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

- DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
- TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

REGIONAL APPROVAL  
REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCAL APPROVAL FROM AREA MUNICIPALITY.

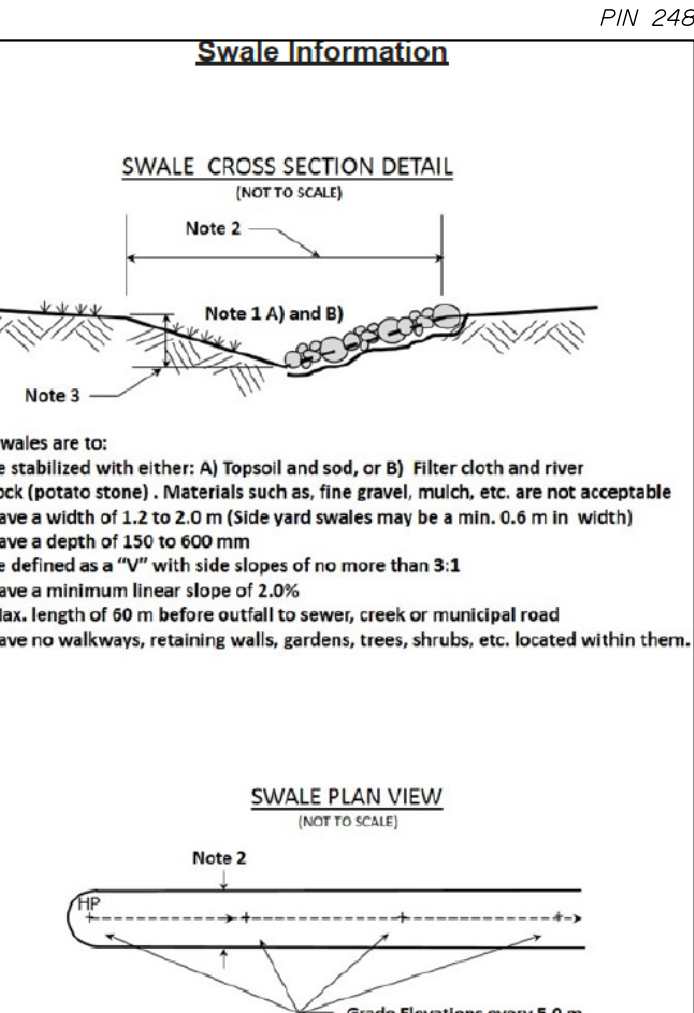
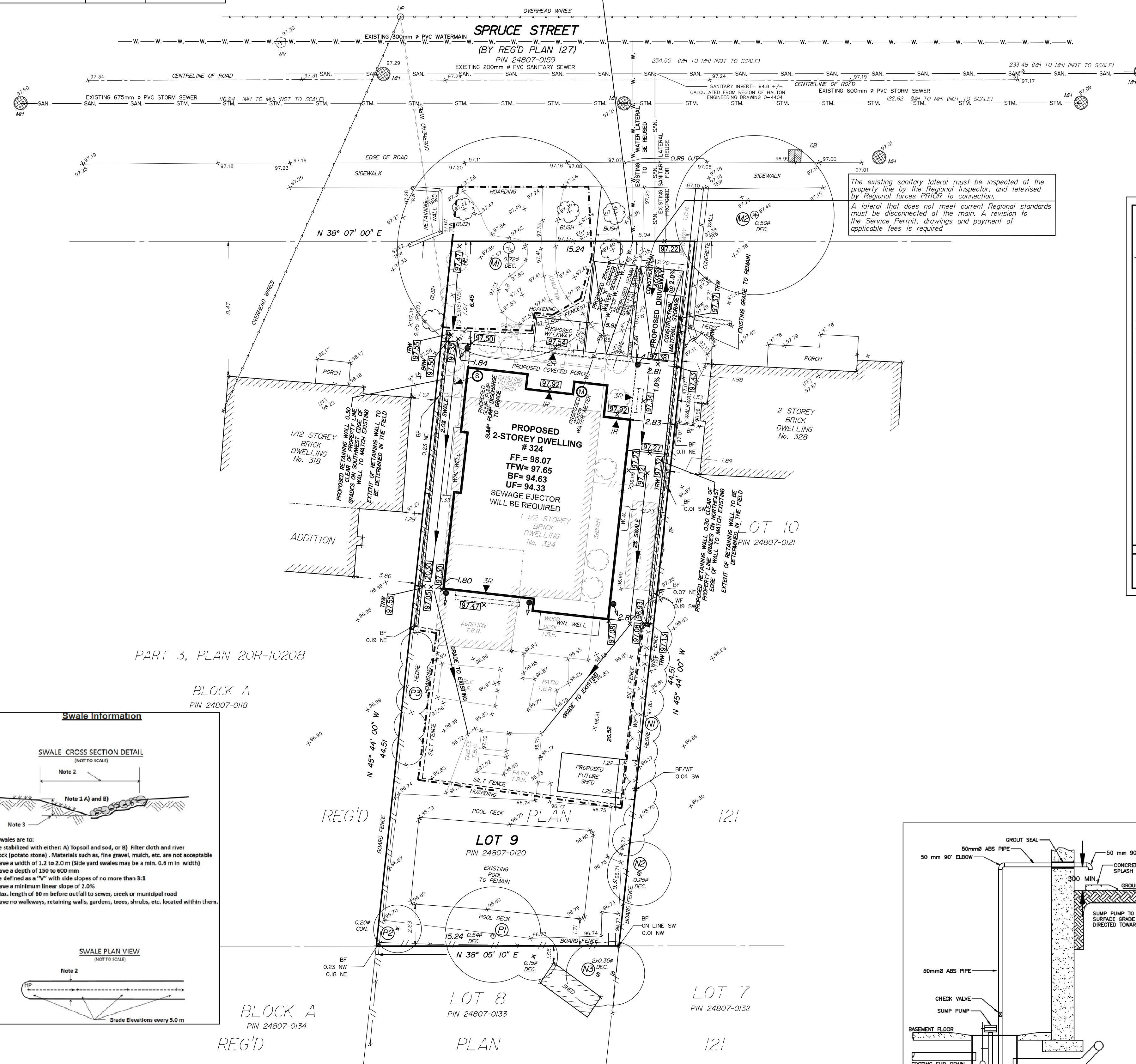
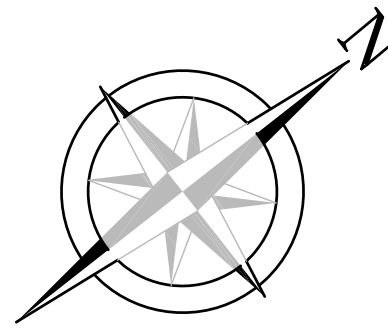
SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_  
Development Services

The approval of the water system on private property property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, (the Water and Wastewater Lateral Design Manual may be obtained on Halton's website or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

To re-use existing water service providing it meets Current Standards (otherwise, use proposed 25mm Copper Type-K water service)  
The existing water service must be inspected at the property line by the Regional Inspector.



- (C) UTILITIES CONNECTION
- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
  - WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING
  - STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

**SCHEDULE 1 TREE PROTECTION BARRIER**

**Tree Protection Barriers**

- Tree protection barriers must be 1.2m (4ft) high, waterproof, hoarding or an equivalent approved by Urban Forestry Services.
- Tree protection barriers for trees situated on the Town road allowance whose visibility must be maintained on the 1.5m (5ft) high and consist of plastic with snow fencing on a wood frame base.
- When some excavate or fill has to be temporarily located near a tree protection barrier, approved mesh can be used to ensure no material enters the Tree Protection Zone.
- All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- No excavation, grading, grade changes, curbside treatment or excavations of any kind is permitted within the Tree Protection Zone.

**KEY PLAN (NOT TO SCALE)**

**SITE, GRADING & SERVICING PLAN**

**LOT 9 REGISTERED PLAN 121 TOWN OF OAKVILLE**

REGIONAL MUNICIPALITY OF HALTON

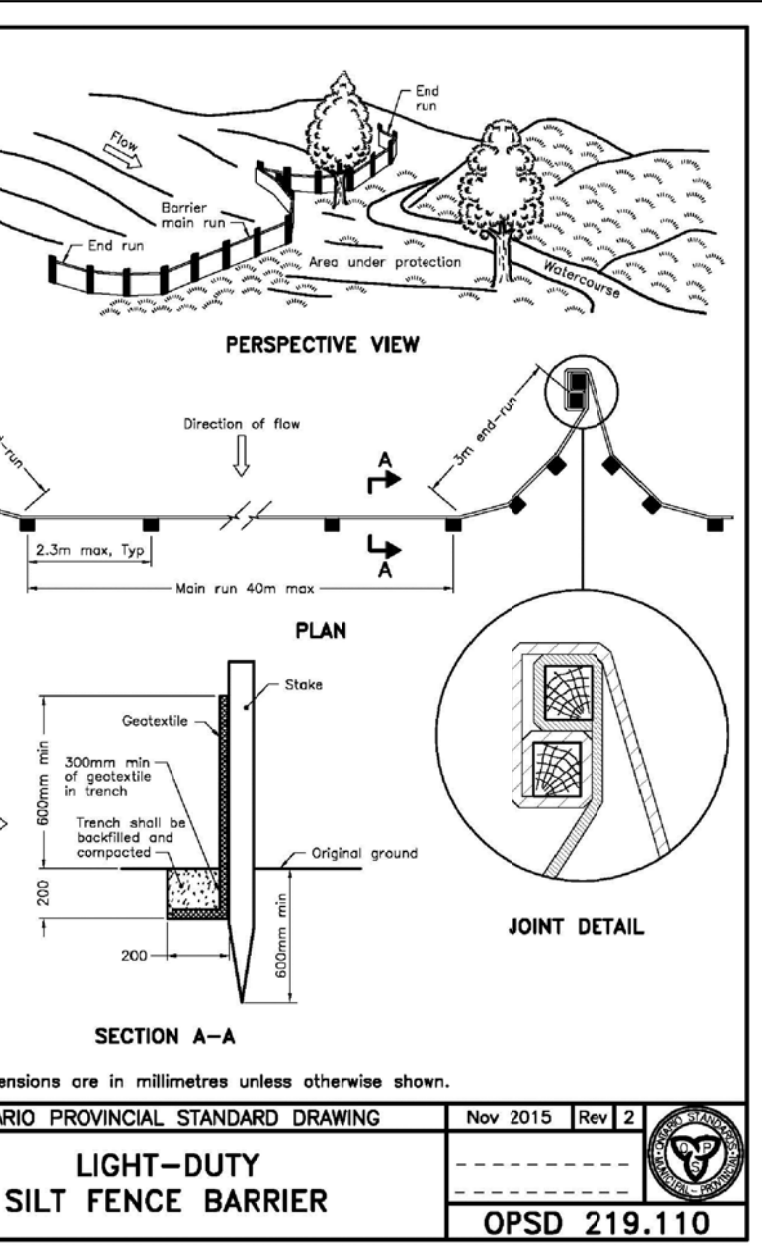
SCALE 1 : 150

**J.H. Gelbloom Surveying Limited**  
Ontario Land Surveyor  
2024

METRIC

METRICS shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED (METERS)	ACTUAL OR PROPOSED (METERS)
OAKVILLE BY-LAW	204-014	
ZONING DESIGNATION	R3-0 SPIO	
LOT AREA (MINIMUM)	557.5 SQ.M.	674.33 SQ.M.
LOT FRONTAGE (MINIMUM)	18.00	15.24
PARKING SPACES	2	2
DRIVEWAY WIDTH (MAXIMUM)	7.62	5.91
LOT COVERAGE (DWELLING)	128.12 SQ.M.	166.13 SQ.M. 24.63%
LOT COVERAGE (FUTURE SHED)	79	8.90 SQ.M. 1.33%
LOT COVERAGE (TOTAL)	128.12 SQ.M.	175.03 SQ.M.
LOT COVERAGE % (TOTAL)		25.26%
RFA MAXIMUM	276.48 SQ.M.	258.73 SQ.M.
RFA/LOT RATIO (MAXIMUM)	4:1x	39.37%
FRONT YARD SETBACK (MINIMUM)	6.07	6.45
SIDE YARD SETBACK (MINIMUM)	1.20 & 2.40	1.80 & 2.83
REAR YARD SETBACK (MINIMUM)	7.50	20.52
OVERALL HEIGHT	9.00	8.68



\* SUBJECT TO COMMITTEE OF ADJUSTMENTS FILE NO.

**LEGEND**

WF	Wire Fence	INV.	Invert Elevation
CLF	Chain Link Fence	EG	Established Grade
BF	Board Fence	T.F.B.	To Be Removed
EF	Top of Foundation Wall	TOS	Top of Slope
MH	Maintenance Hole	BOS	Bottom of Slope
FF	Finished Floor	CSP	Corrugated Steel Pipe
UP	Utility Pole	WV	Water Valve
DEC.	Deciduous Tree	HO	Hoarding
CON.	Coniferous Tree	WV	Water Valve
Ø	Diameter	HP	High Point
TC	Top of Curb	TRW	Top of Retaining Wall
BOC	Bottom of Curb	BRW	Bottom of Retaining Wall
ENTR.	Entrance	EMB.	Embankment
HP	High Point		
TRW	Top of Retaining Wall		
BRW	Bottom of Retaining Wall		
(3)	Arboret's Tree Number		
X	Tree to be Removed		

**SITE ADDRESS**  
324 SPRUCE STREET  
OAKVILLE, ONTARIO

CARROTHERS & ASSOCIATES  
505 YORK BLVD  
HAMILTON, ONTARIO

No.	Date	Description	By
1	SEPTEMBER 3, 2024	SITE PLAN	R.H.
2	OCTOBER 9, 2024	TOWN COMMENTS	R.H.
3			

**REVISIONS**

INFORMATION TAKEN FROM A SURVEY PREPARED BY J. H. GELBLOOM SURVEYING LTD.  
DATED - JANUARY 18, 2023

**BENCHMARK**  
Elevations are Refered to the Town of Oakville Benchmark No. 183, having an Elevation of 91.701 m.

**SURVEYOR'S CERTIFICATE**

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 324 SPRUCE STREET AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT AGREEMENT TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

AS PER OBC 9.14.6.1(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

November 5, 2024  
DATE

Andrew Musil, O.L.S.  
Checked By: A.M.  
Drawn By: R.H.  
Party Chief: \_\_\_\_\_

**J. H. Gelbloom Surveying Limited**  
Ontario Land Surveyor  
476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4  
office@jhsurveying.ca  
Phone:(905) 338-8210

Project: 24-143  
Checked By: A.M.  
Drawn By: R.H.  
Party Chief: \_\_\_\_\_



November 5, 2024

Committee of Adjustment – Planning Services

Town of Oakville, 1225 Trafalgar Road, Oakville. On. L6H 0H3

Attn: Heather McCrae, Secretary Treasurer

Project Address: 324 Spruce Street, Oakville, Ontario.

Carrothers and Associates Inc. are the consultants to Jeremy Hammond and Carolyn Best of the lands municipally known as 324 Spruce Street, Oakville, Ontario. On behalf of the owners, we are pleased to provide this submission letter to provide further information for item #10 on page 5 of the 2024 Minor Variance application.

**1. Do the variance(s) meet the intent and purpose of the Official Plan?**

The Subject Property is designated 'Low Density Residential' of the Livable Oakville Official Plan. The intent of the 'Low Density Residential' is to facilitate a range of permitted low density housing types including single detached dwellings. The proposed dwelling has been designed to be complimentary with recent and existing development forms in the neighbourhood including similar features providing a high-quality character design. Given this, the proposal will provide a built form massing that will integrate with the established heritage neighbourhood and it's transitioning character.

There are no natural heritage features on or adjacent to the subject property that will be adversely impacted by our proposal as the home will stay well within the required building setbacks and the building height is well within the Zoning regulations.

The variance request represents a minor departure from what is currently permitted while meeting the general intent of the Official Plan.

**2. Do the variance(s) meet the intent and purpose of the Zoning By-law?**

The general purpose and intent of the Zoning By-Law is to implement the policies of the Official Plan through specific permissions and regulations. In our case RL3-0 SP:10 'Low Density Residential' regulates the maximum lot coverage to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding area and to mitigate any potential grading and drainage impacts from decreased permeability. It's important to note that although we are asking for an increase in lot coverage, our residential floor area remains under the maximum limit. The requested 25.96% lot coverage includes a front covered porch which By-Law 2014-014 requires to be included in the total area. In the case of the Subject lands, the proposed house footprint is 21.24% (143.2 square metres) and the front covered porch is 3.40% (23 square metres)

Being an integral part of the home design. The porch allows the roof slope to extend down to the main level helping provide a 1.5 storey appearance from Spruce Street. The porch compliments the heritage character of the neighbourhood streetscape while providing relief to the overall massing of the dwelling.

In addition to the house and porch - we are asking for 1.32% (8.9 square metres) of lot coverage for a future detached shed as the new dwelling does not have an attached garage and the owners will require there an area for garden tools and lawn maintenance items. In our opinion, the following request represents a minor departure from what meets the intent of the Zoning By-Law.

**3. The variance(s) is desirable for the appropriate use of the land?**

The approval of the requested variance will allow for the proposed development and reinvestment on the Subject lands which are in close proximity to transit and various Town amenities. It is my opinion that the new dwelling has been designed and will maintain compatibility with the surrounding area and will be in keeping with the current streetscape character and general massing. The variance will help facilitate additional living space without creating any excessive additional massing or negative impacts on any neighbouring properties.

**4. The variance(s) is minor in nature:**

The requested variance will permit the construction a custom home project on the Subject lands and represents a minor departure from what is currently permitted. The variance is consistent and compatible with the existing and transitioning community-built form character. The variance will allow for reinvestment to occur and will not adversely impact the adjoining properties or the surrounding neighbourhood. It is my opinion that the requested minor variance is minor in nature

**Conclusion**

It is my opinion that our requested variance satisfies the four tests of Section 45(1) of the Planning Act, is minor in nature and appropriate for the development and use of the lands and maintains the general intent and purpose of the Official Plan and Zoning By-Law.

Regards,



David Carrothers  
Carrothers and Associates Inc.  
905.574.1504 ext. 1





# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/171/2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
G. Gentleman C. Kean	Nour Elgendy Four Seasons Sunroom 240 Vice Roy Rd Unit 6 Vaughan ON, L4K 3N9	115 Glenashton Dr PLAN M701 PT BLK 5 RP 20R13359 PARTS 34,35,36

**Zoning of Property:** RUC, Residential

### Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a one storey rear addition to the existing two-storey semi-detached dwelling proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 6.3.7 footnote (3)</i> The minimum rear yard shall be 13.0 metres for lots having a lot depth equal to or greater than 30.0 metres.	To reduce the minimum rear yard to 12.42 metres.

### How do I participate if I have comments or concerns?

#### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

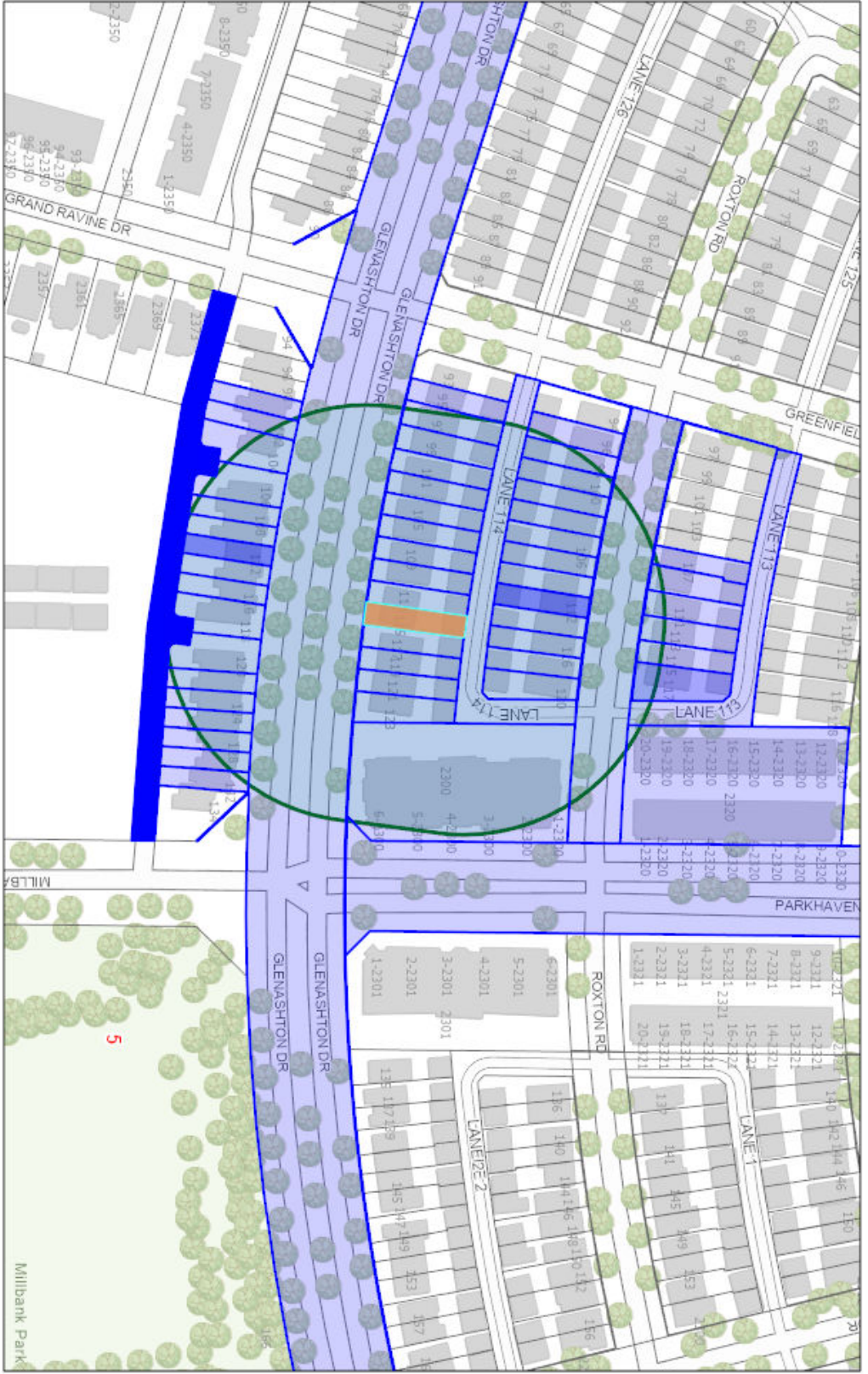
Sharon Coyne  
Assistant Secretary-Treasurer, Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 x. 1829  
[coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

November 22, 2024



# CAV A/171/2024 - 115 Glenashton Drive



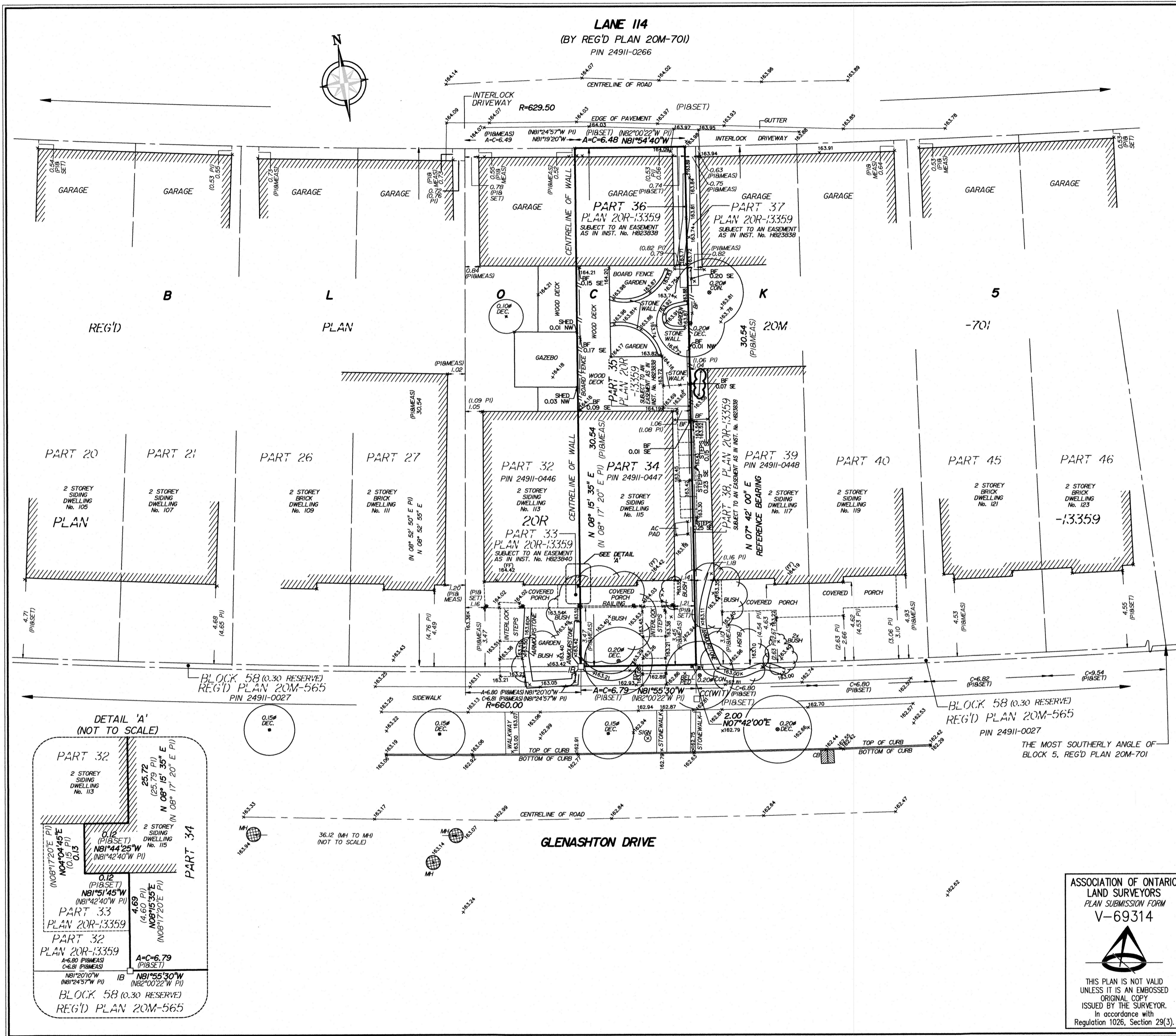
11/20/2024, 9:36:11 AM

- Ownership
- Applicant Name Address
- Wards



Town of Oakville  
2021 Town of Oakville





**SURVEYOR'S REAL PROPERTY REPORT - PART 1**  
 PLAN OF SURVEY AND TOPOGRAPHY  
**PART OF BLOCK 5**  
**REGISTERED PLAN 20M-701**  
**TOWN OF OAKVILLE**  
 REGIONAL MUNICIPALITY OF HALTON

0 5 10 15 M

**SCALE 1 : 150**

J. H. Gelbloom Surveying Limited  
 Ontario Land Surveyor 2023

© COPYRIGHT 2023 J. H. Gelbloom Surveying Limited  
 The reproduction, alteration, or use of this REPORT in whole or in part, without the written permission of J. H. Gelbloom Surveying Limited is Strictly Prohibited.

**SURVEYOR'S REAL PROPERTY REPORT - PART 2**  
**REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY**  
 Note the location of the Easement as in Inst. No. H823838.

**NOTABLES**  
 Note the location of the fences around the Subject Property.  
 Note the location of the stone steps along the Westerly limit of the Subject Property.

**LEGEND**

■	Survey Monument Found	N	Denotes North
□	Survey Monument Set	S	Denotes South
SIB	Standard Iron Bar	E	Denotes East
IB	Iron Bar	W	Denotes West
PI	Plan 20R-13359		
FF	Finished Floor		
BF	Board Fence		
UP	Utility Pole		
DEC.	Deciduous		
CLF	Chain Link Fence		
MH	Maintenance Hole		
CB	Catch Basin		
EG	Established Grade		
AC	Air Condition		

**BENCHMARK**  
 Elevations are Geodetic and are Referred to the Geodetic Surveys of Canada Benchmark No. 34, having an Elevation of 162.917m.

**NOTE**  
 This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.  
 All building ties are from the foundation and are perpendicular to property lines unless otherwise noted.

This REPORT was prepared for Graham Gentleman & Carolyn Kean and the undersigned accepts no responsibility for use by other parties.

**NOTE**  
 Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

**BEARING NOTE**  
 Bearings are Astronomic, and are Referred to the Easterly limit of Part 34 as shown on Plan 20R-13359, having a Bearing of N 07° 42' 00" E.

**SURVEYOR'S CERTIFICATE**  
 I certify that:  
 1: This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.  
 2: The survey was completed on the 29th day of November, 2023.

December 13, 2023  
 Date

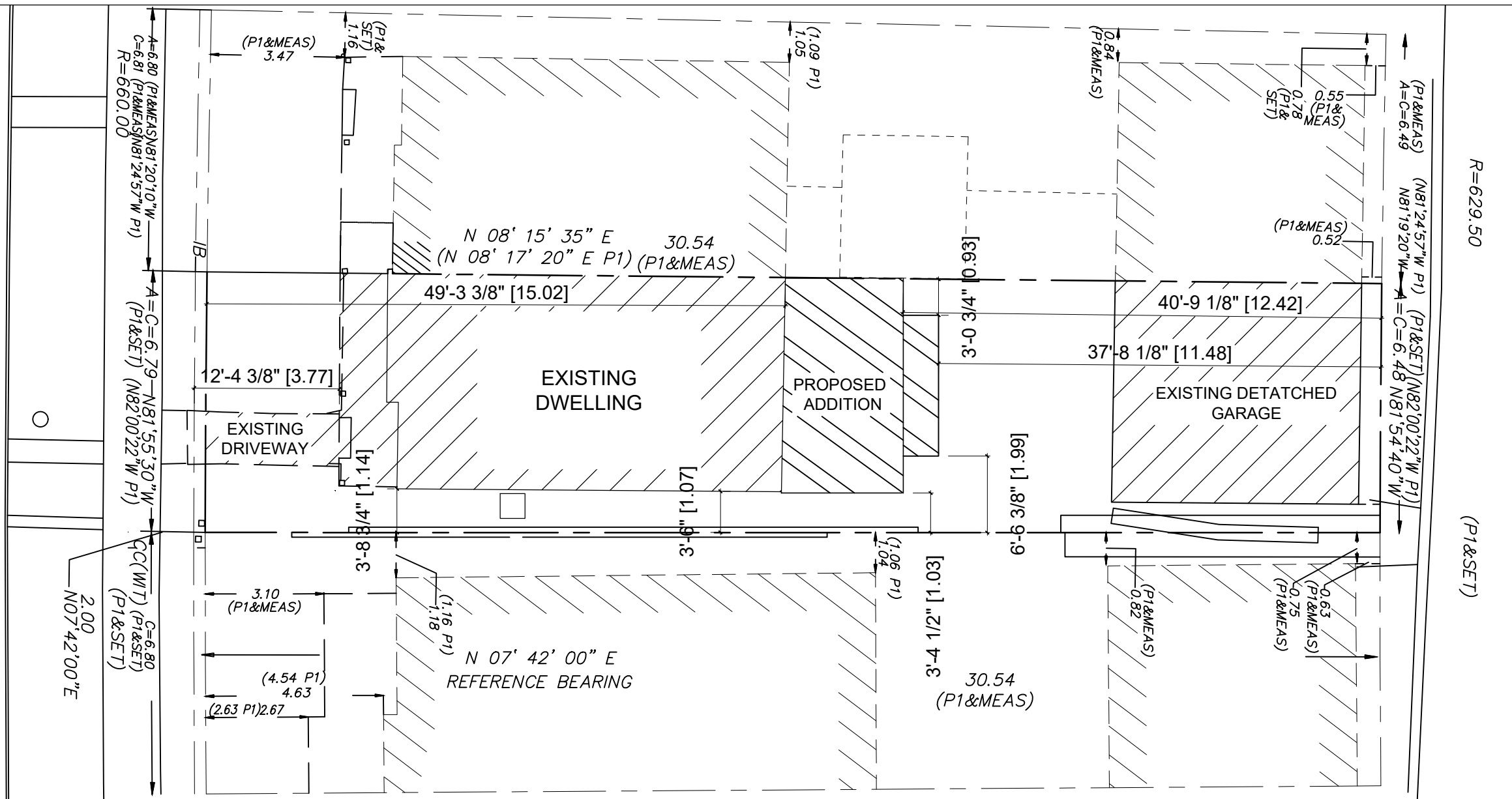
*A. Muijil*  
 Andrew Muijil, O.L.S.

Party Chief: Y.S. Drawn By: M.A. Checked By: A.M. Project: 23-206

**J. H. Gelbloom Surveying Limited**  
 Ontario Land Surveyor  
 476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4  
 office@jhgsurveying.ca  
 Phone: (905) 338-8210

ASSOCIATION OF ONTARIO LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 V-69314

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).



SITE STATISTICS BENCHMARK ELEVATION 162.917M		
	REQUIRED / PERMITTED	PROVIDED
LOT AREA (MIN)		2174.97 Sq. Ft. / 202.06 Sq. M.
LOT COVERAGE (MAX)		EXISTING DWELLING = 691.54 Sq. Ft. / 64.24 Sq. M. = 31.8% EXISTING GARAGE = 396.28 Sq. Ft. / 36.82 Sq. M. = 18.2% PROPOSED ADDITION = 184.90 Sq. Ft. / 17.18 Sq. M = 8.5% PROPOSED LANDING = 36.00 Sq. Ft. / 3.34 Sq. M = 1.7% COVERAGE = 60.2%
FRONT YARD SETBACK (MIN)		15.02M
SIDE YARD SETBACK (MIN)		1.03M, 0.00M
REAR YARD SETBACK (MIN)		12.42M
HEIGHT (MAX)		3.5M +/- (GRADE TO RIDGE)

## Site Plan



Customer Approval: \_\_\_\_\_

Date: \_\_\_\_\_

Page 83 of 181

Date: \_\_\_\_\_

Project Name  
**Gentleman, Graham Ronald & Kean, Carolyn Melinda**  
 115 Glenashton Dr., Oakville  
 Sheet No. \_\_\_\_\_

Scale: 1/16" = 1'-0"  
 Date: Jan.10/2024  
 Revision #: 3  
 Revision Date: Oct.4/2024



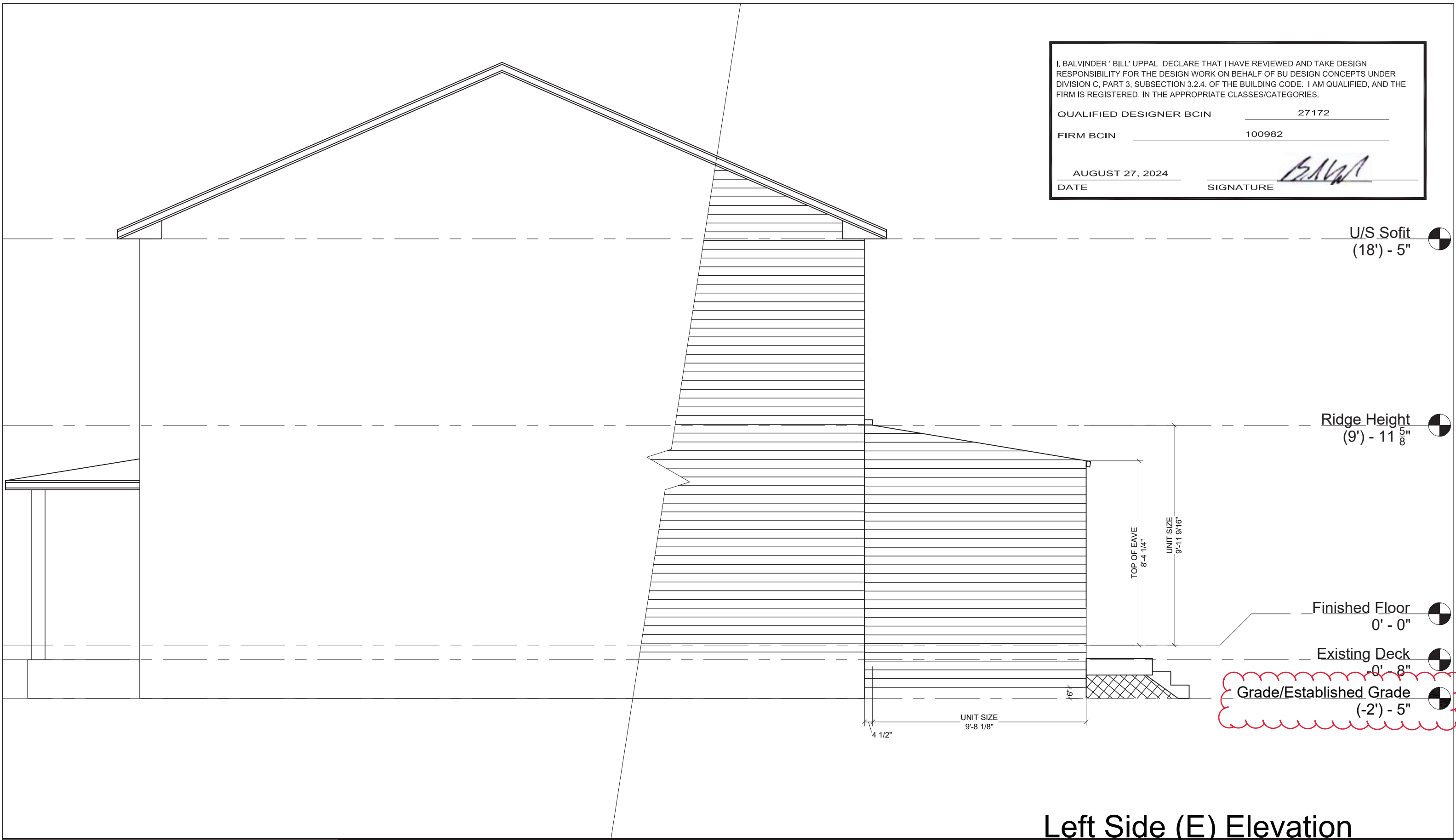
I, BALVINDER 'BILL' UPPAL DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF BU DESIGN CONCEPTS UNDER DIVISION C, PART 3, SUBSECTION 3.2.4. OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN 27172

FIRM BCIN 100982

AUGUST 27, 2024  
DATE

*B. Uppal*  
SIGNATURE



U/S Soffit  
(18') - 5"

Ridge Height  
(9') - 11 <sup>5</sup>/<sub>8</sub>"

Finished Floor  
0' - 0"

Existing Deck  
-0' - 8"

Grade/Established Grade  
(-2') - 5"

## Left Side (E) Elevation



Customer Approval:

Date:

Page 84 of 181

Date:

Project Name  
Gentleman, Graham Ronald & Kean, Carolyn Melinda  
115 Glenashton Dr., Oakville

Sheet No.

Scale  
1/4" = 1'-0"

Date  
Jan.10/2024

Revision #  
3

Revision Date  
August 16/2024

A- 0

# GLAZED OPENING CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

North Elevation

#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F)
1	Existing		15.2
1	New		68.9

## Spatial Calculations

Exposing Building Face	379.89	S.F.
	35.29	S.M.

Portion Wall Area

Limiting Distance	12.44m
Max. % Openings	100%
Openings Allowed	-- S.F.
Openings Provided	84.1 S.F.

U/S Soffit  
(18') - 5"

Ridge Height  
(9') - 11 <sup>5</sup>/<sub>8</sub>"

Finished Floor  
0' - 0"

Existing Deck  
-0' - 8"

Grade/Established Grade  
(-2') - 5"



I, BALVINDER 'BILL' UPPAL DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF BU DESIGN CONCEPTS UNDER DIVISION C, PART 3, SUBSECTION 3.2.4. OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN 27172

FIRM BCIN 100982

AUGUST 27, 2024  
DATE

*B. Uppal*  
SIGNATURE

REMOVE PORTION OF FENCE  
ADDITION WALL ACTS AS PARTY WALL - NEIGHBOUR APPROVED

GAS LINE CURRENTLY CAPPED  
CLIENT TO DECIDE WHO IS RELOCATING

## Rear (N) Elevation



Customer Approval:

Date:

Page 85 of 181

Date:

Project Name  
Gentleman, Graham Ronald & Kean, Carolyn Melinda  
115 Glenashton Dr., Oakville

Scale: 1/4" = 1'-0"  
Date: Jan.10/2024  
Revision #: 2  
Revision Date: August 16/2024

Sheet No.  
**A- 01**

October 2, 2024

Nour Elgendy  
Four Seasons Sunrooms  
240 Viceroy Rd Unit Unit 6 , Unit Unit 6  
Vaughan, ON, L4K 3N9

**Permit Application Number:** 24 - 206915

**Project Location:** 115 Glenashton Dr , Oakville, , L6H6V4

This is a progress update on the status of your permit application. The zoning examination is complete and we are providing courtesy notification of the deficiencies identified to date. Additional required examinations are in progress.

Once all examinations are complete, you will receive a refusal letter summarizing all deficiency comments. At that time, you will be eligible to resubmit your application with the deficiencies addressed. Your resubmission **must address all comments** identified by all disciplines and be accompanied by a detailed written response indicating how each item has been resolved. **Please do not resubmit materials until the refusal letter is issued.**

Please be aware of the following:

1. When amending plans, be mindful of the impact of changes to associated drawings as they must coordinate and be consistent. You may need to contact various members of your design team to coordinate these changes. Be proactive, look ahead and see the impact the change makes to the entirety of your project.
2. Approved drawings by other town departments/approval agencies must match those submitted for building permit (i.e. Site Plan, Development Engineering, Conservation Halton, etc...).
3. The continued review of your application may result in additional comments identified by other disciplines within the building permit process. You will be notified once all required examinations are complete and you are eligible to resubmit.

For general inquiries, please contact [buildingrequests@oakville.ca](mailto:buildingrequests@oakville.ca) or 905-845-6601 ext. 7377

For questions about specific deficiency items, please feel free to contact me.

**Gonzalo Marco**

Zoning Plans Examiner  
Phone: 905-845-6601, ext. 3177  
Email: [gonzalo.marco@oakville.ca](mailto:gonzalo.marco@oakville.ca)

**A refusal letter will be issued once all reviews are complete. Please hold resubmission materials until all examinations are complete.**



**ZONING** has identified the following comments that need to be addressed prior to resubmission. Hold all resubmission materials until refusal letter is issued:

1. Oakville Zoning By-Law 2014-014 - Table 6.3.7 - Minimum Rear Yard - The minimum rear yard setback for a semi-detached dwelling on a lot having- a depth of 30 or more metres shall be 13.0m. The proposed rear yard setback is 12.42m.

A refusal letter will be issued once all reviews are complete. Please hold resubmission materials until all examinations are complete.

# Notice of Public Hearing Committee of Adjustment Application



File CAV A/172/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
G. Jin	Mengdi Zhen Z Square Group 2710 14 Ave Markham ON, L3R 0J1	147 Elmwood Rd PLAN 352 LOT 25

**Zoning of property:** RL5-0, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 557.50 m <sup>2</sup> and 649.99 m <sup>2</sup> shall be 42%.	To increase the maximum residential floor area ratio to 46.56%

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

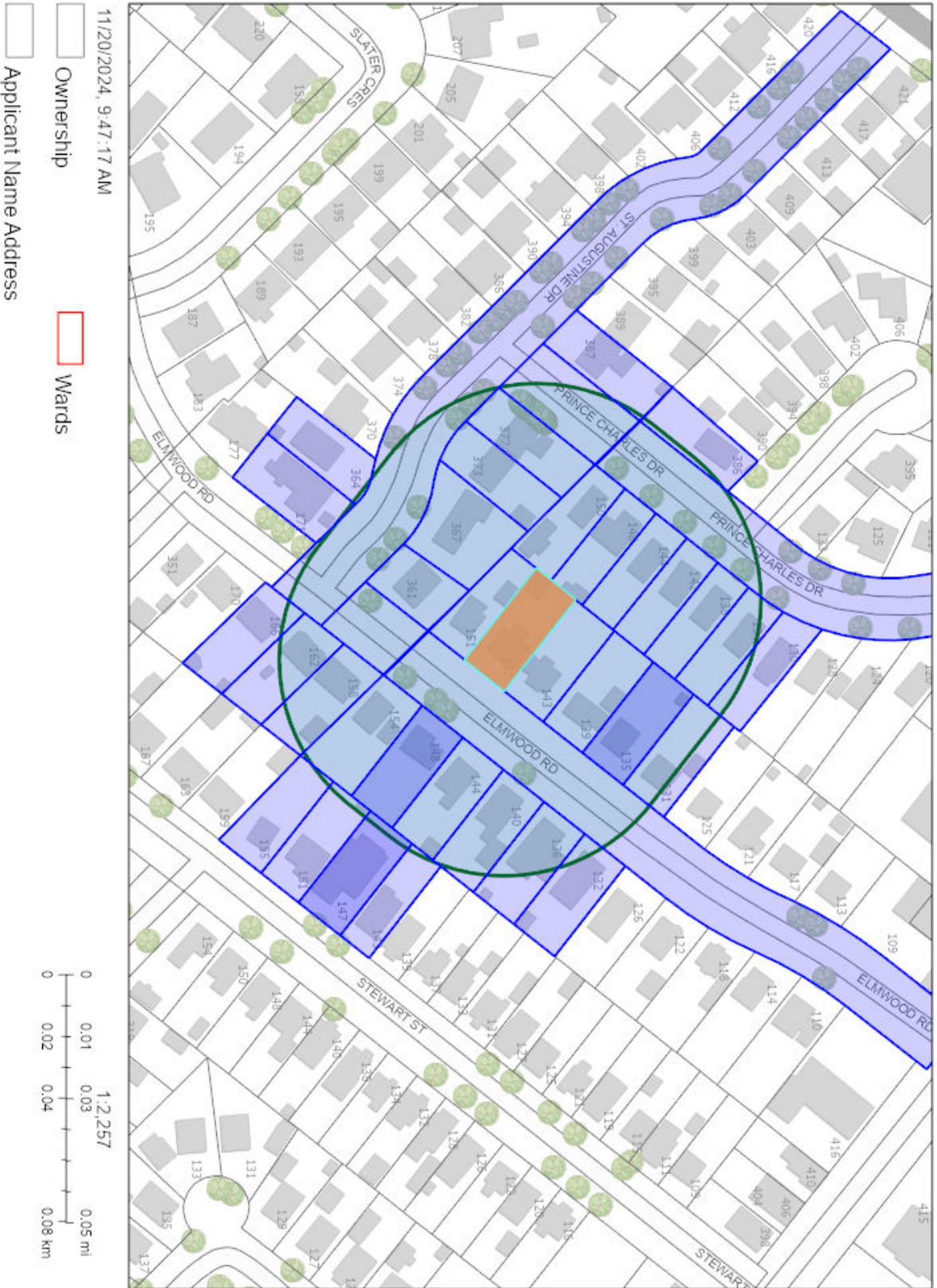
Sharon Coyne  
Assistant Secretary-Treasurer, Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 x. 1829  
[coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

November 22, 2024



CAV A/172/2024 - 147 Elmwood Drive









SITE STATISTICS	PERMITTED	PROPOSED
LOT AREA:	6498.03 FT <sup>2</sup> (603.69 MP)	UNCHANGED
LOT COVERAGE: (ROOFED STRUCTURES)	MAX. 35 % 35 % x 6498.03 FT <sup>2</sup> = 2274.3 FT <sup>2</sup> (211.3 MP)	2036.6 / 6498 = 31.34 % 2036.6 FT <sup>2</sup> (189.209MP)
RESIDENTIAL FLOOR AREA RATIO (GFA / LOT AREA)	MAX. 42 % 42 % x 6498.03 FT <sup>2</sup> = 2729.2 FT <sup>2</sup> (603.69 MP)	3025.51 / 6498.03 FT <sup>2</sup> = 46.56 %
FRONT YARD SETBACK	MIN. 1 M LESS EXISTING BUILDING : 6.1M	6.1 M
REAR YARD SETBACK	MIN. 7.5 M	14.44 M
SIDE SETBACK (WEST)	1.2 M (WITH ATTACHED GARAGE)	2.227 M
SIDE SETBACK (EAST)	1.2 M (WITH ATTACHED GARAGE)	1.2 M
HEIGHT	MAX. 9.0 M ; 2 STOREYS	8.92 M ; 2 STOREYS
LOT FRONTAGE	MIN. 15.0 M	UNCHANGED ; 16.1 M
DRIVEWAY WIDTH	MIN. 3.0 M , MAX. 50% OF LOT FRONTAGE	4.9 M

**RESIDENTIAL FLOOR AREAS:**  
TOTAL: 281.078MP (3025.509 FT<sup>2</sup>)  
GROUND FLOOR : 139.109MP (1497.357 FT<sup>2</sup>)  
SECOND FLOOR : 149.606MP (1610.346 FT<sup>2</sup>)  
STAIRS : 7.636MP (82.193 FT<sup>2</sup>)

**EXCLUDED AREAS:**  
GARAGE : 40.008MP (430.843 FT<sup>2</sup>)  
PORCH : 9.949MP (105.981 FT<sup>2</sup>)  
REAR DECK : 15.608MP (168 FT<sup>2</sup>)  
BASEMENT : 138.729MP (1493.267 FT<sup>2</sup>)

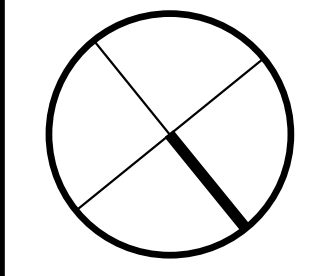
- NOTES:**
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  - ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  - REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  - GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  - MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
  - TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
  - DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1		2024-02-12

**ISSUE RECORD**

 **Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

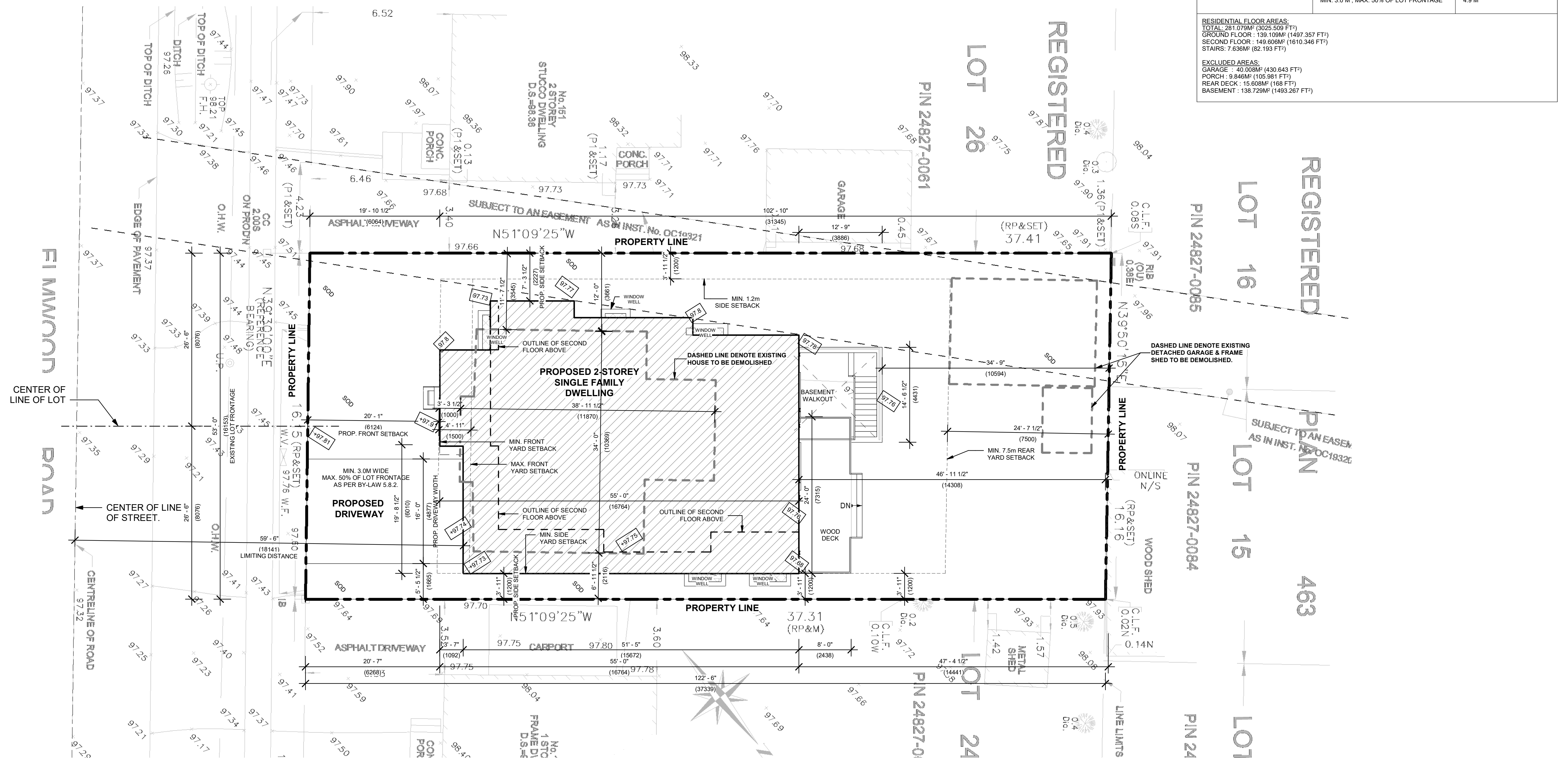


**NEW 2-STOREY DETACHED SINGLE FAMILY DWELLING 147 ELMWOOD ROAD, OAKVILLE L6K 2A6 for**

24003 As indicated. MS ZMD  
PROJECT SCALE DRAWN REVIEWED

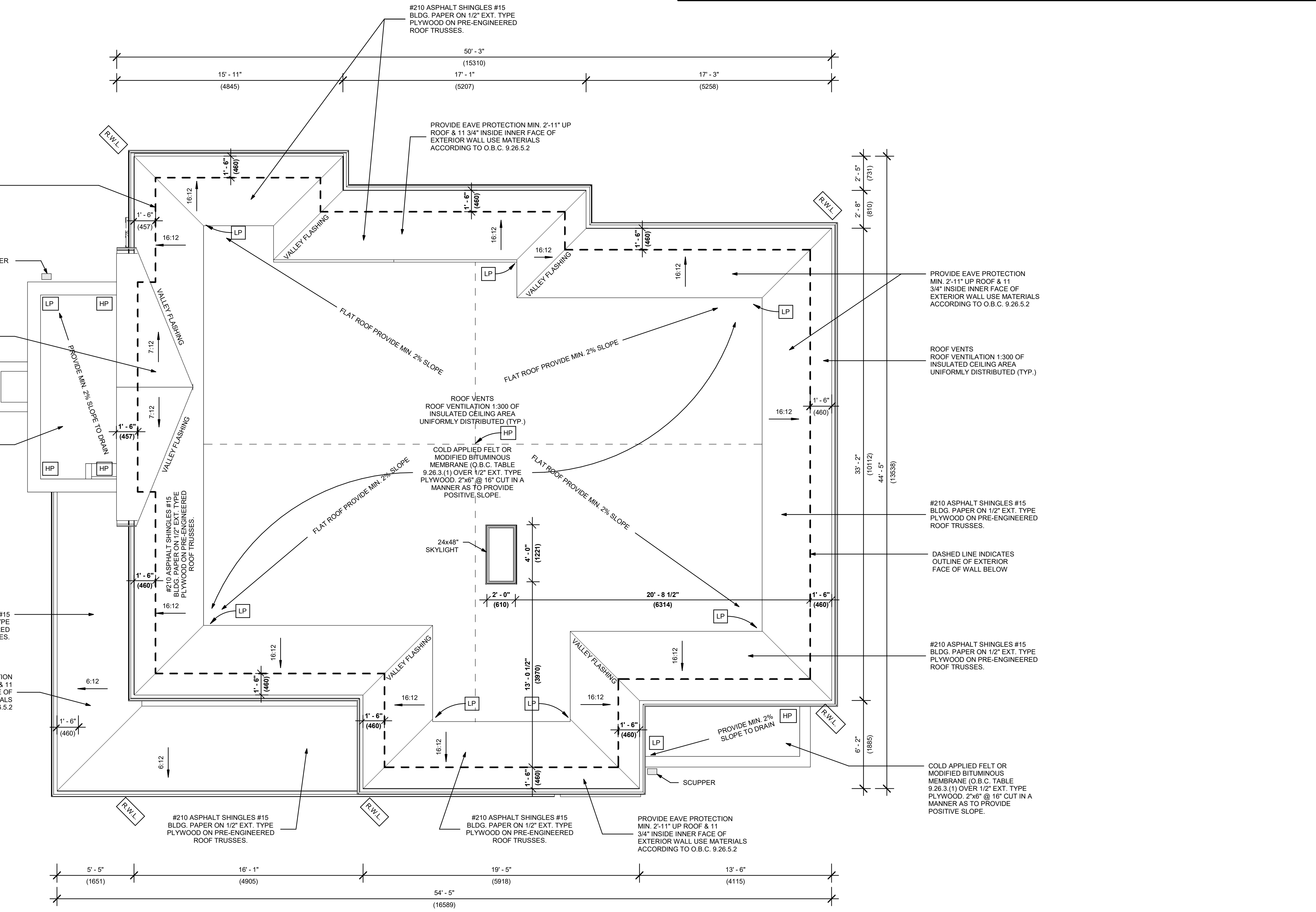
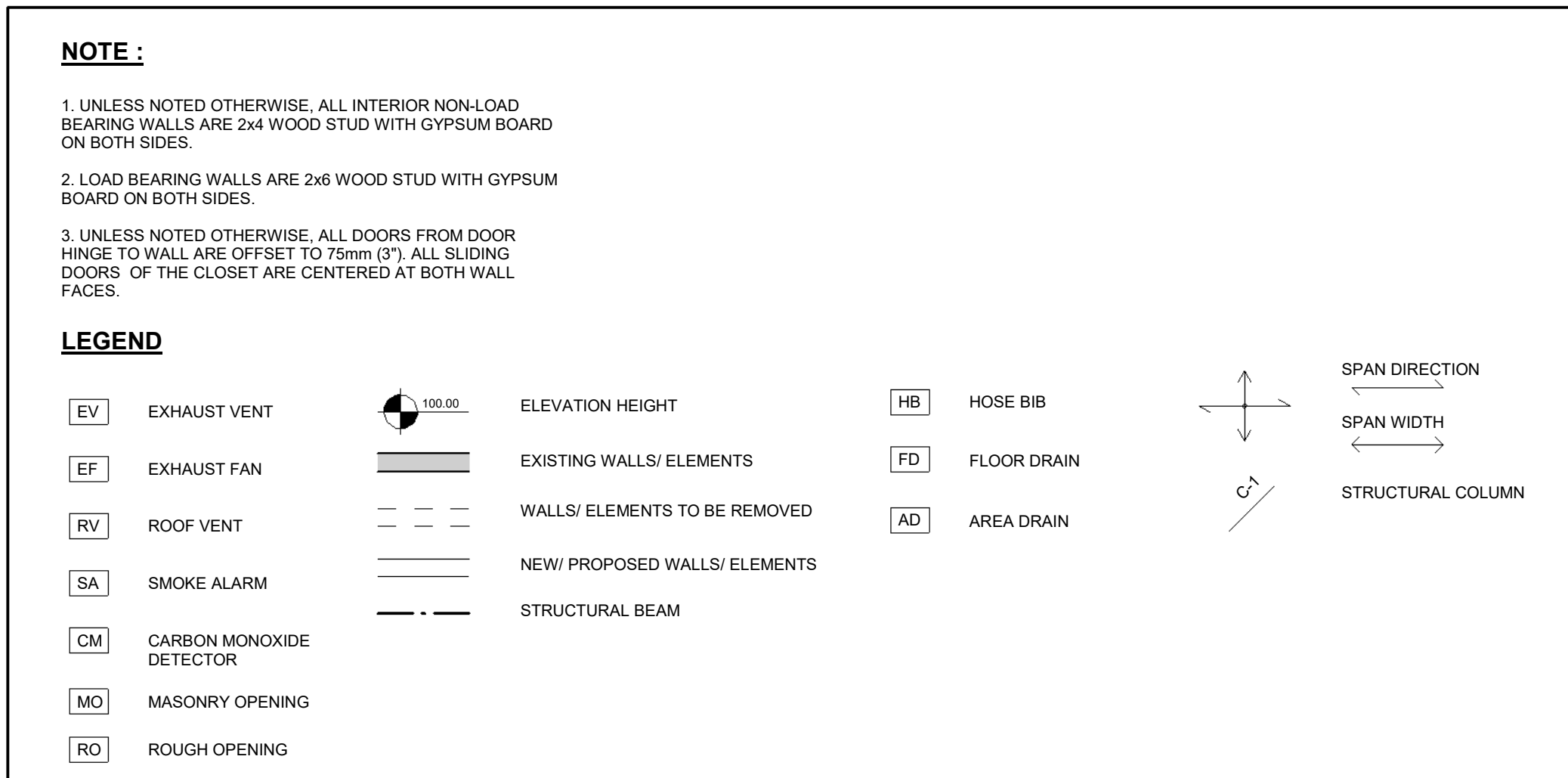
**SITE PLAN**  
**A1.1**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



① A00 SITE PLAN  
1 : 100





DASHED LINE INDICATES OUTLINE OF EXTERIOR FACE OF WALL BELOW

SCUPPER

#210 ASPHALT SHINGLES #15 BLDG. PAPER ON 1/2" EXT. TYPE PLYWOOD ON PRE-ENGINEERED ROOF TRUSSES.

COLD APPLIED FELT OR MODIFIED BITUMINOUS MEMBRANE (O.B.C. TABLE 9.26.3.1) OVER 1/2" EXT. TYPE PLYWOOD, 2"x8" @ 16" CUT IN A MANNER AS TO PROVIDE POSITIVE SLOPE.

#210 ASPHALT SHINGLES #15 BLDG. PAPER ON 1/2" EXT. TYPE PLYWOOD ON PRE-ENGINEERED ROOF TRUSSES.

PROVIDE EAVE PROTECTION MIN. 2'-11" UP ROOF & 11 3/4" INSIDE INNER FACE OF EXTERIOR WALL USE MATERIALS ACCORDING TO O.B.C. 9.26.5.2

PROVIDE EAVE PROTECTION MIN. 2'-11" UP ROOF & 11 3/4" INSIDE INNER FACE OF EXTERIOR WALL USE MATERIALS ACCORDING TO O.B.C. 9.26.5.2

FLAT ROOF PROVIDE MIN. 2% SLOPE

FLAT ROOF PROVIDE MIN. 2% SLOPE

FLAT ROOF PROVIDE MIN. 2% SLOPE

FLAT ROOF PROVIDE MIN. 2% SLOPE

FLAT ROOF PROVIDE MIN. 2% SLOPE

ROOF VENTS ROOF VENTILATION 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED (TYP.)

ROOF VENTS ROOF VENTILATION 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED (TYP.)

ROOF VENTS ROOF VENTILATION 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED (TYP.)

ROOF VENTS ROOF VENTILATION 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED (TYP.)

ROOF VENTS ROOF VENTILATION 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED (TYP.)

PROVIDE EAVE PROTECTION MIN. 2'-11" UP ROOF & 11 3/4" INSIDE INNER FACE OF EXTERIOR WALL USE MATERIALS ACCORDING TO O.B.C. 9.26.5.2

DASHED LINE INDICATES OUTLINE OF EXTERIOR FACE OF WALL BELOW

#210 ASPHALT SHINGLES #15 BLDG. PAPER ON 1/2" EXT. TYPE PLYWOOD ON PRE-ENGINEERED ROOF TRUSSES.

COLD APPLIED FELT OR MODIFIED BITUMINOUS MEMBRANE (O.B.C. TABLE 9.26.3.1) OVER 1/2" EXT. TYPE PLYWOOD, 2"x8" @ 16" CUT IN A MANNER AS TO PROVIDE POSITIVE SLOPE.

PROVIDE EAVE PROTECTION MIN. 2'-11" UP ROOF & 11 3/4" INSIDE INNER FACE OF EXTERIOR WALL USE MATERIALS ACCORDING TO O.B.C. 9.26.5.2

**1** ROOF PLAN  
1 : 50

- NOTES:**
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  - ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  - REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  - GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  - MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
  - TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
  - DO NOT SCALE DRAWINGS.

No.	Description	Date

**ISSUE RECORD**

No.	Description	Date

**Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

**NEW 2-STOREY DETACHED SINGLE FAMILY DWELLING 147 ELMWOOD ROAD, OAKVILLE L6K 2A6**  
for

24003 1 : 50 LMS ZMD  
PROJECT SCALE DRAWN REVIEWED

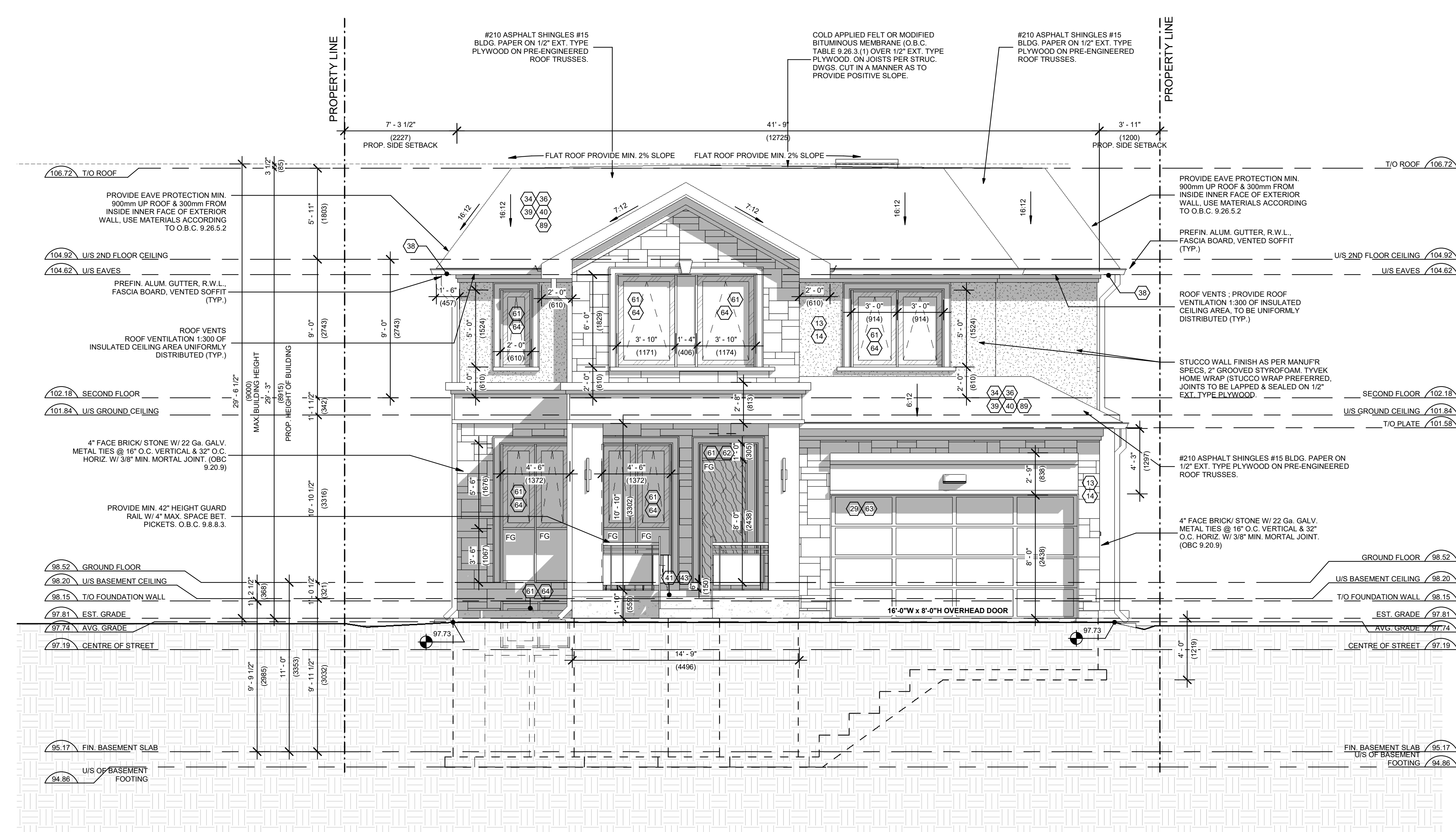
ROOF PLAN  
**A2.4**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ELEVATION OPENING RATIO CHART				
[OBC. 9.10.15.5] CONSTRUCTION OF E.B.F. OF HOUSES				
(a) L.D. $\geq$ 1.2m, CONSTRUCTION OF E.B.F. NO REQUIRED.				
(b) 1.2m > L.D. $\geq$ 0.6m, E.B.F. F.R.R. $\geq$ 45 MIN.				
(c) L.D. < 0.6m, E.B.F. F.R.R. $\geq$ 45 MIN, AND CLAD WITH NONCOMBUSTIBLE MATERIAL.				
[OBC. 9.10.15.4.] MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSE				
WALL	AREA OF E.B.F. (m <sup>2</sup> )	L.D. (m)	MAX. OPENINGS PERMITTED	PROPOSED OPENING AREA
EAST (FRONT)	91.65	18.14*	100%	16.30% (14.94m <sup>2</sup> )
NORTH (SIDE)	107.2	1.2	7%	4% (4.3m <sup>2</sup> )
WEST (REAR)	90.2	14.8	100%	31.6% (28.5m <sup>2</sup> )
SOUTH (SIDE)	108	2.2	8%	3.1% (3.3m <sup>2</sup> )
SKYLIGHT				0.85 m <sup>2</sup>

E.B.F.: EXPOSING BUILDING FACE  
L.D.: LIMITING DISTANCE  
F.R.R.: FIRE-RESISTANCE RATING

\*LIMITING DISTANCE IS MEASURED TO CENTRELINE OF STREET.



1 EAST (FRONT) ELEVATION  
1 : 50

- NOTES:**
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  - ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  - REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  - GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  - MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
  - TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.

7. DO NOT SCALE DRAWINGS.

REVISION RECORD		
No.	Description	Date

**ISSUE RECORD**

No.	Description	Date

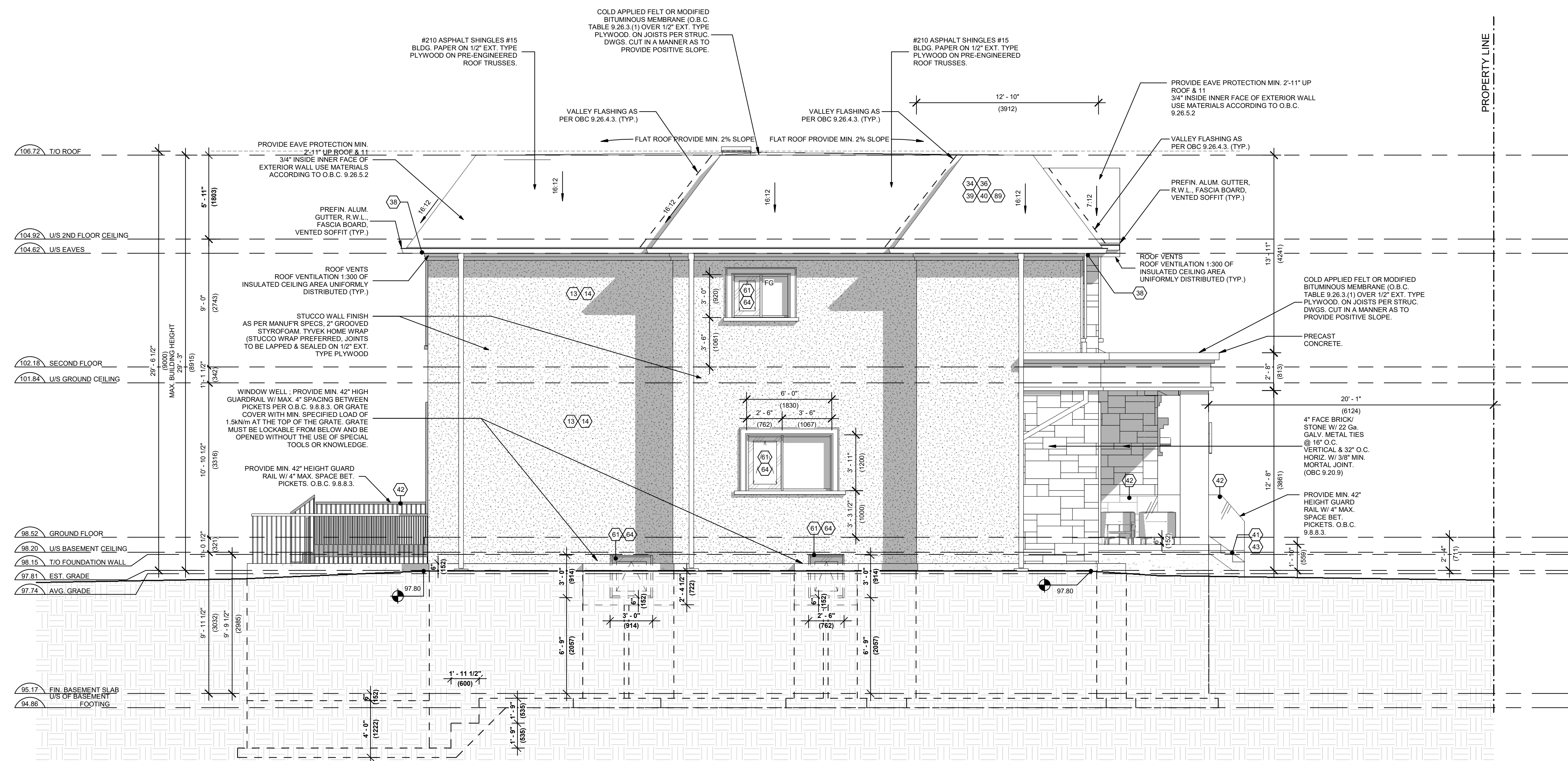
**Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

NEW 2-STOREY DETACHED SINGLE FAMILY DWELLING 147 ELMWOOD ROAD, OAKVILLE L6K 2A6 for

24003 1 : 50 PROJECT SCALE LMS ZMD DRAWN REVIEWED

EAST (FRONT) ELEVATION  
**A3.1**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



1 NORTH (SIDE) ELEVATION  
1:50

**ELEVATION OPENING RATIO CHART**  
[O.B.C. 9.10.15.5] CONSTRUCTION OF E.B.F. OF HOUSES  
(a) L.D. ≤ 1.2m, CONSTRUCTION OF E.B.F. NO REQUIRED.  
(b) 1.2m > L.D. ≥ 0.6m, E.B.F. F.R.R. ≥ 45 MIN.  
(c) L.D. < 0.6m, E.B.F. F.R.R. ≥ 45 MIN, AND CLAD WITH NONCOMBUSTIBLE MATERIAL.

WALL	AREA OF E.B.F. (m <sup>2</sup> )	L.D. (m)	MAX. OPENINGS PERMITTED	PROPOSED OPENING AREA
EAST (FRONT)	91.65	18.14*	100%	16.30% (14.94m <sup>2</sup> )
NORTH (SIDE)	107.2	1.2	7%	4% (4.3m <sup>2</sup> )
WEST (REAR)	90.2	14.8	100%	31.6% (28.5m <sup>2</sup> )
SOUTH (SIDE)	108	2.2	8%	3.1% (3.3m <sup>2</sup> )
SKYLIGHT				0.85 m <sup>2</sup>

E.B.F.: EXPOSING BUILDING FACE  
L.D.: LIMITING DISTANCE  
F.R.R.: FIRE-RESISTANCE RATING

\*LIMITING DISTANCE IS MEASURED TO CENTRELINE OF STREET.

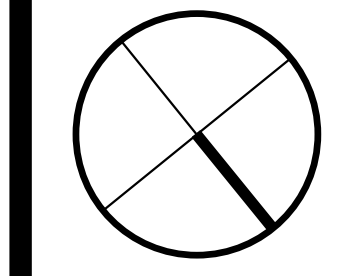
- NOTES:**
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  - ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  - REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  - GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  - MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
  - TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
  - DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date

**ISSUE RECORD**

**Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com



NEW 2-STOREY DETACHED SINGLE FAMILY DWELLING 147 ELMWOOD ROAD, OAKVILLE L6K 2A6 for

24003 1:50 PROJECT SCALE LMS ZMD DRAWN REVIEWED

SOUTH (SIDE) ELEVATION  
**A3.2**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

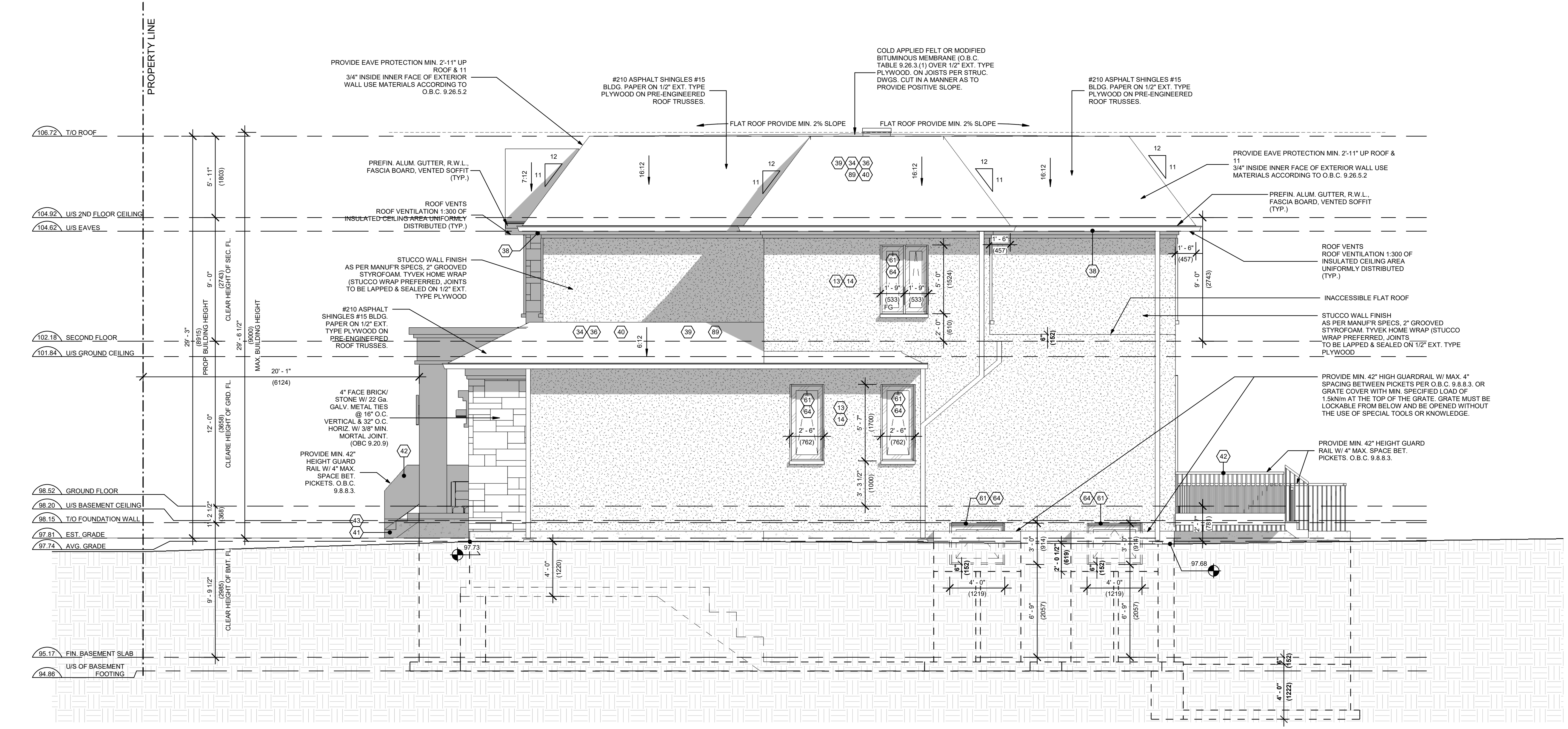




ELEVATION OPENING RATIO CHART				
[O.B.C. 9.10.15.5] CONSTRUCTION OF E.B.F. OF HOUSES (a) L.D. > 1.2m, CONSTRUCTION OF E.B.F. NO REQUIRED. (b) 1.2m > L.D. > 0.6m, E.B.F. F.R.R. > 45 MIN. (c) L.D. < 0.6m, E.B.F. F.R.R. > 45 MIN, AND CLAD WITH NONCOMBUSTIBLE MATERIAL.				
[O.B.C. 9.10.15.4.] MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSE				
WALL	AREA OF E.B.F. (m²)	L.D. (m)	MAX. OPENINGS PERMITTED	PROPOSED OPENING AREA
EAST (FRONT)	91.65	18.14*	100%	16.30% (14.94m²)
NORTH (SIDE)	107.2	1.2	7%	4% (4.3m²)
WEST (REAR)	90.2	14.8	100%	31.6% (28.5m²)
SOUTH (SIDE)	108	2.2	8%	3.1% (3.3m²)
SKYLIGHT				0.85 m²

E.B.F.: EXPOSING BUILDING FACE  
L.D.: LIMITING DISTANCE  
F.R.R.: FIRE-RESISTANCE RATING

\*LIMITING DISTANCE IS MEASURED TO CENTRELINE OF STREET.



1 SOUTH (SIDE) ELEVATION  
1 : 50

- NOTES:**
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  - ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  - REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  - GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  - MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
  - TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.

7. DO NOT SCALE DRAWINGS.

REVISION RECORD		
No.	Description	Date
1		2024-02-12

**ISSUE RECORD**

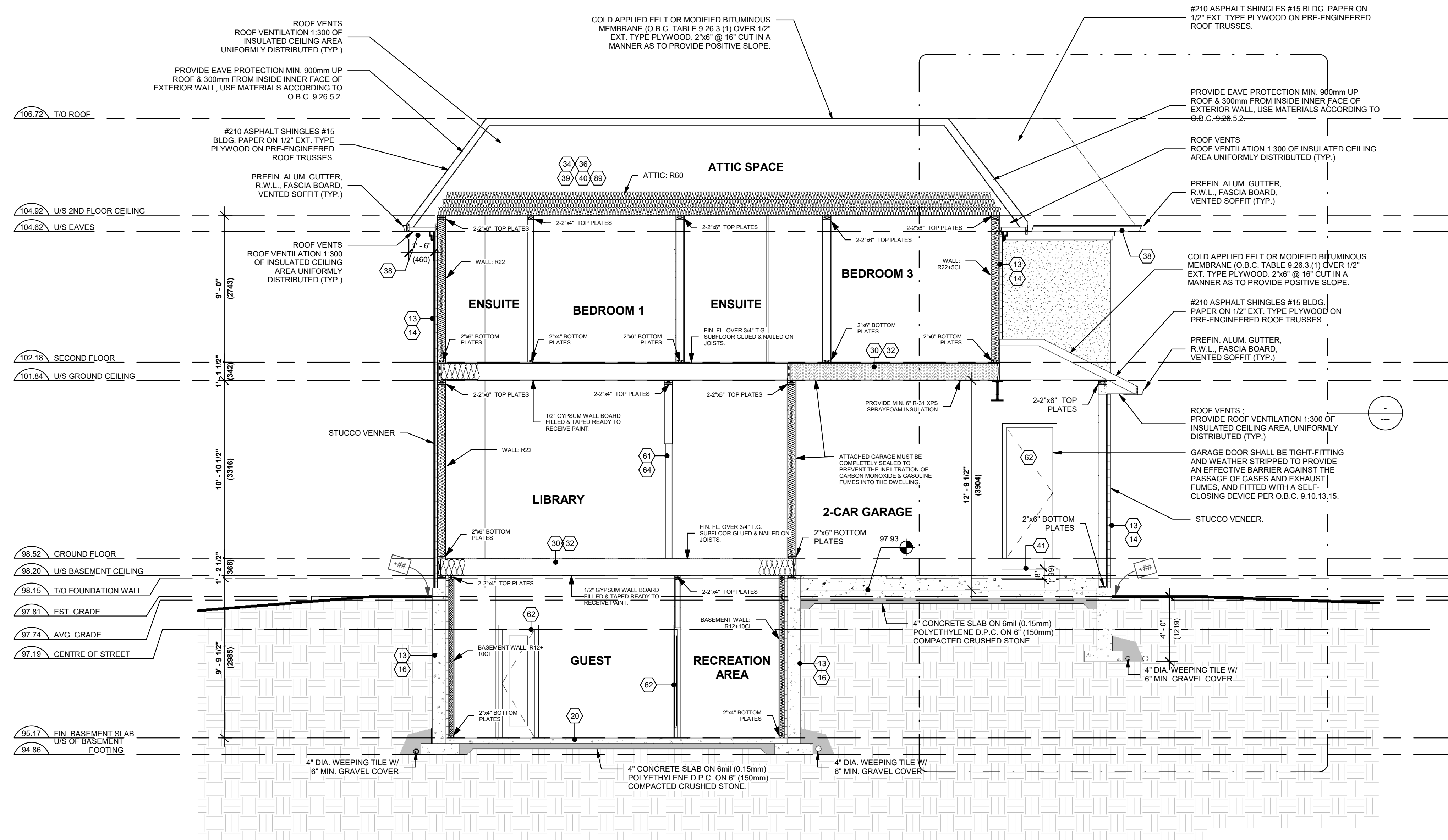

**Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 416 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

**NEW 2-STOUREY DETACHED SINGLE FAMILY DWELLING 147 ELMWOOD ROAD, OAKVILLE L6K 2A6 for**

24003 1 : 50 PROJECT SCALE LMS ZMD DRAWN REVIEWED

NORTH (SIDE) ELEVATION  
**A3.4**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



1 CROSS SECTION A  
1 : 50

**NOTES:**

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date

**ISSUE RECORD**

**Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

NEW 2-STOREY DETACHED  
SINGLE FAMILY DWELLING 147  
ELMWOOD ROAD, OAKVILLE  
L6K 2A6  
for

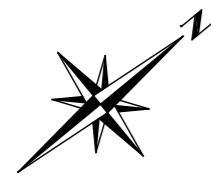
24003 1 : 50 PROJECT SCALE  
LMS LMS LMS  
ZMD ZMD ZMD  
DRAWN REVIEWED

BUILDING SECTION 1

# A4.1

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.





PRINCE CHARLES DRIVE

REGISTERED PLAN 463

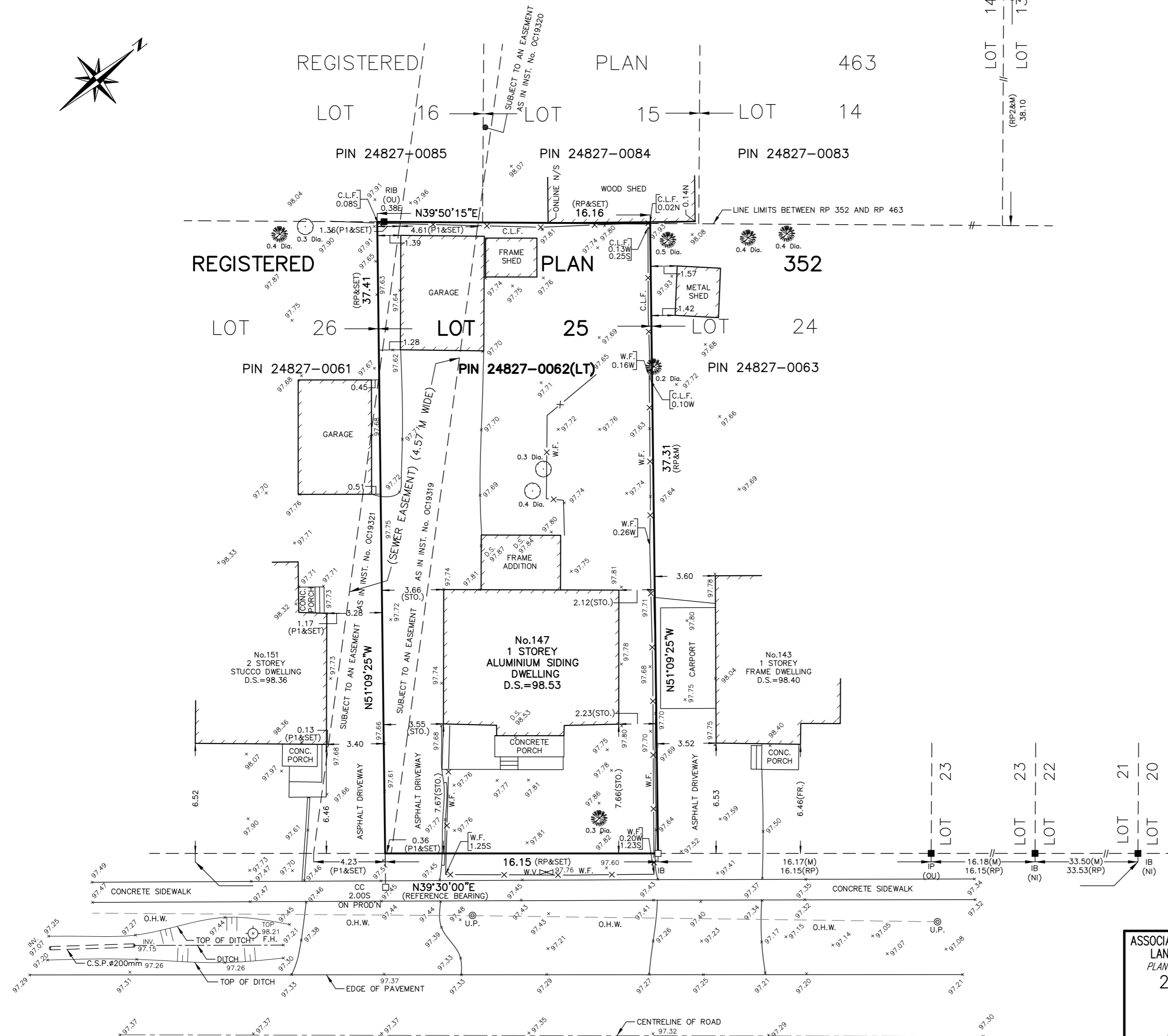
LOT 16 LOT 15 LOT 14

PIN 24827-0085 PIN 24827-0084 PIN 24827-0083

REGISTERED PLAN 352

LOT 26 LOT 25 LOT 24

PIN 24827-0061 PIN 24827-0062(LT) PIN 24827-0063



ELMWOOD ROAD  
(BY REGISTERED PLAN 352)  
PIN 24827-0060

**SURVEYOR'S REAL PROPERTY REPORT**  
PART 1 - PLAN OF SURVEY OF  
**LOT 25**  
**REGISTERED PLAN 352**  
**TOWN OF OAKVILLE**  
**COUNTY OF HALTON**

SCALE 1:200  
10m 5 0 10 METRES

MANDARIN SURVEYORS LIMITED, O.L.S. ©

**METRIC**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**LEGEND**

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- P1 DENOTES PLAN OF SURVEY BY H. C. SEWELL, O.L.S. DATE AUGUST 29, 1952
- RP DENOTES REGISTERED PLAN 352
- RP2 DENOTES REGISTERED PLAN 463
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
- M DENOTES MEASURED
- N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
- W.F. DENOTES WIRE FENCE
- C.L.F. DENOTES CHAIN LINK FENCE
- NI DENOTES NOT IDENTIFIABLE
- OU DENOTES ORIGINAL UNKNOWN
- D.S. DENOTES DOOR SILL ELEVATION AT ENTRY
- O.H.W. DENOTES OVERHEAD WIRE
- STO. DENOTES TIE TAKEN FROM STONE
- FR. DENOTES TIE TAKEN FROM FRAME
- ⊕ F.H. DENOTES FIRE HYDRANT
- ⊙ M.H. DENOTES MANHOLE
- ⊙ U.P. DENOTES UTILITY POLE
- ⊕ W.V. DENOTES WATER VALVE
- C.B. DENOTES CATCH BASIN
- 🌲 DENOTES CONIFEROUS TREE
- 🌳 DENOTES DECIDUOUS TREE

ALL TIES TO CONCRETE FOUNDATION, UNLESS NOTED OTHERWISE.  
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY OF ELMWOOD ROAD AS SHOWN ON REGISTERED PLAN 352 HAVING A BEARING OF N39° 30' 00"E.

**BENCHMARK NOTE**

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK No.97 HAVING AN ELEVATION OF 95.019 M. LOCATED AT NE COR OF DOOR SILL AT No. 357 KERR STREET.

THIS REPORT WAS PREPARED FOR GE JIN AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

**PART 2 (SURVEY REPORT)**

1. REGISTERED EASEMENTS AND/OR RIGHT OF WAYS: SUBJECT TO AN EASEMENT AS IN INST. No. OC19319.
2. ADDITIONAL COMMENTS: NOTE THE LOCATION OF THE FENCES AROUND THE NORTHERLY AND EASTERLY LIMITS OF THE SUBJECT PROPERTY. NOTE THE LOCATION OF THE OVERHEAD WIRE.
3. THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON THE 1st DAY OF FEBRUARY, 2024

FEBRUARY 10, 2024  
DATE

*Z. Zeng*  
Z. ZENG  
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2213064



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

**MANDARIN SURVEYORS LIMITED**  
ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR  
WWW.MANDARINSURVEYORS.COM  
2400 MIDLAND AVE., #121 PHONE: (647)430-1366  
SCARBOROUGH, ONTARIO, M1S 5C1 E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: J.G. DRAWN BY: E.N. CAD No: 24-018RPPR JOB No: 2024-018

# General Provisions

None Proposed

## 4.1 Accessory Dwelling Units (2023-024)

4.1.1 *Accessory dwelling units* are permitted in the following *buildings*:

- a) *Detached dwelling*;
- b) *Semi-detached dwelling*;
- c) *Linked dwelling*;
- d) *Townhouse dwelling*;
- e) *Accessory building* associated to a *detached dwelling*, *semi-detached dwelling*, *linked dwelling*, or *townhouse dwelling*.

4.1.2 The following regulations apply to *accessory dwelling units*:

- a) A maximum of two *accessory dwelling units* in the *main building*; or,
- b) A maximum of one *accessory dwelling unit* in the *main building* and one *accessory dwelling unit* in an *accessory building*.

## 4.2 Accessory Uses

Where this By-law provides that land may be *used* or a *building* or *structure* may be erected and *used* for a permitted *use*, that *use* shall include any *accessory use* as long as the *accessory use* is located within the same *premises*.

# General Provisions

## 4.3 Allowable Encroachments and Projections (2016-023)

(2017-025) (2021-068)

Unless otherwise permitted by this By-law, all *minimum yards* shall be unobstructed except for the allowable encroachments and projections in Table 4.3, below:

<b>Table 4.3: Allowable Building and Structure Encroachments and Projections</b>			
<b>Structure or Feature</b>	<b>Applicable Yards</b>	<b>Maximum Encroachment into a Minimum Yard</b>	<b>Maximum Total Projection beyond the main wall</b>
Access stairs associated or not associated with a porch or uncovered platform (2016-023)	All	Up to 0.6 m from the applicable lot line	n/a
Air conditioners, heat pumps, swimming pool pumps, filters, heaters, and generators including any appurtenances thereto (2017-025) (2023-024)	Flankage, interior side, and rear	Up to 0.6 m from the applicable lot line (2)	n/a
Awnings, canopies, cornices, coves, belt courses, eaves, gutters, pilasters, sills, or weather-shielding structure	All	0.6 m	n/a
Balconies	Front and rear (-0)	n/a	1.5 m
Non-walk in bay, box out and bow windows, without foundations, with a maximum width of 3.0 metres and a maximum height of one storey	All	0.6 m	n/a
Chimneys and gas fireplace projections and chases with a maximum width of 1.8 metres	All	0.6 m	n/a
Window wells with a maximum width of 1.8 metres (2021-068)	All	0.6 m	n/a
Fire escapes	Rear and interior side	1.5 m	n/a
Industrial or mechanical equipment in the E2 and E3 Zones (2017-025) (2021-068)	Rear and interior side	Equal to the minimum yard requirements	n/a
Landscaping features (i.e., ornamental and garden walls, planters, etc.) (2017-025)	All	Up to 0.6 m from the applicable lot line	n/a
Porches with or without a foundation and including access stairs in the Residential Low RL6 Zone	Front and flankage	Up to 1.5 m from the front or flankage lot line	n/a
Porches with or without a foundation and including access stairs in the Residential Uptown Core RUC Zone	Front and flankage	2.0 m	n/a
<ul style="list-style-type: none"> <li>• Porches with a foundation</li> <li>• Porches without a foundation in all other zones</li> </ul>	n/a	Shall be subject to the regulations of the parent zone	

In Table 4.3, “n/a” means that the identified measurement is not applicable to the structure or feature identified.



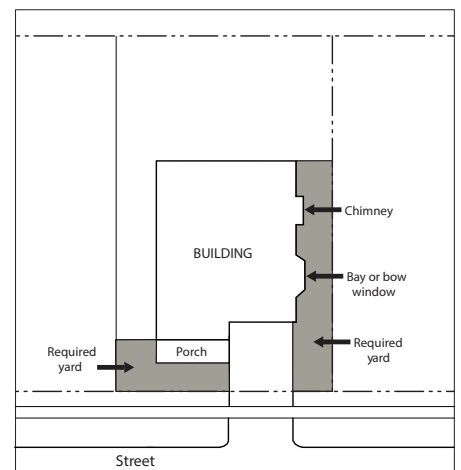
# General Provisions

<b>Table 4.3: Allowable Building and Structure Encroachments and Projections</b>			
<b>Structure or Feature</b>	<b>Applicable Yards</b>	<b>Maximum Encroachment into a Minimum Yard</b>	<b>Maximum Total Projection beyond the main wall</b>
<i>Uncovered platform</i> attached to a pool structure (2017-025) (2021-068)	<i>Rear and interior side</i>	Up to 0.91 m from the <i>interior side</i> , or <i>rear lot line</i>	n/a
	<i>Flankage</i>	Up to 2.0 m from <i>flankage lot line</i>	n/a
<i>Uncovered platforms</i> having a floor height of less than 0.6 metres measured from <i>grade</i> (2016-023)	All	Up to 0.6 m from any <i>lot line</i> (1)	n/a
<i>Uncovered platforms</i> having a floor height equal to or greater than 0.6 metres measured from <i>grade</i> (2016-023)	<i>Front and Rear</i>	1.5 m (1)	n/a
<i>Uncovered platforms</i> having a floor height less than or equal to 3.0 metres measured from <i>grade</i> , with or without a foundation, and including access stairs in the Residential Low RL6 Zone (2015-018) (2021-068) (2023-024)	<i>Rear</i>	Up to 3.0 m from the <i>rear lot line</i>	n/a
Uncovered access stairs below grade (2021-068)	<i>Rear</i>	1.5 m	n/a
	<i>Flankage and interior side</i>	0.0 m	1.5 m
Unenclosed barrier-free ramps (2015-018)	All	Up to 0.0 m from the <i>lot line</i>	n/a

In Table 4.3, “n/a” means that the identified measurement is not applicable to the structure or feature identified.

### Additional Regulations to Allowable Projections Table 4.3

- 0. Where lands are shown on the Zoning Maps of this By-law to be in the -0 Suffix Zone, the additional regulations of Section 6.4 shall apply to the applicable allowable projections.
- 1. Provided that the *uncovered platform* is set back:
  - a) A minimum of 0.6 metres from the *interior side lot line*, except for *semi-detached, back-to-back townhouse, and townhouse dwellings* in which case it may be 0.0 metres from an *interior side lot line* that is also the location of the common wall; and,
  - b) A minimum of 2.0 metres from the *front and flankage lot lines*.
- 2. Where such equipment is installed at or above *grade*, the maximum height shall be 2.0 m measured from *grade* to the top of the air conditioner, heat pump, swimming pool pump, filter or heater. (2017-025)



Some architectural and building design features are permitted to project into minimum yards

---

# General Provisions

## 4.4 Bed and Breakfast Establishment

Where a *bed and breakfast establishment* is permitted, the following regulations apply:

- a) A *bed and breakfast establishment* is only permitted within a *detached dwelling*.
- b) A *bed and breakfast establishment* shall have a maximum of three *lodging units* which shall in total not exceed a maximum of 30% of the *residential floor area* of the *detached dwelling*. For the purposes of this subsection, *residential floor area* shall include all area within a *basement*.
- c) A *bed and breakfast* shall be operated by the person or persons whose principal residence is the *detached dwelling* in which the *bed and breakfast establishment* is located.

*Bed and breakfast establishments require a Town of Oakville Business Licence. Contact the Clerks Department for more information.*

## 4.5 Detached Dwellings on a Lot

Unless otherwise specified by this By-law, no more than one *detached dwelling* is permitted on a *lot*.

## 4.6 Exceptions to Height Provisions

Unless otherwise required by this By-law, the following exceptions to the *height* and *storey* provisions of this By-law apply.

### 4.6.1 Measurement of Height

- a) The applicable *buildings, structures*, and features regulated by Section 4.6 of the By-law shall be measured from the top of the roof on which the applicable feature is directly situated. (2015-079)
- b) The applicable *buildings, structures*, and features regulated by Section 4.6 of the By-law shall not be subject to the minimum and maximum *height* and minimum and maximum number of *storeys* requirements of the applicable *zone*. (2015-079)

# General Provisions

## 4.6.2 Buildings and Structures

The *height* provisions of this By-law shall not apply to:  
(2021-068)

- a) Ornamental architectural features such as, but not limited to, finials, and weather vanes; (2023-024)
- b) *Buildings* primarily used for garbage containment;
- c) *Buildings and structures* used for agriculture;
- d) *Buildings and structures* associated with an *emergency services facility*;
- e) *Buildings and structures* associated with a *public works yard*;
- f) Chimneys;
- g) Flag poles;
- h) Light standards;
- i) Lightning rods;
- j) Monuments;
- k) Towers occupiable for access only in all *zones* except any Residential Zone such as clock towers and steeples; and, (2016-013)
- l) Water towers or tanks.

*The features provided in subsections 4.6.2 to 4.6.5 are not subject to maximum height standards provided the feature complies with the regulations provided. Contact staff in the zoning section of the Building Services department for more information.*

## 4.6.3 Parapets (PL140317) (2021-068)

The *height* provisions of this By-law shall not apply to a *parapet* provided that the *parapet* does not project:

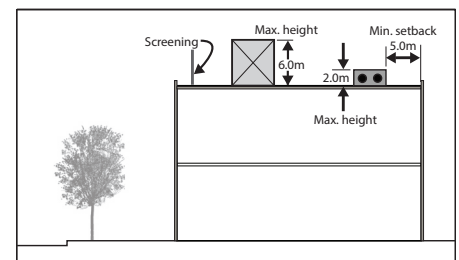
- a) 0.3 metres above the maximum *height* for any RL, RM1, RM2 or RM3 *zone*; or
- b) 2.0 metres above the maximum *height* for all other *zones*.

## 4.6.4 Rooftop Mechanical Equipment, Mechanical Penthouse and Solar Panels

(2017-025) (2021-068) (2023-024)

The *height* and *storey* provisions of this By-law shall not apply to rooftop mechanical equipment, *mechanical penthouse* and solar panels provided that (2023-024)

- a) A *mechanical penthouse*, including any appurtenances thereto, not exceed 6.0 metres above the maximum *height*.
- b) Rooftop mechanical equipment, including any appurtenances thereto, not exceed 2.0 metres above the maximum *height*.
- c) Rooftop solar panels, including any appurtenances thereto, not exceed 2.0 metres above the maximum *height*. (2023-024)



*The size, location, and design of rooftop mechanical equipment is one of several issues that shall be reviewed at the Site Plan Approval stage.*

## 4.6.5 Skylights and Cupolas (2017-025) (2021-068)

The *height* provisions of this By-law shall not apply to skylights and cupolas provided that:

- a) A skylight shall not exceed 0.6 metres above the maximum *height*;
- b) The maximum dimensions of the roof opening for the skylight shall be 2.4 metres in length and 2.4 metres in width;
- c) The maximum surface area of the roof permitted to be occupied by skylights is 5%; and,



## General Provisions

- d) The maximum dimensions of a cupola shall be 1.5 m in length, 1.5 m in width, and 1.5 m in height measured from the ridge of the roof where it is affixed. (2017-025)

### 4.7 Garbage Containers

- a) Garbage containment shall be located within a *building* or fully enclosed *structure* in the following *zones* or where the following *uses* are being undertaken:
- i) Any Mixed Use *Zone*;
  - ii) Office Employment (E1) *Zone*;
  - iii) *Apartment dwellings*;
  - iv) *Back-to-back townhouse dwellings* in a Plan of Condominium only; and,
  - v) *Stacked townhouse dwellings*.
- b) Garbage containment shall be located within a *building*, fully enclosed *structure*, or *garbage enclosure* in the following *zones* or where the following *uses* are being undertaken:
- i) Any Commercial *Zone*;
  - ii) Any Employment *Zone* not listed in subsection (a) above;
  - iii) Any Institutional (I) and Community Use (CU) *Zone*;
  - iv) Any Private Open Space (O2) *Zone*; and,
  - v) Where garbage containment is associated with any other *dwelling* not listed in subsection (a) above located in a Plan of Condominium.
- c) A fully enclosed *structure* primarily used for garbage containment or a *garbage enclosure* shall not be located: (2023-024)
- i) In a *front yard*;
  - ii) Between the *main wall* closest to the *flankage lot line* and the *flankage lot line* in a *flankage yard*;
  - iii) In any *minimum yard* abutting a Residential *Zone*; and,
  - iv) Within any *landscaping coverage* or width of *landscaping* required by this By-law.
- d) Notwithstanding subsections (a), (b), and (c) above, a garbage container temporarily provided for any construction, demolition, or site alteration works is permitted anywhere on a *lot*. (2015-018)
- e) Requirements for garbage containment within a *building* shall not apply to prevent temporary storage for the purposes of scheduled pickup and removal. (2015-079)

*A “building” can be the main building or an accessory building. A fully enclosed structure requires complete sides and a cap to meet the requirements of this By-law. The only openings should be lids or flaps allowing garbage to pass through.*

## General Provisions

### 4.8 Highway Corridor Setback

Notwithstanding any other provision of this By-law, all *buildings* and *structures* and the following features shall be setback a minimum of 14.0 metres from the *lot line* abutting the boundary of the *highway corridor*:

- a) Any minimum *parking space*, including a *barrier-free parking space*, *bicycle parking space*, or *stacking space*;
- b) Any *loading space*;
- c) Any *aisle* leading to any of the features listed in subsections (a) and (b) above; and,
- d) *Stormwater management facility*.

*A map showing the approximate limits of the highway corridor is attached as Appendix B to this By-law. Contact Building Services or the Corridor Management Section of Ontario's Ministry of Transportation to confirm if your property is adjacent to the highway corridor.*

# General Provisions

## 4.9 Home Occupations

Where a *home occupation* is permitted, the following regulations apply:

- a) A *home occupation* shall be conducted entirely within the *dwelling*.
- b) A *home occupation* shall be operated by the person or persons whose principal residence is the *dwelling* in which the *home occupation* is located.
- c) A *home occupation* shall have no one other than a resident of the *dwelling* engaged in the *home occupation*.
- d) A *home occupation* shall occupy a maximum of 25% of the *residential floor area* of the *dwelling*, up to a maximum of 50.0 square metres. For the purposes of this subsection, *residential floor area* shall include all area within a *basement*.
- e) *Outside storage* and *outside display and sales areas* are not permitted.
- f) Advertising or signs are not permitted to be displayed on the *lot*.
- g) Only the following *uses* are permitted to be undertaken:
  - i) *Art gallery*;
  - ii) *Business office*;
  - iii) *Commercial school*, however music instruction shall only be permitted in a detached dwelling;
  - iv) *Medical office*; and,
  - v) *Service commercial establishment*.

*Some uses permitted as a home occupation may require a Town of Oakville Business Licence, or a safety inspection by Halton Region. Contact Municipal Enforcement Services for more information.*

## 4.10 Infrastructure

- a) *Infrastructure* shall be permitted in all *zones*, except for the Natural Area N, Greenbelt GB, and Parkway Belt Public Use PB1 *Zones* where *infrastructure* is permitted only if it is a lateral connection providing service to a *lot* or if it is located within one of:
  - i) An existing corridor containing *infrastructure*;
  - ii) A *public road*; or,
  - iii) A future *public road* or corridor for which an Environmental Assessment has been completed or a Planning Act approval has been received.
- b) Any *building* or *structure* used for the purpose of providing or sheltering *infrastructure* shall be exempt from the regulations of the *zone* within which it is located, except for the provisions of Section 8.4 of this By-law.



# General Provisions

## 4.11 Landscaping

### 4.11.1 General Landscaping Provisions (2021-068)

- a) To qualify for any minimum *landscaping coverage* or minimum width of *landscaping* requirement of this By-law, an individual area of *landscaping* provided on a *lot* shall contain an area with minimum dimensions of 3.0 metres by 3.0 metres and may include additional area of lesser dimensions provided the additional area is contiguous to the 3.0 metres by 3.0 metres area. (PL140317)
- b) Notwithstanding subsection (a) above, where two widths of *landscaping* are required abutting each other, the minimum width of *landscaping* required may be reduced by up to 1.0 metre.
- c) *Landscaping* required by Section 4.11.2 of this By-law shall count toward any minimum *landscaping coverage* requirement of this By-law.
- d) A *driveway*, *aisle*, or walkway may cross required *landscaping*, but the area that is crossed by the *driveway*, *aisle*, or walkway shall not count towards the calculation of required *landscaping coverage*.
- e) *Landscaping* provided on the roof of a *building* shall be included in the calculation of required *landscaping coverage* on the *lot*, provided it meets the requirements of subsection (a) above.
- f) Where a conflict exists between two different *landscaping* requirements in this By-law (except for any requirement specified in Part 15 of this By-law), the provision requiring the greater amount of *landscaping* shall apply.

*Subsection (d) provides some flexibility to permit walkways within a width of landscaping. Orientation, layout, and width shall be reviewed at the Site Plan Approval stage.*

# General Provisions

## 4.11.2 Required Widths of Landscaping (PL140317)

A continuous area of *landscaping* parallel to and following the entire specified *lot line* or the edge of the identified feature shall be required as provided in Table 4.11.2, below:

<b>Table 4.11.2: Required Widths of Landscaping by Zone (PL140317)</b>			
<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>
<b>A</b>	<b>Zone, Use, Lot or Feature</b>	<b>Along any Lot Line Abutting or Along the Edge of the Feature Abutting</b>	<b>Minimum Width</b>
<b>Landscaping by Zone and Use</b>			
1	<ul style="list-style-type: none"> <li>Residential Medium (RM4) Zone</li> <li>Residential High (RH) Zone</li> </ul>	<ul style="list-style-type: none"> <li>Any Residential Low Zone</li> <li>Residential Medium (RM1), (RM2), and (RM3) Zones</li> </ul>	3.0 m
2	<ul style="list-style-type: none"> <li>Central Business District CBD Zone</li> <li>Main Street 1 (MU1) Zone</li> <li>Main Street 2 (MU2) Zone</li> </ul>	<ul style="list-style-type: none"> <li>Any Residential Zone</li> <li>Institutional (I) Zone</li> <li>Community Use (CU) Zone</li> </ul>	3.0 m
3	<ul style="list-style-type: none"> <li>Urban Centre (MU3) Zone</li> <li>Urban Core (MU4) Zone</li> </ul>	<ul style="list-style-type: none"> <li>Any Residential Zone</li> <li>Institutional (I) Zone</li> <li>Community Use (CU) Zone</li> </ul>	7.5 m
4	<ul style="list-style-type: none"> <li>Any Commercial Zone</li> <li>Any Employment Zone</li> </ul>	Any road	3.0 m (1)
5	<ul style="list-style-type: none"> <li>Any Commercial Zone</li> <li>Any Employment Zone</li> </ul>	<ul style="list-style-type: none"> <li>Any Residential Zone</li> <li>Community Use (CU) Zone</li> <li>Any residential use in an Institutional (I) Zone</li> <li>Any residential use in any Mixed Use (MU) Zone</li> </ul>	7.5 m
6	<ul style="list-style-type: none"> <li>Any Commercial Zone</li> <li>Any Employment Zone</li> </ul>	Institutional (I) Zone, excluding any residential use	3.0 m
7	<p>Notwithstanding rows 5 and 6 of Table 4.11.2, any Employment Zone with the following use(s): (2021-068)</p> <ul style="list-style-type: none"> <li>Bulk storage facility</li> <li>Outside Processing</li> <li>Outside Storage</li> <li>Waste processing station</li> <li>Waste transfer station</li> <li>Motor vehicle storage compound</li> <li>Heavy vehicle parking area</li> <li>Transportation terminal</li> </ul>	Any interior side lot line and rear lot line of any use in any Zone, with the exception of those Employment Zone uses listed in column 2 of row 7 and railway corridors	7.5 m
8	<ul style="list-style-type: none"> <li>Institutional (I) Zone</li> <li>Community Use (CU) Zone</li> </ul>	Any lot line	3.0 m

# General Provisions

1	2	3	4
A	Zone, Use, Lot or Feature	Along any Lot Line Abutting or Along the Edge of the Feature Abutting	Minimum Width
<b>Surface Parking Areas</b>			
9	Any surface parking area	Any road	3.0 m
10	Any surface parking area, except within an Employment Zone	Any interior side lot line or rear lot line	3.0 m
11	Any surface parking area within an Employment Zone	Any interior side lot line	3.0 m
12	Any surface parking area	Any lot with a residential use	4.5 m
<b>Yards Abutting Identified Corridors</b>			
13	Any yard on a lot	Any railway corridor, excluding railway spur lines	4.5 m

## Additional Regulations for Required Widths of Landscaping

### Table 4.11.2

1. In the Neighbourhood Commercial (C1) Zone, the width of landscaping shall only be required where the building is set back a minimum of 3.0 metres from the street.

### 4.11.3 Motor Vehicle Dealership Displays

(PL140317)

Notwithstanding Table 4.11.2, on a lot used as a motor vehicle dealership or motor vehicle rental facility, a maximum of two hardscaped surfaces are permitted in place of a required width of landscaping, provided that:

- a) The maximum area of an individual hardscaped display surface shall be 21.0 square metres;
- b) The maximum height of an individual hardscaped surface and all inventory located on the hardscaped surface shall be 6.75 metres, measured from grade; and,
- c) The maximum height of an individual hardscaped surface and all inventory located on the hardscaped surface where the hardscaped display surface is located within 2.0 metres of a driveway shall be 1.0 metre, measured from grade.

## 4.12 Legal Non-Conformity

### 4.12.1 Legal Existing Buildings and Structures

(deleted by OMB, PL140317)

### 4.12.2 Legal Existing Lots

A lot in existence prior to the effective date of this By-law that does not meet the minimum lot area or lot frontage requirements of the applicable zone is permitted to be used and buildings and structures thereon be erected, enlarged, repaired, or renovated provided the use conforms with the By-law and the buildings and structures comply with all other provisions of the By-law.

*If a lot or feature is undersized, a landowner can bring a lot closer to compliance (i.e. add more land to the lot, add more parking spaces) and still take advantage of these non-conformity clauses. Contact a zoning officer in Building Services for more information.*



## General Provisions

### 4.12.3 Legal Existing Uses

Nothing in this By-law applies to prevent the *use* of any land, *building*, or *structure* for any purpose prohibited by this By-law if such land, *building*, or *structure* was lawfully *used* for such purpose on the day of the passing of the By-law, provided it continues to be *used* for that purpose.

### 4.12.4 Acquisition by a Public Authority

- a) No existing *lot*, *building* or *structure* shall be deemed to have come into contravention with any regulations or provisions of this By-law by reason that any part or parts of the *lot* has or have been conveyed to or acquired by any *public authority*.

This provision shall not apply where the conveyance of any part or parts of the *lot* to any *public authority* is required as a condition of an approval required for the creation of a *lot*, or where the construction of a new *building* or *structure* or addition to a *building* would further increase the extent or degree of non-conformity.

- b) Where subsection (a) above applies and a new *building* or *structure* is proposed:
- i) *Lot area*, *lot depth*, *lot frontage*, and *lot coverage* shall be calculated using the original lands conveyed to or acquired by the *public authority*; and,
  - ii) All other regulations shall be calculated using the remaining lands not conveyed to or acquired by the *public authority*.

### 4.13 Lot Frontage Requirements

No person shall erect any *building* or *structure* or use any *building*, *structure*, or *lot* unless the *lot* meets one or more of the following requirements:

- a) The *lot* has *frontage* on a *public road* which is assumed by By-law by a *public authority*;
- b) The *lot* will have *frontage* on a future *public road* that is currently being constructed pursuant to a Subdivision Agreement or other Development Agreement with a *public authority*;
- c) The *lot* is legally tied to a *common element condominium* having *frontage* on a *condominium common element roadway* which provides direct access to a *public road* or which connects with another *condominium common element roadway* having access a *public road*;
- d) The *lot* will be legally tied to a *common element condominium* having *frontage* on a future *condominium common element roadway* that is currently being constructed pursuant to a *Condominium Agreement* or other Development Agreement with a *public authority* which provides direct access to a *public road* or which connects with another *condominium common element roadway* having access a *public road*; or,
- e) For a *lot* that legally existed on the effective date of this By-law, the *lot* has access to a *private road* that legally existed on the effective date of this By-law.
- f) Notwithstanding subsection (a) above, a *lot* used for a *stormwater management facility* or *major transit station* is not required to have *frontage* on a *public road*. (2017-025)

*Should the Town, Region, or Province require land as part of a road widening or approval, this clause would be relied upon to ensure the affected lot remains compliant with the Zoning By-law. All regulations of this By-law are covered by this Section including yards, parking, and landscaping.*

*Staff would review planning applications to ensure known future land acquisitions are accounted for in the review stage. Contact a planner in the Planning Services department for more information.*

# General Provisions

## 4.14 Municipal Services Required

- On lands subject to this By-law south of Dundas Street, no *building* may be erected or enlarged unless the land is serviced by municipal water and sewage systems.
- On lands subject to this By-law north of Highway 407, no *building* may be erected or enlarged unless the requirements for service connections defined by the Ontario *Building Code* have been granted.

## 4.15 0.3 m Reserves

- For the purposes of this By-law, a 0.3 m reserve shall be considered to be part of the abutting *road*.
- Notwithstanding subsection (a) above, a 0.3 m reserve shall be considered to be part of the *lot* for all lands on Map 19(22a).

## 4.16 Outdoor Swimming Pools and Hot Tubs

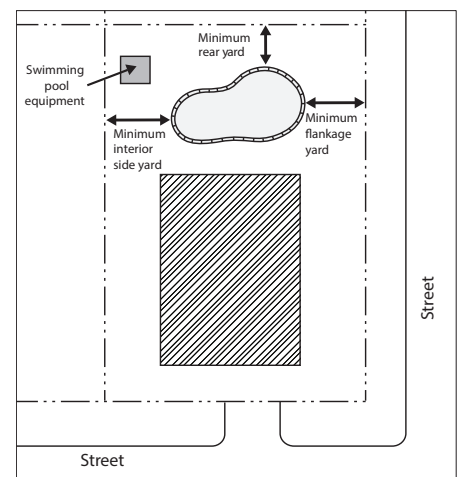
### 4.16.1 Residential Uses

Where an outdoor swimming pool or hot tub is provided *accessory* to a residential *use*, the following regulations apply:

- If located in the *rear yard* or *interior side yard*, the swimming pool or hot tub shall be set back 1.5 metres from the applicable *lot line*.
- In the case of a *corner lot*, the swimming pool or hot tub shall be set back 3.5 metres from the *flankage lot line*.
- The swimming pool or hot tub shall not be located in a *front yard*.
- The maximum *height* of a swimming pool or hot tub shall be 1.5 metres above *grade*.
- Notwithstanding subsection d) above, the maximum *height* shall not apply to a swimming pool or hot tub that is located on a *rooftop terrace* of an *apartment dwelling*. (2021-068)
- All setbacks shall be measured to the water's edge.

### 4.16.2 All Other Uses

Where an outdoor swimming pool or hot tub is provided *accessory* to any other *use*, the minimum *yards* for the applicable *zone* shall apply and shall be measured to the water's edge.



*Setbacks for pools and hot tubs are equal those of the parent zone and are measured to the water's edge.*

*See Table 4.3 for allowable projections for swimming pool pumps, filters, heaters and appurtenances to those.*

# General Provisions

## 4.17 Outside Display and Sales Areas

### 4.17.1 Permanent Display and Sales Areas (2016-023)

Where an *outside display and sales area* is permitted, the following regulations apply:

- a) An *outside display and sales area* shall be accessory to another permitted use.
- b) The maximum *height* of any merchandise display in an outside display and sales area not located within a *building* or *structure* is 3.0 metres. (2015-018)
- c) An *outside display and sales area* shall not be located within any *minimum yard*, *minimum parking space*, *loading space*, *required landscaping*, and *sight triangle*.
- d) An *outside display and sales area* shall be located with its longest dimension abutting the *main wall* of its associated *building*. This subsection shall not apply for *motor vehicle dealerships* or the accessory sale of *motor vehicles*.

### 4.17.2 Seasonal Garden Centres (2016-023)

The following provisions apply to *seasonal garden centres*:

- a) A *seasonal garden centre* is only permitted *accessory* to a *retail store* on the same *lot*;
- b) A *seasonal garden centre* shall only be permitted within a *parking area* and cannot occupy more than 10% of the total number of *parking spaces* in the applicable *parking area* for a maximum of 17 weeks in any calendar year;
- c) A *seasonal garden centre* can occupy any *aisle* shared by two rows of *parking spaces* otherwise occupied by the *seasonal garden centre*;
- d) Section 5.1.2 of this By-law shall not apply to prohibit the occupation of *parking spaces* or *aisles* by a *seasonal garden centre* established in compliance with Section 4.17.2 of this By-law;
- e) No *parking spaces* shall be required for a *seasonal garden centre*; and,
- f) The maximum *height* of any merchandise display or fixture not located in a *building* or *structure* in a *seasonal garden centre* located within a *parking area* is 2.4 metres.

## 4.18 Patios

### 4.18.1 Patios Accessory to Public Halls or Restaurants (2020-039)

The following regulations apply to a *patio* accessory to a *public hall* or *restaurant*:

- a) A *patio* is not permitted in:
  - i) Any *yard* abutting a *Residential Zone*;
  - ii) On a *balcony* or *rooftop terrace* on a *lot* abutting a *Residential Zone*; or
  - iii) A *lot* in an *Employment Zone* abutting a *Residential Zone*.



## General Provisions

- b) The area designated for a *patio* shall be:
  - i) Subject to the *minimum yards* for the *zone* in which it is located; and
  - ii) Considered as *floor area* and *net floor area* when calculating parking requirements in accordance with Section 5.1.1 (b) of this By-law.

### 4.18.2 Patios on Town Owned Land (2020-039)

Notwithstanding any other provision of this By-law, a *patio* is permitted on any land owned by the *Town* provided that the *patio* is operated by the *Town* or authorized through an agreement with the *Town*.

## 4.19 Pipeline Setbacks

### 4.19.1 Enbridge Pipelines

- a) Notwithstanding any other provision of this By-law, no *building* or *structure* associated with a *dwelling* shall be located any closer than 3.0 metres from the limit of the Enbridge Pipeline right-of-way.
- b) Section 4.19.1(a) shall only apply where the right-of-way is located outside of an electricity transmission corridor.

*A map showing the approximate limits of the pipeline corridors is attached as Appendix C to this By-law. Contact Building Services to confirm if your property is adjacent to the railway corridor.*

*No additional setback is required from the Trans-Northern Pipeline right-of-way.*

### 4.19.2 Sarnia Products/Imperial Oil Pipelines

Notwithstanding any other provision of this By-law, no *building* or *structure* with *dwellings* intended for human occupancy shall be located any closer than 20.0 metres from the centerline of the Sarnia Products/Imperial Oil Pipeline. (2017-025)

*Contact the applicable pipeline owner before digging for information about construction or applicable permitting requirements.*

### 4.19.3 TransCanada Pipelines

- a) Notwithstanding any other provision of this By-law, no *building* shall be located any closer than 7.0 metres from the limit of the TransCanada Pipeline right-of-way.
- b) Notwithstanding any other provision of this By-law, no *accessory structure*, outdoor swimming pool, or hot tub shall be located any closer than 3.0 metres from the limit of the TransCanada Pipeline right-of-way.

### 4.19.4 Trans-Northern Pipelines

No additional setback is required from the Trans-Northern Pipeline right-of-way.

### 4.19.5 Union Gas Pipelines

Notwithstanding any other provision of this By-law, no *building* or *structure* shall be located within any Union Gas Pipeline easement.

## General Provisions

### 4.20 Prohibited Uses

For clarity, the following *uses* are not considered to be part of any *use* permitted by this By-law:

- a) The refining, storage or *use* in manufacturing of coal oil, rock oil, water oil, naphtha, benzene, dynamite, dualine, nitroglycerin, or gunpowder, except where specifically permitted for commercial purposes. This provision shall not apply to prevent the above ground storage of such substances by a farmer, where such storage is incidental and accessory to *agriculture*, or the *use* of natural gas, propane or fuel oil for purposes such as heating and cooking, in conjunction with any *use*;
- b) The tanning or storage of uncured hides or skins;
- c) The boiling of blood, tripe, or bones for commercial purposes;
- d) The manufacturing of glue or fertilizers from dead animals or from human or animal *waste*;
- e) A livestock yard, livestock exchange, or dead stock *yard*;
- f) The extracting of oil from fish;
- g) A track for the driving, racing or testing of any motorized vehicle;
- h) A disposal site for solid *waste*;
- i) *Mobile homes, motor vehicles, or recreational vehicles and trailers* occupied as a permanent residence; and,
- j) Large scale *outside storage* of road salt, road sand or other de-icing materials.

### 4.21 Railway Setbacks for Sensitive Land Uses

Notwithstanding any other provisions in this By-law, all *buildings* and *structures* containing a *dwelling, place of worship, day care, private school, or public school* shall be located no closer than 30.0 metres from any *railway corridor*.

*A map showing the approximate limits of the railway corridor is attached as Appendix B to this By-law. Contact Building Services to confirm if your property is adjacent to the railway corridor.*

### 4.22 Shipping Containers

- a) *Shipping containers* shall only be permitted on a *lot* where *outside storage* is a permitted *use*.
- b) A *shipping container* shall only be *used* as a *building* in conjunction with the following *uses*:
  - i) *Manufacturing*;
  - ii) *Transportation terminal*; or (2021-068)
  - iii) *Warehousing*.

# General Provisions

## 4.23 Short-Term Accommodation

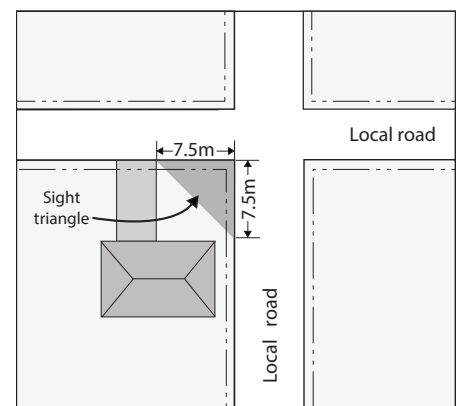
Where a *short-term accommodation* is permitted, the following regulations apply:

- a) A *short-term accommodation* is permitted in *dwelling*s permitted by the applicable zone, including an *accessory dwelling unit*. (2023-024)
- b) A *short-term accommodation* shall be operated by the person or persons whose principal residence is the *dwelling* in which the *short-term accommodation* is located. For the purpose of this provision, the principal residence of an *accessory dwelling unit* shall be deemed to be the principal residence of the main *dwelling unit* on the lot. (2023-024)

## 4.24 Sight Triangles

### 4.24.1 Applicability

- a) A *sight triangle* shall be required only where no triangular or curved area of land abutting a *corner lot* has been incorporated into the right-of way of a *public road*, and only in the following *zones* or combination of *zones*:
  - i) Any Residential Zone
  - ii) Any Commercial Zone;
  - iii) Any Employment Zone;
  - iv) Any Institutional (I) and Community Use (CU) Zone;
  - v) Any Open Space Zone; and,
  - vi) Only at the intersection of any two *Arterial Roads* in any Mixed Use Zone.
- b) Notwithstanding subsection (a) above, no *sight triangle* shall be required on a *lot* occupied by a *townhouse dwelling* or *back-to-back townhouse dwelling*.



No buildings or structures are permitted in a sight triangle.

### 4.24.2 Size

Notwithstanding any other provision of this By-law, no *building* or *structure*, fence, wall, *driveway*, vegetative planting or *landscaping* that has a *height* of greater than 1.0 metre shall be permitted in a *sight triangle* according to the provisions of Table 4.24, below:

Intersection of:	Local Road	Collector Road	Arterial Road
Local Road	7.5 m	7.5 m	15.0 m
Collector Road		15.0 m	15.0 m
Arterial Road			15.0 m



# General Provisions

## 4.25 Temporary Uses

The following temporary *uses* are permitted in all *zones*:

### 4.25.1 Construction Uses (2021-068)

Notwithstanding any other provision of this By-law, *uses* incidental to construction within the *lot* such as a construction camp or other such temporary work camp, a tool shed, a scaffold or other *building* or *structure* incidental to the construction, and the parking or storage of any construction equipment or construction vehicle are permitted, subject to the following provisions:

- a) Such *uses* shall be permitted only for so long as the same are necessary for work in progress that has neither been finished nor discontinued for a period of 60 days;
- b) A valid *building* permit or site alteration permit for the construction remains in place, if such a permit was required; and,
- c) *Uses* incidental to construction may be undertaken on the *lot* prior to the erection of the main *building*, provided it is used for no purpose other than storage.

*A temporary building occupied by any use permitted by this By-law while a permanent or main building is undergoing renovation is not subject to this general provision. All other requirements of this By-law, including zone standards and parking requirements, would continue to apply.*

### 4.25.2 Model Homes (2021-068)

Notwithstanding Section 4.14, *model homes* are permitted on lands that have received draft plan of subdivision or *condominium* approval for residential purposes provided that:

- a) The number of *model homes* does not exceed 20 units or 10% of the *dwelling units* draft approved in the plan of subdivision or *condominium* whichever is the lesser;
- b) The *model home* is built within a *lot* defined by the draft approved plan of subdivision or *condominium*;
- c) The *model home* complies with all other requirements of this By-law for the applicable type of *dwelling unit* with the exception of the parking requirements; and,
- d) The *buildings* are used for the purpose of *model homes* only and shall not be occupied prior to the date of registration of the subdivision, *condominium*, or similar development agreement.

### 4.25.3 Temporary Sales Offices

(2017-025) (2021-068)

Notwithstanding Section 4.14, temporary sales offices for the sale of residential, employment or commercial *lots* or units or rental thereof in a plan of subdivision or *condominium* are permitted, subject to the following provisions:

- a) The temporary sales office shall not be permitted until an applicable plan of subdivision or *condominium* has received draft plan approval or the property is in a *zone* that permits the proposed development.
- b) The temporary sales office shall only be permitted for such period that work within a relevant plan of subdivision or *condominium* remains in progress, having not been finished or discontinued for 60 days.
- c) The temporary sales office shall comply with the minimum *yards* for the applicable *zone*.
- d) If *parking spaces* are provided, the temporary sales office shall comply with the parking provisions of this By-law.

*Depending on the concept, a sales office could be permitted as a business office in various zones. Contact Planning Services for more information.*

## General Provisions

- e) The temporary sales office is located in the plan of subdivision or *condominium* where the *lots* or units are being sold.

### 4.26 Emergency Shelters

(PL140317)

Where an *emergency shelter* is permitted, the following regulations apply:

- a) *Emergency shelters* are prohibited on a *local road* unless it is *accessory* to a *place of worship*;
- b) *Emergency shelters* are prohibited within 120.0 metres of an Industrial (E3) *Zone*; and,
- c) The maximum number of beds permitted in an *emergency shelter* is 20.

### 4.27 Rooftop Terraces (PL140317) (2021-068)

The following provisions shall apply to rooftop terraces:

- a) A *rooftop terrace* is permitted on a lot in any *Zone*, except for Residential Low -0 Suffix *Zones*; (2018-017)
- b) A *rooftop terrace* is not permitted on the roof of a one *storey building* in any Residential Low and Residential Medium *Zones*; (2018-017)
- c) A *rooftop terrace* that is located on the roof of the top *storey* of a *building* shall be setback a minimum of 2.0 metres from the edge of the roof of that part of the *building* that faces the *interior side* and/or *rear lot lines* abutting any Residential Low *Zone*; (2018-017)
- d) No structures, excluding a *mechanical penthouse*, associated with a *rooftop terrace* are permitted on a lot in a RM1, RM2 or RM3 *Zone*;
- e) No structure on a *rooftop terrace* shall have walls;
- f) No structures on a *rooftop terrace* shall exceed 20% of the total area of the *rooftop terrace* and such structures shall not be deemed a *storey*;
- g) No access from grade shall be permitted to a *rooftop terrace*; and
- h) The outer boundary of a *rooftop terrace* shall be defined using a barrier. (2021-068)
- i) In Residential Low *Zones* a *rooftop terrace* is only permitted on the roof of the *first storey* of the *dwelling* having two or more *storeys*, subject to a maximum 1.5 m depth, measured from the *main wall*. (2018-017)

### 4.28 Rooftop Mechanical Equipment and Rooftop Solar Panels (2021-068) (2023-024)

The following provisions shall apply where rooftop mechanical equipment and rooftop solar panels is provided on any *lot* not located in any Residential Low (RL) *Zone*, Residential Uptown Core (RUC) and the Residential Medium (RM1), (RM2) and (RM3) *Zones* (2023-024)

- a) Rooftop mechanical equipment shall be set back a minimum of 5.0 metres from all edges of a roof if it is not fully enclosed within a *mechanical penthouse*.
- b) Rooftop solar panels shall be set back a minimum of 5.0 metres from all edges of a roof. (2023-024)

## General Provisions

- c) Notwithstanding subsection b) above, rooftop solar panels that do not exceed a height of 0.9 metres above the roof upon which it is located may have a minimum setback of 0.0 metres from all edges of a roof. (2023-024)
- d) Rooftop solar panels shall not exceed a height of 2.0 metres above the roof upon which it is located. (2023-024)

### **4.29 Restoration or Repair of Unsafe Buildings** (2023-065)

Nothing in this By-law shall prevent the restoration or repair to a safe condition of any *building* or *structure* or part of any *building* or *structure* that has been deemed to be unsafe by the *Town's* Chief Building Official, provided the reconstruction will not increase in *height*, size or volume, or change the *use* of the *building* or *structure* and provided that the *use* has not been abandoned.

### **4.30 Reconstruction of an Existing Building or Structure** (2023-065)

Nothing in this By-law shall prevent the reconstruction of a *building* or *structure* severely damaged or destroyed by natural causes or by fire, provided the reconstruction will not increase in *height*, size or volume, or change the *use* of the *building* or *structure* and provided that the *use* has not been abandoned.



# Parking, Loading, & Stacking Lane Provisions

Portions of this by-law not yet in effect are covered with a blue tone. This version consolidates all amendments and orders of the OMB up to the consolidation date shown below. Contact the Building Services or Planning Services departments for more information.

## 5.1 General Provisions

### 5.1.1 Applicability

- a) The *parking space*, *barrier-free parking space*, *bicycle parking space*, and *stacking space* requirements of this By-law shall not apply to any legal or legal non-conforming *use* existing on the effective date of this By-law.
- b) Additional *parking spaces*, *barrier-free parking spaces*, *bicycle parking spaces*, or *stacking spaces* shall be provided in accordance with the provisions of this By-law for all *uses* and all additional *net floor area* on a *lot* in the following circumstances: (PL140317)
  - i) Where a new *building* is erected or additional *net floor area* is added to a legal or legal non-conforming *building* existing on the effective date of this By-law.
  - ii) Where a change in *use* occurs that has the effect of requiring the additional spaces identified in subsection (b) above.

*For an addition to an existing building, a cumulative minimum number of parking spaces is calculated for the additional floor area only. Contact a zoning officer in the Building Services department for more information.*

### 5.1.2 Exclusive Use

Any minimum *parking space*, *barrier-free parking space*, *bicycle parking space*, *stacking space*, and *loading space* required by this By-law and any *driveway* or *aisle* leading to those spaces shall be unobstructed, available, and exclusively *used* for that purpose at all times, unless otherwise specified by this By-law.

### 5.1.3 More than One Use on a Lot

The *parking space*, *barrier-free parking space*, *bicycle parking space*, and *stacking space* requirements for more than one *use* on a single *lot* or for a *building* containing more than one *use* shall be the sum total of the requirements for each of the component *uses* or *buildings*, unless otherwise permitted by this By-law.

*Examples of where a sum total of individual uses would not be calculated is where a “blended rate” is provided in Section 5.2: namely, on lots with multiple premises meeting specified locational or size criteria. Contact a zoning officer in the Building Services department for more information.*

### 5.1.4 Location of Required Parking

- a) Any *parking space*, *barrier-free parking space*, *bicycle parking space*, and *loading space* required by this By-law shall be located on the same *lot* on which the *use* is located.
- b) Notwithstanding subsection (a) above, on a *lot* in a Mixed Use Zone on Maps 19(19a) and 19(22a), any *parking space* or *barrier-free parking space* required by this By-law can be provided on another *lot* within 300.0 metres if both *lots* are in a Mixed Use Zone.

### 5.1.5 Rounding Provision

- a) Where the application of any ratio in this Part of the By-law results in a fraction of a *parking space* or *bicycle parking space* being required, the minimum number of spaces required shall be increased to the next highest whole number if the fraction is greater than 0.25.
- b) Where the application of any ratio in this Part of the By-law results in a fraction of a *barrier-free parking space* being required, the minimum number of *barrier-free parking spaces* required shall be increased to the next highest whole number.

# Parking, Loading, & Stacking Lane Provisions

## 5.1.6 Cash-in-Lieu of Parking

*Parking spaces and bicycle parking spaces* required by this By-law for non-residential *uses* shall not be required for a *lot* in any Mixed Use Zone on Maps 19(2a) and 19(7a) if the *Town* enters into an agreement with the land-owner respecting the payment of cash-in-lieu for some or all of the *parking spaces, bicycle parking spaces, aisles, or driveways* required, in accordance with Section 40 of the Planning Act.

*The Town currently only entertains cash-in-lieu of parking requests in Kerr Village and Bronte Village. Contact Planning Services or Legal Services for more information.*

## 5.1.7 Shared Driveways and Access Lanes Recognition

- a) Notwithstanding any other provision of this By-law, a *driveway* or *aisle* shared across two *lots* in a Residential Medium (RM) Zone, Residential High (RH) Zone, Commercial Zone, Mixed Use Zone, Employment Zone, Institutional (I) Zone, and Community Use (CU) Zone shall be permitted.
- b) Compliance with any regulations of this By-law for a *driveway* or *aisle* permitted by subsection (a) above shall be based upon the entire width of the applicable *driveway* or *aisle*. (2016-013)

## 5.1.8 Hardscape Surface Treatment

All *parking areas, loading spaces, and stacking spaces* in any Zone other than an Environmental Zone or Other Zone shall be surface treated with asphalt, concrete, interlocking brick, similar hardscaped surface, or other material sufficient to provide stability, prevent erosion, be usable in all seasons, and allow infiltration of surface water.

*Gravel is not a permitted surface treatment for driveways outside of the Environmental or Other Zones.*

## 5.1.9 Approved Locations for Visitors Parking (2016-013)

Visitors *parking spaces* may be provided in any combination of an above or below *grade parking structure* or *surface parking area*.

## 5.1.10 Tandem and Stacked Parking Spaces (2017-025)

*Tandem and stacked parking spaces* are permitted for any *dwelling*.

## 5.2 Motor Vehicle Parking Spaces

### 5.2.1 Minimum Number of Parking Spaces

The minimum number of *parking spaces* required for *uses* permitted by this By-law are established and calculated in accordance with the ratios set out in Table 5.2.1, below.

Table 5.2.1: Ratios of Minimum Number of Parking Spaces	
Use	Minimum Number of Parking Spaces
Blended Rates for Lots with Multiple Premises	
Where multiple <i>premises</i> are located on a <i>lot</i> in the Neighbourhood Commercial (C1) Zone	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>

# Parking, Loading, & Stacking Lane Provisions

<b>Table 5.2.1: Ratios of Minimum Number of Parking Spaces</b>	
<b>Use</b>	<b>Minimum Number of Parking Spaces</b>
Where multiple <i>premises</i> are located on a <i>lot</i> in all other Commercial <i>Zones</i>	a) 1.0 per 18.0 m <sup>2</sup> <i>net floor area</i> for the first 2,500.0 m <sup>2</sup> <i>net floor area</i> ; plus, b) 1.0 per 22.0 m <sup>2</sup> <i>net floor area</i> for any additional <i>net floor area</i>
On a <i>lot</i> in the Office Employment (E1), Business Employment (E2), and Industrial (E3) <i>Zones</i> where: a) The <i>lot</i> has a minimum of five <i>premises</i> ; b) The <i>lot</i> has a minimum of 5,000.0 m <sup>2</sup> total <i>floor area</i> ; c) No <i>use</i> cumulatively occupies more than 50% of the <i>net floor area</i> on the <i>lot</i> ; d) None of the following <i>uses</i> , where permitted, together cumulatively occupy no more than 20% of the <i>net floor area</i> on the <i>lot</i> : <ul style="list-style-type: none"> <li>• <i>Financial institutions</i>;</li> <li>• <i>Restaurants</i>; and,</li> <li>• <i>Service commercial establishments</i>;</li> </ul> e) A <i>hotel</i> is not located on the <i>lot</i> ; and, f) The maximum number of <i>storeys</i> is two.	The lesser of the sum total of the requirements for each of the component uses or 1.0 per 50.0 m <sup>2</sup> <i>net floor area</i>
On a <i>lot</i> in the Business Commercial (E4) <i>Zone</i> where: a) The <i>lot</i> has a minimum of three <i>premises</i> ; b) A minimum of two <i>uses</i> occur on the <i>lot</i> ; c) A <i>hotel</i> is not located on the <i>lot</i> ; and, d) The maximum number of <i>storeys</i> is two.	The lesser of the sum total of the requirements for each of the component uses or 1.0 per 40.0 m <sup>2</sup> <i>net floor area</i>
<b>Residential Uses</b>	
<i>Apartment dwelling</i> (2021-068)	a) 1.0 per <i>dwelling</i> where the unit has less than 75.0 square metres <i>net floor area</i> ; b) 1.5 per <i>dwelling</i> for all other units (1)(2a)(3)
<i>Back-to-back townhouse dwelling</i>	2.0 per <i>dwelling</i>
<i>Detached dwelling</i>	2.0 per <i>dwelling</i>
<i>Dormitory</i>	0.2 per bed (1)
<i>Duplex dwelling</i>	2.0 per <i>dwelling</i>
<i>Long term care facility</i>	0.25 per bed
<i>Multiple dwelling</i>	1.5 per <i>dwelling</i> (1)(2)
<i>Retirement home</i>	0.33 per <i>assisted living unit</i> and <i>dwelling unit</i>
<i>Semi-detached dwelling</i>	2.0 per <i>dwelling</i>
<i>Stacked townhouse dwelling</i>	1.5 per <i>dwelling</i> (1)(3)
<i>Townhouse dwelling</i>	2.0 per <i>dwelling</i> (1)(2)

## Parking, Loading, & Stacking Lane Provisions

<b>Table 5.2.1: Ratios of Minimum Number of Parking Spaces</b>	
<b>Use</b>	<b>Minimum Number of Parking Spaces</b>
<b>Accessory Residential Uses</b>	
<i>Accessory dwelling unit (2023-024)</i>	1.0 additional <i>parking space</i>
<i>Bed and breakfast establishment</i>	1.0 additional <i>parking space</i> per <i>lodging unit</i>
<i>Day care</i>	<See “Institutional and Community Uses” row>
<i>Home occupation</i>	No minimum requirement
<i>Lodging house</i>	1.0 additional <i>parking space</i> per <i>lodging unit</i>
<i>Private home day care</i>	No minimum requirement
<i>Short-term accommodation</i>	1.0 additional <i>parking space</i> (5)
<b>Retail Uses</b>	
<i>Retail propane transfer facility</i>	1.0 per 40.0 m <sup>2</sup> <i>net floor area</i>
<i>Retail store</i> or any other “store” permitted by this By-law	1.0 per 18.0 m <sup>2</sup> <i>net floor area</i>
<b>Service Commercial Uses</b>	
<i>Adult entertainment establishment</i>	1.0 per 18.0 m <sup>2</sup> <i>net floor area</i>
<i>Commercial school</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Dry cleaning/laundry</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Financial institution</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Food production</i>	1.0 per 40.0 m <sup>2</sup> <i>net floor area</i>
<i>Funeral home</i>	1.0 per 14.0 m <sup>2</sup> <i>net floor area</i>
<i>Pet care establishment</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Place of entertainment</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Rental establishment</i>	1.0 per 18.0 m <sup>2</sup> <i>net floor area</i>
<i>Restaurant</i>	1.0 per 10.0 m <sup>2</sup> <i>net floor area</i>
<i>Service commercial establishment</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Sports facility</i>	a) 1.0 per 18.0 m <sup>2</sup> <i>net floor area</i> ; plus, b) 4 <i>parking spaces</i> per outdoor playing court; plus, c) 12 <i>parking spaces</i> per outdoor playing field
<i>Taxi dispatch</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Veterinary clinic</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<b>Office Uses</b>	
<i>Business office</i>	1.0 per 35.0 m <sup>2</sup> <i>net floor area</i> (4)
<i>Medical office</i>	a) For the first 60% of the <i>net floor area</i> on the <i>lot</i> occupied by <i>medical offices</i> , 1.0 per 35.0 m <sup>2</sup> <i>net floor area</i> b) Where <i>medical offices</i> occupy greater than 60% of the <i>net floor area</i> of the <i>building</i> , 1.0 per 18.0 m <sup>2</sup> <i>net floor area</i> for the entire <i>building</i>



## Parking, Loading, & Stacking Lane Provisions

<b>Table 5.2.1: Ratios of Minimum Number of Parking Spaces</b>	
<b>Use</b>	<b>Minimum Number of Parking Spaces</b>
<b>Employment Uses</b>	
<i>Bulk storage facility</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Commercial self-storage</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i> , to a maximum minimum requirement of 8 <i>parking spaces</i>
<i>Contractors establishment</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Manufacturing</i>	a) 1.0 per 100.0 m <sup>2</sup> <i>net floor area</i> for the first 7,500.0 m <sup>2</sup> <i>net floor area</i> ; plus, b) 1.0 per 200.0 m <sup>2</sup> <i>net floor area</i> for any additional <i>net floor area</i>
<i>Public works yard</i>	No minimum requirement
<i>Repair shop</i>	a) 1.0 per 100.0 m <sup>2</sup> <i>net floor area</i> for the first 7,500.0 m <sup>2</sup> <i>net floor area</i> ; plus, b) 1.0 per 200.0 m <sup>2</sup> <i>net floor area</i> for any additional <i>net floor area</i>
<i>Transportation terminal</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Training facility</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Warehousing</i>	a) 1.0 per 100.0 m <sup>2</sup> <i>net floor area</i> for the first 7,500.0 m <sup>2</sup> <i>net floor area</i> ; plus, b) 1.0 per 200.0 m <sup>2</sup> <i>net floor area</i> for any additional <i>net floor area</i>
<i>Waste processing station</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Waste transfer station</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Wholesaling</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<b>Institutional and Community Uses</b>	
<i>Art gallery</i>	1.0 per 28.0 m <sup>2</sup> <i>net floor area</i>
<i>Community centre</i>	1.0 per 22.0 m <sup>2</sup> <i>net floor area</i>
<i>Day care</i>	1.0 per 40.0 m <sup>2</sup> <i>net floor area</i>
<i>Emergency service facility</i>	No minimum requirement
<i>Emergency shelter (PL140317)</i>	1.0 per 4.0 <i>beds</i>
<i>Food bank</i>	1.0 per 40.0 m <sup>2</sup> <i>net floor area</i>
<i>Hospital</i>	1.0 per 50.0 m <sup>2</sup> <i>net floor area</i>
<i>Library</i>	1.0 per 28.0 m <sup>2</sup> <i>net floor area</i>
<i>Marina</i>	0.6 spaces per berth
<i>Museum</i>	1.0 per 28.0 m <sup>2</sup> <i>net floor area</i>
<i>Place of worship</i>	a) 1.0 per 5 persons capacity for the <i>place of worship area of worship</i> ; plus, b) 1.0 per 22.0 m <sup>2</sup> <i>net floor area</i> for any additional <i>accessory assembly area</i>
<i>School, post-secondary</i>	No minimum requirement

## Parking, Loading, & Stacking Lane Provisions

Table 5.2.1: Ratios of Minimum Number of Parking Spaces	
Use	Minimum Number of Parking Spaces
<ul style="list-style-type: none"> <li>• <i>School, private</i></li> <li>• <i>School, public</i></li> </ul>	a) For elementary schools, 1.5 per classroom, not including any portables b) For secondary schools, 4.0 per classroom, not including any portables
<b>Open Space Uses</b>	
<i>Agriculture</i>	No minimum requirement
<i>Boarding kennel</i>	1.0 per 35.0 m <sup>2</sup> <i>net floor area</i> , to a maximum minimum requirement of 6 <i>parking spaces</i>
<i>Cemetery</i>	No minimum requirement
<i>Conservation use</i>	No minimum requirement
<i>Golf course</i>	a) 6.0 per hole; plus, b) 1.0 per 22.0 m <sup>2</sup> <i>net floor area</i> for any <i>accessory uses</i>
<i>Outdoor miniature golf course</i>	1.0 per hole
<ul style="list-style-type: none"> <li>• <i>Park, private</i></li> <li>• <i>Park, public</i></li> </ul>	No minimum requirement
<b>Hospitality Uses</b>	
<i>Hotel</i>	a) 1.0 per <i>lodging unit</i> ; plus, b) 1.0 per 30.0 m <sup>2</sup> <i>net floor area</i> outside of a <i>lodging unit</i>
<i>Public hall</i>	1.0 per 18.0 m <sup>2</sup> <i>net floor area</i>
<b>Motor Vehicle Uses</b>	
<i>Motor vehicle body shop</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Motor vehicle dealership</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Motor vehicle rental facility</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Motor vehicle repair facility</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Motor vehicle service station</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Motor vehicle storage compound</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>
<i>Motor vehicle washing facility</i>	1.0 per 100.0 m <sup>2</sup> <i>net floor area</i>

*A “classroom” includes teaching rooms such as a library or gymnasium.*

### Additional Regulations for Minimum Parking Ratios Table 5.2.1

(2017-025)

1. Of the total number of *parking spaces* required, 0.25 of the *parking spaces* required per *dwelling* shall be designated as visitors *parking spaces*.
2.
  - a) The location of visitors *parking spaces* shall be in accordance with Section 5.1.9. (2017-025)
  - b) The visitors *parking spaces* for a *multiple* or *townhouse dwelling* shall only be required in a *condominium* and shall be located on a parcel of land tied to a *common element condominium*. (2017-025)

*Inventory motor vehicles are not to be parked in required parking spaces, per Section 5.1.2 of this By-law.*

## Parking, Loading, & Stacking Lane Provisions

3. A minimum of 50% of the minimum *parking spaces* shall be provided within a *private garage*, carport, or *parking structure*.
4.
  - a) Where a *business office* is provided *accessory* to a different main permitted *use* in the Office Employment (E1), Business Employment (E2), and Industrial (E3) *Zones*, the parking rate for the main permitted *use* shall apply to any *floor area* occupied by a *business office* provided the *business office* occupies an area equal to or less than 25% of the total *net floor area* on the *lot*.
  - b) The *business office* ratio shall apply for all *net floor area* occupied by a *business office* where the *business office* occupies greater than 25% of the total *net floor area* on the *lot*.
5. An additional *parking space* is not required when the additional parking can be accommodated in an existing visitor *parking space*.

### 5.2.2 Minimum Number of Parking Spaces in Mixed Use Zones

The minimum number of *parking spaces* required for *uses* permitted by this By-law in any Mixed Use *Zone* are established and calculated in accordance with the ratios set out in Table 5.2.2, below:

*In the Growth Areas, the minimum number of parking spaces required are reduced to support the Town's strategic and policy objectives related to transit, growth management, and design.*

Table 5.2.2: Ratios of Minimum Number of Parking Spaces for Mixed Use Zones	
Use	Minimum Number of Parking Spaces
<b>Residential Uses</b>	
<i>Apartment dwelling (2021-068)</i>	a) 1.0 per <i>dwelling</i> where the unit has less than 75.0 square metres <i>net floor area</i> ; b) 1.25 per <i>dwelling</i> for all other units (1)(2a)(3)
<i>Back-to-back townhouse dwelling</i>	1.5 per <i>dwelling</i>
<i>Detached dwelling</i>	2.0 per <i>dwelling</i>
<i>Dormitory</i>	No minimum requirement
<i>Live-work dwelling</i>	a) 2.0 for the residential component; plus, b) 1.0 per 40.0 m <sup>2</sup> <i>net floor area</i> for the commercial component (4)
<i>Long term care facility</i>	0.25 per bed
<i>Multiple dwelling</i>	1.25 per <i>dwelling</i> (1)(2)
<i>Retirement home</i>	0.33 per <i>assisted living unit</i> and <i>dwelling unit</i>
<i>Semi-detached dwelling</i>	2.0 per <i>dwelling</i>
<i>Stacked townhouse dwelling</i>	1.25 per <i>dwelling</i> (1)(3)
<i>Townhouse dwelling</i>	1.5 per <i>dwelling</i> (1)(2)
<b>Accessory Residential Uses</b>	
<i>Accessory dwelling unit (2023-024)</i>	1.0 additional <i>parking space</i>
<i>Bed and breakfast establishment</i>	1.0 additional <i>parking space</i> per <i>lodging unit</i>
<i>Home occupation</i>	No minimum requirement
<i>Private home day care</i>	No minimum requirement
<i>Short-term accommodation</i>	1.0 additional <i>parking space</i> (5)

## Parking, Loading, & Stacking Lane Provisions

Table 5.2.2: Ratios of Minimum Number of Parking Spaces for Mixed Use Zones	
Use	Minimum Number of Parking Spaces
<b>Hospitality Uses</b>	
<i>Hotel</i>	a) 1.0 per <i>lodging unit</i> ; plus, b) 1.0 per 40.0 m <sup>2</sup> <i>net floor area</i> outside of a <i>lodging unit</i>
<i>Public hall</i>	1.0 per 20.0 m <sup>2</sup> <i>net floor area</i>
<b>All Non-Residential Uses</b>	
<ul style="list-style-type: none"> <li>• All other permitted non-residential <i>uses</i> in a Mixed Use Zone on Map 19(2a) [Bronte Village]</li> <li>• All other permitted non-residential <i>uses</i> in a Mixed Use Zone on Map 19(7a) [Kerr Village]</li> </ul>	1.0 per 40.0 m <sup>2</sup> <i>net floor area</i>
All other permitted non-residential <i>uses</i> in a Mixed Use Zone on Map 19(8a) [Downtown Oakville]	No minimum requirement
<ul style="list-style-type: none"> <li>• All other permitted non-residential <i>uses</i> in a Mixed Use Zone on Map 19(19a) [Palermo Village]</li> <li>• All other permitted non-residential <i>uses</i> in a Mixed Use Zone on Map 19(22a) [Uptown Core]</li> </ul>	a) 1.0 per 24.0 m <sup>2</sup> <i>net floor area</i> on the <i>first storey</i> ; plus, b) 1.0 per 40.0 m <sup>2</sup> <i>net floor area</i> above the <i>first storey</i> occupied by non-residential <i>uses</i> c) Notwithstanding this, where <i>medical offices</i> cumulatively occupy any <i>net floor area</i> on the <i>first storey</i> or greater than 60% of the <i>net floor area</i> of the <i>building</i> , the minimum number of parking spaces shall be 1.0 per 18.0 m <sup>2</sup> <i>net floor area</i> occupied by <i>medical offices</i>
<b>All Other Uses</b>	
Any other <i>use</i> not otherwise accommodated by Table 5.2.2	Shall be the ratio provided in Table 5.2.1

### Additional Regulations for Growth Area Parking Spaces Table

#### 5.2.2 (2017-025)

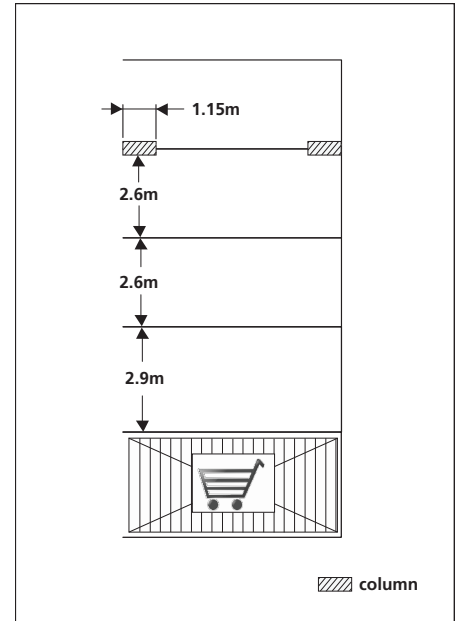
1. Where a minimum of 5 *parking spaces* are required on a lot of the total number of *parking spaces* required, 0.2 of the *parking spaces* required per *dwelling* shall be designated as *visitors parking spaces*. (2015-018)
2.
  - a) The location of *visitors parking spaces* shall be in accordance with Section 5.1.9 (2017-025)
  - b) The *visitors parking spaces* for a *multiple* or *townhouse dwelling* shall only be required in a *condominium* and shall be located on a parcel of land tied to a *common element condominium*.
3. A minimum of 50% of the minimum *parking spaces* shall be provided within a *private garage*, *carport*, or *parking structure*.
4. A *parking space* is not permitted in a *front* or *side yard*.
5. An additional *parking space* is not required when the additional parking can be accommodated in an existing *visitor parking space*.



# Parking, Loading, & Stacking Lane Provisions

## 5.2.3 Motor Vehicle Parking Space Dimensions (2017-025)

- a) The minimum dimensions of a *parking space* not located in a *private garage* shall be 2.7 metres in width and 5.7 metres in length.
- b) The minimum dimensions of a *parking space* located in a *private garage* shall be 5.7 metres in length and:
  - i) Where one *parking space* is provided, 3.0 m in width;
  - ii) Where two *parking spaces* are provided side-by-side, 2.8 m in width per *parking space*, or 5.6 m in total combined width;
  - iii) Where *tandem parking spaces* are provided, 3.0 m in width per *parking space*; and,
  - iv) Where *stacked parking spaces* are provided, 3.0 m in width for either the *parking space* on or below the vehicle elevating device
- c) The minimum dimensions of a *parking space* provided with the length parallel to the *aisle* or *driveway* shall be 2.7 metres in width and 7.0 metres in length.
- d) Where a wall, column, or other obstruction is located abutting or within any *parking space*, the minimum width of the *parking space* shall be increased by 0.3 metres for each side that is obstructed. Obstructions within 1.15 metres of either stall end do not require an increase in *parking space* width, provided the obstruction projects no more than 0.15 metres into the *parking space*. (2015-018)
- e) Where two *parking spaces* are provided in tandem, the minimum cumulative dimensions of the *parking spaces* shall be 2.7 metres in width and 11.7 metres in length.



Where a wall, column, or other obstruction is next to a parking space, this By-law may require the parking space to be wider.

## 5.3 Barrier-free Parking Spaces

### 5.3.1 Ratios for Minimum Number of Spaces

- a) *Barrier-free parking spaces* shall be required for all non-residential uses.
- b) *Barrier-free parking spaces* shall additionally be required for visitor *parking spaces* for the following residential uses. The total number of *parking spaces* in the left column of Table 5.3.1 shall be calculated using only the total number of visitor *parking spaces* on the lot: (2015-018)
  - i) *Apartment dwelling*;
  - ii) *Dormitory*; and,
  - iii) *Stacked townhouse dwelling*.
- c) The minimum number of *barrier-free parking spaces* required shall be calculated in accordance with the ratios set out in Table 5.3.1, below.

Total Number of Parking Spaces in all Parking Areas on the Lot	Minimum Number of Barrier-free Parking Spaces
3 to 25 (2015-018)	1
26 to 100 (2015-018)	4% of the total number of <i>parking spaces</i> in the <i>parking area</i>

# Parking, Loading, & Stacking Lane Provisions

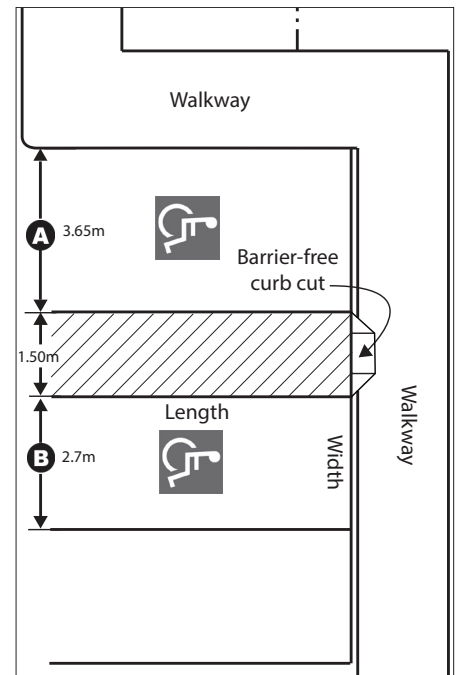
Total Number of Parking Spaces in all Parking Areas on the Lot	Minimum Number of Barrier-free Parking Spaces
101 to 200	1, plus 3% of the total number of <i>parking spaces</i> in the <i>parking area</i>
201 to 1000	2, plus 2% of the total number of <i>parking spaces</i> in the <i>parking area</i>
1,001 or greater	11, plus 1% of the total number of <i>parking spaces</i> in the <i>parking area</i>

### 5.3.2 Dimensions and Paths of Travel

- a) The minimum dimensions for a *barrier-free parking space* shall be in accordance with the dimensions of Table 5.3.2, below.

Type	Width	Length
Type A	3.65 m	5.7 m
Type B	2.7 m	5.7 m

- b) Where the minimum number of *barrier-free parking spaces* required is even, an equal number of Type A and Type B *barrier-free parking spaces* shall be required.
- c) Where the minimum number of *barrier-free parking spaces* required is odd, the additional *barrier-free parking space* remaining shall be a Type B *barrier-free parking space*. Where the minimum number of *barrier-free parking spaces* is one, the *barrier-free parking space* shall be a Type A *barrier-free parking space*. (2023-024)
- d) A *barrier-free path of travel* 1.5 metres in width is required abutting the entire length of the longest side of a *barrier-free parking space*. A path of travel can be shared by two *barrier-free parking spaces*. (2015-018)



Two barrier-free parking spaces, regardless of width, can share a barrier-free path of travel.

## 5.4 Bicycle Parking Spaces

### 5.4.1 Minimum Number of Bicycle Parking Spaces

- a) The minimum number of *bicycle parking spaces* required for uses permitted by this By-law are established and calculated in accordance with the ratios set out in Table 5.4.1, below.
- b) In no circumstance shall the number of minimum *bicycle parking spaces* required on a *lot* be greater than 30.

Use	Minimum Number of Bicycle Parking Spaces
<b>Blended Rates for Lots with Multiple Premises</b>	
Where multiple <i>premises</i> are located on a <i>lot</i> in any non-residential zone	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> <i>net floor area</i> , plus the minimum number of <i>bicycle parking spaces</i> for the <i>dwellings</i>
<b>Residential Uses</b>	
<i>Apartment dwelling</i>	1.0 per <i>dwelling</i> (1)(2)

## Parking, Loading, & Stacking Lane Provisions

<b>Table 5.4.1: Ratios of Minimum Number Bicycle Parking Spaces</b>	
<b>Use</b>	<b>Minimum Number of Bicycle Parking Spaces</b>
<i>Dormitory</i>	1.0 per <i>lodging unit</i> (1)(2)
<i>Long term care facility</i>	The lesser of 5 or 0.25 per <i>assisted living unit</i> or <i>dwelling unit</i> (1)
<i>Stacked townhouse dwelling</i>	1.0 per <i>dwelling</i> (1)(2)
<b>Retail Uses</b>	
<i>Retail store</i>	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> <i>net floor area</i>
<b>Service Commercial Uses</b>	
<i>Adult entertainment establishment</i>	No minimum requirement
<i>Commercial self-storage</i>	No minimum requirement
<i>Funeral home</i>	No minimum requirement
All other <i>uses</i> permitted in a <i>zone</i> under the heading <i>Service Commercial Uses</i>	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> <i>net floor area</i>
<b>Office Uses</b>	
<i>Business office</i>	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> <i>net floor area</i> (3)
<i>Medical office</i>	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> <i>net floor area</i>
<b>Employment Uses</b>	
All <i>uses</i> permitted in a <i>zone</i> under the heading <i>Employment Uses</i>	2, plus 0.25 per 1,000.0 square metres of <i>net floor area</i>
<b>Institutional and Community Uses</b>	
<i>Art gallery</i>	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> <i>net floor area</i>
<i>Marina</i>	No minimum requirement
<i>School, post-secondary</i>	The greater of 3 or 2.0 per 100.0 m <sup>2</sup> of <i>net floor area</i>
<i>School, private and school, public</i>	a) For elementary schools, 0.25 per classroom, not including any portables. b) For secondary schools, 0.5 per classroom, not including any portables.
All other <i>uses</i> permitted in a <i>zone</i> under the heading <i>Institutional and Community Uses</i>	The greater of 2 or 1.0 per 500.0 m <sup>2</sup> of <i>net floor area</i>

### Additional Regulations for Minimum Bicycle Parking Ratios

**Table 5.4.1**

1. In a *building* having fewer than 20 *assisted living units* or *dwelling units*, the minimum number of *bicycle parking spaces* required shall be zero.
2. Of the total number of *bicycle parking spaces* required, 0.25 of the *bicycle parking spaces* required per *dwelling* shall be designated as *visitors bicycle parking spaces*
3. In the *Industrial E3 Zone*, the parking rate for the main permitted *use* shall apply to any *floor area* occupied by a *business office* provided the *business office* occupies an area equal to or less than 25% of the total *net floor area* on the *lot*. The *business office* ratio shall apply for all *net floor area* used for a *business office* where the *business office* occupies greater than 25% of the total *net floor area* on the *lot*.

# Parking, Loading, & Stacking Lane Provisions

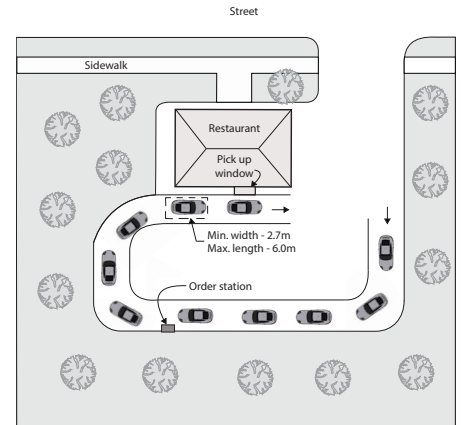
## 5.5 Drive-through Facilities and Stacking Lanes

### 5.5.1 Locations

- a) The minimum setback for all points of a *drive-through facility* from any *lot line* abutting any Residential Zone shall be 15.0 metres.
- b) A *stacking lane* shall be separate from an *aisle* or *driveway*.

### 5.5.2 Minimum Number of Stacking Spaces

- a) Each *stacking space* in a *stacking lane* shall have a minimum width of 2.7 metres and a minimum length of 6.0 metres.
- b) The minimum number of *stacking spaces* required in a *stacking lane* shall be calculated in accordance with the standards set out in Table 5.5, below.



Conceptual layout for a restaurant stacking lane.

Table 5.5: Stacking Space Requirements	
Use	Minimum Number of Stacking Spaces
Financial institution	4
Motor vehicle washing facility	8 (1)
Restaurant	10 (2)
Retail store	4
School, private	10 (3)
School, public	10 (3)
Service commercial establishment	4

### Additional Regulations for Stacking Spaces Table 5.5

1. An additional two *stacking spaces* are required at the exit of the *motor vehicle washing facility*.
2. Of these, seven *stacking spaces* shall be provided at or before the order station where an order station is provided.
3. Section 5.5.1 shall not apply.

## 5.6 Loading Spaces

Where a *loading space* is provided, the following regulations apply:

- a) The minimum dimensions of a *loading space* are 3.5 metres in width and 12.0 metres in length, with a minimum vertical clearance of 4.2 metres.
- b) A *loading space* shall abut the *building* for which the *loading space* is provided.
- c) A *loading space* shall be set back 7.5 metres from any Residential Zone, except if it is located entirely within a *structure*. This subsection does not apply to a *loading space* located in a Residential Zone.

*There is no minimum number of loading spaces required by Zoning By-law 2014-014. Should loading spaces be provided, the following regulations apply to set appropriate dimensions and locations.*

*A minimum requirement does apply in North Oakville.*

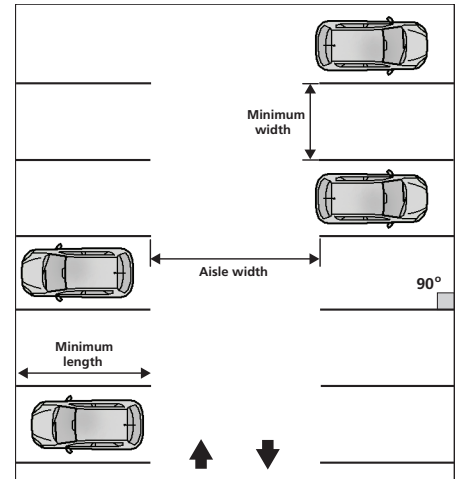


# Parking, Loading, & Stacking Lane Provisions

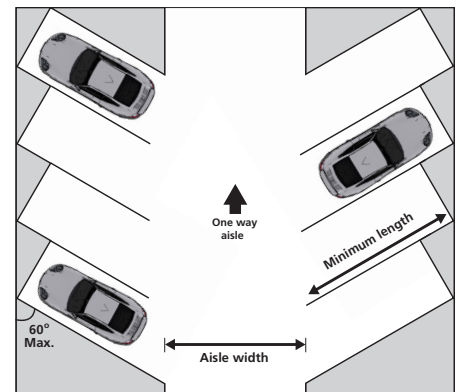
- d) A loading space is not permitted:
  - i) In any *minimum yard*;
  - ii) Between the *main wall* closest to the *flankage lot line* and the *flankage lot line* in a *flankage yard*; and,
  - iii) In any *front yard*.

## 5.7 Aisle Widths and Access Driveways

- a) The minimum width of an *aisle* providing access to a *parking space* within a *parking area* is 6.0 metres.
- b) Notwithstanding Subsection (a) above, the minimum width of an *aisle* providing one way travel access to a *parking space* within a *parking area* is 5.5 metres where the angle of access to the *parking space* is greater than or equal to 60 degrees.
- c) Notwithstanding Subsection (a) above, the minimum width of an *aisle* providing one way travel access to a *parking space* within a *parking area* is 4.0 metres where the angle of access to the *parking space* is less than 60 degrees.
- d) *Parking area* access shall be provided by at least one entrance *driveway* and one exit *driveway*. If separate, each *driveway* providing access to the *parking area* shall have a minimum width of 3.0 metres. If combined, the cumulative width of the *driveway* providing access to the *parking area* shall be a minimum of 5.5 metres.



The aisle width required where parking spaces are perpendicular to the drive aisle is 6.0 metres.



Aisle widths can be reduced where parking is provided at a 60 degree angle to the drive aisle.

# Parking, Loading, & Stacking Lane Provisions

## 5.8 Driveways and Private Garages Associated with Residential Uses

This Section applies to *driveways* and *private garages* associated with any *detached dwelling*, *semi-detached dwelling*, *duplex dwelling*, *linked dwelling*, *townhouse dwelling*, and *back-to-back townhouse dwelling* in any Residential or Mixed Use Zone.

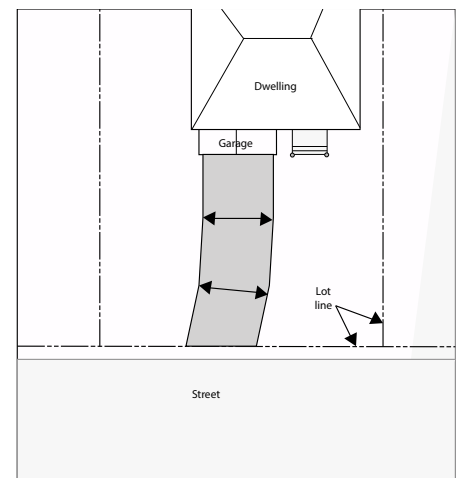
*A parked motor vehicle cannot encroach into any municipal right-of-way, including parallel parking at the bottom end of the driveway. This rule is enforced under the Town's Traffic By-law 1984-1, as amended.*

### 5.8.1 General Provisions (2017-025)

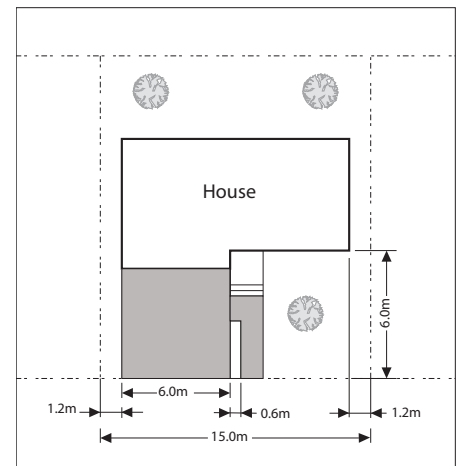
- a) A motor vehicle shall only be parked outdoors if it is entirely located on a *driveway*, *surface parking area*, or the roof of a *parking structure*.
- b) Required *parking spaces*, other than *stacked parking spaces* and *tandem parking spaces*, shall have direct and unobstructed access from a *driveway*, *aisle* or *lane*.
- c) The maximum setback from the *rear lot line* for a *parking space* accessed by a *rear lane* shall be 6.5 m.
- d) A maximum of one attached *private garage* per *dwelling* shall be permitted.

### 5.8.2 Driveway Width

- a) Notwithstanding any other provision of this By-law, the minimum width of a *driveway* shall be 3.0 metres.
- b) Notwithstanding subsection (a) above, the minimum width of a *driveway* shall be 2.4 metres in a *front* and *interior side yard* where a detached *private garage* is provided in a *rear yard*.
- c) The maximum width for a single *driveway* and the combined maximum width where more than one *driveway* is permitted shall be: (2021-068)
  - i) 6.0 metres for a *lot* having a *lot frontage* of 12.0 metres or less;
  - ii) Equal to 50% of the *lot frontage* on a *lot* having greater than 12.0 metres and less than 18.0 metres of *lot frontage*; or,
  - iii) 9.0 metres for a *lot* having a *lot frontage* equal to or greater than 18.0 metres.
- d) Notwithstanding subsection (c) above, the maximum width of a *driveway* crossing a *flankage lot line* in a *rear yard* or *flankage yard* shall be 9.0 metres. (2015-079)
- e) Notwithstanding subsections (c) and (d) above, a *hammerhead* legally existing on the effective date of this By-law shall be permitted to a maximum area and width of that which legally existed on the effective date of this By-law.
- f) The calculation of *driveway* width shall apply along the entire length of the *driveway*. The measurement shall be calculated including any continuous hard surface area or discontinuous hard surface area within 0.6 metres of the widest part of continuous hard surface area on the same *lot*, measured along the entire length of the *driveway* perpendicular from one edge of the continuous hard surface area.
- g) Notwithstanding subsection (f) above, one walkway access may be connected to each side of a *driveway*. The maximum width of the walkway access at the point of attachment shall be 1.8 metres.



*The maximum width of a driveway is measured along its entire length.*



*Hard surfaces (except for a maximum 1.8 metre-wide walkway attachment) shall be set back 0.6 metres from the edge of a driveway. Otherwise, the walkway is included as driveway surface.*

# Parking, Loading, & Stacking Lane Provisions

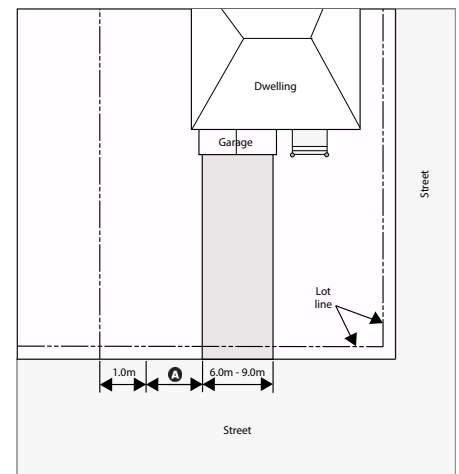
## 5.8.3 Maximum Number of Driveways

- A maximum of one *driveway* access is permitted to cross a *front lot line* or *flankage lot line* if the applicable *lot line* is less than 18.0 metres in width.
- Notwithstanding subsection (a) above and Section 6.10(a) of this By-law, one *driveway* per *dwelling* is permitted on a block designated for *semi-detached, townhouse, and back-to-back townhouse dwellings* provided the *driveway* meets all provisions of this By-law as they would apply to the future *lot*.
- Notwithstanding subsection (a) above, two *driveways* are permitted on a *lot* with a *duplex dwelling*.

## 5.8.4 Driveway Setbacks

- A *driveway* crossing a *front lot line* on a *corner lot* or *through corner lot* shall be located no further from the *interior side lot line* than a distance equal to the *minimum interior side yard* required for the *dwelling*, plus the maximum width of the *driveway* permitted on the lot, plus 1.0 metre, measured at the point of where the *driveway* crosses the *front lot line*. (2021-068)
- Subsection (a) above shall not apply where a *driveway* is located a minimum of 15.0 metres from the point of intersection of the *front* and *flankage lot lines* or where the *lot lines* do not intersect the point of intersection of the projection of the *front* and *flankage lot lines*, measured at the point of where the *driveway* crosses the *front* or *flankage lot line*. (2021-068)
- A *driveway* crossing a *flankage lot line* on a *corner lot* or *through corner lot* shall be located a minimum of 15.0 metres from the point of intersection of the *front* and *flankage lot lines* or where the *lot lines* do not intersect the point of intersection of the projection of the *front* and *flankage lot lines*, measured at the point of where the *driveway* crosses the *flankage lot line*. (2015-079) (2021-068)
- Notwithstanding subsection (a) above, a *driveway* crossing a *front lot line* on a *lot* with a *semi-detached, back-to-back townhouse, or townhouse dwelling* may be located on the same *interior side lot line* having the common wall shared between the two *dwellings*. (2015-018)
- Where a *private garage* is detached from the main *building* and is accessed by a *driveway* crossing the *flankage lot line*, the *driveway* shall be located no closer to the *rear lot line* than the applicable minimum setback required for the *private garage*, measured at the point where the *driveway* crosses the *flankage lot line*.
- Where a *private garage* is detached from the main *building* and is accessed by a *driveway* crossing the *front lot line*, the *driveway* shall be located no closer to the *side lot line* than the *minimum interior side yard* required for the *private garage*, measured at the point where the *driveway* crosses the *front lot line*.

Off the lot and on the Town or Regional road allowance, driveway aprons cannot cross the projection of the side lot line where it intersects the surfaced edge of the road. Contact the Engineering and Construction department for more information.



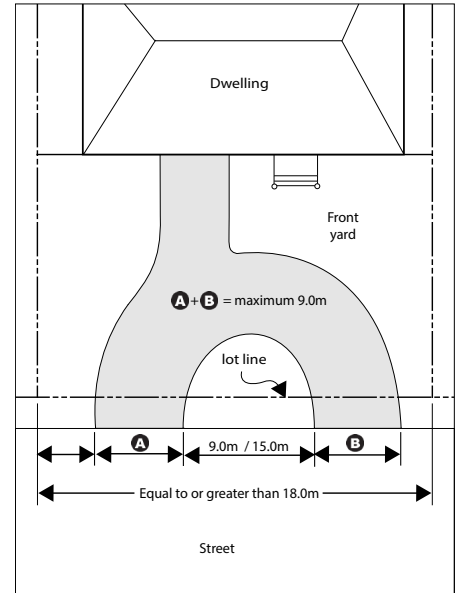
The maximum distance regulations for driveways on corner lots pull the driveway as far back from the intersection as possible.

These distances equal the maximum width of the driveway permitted on the applicable lots – 9.0 metres in the RL1 and RL2 Zones, with a sliding scale down to 6.0 metres in the other zones – plus the minimum interior side yard in the applicable zone (A), plus 1.0 metre.

# Parking, Loading, & Stacking Lane Provisions

## 5.8.5 Circular Driveways

- a) The maximum coverage of a circular *driveway* shall be 50% of the area of the *yard* in which the circular *driveway* is located.
- b) The maximum cumulative width of the *driveway* entrances, measured at the point of crossing the *front lot line* and *flankage lot line*, shall be 9.0 metres.
- c) The *separation distance* between two *driveway* entrances on the same *lot* that cross the same *lot line*, measured at the point of crossing the applicable *lot line*, shall be a minimum of:
  - i) 9.0 metres if the *driveway* has access to an *arterial road* or to a *collector road* that is within 75.0 metres of an *arterial road*; or,
  - ii) 15.0 metres if the *driveway* has access to a *local road* or a *collector road* that is greater than 75.0 metres from an *arterial road*.



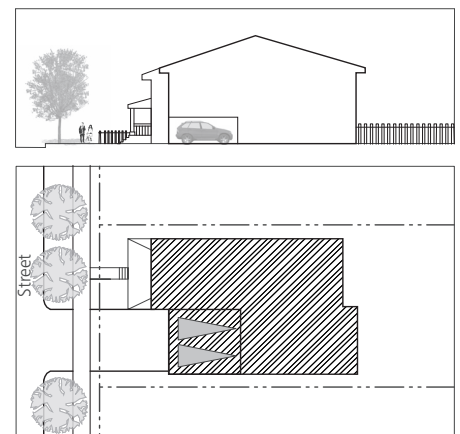
On larger lots, two driveway entrances are permitted in order to accommodate circular driveways.

## 5.8.6 Private Garage Maximum Sizes

- a) For *detached dwellings* on *lots* having less than 12.0 metres in *lot frontage*, the maximum total *floor area* for a *private garage* shall be 28.0 square metres.
- b) For *detached dwellings* on *lots* having greater than or equal to 12.0 metres in *lot frontage*, the maximum total *floor area* for a *private garage* shall be 45.0 square metres.
- c) Notwithstanding subsection (b) above, for *lots* located within the Residential Low (RL1) *Zone* the maximum total *floor area* for a *private garage* shall be 56.0 square metres and the maximum width of the entrance to the *private garage* shall be 9.0 metres.
- d) For *semi-detached dwellings*, the maximum total *floor area* for a *private garage* shall be 28.0 square metres.

## 5.8.7 Private Garage Setbacks and Projections

- a) Where a *private garage* has a vehicle entrance facing the *flankage lot line* or *front lot line* and the applicable *minimum yard* is less than 5.7 metres, the *private garage* shall be set back a minimum of 5.7 metres from the applicable *lot line*. (2017-025)
- b) Notwithstanding any other provision of this By-law, where a *private garage* is accessed by a *driveway* crossing a *rear lot line* from a *lane*, the *private garage* shall be permitted to be located a minimum of 0.75 metres from the *rear lot line*.
- c) Attached or detached *private garages* shall not project more than 1.5 metres from the face of the longest portion of the *main wall* containing *residential floor area* that is on the *first storey* of the *dwelling* oriented toward the *front lot line* or *flankage lot line*. (2016-013)
- d) Where the opening providing access for a *motor vehicle* of a *private garage* is oriented toward an *interior side lot line*, the *private garage* shall be set back 7.0 metres from the *interior side lot line*.



Where the minimum front or flankage yard required on a lot is less than 5.5 metres, the private garage must still be set back 5.7 metres from the applicable lot line.



## Parking, Loading, & Stacking Lane Provisions

### 5.9 Parking Provisions for Other Vehicles Associated with Residential Uses

This Section applies to the parking of the applicable vehicles on any lands used for a *detached dwelling, semi-detached dwelling, duplex dwelling, linked dwelling, live-work dwelling, townhouse dwelling, back-to-back townhouse dwelling* in any Residential, Mixed Use or Environmental Zone.

#### 5.9.1 Commercial Vehicles

Parking in a *driveway* of one *commercial vehicle* is permitted provided the *commercial vehicle*:

- a) Does not exceed a gross weight of 4,500.0 kilograms registered with the Province; (2015-018)
- b) Does not exceed a maximum vehicle length of 6.0 metres; and,
- c) Does not exceed a maximum vehicle height of 2.3 metres.

#### 5.9.2 Trailers and Recreational Vehicles

The following regulations shall apply to parking of personal *trailers* and *recreational vehicles*:

- a) Any *trailer* or *recreational vehicle* that does not exceed a *height* of 2.3 metres and a maximum length of 7.0 metres exclusive of hitch or tongue may be parked in any *flankage yard, interior side yard* or *rear yard* year-round.
- b) Any *trailer* or *recreational vehicle* that does not exceed a *height* of 2.3 metres and a maximum length of 7.0 metres exclusive of hitch or tongue may be parked on a *driveway* only between May 1<sup>st</sup> and October 31<sup>st</sup>.
- c) Any *trailer* or *recreational vehicle* that exceeds a *height* of 2.3 metres and a maximum length of 7.0 metres exclusive of hitch or tongue may be parked on a *lot* only between May 1<sup>st</sup> and October 31<sup>st</sup> and only in any *flankage yard, interior side yard, or rear yard*. The *trailer* or *recreational vehicle* shall be set back 10.5 metres from the *flankage lot line*.
- d) The maximum total number of *trailers* and *recreational vehicles* permitted on a *lot* is 2.

*Any trailer or recreational vehicle may be parked in a private garage or accessory building year-round.*

*A parked trailer or recreational vehicle cannot encroach into any municipal right-of-way, including parallel parking at the bottom end of the driveway. This rule is enforced under the Town's Traffic By-law 1984-1, as amended.*

## Parking, Loading, & Stacking Lane Provisions

### 5.10 Surface Parking Area Setbacks

Notwithstanding any other provision of this By-law, a *surface parking area* excluding a *driveway* in the following *Zones* shall be set back a minimum of 1.8 metres from any *building* or *structure*:

- a) Any Residential Medium RM *Zone*;
- b) Residential High RH *Zone*;
- c) Any Mixed Use *Zone*;
- d) Any Commercial *Zone*;
- e) Any Employment *Zone*;
- f) Institutional I *Zone*;
- g) Community Use CU *Zone*; and,
- h) Any Open Space *Zone*.

### 5.11 Vehicles Prohibited in Residential and Mixed Use Zones

The parking and storage of the following vehicles are prohibited outside of a *building* on all *lots* in a Residential and Mixed Use *Zone*:

- a) Unlicensed *motor vehicles*;
- b) *Motor vehicles* equipped with more than three axles, excluding space wheels designed to support the vehicle when parked or stored;
- c) Buses;
- d) Vehicles designed to run only on rails;
- e) Farm tractors;
- f) Construction vehicles, except for those needed for construction uses permitted under Section 4.25.1 of this By-law;
- g) Tracked vehicles, except for snowmobiles; and,
- h) Vehicles in a wrecked, dismantled, or inoperative condition.

Portions of this by-law not yet in effect are covered with a blue tone. This version consolidates all amendments and orders of the OMB up to the consolidation date shown below. Contact the Building Services or Planning Services departments for more information.

# Residential Zones

## 6.1 List of Applicable Zones

Residential Low	RL1, RL2, RL3, RL4, RL5, RL6 RL7, RL8, RL9, RL10, RL11
Residential Uptown Core	RUC
Residential Medium	RM1, RM2, RM3, RM4
Residential High	RH

## 6.2 Permitted Uses

Uses permitted in the Residential Zones are denoted by the symbol “✓” in the column applicable to that Zone and corresponding with the row for a specific permitted use in Tables 6.2.1 and 6.2.2, below.

Table 6.2.1: Permitted Uses in the Residential Low Zones and the Residential Uptown Core Zone (2017-025)						
		RL1, RL2, RL3, RL4, RL5, RL6	RL7, RL8, RL9	RL10	RL11	RUC
<i>Accessory dwelling unit (2023-024)</i>		✓	✓	✓	✓	✓
<i>Bed and breakfast establishment</i>	(1)	✓	✓	✓	✓	✓
<i>Conservation use</i>		✓	✓	✓	✓	✓
<i>Day care</i>	(1)	✓	✓	✓	✓	✓
<i>Detached dwelling</i>		✓	✓	✓		✓
<i>Duplex dwelling</i>				✓		
<i>Emergency service facility</i>		✓	✓	✓	✓	✓
<i>Emergency shelter</i>						
<i>Home occupation</i>		✓	✓	✓	✓	✓
<i>Linked dwelling</i>					✓	
<i>Lodging house</i>	(1)(2)	✓			✓	✓
<i>Park, public</i>		✓	✓	✓	✓	✓
<i>Place of worship</i>						
<i>Private home day care</i>	(1)	✓	✓	✓	✓	✓
<i>Private school</i>						
<i>Semi-detached dwelling</i>			✓			✓
<i>Short-term accommodation (2023-024)</i>	(1)	✓	✓	✓	✓	✓
<i>Stormwater management facility</i>		✓	✓	✓	✓	✓
<i>Townhouse dwelling</i>						✓

### Additional Regulations for Permitted Uses Table 6.2.1

1. A maximum of one of the uses subject to this footnote shall be permitted on a lot. (2023-024)
2. The maximum number of lodging units shall be 3.
3. Permitted only on a corner lot.

# Residential Zones

<b>Table 6.2.2: Permitted Uses in the Residential Medium and Residential High Zones (2017-025)</b>					
	<b>RM1</b>	<b>RM2</b>	<b>RM3</b>	<b>RM4</b>	<b>RH</b>
<i>Accessory Dwelling Unit (2023-024)</i>	✓				
<i>Apartment dwelling</i>				✓	✓
<i>Back-to-back townhouse dwelling</i>		✓			
<i>Conservation use</i>	✓	✓	✓	✓	✓
<i>Day care</i> (1)	✓	✓	✓	✓	✓
<i>Emergency service facility</i>	✓	✓	✓	✓	✓
<i>Home occupation</i>	✓	✓	✓	✓	✓
<i>Long term care facility</i>			✓	✓	✓
<i>Park, public</i>	✓	✓	✓	✓	✓
<i>Private home daycare</i> (1)	✓	✓	✓	✓	✓
<i>Retail store, accessory</i>					✓
<i>Retirement home</i>			✓	✓	✓
<i>Short-term accommodation</i> (1)	✓	✓	✓	✓	✓
<i>Stacked townhouse dwelling</i>			✓		
<i>Stormwater management facility</i>	✓	✓	✓	✓	✓
<i>Townhouse dwelling</i>	✓				

### Additional Regulations for Permitted Uses Table 6.2.2

1. A maximum of one of the *accessory uses* subject to this footnote shall be permitted in a *dwelling* or an *accessory dwelling unit* associated with the main *dwelling*. (2023-024)



# Residential Zones

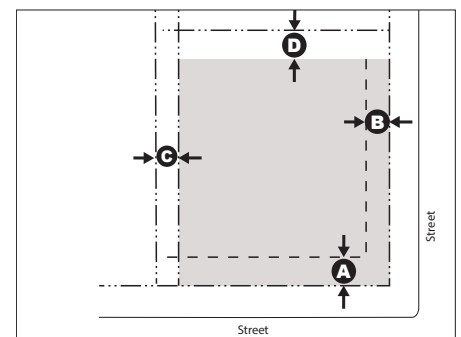
## 6.3 Regulations

The regulations for *lots* in a Residential *Zone* are set out in Tables 6.3.1, 6.3.2, 6.3.3, 6.3.4, 6.3.5, 6.3.6, 6.3.7, 6.3.8, and 6.3.9, below.

	RL1	RL2	RL3	RL4	RL5	RL6
Minimum <i>lot area</i>	1,393.5 m <sup>2</sup> (2)	836.0 m <sup>2</sup> (2)	557.5 m <sup>2</sup> (2)	511.0 m <sup>2</sup> (2)	464.5 m <sup>2</sup> (2)	250.0 m <sup>2</sup> (3)
Minimum <i>lot frontage</i>	30.5 m (2)	22.5 m (2)	18.0 m (2)	16.5 m (2)	15.0 m (2)	11.0 m (3)
Minimum <i>front yard</i> <b>A</b>	10.5 m (-0)	9.0 m (-0)	7.5 m (-0)	7.5 m (-0)	7.5 m (-0)	3.0 m
Minimum <i>flankage yard</i> <b>B</b> <i>(2016-013)</i>	4.2 m	3.5 m	3.5 m	3.5 m	3.5 m	3.0 m (8)
Minimum <i>interior side yard</i> <b>C</b>	4.2 m	2.4 m (4)	2.4 m and 1.2 m (5)	2.4 m and 1.2 m (5)	2.4 m and 1.2 m (5)	1.2 m and 0.6 m
Minimum <i>rear yard</i> <b>D</b>	10.5 m	7.5 m (6)	7.5 m (6)	7.5 m (6)	7.5 m (6)	7.0 m (6)
Maximum number of <i>storeys</i>	n/a (-0)	n/a (-0)	n/a (-0)	n/a (-0)	n/a (-0)	2
Maximum <i>height</i>	10.5 m (-0)	12.0 m (-0)	12.0 m (-0)	12.0 m (-0)	12.0 m (-0)	10.5 m
Maximum <i>dwelling depth</i>	20.0 m (1)	n/a	n/a	n/a	n/a	n/a
Maximum <i>residential floor area ratio</i> <i>(2017-025)</i>	n/a (-0)	n/a (-0)	n/a (-0)	n/a (-0)	n/a (-0)	75% (7)
Maximum <i>lot coverage for the dwelling</i> <i>(2017-025)</i>	30% (-0)	30% (-0)	35% (-0)	35% (-0)	35% (-0)	n/a

### Additional Regulations for Zone Regulations Table 6.3.1

- 0. Where lands are shown on the Part 19 Maps of this By-law to be in the -0 Suffix *Zone*, the regulations of Section 6.4 shall apply.
- 1. A single *storey* extension that is less than or equal to 7.5 metres in *height* is permitted to extend an additional 3.0 metres into a *rear yard* provided that *minimum interior side yards* and *minimum flankage yards* of 9.0 metres are established on both sides of the single *storey* extension.
- 2. Within Plans of Subdivision registered after November 1, 1965, the *minimum lot frontage* may be reduced by 4.5 metres and *minimum lot area* proportionately reduced on a *lot* provided the average *lot frontage* and *lot area* throughout the entire Plan of Subdivision are not less than the minimum shown in the regulations tables for these *zones*.
- 3. For a *corner lot*, the *minimum lot area* shall be 285.0 square metres and the *minimum lot frontage* shall be 12.5 metres.
- 4. The *minimum interior side yard* shall be reduced to 1.2 metres on one side only where an attached *private garage* meeting the minimum dimension requirements of Section 5.2.3(b) of this By-law is provided.
- 5. The *minimum interior side yard* shall be reduced to 1.2 metres on both sides where an attached *private garage* meeting the minimum dimension requirements of Section 5.2.3(b) of this By-law is provided.
- 6. The *minimum rear yard* shall be reduced to 3.5 metres on a *corner lot* where an *interior side yard* of 3.0 metres is provided.
- 7. The maximum *residential floor area* shall be the lesser of 355.0 square metres or the potential maximum *residential floor area* available at 75% *residential floor area ratio*. *(2017-025)*
- 8. The minimum setback from a daylight triangle shall be 0.7 metres. *(2016-013)*



The black circles are letters corresponding to the applicable yard in the regulations table. The shaded area represents the potential building envelope remaining once minimum yards are removed. This area is further reduced by maximum lot coverage and maximum floor area standards where those standards apply.

# Residential Zones

Table 6.3.9: Regulations in the Residential High (RH) Zone	
	Apartment dwellings
Minimum landscaping coverage	10%

The “-0” Suffix Zone replaces the R0 Zone framework from the previous 1984 Zoning By-law.

## 6.4 The -0 Suffix Zone

Notwithstanding any other provision of this By-law, the following regulations shall apply on lands subject to the -0 Suffix Zone.

### 6.4.1 Residential Floor Area Ratio (2021-068)

- a) Where residential floor area is located on the same level as an attic, residential floor area shall be calculated from the exterior face of the knee wall.
- b) Where attic space is located on the same level as a permitted storey including an attic above an attached private garage and the attic shares a common wall(s) in whole or in part with the permitted storey and exceeds a headroom clearance below the roof framing of 1.8 metres at any given point, the entire attic space shall be included in the residential floor area calculation.
- c) Where any dwelling having more than one storey has an attached private garage, the floor area of the private garage shall be included in the residential floor area calculation if:
  - i) The attached private garage has a height equal to or greater than 6.0 metres, measured from the finished floor level of the private garage to the highest point of the structure containing the private garage; and
  - ii) The residential floor area located directly above the private garage is less than 25% of the private garage floor area below.
- d) The maximum residential floor area ratio for a detached dwelling shall be as shown in Table 6.4.1, below:

Ontario Superior Court of Justice (Divisional Court) Order File #DC-16-0065-00 applies to 2108 -2134 Lakeshore Rd E and 2061 Lakeshore Rd E. Refer to court order for regulations related to height and lot coverage for the noted properties.

Table 6.4.1: Maximum Residential Floor Area Ratio in the -0 Suffix Zones	
Lot area	Maximum Residential Floor Area Ratio
Less than 557.5 m <sup>2</sup>	43%
557.50 m <sup>2</sup> – 649.99 m <sup>2</sup>	42%
650.00 m <sup>2</sup> – 742.99 m <sup>2</sup>	41%
743.00 m <sup>2</sup> – 835.99 m <sup>2</sup>	40%
836.00 m <sup>2</sup> – 928.99 m <sup>2</sup>	39%
929.00 m <sup>2</sup> – 1,021.99 m <sup>2</sup>	38%
1,022.00 m <sup>2</sup> – 1,114.99 m <sup>2</sup>	37%
1,115.00 m <sup>2</sup> – 1,207.99 m <sup>2</sup>	35%
1,208.00 m <sup>2</sup> – 1,300.99 m <sup>2</sup>	32%
1,301.00 m <sup>2</sup> or greater	29%

REVISED AFTER APPEAL

Lot area 603.69

Their Numbers  
 Ground 139.109  
 Second 149.606-7.636(STAIRS)  
 Total 281.079 46.56%

My numbers  
 Ground 139.101  
 second 149.19  
 remove -7.67  
 Total 280.61 46.48%

# Residential Zones

## 6.4.2 Maximum Lot Coverage

- a) For a lot with a *detached dwelling*, the maximum *lot coverage* shall be as shown in Table 6.4.2, below.

Parent Zone	Where the detached dwelling is less than or equal to 7.0 metres in height	Where the detached dwelling is greater than 7.0 metres in height
RL1 and RL2 Zones	Shall be equal to the maximum <i>lot coverage</i> for the parent zone	25%
RL3, RL4, RL5, RL7, RL8, and RL10 Zones		35%

- b) Notwithstanding section 6.5.2(e) of this By-law, no additional *lot coverage* is permitted for *accessory buildings* and *structures* in a -0 Suffix Zone.

*All buildings and structures on a lot in a -0 Suffix Zone shall count toward the same lot coverage maximum.*

## 6.4.3 Minimum and Maximum Front Yard 6.98 exist measured-1= 5.98 (they took 7.1m as existing, so 7.1-1=6.1 they are proposing 6.124 OK

- a) The *minimum front yard* on all *lots* shall be the *yard* legally existing on the effective date of this By-law less 1.0 metre.
- b) Notwithstanding subsection (a) above, where a lot was vacant on the effective date of this By-law or a new lot is created after the effective date of this By-law, the *minimum front yard* shall be equal to the *minimum front yard* required for the parent zone.
- c) The *maximum front yard* for new *dwellings* on all *lots* shall be 5.5 metres greater than the *minimum front yard* for the applicable *lot*.  
(2017-025)

*An existing lot where a new dwelling or addition is proposed that would bring the dwelling closer to the street requires relief from this By-law. Contact Planning Services for more information.*

## 6.4.4 Main Wall Proportionality

The following *main wall* proportion requirements apply to new *buildings* constructed after the effective date of this By-law:

- a) A minimum of 50% of the length of all *main walls* oriented toward the *front lot line* shall be located within the area on the *lot* defined by the *minimum* and *maximum front yards*.
- b) For clarity, Section 6.4.4 does not apply to additions to *buildings* legally existing on the effective date of this By-law.

## 6.4.5 Balcony and Deck Prohibition

*Balconies* and *uncovered platforms* are prohibited above the floor level of the *first storey* on any *lot* in the -0 Suffix Zone.

## 6.4.6 Height and Storeys

- a) The maximum number of *storeys* shall be 2.
- b) *Floor area* is prohibited above the second *storey*.
- c) The maximum *height* shall be 9.0 metres.

# Residential Zones

## 6.5 Accessory Buildings and Structures

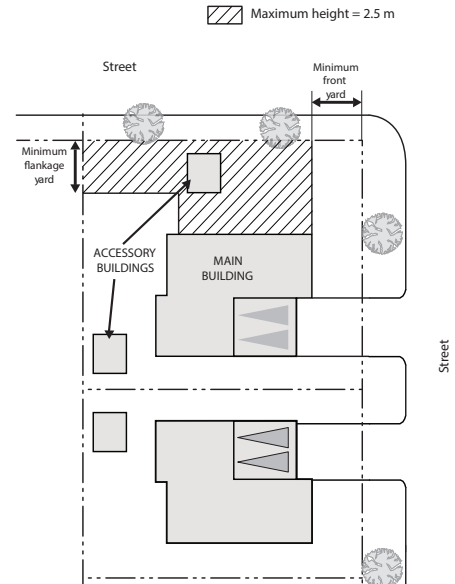
The following regulations apply to *accessory buildings and structures*:

### 6.5.1 General Provisions

- a) An *accessory building or structure* shall be located on the same *lot* as primary *use* to which it is associated.
- b) An *accessory building or structure* shall not be used for human habitation or an occupation for gain or profit, unless otherwise permitted by this By-law.

### 6.5.2 Regulations (2021-068)

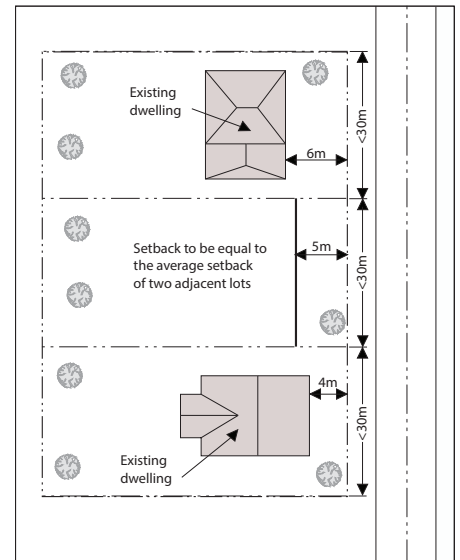
- a) Subject to subsection b) below, the *minimum yards* for an *accessory building or structure* shall be the same as for the *dwelling* on the *lot*.
- b) The *minimum yard* from any *lot line* for an *accessory building or structure* located in a *flankage* or *rear yard* shall be 0.6 metres, provided that the *accessory building or structure* has a *minimum separation distance* of 2.0 metres from the *dwelling*.
- c) Subject to subsection d) below, the *maximum height* for an *accessory building or structure* shall be 4.0 metres measured from *grade*.
- d) The *maximum height* of *accessory building or structure* shall be reduced to 2.5 metres measured from *grade* where the *accessory building or structure* is located less than 3.5 metres from a *flankage lot line*.
- e) The *maximum lot coverage* shall be the greater of 5% of the *lot area* or 42.0 square metres of *building area*, except as specified otherwise by this By-law. This *lot coverage* shall be additional to the *maximum lot coverage* for the *dwelling*.



Property owners should check for easements on their lot prior to placing an accessory building or structure. Most easements prohibit buildings and structures. The easement holder may demand that the building or structure be moved.

## 6.6 Reduced Minimum Front Yard in Residential Zones

The *minimum front yard* for any *dwelling* erected between *dwelling*s that legally existed on the effective date of this By-law in the same block with *yards* abutting the same *road* that, when averaged, are less than the minimum requirement of the applicable *zone* shall be the average of the *yards* abutting the same *road* established by the nearest *dwelling* on each side. (2015-079)



In this scenario, the minimum front yard is reduced to 5.0 metres by Section 6.6.

In the -0 Suffix Zone, Section 6.6 can only be used where the average is less than the minimum front yard in the parent chart.



---

## Residential Zones

### 6.7 Day Cares in Residential Zones

The following additional regulations apply to a *day care*:

- a) A *day care* is permitted only on a *lot* where the *front lot line* or *flankage lot line* abuts an *arterial road* or *major collector road*. (2015-079)
- b) The *minimum interior side yard* is 4.2 metres.
- c) Notwithstanding Section 5.8.2(b) and (c) of this By-law, the maximum width of a *driveway* in a *front* or *flankage yard* shall be 6.0 metres, with an additional 5.7 metres of continuous hard surface permitted.
- d) Playground equipment equal to or greater than 1.8 metres in *height* shall be set back a minimum of 5.0 metres from all *lot lines*.
- e) Playground equipment less than 1.8 metres in *height* shall be set back a minimum of 2.0 metres from all *lot lines*.

### 6.8 Parking Regulations in the Residential Uptown Core (RUC) Zone

The following provisions apply to *parking spaces*, *driveways*, and *private garages* in the Residential Uptown Core (RUC) Zone.

- a) The minimum *separation distance* between a *dwelling unit* and a *private garage* or *parking space* on a *lot* having a *lot depth* equal to or greater than 30.0 metres shall be 6.0 metres.
- b) Subsection (a) above shall not apply to any attached *private garage* erected prior to the effective date of this By-law.
- c) A *driveway* on a *lot* containing a *detached dwelling*, *semi-detached dwelling*, or *townhouse dwelling* shall only be permitted to cross the *rear lot line*.
- d) A *private garage* and a *parking space* are only permitted in a *rear yard*.
- e) Notwithstanding subsection (d) above, an outdoor *parking space* is permitted to encroach into a *flankage yard* provided the majority of the *parking space* is located within the *rear yard*.
- f) Notwithstanding Section 5.2 of this By-law, no parking spaces shall be required for a *retail store* located on a *lot* in the Residential Uptown Core (RUC) Zone.

### 6.9 Parking Structures in Residential Zones

The following provisions apply to *parking structures*.

- a) The storage of vehicles for repair is prohibited in a *parking structure*.
- b) No setbacks or *yards* shall be required for any portion of a *parking structure* including stairways, and other similar facilities, that at no point is more than 1.37 metres in height above the elevation of the nearest point on the nearest *lot line*, except:
  - i) Where abutting any Residential Zone where the minimum setback shall be 1.0 metre; and,
  - ii) Ventilator shafts shall be set back a minimum of 3.5 metres from any *lot line*.

## Residential Zones

### **6.10 Separation of Dwelling Units** (2021-068)

- a) The proposed *rear lot lines* within a *lot* or block designated for *back-to-back townhouse dwelling units* will be deemed to be the *rear lot lines* for zoning purposes until the *lot lines* are formally established.
- b) The entirety of the *lot* or block designated for *semi-detached, townhouse, back-to-back townhouse* and *stacked townhouse dwellings* shall be used for the purposes of determining compliance with the applicable zoning regulations.
- c) For a *common element condominium*, the applicable zoning regulations shall apply to the proposed *lots* or blocks to be parcels of tied land until the *lots* or *blocks* are formally established.

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/173/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
H. Dhadwar B. Dhadwar	David Nelson  382 Bartos Drive Oakville ON, Canada L6K 3E6	2318 Bennington Gate CON 4 SDS PT LOT 3 RP 20R2390 PART 6

**Zoning of property:** RL1-0, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area 1301.00 m <sup>2</sup> or greater shall be 29%.	To increase the maximum residential floor area ratio to 31%.

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow

all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

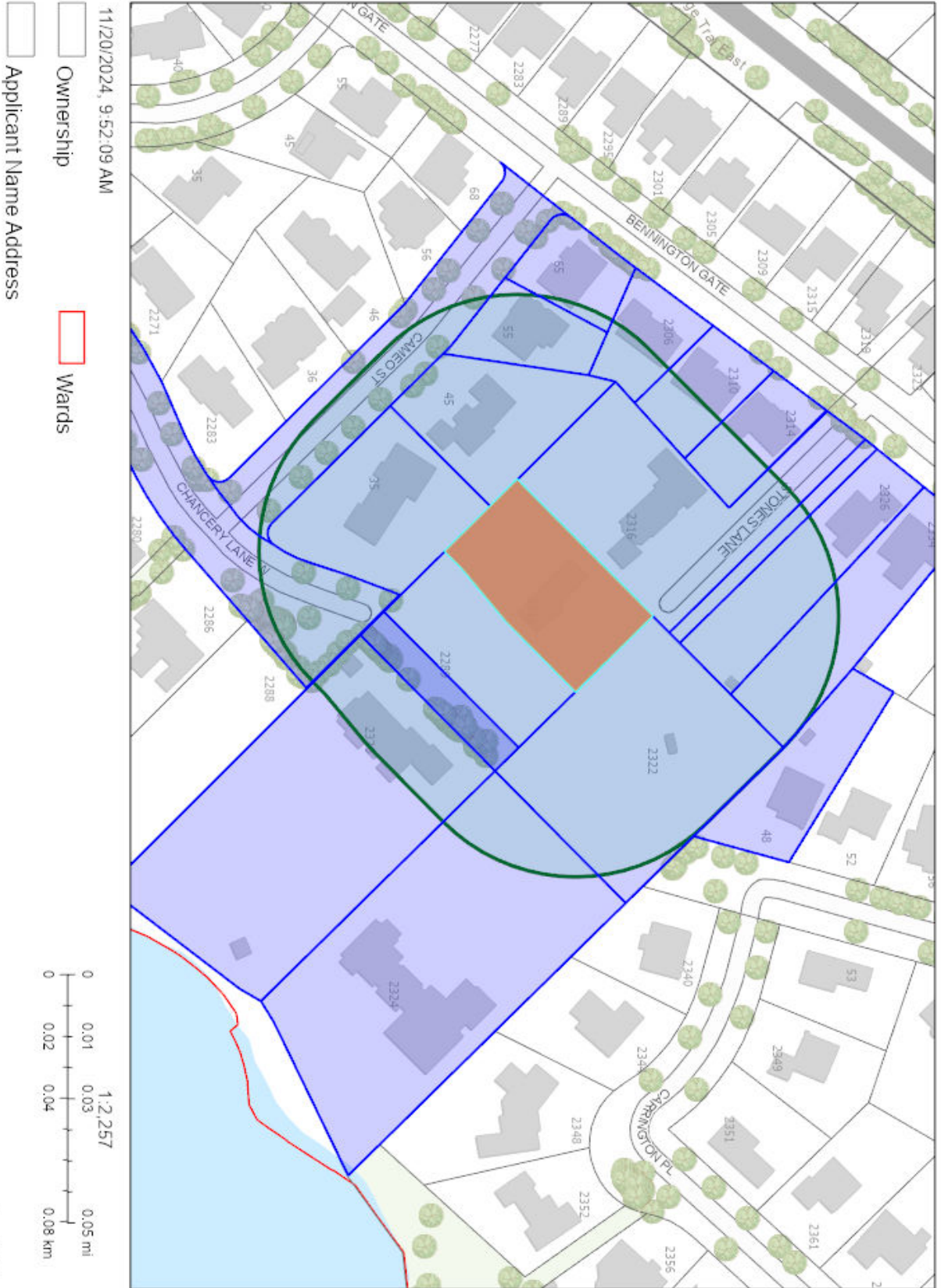
Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

November 22, 2024



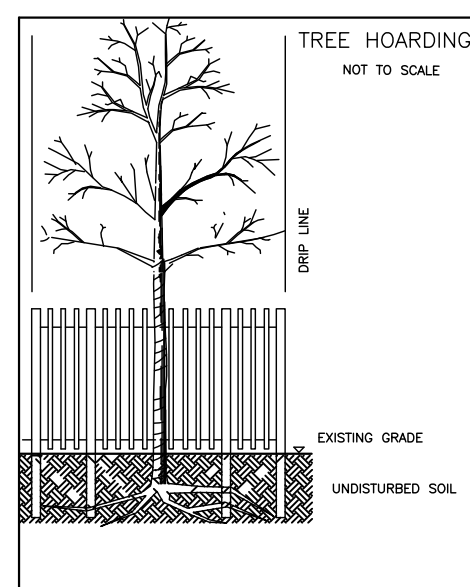
# CAV A/173/2024 - 2318 Bennington Gate





**TREE PROTECTION NOTE**

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDINGS, ERRECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
- GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ) AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.



TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCES REQUIRED
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

**EROSION AND SILTATION NOTES**

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
  - WEEKLY
  - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
  - FOLLOWING AN UNPREDICTED RAINFALL EVENT
  - DAILY DURING EXTENDED DURATION RAINFALL EVENTS
  - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MDECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING-NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS/REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL/RELEASE OF DELETERIOUS MATERIAL ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MDECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

**LANDSCAPE AREA CALCULATION:**

TOTAL FRONT YARD AREA	816.08 SQ.M.
DRIVEWAY AREA	317.71 SQ.M.
WALKWAY AREA	32.84 SQ.M.
TOTAL HARD SURFACE AREA	350.55 SQ.M.
TOTAL HARD SURFACE AREA %	42.96%

- DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
- TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

**STANDARD DEVELOPMENT NOTES:**

**(A) TRANSPORTATION AND WORKS DEPARTMENT**

- MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
- RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

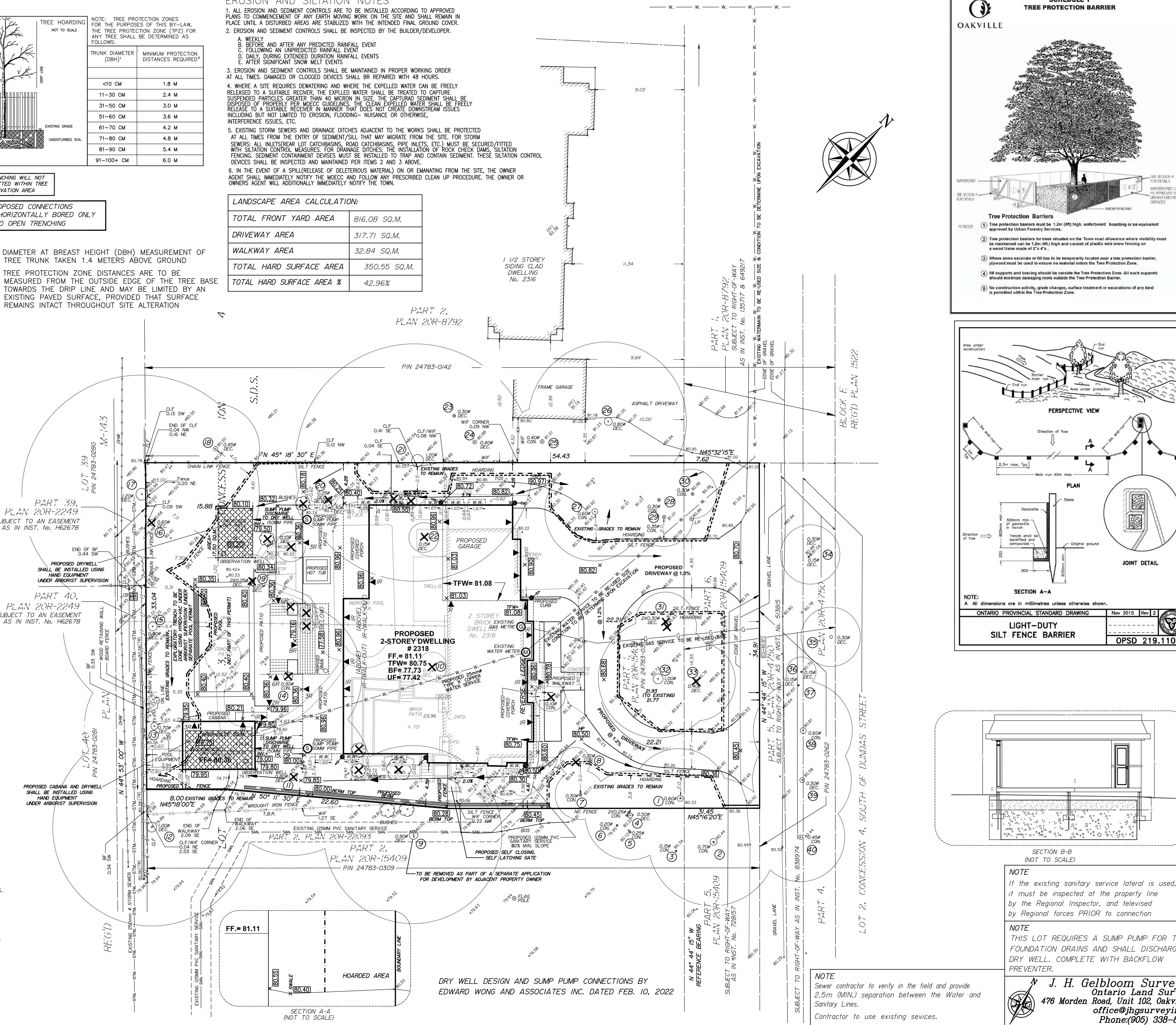
**(B) GENERAL NOTES**

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
- WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

**(C) UTILITIES CONNECTION**

- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
- WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
- STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

**BENNINGTON GATE**



**SCHEDULE 1 TREE PROTECTION BARRIER**

**Tree Protection Barriers**

- Tree protection barriers must be 1.2m (4ft) high, waterproof hoarding or an equivalent approved by Urban Forestry Services.
- Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of plastic with snow fencing on a wood frame made of 2"x4"s.
- Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- All supports and bracing should be outside the Tree Protection Zone. All such supports should ensure no damage to the Tree Protection Barrier.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

**PERSPECTIVE VIEW**

**PLAN**

**JOINT DETAIL**

**SECTION A-A**

**SECTION B-B (NOT TO SCALE)**

**LEGEND**

CLF	Chain Link Fence	INV.	Invert Elevation
GF	Ground Fence	EG	Established Grade
TFW	Top of Foundation Wall	ES	Proposed Elevation
MH	Maintenance Hole	T.B.R.	To Be Removed
FF	Finished Floor	TOS	Top of Slope
UP	Utility Pole	BOS	Bottom of Slope
DEC.	Deciduous Tree	CSP	Corrugated Steel Pipe
CON.	Coniferous Tree	WV	Water Valve
#	Diameter	---	Hoarding
TOC	Top of Curb	--- </td <td>Existing Elevation</td>	Existing Elevation
BOT	Bottom of Curb	--- </td <td>Rain Water Leader</td>	Rain Water Leader
Y	Entrance	--- </td <td>Embankment</td>	Embankment
H	High Point	--- </td <td>---<!--</td--> </td>	--- </td
TRW	Top of Retaining Wall	--- </td <td>---<!--</td--> </td>	--- </td
BRW	Bottom of Retaining Wall	X	Tree to be Retained
3	Arborist's Tree Number	--- </td <td>---<!--</td--> </td>	--- </td

**NOTE:**  
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2  
OPSD 219.110

**SITE, SERVICE & GRADING PLAN**

**PART OF LOT 3, CONCESSION 4, S.D.S. SOUTH OF DUNDAS STREET**  
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR, COUNTY OF HALTON)

**TOWN OF OAKVILLE**  
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 200  
**J.H. Gelbloom Surveying Limited**  
Ontario Land Surveyor  
2024

**METRIC**  
Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED (METRES)	ACTUAL OR PROPOSED (METRES)
OAKVILLE BY-LAW	204-04	
ZONING DESIGNATION	RES-10	
LOT AREA (MAXIMUM)	1933.50 SQ.M.	2130.42 SQ.M.
LOT FRONTAGE (MINIMUM)	30.50	34.95
LOT COVERAGE (MAXIMUM)	530.61 SQ.M.	519.24 SQ.M.
LOT COVERAGE % (MAXIMUM)	25%	24.37%
RFA (MAXIMUM)	617.82 SQ.M.	660.36 SQ.M.
RFA/LOT RATIO (MAXIMUM)	29%	31.00%*
FRONT YARD SETBACK (MINIMUM)	20.93	21.77
SIDE YARD SETBACK (MINIMUM)	4.20 & 4.20	4.28 & 4.26
REAR YARD SETBACK (MINIMUM)	10.50	15.79
OVERALL HEIGHT	9.00	9.00

**SITE ADDRESS**  
2318 Bennington Gate  
OAKVILLE, ONTARIO

C H WORLD DESIGN & CONSTRUCTION LTD. (OWNER)  
2038 DUNCAN ROAD  
OAKVILLE, ONTARIO

REVISIONS

No.	Date	Description	By
1	MAR. 5, 2021	SITE & GRADING	M.K.
2	MAY 7, 2021	REVISED BUILDING	M.K.
3	AUG 30, 2021	ADDED DRY WELLS & GAS LINE	M.A.
4	OCT. 8, 2021	REVISED GRADING	A.M.
5	NOV. 22, 2021	ZONING COMMENTS	A.M.
6	DEC. 15, 2021	ZONING COMMENTS	A.M.
7	Mar. 4, 2022	REVISED DRY WELLS & TOWN COMMENTS	A.M.
8	MAY 24, 2022	CABANA LOCATION	A.M.
9	JUNE 15, 2022	ADDED EROSION CONTROL	A.M.
10	MAR 14, 2024	ADD WATER SERVICE TO CABANA	R.H.
11	JUNE 10, 2024	ADD WINDOW WELLS	R.H.
12	AUGUST 13, 2024	ADD LANDSCAPE	R.H.

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S.  
DATED : JANUARY 6, 2021

BENCHMARK  
Elevations are referred to the Town of Oakville Benchmark No. 182 having an Elevation of 82.2683 m.

**SURVEYOR'S CERTIFICATE**  
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 2318 Bennington Gate AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PROVIDE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

November 8, 2024  
DATE  
Andrew MUSA, O.L.S.

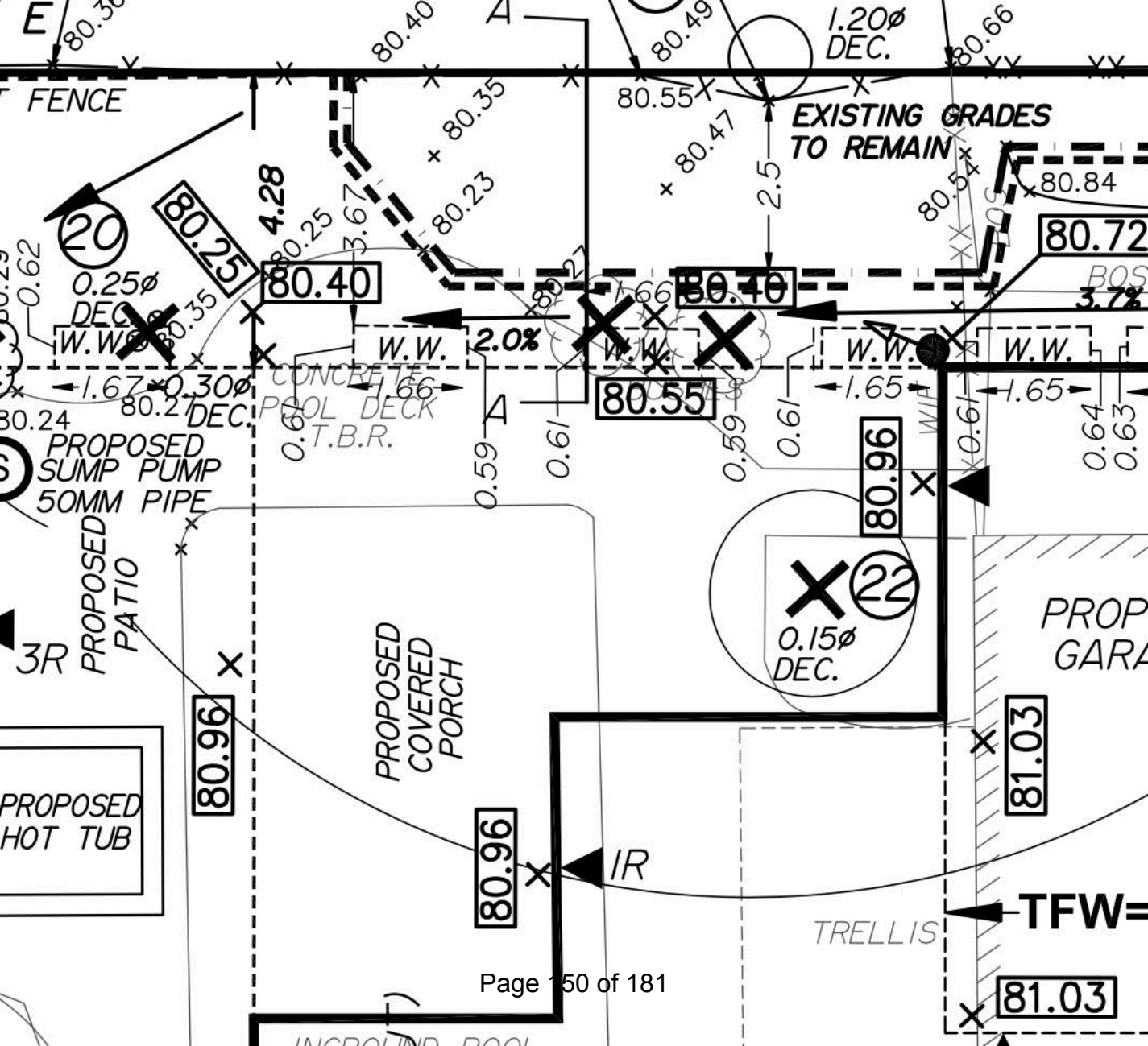
**NOTE**  
Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.  
Contractor to use existing services.

**DRY WELL DESIGN AND SUMP PUMP CONNECTIONS BY EDWARD WONG AND ASSOCIATES INC. DATED FEB. 10, 2022**

**J. H. Gelbloom Surveying Limited**  
Ontario Land Surveyor  
476 Morden Road, Unit 102, Oakville, Ont. L6K 3W4  
office@jhgssurveying.ca  
Phone(905) 338-8210

Project: 20-216  
Checked By: A.M.  
Drawn By: M.K.  
Party Chief: D.L.





FENCE

EXISTING GRADES  
TO REMAIN

PROPOSED  
SUMP PUMP  
50MM PIPE

PROPOSED  
PATIO

PROPOSED  
COVERED  
PORCH

PROP  
GARAGE

PROPOSED  
HOT TUB

TRELLIS

TFW=

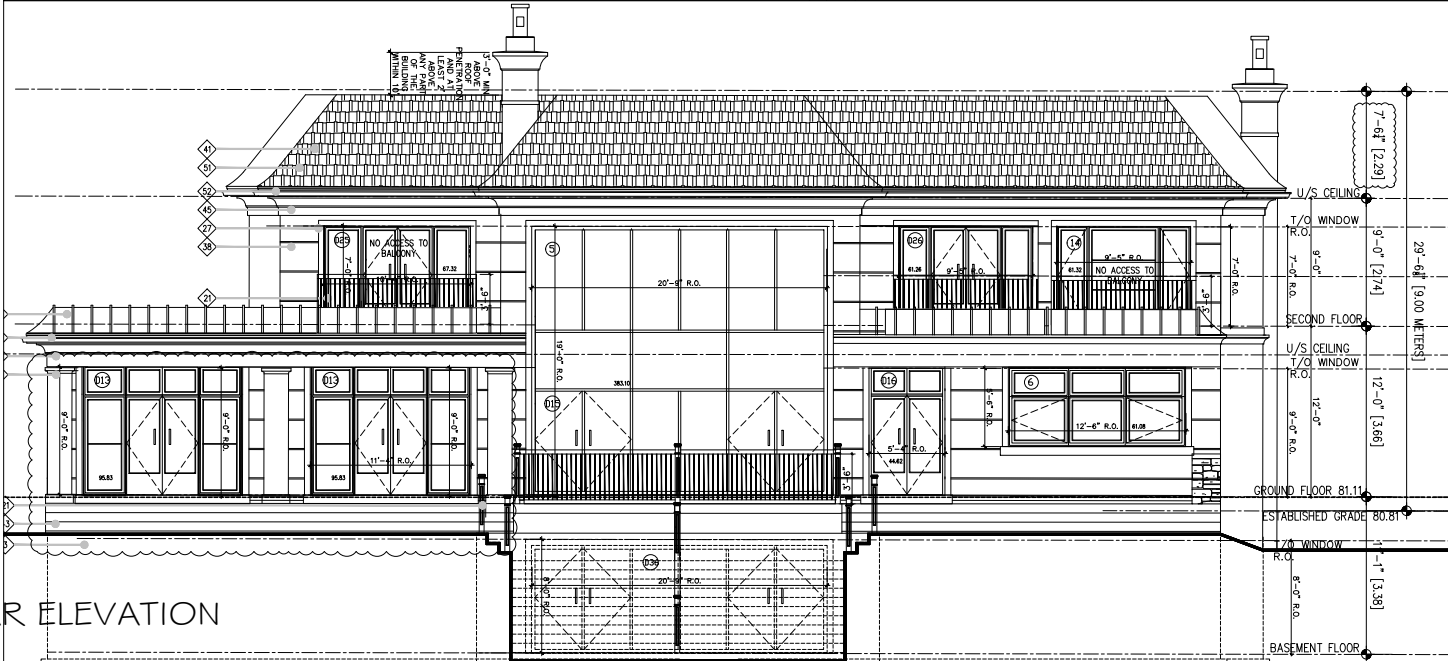
WINDOW SUMMARY	
PER O.B.C TABLE 9.10.15.4	
LEFT ELEVATION	
QUAN.	GLAZED OPENING SIZE
2.	12.85 SF, 25.70 SF.
2.	49.30 SF, 98.60 SF.
1.	37.30 SF.
2.	23.86 SF, 47.72 SF.
2.	74.47 SF, 148.94 SF.
1.	74.68 SF.
1.	78.86 SF.
SPATIAL CALCULATION	
WALL AREA	1914.48 SF.
LIMITING DISTANCE	
MAX. % OPENING	
OPENING ALLOWED	
OPENING PROVIDED	511.8 SF.

WINDOW NOTE:  
ALL PROPOSED WINDOWS TO BE TRIPLE GLAZED ARGON FILLED WITH MAXIMUM U VALUE OF 1.2.



WINDOW SUMMARY	
PER O.B.C TABLE 9.10.15.4	
LEFT ELEVATION	
QUAN.	GLAZED OPENING SIZE
1.	67.32 SF.
2.	95.83 SF, 191.66 SF.
1.	383.10 SF.
1.	61.26 SF.
1.	61.32 SF.
1.	44.62 SF.
1.	61.08 SF.
SPATIAL CALCULATION	
WALL AREA	1669.72 SF.
LIMITING DISTANCE	
MAX. % OPENING	
OPENING ALLOWED	
OPENING PROVIDED	870.36 SF.

WINDOW NOTE:  
ALL PROPOSED WINDOWS TO BE TRIPLE GLAZED ARGON FILLED WITH MAXIMUM U VALUE OF 1.2.



C. H. WORLD DESIGN & CONSTRUCTION Ltd.  
1559 Waterside Road, Mississauga, ON, L3J 1A6, (647) 298-1206

DESIGNED BY: Ni Ni  
B. C. I. N. #: 41885

- GENERAL NOTES
- Contractor to check all dimensions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.
  - These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
  - These drawings are for permit application purpose. Contractor must check all applicable By-laws and OBC. Any discrepancy must be reported to the designer.

NO.	DATE	REVISION	BY
1	17.02.27	REVISED PER CITY'S COMMENTS	

DRAWING  
FRONT ELEVATION  
&  
REAR ELEVATION

PROJECT  
DHADWAR RESIDENCE

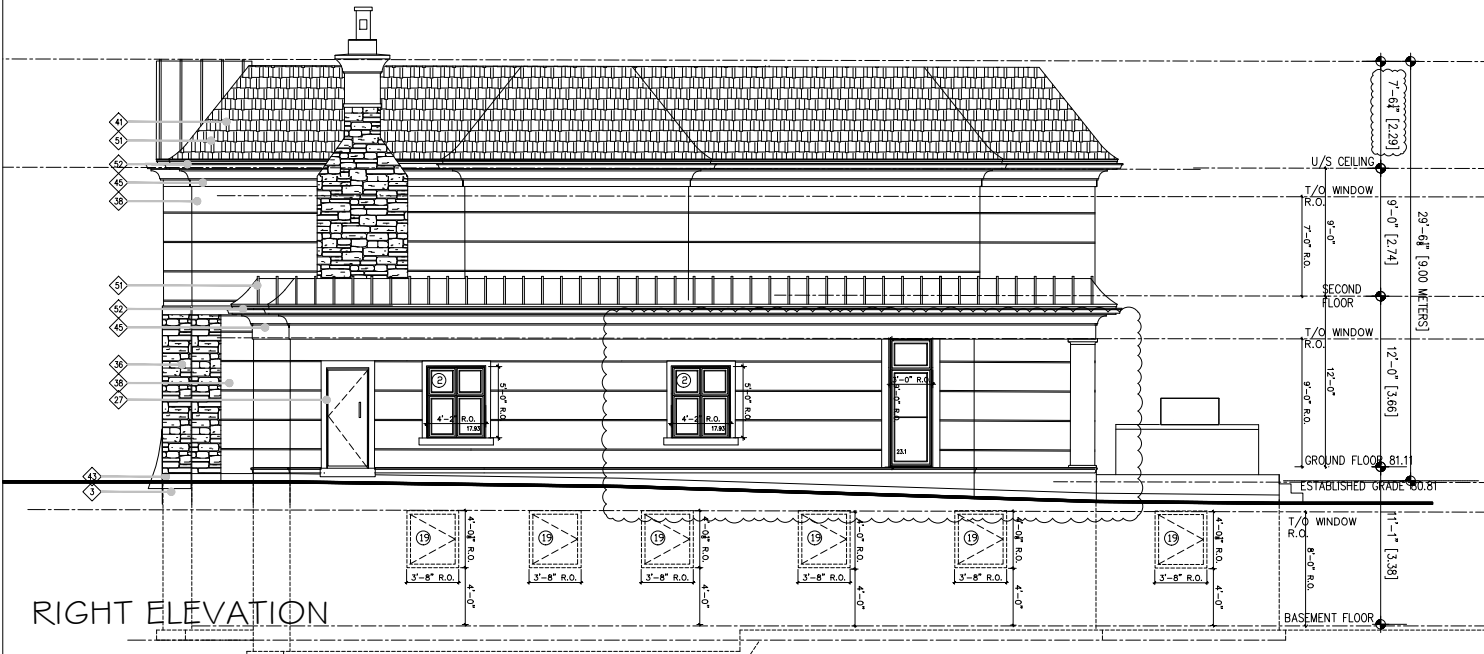
PROJECT  
2318 BENNINGTON GATE,  
OAKVILLE,  
ONTARIO  
L6J 6C2

DATE	OCT 2022	SHEET	A5
SCALE	1/4" = 1'-0"		



WINDOW SUMMARY	
PER O.B.C TABLE 9.10.15.4	
LEFT ELEVATION	
QUAN.	GLAZED OPENING SIZE
2	17.93 SF. 35.86 SF.
1	23.1 SF.
SPATIAL CALCULATION	
WALL AREA	1550.16 SF.
LIMITING DISTANCE	4.28 m
MAX. % OPENING	12%
OPENING ALLOWED	186.02 SF.
OPENING PROVIDED	58.96 SF.

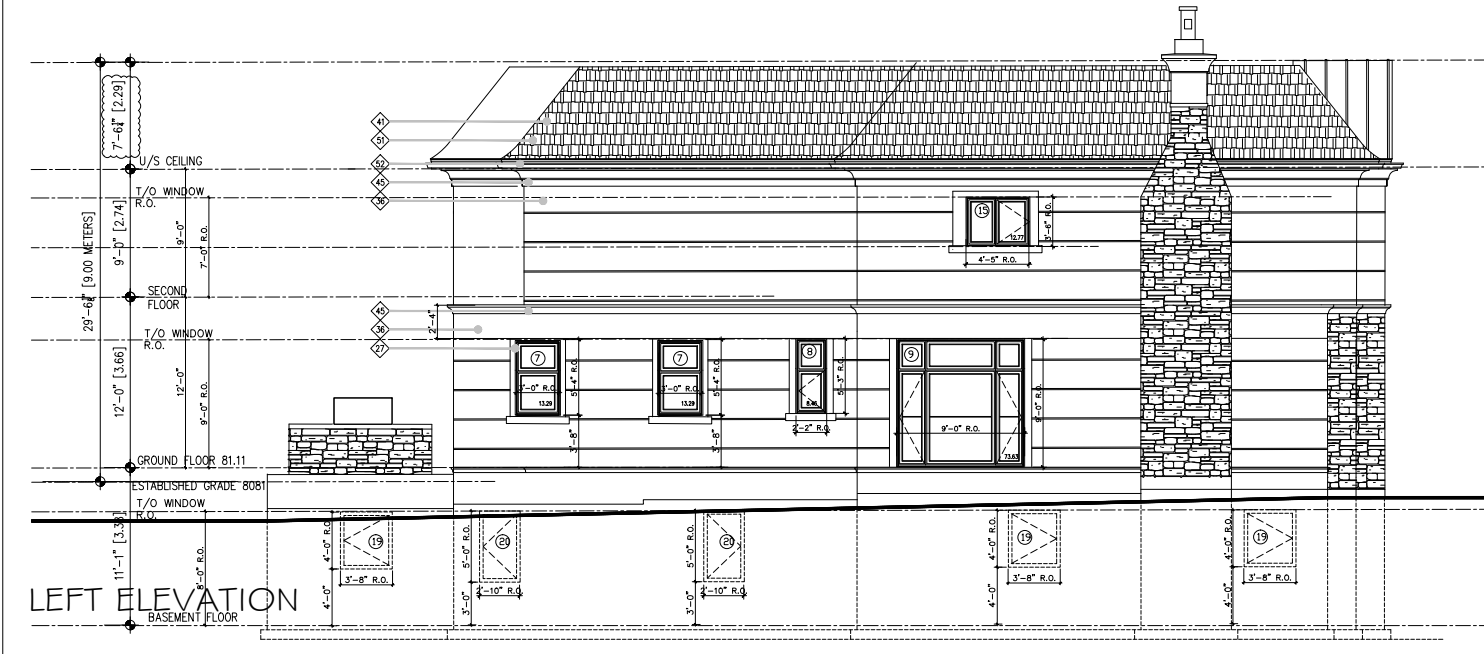
WINDOW NOTE:  
ALL PROPOSED WINDOWS TO BE TRIPLE GLAZED ARGON FILLED WITH MAXIMUM U VALUE OF 1.2.



RIGHT ELEVATION

WINDOW SUMMARY	
PER O.B.C TABLE 9.10.15.4	
LEFT ELEVATION	
QUAN.	GLAZED OPENING SIZE
1	12.77 SF. 26.50 SF.
2	13.29 SF. 26.58 SF.
1	8.46 SF.
1	73.64 SF.
SPATIAL CALCULATION	
WALL AREA	1508.0 SF.
LIMITING DISTANCE	4.23 m
MAX. % OPENING	12%
OPENING ALLOWED	180.96 SF.
OPENING PROVIDED	121.45 SF.

WINDOW NOTE:  
ALL PROPOSED WINDOWS TO BE TRIPLE GLAZED ARGON FILLED WITH MAXIMUM U VALUE OF 1.2.



LEFT ELEVATION

C. H. WORLD DESIGN & CONSTRUCTION Ltd.  
1559 Wateredge Road, Mississauga, ON, L5T 1A6, (416) 298-1206

DESIGNED BY: Ni Ni

B. C. I. N. #: 41885

GENERAL NOTES

- Contractor to check all dimensions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.
- These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- These drawings are for permit application purpose. Contractor must check all applicable By-laws and OBC. Any discrepancy must be reported to the designer.

NO.	DATE	REVISION	BY
1	17.02.22	REVISED PER CITY'S COMMENTS	1

DRAWING

SIDE ELEVATIONS

PROJECT  
DHADWAR RESIDENCE

PROJECT  
2318 BENNINGTON GATE,  
OAKVILLE,  
ONTARIO  
L6J 6C2

DATE	SHEET
OCT 2022	A6
1/4" = 1'-0"	

David Nelson  
Development Consultant  
382 Bartos Drive  
Oakville ON  
L6K3E6  
Telephone: 905-580-9431  
email: [david.nelson@sympatico.ca](mailto:david.nelson@sympatico.ca)

October 31, 2024

Committee of Adjustment  
Town of Oakville  
By email:

Re: Minor Variance Application  
2318 Bennington Gate

#### Official Plan Policies

Development within stable residential communities is to be evaluated using the criteria found in Part D, Section 11.1.9 of the Official Plan. The intent of the Plan is to maintain the existing neighbourhood character. The relevant polices of Section 11.1.9 are provided below with comments as to how the policy is being met through this application.

- The built form of *development*, including scale, height, massing, architectural *character* and materials, is to be *compatible* with the surrounding neighbourhood.

The building which is under construction was approved through Building Permit number xxxxxxxx and that permit was issued as the height of the building, lot coverage, setbacks and Residential Floor Area met the requirements of the by-law. The owner of the property wishes to enclose an open patio area which already has a roof overhead and use the space for a home office/sun room. The zoning parameters noted above are met except for the RFA which increases from 29% of the lot area to 31%. We note that while there is reliance on precedent by the Committee of Adjustment in processing an application that the RFA ratio was increased from 29% to 30.9% on the property to the south. Height, massing and architectural treatment are compatible with existing buildings in the neighbourhood.

- *Development* should be *compatible* with the setbacks, orientation and separation distances within the surrounding neighbourhood.

These parameters are met through the issuance of the building permit for the subject property.

- Where applicable, the proposed lotting pattern of *development* shall be *compatible* with the predominant lotting pattern of the surrounding neighbourhood.

The predominant lotting pattern is rectangular lots. This lotting pattern was established in 2003 through approval of the creation of the subject lot through an Ontario Municipal Board decision. This lotting pattern is unchanged through the application for an increase in RFA.

- Roads and/or municipal *infrastructure* shall be adequate to provide water and wastewater service, waste management services and fire protection.

The subject lands are located on a private lane which has existed since 1961 when the first severance of a lot from the lakefront lot owned by William Stone was approved by Trafalgar Township East. The lane provides access to 5 lots and contains the water services two of those lots. The lane is of adequate width to provide for emergency services access to the properties. Wastewater services to the subject property and the abutting property to the south are provided through easements leading to Chancery Lane West.

- Surface parking shall be minimized on the site.

Surface parking is minimized as a three-car garage is incorporated into the building design.

- Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.

A Site Plan was approved by Planning Staff in 2023, and these issues were considered at that time. The grading plan included with the building permit application ensured that water from the site was not spilled onto abutting properties.

In conclusion we consider that the intent of the policies in the Official Plan are met in this application as there is no change to building height, building massing, lot coverage and building setbacks through the approval of the minor variance application.

#### Zoning By-law

A building permit was issued for the construction of the building based on compliance with building height, building setbacks, lot coverage and RFA. The application seeks to enclose a roofed area to create a home office/sun room, and this requires the approval of a minor variance for the RFA /lot area ratio contained in Table 6.4.1 of By-law 2014-014. The intent of the by-law is to limit building massing through the application of the ratio. The building massing is unchanged through this application.

In conclusion we consider that the intent of the Zoning By-law is maintained through approval of this application.

Application is Minor in Nature

We consider that the determination of whether an application is minor in nature is related to the impact of the approval on neighbours. The new walls enclosing the existing roofed area are visible to one neighbour to the north from their rear lot. There is no change to the massing of the building or setbacks that could impact the use of those neighbouring properties, and we note that there is existing vegetation along the rear and westerly lot lines which softens views to the subject dwelling.

Respectfully submitted.

*D. Nelson*

David Nelson



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/174/2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Silk Westerns Corporation	N/A	412 Silver Maple Rd PLAN M1183 PT BLK 382 RP 20R21569 PART 1 AND RP 20R22324 PART 1

**Zoning of property:** DUC sp34, Dundas Urban Core

### Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the reduction of the parking space dimensions located in the underground parking for the condominium apartment development on the subject property proposing the following variance(s) to Zoning By-law 2009-189:

No.	Current	Proposed
1	<p><b>Section 5.4.1.3</b> Each required parking space in a parking garage or parking lot shall have a width of not less than 2.6 metres and a length of not less than 5.2 metres.</p> <p>Where a wall, column or other obstruction is located immediately adjacent to a stall, the width of the stall shall be increased by 0.3 metres for each side that is obstructed. Obstructions within 1.15 metres of either stall end do not require an increase in stall width.</p>	<p>To reduce the minimum width of the following parking spaces:</p> <p><u>P1(level A)</u></p> <p>Unit 54 - 2.52m Unit 55 - 2.55m Unit 58 - 2.57m</p> <p><u>P2(Level B)</u></p> <p>Unit 58 - 2.53m Unit 59 - 2.56m</p>
2	<p><b>Section 5.4.1.3</b> Each required parking space in a parking garage or parking lot shall have a width of not less than</p>	<p>To reduce the minimum width of the following parking spaces abutting a wall or obstruction:</p>

	<p>2.6 metres and a length of not less than 5.2 metres.</p> <p>Where a wall, column or other obstruction is located immediately adjacent to a stall, the width of the stall shall be increased by 0.3 metres for each side that is obstructed. Obstructions within 1.15 metres of either stall end do not require an increase in stall width. In this instance, the minimum width is 2.9m.</p>	<p><u>P1(level A)</u></p> <p>Unit 9 - 2.78m Unit 51 - 2.88m</p> <p><u>P2(Level B)</u></p> <p>Unit 13 - 2.78m</p>
--	--	--

**How do I participate if I have comments or concerns?**

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville’s Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

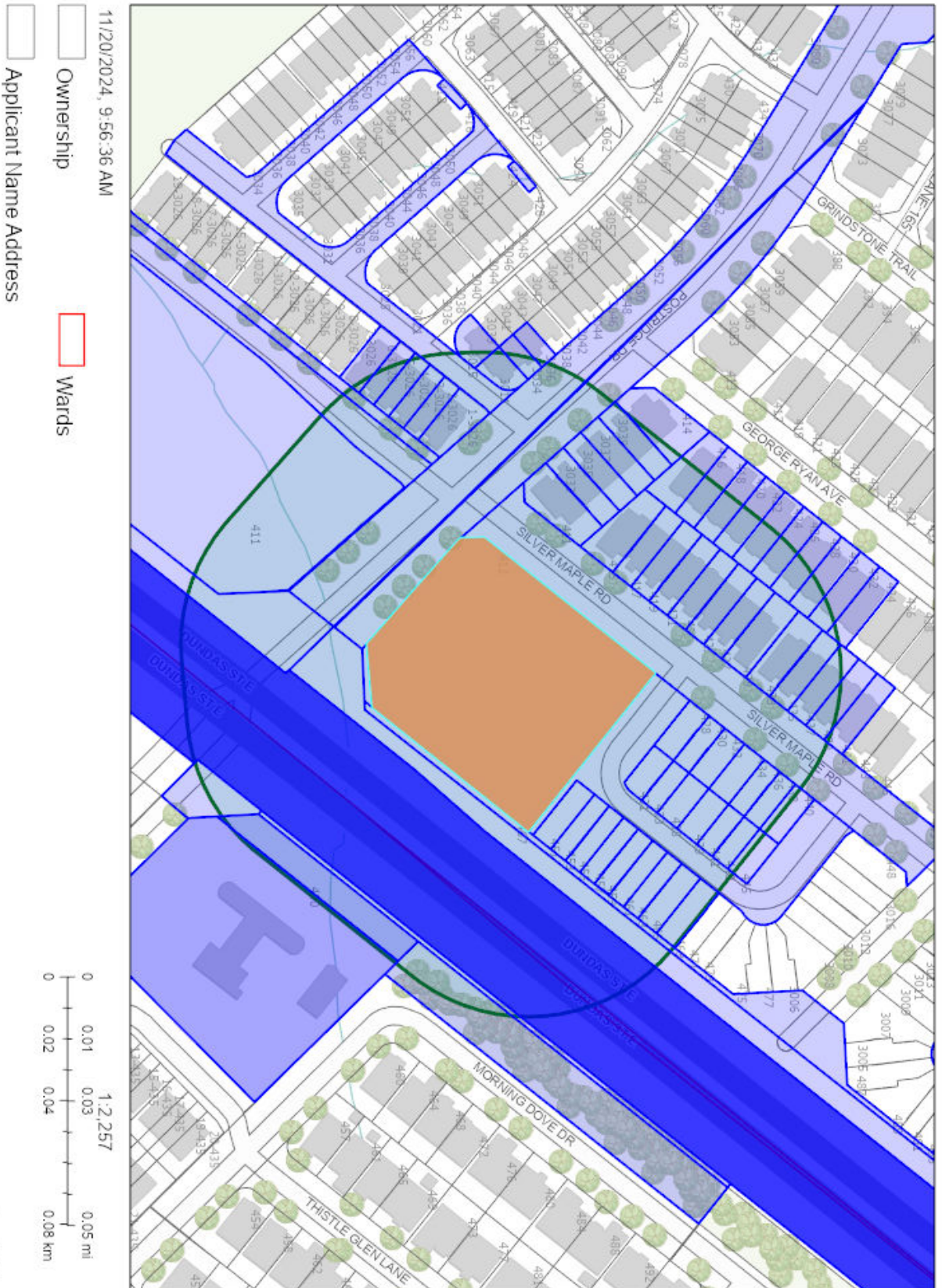
**Contact information:**

Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

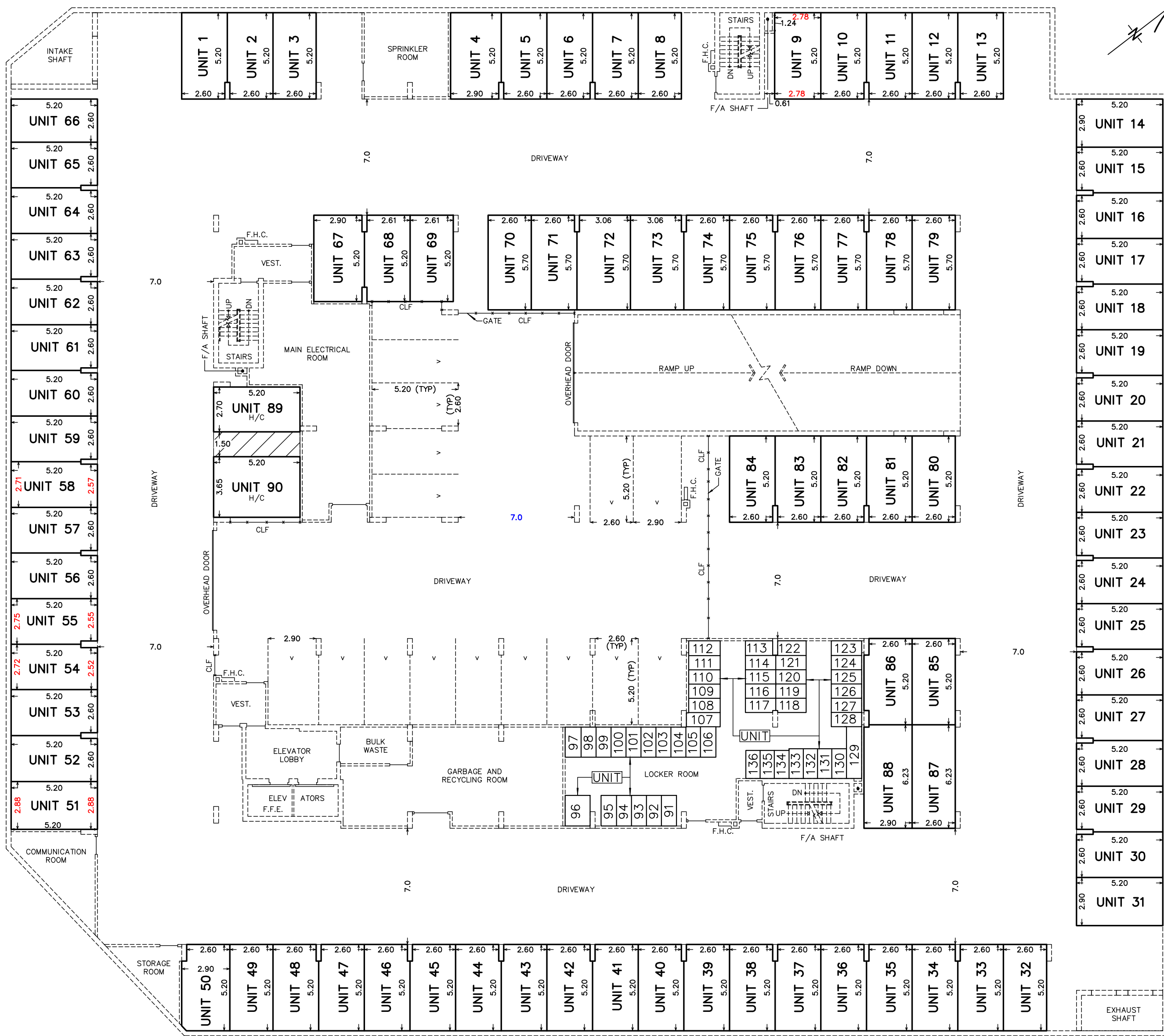
**Date mailed:**

November 22, 2024

# CAV A/174/2024 - 412 Silver Maple Road

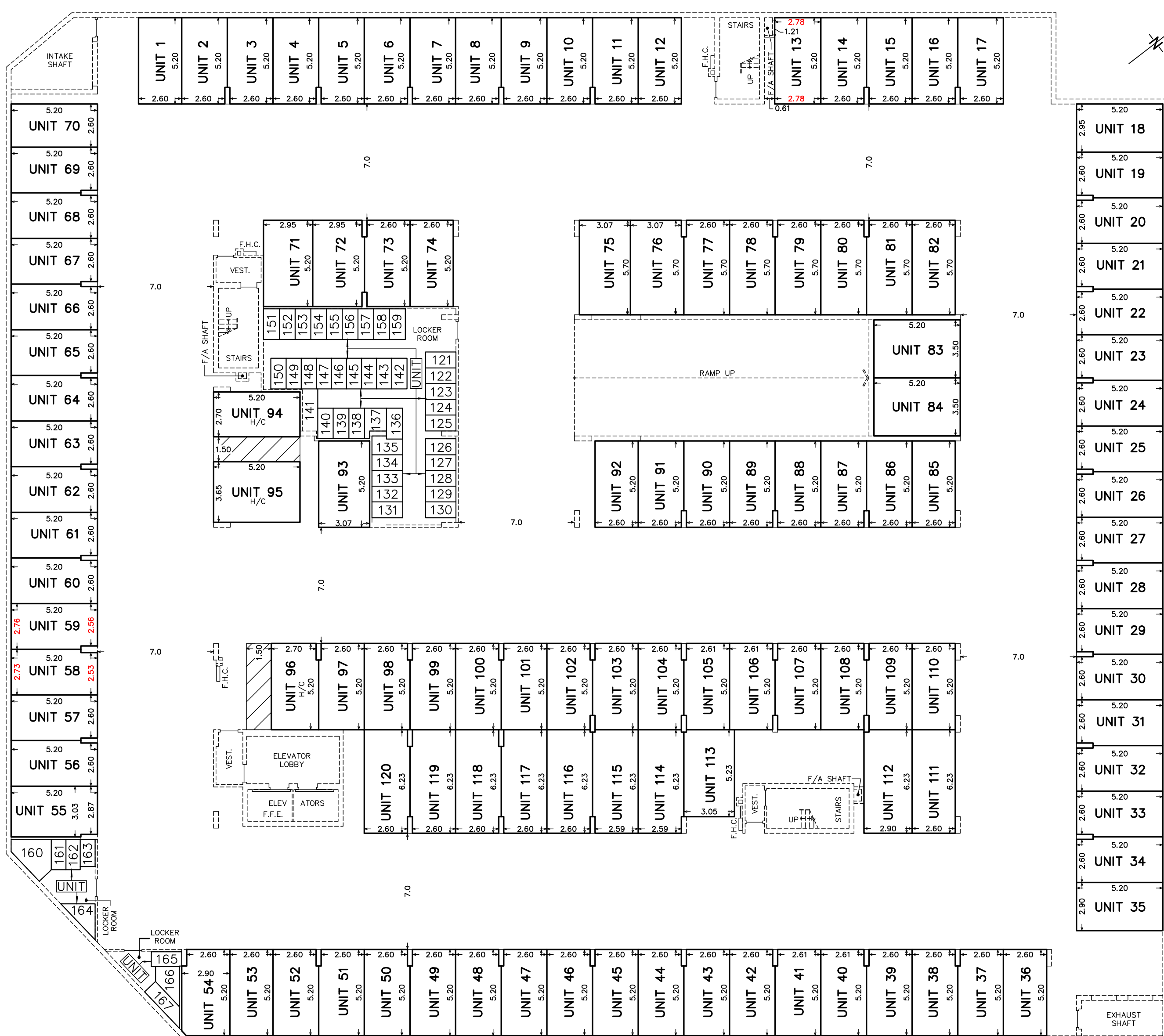






■ - CAUTION

PARKING UNITS 1 TO 90, INCLUSIVE,  
BIKE LOCKER UNITS 91 TO 107, INCLUSIVE, 118 TO 138, INCLUSIVE,  
LOCKER UNITS 108 TO 117, INCLUSIVE,  
ON LEVEL A



■ - CAUTION

PARKING UNITS 1 TO 120, INCLUSIVE,  
BIKE LOCKER UNITS 121 TO 166, INCLUSIVE,  
ON LEVEL B

**rpe** R-PE SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
643 Chrislea Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel. (416) 635-5000 Fax (416) 635-5001  
Tel. (905) 264-0881 Fax (905) 264-2099  
Website: www.r-pe.ca  
DRAWN: B.P. CHECKED: Y.W.  
JOB No. 22-020  
CAD FILE No. 22-020\_DR-PL-3



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/139/2024 – Deferred from October 02, 2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on December 11, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
R. Shaheen T. Shaheen	Jim Levac Glen Schnarr and Associates Inc. 10 Kingsbridge Garden Cir Suite 700 Mississauga ON, CANADA L5R 3K6	208 Donessle Dr PLAN 1103 LOT 4

**Zoning of property:** RL1-0, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 5.8.6 c)</i> For lots located within the Residential Low (RL1) Zone the maximum total floor area for a private garage shall be 56.0 square metres and the maximum width of the entrance to the private garage shall be 9.0 metres.	To increase the maximum total floor area for a private garage to 74.5 square metres and increase the maximum width of the entrance to the private garage to 10.7 metres.
2	<i>Table 6.3.1 (Row 5, Column RL1)</i> The minimum interior side yard shall be 4.2 metres.	To reduce the minimum southerly interior side yard to 2.4 metres.
3	<i>Table 6.3.1 (Row 5, Column RL1)</i> The minimum interior side yard shall be 4.2 metres.	To reduce the minimum northerly interior side yard to 3.1 metres.
4	<i>Table 4.3 (Row 18)</i> The maximum encroachment into a minimum interior side yard for uncovered access stairs below grade shall be 0.0 metres.	To increase the maximum encroachment into the minimum northerly interior side yard for the uncovered access stairs below grade to 1.51 metres.
5	<i>Table 6.3.1 (Row 9, Column RL1)</i>	To increase the maximum dwelling depth to 21.9 metres.

	The maximum dwelling depth shall be 20.0 metres.	
6	<i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area 1,301.0 m <sup>2</sup> or greater shall be 29%.	To increase the maximum residential floor area ratio to 39.8%.
7	<i>Table 6.4.2 (Row 1, Column 3)</i> Where the detached dwelling is greater than 7.0 metres in height, the maximum lot coverage shall be 25%.	To increase the maximum lot coverage to 32.8%.
8	<i>Section 6.4.3 a)</i> The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 14.6 metres.	To reduce the minimum front yard to 12.4 metres.

**How do I participate if I have comments or concerns?**

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville’s Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

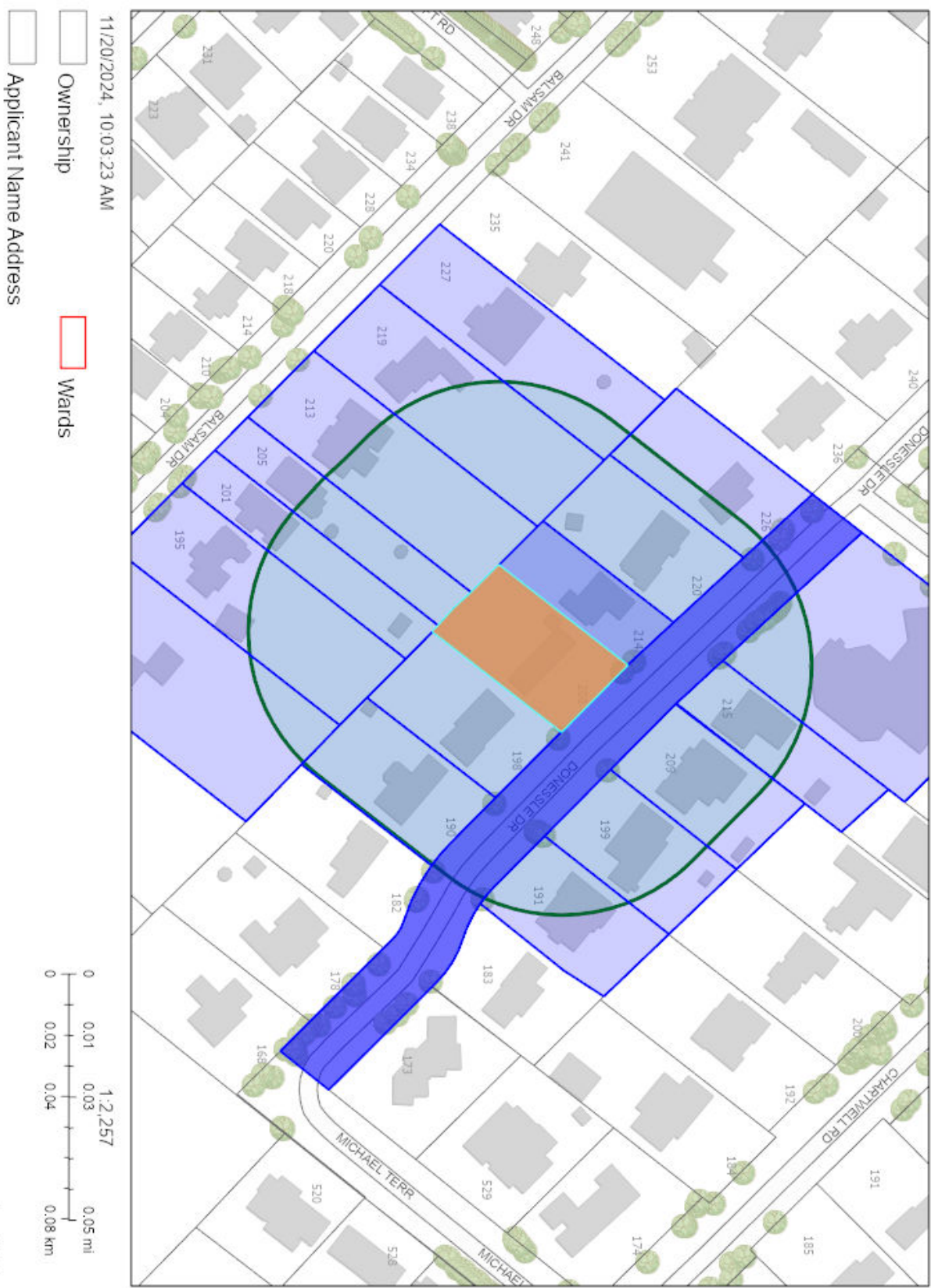
**Contact information:**

Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

November 22, 2024

# CAV A/139/2024 - 208 Donessle Drive (Revised)





The Architect is not responsible for the accuracy of the engineering information contained in these drawings, including property survey, structural, mechanical & electrical. Refer to the appropriate engineering drawings before proceeding with the work.

The Contractor shall check all dimensions on the work and report any discrepancy to the Architect prior to proceeding.

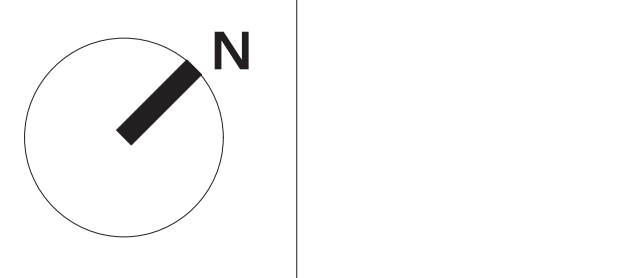
Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The drawings are not to be scaled.

This drawing is not to be used for construction unless noted specifically as: ISSUED FOR CONSTRUCTION

No.	Date	Description
5	OCT 29 2024	ISSUED FOR REVIEW
4	OCT 11 2024	ISSUED FOR REVIEW
3	OCT 01 2024	ISSUED FOR REVIEW
2	AUG 14 2024	ISSUED FOR REVIEW
1	JUL 30 2024	ISSUED FOR REVIEW

Issues



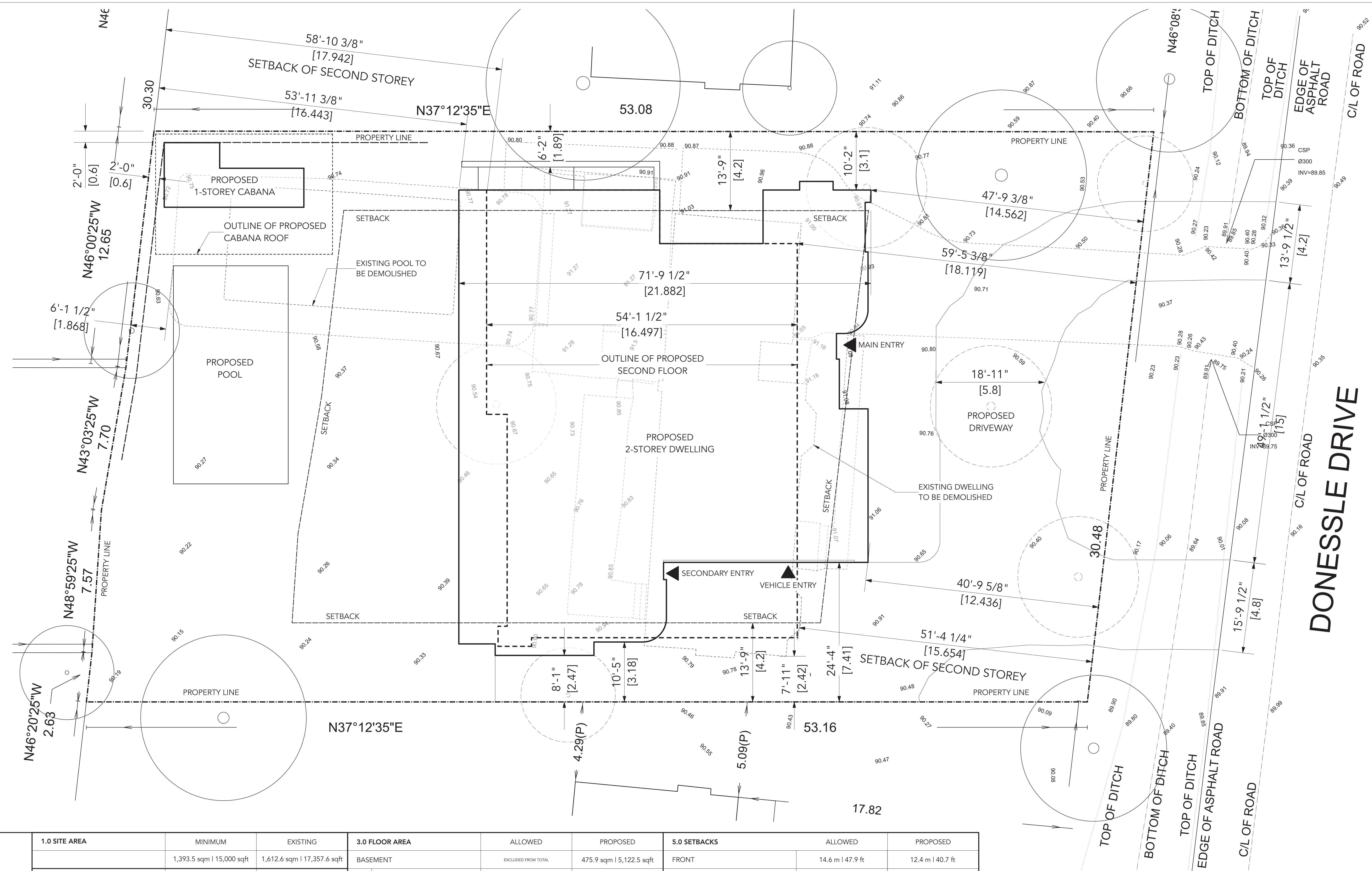
**WAYNE SWADRON**  
architecture | interiors | gardens

160 Pears Avenue, Suite 210, Toronto, Ontario M5R 3P8  
t 416 486 4800 f 416 486 6808 www.wayneswadron.com

**Project:**  
MAIN RESIDENCE  
208 DONESLE DRIVE  
OAKVILLE, ONTARIO

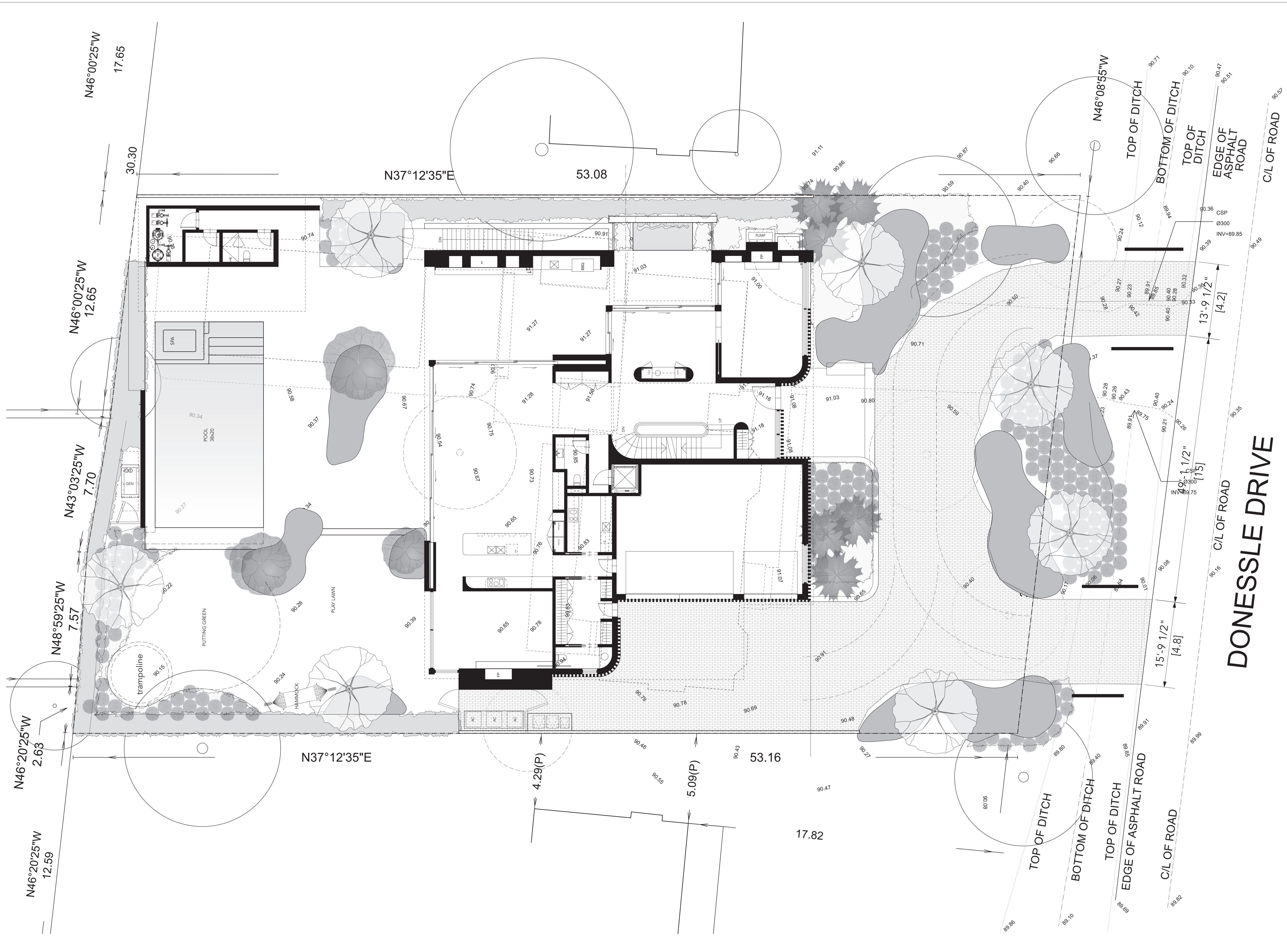
**Sheet Title:**  
SITE PLAN

<b>Drawn By:</b> MF	<b>Checked By:</b> WS
<b>Date Drawn:</b> JUL 2024	<b>Sheet Number:</b> A-1.1
<b>Project Number:</b> 24001	
<b>Scale:</b> 1/8" = 1'-0" @ 24 x 36	



SITE STATISTICS	1.0 SITE AREA		3.0 FLOOR AREA		5.0 SETBACKS		
	MINIMUM	EXISTING	ALLOWED	PROPOSED	ALLOWED	PROPOSED	
	1,393.5 sqm   15,000 sqft	1,612.6 sqm   17,357.6 sqft	EXCLUDED FROM TOTAL	475.9 sqm   5,122.5 sqft	FRONT	14.6 m   47.9 ft	
	ALLOWED	PROPOSED	GROUND FLOOR	296.7 sqm   3,193.5 sqft	REAR	10.5 m   34.4 ft	
					GARAGE	EXCLUDED FROM TOTAL	74.5 sqm   802.3 sqft
			SECOND FLOOR	344.6 sqm   3,709.3 sqft	SIDE (NW)	3.1 m   10.2 ft	
			EQUIPMENT CABANA	EXCLUDED FROM TOTAL	SIDE (SE)	4.2 m   13.8 ft	
	403.2 sqm   4,340 sqft	529.6 sqm   5,700.3 sqft	TOTAL	467.7 sqm   5,033.7 sqft	6.0 DRIVEWAY COVERAGE	ALLOWED	
	25%	32.8%	PERCENTAGE	29%	39.8%	PROPOSED	
						FRONT YARD AREA	414.4 sqm   4,460.6 sqft
						DRIVEWAY COVERAGE	50%
							46% @ 189.3 sqm   2,037.8 sqft





The Architect is not responsible for the accuracy of the engineering information contained in these drawings, including property survey, structural, mechanical & electrical. Refer to the appropriate engineering drawings before proceeding with the work.

The Contractor shall check all dimensions on the work and report any discrepancy to the Architect prior to proceeding.

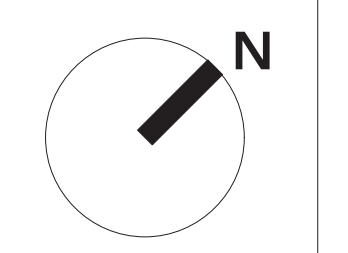
Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The drawings are not to be scaled.

This drawing is not to be used for construction unless noted specifically as: ISSUED FOR CONSTRUCTION

No.	Date	Description
2	OCT 29 2024	ISSUED FOR REVIEW
1	JUL 30 2024	ISSUED FOR REVIEW

No.	Date	Description



**WAYNE SWADRON**  
architecture | interiors | gardens

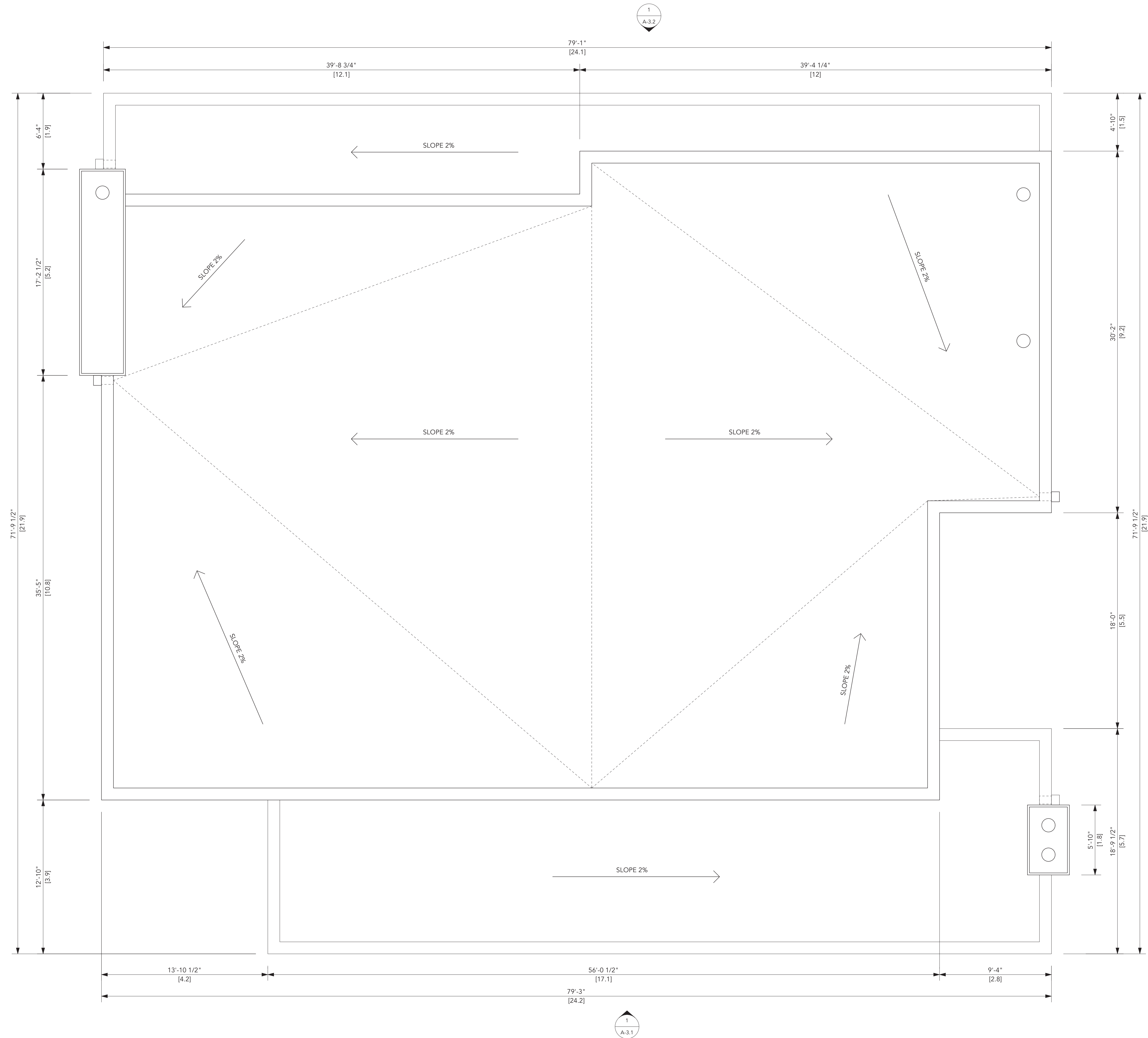
160 Pears Avenue, Suite 210, Toronto, Ontario M5R 3P8  
t 416 486 4800 f 416 486 6808 www.wayneswadron.com

**Project:**  
MAIN RESIDENCE  
208 DONESSE DRIVE  
OAKVILLE, ONTARIO

**Sheet Title:**  
LANDSCAPE LAYOUT

<b>Drawn By:</b> MF	<b>Checked By:</b> WS
<b>Date Drawn:</b> JUL 2024	<b>Sheet Number:</b> A-1.2
<b>Project Number:</b> 24001	
<b>Scale:</b> 1/8" = 1'-0" @ 24 x 36	





The Architect is not responsible for the accuracy of the engineering information contained in these drawings, including property survey, structural, mechanical & electrical. Refer to the appropriate engineering drawings before proceeding with the work.

The Contractor shall check all dimensions on the work and report any discrepancy to the Architect prior to proceeding.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The drawings are not to be scaled.

This drawing is not to be used for construction unless noted specifically as:  
ISSUED FOR CONSTRUCTION

No.	Date	Description
2	OCT 29 2024	ISSUED FOR REVIEW
1	JUL 30 2024	ISSUED FOR REVIEW

Issues	

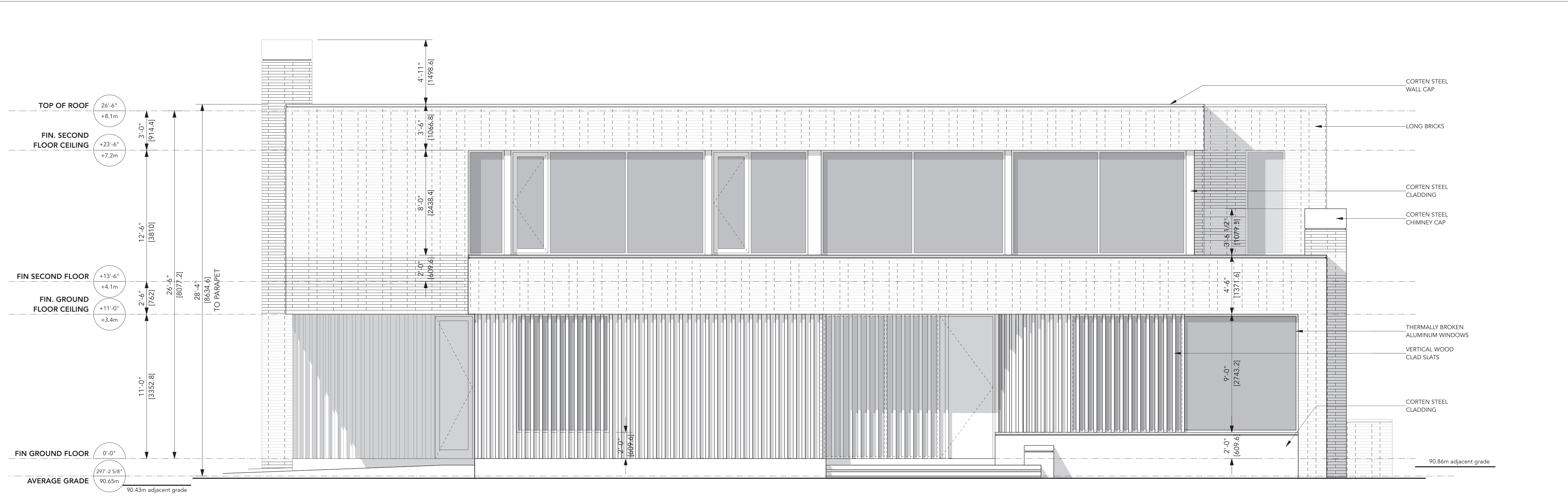


160 Pears Avenue, Suite 210, Toronto, Ontario M5R 3P8  
t 416 486 4800 f 416 486 6808 www.wayneswadron.com

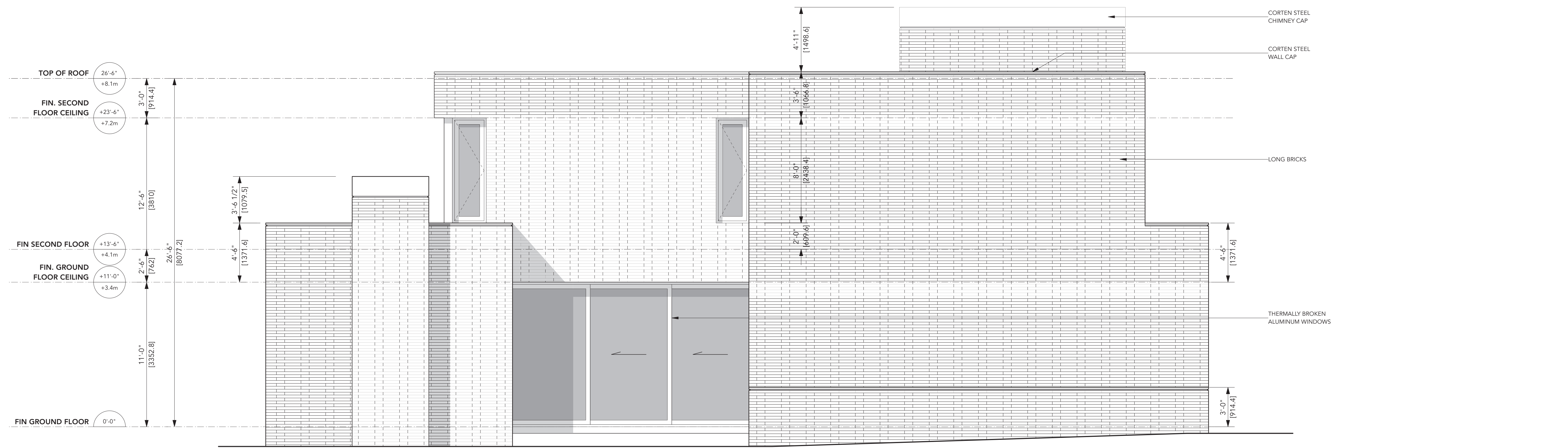
**Project:**  
MAIN RESIDENCE  
208 DONESLE DRIVE  
OAKVILLE, ONTARIO

**Sheet Title:**  
ROOF PLAN

<b>Drawn By:</b> MF	<b>Checked By:</b> WS
<b>Date Drawn:</b> JUL 2024	<b>Sheet Number:</b> A-2.4
<b>Project Number:</b> 24001	
<b>Scale:</b> 1/4" = 1'-0" @ 24 x 36	



1 NORTH EAST ELEVATION  
A-3.1 Scale: 1/4" = 1'-0"



2 NORTH WEST ELEVATION  
A-3.1 Scale: 1/4" = 1'-0"

The Architect is not responsible for the accuracy of the engineering information contained in these drawings, including property survey, structural, mechanical & electrical. Refer to the appropriate engineering drawings before proceeding with the work.

The Contractor shall check all dimensions on the work and report any discrepancy to the Architect prior to proceeding.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The drawings are not to be scaled.

This drawing is not to be used for construction unless noted specifically as: ISSUED FOR CONSTRUCTION


2	OCT 29 2024	ISSUED FOR REVIEW
1	JUL 30 2024	ISSUED FOR REVIEW
No.	Date	Description

Issues	

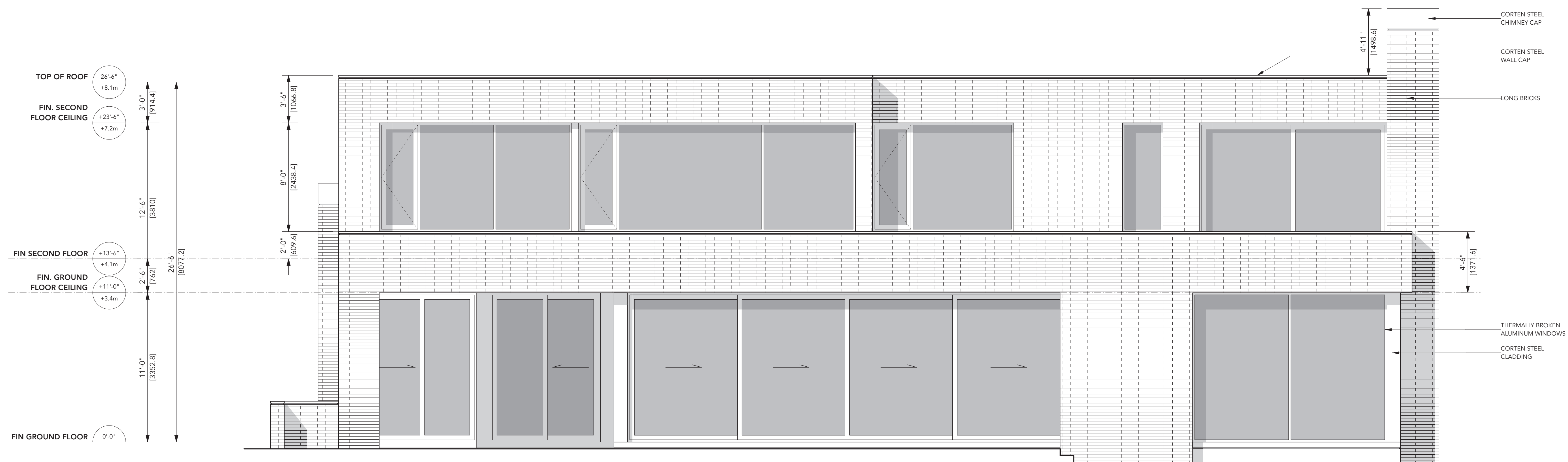


160 Pears Avenue, Suite 210, Toronto, Ontario M5R 3P8  
t 416 486 4800 f 416 486 6808 www.wayneswadron.com

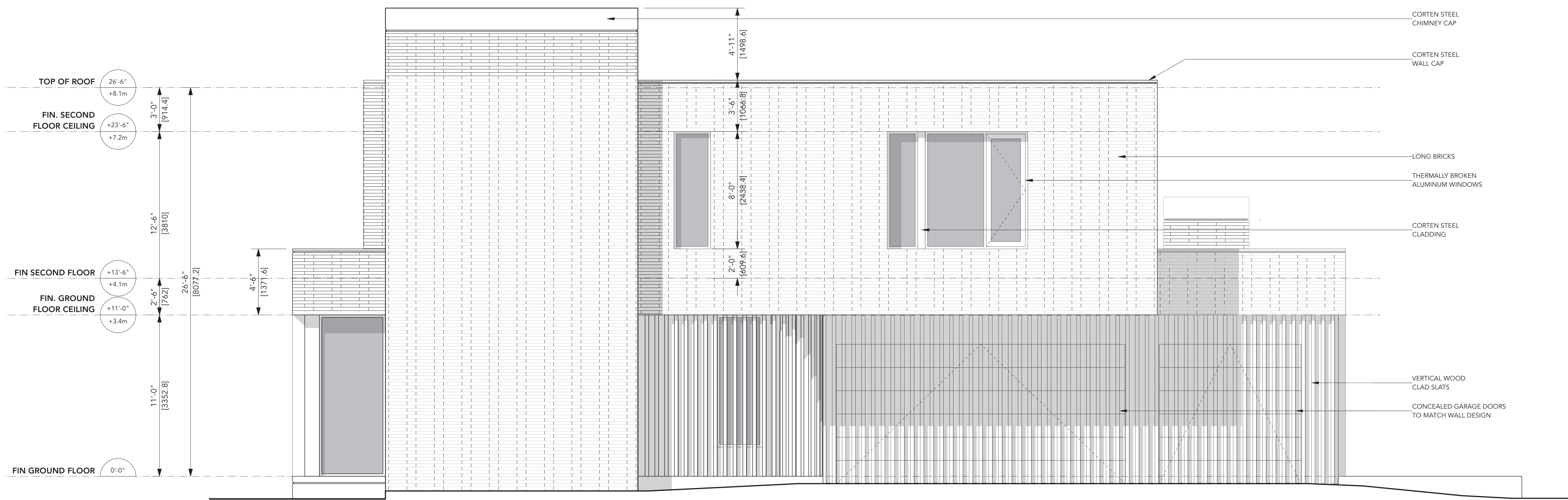
**Project:**  
MAIN RESIDENCE  
208 DONESLE DRIVE  
OAKVILLE, ONTARIO

**Sheet Title:**  
ELEVATIONS

<b>Drawn By:</b> MF	<b>Checked By:</b> WS
<b>Date Drawn:</b> JUL 2024	<b>Sheet Number:</b> A-3.1
<b>Project Number:</b> 24001	
<b>Scale:</b> 1/4" = 1'-0" @ 24 x 36	



1 SOUTH WEST ELEVATION  
A-3.2 Scale: 1/4" = 1'-0"



2 SOUTH EAST ELEVATION  
A-3.2 Scale: 1/4" = 1'-0"

The Architect is not responsible for the accuracy of the engineering information contained in these drawings, including property survey, structural, mechanical & electrical. Refer to the appropriate engineering drawings before proceeding with the work.

The Contractor shall check all dimensions on the work and report any discrepancy to the Architect prior to proceeding.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The drawings are not to be scaled.

This drawing is not to be used for construction unless noted specifically as: ISSUED FOR CONSTRUCTION

No.	Date	Description
2	OCT 29 2024	ISSUED FOR REVIEW
1	JUL 30 2024	ISSUED FOR REVIEW

Issues	



WAYNE SWADRON  
architecture | interiors | gardens

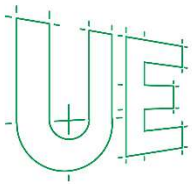
160 Pears Avenue, Suite 210, Toronto, Ontario M5R 3P8  
t 416 486 4800 f 416 486 6808 www.wayneswadron.com

Project: **MAIN RESIDENCE  
208 DONESLE DRIVE  
OAKVILLE, ONTARIO**

Sheet Title: **ELEVATIONS**

Drawn By: MF	Checked By: WS
Date Drawn: JUL 2024	Sheet Number: <b>A-3.2</b>
Project Number: 24001	
Scale: 1/4" = 1'-0" @ 24 x 36	





# Urbtech Engineering Inc.

1200 Speers Road, Suite 8, Oakville, Ontario L6L 2X4  
Telephone (905) 896 7364

October 1<sup>st</sup>, 2024

Our File No. 24-485

Town of Oakville  
1225 Trafalgar Road  
Oakville, ON  
L6H 0H3

**Re: Grading and Drainage  
Tania & Ramsey Shaheen  
208 Donessle Dr, Town of Oakville  
CAV A/139/2024**

---

We have reviewed the existing grading and drainage pattern and the proposed Site Plan and confirm the following:

- The existing drainage is a split drainage. The flows from the front half of the lot are draining to the existing ditch on Donessle Dr and the rear half is draining to the adjacent lots to the rear.
- In view of the proposed Site plan, the drainage pattern will not be altered. The flows from the front half will continue to drain to the existing ditch on Donessle Dr and the remaining area will drain to the lots adjacent to the rear of this subject property.
- To improve the drainage and to reduce the increase of peak flows and the volume of runoff from the increased impervious surfaces, LID strategies will be implemented at the design stage.
- Therefore, there will not be any adverse impact on the adjacent properties nor on the existing City infrastructure.

I trust that this addresses your comments, however, should you have any questions, please contact our office.

Yours very truly.

**URBTECH ENGINEERING INC.**



Andrzej Jaworski, P.Eng.  
**Consulting Engineer**

October 29, 2024

GSAI File: Various

Secretary-Treasurer  
Committee of Adjustment  
Town of Oakville  
1225 Trafalgar Road  
Oakville, ON L6H 0H3

**RE: Minor Variance Application – 2<sup>nd</sup> Submission  
Residential Development  
208 Donessle Drive, Town of Oakville**

---

Glen Schnarr & Associates Inc (GSAI) are the planning consultants to Ramsey and Tania Shaheen (the ‘Owner’) of the lands municipally known as 208 Donessle Drive, in the Town of Oakville (the ‘Subject Lands’ or ‘Site’). On behalf of the Owner and further to the initial submission in August 2024, we are pleased to provide this revised Minor Variance Application to facilitate a replacement dwelling on the Subject Lands.

**SITE & SURROUNDING AREA**

The Subject Lands are located on the west side of Donessle Drive, north of Lakeshore Road East. The Site, municipally known as 208 Donessle Drive, has a lot area of approximately 1,612.6 square metres and approximately 30.48 metres of frontage along Donessle Drive. The Subject Lands are currently improved with a 2-storey, detached dwelling with an integrated garage.

The area surrounding the Subject Lands is an established residential Neighbourhood characterized predominantly by 1- and 2-storey detached dwellings. Mature, tree lined streetscapes are also present. Institutional uses, including churches and schools, as well as parks are interspersed. Overall, the Neighbourhood can be characterized as having an eclectic character given there is a diverse range of dwelling designs and sizes, including original homes and newer or renovated dwellings.

## **OFFICIAL PLAN & ZONING**

The Subject Lands are designated ‘Low Density Residential’ by the in-effect Livable Oakville Plan. It is also subject to a ‘Residential Low Density Lands’ Special Policy Area, Policy 26.2. There are no applicable Secondary Plan policies.

The Site is also subject to the Town of Oakville Zoning By-law 2014 – 014 (‘By-law 2014-014’), as amended, which zones it as ‘Residential Low Density (RL1-0)’. Detached dwellings and accessory structures, such as cabanas, are permitted uses.

## **REQUESTED RELIEF**

The Owner is seeking permission to construct a replacement detached dwelling, including an integrated garage and a rear yard cabana structure. The proposed dwelling with an area of approximately 641.3 square metres (6,902.8 square feet) and the rear yard cabana, as currently contemplated, has been planned and designed to compliment and seamlessly integrate with the eclectic character present in the Neighbourhood. While some relief is required, the proposed dwelling, to the greatest extent possible, has been planned and designed to comply with the applicable and in-effect zoning regulations.

The following are the variances for which the Owner is seeking approval:

**1. Section 4.3, By-law 2014-014**

*A 0.0 metre encroachment of an uncovered access stairs below grade within an interior side yard is permitted.*

A 1.51 metre encroachment of an uncovered access stairs below grade into the northern interior side yard is requested.

**2. Section 5.8.5.c), By-law 2014-014**

*A maximum total floor area for a private garage area of 56.0 square metres is permitted.*

A maximum total area for a private garage area of 74.5 square metres is requested.

**3. Section 5.8.5.c), By-law 2014-014**

*A maximum private garage entrance width of 9.0 square metres is permitted.*

A maximum private garage entrance width of 10.7 metres is requested.

**4. Section 6.3, By-law 2014-014**

*A maximum building depth of 20.0 metres is permitted.*

A building depth of 21.9 metres is requested.

**5. Section 6.3, By-law 2014-014**

*A minimum interior side yard setback of 4.2 metres is permitted.*

A (north) interior side yard setback of 3.1 metres is requested and a (south) interior side yard setback of 2.4 metres is requested.

**6. Section 6.4.1, By-law 2014-014**

*A maximum residential floor area ratio, for lots with an area of 1,301.00 square metres or greater, of 29% is permitted.*

A residential floor area ratio of 39.8% is requested.

**7. Section 6.4.2, By-law 2014-014**

*A maximum lot coverage of 25% is permitted.*

A lot coverage of 32.8% is requested.

**8. Section 6.4.3.a), By-law 2014-014**

*A minimum front yard setback of 14.6 metres is permitted.*

A front yard setback of 12.4 metres is requested.

**MINOR VARIANCE TESTS**

Section 45(1) of the *Planning Act*, as amended, identifies the four tests which must be satisfied in order for the Committee to approve this application. Those tests are:

1. The variance maintains the general intent and purpose of the Official Plan.
2. The variance maintains the general intent and purpose of the Zoning By-law.
3. The variance is desirable for the appropriate development or use of the land.
4. The variance is minor in nature.

In my opinion, the requested variances are supportable and meet the four tests under the *Planning Act* in the following ways:

**The Variance Maintains The General Intent & Purpose of the Official Plan**

As mentioned above, the Subject Lands are designated ‘Low Density Residential’ by the in-effect Livable Oakville Plan. The intent of the ‘Low Density Residential’ designation is to facilitate a range of permitted low density housing types including single detached dwellings. The proposed residential use and detached dwelling built form are permitted.

Livable Oakville directs that infill development in stable residential communities is to be evaluated against perspective criteria (Section 11.1.9). Specifically, Section 11.1.9 states:



*'Development within all stable residential communities shall be evaluated using the following criteria to maintain and protect the existing neighbourhood character:*

- a) The built form of development, including scale, height, massing, architectural character, and materials, is to be compatible with the surrounding neighbourhood.*
- b) Development should be compatible with the setbacks, orientation, and separation distances within the surrounding neighbourhood.*
- h) Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.'*

The proposed dwelling has been designed to be complimentary to and compatible with both historical and surrounding development forms in the Neighbourhood. This is achieved through the provision of a refined, high-quality built form with modern architectural elements and features; such as the inclusion of natural wood slotting that is intended to provide warmth at the ground floor while complimenting and contrasting with the brick façade; inclusion of features such as green roof elements – strategically placed to be visible from the street (as further demonstrated in the accompanying renderings).

Furthermore, the placement of the proposed dwelling is generally consistent with the placement on the lot as homes in the immediate surrounding area, the incorporation of visible ground level and built form features that are similar and complimentary to those found in the immediate surrounding area including along Donessle Drive and Balsam Drive.

I also highlight that the presence of covered porches and an integrated, front yard private garage are features found throughout the immediate surrounding Neighbourhood. As noted previously with the front yard, covered porch areas are generally used to implement green roof features intended to compliment the natural aesthetics and overall canopy seen throughout the neighbourhood. Based on the above, the prevailing pattern of orientation, height and massing are maintained. Furthermore, the proposed facades are to provide for compatible material selections as those present in the surrounding Neighbourhood and provides for a built form, scale and massing that has clear ground level elements, and mitigates the appearance of blank front main walls or a dwelling that visually overwhelms. This enables the provision of living areas that meet the changing needs of the Owner and the family, while also being appropriately and sensitively provided on the lot. The proposed dwelling has also been planned and designed to maintain an appropriate relationship with the Donessle Drive streetscape. Given the above, the proposal will provide for a built form, massing and built form features that will seamlessly integrate with the established and evolving character of the Neighbourhood. I highlight that similar modern-inspired dwellings are present in the surrounding Neighbourhood as demonstrated below.



*View of 283 Donessle Drive*

As stated above, the Subject Lands are also subject to the Residential Low Density Special Policy Area policy overlay of the Livable Oakville Plan. This Special Policy Area applies to various lands across Oakville, including the Subject Lands and surrounding lands. The Special Policy Area policy, as specified by Policy 26.2.1, states:

*'The Special Policy Area in Southeast, Central and Southwest Oakville that applies to the Low Density Residential designation is intended to protect the unique character of this area within the Town. Due to the special attributes of the large lots and related homes in this Special Policy Area, intensification shall be limited to development which maintains the integrity of the large lots. Densities in the Special Policy Area shall not exceed 10 units per site hectare notwithstanding the Low Density Residential designation.'*

The proposed dwelling has been appropriately placed on the lot. This placement enables the established lot pattern and the integrity of development on large lots to be maintained. In my opinion, the proposed development conforms to the above-noted Special Policy Area direction.

Based on the above, it is my opinion that the requested variances conform to the policy objectives established by the Livable Oakville Plan and meet the general intent and purpose of the Official Plan.

**The Variance Maintains The General Intent & Purpose of the Zoning By-law**

As mentioned above, the Subject Lands are subject to By-law 2014-014, as amended. The requested variances seeks the following relief:

**Increased Stairs Encroachment**

Section 4.3 of By-law 2014-014 states that a maximum encroachment of an uncovered access stairs below grade in an interior side yard of 0.0 metres is permitted, whereas a 1.51 metre encroachment is requested.

The purpose and intent of encroachment regulations is to ensure that a dwelling's overall scale and massing is appropriate. Specifically, built form encroachment regulations work hand-in-hand with building envelope regulations, to ensure that a reasonable built form and massing is provided.

In this case, an increased encroachment for an uncovered access stairway within the northern interior side yard is requested to facilitate access to the basement level. Given the provision of living areas within the basement level, positioning the access stairway in the northern interior side yard is appropriate and enables a desirable transition from the interior living spaces to the grade-related rear yard private amenity area at the ground level. Furthermore, the access stairway is visually screened by built form features and side yard landscaped areas, ensuring that the stairway is out of public view and not adversely impacting the streetscape character. The inclusion of the exterior stairway to the basement level is an appropriate design feature for the home. The requested encroachment is technical in nature and is required to accommodate an appropriate and desirable built form and site organization to be provided. Finally, provision of the staircase will not adversely impact the scale and massing of the development and will not adversely impact surrounding lands.

**Increased Private Garage Area**

Section 5.8.6 of By-law 2014-014 states that a maximum floor area for a private garage of 56.0 square metres is permitted, whereas a private garage floor area of 74.16 square metres is requested.

The purpose and intent of private garage area regulations is to ensure that an appropriate structure is provided and to prevent a garage from being a visually dominant feature.

In this case, an increased private garage area is requested to facilitate a ground level, integrated garage. The grade-level garage is to be accessed as an extension of the

proposed circular driveway extending from the streetline. Furthermore, the garage has been appropriately positioned on the lot to enable safe access and a refined, built form to be provided. More specifically, the side elevation of the garage faces the streetline, while the garage entrance faces toward the southern property line. I highlight that the garage has been located in a similar fashion as dwellings in the surrounding area.

The requested private garage area will enable a refined built form to be provided that is not visually dominated by a garage, while also accommodating the needs of the Owner and the family. It will also enable sufficient parking spaces to be provided, while balancing the provision of an aesthetically pleasing residential built form, landscaped front yard areas and a desirable streetscape interface. Overall, the requested private garage area will enable a consistent and compatible streetscape presence to be provided, while also ensuring that the garage areas are subordinate and secondary to the dwelling. Finally, I highlight that increased private garage areas have been approved in the surrounding area.

#### **Increased Private Garage Entrance Width**

Section 5.8.6 of By-law 2014-014 states that a maximum width of a private garage of 9.0 metres is permitted, whereas a private garage width of 10.7 metres is requested.

The purpose and intent of private garage width regulations is to ensure that an appropriate structure is provided and to prevent a garage from being a visually dominant feature.

In this case, an increased private garage width is requested to facilitate a ground level, integrated garage that is appropriately situated on the lot and to enable sufficient access to the garage to be provided. As stated above, the garage is to be accessed as an extension of the proposed circular driveway extending from the streetline. Furthermore, the garage has been appropriately positioned on the lot to enable safe access and a refined, built form to be provided. In my opinion, the requested private garage width will enable a refined built form to be provided that is not visually dominated by a garage, while also accommodating the needs of the Owner and the family. Overall, it will enable a consistent and compatible streetscape presence to be provided, while also ensuring that the garage is subordinate and secondary to the dwelling.



### **Increased Dwelling Depth**

Section 6.3 of By-law 2014-014 states that the maximum dwelling depth of 20.0 metres is permitted, whereas a dwelling depth of 21.9 metres is requested.

The purpose and intent of dwelling depth regulations is to ensure an appropriate built form is facilitated, overlook and privacy concerns are mitigated and to prevent undue impacts from overly long buildings on adjacent rear yards.

In this case, a building depth of 21.9 metres, as measured from the front main wall of the dwelling on the ground level to the rear main wall of the dwelling on the ground level, is requested. Given the proposed dwelling contemplates a unique built form, this results in a building depth that is a minor departure from existing permissions. Additionally, there is a significant stepback above the ground level which results in a reduced building depth on the second level. More specifically, on the second level, the building depth is 16.5 metres from front main wall to rear main wall. Furthermore, the proposed dwelling provides for high-quality living areas oriented toward the rear of the property to take advantage of the rear yard private amenity areas and a direct visual relationship with covered terrace areas. The positioning of the living areas and covered outdoor areas in this manner enables a dwelling that best meets the needs of the family, while also facilitating architectural features that will facilitate a built form that is consistent and compatible with the Neighbourhood character. The proposed dwelling's depth is proportional to the Subject Lands' lot. Furthermore, the dwelling as contemplated will be visually screened by privacy fences along the shared property lines, front yard private amenity areas and rear yard private amenity areas. Finally, the limited amount of openings and windows along the side elevations, combined with the privacy fencing and landscaped open spaces, will eliminate overlook and privacy concerns.

Finally, I highlight that similar and greater building depths have been approved in the surrounding Neighbourhood, including depths ranging from 22.6 to 26.97 metres. Therefore, the requested depth is within range of previous approvals, is reflective of an optimal design, is appropriate for the Site and maintains a compatible built form that is complimentary to the established Neighbourhood character.

### **Reduced Interior Side Yard Setbacks**

Section 6.3 of By-law 2014-014 establishes that the minimum interior side yard permitted is 4.2 metres, whereas a minimum (north) interior side yard setback of 3.1 metres and a (south) interior side yard setback of 2.4 metres is requested.

The general intent and purpose of setback regulations is to ensure sufficient spacing and buffering between buildings that are beside one another in order to provide appropriate transition and scale as well as adequate space for maintenance, while also avoiding privacy and overlook concerns.

A reduced north interior side yard setback, as measured from the perimeter of the dwelling's main wall to the northern property line, is being requested. Similarly, a reduced south interior side yard setback, as measured from the perimeter of the dwelling main wall to the property line, is being requested. In this case, the requested reduced setbacks are required to facilitate the refined built form and site design. Overall, it is my opinion that the proposed dwelling's design and placement on the lot is appropriate and desirable. Visual screening is to be provided via wooden privacy fencing along the shared property lines as well as landscaped front yard and rear yard areas. As stated above, a general absence of windows and openings along the side elevations as well as the privacy screening and landscaped areas will not lead to overlook or privacy concerns nor will the dwelling have any adverse impacts on the surrounding lands.

### **Reduced Front Yard Setbacks**

Section 6.4.3.a) of By-law 2014-014 establishes that the minimum front yard permitted is 14.6 metres, whereas a minimum front yard setback of 12.4 metres is requested.

The general intent and purpose of setback regulations is to ensure sufficient spacing and buffering between buildings that are beside one another in order to provide appropriate transition and scale as well as adequate space for maintenance, while also avoiding privacy and overlook concerns.

A reduced front yard setback, as measured from the perimeter of the dwelling's front main wall to the eastern property line, is being requested. In this case, the requested reduced setback is requested to facilitate the refined built form contemplated and an optimal site design. The reduced front yard setback is also taken from a pinchpoint. As further demonstrated on the accompanying Site Plan, the lot's unique fabric and irregular orientation of Donessle Drive results in a greater front yard setback being provided at the northern perimeter of the dwelling. Given the variable front yard setback being provided, the requested reduction is technical in nature and necessary to facilitate an appropriate placement of the dwelling on the lot. Overall, it is my opinion that the proposed dwelling's design and placement on the lot is appropriate and desirable. As stated above, sufficient visual screening is to be provided and the resultant setback will not have any adverse impacts on the surrounding lands.

### **Increased Residential Floor Area Ratio**

Section 6.4.1 of By-law 2014-014 states that the maximum residential floor area ratio permitted is 29%, whereas a residential floor area ratio of 39.8% is requested.

The purpose and intent of residential floor area ratio regulations is to control the overall building mass on a property. The residential floor area ratio regulation works hand-in-hand with building envelope regulations, including lot coverage, to ensure that a reasonable built form and massing is provided. An appropriate mass is to be provided by regulating the amount of floor area that can be accommodated on a lot.

The proposed dwelling has been planned and designed to provide a built form and living areas that better reflects the family's changing needs. It has also been planned and designed to provide for a built form, scale and architectural features that are compatible with those in the surrounding Neighbourhood, while respecting the Neighbourhood character. Overall, the proposed dwelling includes articulations along the front façade, stepbacks above the ground level and an integrated roofline and building height that is below the maximum permitted – together, these features reduce the visual appearance of adverse massing and scale. There are clear ground level elements to assist in the visual reduction of mass and scale, while also contributing to the maintenance of the established Neighbourhood character. These design features also avoid the appearance of blank or visually overwhelming front main walls. I highlight that the proposed dwelling incorporates built form features that are consistent with built forms in the surrounding area, including along Donessle Drive.

As stated throughout this Letter, the proposed dwelling incorporates a generous stepback above the ground level, and a flat roofline and reduced building height in order to provide for a built form that is well-designed and of appropriate massing and scale. These features collectively enable a refined built form that integrates with the surrounding Neighbourhood. In my opinion, the requested increase in residential floor area ratio will facilitate a high-quality, refined, appropriately sized dwelling that is consistent and compatible with the surrounding Neighbourhood. It will not visually overwhelm or adversely impact the established Neighbourhood character.

### **Increased Lot Coverage**

Section 6.4.2 of By-law 2014-014 states that the maximum lot coverage permitted is 25%, whereas lot coverage of 32.8% is requested.

The general purpose and intent of lot coverage regulations is to ensure that a dwelling's and accessory structure's overall scale and massing is appropriate.

Specifically, lot coverage regulations are intended to ensure an appropriately sized dwelling and any accessory structure is constructed on a lot and to ensure that any structure is in keeping with the character of the surrounding Neighbourhood. Lot coverage regulations work hand-in-hand with building envelope regulations to ensure that a reasonable building footprint is provided. An overall appropriate mass is to be provided by regulating the amount of floor area that can be accommodated on a lot.

I note that By-law 2014 – 014 requires that the floor area of covered porches or lounges, private garages above grade, large eave overhangs and accessory structures to be included in the calculation of lot coverage. This results in situations where proposed lot coverage is elevated. In the case of the Subject Lands, appropriately 6.6% or 105.9 squares metres of the requested lot coverage is contained in the proposed northern side yard covered lounge and rear yard cabana, including the large roof eave overhang areas. The covered lounge and cabana design features assist in providing architectural diversity to the proposed design while also enabling a natural and logical extension of the indoor living areas. Furthermore, covered porches and lounge areas are a noted design feature of dwellings in the surrounding Neighbourhood. I also highlight that the proposed dwelling has positioned a substantial proportion of the proposed livable area to the rear of the property, thereby maintaining an appropriate and consistent streetscape character and presence as found in the surrounding area, while also reducing the dwelling's visual massing and privacy concerns. The massing strategically uses a building height of 8.1 m that is below the permitted maximum height of 9 m to soften the impact of the requested variances, and mitigate any perceived visual impacts to the streetscape along Donessle, as well as neighbouring dwellings.

Finally, I highlight that the requested lot coverage is consistent with existing building patterns. There are instances of increased coverage being approved by Committee in the surrounding area. As such, it is my opinion that the requested lot coverage is appropriate, will enable an appropriate built form, scale and massing to be introduced and maintains the purpose and intent of the regulation.

Based on the above, it is my opinion that the proposed variances meet the general intent and purpose of the Zoning By-law.

**The Variance is Desirable for the Appropriate Development or Use of the Land**

Approval of the requested variances will allow for the proposed development of the Subject Lands. Reinvestment in lands in close proximity to services and amenities, such as that



being proposed, is appropriate and desirable for the Town, the Neighbourhood, and this property.

The requested increased garage entrance width, increased private garage area, reduced interior and front yard setbacks, increased residential floor area ratio and increased lot coverage will maintain an appropriate built form, height, mass, and built-form features. The Owner and designer have given great thought to the building materials being used to ensure they are complimentary of the character of the Neighbourhood. The use of timber, brick and well located green elements will assist in the integration of the proposed dwelling into the existing streetscape and established Neighbourhood character. The variances are desirable in recognizing the appropriate development and use of the Subject Lands.

Overall, it is my opinion that the proposed variances have been designed to be complimentary to the character of the Subject Lands and the surrounding Neighbourhood. The proposal will not negatively affect surrounding uses and represents an efficient, compatible, and appropriate development that is desirable for the Subject Lands.

### **The Variance is Minor in Nature**

The requested variances will permit the development of a replacement dwelling and accessory rear yard cabana structure on the Subject Lands and collectively, represent minor departures from what is currently permitted. The variances required do not represent overdevelopment of the Subject Lands as the proposed dwelling will be complimentary to the surrounding Neighbourhood and will respect the existing physical character, massing and scale of the Neighbourhood.

Overall, the variances will allow for sensitive reinvestment to occur on the Subject Lands in a manner that is compatible and in keeping with the current physical character of the Neighbourhood. The variances requested will not result in adverse impact on adjoining properties or the surrounding Neighbourhood. Therefore, it is my opinion that the proposed variances are minor in nature.

### **CONCLUSION**

As described above, the requested variances satisfy the four tests of Section 45(1) of the *Planning Act* and represent good planning.



Yours very truly,  
**GLEN SCHNARR & ASSOCIATES INC.**

Jim Levac, MCIP, RPP  
**Partner**