



Town of Oakville
Heritage Oakville Advisory Committee

AGENDA

Date: November 26, 2024
Time: 9:30 am
Location: Council Chamber

Town Hall is open to the public and live streaming video is available on <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/live-stream> or at the town's YouTube channel at <https://www.youtube.com/user/TownofOakvilleTV>. Information regarding written submissions and requests to delegate can be found at <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/delegations-presentations>.

	Pages
1. Regrets	
2. Declarations of Pecuniary Interest	
3. Confirmation of Minutes of Previous Meeting(s)	
3.1 Minutes October 29, 2024	3 - 5
Recommendation: That the minutes of the Heritage Oakville Advisory Committee meeting of October 29, 2024 be approved.	
4. Discussion Item(s)	
4.1 Notice of intention to designate – Multiple properties – October 29, 2024	6 - 212
Recommendation: That a notice of intention to designate be issued under section 29, Part IV of the <i>Ontario Heritage Act</i> for the following properties:	
1. Guess House Stone Wall at 323 Douglas Avenue;	
2. Baillie Estate Farm Manager’s Cottage at 1110 Lakeshore Road West;	
3. Smith House at 2460 Old Bronte Road;	
4. James and Muriel Blakelock House at 123 Trafalgar Road;	

- 5. Dorland House at 127 Trafalgar Road; and
- 6. Guess House Stone Wall at 322 Watson Avenue.

5. Information Item(s)

5.1 Heritage Conservation District Update

5.2 Designation Project Update

5.3 2025 Meeting Schedule

213 - 213

Recommendation:
That the information item(s) be received.

6. Date and Time of Next Meeting

Tuesday December 17, 2024

Oakville Municipal Building

Council Chamber - 9:30 a.m.

7. Adjournment



Heritage Oakville Advisory Committee

MINUTES

Date: October 29, 2024

Time: 9:30 am

Location: Council Chamber

Members: Drew Bucknall, Chair
Gerarda (Geri) Tino, Vice-Chair
Councillor Gittings
Councillor McNeice
Russell Buckland
Kerry Colborne
George Gordon
Bob Laughlin

Regrets: Susan Hobson
Jason Judson

Staff: K. Biggar, Manager of Policy Planning and Heritage
C. Van Sligtenhorst, Supervisor of Heritage Conservation
S. Schappert, Heritage Planner
J. Radomirovic, Council and Committee Coordinator

A meeting of the Heritage Oakville Advisory Committee was held on October 29, 2024, in the Council Chamber of the Oakville Municipal Building, commencing at 9:30 a.m.

These minutes will go forward to the Planning and Development Council meeting of November 25, 2024 for approval. Please view those minutes to note any changes Council may have made.

1. Regrets

As noted above.

2. Declarations of Pecuniary Interest

No declarations of pecuniary interest were declared.

3. Confirmation of Minutes of Previous Meeting(s)

3.1 Minutes September 17, 2024

Moved by Bob Laughlin

That the minutes of the Heritage Oakville Advisory Committee meeting of September 17, 2024 be approved.

CARRIED

4. Discussion Item(s)

4.1 Heritage Permit Application HP024/24-42.20A – Demolition of existing residence and construction of new residence – 81 Allan Street

The following delegate spoke on this item:

Alison Strickland representing the applicant 1986014 Ontario Inc.

Moved by Councillor Gittings

1. That Heritage Permit Application HP024/24-42.20A for the demolition of the existing residence and construction of a new residence at 81 Allan Street, as attached in Appendix B to the report dated October 15, 2024, from Planning Services, be approved subject to the following:
 - a. That final details on the windows, doors, trim, cladding materials and paint colours be submitted to Heritage Planning staff for final approval; and,
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

4.2 Notice of intention to designate – Multiple properties – October 29, 2024

Moved by Councillor McNeice

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the following properties:

1. Glendon House Stone Wall at 225 Bronte Road;
2. Glendon House Stone Wall at 231 Bronte Road;
3. Glendon House Stone Wall at 235 Bronte Road;
4. Dane MacKendrick House at 1314 Lakeshore Road East; and
5. Chapman House at 2167 Rebecca Street.

CARRIED

5. Information Item(s)

5.1 Heritage Conservation District Update

5.2 Designation Project Update

Moved by Gerarda (Geri) Tino

That the information item(s) be received.

CARRIED

6. Date and Time of Next Meeting

Tuesday November 26, 2024

Oakville Municipal Building

Council Chamber - 9:30 a.m.

7. Adjournment

The meeting adjourned at 10:09 a.m.

REPORT

Heritage Oakville Advisory Committee

Meeting Date: November 26, 2024

FROM: Planning and Development Department

DATE: November 12, 2024

SUBJECT: Notice of intention to designate – Multiple properties – October 29, 2024

LOCATION: Multiple properties

WARD: Ward 1 2 3 Page 1

RECOMMENDATION:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the following properties:

- 1) Guess House Stone Wall at 323 Douglas Avenue;
- 2) Baillie Estate Farm Manager's Cottage at 1110 Lakeshore Road West;
- 3) Smith House at 2460 Old Bronte Road;
- 4) James and Muriel Blakelock House at 123 Trafalgar Road;
- 5) Dorland House at 127 Trafalgar Road; and
- 6) Guess House Stone Wall at 322 Watson Avenue.

KEY FACTS:

The following are key points for consideration with respect to this report:

- As part of the Heritage Designation Project 2023-2025, Heritage Planning staff has evaluated the subject properties and considers them worthy of conservation and heritage designation.
- Staff is recommending that the subject properties be designated under section 29, Part IV of the *Ontario Heritage Act* and that notices of intention to designate be issued by Council for each property.

BACKGROUND:

In October 2022, Ontario's Ministry of Municipal Affairs and Housing introduced Bill 23, *More Homes Built Faster Act, 2022*. The bill included several amendments to the *Ontario Heritage Act*, including a two-year time limit for listed properties to remain on municipal heritage registers. In early 2023, Policy Planning & Heritage initiated the

Heritage Designation Project 2023-2025 to designate approximately 80 listed properties prior to their required removal from Oakville's Heritage Register on January 1, 2025. The subject properties of this report were included as priorities within that list.

In June 2024, Bill 200, *Homeowner Protection Act, 2024*, was passed. This bill extended the two-year time limit for existing listed properties on municipal heritage registers from January 1, 2025 to January 1, 2027. While these additional two years are beneficial, staff is continuing the work of the Heritage Designation Project 2023-2025 with the original project timeline, based on staff resources.

Location maps for the subject properties are attached as Appendix A.

A Cultural Heritage Evaluation Report (CHER) has been prepared for each property. These documents provide an overview of each of the property's history, current condition and cultural heritage value. The CHERs are attached as follows:

- Appendix B – Cultural Heritage Evaluation Report – 323 Douglas Avenue
- Appendix C – Cultural Heritage Evaluation Report – 1110 Lakeshore Road West
- Appendix D – Cultural Heritage Evaluation Report – 2460 Old Bronte Road
- Appendix E – Cultural Heritage Evaluation Report – 123 Trafalgar Road
- Appendix F – Cultural Heritage Evaluation Report – 127 Trafalgar Road
- Appendix G – Cultural Heritage Evaluation Report – 322 Watson Avenue

Draft Notices of Intention to Designate have also been prepared by staff for each property and are attached as Appendix H.

COMMENT/OPTIONS:

The Province of Ontario has made a clear commitment to the conservation of significant cultural heritage resources through its legislation and policies, including the *Ontario Heritage Act (2021)*, the *Planning Act (1990, as amended)* and the Provincial Policy Statement (2024).

The OHA sets out the procedures for evaluating and protecting heritage resources at the provincial and municipal levels. This includes the use of Ontario Regulation 9/06 as the means for determining if a property has cultural heritage value.

This commitment to heritage conservation continues at the regional and municipal level through supportive objectives and directions outlined in the Region of Halton Official Plan and the town's Livable Oakville Plan and North Oakville East and West Secondary Plans.

In accordance with the OHA, a property must meet at least two criteria of Ontario Regulation 9/06. The subject properties have been evaluated using these criteria.

Staff considers each property to meet at least two or more of these criteria, and therefore each property merits designation under section 29, Part IV of the OHA. The attached Cultural Heritage Evaluation Reports provide more details on the cultural heritage value of each property.

Also attached are draft Notices of Intention to Designate. These provide a clear outline of each property's cultural heritage value and the heritage attributes recommended for protection and conservation through a future designation by-law. Separate staff reports recommending designation of the subject properties will be presented to Planning & Development Council at a future meeting.

CONSIDERATIONS:

(A) PUBLIC

If notice is to be issued for the designation of the property, notice will be given in accordance with the town's *Ontario Heritage Act* Alternative Notice Policy.

(B) FINANCIAL

There are no financial implications to consider.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The Legal department will be consulted on the designations as necessary.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities of Community Belonging, Environmental Sustainability and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing carbon footprints. The retention and conservation of these historic buildings through heritage designation contributes to the town's initiatives to reduce carbon footprints.

APPENDICES:

Appendix A – Location Maps

Appendix B – Cultural Heritage Evaluation Report – 323 Douglas Avenue

Appendix C – Cultural Heritage Evaluation Report – 1110 Lakeshore Road West

Appendix D – Cultural Heritage Evaluation Report – 2460 Old Bronte Road

Appendix E – Cultural Heritage Evaluation Report – 123 Trafalgar Road

Appendix F – Cultural Heritage Evaluation Report – 127 Trafalgar Road

Appendix G – Cultural Heritage Evaluation Report – 322 Watson Avenue

Appendix H – Notices of intention to designate

Prepared by:
Carolyn Van Sligtenhorst, MCIP, RPP, CAHP
Supervisor, Heritage Conservation

Recommended by:
Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:
Gabe Charles, MCIP, RPP
Director, Planning and Development

APPENDIX A



0 20 40 80
Meters

323 Douglas Avenue

LOCATION



SUBJECT LANDS

Community Development Commission

S:\ServiceRequests\REQ 11899 - Location Maps\



0 20 40 80
Meters

1110 Lakeshore Road West

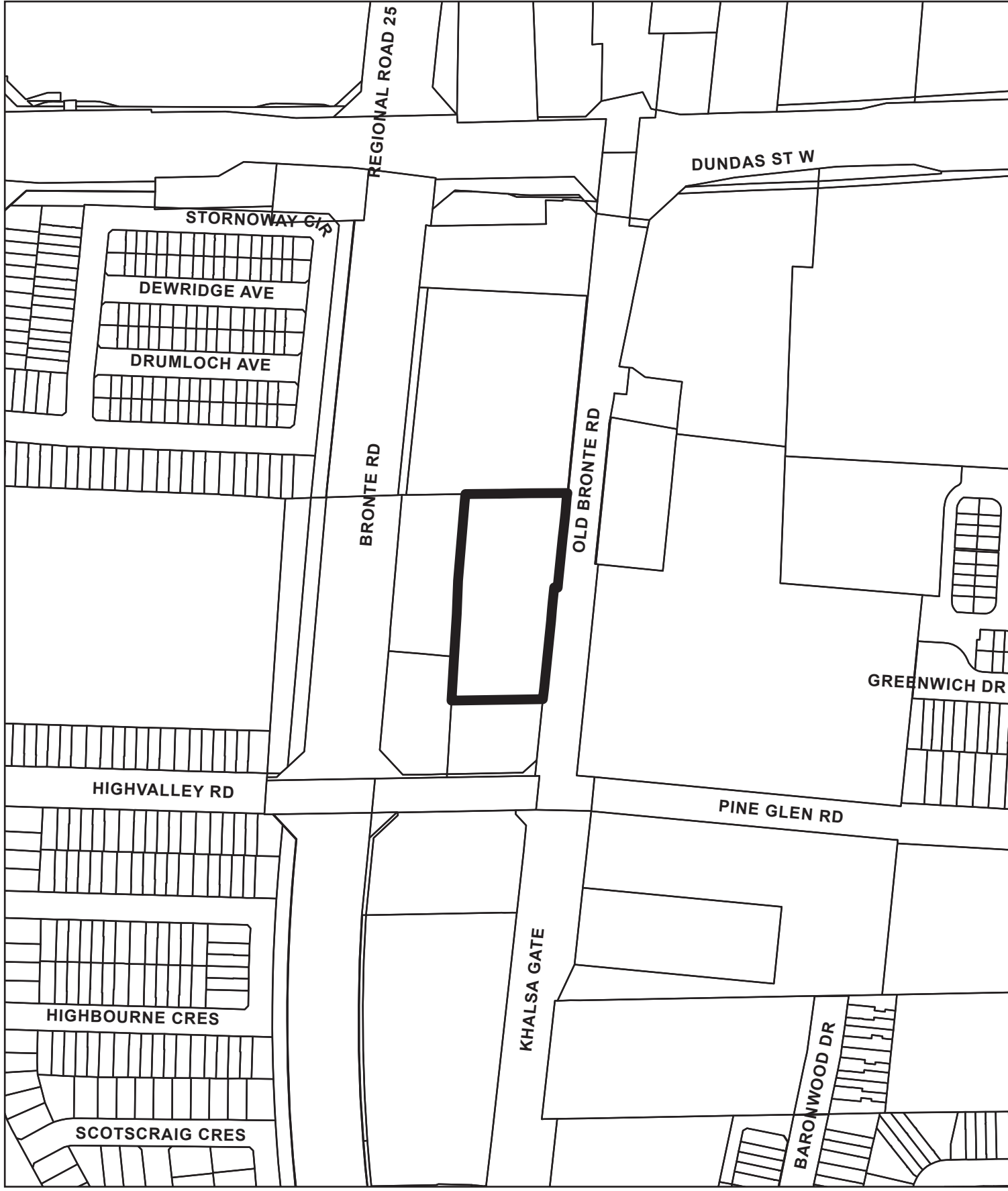


SUBJECT LANDS

LOCATION

Community Development Commission

S:\ServiceRequests\REQ 11899 - Location Maps\



2460 Old Bronte Road

LOCATION

 **SUBJECT LANDS**

Community Development Commission

S:\ServiceRequests\REQ 11899 - Location Maps\



123 Trafalgar Road



SUBJECT LANDS

LOCATION

Community Development Commission

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127 Trafalgar Road

 **SUBJECT LANDS**

LOCATION

Community Development Commission

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0 20 40 80
Meters

322 Watson Avenue

LOCATION



SUBJECT LANDS

Community Development Commission

S:\ServiceRequests\REQ 11899 - Location Maps\

Cultural Heritage Evaluation Report
Guess House Stone Wall
323 Douglas Avenue, Oakville, Ontario



Stone wall in front of 323 Douglas Ave, 2021. Source: *Town of Oakville Planning and Development Staff*

Town of Oakville
Heritage Planning
Authors: Kristen McLaughlin, Carolyn Van Sligtenhorst
October 2024

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Significance and identification of heritage attributes.

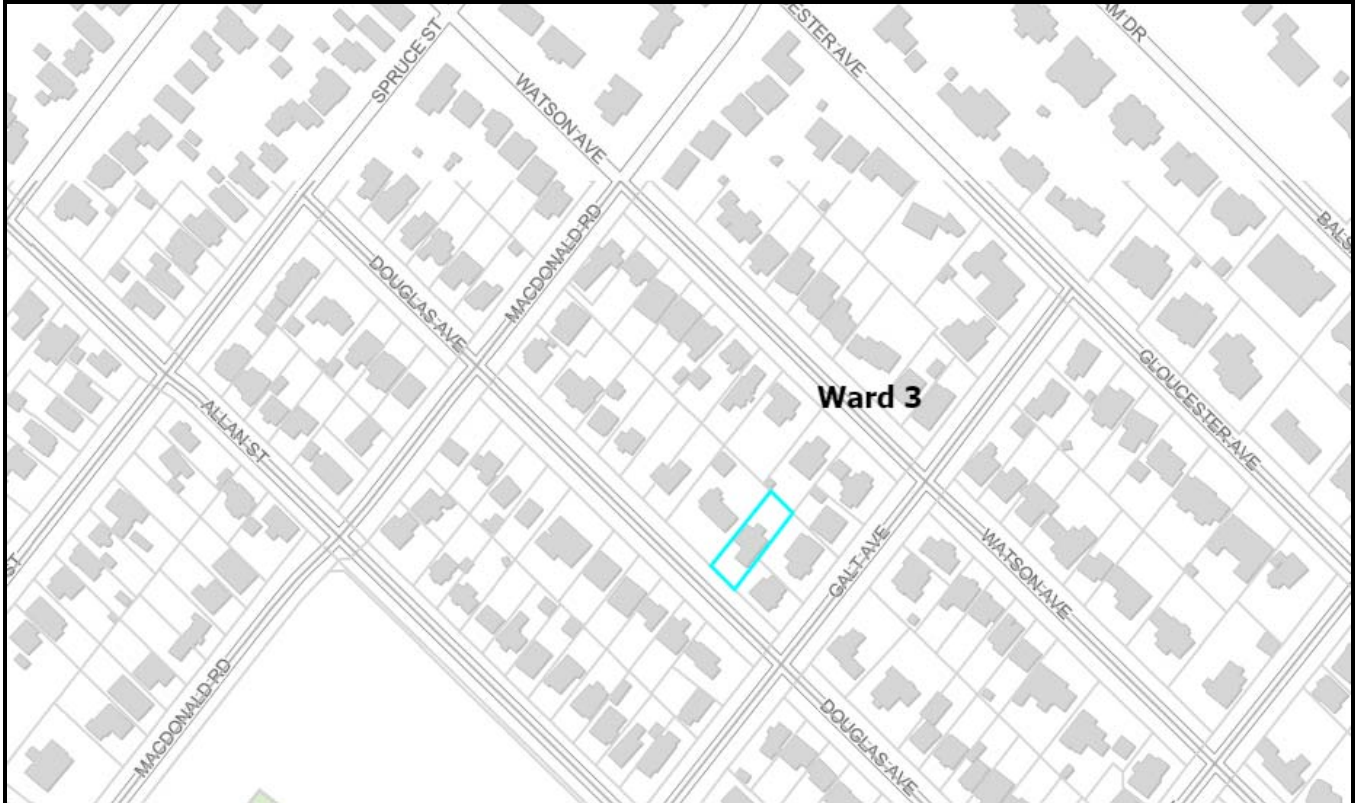
The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2024). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The stone wall at 323 Douglas Avenue is located on the east side of Douglas Avenue between Macdonald Road and Galt Avenue. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. The wall is historically part of original property for 329 Douglas Avenue, a designated house.

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets four of the criteria of Ontario Regulation 9/06 for its stone wall. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

2. Subject Property

The property at 323 Douglas Avenue is located on the east side of Douglas Avenue between Macdonald Road and Galt Avenue, made up of two original subdivision lots. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. It was historically a part of the Third Concession South of Dundas, Lot 12. After being purchased by Charles Anderson in the early 1800s, the subject property became a part of the Anderson farm until it was subdivided into the Brantwood Survey in 1907. The property contains a non-historic contemporary home and a historic stone wall, known as the Guess House Stone Wall.



Location map: Subject property is outlined blue. 2024. Source: Town of Oakville GIS

Legal description: PLAN 113 LOT 169; TOWN OF OAKVILLE

3. Background Research

Design and Physical Value

he subject property at 323 Douglas Avenue contains a low lakestone wall (sometimes called knee wall) with accompanying columns made of local lakestone. Today it runs across four properties, demarcating the original six lots purchased by George Guess in 1912 to construct his two-storey Arts and Crafts era house. This house is known as the Guess House and is a designated heritage property at 329 Douglas Avenue. The stone wall that was originally built to accompany the Guess House remains today on 323 Douglas Avenue, 329 Douglas Avenue, 322 Watson Avenue and 330 Watson Avenue.

The stone wall was built during the Arts & Craft era, as was the accompanying Guess House. The Arts and Crafts movement began in Britain as a reaction to the rapid growth of industry and the dehumanization of society that resulted from the sudden restructuring of the population to accommodate large factories.¹ The movement spread to North America and many structures built between 1890 and 1940 demonstrate Arts and Crafts influenced architectural details.² Generally, the goal of the residential Arts and Crafts movement was to portray the house as a place of serenity, with a focus on the home as part of the natural environment.³ There was a strong emphasis on artisanal and hand-crafted objects and structures. Natural materials such as brick, stone, stucco and wood were used in new dwellings and associated landscape elements.



Historic photo of the original Guess house, showing the portion of the wall that runs along Douglas Avenue, circa 1913. Source: 1913 Brantwood promotional booklet, Cumberland Land Company Ltd. And W.S. Davis

¹ Ibid., pg. 101

² Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

³ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 105

The stone wall, as a landscape element that accompanied the Guess House, is reflective of the Arts and Crafts movement. The wall is constructed of natural lakestone sourced from the bed of Lake Ontario nearby. The stone wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, organic aesthetic that was typical of the Arts and Crafts era. It also spoke to the owner’s wealth and status by highlighting the expansive size of the property at the time.

As can be seen in historic photos, the stone was originally dry-laid with vertical pieces placed along the top, lending a rustic air to the property. Mortar has since been added between some of the stones on the columns, but much of the wall remains dry-laid. The wall includes low columns, again topped by vertical pieces of lakestone.



The stone wall in front of 323 Douglas Avenue, 2024. Source: *Town of Oakville Planning and Development Staff*



Close up of the dry-laid stone in front of 323 Douglas Avenue, 2024. Source: *Town of Oakville Planning and Development Staff*



The stone wall in front of 323 Douglas Avenue, 2024. Source: Town of Oakville Planning and Development Staff

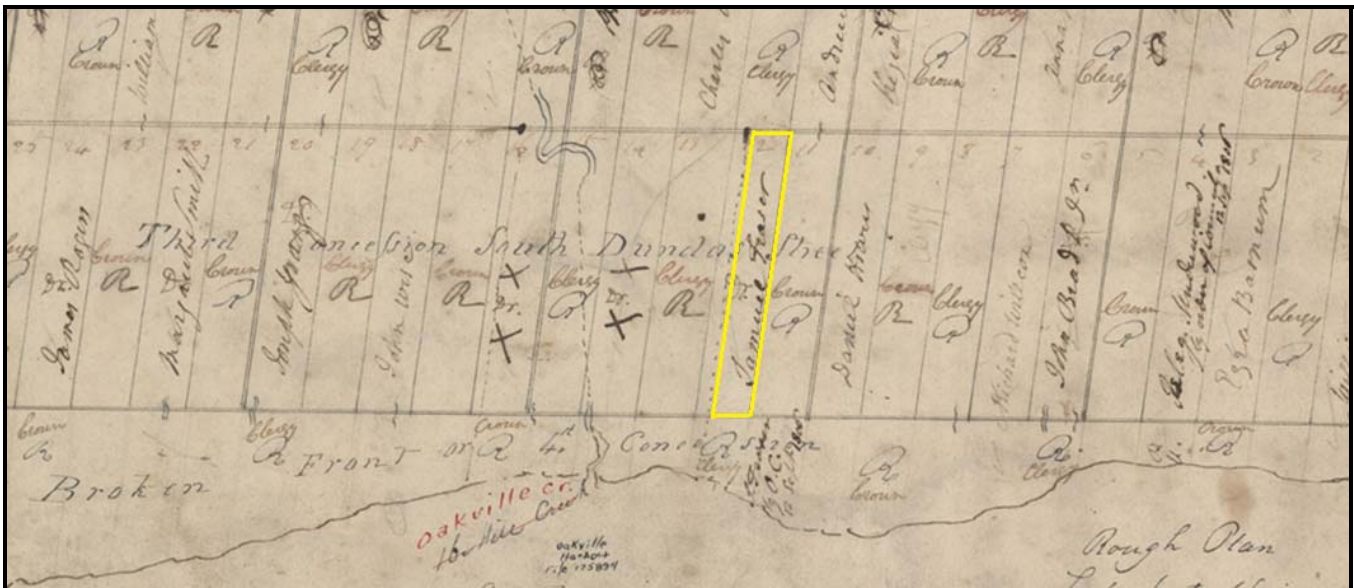


The wall extends in front of Guess' house at 329 Douglas Avenue, 2023. Source: Town of Oakville Planning Services Staff

Historical and Associative Value

The property at 323 Douglas Avenue is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.⁴ The subject property is located within the territory of Treaty No. 14.⁵

The land outside of the waterway reserves kept by the Mississauga was divided up by the Crown. The subject area was known as the Third Concession South of Dundas Street, Lot 12,⁶ and would later become the neighborhood of Brantwood in the 1900s. It is a narrower lot compared to the others, given that it ran alongside the edge of the Mississauga lands on Sixteen Mile Creek.



Wilmot's Trafalgar Township Survey, 1806, with Lot 12, 3rd Concession South of Dundas Street highlighted in yellow. The reserve lands along the creek are most likely the dotted lines, which Lot 12 borders and explain its narrower size in later maps. This would become the Brantwood Survey and subsequent neighbourhood. Source: Archives of Ontario

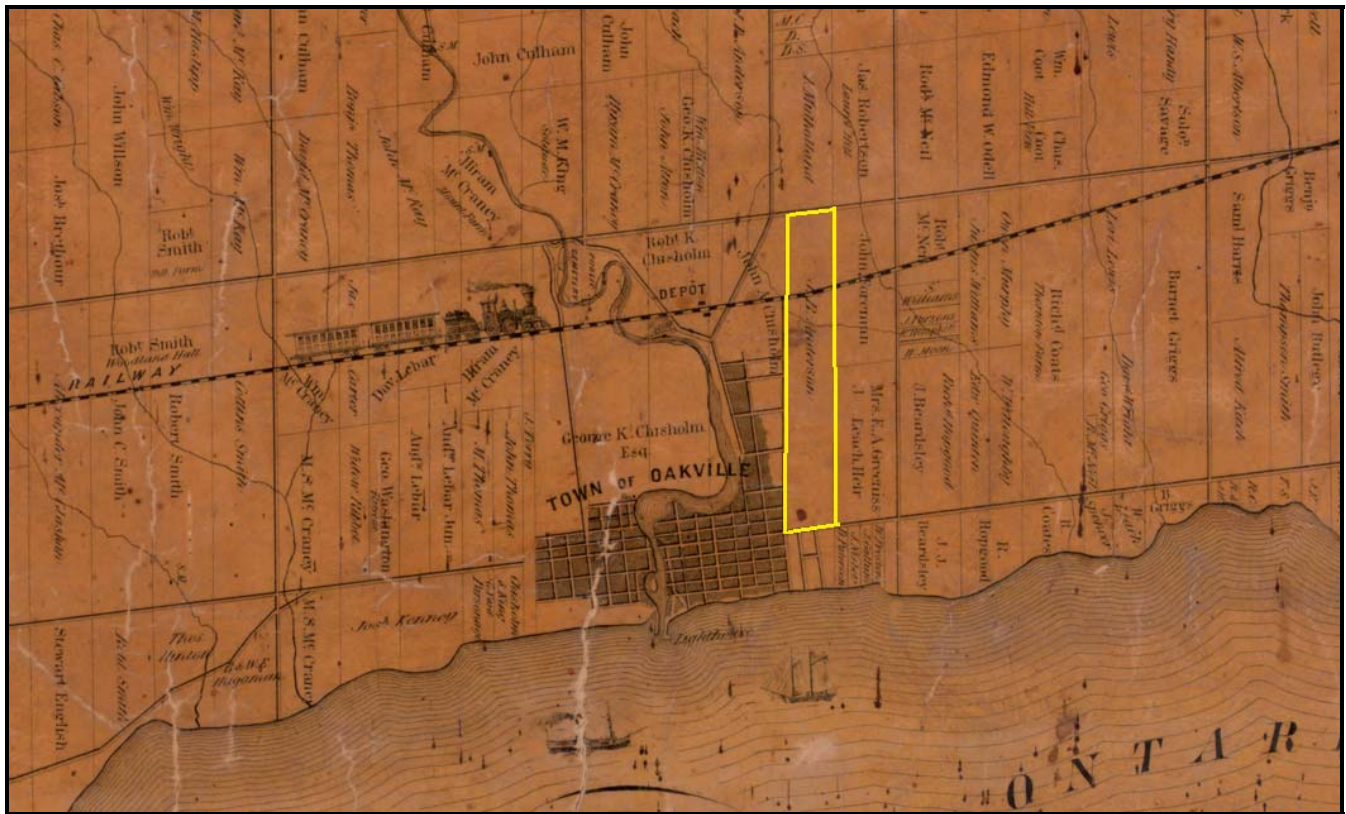
The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding "about 20,000" acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.⁷

⁴ Debwewin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

⁵ 1806 Wilmot Survey

⁶ 1806 Wilmot survey and the subsequent 1858 Tremaine survey

⁷ Debwewin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10



George Tremaine's "County of Halton" survey, 1858, with Lot 12, 3rd Concession South of Dundas Street highlighted in yellow. The Mississauga lands along the creek had been sold by the Crown, and the Village of Oakville was taking shape. At this time, it was owned by Joseph Brant Anderson. Source: University of Toronto

In 1808, the Crown granted Lot 12 to Samuel Fraser, an American settler.⁸ In 1810, Fraser sold the southern portion to Charles Anderson, an Irish immigrant⁹. When the War of 1812 between the US and Britain began, Fraser joined the American forces.¹⁰ Because of this, he was viewed as a traitor after the war and his lands were forfeit to the Crown. In 1819, this portion of Fraser's land was purchased by Charles Anderson.¹¹ The estate was bounded by Lakeshore Road to the south, Gloucester Avenue to the east, Spruce Street to the north, and Allan Street to the west. The lands would stay in the Anderson family until 1902.

Charles Anderson was a friend of Mohawk leader Joseph Brant.¹² When Charles had a son, he was given the name Joseph Brant Anderson. Joseph Brant Anderson and his wife built a log cabin on the property in 1826, close to the path that would become Lakeshore Road East. He farmed the land and built a larger house in 1836.¹³ It burned down in 1895 and at the time was one of the oldest frame homes in the town.¹⁴

⁸ LRO Patent, dated February 15, 1808, from the Crown to Samuel Fraser. A portion of Lot 12 was also given to William Chisholm by the Crown in 1831.

⁹ Oakville Historical Society, "Lot 12", from the Trafalgar Chartwell Residents' Association: <https://www.oakvillehistory.org/lot-12.html>

¹⁰ Ibid.

¹¹ LRO Instrument 166F, being a Bargain and Sale, dated March 31, 1821, between James Baby and Charles Anderson

¹² Oakville Historical Society, "Lot 12", from the Trafalgar Chartwell Residents' Association: <https://www.oakvillehistory.org/lot-12.html>

¹³ Ibid.

¹⁴ Ibid.

In 1831, William Chisholm, a farmer, businessman, and political figure from Nelson Township, now part of Burlington, Ontario, purchased 1,000 acres of land at the mouth of Sixteen Mile Creek from the Crown after the signing of Treaty 22.¹⁵ Chisholm is widely recognized as the founder of the Village of Oakville.



Edward B. Palmer's, "Plan of Oakville, Township of Trafalgar Upper Canada 1835" Source: Oakville Historical Society

Four years after Chisholm's purchase, the area was resurveyed. Edward Palmer's 1835 "Plan of Oakville" divided large swaths of land on both sides of Sixteen Mile Creek. The Anderson land in which the 329 Douglas sits was still in the wooded northeast corner of the above map, which reads "Joseph Anderson's Property". He left it to his son Cyrus Anderson in his will in 1879.¹⁶

The Anderson Estate house, known as "The Grit Anchorage", faced Lakeshore Road¹⁷. Between 1897 and 1902, Anderson was the owner of a private bank located in Oakville's downtown. The Anderson bank failed when it was discovered that it had a shortage due to the misappropriation of funds.¹⁸ The Bank of Hamilton, its principal creditor, acquired title to the Anderson farm.¹⁹

To help recover their losses, the Bank of Hamilton planned a large subdivision in 1907 on what had been Anderson's farm. The Cumberland Land Company Limited, a syndicate formed by the Bank of Hamilton to subdivide and sell off the 200 acres of Anderson's land,²⁰ oversaw the project and its infrastructure—planning

¹⁵ Ministry of Natural Resources, Crown Grant, wherein William Chisholm of Nelson Township purchased 1,000 acres of Crown land for £1,020, on the 25th of March 1831

¹⁶ LRO Instruments 46F and 1336D, both being left in their wills, dated February 23, 1829 (between Charles and Joseph Brant) and September 30, 1879 (between Joseph Brant and Cyrus).

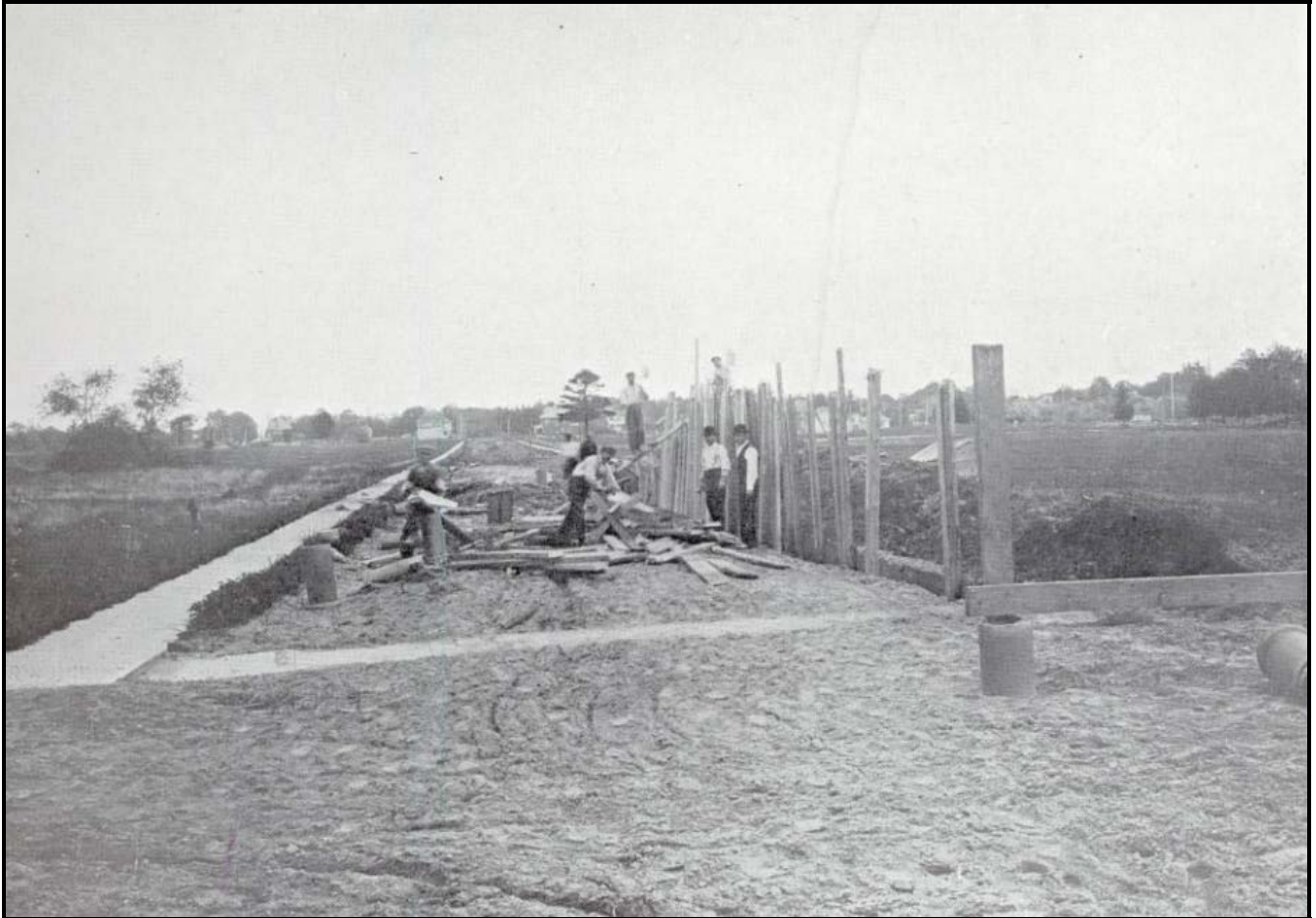
¹⁷ Ahern, Frances Robin. *Oakville: A Small Town, 1900-1930*, pp. 110-113, Oakville: Oakville Historical Society

¹⁸ *The Globe*, "Bank crash is complete", January 7, 1903, pg. 7

¹⁹ *The Globe*, "A document found", January 10, 1903 pg. 28

²⁰ Ahern, Frances Robin. *Oakville: A Small Town, 1900-1930*, pg. 110-113, Oakville: Oakville Historical Society

streets, sewers, and sidewalks—as well as selling the lots along with William Sinclair (W.S.) Davis, a local real estate agent who was appointed sales manager.²¹ The new subdivision was known as Brantwood.²²



1913 photo of workers laying sewers on Douglas Avenue. Sidewalks and other infrastructure were built to draw buyers in. *Source: 1913 Brantwood promotional booklet, Cumberland Land Company Ltd. and W.S. Davis*

A detailed sales brochure (circa 1913-1916) was developed to target Toronto and Hamilton middle class workers and their families to relocate to this new subdivision in Oakville.²³ While the infrastructure was made up of the modern conveniences of the era (sewage, water, and paved roads), sales of the lots in the subdivision slowed through the First World War and did not pick up again until the mid-1920s and 30s.²⁴

As part of this new subdivision, in 1909, Cameron Bartlett, of the Bank of Hamilton sold Lot 170 and 171 directly to William Sinclair Davis.²⁵

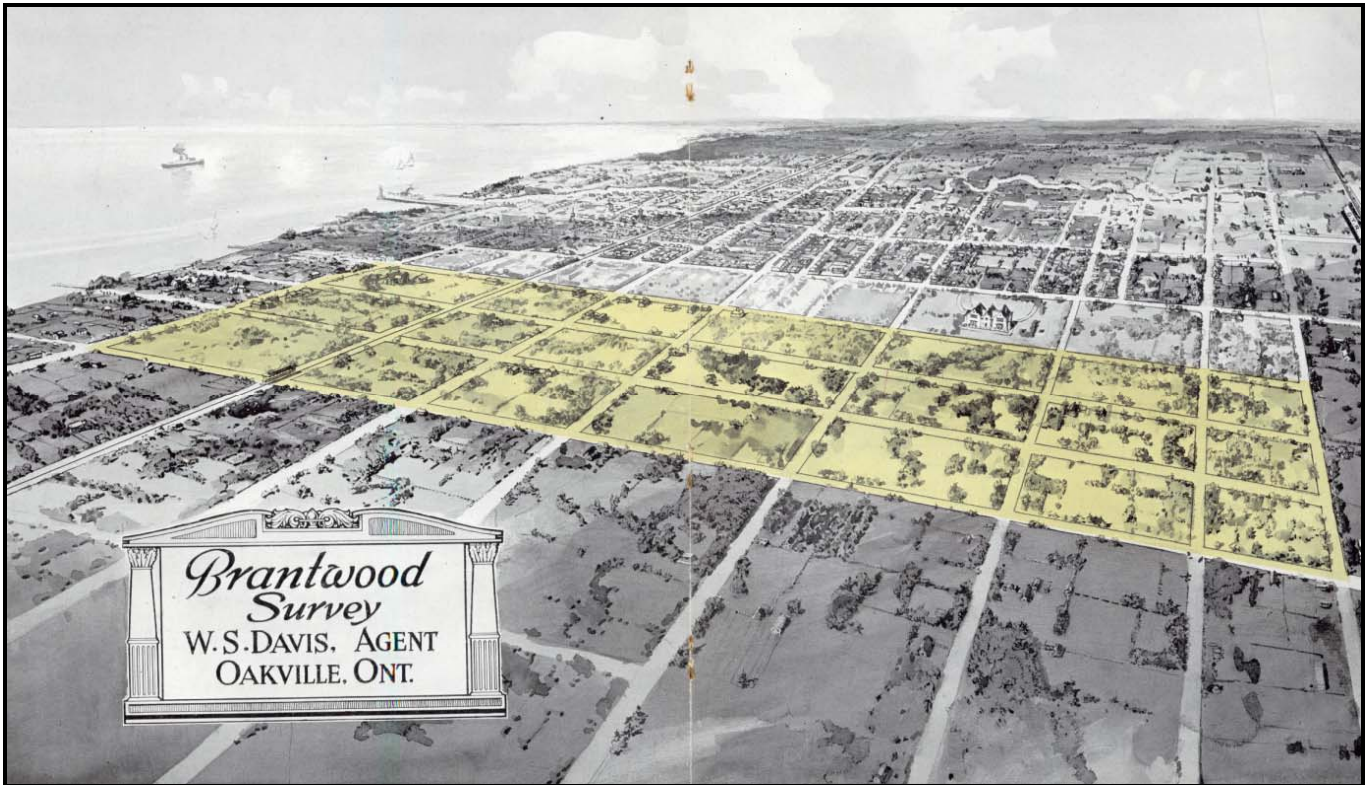
²¹ Cumberland Construction Company Ltd. and W.S. Davis, “Brantwood” pamphlet, 1913; Town of Oakville, Planning Services, 78 Allan Street property file, Heritage Structure Report, undated, pg. 1

²² Oakville Historical Society, Brantwood Survey, 1907

²³ Cumberland Construction Company Ltd. and W.S. Davis, “Brantwood” pamphlet, 1913

²⁴ Town of Oakville, Planning Services, 376 Douglas Avenue property file, Heritage Research Report, July 2011, pg. 6

²⁵ LRO Instrument 4254, being a Bargain and Sale, dated 11 October 1909, between Cameron Bartlett and William Sinclair Davis



Aerial drawing of the borders of the Brantwood Survey in context with the surrounding area and Lake Ontario. A close-up of the house, with artistic liberty, at 329 Douglas from this image is below, showing it was one of the earliest planned in the subdivision. *Source: 1913 Brantwood promotional booklet, Cumberland Land Company Ltd., and W.S. Davis*



The house at 329 Douglas was one of the earliest built in the subdivision. On October 13, 1909, manufacturer Herbert Elliot purchased Lot 170 and 171 from Davis, as well as Lots 169, 198 199, and 200.²⁶ The house was built while the property was owned by Herbert Elliot, however, it is unknown who the builder was. While it was under his ownership, the house was built by 1910.²⁷

²⁶ LRO Instrument 4269, being a Bargain and Sale, dated October 13, 1909, between W.S. Davis and Herbert Elliot and the other lots for a total of \$2,100

²⁷ Oakville Public Library, 1910 Town of Oakville Assessment roll: Lot 170 and 171 et al. are owned by Herbert Elliot. It lists it as “B” for built upon, and the value of the buildings is \$3,500, indicating that within a year of purchase the house had been mostly complete.

OAKVILLE — PLAN — OF — BRANTWOOD SURVEY —



A map of the 1907 Brantwood Survey, showing the original six lots purchased by Herbert Elliot in 1909 and sold to Guess in orange, and Lots 170 and 171 in yellow where the house was constructed. *Source: Oakville Historical Society*

The house is pictured in the 1913 Brantwood brochure. From this photo we can see some of the infrastructure work is still happening in the subdivision, as evident from the pile of pipework next to the road yet to be installed and the unpaved road (note the sidewalk is completed). The low lakestone wall is the same one that stands today and extended around the six lots.



1913 image of the house, showing original elements that still stand, including the lakestone wall and columns. *Source: 1913 Brantwood promotional booklet, Cumberland Land Company Ltd. and W.S. Davis*

In 1912, Elliot sold the six lots to George A. Guess, professor at the University of Toronto.²⁸ It is unclear under which owner the stone wall was built, since the six lots were owned by both Elliott and Guess. The earliest we can confirm its existence is in the 1913 Brantwood pamphlet image above, when it was owned by George Guess. However, since Elliot had the house built, it is possible he also had the wall constructed at the same time as it follows the same Arts and Crafts design ethos as the house.

George Arthur Guess was born in 1873 in Ontario.²⁹ He graduated from Queen's University in 1894 with a master's degree and moved west to British Columbia to work in the copper mining business, forming a company with his brother Harry.^{30 31} He was at the head of many large experimental metallurgical mining concerns in

²⁸ LRO Instrument8148, being a Grant, dated March 19, 1912, between Herbert Elliot and George A. Guess, for a total cost of \$8,100.

²⁹ *The Ottawa Journal*, "Deaths", October 23, 1954, pg. 2

³⁰ *The Globe*, "Queen's Graduates", April 24, 1894, pg. 1

³¹ Henderson's British Columbia Gazetteer and Directory and Mining Companies, 1899-1900, Ancestry.com. *Canada, City and Area Directories, 1819-1906*. Provo, UT, USA: Ancestry.com Operations, Inc., 2013. lists George Arthur Guess and Harry Guess as owners of the company Guess Brothers; Harry's residence however is Keewatin, Ontario

Mexico, the U.S., and South America. In 1912 he returned to Ontario to become the head of the Department of Metallurgy at the University of Toronto.³²



This prompted the purchase of the house at 329 Douglas Avenue. George's wife, Emma, died in 1926 from an illness.³³ They had one son, Arthur. Guess then remarried Edna Ashley the following year.³⁴ The Guess families lived in the house for a total of over 60 years. Guess retired from his role at the University of Toronto in 1943.³⁵ Before this, in 1918, he'd received a patent for electrolytically separating nickel from copper.³⁶ He gave many talks about his metallurgical experiences when he was in Ontario. Guess lived in the house until he passed away in 1954, and then his second wife Edna remained there until her death in 1973.³⁷

Clip from the *Globe* announcing George Guess, pictured, as the new Head of the Department of Metallurgy, 1912. Source: *Globe and Mail*



Photo of the house in 1929, published in the *Toronto Star*. Source: *Toronto Public Library – Toronto Star Photograph Archive*

³² *The Globe*, "Heads department of metallurgy", January 13, 1912, pg. 9; *The Globe*, "Metallurgy chair in the university," January 13, 1912, pg. 9

³³ *Globe*, "Mrs. George A. Guess", March 4, 1926, pg. 12

³⁴ Ancestry.ca, marriage certificate

³⁵ Ancestry.ca, article from *The Gazette*, September 18, 1943, pg. 13

³⁶ *Globe*, "Patents issues", February 2, 1918, pg. 9

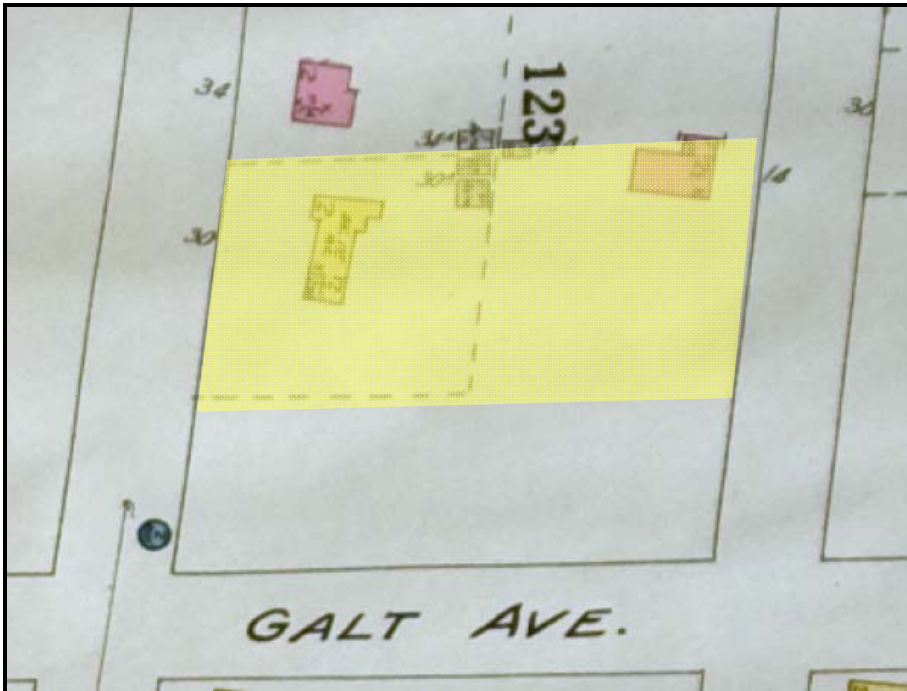
³⁷ *The Ottawa Journal*, "Deaths", October 1, 1954, pg. 2; LRO Instrument 8151, being a Certificate, dated October 11, 1955, to Edna Guess, and LRO Instrument 374960, being an Execution of Deed, dated September 27, 1973, from Ross Regie, executor of Edna Guess' will, to John and Tiiu Purkis



The four properties that still contain the Guess House Stone wall highlighted in yellow. *Source: Town of Oakville GIS*



Close up of the lots showing the six lots (171, 170, 169 and 198, 199, and 200) that were a part of the original parcel of land. The three lots on Watson Avenue were sold in 1921 and Lot 169 remained as part of the property until the 1960s. The wall still stands at the front of all these lots. *Source: OnLand Property Search*



1924 fire insurance map with the four properties containing the stone wall outlined. The existing houses at 329 Douglas Avenue and 330 Watson Avenue can be seen in the map. Source: Underwriters' Survey Bureau, Insurance Plan of the Town of Oakville. Toronto: Underwriters' survey Bureau, 1924



1932 fire insurance map with the four properties containing the stone wall outlined. The existing houses at 329 Douglas Avenue and 330 Watson Avenue can be seen in the map. Source: Underwriters' Survey Bureau, Insurance Plan of the Town of Oakville. Toronto: Underwriters' survey Bureau, 1932.

Lot 169 to the south and Lots 198, 199, and 200 on Watson Avenue were also owned by Elliot and then Guess. Lots 198, 199, and 200 were not built on before the second property owner sold them in 1921.³⁸ The house at 330 Watson Avenue was then built, and Lot 200 was its yard facing the lake until the house was built in 1990. Lot 169 remained a part of the subject property for several decades and was eventually sold in 1969 and a house was built the same year.³⁹

In summary, the stone wall has historical and associative value not only because it was built early on in the development of Brantwood, an important local subdivision and one of the first in Oakville from the early 20th century, but also with its association with George Guess, whose family lived in the original house associated with the wall for over 60 years.

³⁸ Oakville Public Library, 1912 Town of Oakville assessment roll

³⁹ LRO Instrument 283608, being a Grant dated October 15, 1969, between Edna Guess and Oakville Developments Ltd; notes state it is Lot 169 only. According to 1949 fire insurance map there is no building in that year, but undetermined if built on at time of sale.

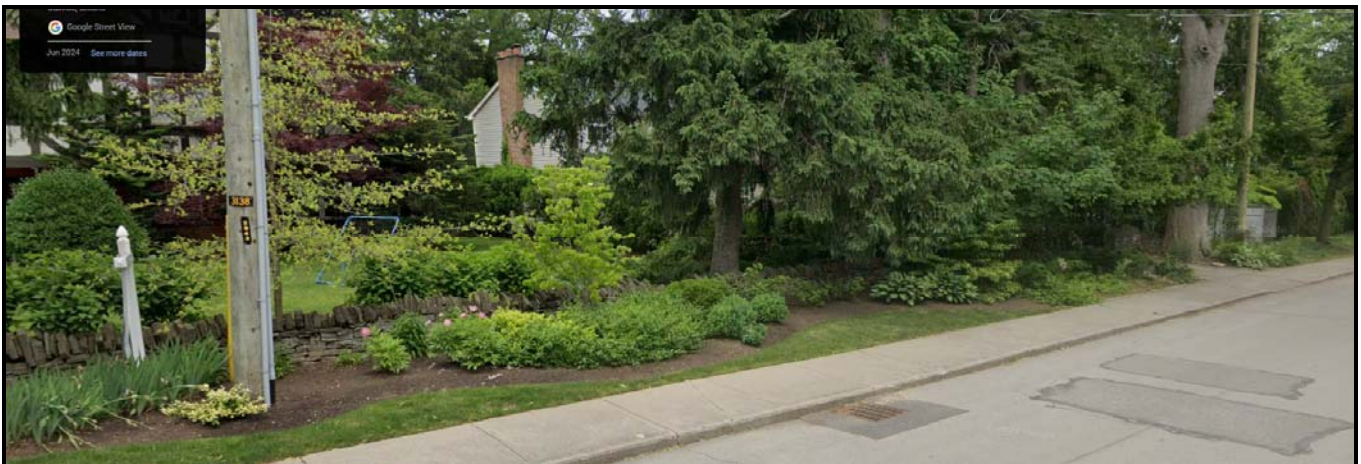
Contextual Value

The subject property is part of the historic Brantwood residential subdivision. The streetscape of the area consists of mature trees and moderate sized lots which contain medium to large sized houses. Houses in this area range in age and architectural style, dating from the early to mid-20th century, specifically being built between 1910 and 1940. Many of the original houses in the Brantwood survey were inspired by the Arts and Crafts movement.

The historic stone wall on the property is physically, functionally, visually, and historically linked to its surroundings. It is also important in defining, supporting and maintaining the historic residential character of Brantwood. The stone wall was built for one of the oldest houses on the street and is representative of the Arts & Crafts era. It was designed, along with its original house, to recall the English countryside and tie the house to the land through this hand-made natural landscape feature. It remains a rare remnant structure from the early 20th century and is a distinguishing feature of the streetscape. Running along four separate properties, the wall provides a physical and visual reminder of the large historic estates that were originally constructed within Brantwood. Despite multiple severances and the construction of new homes over many decades, the stone wall remains as a defining feature of the neighbourhood.



View of Douglas Avenue looking north with subject property on the right, 2021. Source: Google Street View



View of Douglas Avenue looking south with subject property on the right, 2021. Source: Google Street View

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The stone wall is a rare remaining example of an early 20 th century lakestone wall in Oakville.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	The stone wall is associated with the theme of development of 'Brantwood', an early 20th century subdivision of Oakville that was influenced by the Arts and Crafts movement.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	There are no known connections to an architect, artist, builder, designer or theorist who is significant to a community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The stone wall is important in defining, maintaining and supporting the historic residential character of Brantwood.	Y
ii. is physically, functionally, visually, or historically linked to its surroundings;	The stone wall is physically, functionally, visually, and historically linked to its surroundings. It contributes to the history of the local community, specifically Brantwood, a significant early 20th century Oakville subdivision.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 323 Douglas Avenue is located on the east side of Douglas Avenue, between Macdonald Road and Galt Avenue in the Brantwood neighbourhood. The property contains a circa 1913 dry-laid lakestone wall originally associated with the Guess House at 329 Douglas Avenue.

Design or Physical Value:

The Guess House Stone Wall has design and physical value as a representative example of an Arts and Crafts era landscape wall. The goal of the residential Arts and Crafts movement was to portray the house as a place of serenity, with a focus on the home as part of the natural environment. There was a strong emphasis on artisanal and hand-crafted objects and structures and natural materials such as brick, stone, stucco and wood. The stone wall is constructed of natural lakestone sourced from the bed of Lake Ontario nearby. The wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, organic aesthetic that was typical of the Arts and Crafts era. It also spoke to the owner's wealth and status by highlighting the expansive size of the property at the time. The craftsmanship can be seen in the originally dry-laid structure topped by vertical pieces of lakestone and its stone columns topped by large fieldstones.

Historical Value or Associative Value:

The Guess House Stone Wall has cultural heritage value for its associations with the theme of development of the local residential area known as 'Brantwood'. Developed in the early 1900s, this subdivision was designed with large lots and was sold to city dwellers as a secluded, beautiful and modern neighbourhood in which to construct their own cottage or stately home. The stone wall was built as part of the Guess House, a large estate home constructed circa 1910 in the Tudor Revival and Craftsman styles, typical architectural styles of the Arts and Crafts period. The wall still stands on four separate properties that make up the original estate property.

Contextual Value:

The Guess House Stone Wall is physically, functionally, visually, and historically linked to its surroundings. It is also important in defining, supporting and maintaining the historic residential character of Brantwood. The stone wall was built for one of the oldest houses on the street and is representative of the Arts & Crafts era. It was designed, along with its original house, to recall the English countryside and tie the house to the land through this hand-made natural landscape feature. It remains a rare remnant structure from the early 20th century and is a distinguishing feature of the streetscape. Running along four separate properties, the wall provides a physical and visual reminder of the large historic estates that were originally constructed within Brantwood. Despite multiple severances and the construction of new homes over many decades, the stone wall remains as a defining feature of the neighbourhood.

Description of Heritage Attributes

Key heritage attributes of the property at 323 Douglas Avenue that exemplify its cultural heritage value as an early 20th century Arts and Crafts era landscape wall, include the following:

- The low lakestone wall and columns topped by vertical pieces of lakestone.

6. Conclusion

This property meets three of the criteria of Ontario Regulation 9/06, including historical/associative value and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

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HERITAGE IMPACT ASSESSMENT



FARM MANAGER'S COTTAGE, LISONALLY FARM
1110 Lakeshore Road West, Oakville, Ontario

05 OCT 2021

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EXECUTIVE SUMMARY

The subject dwelling is the former Farm Manager's House for Lisonally Farm, the summer home of Sir Frank and Lady Baillie. It was built c.1926 to designs by Page & Warrington and is the only surviving building from the Baillie Estate. It is a very modest 1-storey dwelling that does not meet the needs of the current owner who is a descendant of the Baillie family.

Rehabilitation of the cottage is challenging given its modest size and its location in the back corner of the lot. Therefore, after much consultation with heritage staff, it was agreed that moving the cottage to the center of the lot so that sensitive additions could be introduced, was preferable to demolition or other options such as an addition in front of the cottage or radical changes to the existing roofline to add additional floors.

The proposal ensures that all exterior heritage elements will be preserved. It is therefore recommended that the proposal be supported and that impacts of the proposed interventions be mitigated in the following ways;

In order to mitigate the proposed alterations, it is recommended that the applicant be required to:

- document the exterior and interior
- salvage interior elements that have potential for reuse

In order to mitigate the risks of moving the heritage building, it is recommended that the applicant be required to:

- submit a Moving Plan by a certified heritage building mover and approved by a structural engineer with experience moving heritage buildings

Furthermore, the Baillie Cottage has been found to meet several criteria for Designation under the *Ontario Heritage Act*. It is therefore recommended that:

- the owner agree to *Designation* of the cottage in its new location
- the owner provide a *Letter of Credit* to the City prior to relocation of the cottage, to be released once it is secured on the new foundation

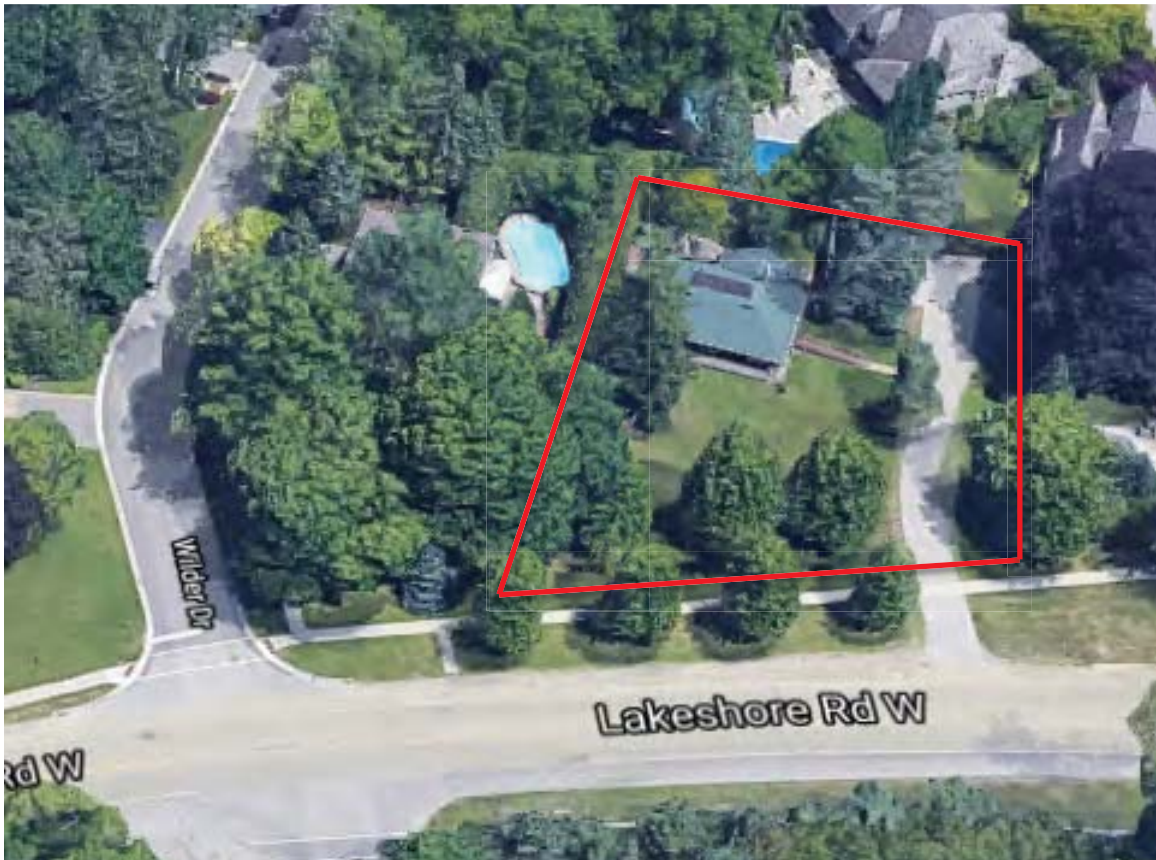
1.0 INTRODUCTION

This *Heritage Impact Assessment* (HIA) was prepared by Megan Hobson for Jennifer Kravis, as a requirement for obtaining a heritage permit to make alterations to a listed heritage building at 1110 Lakeshore Road, known as the Baillie Cottage. This report meets requirements of the City of Oakville for *Heritage Impact Assessments*.

Two site visits were undertaken in the November 2020 and September 2021 to document the heritage building and its physical context on Lakeshore Road West. Historical research was undertaken and relevant heritage policies were reviewed. Recommendations in this report are consistent with applicable heritage policies and guidelines. Architectural drawings for the proposed alterations included in this report were prepared by Hicks Design Studio. The design is based on input from the consultant and heritage staff at the Town of Oakville.

2.0 LOCATION

The subject property is located at 1110 Lakeshore Road West in a residential neighbourhood in the Town of Oakville. It is situated on the south side of Lakeshore Road West, between Wilder Drive and Westdale Road.



AERIAL VIEW – an irregularly shaped lot with a large front and side yard

3.0 SITE DESCRIPTION

The subject property contains a 1-storey frame dwelling with large masonry piers at the corners, a low hipped roof with a wide overhang and two stone chimneys. The main elevation is oriented towards the driveway on the west side of the property.

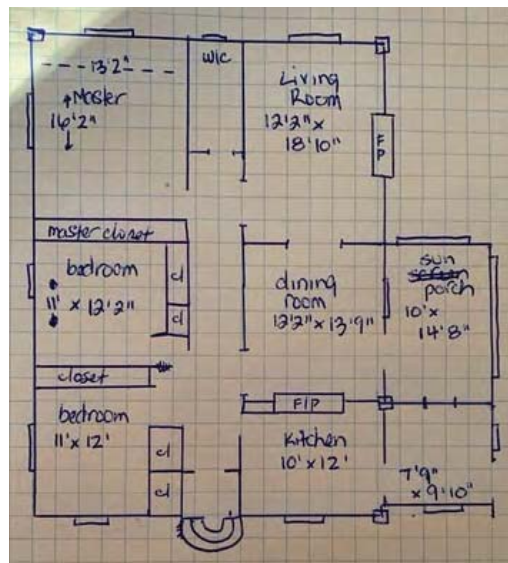


MAIN ELEVATION – oriented towards the driveway

The subject dwelling is situated in the back corner of the property with a large yard in front and on one side. The other side yard is very narrow and there is a small backyard. The front yard contains a lawn and there are mature trees along the Lakeshore frontage and beside the driveway. There is a detached garage with vinyl siding at the end of the driveway.



PROPERTY SURVEY



FLOOR PLAN



SETTING – view of the front lawn and Lakeshore Road West

The interior maintains the original layout with a central hallway flanked by a Kitchen, Dining Room and Living Room on one side and three bedrooms on the other side. The Kitchen and Dining Room open onto a Sunroom located at the back. There are two fireplaces, one in the Dining Room and one in the Living Room that have stone surrounds and plain wood mantles. There is original wood flooring and millwork throughout, with the exception of the Bathroom that has modern finishes and fixtures. The windows include 4 over 4 wood sash and 4 over 4 wood casements in the cottage, and 6 over 1 wood sash in the sunroom. There are original doors throughout, including French doors and solid wood doors with four panels. There are original built-in cabinets in the Kitchen (pantry) and Dining Room (hutch). The entry vestibule has a door with a transom and sidelights.



ENTRY VESTIBULE.



DINING ROOM (12' X 14')

4.0 HERITAGE PLANNING CONTEXT

The Baillie Cottage is listed on the Municipal Heritage Register because it was formerly the Farm Manager's house on the Baillie Estate, known as Lisonally Farm. All of the other buildings associated with Lisonally Farm have been demolished. Stone pillars that originally stood on Lakeshore Road West at the entrance to Lisonally Farm are the only other remnants of the former estate. The pillars have been re-located to 112 Lisonally Court and are listed on the Municipal Heritage Register.



Farm Manager's House



Stone pillars

REMNANTS OF LISONALLY FARM (Baillie Estate) – Farm Manager's House at 1110 Lakeshore Road West and entrance pillars relocated to 112 Lisonally Court (below)

5.0 HISTORICAL CONTEXT

After the death of Sir Frank Wilton Baillie in 1921, Lady Baillie (nee Edith Julia White) oversaw major improvements at their summer estate in Oakville called Lisonally Farm. The new buildings were designed by Page & Warrington, a well-known architectural firm in Toronto.

In 1930, Lisonally Farm was featured in *Canadian Homes and Gardens* in a lengthy article that included descriptions and photographs of the buildings designed by Page & Warrington in the 1920s. A photograph of the subject dwelling is included in the article and it is described as part of a 'new group of farm buildings';

The new group of farm buildings, designed as a unit, and situated not far from the entrance to the property ... are built of Credit Valley stone, taken from the ravine, and stained shingles.

The farm manager's house faces a stretch of green turf, near the entrance gates ... The building is of brown stained shingles with Credit Valley limestone. Page and Warrington were the architects.

The manager's house, has all the charm of the old lodge houses of England. It stands near the entrance gates in its own thick grove of lovely trees.

One of the many interests of Lady Baillie and her farm manager, Mr. Petrie, is the reforestation plantation, where hundreds of seedlings of Spruce Maple, Birch, Hemlock, Elm and other native trees are getting the right kind of start in the world.

The Farm Manager is identified in the article as Mr. Petrie. No further information about Mr. Petrie could be located. He was responsible for operation of the farm. In the 1920s, Lisonally Farm had stables, a dairy, a piggery a poultry house and the ground contained an orchard and many varieties of trees. Water for the farm was pumped from Lake Ontario into a reservoir and water tank on the property. The 1930 article claims that the farm generated income to maintain the estate:

Lisonally demonstrates the wisdom of steady improvement ... and the new big business of making country estates "pay".

In 1939, the Baillie House was destroyed by fire and Lady Baillie had a more modest home designed for her by Hugh Allward, a well-known Toronto architect. Eventually all of the former farm buildings associated with Lisonally Farm, with the exception of the Farm Manager's House were demolished and the estate was subdivided for residential development. The area associated with Lisonally Farm is now covered with new subdivisions with street names that commemorate the former use, such as Lisonally Court. The only other surviving remnant of the Lisonally Farm are a pair of stone pillars that originally stood at the entrance on Lakeshore Road that have been relocated to 112 Lisonally Court.



LISONALLY FARM – the Farm Manager’s House was part of a group of farm buildings designed by Page & Warrington



AERIAL VIEW – the Farm Manger’s House is located near the entrance from Lakeshore Road

6.0 HERITAGE VALUE

The subject dwelling has historical, contextual and design value.

Historical & Contextual Values

It was built c.1926 for the Farm Manager at Lisonally Farm, the summer estate of Sir Frank and Lady Baillie. It was originally part of a group of farm buildings all built in a similar style, but is now the only surviving building associated with the Baillie Estate. It is located on Lakeshore Road West near the entrance to the former Lisonally Farm

Design Value

It was designed by Page & Warrington, a prominent Toronto firm that designed a number of Arts & Crafts style houses in Toronto's elite residential neighbourhoods including Forest Hill and Rosedale. Page & Warrington designed a group of farm building for Lisonally Farm c.1926.¹

The Farm Manager's House is a good example of a modest Arts & Crafts style cottage. The cottage prominently features Credit Valley limestone, said to be quarried from the ravine nearby.² The design is dominated by four tapered masonry piers at each corner, two tall chimneys constructed of the same stone, and a steeply pitched roof with wide overhanging eaves. The exterior is clad with wood shingles and the multi-paned windows include both sash and casement style windows.

List of Heritage Attributes

Physical and contextual features that contribute to its heritage value are:

- compact form with a steeply pitched roof with a wide overhang
- use of natural and locally sourced building materials
- 4 tapered piers at the corners and two tall chimneys, built from Credit Valley stone, of varied sizes laid in regular courses with a quarry cut face
- wood shingle cladding
- wood windows including 4 over 4 sash and casement style windows
- proximity to Lakeshore Road West, near the former entrance to Lisonally Farm
- landscaped setting including lawns and mature trees

¹ Robert Hill

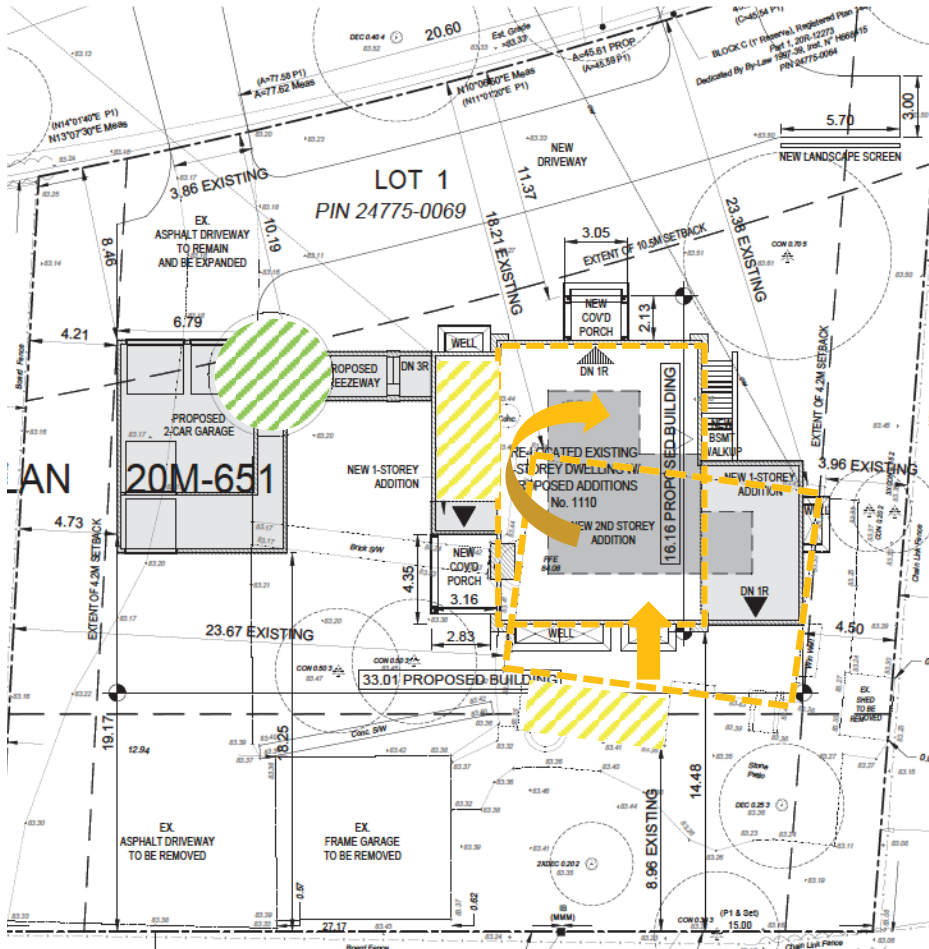
² *Canadian Homes & Gardens* (1930)

Evaluation According to Ontario Regulation 09/06

CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
1. Design of physical value:		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	YES	It is a representative example of a modest Arts & Crafts style dwelling designed by Page & Warrington c.1926.
ii) Displays a high degree of craftsmanship or artistic merit	YES	It displays a high degree of craftsmanship and artistic merit, particularly in the use of Credit Valley stone for the corner piers and chimneys.
iii) Demonstrates a high degree of technical or scientific achievement	NO	It is a modest 1-storey residential building.
2. Historical or associative value		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	YES	It is associated with the Farm Manager for the Lisonally Farm in the 1920s. It is associated with Lady Baillie who oversaw construction of a group of farm buildings designed by Page & Warrington in the 1920s.
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	YES	It contributes to an understanding of Lisonally Farm. The contribution is limited because none of the other farm buildings have survived, the entrance gates have been relocated, and the former estate has been built over with new subdivisions.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	YES	It was designed by Page & Warrington, a prominent Toronto architectural firm and is a good example of a modest Arts & Crafts style residence by that firm.
3. Contextual Value		
i) Is important in defining, maintaining, or supporting the character of an area	NO	It is a remnant of a former Estate that no longer exists.
ii) Is physically, functionally, visually, or historically linked to its surroundings	YES	It is historically linked with Lakeshore Road West and the former entrance to Lisonally farm that was located here.
iii) Is a landmark	NO	It is listed on the Municipal Heritage Register but is not Designated.

7.0 PROPOSED ALTERATIONS

The Conservation Strategy is to rehabilitate the Baillie Cottage for ongoing residential use by a member of the Baillie family. The cottage will be moved so that new additions can be built in a way that preserves the character of the original cottage.



SITE PLAN – the Bailey Cottage will be moved closer to Lakeshore Road and rotated 90 degrees so that new additions can be built



The cottage will be moved closer to Lakeshore Road and rotated 90 degrees



The existing sunroom addition will be replicated in the same location



One tree will be removed for the proposed breezeway & garage addition



New 2nd floor addition will be built in the existing attic space

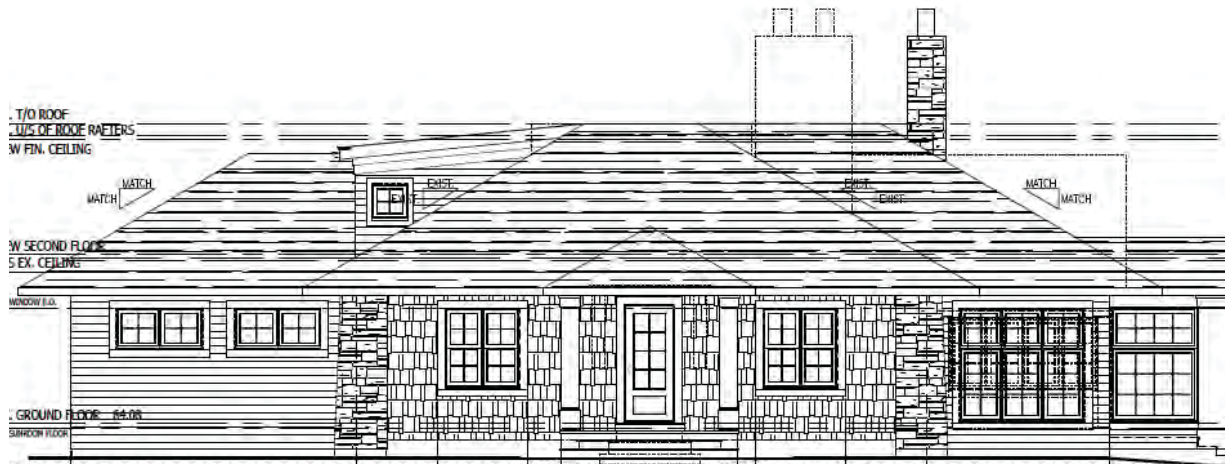


New 1-storey addition on the side elevation will be set back

Additions will be located at the side and rear and will be limited in height to 1-storey. New roofs for the additions will have the same slope as the existing roof. A 2nd floor addition above the existing cottage will be sensitively introduced so that impacts to the original roofline are minimized and so that the two stone chimneys can be preserved. The proposed 2nd floor will have a smaller footprint than the 1st floor. Large dormers and skylights will be introduced so that most of the existing roof framing can be preserved and the existing attic space can be utilized as living space. A roof plan has been provided that shows the extent of the new roof and how it relates to the existing roof of the cottage.



BAILLIE COTTAGE – the Arts & Crafts style cottage will be preserved



PROPOSED ELEVATION – new additions will be compliment the original design

The new garage is attached to the cottage by a 1-storey breezeway. This separation will ensure that the Baillie Cottage remains legible as a discrete structure. The 1-storey addition on the left side is set back from the main elevation for the same reason. The addition on the right side recreates the existing sunporch addition in the same location. The intent is for the character of the main elevation to be fully preserved. The only change to the main elevation will be the addition of a small entrance porch. The existing entrance door and two casement windows on the main elevation will be preserved.

The cladding material proposed for the new additions is horizontal wood siding, a traditional cladding material that is visually compatible but distinct from the wood shingle on the Baillie Cottage. New windows will be multi-paned to match the style and configuration of the original

windows. Some of the existing window openings on the side and rear elevations will be modified to accommodate the new additions and interior layout. Detailed elevations have been provided that show where new openings or changes to existing openings will be made. A demolition plan has been provided that shows what interior walls that will be removed.

8.0 IMPACT ASSESSMENT

The design has evolved so that all exterior heritage attributes will be conserved. Impacts to the main elevation have been avoided, with the exception of a small porch at the front entrance to replace the existing canopy in this location. Impacts are limited to the side and rear elevations where some windows where existing window openings will be modified. Impacts to the roof have been minimized by reducing the size of the 2nd floor addition so that dormers and skylights are introduced so that the existing attic space can be utilized. The new additions will be clad with wood siding and new windows will be installed that match the existing windows.

Changes to the interior include removal of most of the interior partition walls and complete remodeling of the interior. The changes are proposed because the existing layout consists of small compartments along a narrow central hallway. The proposed changes will create a more open plan and improve the flow between the existing interior spaces and the proposed additions. In order to support a rehabilitation that will contribute to the long-term conservation of the Baillie Cottage an ongoing use as a private residence, the changes to the interior are reasonable and the loss of interior features can be mitigated through documentation and salvage.

The proposed change in orientation towards Lakeshore Road will not have a negative impact on heritage value because the original farm layout has already been obliterated by later development. The cottage was originally oriented towards the main road through Lisonally Farm but this road no longer exists. The change in orientation will align the main elevation with the modern street pattern and is seen as a beneficial change that will enhance the Lakeshore Road streetscape and make the cottage.

Although the cottage will only be moved a short distance, relocation of any structure poses significant risks. This risk can be mitigated by providing a detailed plan for how the building will be relocated as well as details about the new foundation that it will be secured to. This information should be provided and reviewed by heritage staff in the form of a Moving Plan and/or a Conservation Plan, prior to the issue of a demolition permit. The condition of the masonry piers and chimneys should be assessed as part of this plan. A certified building mover with experience moving heritage buildings should be consulted. The methodology for moving the building may require partial dismantling of the chimneys above the roofline, and repairs and shoring of the masonry piers and bases of the chimneys. The heritage building should be secured, protected, insured and regularly monitored while it remains vacant during construction.

9.0 CONCLUSIONS & RECOMMENDATIONS

The proposal includes conservation of the Baillie Cottage and construction of compatible additions to support ongoing residential use.

The following interventions to the Baillie Cottage are proposed:

- on site relocation to the center of the lot onto a new foundation
- change in the orientation so that the main entrance faces Lakeshore Road
- demolition of the existing 1-storey sunroom addition and construction of a new sunroom in a similar style in the same location
- installation of new windows in the same style as the original windows with some modifications to accommodate the new additions and interior layout
- changes to the roofline for a 2nd floor addition including new dormers and skylights
- construction of two 1-storey additions on the side elevations with roof heights and slopes that match the original roof
- reconfiguration of the interior including removal of interior walls and original fixtures and finishes

The Baillie Cottage will be lifted from its foundation, moved slightly closer to Lakeshore Road and rotated 90 degrees so that the main elevation faces Lakeshore Road, and placed onto a new foundation. Additions will be compatible with the height, scale, massing, materials and design elements of the heritage building and character-defining elements will be preserved.

The following character-defining elements will be preserved:

- the compact form
- the low sloped roof with wide overhanging eaves
- the 2 stone chimneys
- the 4 masonry piers at the corners
- the exterior walls clad with wood shingle
- the multi-paned sash and casement style windows

The Baillie Cottage is currently located in the back corner of the lot and is a very modest building with small living spaces and bedrooms all on one floor. The existing kitchen and bathroom are small and need to be updated. The attic and basement are unfinished. The proposed changes will enlarge and open up the ground floor of the existing cottage, introduce a 2nd floor within the existing attic space, and create a basement level below the existing cottage and new additions. The proposed 1.5-storey garage is complimentary to the heritage building in its design and materials and replaces an existing vinyl-clad garage that is not complimentary to the heritage building. The new garage will be linked to the house by a breezeway structure to improve its functionality.

In order to mitigate the proposed alterations, it is recommended that the applicant be required to:

- document the exterior and interior with photographs and measured drawings
- salvage interior elements that have potential for reuse

In order to mitigate the risks of moving the heritage building, it is recommended that the applicant be required to:

- submit a Moving Plan by a certified heritage building mover and approved by a structural engineer with experience moving heritage buildings

Furthermore, the Baillie Cottage has been found to meet several criteria for Designation under the *Ontario Heritage Act*. It is therefore recommended that:

- the owner agree to *Designation* of the cottage in its new location
- the owner provide a *Letter of Credit* to the City prior to relocation of the cottage, to be released once it is secured on the new foundation

10.0 SOURCES

Heritage Documents

Ontario Heritage Tool Kit, Ministry of Heritage

Standards & Guidelines for the Conservation of Historic Places in Canada, Parks Canada (2010)

Historical Background

'Baillie Estate to get new Life with plans for Development', *Oakville Beaver* (1995)

Blumenson, John. *Ontario Architecture; A Guide to Styles and Building Terms, 1784 to the Present*.

Heron, Craig. 'Sir Frank Wilton Baillie' entry in the *Dictionary of Canadian Biography*.

Hill, Robert. 'Page, Forsey Pemberton Bull', entry in the *Biographical Dictionary of Architects in Canada 1800-1950*.

Kalman, Harold. *History of Canadian Architecture*, 2 vols.

Macpherson, Mary-Eta. 'Lisonally Farm; a summer home of Lady Baillie', *Canadian Homes & Gardens* vii (May, 1930); 36-39 – detailed description and photographs of Lisonally Farm.

Page & Steele fonds, 1924-1988, Archives of Ontario.

11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a Diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 10 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION – Exterior & Grounds



Entrance from Lakeshore Road West



Main elevation is oriented towards the driveway



Main elevation is oriented towards the driveway



Masonry piers at the corners are flared – wide roof overhang – eyebrow dormers in the low hipped roof



Walkway to main entrance



Main entrance



Main elevation



3 rounded sandstone steps at the front entrance



Main entrance - vinyl siding covers original wood soffit and pediment



Raised stone foundation – metal grate – brackets for window boxes



Flagstone



Main elevation – stone chimney



2 rounded stone steps at sunroom entrance



Sunroom wall extends behind the masonry corner pier



Flagstone paving – loose and missing mortar at the base of the masonry pier



Sunroom entrance



Rear elevation



Rear elevation – sunroom – stone chimney – entrance to basement



Side elevation – narrow side yard



Raised stone foundation



Original window frame with later glass block



Roof overhang – vinyl siding installed over original wood soffit



Flagstone paving – quarry cut Credit Valley sandstone



Front entrance to the cottage - detached garage with vinyl siding



Detached garage and parking area – view to adjacent property and wood fence along rear property line



View towards adjacent property and wood fence along side property line



Walkway to the front door from the driveway



Driveway from Lakeshore Road West



Front Yard looking towards Lakeshore Road West – lawn and mature trees



View from Lakeshore Road West – views of the cottage are blocked by mature trees near the road

HERITAGE IMPACT ASSESSMENT

2444, 2454 & 2460 OLD BRONTE ROAD
OAKVILLE, ON

Issued: June 14, 2018



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Cover Image: East facade of the 2460 Old Bronte Road (ERA, 2017).

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EXECUTIVE SUMMARY

Background

This Heritage Impact Assessment (“HIA”) has been prepared by ERA Architects Inc. (“ERA”), on behalf of Zancor Oakville Ltd. It considers a proposal for the redevelopment of 2444, 2454, & 2460 Old Bronte Road, Oakville (the “Site”).

The Site is currently occupied by a two-and-a-half storey farmhouse, two single storey bungalows, and three outbuildings.

This HIA is being submitted to Town of Oakville Staff to obtain permissions for the relocation of the farmhouse. As per advice of Staff, the applicant is going through a two-step process in order to relocate and reactivate the house as a temporary sales centre, which will be followed by a second approvals process to approve the design and construction of a new rear addition to facilitate continuing commercial uses.

An addendum to this HIA will be submitted once the design of the rear addition is finalized and ready for circulation to Heritage Oakville Municipal Advisory Committee.

Cultural Heritage Value

The property at 2460 Old Bronte Road is listed on the Town of Oakville Register of Properties of Cultural Heritage Value or Interest. The property contains a two-and-a-half storey Gothic Revival house built c. 1875. ERA has evaluated the property against Ontario Regulation 9/06 and has found the property is a candidate for designation under Part IV of the Ontario Heritage Act.

The outbuilding at 2444 Old Bronte Road is identified as a barn c.1900 and as a potential heritage resource in the *The Palermo Village: A Heritage Resources Review and Strategy (2008)*. ERA has evaluated the

property against Ontario Regulation 9/06 and has found the property is not a candidate for designation under Part IV of the Ontario Heritage Act.

The two bungalows at 2444 and 2454 Old Bronte Road are not listed on the Oakville Register. ERA has evaluated the properties against Ontario Regulation 9/06 and found the properties are not candidates for designation.

Proposed Development

The proposed development anticipates the relocation of the farmhouse at 2460 Old Bronte Road and the removal of the outbuilding at 2444 Old Bronte Road in order to facilitate the construction of a new eight storey condominium with retail at grade.

Portions of the existing rear additions on the farmhouse will be removed in order to facilitate its relocation and allow for a new rear addition, which will facilitate its adaptive reuse to meet contemporary space requirements. The framing of the circa 1820s pioneer farmhouse will be conserved and encased within the interior of the new rear addition.

The farmhouse will be used as a temporary sales office and then tenanted as a commercial space once sales are complete and the rear addition has been constructed.

Impact on Heritage Resources

The farmhouse at 2460 Old Bronte Road will be conserved. It will be relocated within the Site and rehabilitated for continuing commercial uses.

The impact of the new rear addition will be evaluated in a forthcoming addendum to this report. The replacement of rear additions to historical farmhouses is a typical in order to ensure their continued viability.

The outbuilding at 2444 Old Bronte Road will be removed and its timbers salvaged and made available.

Mitigation Strategies

Rehabilitation of the Farmhouse

The farmhouse will be rehabilitated. The phasing and details of the conservation scope of work will be detailed in the forthcoming Conservation Plan.

New Location of the Farmhouse

The property for the new location of the farmhouse was purchased by the applicant at the urging of Town of Oakville Staff. The new location sites the farmhouse adjacent to the heritage house at 2478 Old Bronte Road, and maintains the visual relationships among the cluster of heritage houses including 2467 Old Bronte Road to the east. The farmhouse will be relocated approximately 29.5m north, its orientation maintained, and its front setback will be roughly the same at 0.5m from the property line.

Setting

New landscaping will provide an appropriate green setting around the heritage house. A new pedestrian sidewalk to the south of the heritage house will provide access to the new universally accessible entrance on the rear addition as the existing front portico does not meet the accessibility requirements.

Design of the New Building

The new eight storey condominium has been designed to respect the adjacent heritage resource. The articulated facade steps down to the farmhouse, providing a sense of transition in height. The main driveway, located in between the heritage house and

the new building, provides appropriate “breathing room” as well as views to the south elevation and new entrance.

Documentation & Salvage

The existing building has been documented with measured drawings. The forthcoming conservation plan will describe the work required to carefully remove the contemporary additions while protecting the heritage fabric, especially the pioneer structure, during and following the relocation.

The construction materials of the outbuilding, the lakestone foundation of the farmhouse, and the bowed rafters will be salvaged for adaptive reuse and made available.

Conclusion

Overall, the cultural heritage value of the Site is appropriately conserved through the rehabilitation of the farmhouse.

This HIA will be followed by a Conservation Plan, which will detail the conservation scope of work related to the relocation and rehabilitation of the heritage resource.



Aerial view looking south-west c. 1950, arrow identifying approximate location of Site (Town of Oakville, annotated by ERA).

1 INTRODUCTION

1.1 Scope of the Report

This Heritage Impact Assessment (“HIA”) has been prepared by ERA Architects Inc. to assess the cultural heritage value of the property at 2444, 2454, & 2460 Old Bronte Road, Oakville (“the Site”) and evaluate the impact of the proposed development on heritage resources on and adjacent to the Site.

The purpose of an HIA, according to the Town of Oakville Development Application Guidelines for HIAs (2011), is to determine the impact of a proposed development on the cultural heritage value of a property and to recommend an overall approach to the conservation of the heritage resources.

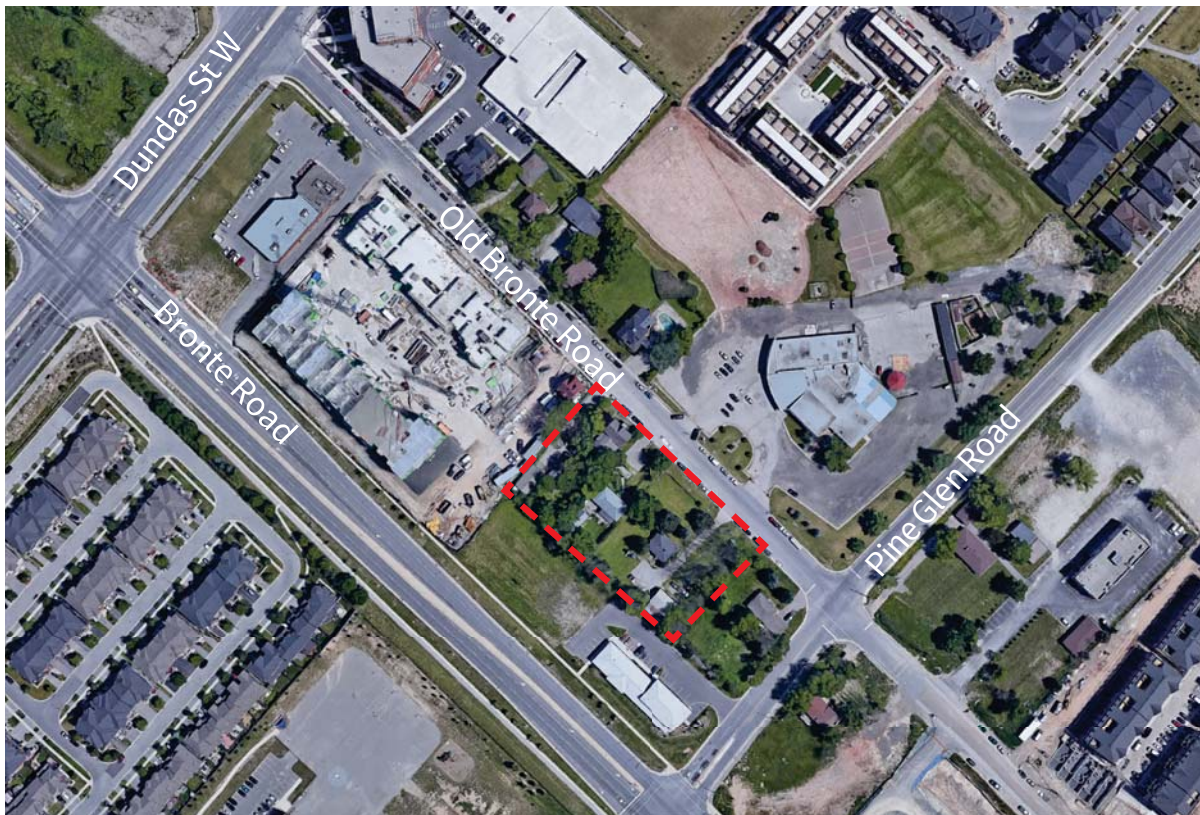
This report was prepared with reference to the following:

- Town of Oakville Development Application Guidelines for Heritage Impact Assessments (2011);
- Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value or Interest;
- Ontario Heritage Tool Kit;
- Parks Canada Standards and Guidelines (2003); and
- Provincial Policy Statement (2014).

1.2 Site Description and Current Context

The Site is located on the west side of Old Bronte Road between Pine Glen Road and Dundas Street West, and contains the following:

- A two-and-a-half storey Gothic Revival style house built in stages from the 1820s onwards and an outbuilding, at 2460 Old Bronte Road;
- A one-storey bungalow and an outbuilding at 2444 Old Bronte Road; and
- A one-storey bungalow and an outbuilding at 2454 Old Bronte Road.



Aerial view with Site outlined in red (Google Maps, 2017, annotated by ERA).

1.3 Context Photographs



Looking south on Old Bronte Road, Site to the right (ERA, 2017).



Looking north on Old Bronte Road, Site to the left (ERA, 2017).

1.4 Existing Heritage Recognition

The property at 2460 Old Bronte Road is listed on the Town of Oakville Register of Properties of Cultural Heritage Value or Interest. The listing states this property has potential cultural heritage value for its c. 1875 Victorian Gothic style house and for its association with the development of the Village of Palermo.

The outbuilding at 2444 Old Bronte Road is identified as a barn c.1900 and as a potential heritage resource in the *The Palermo Village: A Heritage Resources Review and Strategy (2008)*.

The two bungalows at 2444 and 2454 Old Bronte Road have no formal heritage recognition.

1.5 Adjacent Heritage Resources

The Site is adjacent to several properties on the Town of Oakville Register of Properties of Cultural Heritage Value or Interest, including:

- 2467 Old Bronte Road (across the street to the north); and
- 2478 Old Bronte Road (to the north).

The property at 2467 Old Bronte Road was listed for its c.1913 vernacular brick house with Queen Anne style influences and for its association with the development of the village of Palermo.

The property at 2478 Old Bronte Road was listed for its c.1890 vernacular brick house and for its association with the development of the Village of Palermo. The house has been relocated within a larger development site at 2478-2490 Old Bronte Road. It is located adjacent to the north property line of the Site.



Aerial view, Site outlined in dashed red, heritage resource on Site in blue, adjacent heritage in pink (Google Maps, annotated by ERA).



2467 Old Bronte Road (ERA, 2017).



2478 Old Bronte Road c. 2011, prior to its relocation (Google Maps).

2 BACKGROUND RESEARCH AND ANALYSIS

2.1 Village of Palermo

The community surrounding the intersection of Old Bronte Road and Dundas Street West is the former Village of Palermo. Palermo is the oldest settlement in the Town of Oakville, predating the founding of the villages of Oakville and Bronte by approximately 20 years. The village was founded in 1806 by Lawrence Hagar, a United Empire Loyalist, and was originally known as Hagartown.

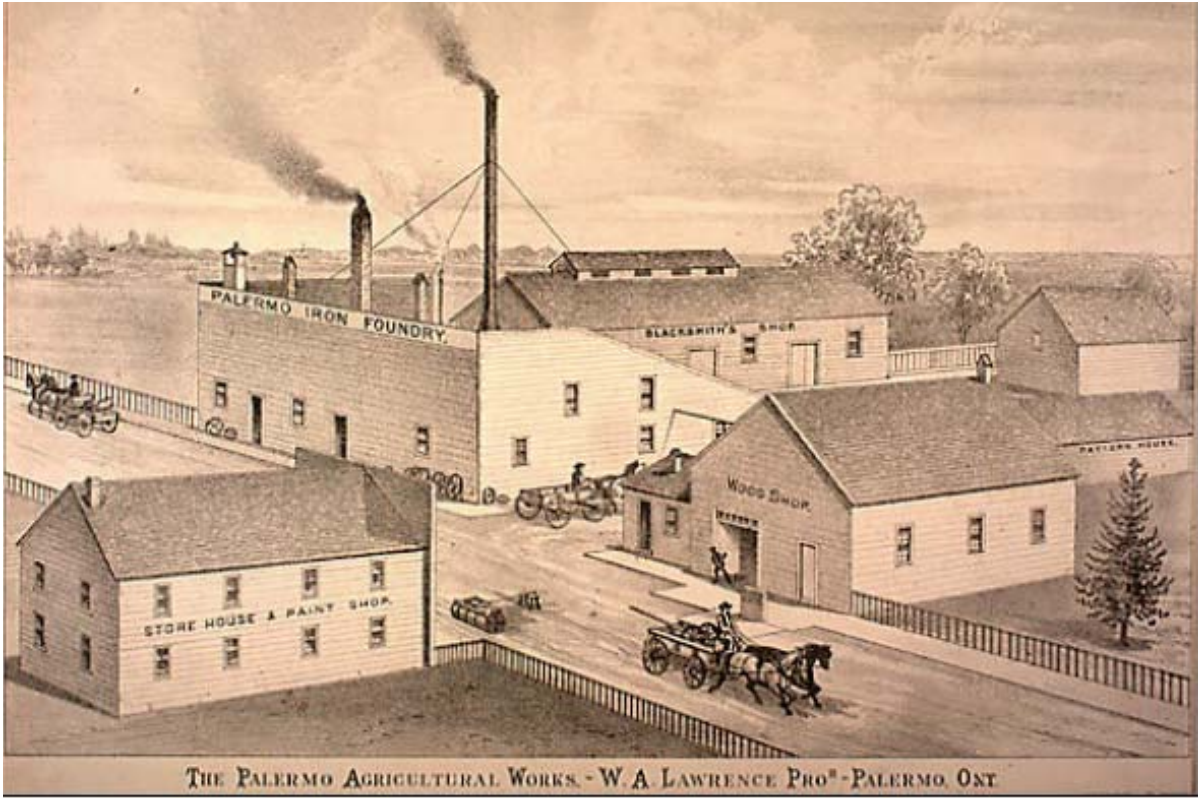
The early economic activity in the village was centered around the Lawrence Foundry and Agriculture Works, founded in 1842. Palermo was a prominent supplier of charcoal to blacksmiths and factories in Hamilton. The village had an iron foundry, wagon shop, blacksmith shop, harness shop and wood shop.

In the early to mid 19th century the village thrived as a centre for the surrounding agricultural area. It was also popular stopping grounds for travellers, as Dundas Street was a major east-west transportation route. After the emergence of the railway in the late 19th century the village experienced little in the way of population growth. The village expanded from approximately 300 in 1877 to a peak population of approximately 400 in 1920. In 1920, the village had about 30 homes, a post office, community hall, blacksmith shop, school house, medical office and several churches.

After 1945 a program of road widening led to the demolition of a number of buildings in Palermo, including the historic general stores. This was soon followed by a fire in 1958, which destroyed the buildings hosting Palermo Agricultural Works.

The Village was amalgamated with surrounding municipalities in Trafalgar Township to create the Town of Oakville in 1962.

The widening of Dundas Street West in the early 2000s led to the demolition of additional properties associated with Palermo and loss of the legibility of the former village as a crossroads settlement. Further changes to the road network came with the construction of the Bronte Road bypass.



Palermo Agricultural Works c. 1878 (Halton County Atlas, 1877).



Looking south on (Old) Bronte Road from Dundas St c. 1905 (Town of Oakville).

2.2 Site Evolution

1802: Colonial Land Grant

The Site is located on Lot 31 Concession 1 South of Dundas Street (SDS), which was granted to a carriage-maker, Benjamin Smith (1783-1850), by the Crown in 1802. Smith came from a family of United Empire Loyalists who emigrated first to the Grimsby area, and then to Trafalgar Township, following the American Revolution.

Lot 31, Concession 1 was located immediately southwest of the intersection of Dundas Street (a major east-west transportation route) and Line 2, which soon became known as Bronte Road (now Old Bronte Road).



1806 Wilmot Map showing original Trafalgar Township land grants by the Crown. Benjamin Smith's Lot 31 Concession 1 South is outlined in red, while Bronte Creek is emphasized in blue. South of the property, the map shows an early transportation route from York (now Toronto) to Head of the Lake (now the Hamilton area). (Town of Oakville, annotated by ERA)

1806: Village of Palermo

While Benjamin and his wife Catherine Smith owned Lot 31, Concession 1, commercial and residential development quickly began to emerge from the intersection at Dundas Street and (Old) Bronte Road as the village of Palermo was established. Village lots were carved out of Concession Lots 30 and 31, North and South of Dundas Street. It is not known whether Benjamin Smith sold street-fronting village lots to other Palermo residents, or whether he chose to develop his street-fronting lots himself.



1912, commerce at the intersection of Dundas and Bronte, looking northeast (Trafalgar Township Historical Society)

1810-1820s: Early Lot Development

In 1822, Benjamin Smith built a Georgian-style wood-frame residence on his lot. The residence faced north, fronting onto Dundas Street, but was set far back from the street. It was situated immediately adjacent to (Old) Bronte Road; its address in recent years (prior to its collapse and demolition in 2007) was 2488 Old Bronte Road.

It is unknown whether there were additional village buildings fronting onto (Old) Bronte Road at the time. The rear of the building currently on Site at 2460 Old Bronte Road features log construction that dates the building circa 1813, but it is unclear whether this was an independent Bronte Road-fronting village building, or an outbuilding on Benjamin Smith's property.

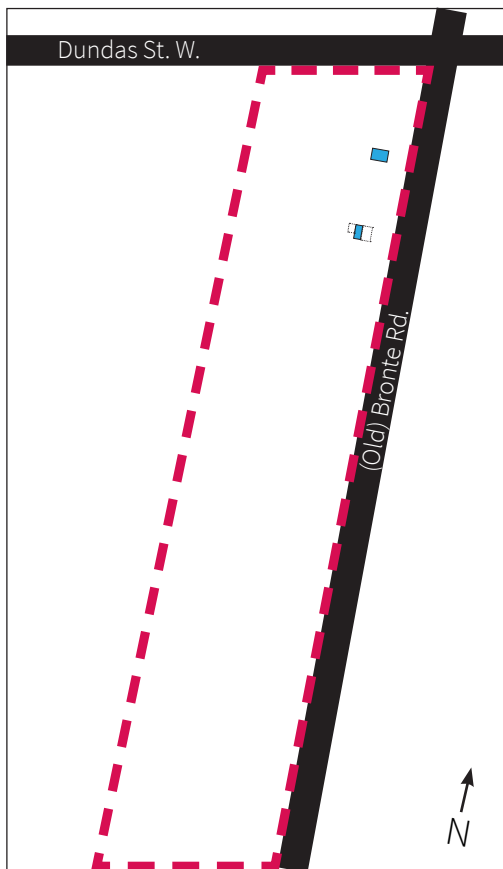


Diagram of Benjamin Smith's property circa 1822, showing the two buildings confirmed to have been on site at the time: to the north, Smith's Georgian-style farmhouse, and to the south, the c. 1813 building, with its the current front and rear additions shadowed in around it. (ERA 2018)



Benjamin Smith's 1822 farmhouse, photographed in the 1970s. (Palermo Inventory of Heritage Resources, 2008).



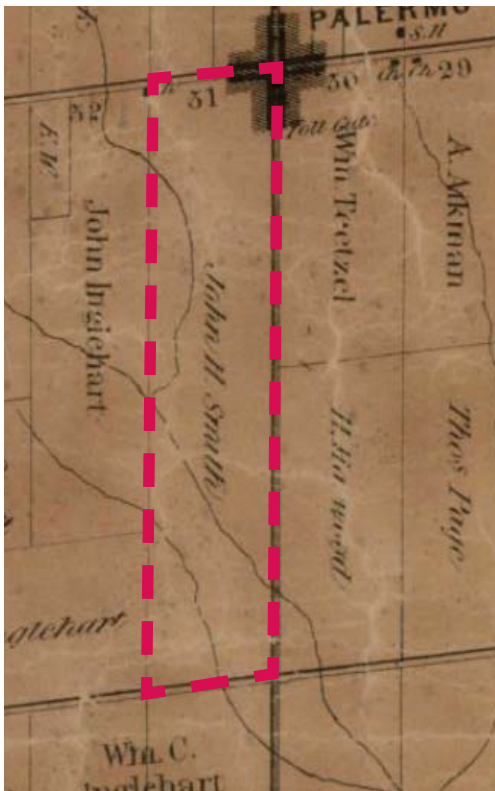
A view of the north side elevation at 2460 Old Bronte Road, where remnants of an 1813 structure have been found within the one-storey white-frame wing at the rear (ERA 2017).

1830-1870s: Ownership Transition within the Smith Family

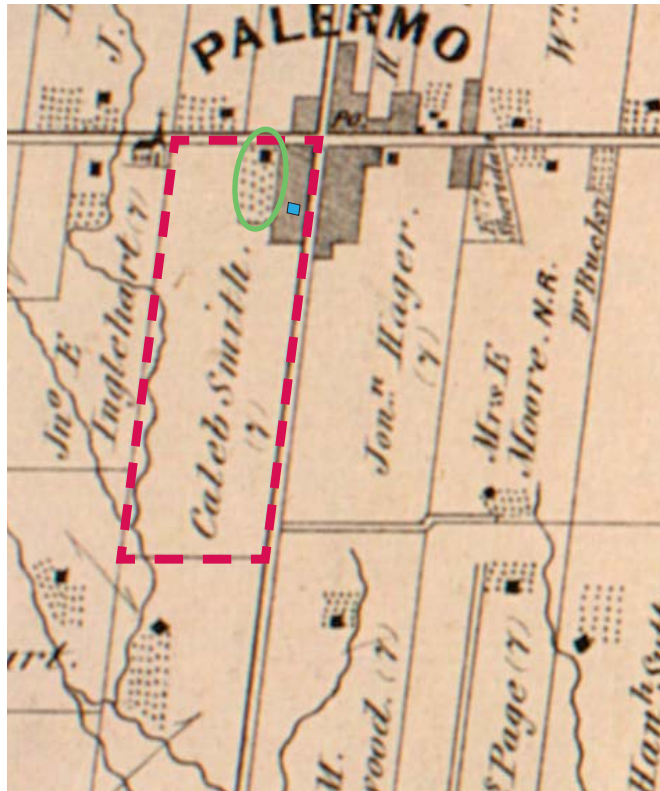
The Palermo Inventory of Heritage Resources (2008) notes that in 1831, Benjamin Smith sold his residence to Colin C. Ferrie, another carriage maker. However, the Trafalgar Township census shows that in 1841, Smith was still living on the lot with his wife and two children. It is possible that he had constructed another farmhouse elsewhere on the lot.

Benjamin Smith died circa 1850. Conflicting records over the next two decades show that the property passed into the hands of various family members. The 1860 Halton County Atlas shows that the property passed in full to Smith's son, John H. Smith, while the legal chain of title indicates that it passed in part to his son, in part to his wife Catherine, and eventually to his daughter Catherine Matilda, and her husband Caleb (also a Smith).

By 1877, the southern half of the property had been sold to Peter James Inglehart, and the northern 100 acres were owned by Caleb and Catherine Matilda Smith. A farmhouse had been constructed to front onto Dundas, at the centre of the property (construction date unknown).



1858 map of the Township of Trafalgar (Ontario Historical County Maps Project).



1877 map of the Township of Trafalgar South. The location of the original 1822 farmhouse is noted in blue, and the newer Dundas-fronting farmhouse circled in green. (Canadian County Atlas Digital Project, annotated by ERA).

1875-1902: On-Site Development at 2460 (Old) Bronte Road

The Town of Oakville's Heritage Register notes that circa 1875, the existing one-and-a-half storey Gothic Revival-style residence was constructed at 2460 Old Bronte Road. As discovered in on-site investigations, the residence appears to have been built in front of a much older log building, which was either an outbuilding on Benjamin Smith's farm lot, or an independently-owned building in the village of Palermo.

The Oakville Heritage Register notes that the existing residence was constructed circa 1875 for Caleb Smith. It is unclear whether there is archival evidence to suggest that this was Caleb and Catherine Matilda Smith's farmhouse, or whether it was assumed to be constructed for Smith due to his ownership of the farm lot. No further evidence as to the house's original ownership has been uncovered at this time.

The residence's ornamental front portico is assumed to have been built shortly after the house's construction in the late 1880s. At this time the front gable and second storey window on the principal elevation were altered. The barn to the rear of the lot is estimated to have been built in 1900.



1991 photograph of the "Caleb Smith House" (Palermo Village Heritage Resources Review and Strategy, Town of Oakville Planning Services Department).

The construction of the house at 2460 (Old) Bronte Road coincided with the construction of village buildings throughout the late 19th and early 20th centuries in the village of Palermo, some of which are featured below, and some of which remain today and are outlined in blue. All photos sourced from the Palermo Heritage Resources Review, 2008, unless noted as Trafalgar Township Historical Society. All properties addressed "Bronte Rd." should be understood as "Old Bronte Rd.," as the street has been renamed.

LOT 31, CON. 1 SOUTH OF DUNDAS (SOUTHWEST PALERMO)



A. 2480 Bronte Road, c.1890, moved north 2016.



B. 2488 Bronte Rd., c. 1822, Benjamin Smith House, demolished 2007.



C. 2496 Bronte Rd., c. 1945, demolition date unknown.



D. 3004 Dundas St., c. 1913, appears to have been relocated (TTHS).



E. 300? Dundas St., farming implements store, demolished pre-1975 (TTHS).



F. Dundas St., c. 1860-70s, possible second Smith farmhouse, demolition date unknown.

LOT 31, CON. 1 NORTH OF DUNDAS (NORTHWEST PALERMO)



G. 3015 Dundas St., c. 1848, a Hager house, demolished 2008 (TTHS).

LOT 30, CON. 1 SOUTH OF DUNDAS (SOUTHEAST PALERMO)



H. 2467 Bronte Road, c. 1913, Wettlaufer House.



I. 2477 Bronte Road, c. 1870, demolition date unknown.



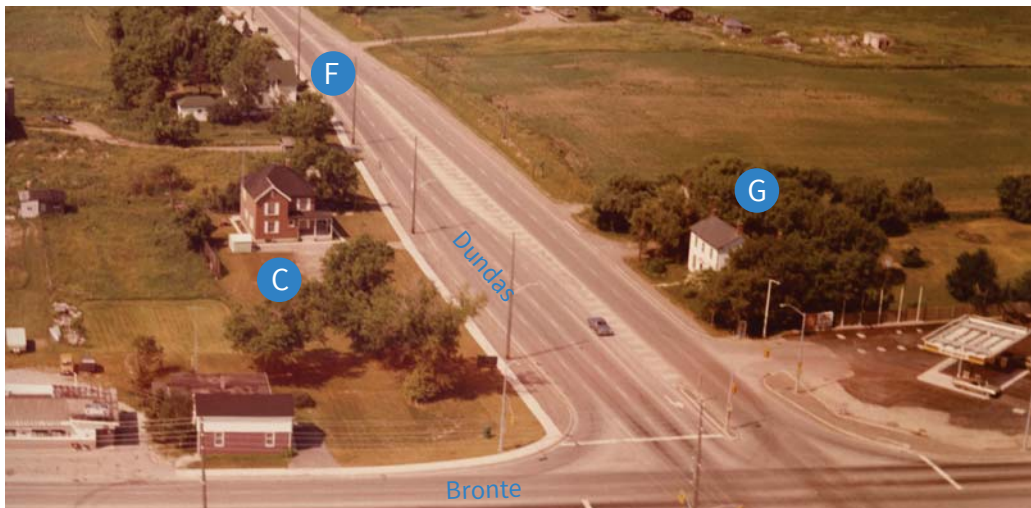
J. 2487 Bronte Road, 1920, G. S. Wood House (TTHS).



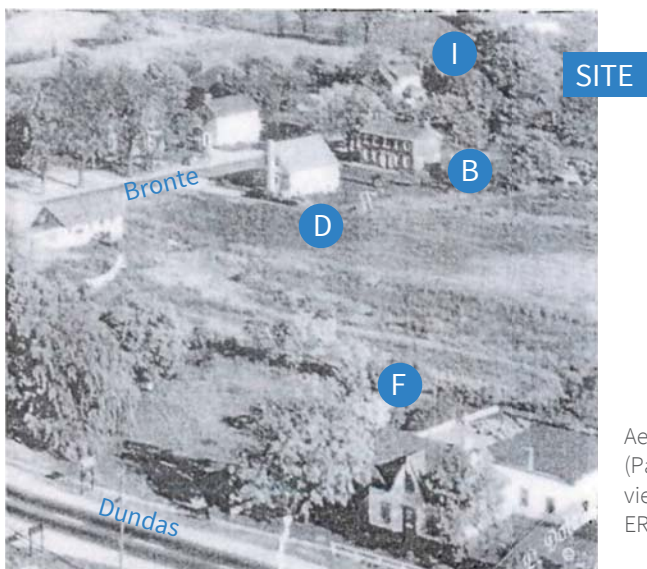
K. 2495 Bronte Road, c.1860, Dr. Anson Buck House.



Aerial view looking southwest c. 1950 (Town of Oakville, annotated by ERA).



Aerial view looking west c. 1975 (Trafalgar Township Historical Society, annotated by ERA).



Aerial view looking southeast c. 1959 (Palermo Village Heritage Resources Review and Strategy, 2008, annotated by ERA)

According to the Town's report, *Palermo Village: A Heritage Resources Review and Strategy*, the barn at 2444 Old Bronte Road was constructed in 1900. As the lands were not yet subdivided the barn would have been on the same parcel of land as the Smith's home.

Early 20th Century: Sale Outside the Smith Family

In 1902, the Smith family sold the remaining acreage of Lot 31 Concession 1, South of Dundas Street, to Henry Heeks, a local merchant. Shortly afterward, between 1909 and 1911, Heeks sold the lot to William Henry Fox and his wife, Hanna, who moved from a farm in the Hamilton area with their children. They retired from the farm 20 years later, in 1930, and moved elsewhere.

William Henry and Hanna Fox appear to have lived in the residence at 2460 (Old) Bronte Road. In 1922, they sold a residential lot adjacent to the south (today's 2454 Old Bronte Road) to a Lily Evelyn Anderson. The residential lot south of Anderson's lot was already separately by Essie L. Booth, and passed to Hallie Claire Vansickle after Booth's death in 1925.

Upon William Henry and Hanna Fox's departure in 1931, they sold 2460 (Old) Bronte Road to their son, Walter Russell Fox, who owned the property for 18 years.



William Henry and Hanna Fox in 1937-40, following their departure from Palermo (Trafalgar Township Historical Society).

Mid-to-Late 20th Century: Lot Assembly and Loss of the Village of Palermo

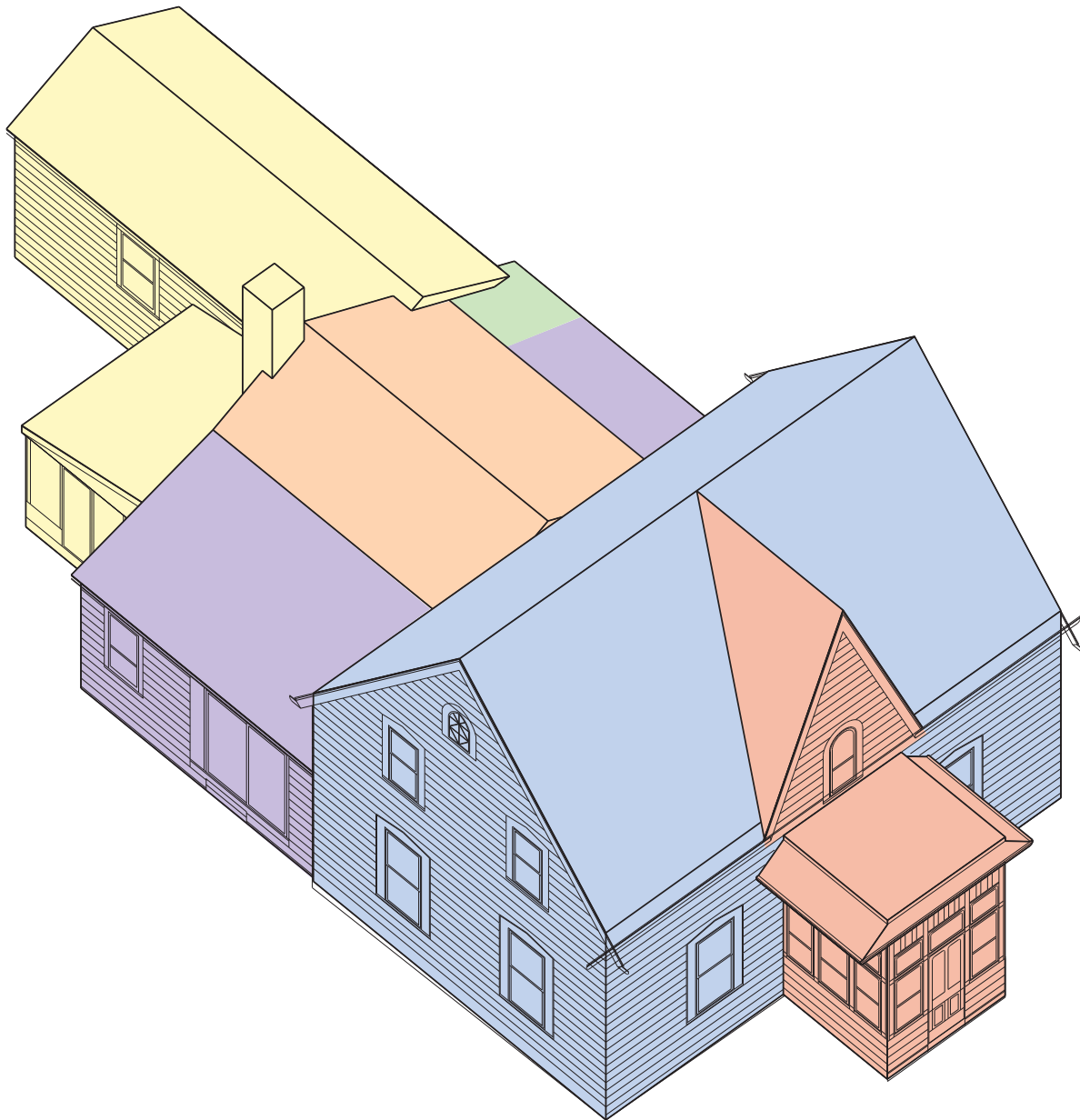
The residences currently on Site at 2444 and 2454 Old Bronte Road are estimated to have been constructed in the 1950s, when the properties were respectively owned by Hallie Vansickle, and Cecil and Eva Joubert.



In the following half-century, the residences on all three properties (2444, 2454 and 2460 Old Bronte Road) were sold to various owners, until they were assembled in 2016-2017 by a development company, Zancor Oakville Ltd.



This lot assembly was reflected elsewhere throughout the old Village of Palermo, which had its character eroded throughout the second half of the 20th century due to road widening projects that resulted in the demolition of many original village residences.



In the 2010s, large-scale development centred on the corner of Dundas Street West and Old Bronte Road has resulted in a new approach. New development has retained and incorporated historic buildings, balancing contemporary community needs with the adaptive reuse of heritage resources.

2.3 Building Evolution



 Pioneer framing circa 1820s, high quality craftsmanship
 Later 1820s framing, typical construction

 Atypical c. 1820s framing elements
 Circa 1850s

 Circa 1870s
 Contemporary additions

3 HERITAGE POLICY CONTEXT

Overview

The following documents comprise the policy framework relevant to the adjacent heritage considerations on the property:

- Ontario’s Provincial Policy Statement (“PPS 2014”);
- Halton Regional Official Plan, 2016;
- Town of Oakville Official Plan, 2017 (the “Official Plan”);
- Old Bronte Road/Khalsa Gate Streetscape Plan, 2012; and
- Palermo Village: A Heritage Resource Review and Strategy, 2008.

Provincial Policy Statement

The PPS provides policies to ensure new development and site alterations are not permitted on lands adjacent to protected heritage properties except when the proposed has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Halton Region Official Plan

Policy 167 (3) of the Halton Region Official Plan (consolidated January 13, 2016) addresses development proposals on or adjacent to recognized heritage properties:

- a) Study and consider the preservation, relocation and/or/adaptive re-use of historic buildings and structures based on both social and economic costs and benefits;*
- b) Incorporate in any reconstruction or alterations, design features that are in harmony with the area’s character and existing buildings in mass, height, setback and architectural details; and*
- c) Express the Cultural Heritage Resources in some way, including: display of building fragments, marking the traces of former locations, exhibiting descriptions of former uses, and reflecting the former architecture and uses.*

Town of Oakville Official Plan

Chapter 5 of the Town of Oakville Official Plan (consolidated April 4, 2017) address cultural heritage resources identified on the register or designated under the Ontario Heritage Act. Policy 5.3.3 states that:

Significant cultural heritage resources shall be conserved, and may be integrated into new development

Policy 5.5.1 addresses retention of heritage resources on-site or relocation:

All options for on-site retention of buildings and structures of cultural heritage significance shall be exhausted before resorting to relocation. Relocation of built heritage resources shall only be considered through a Cultural Heritage Impact Assessment that addresses retention and relocation

Old Bronte Road/Khalsa Gate Streetscape Plan (2012)

The objective of the Old Bronte Road/Khalsa Gate Streetscape Plan is to recreate the community and the former Village of Palermo as a destination by setting the tone for well-designed new development. The Streetscape Plan divides the Palermo Village into three character areas. The Development Site is located within the ‘Historic Core South’ character. This character area is defined below:

This part of the village is located just south of Dundas Street where a cluster of heritage buildings and places of worship line the street. The narrowness of the street creates a quaint atmosphere with many mature trees. This portion of the street can continue the heritage theme. Restored heritage buildings can be adaptively reused to create a heritage village main street. The road could be used to host community events or summer activities, such as weekend farmer’s markets or artisan sales

A number of guidelines pertaining to integration of heritage properties are contained within the Old Bronte Road/Khalsa Gate Streetscape Plan. These guidelines mirror the policies/guidelines contained within the Oakville Official Plan and the Standards and Guidelines for the Conservation of Historic Places in Canada.

Palermo Village: A Heritage Resources Review and Strategy (2008)

The Heritage Planning Division of the Town of Oakville conducted a study of the former village of Palermo. The purpose of the study was to document and evaluate the heritage character and resources of the village and to propose conservation strategies for conserving the heritage of the community both as individual elements and collectively as a cultural heritage landscape.

The stretch of Old Bronte Road south of Dundas St has been identified as an area that presents some unique opportunities in terms of heritage conservation and the development of a unique heritage themed urban centre. The Strategy Plan encourages road improvements for the creation of an active pedestrian street and states:

The potential improvement of the road and sidewalk could be conducive to the creation of a heritage village main street theme, not unlike Main Street Unionville.

The report identifies three clusters of historic buildings that contribute to the character of the village. The property at 2460 Old Bronte Road and the adjacent heritage resources are included in Cluster 1.

Main Street Unionville

A successful restored village in Markham, where historic commercial buildings and converted residential buildings sit alongside a pedestrian friendly roadway, which was previously a major thruway.

4 ASSESSMENT OF CULTURAL HERITAGE VALUE

4.1 Evaluation Against 9/06

The following properties have been evaluated using the Criteria For Determining Cultural Heritage Value for Interest, Ontario Reg. 9/06.

2444 Old Bronte Road

ERA finds the property is not a candidate for designation.

Value (Ontario Reg. 9.06)

Assessment: 2444 Old Bronte Road

The property has design value or physical value because it,

No, the property is a typical example of a bungalow of its time.

i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,

ii. displays a high degree of craftsmanship or artistic merit, or

iii. demonstrates a high degree of technical or scientific achievement.

The property has historical value or associative value because it,

No, the property does not have a historical or associative value.

i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,

ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or

iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

The property has contextual value because it,

No, the property does not have contextual value.

i. is important in defining, maintaining or supporting the character of an area,

ii. is physically, functionally, visually or historically linked to its surroundings, or

iii. is a landmark.

Barn at 2444 Old Bronte Road Barn

ERA finds the property is not a candidate for designation.

Value (Ontario Reg. 9.06)

Assessment: Barn (2444 Old Bronte Road)

The property has design value or physical value because it,

No, the barn does not have design or physical value. The barn has low integrity; overall, it is in poor condition. Portions of the board and batten walls have been replaced as well as some of the original windows, new openings have been inserted, and the structure appears to be shifting.

- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii. displays a high degree of craftsmanship or artistic merit, or
- iii. demonstrates a high degree of technical or scientific achievement.

The property has historical value or associative value because it,

The barn may be associated with Caleb Smith as it appears to be constructed during his ownership.

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

The property has contextual value because it,

No, the property does not have contextual value. The barn is not visible from the public realm.

- i. is important in defining, maintaining or supporting the character of an area,
- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

2454 Old Bronte Road

ERA finds the property is not a candidate for designation.

Value (Ontario Reg. 9.06)

Assessment: 2454 Old Bronte Road

-
1. The property has design value or physical value because it,
- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

No, the property does not have design or physical value, as it is a typical example of a bungalow of its time.

The property has historical value or associative value because it,

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

No, the property does not have a historical or associative value.

The property has contextual value because it,

- i. is important in defining, maintaining or supporting the character of an area,
- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

No, the property does not have contextual value.

2460 Old Bronte Road

The property is listed on the Town of Oakville Register of Properties of Cultural Heritage Value or Interest. Using the 9/06 criteria ERA finds the property at 2460 Old Bronte Road is a candidate for designation under Part IV of the Ontario Heritage Act.

Value (Ontario Reg. 9.06)

Assessment: 2460 Old Bronte Road

1. The property has design value or physical value because it,

i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,

ii. displays a high degree of craftsmanship or artistic merit, or

iii. demonstrates a high degree of technical or scientific achievement.

The property has design or physical value as a representative example of a Gothic Revival style house. It displays a high degree of craftsmanship in its decorative barge board, pointed-arch shaped windows, the front portico (a later addition), and the framing of the circa 1820s pioneer structure to the immediate rear of the house.

The property has historical value or associative value because it,

i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,

ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or

iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

The property has historical or associative value because it yields information that contributes to the understanding of the former village of Palermo.

The property has contextual value because it,

i. is important in defining, maintaining or supporting the character of an area,

ii. is physically, functionally, visually or historically linked to its surroundings, or

iii. is a landmark.

The property has contextual value because it is historically linked to its surroundings and is important in supporting the historical character of the evolving neighbourhood in the former village of Palermo.

4.2 Statement of Significance for 2460 Old Bronte Road

Description

The property at 2460 Old Bronte Road, Oakville is located on the west side of Old Bronte Road just south of Dundas Street in the former Village of Palermo. The property is a two-and-a-half storey Gothic Revival style house built in stages starting in the 1820s.

Historical Value

The house at 2460 Old Bronte Road holds design and physical value as it is a representative example of a Gothic Revival style house and displays a high degree of craftsmanship. The identifying Gothic Revival features of the house include the steep side-gabled roof, prominent centre gable, decorative bargeboard and lancet windows. The framing of the one storey rear was constructed in stages in the 1820s and has since been enclosed by contemporary walls, ceiling, and roof. The central portion of the 1820s timber frame has high quality craftsmanship elements including post and beam notching, wooden pins, and mortise and tenon joints. The main portion of the house was built in the 1850s and expanded in the 1870s with the addition of the front portico with decorative Italianate brackets and alteration to the front gable roof pitch and second storey window on the principal (east) elevation. It has been subsequently altered. The building is an evolved residential building complex, which was adapted for commercial purposes in the 21st century.

The property holds associative and historical value as it is associated with an early settler family. The building was constructed and evolved during their ownership. The lands were originally granted to Benjamin Smith and then owned by his son-in-law Caleb Smith from 1860-1902.

The property holds contextual value as it is historically linked to its surroundings and is important in supporting the historical character of the former Village of Palermo. The property is located just south of the original commercial centre of the Village of Palermo, at Old Bronte Road and Dundas St. With a construction date starting in the 1820s, the property is one of the earliest remaining examples of a residential dwelling in the former Village of Palermo.

Heritage Attributes

Key elements that define the property include:

- The orientation of the house facing east towards Old Bronte Road;
- The steep side gabled roof;
- The centre gable;
- The decorative bargeboard on the north and south elevations;
- The lancet windows found in the gable peaks of the flank elevations, with original glazing bars and 19th century crown glass;
- The wood windows; and
- The front portico with Italianate brackets.

5 ASSESSMENT OF EXISTING CONDITION

ERA conducted a condition assessment of the two historic buildings on the Site on February 8, 2018. The assessment was done at grade and is based on visual inspection of all exterior elevations, and the interior spaces of the house at 2460 Old Bronte Road. ERA was not able to inspect the interior of the barn building.

ERA undertook two further site visits to investigate the circa 1820s framing on March 26 and May 1, 2018.

5.1 2460 Old Bronte Road (Main House)

The house is a wood-frame building resting on a masonry foundation. The remnants of brick masonry chimneys, since removed, are visible in the attic. These are in fair condition, but later repointing with a cement-based mortar has caused deterioration to the brick.

The building is clad in vinyl siding over a wooden substrate most likely applied sometime in the late 20th century. ERA's assessment concluded that some of the original wooden siding exists underneath the vinyl, though it is in poor condition. The vinyl was generally found to be in good condition, performing as intended. However in select locations – notably the porch addition – the substrate has succumbed to severe wood rot and the vinyl siding is detaching from the building. Severe water ingress is causing damage to this portion of the building.

The building includes a range of millwork, such as decorative bargeboards at the gables and Italianate brackets on the porch. Generally this millwork was found in fair condition, although lack of paint upkeep has led to overall deterioration. In locations it is defective, with evidence of wood rot. A section of bargeboard trim had detached from the front gable and fallen to the ground. The worst affected area is the porch extension where the millwork is severely deteriorated and some components have rotten and fallen off.

Most of the building's original windows were replaced in the past with sealed uPVC units, which appeared in good condition excepting some discoloration from sunlight. The small lancet windows found in the gable peaks of the flank elevations, with original glazing bars and 19th century crown glass, are in good condition and performing admirably. The inoperable 1/1 windows on the porch have an etched decorative pattern and are in fair condition with flaking paint and slight wood rot detected.

The building components were graded using the following assessment terms:

Excellent: Superior aging performance. Functioning as intended; no deterioration observed.

Good: Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.

Fair: Functioning as intended; Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.

Poor: Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.

Defective: Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.

Elsewhere the building's wooden window surrounds, executed to a simple profile, were similarly found to be in fair condition; most exhibited peeling and flaking paint and some were showing signs of wood rot, particularly at the wooden sills where water is accumulating. The same applies to the modern aluminum units used for openings on the building's rear extension. The narrow 4/1 wooden windows on the east vestibule (likely a later addition, possibly early 20th century) are in good condition.

The cross-gable roof structure comprises common timber trusses, which appeared in good condition, and the roofing material is asphalt shingle, likely a late 20th-century intervention. Overall the roof appeared to be in good condition, although deterioration of wood trim at the eaves was noticed due to moisture, with some components eroded or missing. Rainwater systems consist of aluminum gutters and downspouts, generally appearing in good condition with typical deterioration.

ERA inspected the cellar and building foundations, which are made of rubblestone masonry, with later concrete render and concrete block additions. No significant defects were observed. ERA also inspected all building interiors, which were found to be in good condition.



Paint flaking and deterioration of wood surrounds, typical (ERA, 2017).



Showing deterioration of wooden decorative elements on front porch (ERA, 2017).



Asphalt shingles in good repair; gutters and downspouts requiring maintenance (ERA, 2017).



Showing wood rot to cladding substrate and sections of vinyl siding in poor condition (ERA, 2017).



Showing wood rot and missing bargeboard (ERA, 2017).



Rubble stone foundation wall in good repair (ERA, 2017).



Porch details in poor condition (ERA, 2017).



Showing original lancet window in attic in good repair, and brickwork in poor condition (ERA, 2017).



South elevation showing various extensions to the rear of the building (ERA, 2017).



North elevation showing various extensions to the rear of the building (ERA, 2017).



East elevation (ERA, 2017).



West elevation (ERA, 2017).

5.2 Rear

The rear tail of the house contains an original 1820s framing structure, which was constructed in stages, as well as contemporary rear additions and alterations (see diagram on page 16).

Destructive testing to the interiors revealed that there is wood framing that dates to the 1820s within the rear one storey “addition” immediately behind the main portion of the house. There are original split lath and plaster walls as well as ceiling. It is hand hewn heavy timber framing with pit sawn dimensional lumber infill on walls & levelled off logs supporting the floor. No metal or nails have been used to construct this frame and the roof joist has no ridge beam, which are indicative of its early age. The timber framing is in good to fair condition.

The central portion has high quality craftsmanship details, while the north and south later 1820s additions are typical construction. There is a new roof structure that sits atop the old roof structure, the shingles of which can be seen on the following page.

The rear extension includes a glazed section with a variety of cladding materials including wood, aluminum and corrugated plastic; these were found to be in fair condition.



Earlier chimney visible in between the ceiling and roof (ERA, 2018).



Pioneer mortise and tenon (ERA, 2018).



Early roof structure enclosed within a new roof structure(ERA, 2018).



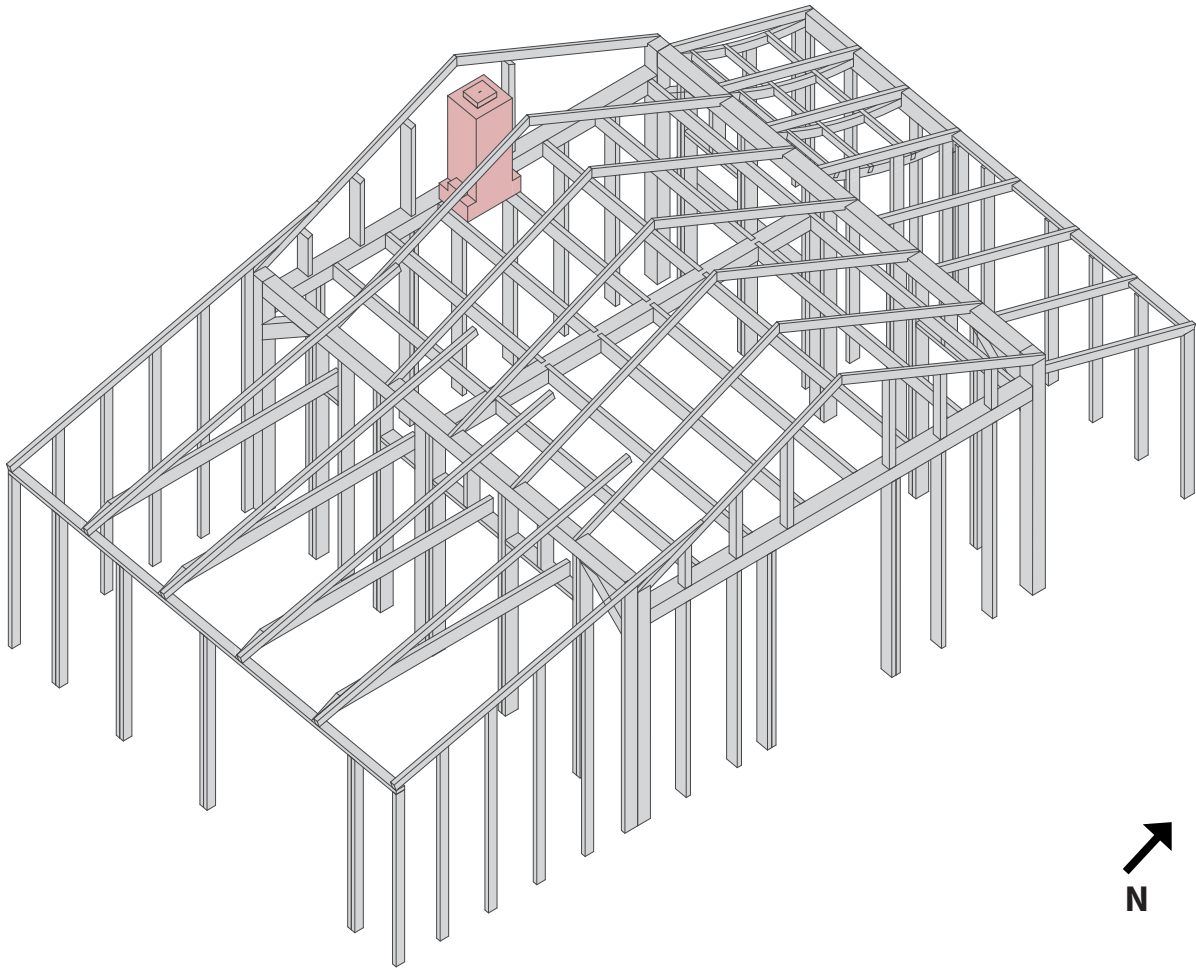
Early roof shingles visible enclosed within the rear structure (ERA, 2018).



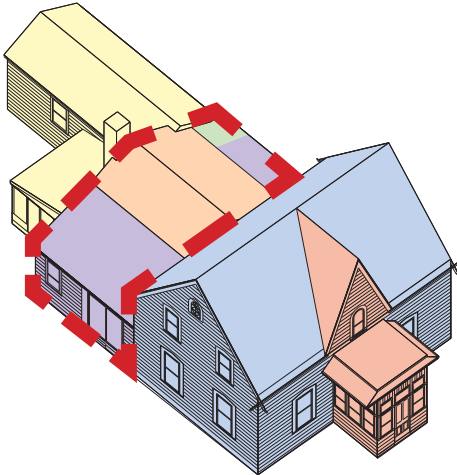
Pioneer post and beam (ERA, 2018).



Bowed roof rafters(ERA, 2018).



Existing framing structure of the circa 1820s pioneer portions with the remnant chimney (ERA, 2018).



Area of 1820s pioneer framing shown circled in red (ERA, 2018).

5.3 Barn at 2444 Old Bronte Road

Sources indicate the barn was constructed c. 1900. It is of rectangular plan with a pitched roof and a lean-to addition to the north, and appears of simple wooden construction with a truss roof structure sheathed in corrugated metal. The building appears to rest on a poured concrete foundation and is clad in board and batten. Along with a large garage entry there are pairs of original wooden windows with wood surrounds along with later modern intrusions.

The building was found to be generally in fair to poor condition. The wooden elements showed signs of advanced deterioration, particularly near the ground plane, and portions of the board and batten appear to have been replaced with plywood in the past, portions of which are succumbing to moisture. The rainwater systems (gutters and downspouts) have failed and detached from the building. Although ERA did not gain access, the building is not weather-tight and it is likely water is entering from various points.



Showing wood deterioration, typical (ERA, 2017).



Showing wood rot of board and batten at grade (ERA, 2017).



Showing remnant of rain gutter at roofline (ERA, 2017).



North elevation (ERA, 2017).



East elevation (ERA, 2017).



South elevation (ERA, 2017).

6 DESCRIPTION OF PROPOSED DEVELOPMENT

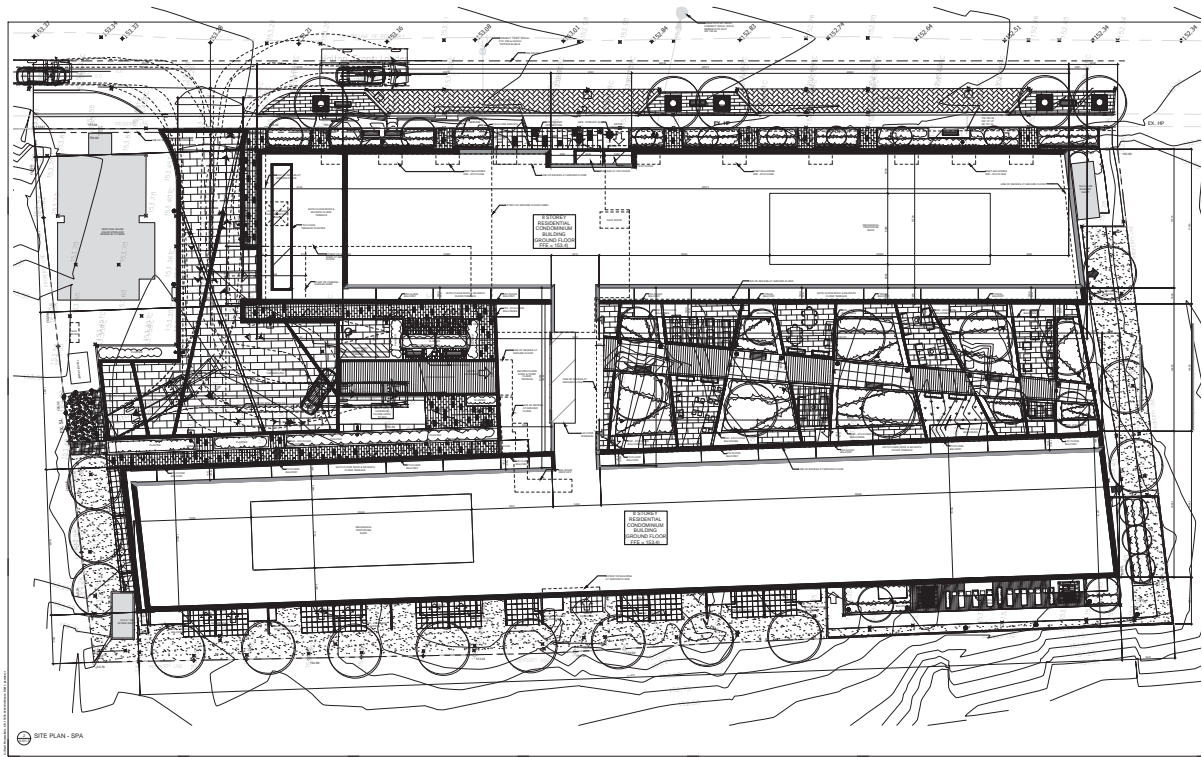
6.1 Summary

The proposed development anticipates the removal of the barn and the houses at 2444 and 2454 Old Bronte Road and the relocation of the house at 2460 Old Bronte Road for the construction of a new mixed use development on the Site. The proposed mixed-use building will be eight storeys tall in an H-shaped configuration, with two large masses connected at the center.

The new building will provide retail spaces at the ground level with residential uses above along Old Bronte Road. Outdoor amenity space will be provided between the two masses at the south end of the Site. The north end of the site will provide access to loading and the parking garage. The proposed development will include three levels of underground parking, which will connect below ground to the new basement of the heritage house.



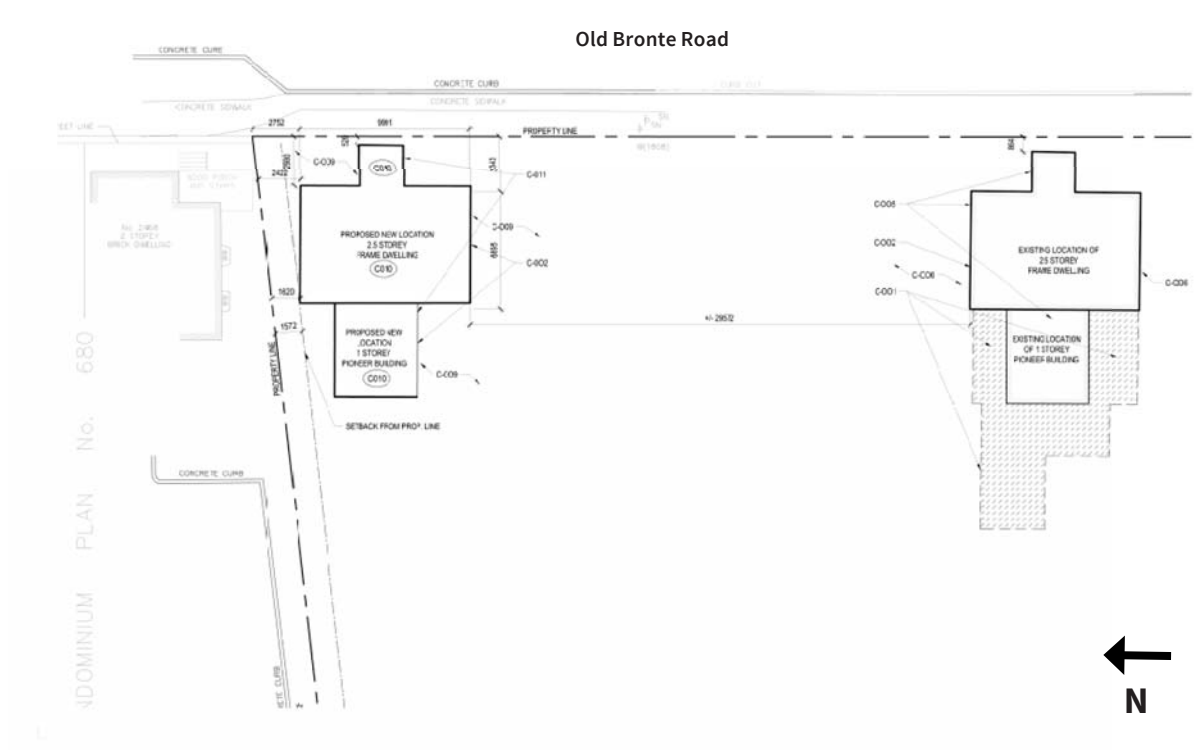
Rendering of the proposed development with heritage house to the right (Quadrangle Architects, 2018). Note that no landscaping has been shown in this rendering.



Site Plan (Quadrangle Architects, 2018). Note that this plan shows the preliminary footprint of the new proposed rear addition. Details about the rear addition will be refined through the design process and will be submitted as a forthcoming addendum to this report.

6.2 Proposed Relocation and New Rear Addition for the Farmhouse

The heritage house at 2460 Old Bronte Road will be relocated to the north-east corner of the Site, north of its current location, with frontage on Old Bronte Road. The 1850s house and 1870s front portico will be conserved in their entirety. All of the rear additions will be removed, with the exception of the oldest, original pioneer timber framing, which will be conserved in the interior of the new rear addition as a sculptural element. Its high quality craftsmanship will be made visible by removing the drywall on the walls and ceiling. Some of its original lathe and plaster will be conserved and made visible. There may be further alterations to the framing such as removal of some columns or beams. The bowed rafters, outside of this timber frame to the north west, will be salvaged and, if in reusable condition, also integrated as a sculptural element on Site or made available.



Proposed relocation and demolition (ERA, 2018).

7 IMPACT OF PROPOSED DEVELOPMENT

7.1 Farmhouse Relocation

The relocation of the farmhouse will facilitate its conservation and adaptive reuse integrated as part of a larger redevelopment. It will maintain the visual and contextual relationships among the heritage houses along this stretch of Old Bronte Road.

The lakestone foundation will be salvaged and made available.

7.2 Farmhouse Rear Addition

Removal of Existing Rear Additions

The rear additions to the farmhouse will be removed, with the exception of the original, oldest portion of the pioneer timber framing. The later 1820s north and south additions will be removed as they are built with typical construction methods and do not contain the same high quality craftsmanship elements as the main portion.

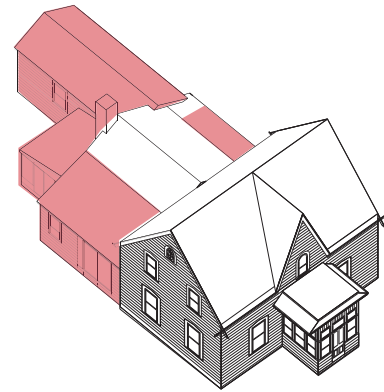
The visual and physical impacts are considered appropriate in order to facilitate the building's adaptive reuse. The pioneer timber frame is the high quality built form heritage fabric and will be conserved along with portions of the original lathe and plaster, and bowed rafters.

Pioneer Frame

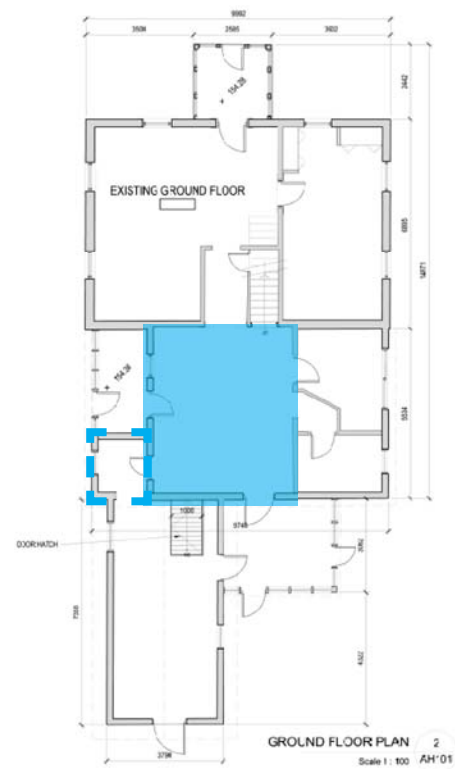
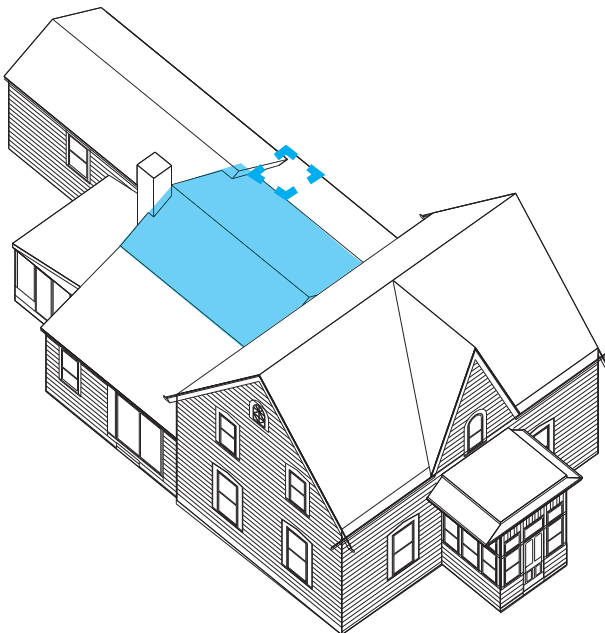
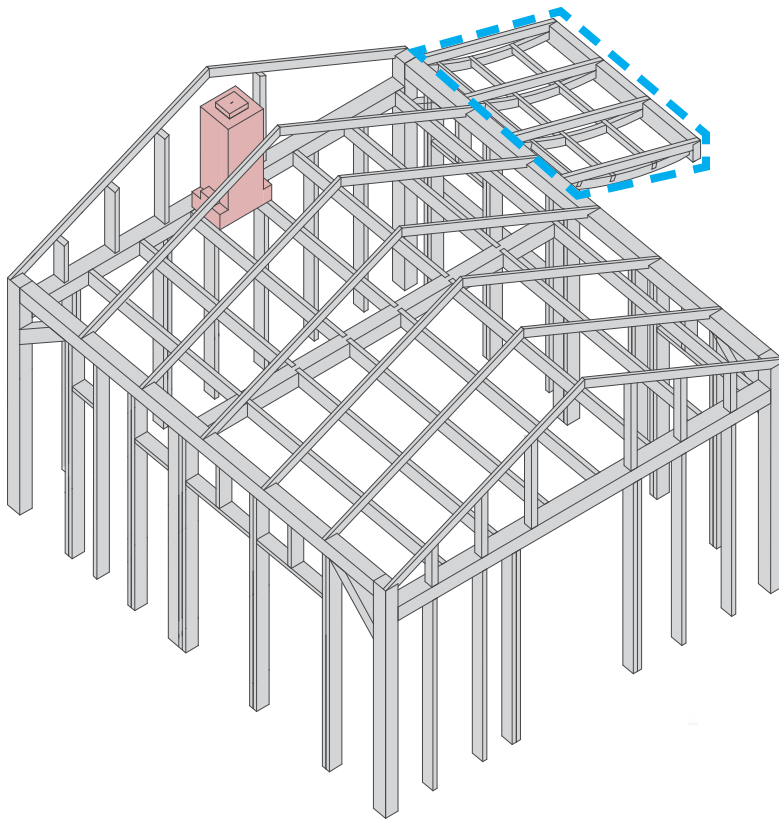
The timber frame will be made legible by the careful removal of the later drywall and conservation in the interior of the new rear addition as a sculptural element. This will make the high quality craftsmanship visible and legible, rather than buried as a structural element. Portions of the original lathe and plaster will be conserved and made visible.

The bowed rafters will be dismantled and salvaged for reuse on site, if in reusable condition, or made available.

The conservation of this resource will be detailed in a forthcoming Conservation Plan. Portions of pioneer framing to be conserved shown on the following page.



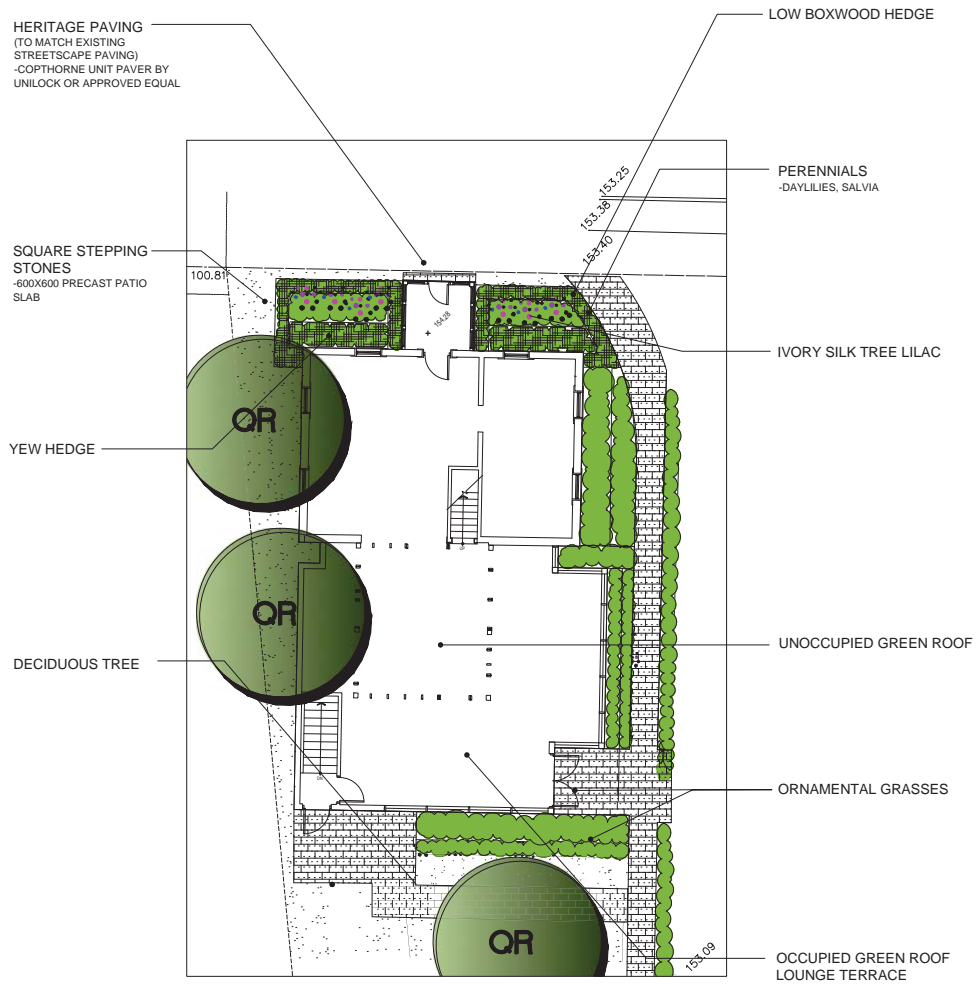
Areas of removal highlighted in red (ERA, 2018).



The framing of the pioneer framing shown above (and highlighted in blue in plan and in the axonometric diagram) will be conserved, which may include further alterations such as removal of some columns or beams (ERA, 2018). The area circled in blue will be dismantled and salvaged for reuse on site.

Setting

New landscaping will provide an appropriate green setting around the heritage house. A new pedestrian sidewalk to the south of the heritage house will provide access to the new universally accessible entrance on the rear addition as the existing front portico does not meet the accessibility requirements.



Landscape Plan for heritage house by Strybos Barron King, 2018. Please note the footprint of the new rear addition is preliminary and will be reviewed in a forthcoming HIA, as its design is refined through the approvals process.

7.3 Removal of the Barn

The barn will be removed. It is not visible from the street, and as such it does not contribute to the heritage nature of the streetscape. Furthermore it is in poor condition and has been significantly altered. Its original wood board and batten walls will be salvaged and made available.

7.4 Impact of the New Construction

The new building has an articulated front facade, which provides a transition down to the height of the farmhouse. The driveway, sidewalk, and landscaping between the new condominium and the farmhouse provide appropriate breathing room between the two structures. The new building will be physically connected to the heritage building via an underground connection to the parking lot, increasing its value for future tenants and ensuring its continued activation.



Rendering of the proposed development with heritage house to the right (Quad-angle Architects). All of the new construction between the red line, representing the articulated facade, and the heritage house is set back behind the heritage house. Note that no landscaping has been shown in this rendering.

7.5 Impact on Adjacent Heritage Resources

There are no adverse physical or visual impacts anticipated on adjacent heritage resources. The visual and contextual relationships among the heritage houses on this stretch of Old Bronte Road will be conserved.

7.6 Assessment

The following table identifies the impacts of the proposal on heritage resources.

Possible Effect	Assessment
Destruction of any, or part of any, significant heritage attributes or features	All significant heritage attributes or features will be conserved.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	The new location conserves the historic fabric of relationships among the heritage houses and is compatible with earlier approved approaches towards intensifying the old Village of Palermo.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden.	N/A
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	N/A
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	N/A
A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value	N/A
Land disturbances such as a change in grade that alters soils, and drainage patterns	N/A
Other possible effects (specify if any)	N/A

8 CONSERVATION STRATEGY

8.1 Conservation Approach

The conservation approach is to:

- Restore the main block of the farmhouse, including the later addition of the front portico;
- Activate the farmhouse with a compatible new use, first as a temporary sales centre;
- Construct a new rear addition that facilitates the adaptive reuse of the farmhouse and provide an appropriate setting for the farmhouse, including an accessible entrance and pedestrian walkway to the south elevation of the new rear addition as well as landscaping (to be evaluated in a forthcoming addendum to this report);
- Conserve and incorporate the pioneer timber frame as a sculptural element within the rear addition; and
- Salvage the materials of the barn and the bowed rafters, and either incorporate on site, if in reusable condition, or make available. The lake stone foundation will be salvaged and made available.

The forthcoming Conservation Plan will detail the conservation scope and phasing for the farmhouse.

8.2 Considered Alternatives

Alternative locations for the relocation of the farmhouse were reviewed in discussion with Town of Oakville Heritage Staff. The applicant was urged by Heritage Staff to purchase the lands to the north of the site in order to locate the heritage house there; the applicant has complied with this request.

8.3 Mitigation Strategies

In summary, the mitigation strategies are:

- Providing a transition in height through the articulation of the front facade of the condominium down to the farmhouse;
- Ensuring appropriate “breathing room” (physical open space) between the new condominium and the farmhouse;
- Maintaining existing the front setback in the new location;
- Ensuring that the visual and contextual relationships are maintained between the farmhouse and nearby heritage properties through the choice of the proposed location;
- Conserving and revealing the high quality craftsmanship of the pioneer timber framing as well as portions of the original lathe and plaster, and bowed rafters; and
- Designing a new rear addition that allows facilitates its adaptive reuse to be evaluated in a forthcoming addendum to this report).

9 CONCLUSION

The proposed development appropriately conserves the cultural heritage value of the structure known as the Caleb Smith House, and ensures its continued viability, contributing to the heritage context of the evolving neighborhood of Palermo.

This report will be followed by a Conservation Plan that details the conservation scope of work and phasing. The new rear addition will be evaluated in an addendum to this report.

10 PROJECT PERSONNEL

Philip Evans

Philip Evans is a principal of ERA Architects and the founder of small. In the course of his fourteen-year career, he has led a range of conservation, adaptive reuse, design, and feasibility planning projects. Philip is a professional member of CAHP.

Jasmine Frolick

Jasmine Frolick is a registered planner with ERA Architects. She received her Master of Planning in Urban Development from Ryerson University after completing a Bachelor of Arts at McGill University.

Emily Collins

Emily Collins is a planner with ERA Architects. She received her Bachelor of Environmental Studies with a major in Honours Planning from the University of Waterloo.

Nicholas Thompson

Nicholas Thompson works with the heritage planning team at ERA Architects. He has Master Degrees in history (McGill University) and planning (University of Toronto), as well as a Certificate in Historic Building Conservation (Cambridge University).

Cultural Heritage Evaluation Report
James and Muriel Blakelock House
123 Trafalgar Road, Oakville, Ontario



123 Trafalgar Road, 2024. Source: Town of Oakville Planning Services Staff

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

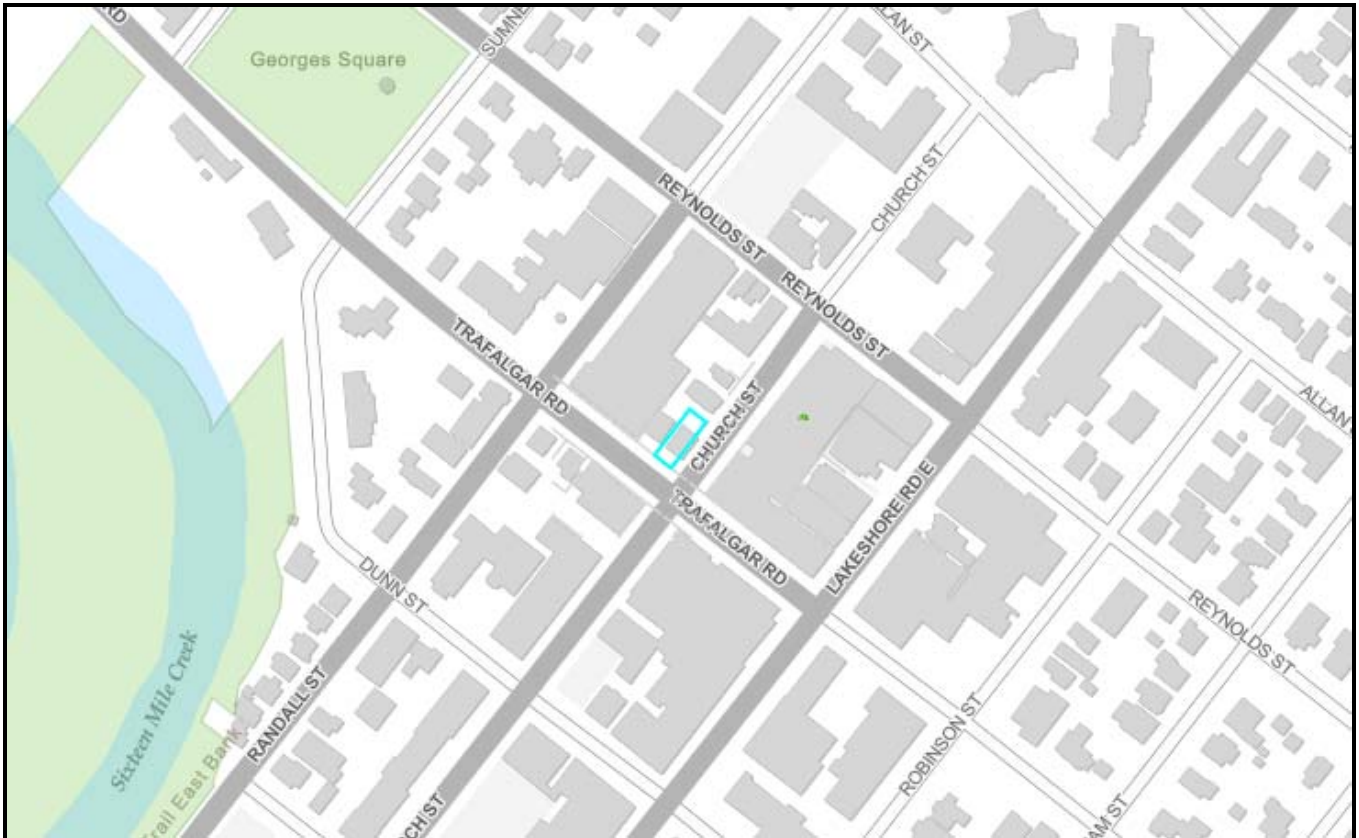
The property at 123 Trafalgar Road is located on the east side of Trafalgar Road between Randall Street and Church Street. The property is located within the territory covered by Treaty 22, which was signed in 1820 between the Mississaugas and the British Crown. The property was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* in 2009 for its "potential cultural heritage value for its c.1910 Edwardian style brick house." It was originally owned by James B. Blakelock and built by him and his brother, Thomas A. Blakelock.

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets four of the criteria of Regulation 9/06. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

The findings presented in this report are based on professional research and guidance. Future discovery of additional sources or interpretations may affect the conclusions.

2. Subject Property

The property at 123 Trafalgar Road is located on the east side of Trafalgar Road between Randall Street and Church Street in downtown Oakville. The property is located within the territory covered by Treaty 22, which was signed in 1820 between the Mississaugas and the British Crown. It was historically a part of Block 25, Lot D. The property contains a detached two-and-a-half-storey house, built 1917, known as the James and Muriel Blakelock House.



Location map: Subject property is outlined blue. August 2024. Source: Town of Oakville GIS

Legal description: PT LT D, BLK 25, PL 1, AS IN 769129; OAKVILLE

3. Background Research

Design and Physical Value

The subject building at 123 Trafalgar Road is a two-and-a-half-storey brick house, now a commercial structure. The house has design and physical value as a representative example of a 1910s Edwardian brick house with Queen Anne influences. It is known as the James and Muriel Blakelock House.



West (front) elevation of the building, 2024. Source: Town of Oakville Planning Services Staff

Edwardian Architecture (1900-1930)

Edwardian architecture emerged in the early 1900s as a reaction against busy Victorian architecture. The style emphasized simplified, balanced, and formal composition.¹ It was influenced by the Beaux-Arts movement, which focused on a reinterpretation of classical architecture by combining elements of the Greek, Roman, and Renaissance elements to create a more modern style.² A simplified residential version of this style became popular in Ontario and was known as Edwardian Classicism. Typical of the style is a square house with a hipped roof and central dormer, smooth red brick surfaces, tall balanced chimneys, and projecting frontispieces. The porch often has columns on brick piers, and the house typically has many windows, laid out in a formal and mostly symmetrical composition.³

Queen Anne Revival Architecture (1890-1914)

Queen Anne architecture is influenced by medieval asymmetrical English country houses, with an assortment of turrets, towers, porches, gables, and roofs.⁴ Typical of the North American design is the asymmetrical shape, the

¹ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 166

² Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 111

³ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 113

⁴ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 91

tower with the conical peak, and multi-sloped roofs.⁵ The chimneys are top heavy, their sides embellished with patterned brickwork.⁶ Windows can vary in size and shape and eaves are often flared. The result is an eclectic and whimsical style with highly decorated surfaces and a multitude of decorative features.⁷ Covered porches and balconies often contained decorative arches, brackets, columns and bargeboard.⁸

Subject Property Description

The property at 123 Trafalgar Road retains several architectural elements of both its influential architectural styles that make the subject property an important element of the history and character of the neighbourhood. It was converted to commercial space likely around 1991 but before that served as residential home.⁹ The structure is transitional in style, with a largely Edwardian form with details influenced by Queen Anne style.



West and south elevation. Source: Town of Oakville Planning and Development Staff

The house is in the standard square shape of Edwardian houses. This style of house is colloquially called a ‘four square’ house because the main floor is comprised of four rooms – foyer, dining room, parlour and kitchen. The house has a simple front gable roof with deep eaves, with hip roofed projections over the second storey in both gables. The Queen Anne influence can be seen in the two-storey bay projection on the south elevation and the second storey bay windows on the west elevation. These elements add articulation and decoration to the simpler form of an Edwardian house. Originally, the house only had one second storey bay window on the front

⁵ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

⁶ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

⁷ Blumenson, *Ontario Architecture*, 102.

⁸ Ibid.

⁹ 1991 purchasers were tenants who owned a bookstore, and Town records show elements of a business being added ie a ramp, etc.

elevation, as seen in the image below. This is more characteristic of the Queen Anne style, as it created an asymmetrical appearance.



123 Trafalgar circa 1989. Source: Oakville Historical Society

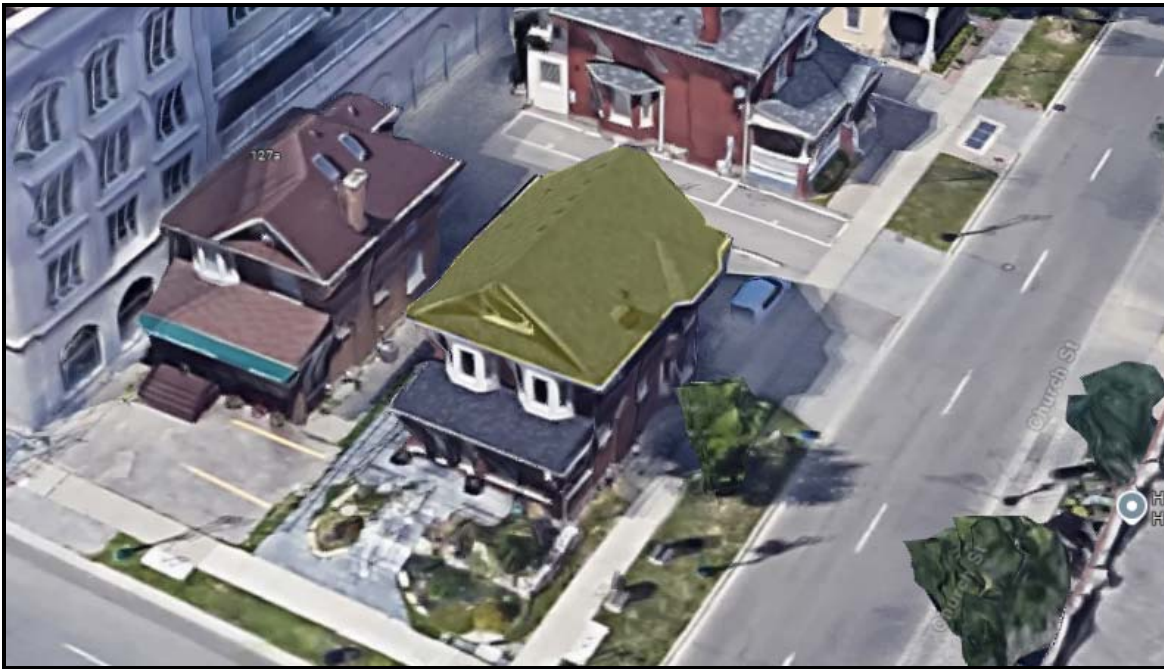
The structure is clad in dichromatic brick with red and dark brown bricks in a running bond pattern. Red brick voussoirs are installed over window and door openings. There is a full brick chimney on the south elevation and a partial brick chimney on the north elevation. The front and rear gables are clad in cedar shingles, a Queen Anne detail. The house has a concrete foundation, with dressed concrete blocks used above grade for a finished look.



West and north elevation. Source: Town of Oakville Planning and Development Staff



East (rear) elevation. Source: Town of Oakville Planning and Development Staff



Roof shape. Source: Google

The front porch is typical of the Edwardian style, with brick columns and a low brick railing with stone caps. The porch was originally opened but by the 1980s, it was filled in with windows and an entrance door.



1960s aerial view showing 123 Trafalgar which appears to have an open porch. The house is flanked by 127 Trafalgar and 131 Trafalgar (since demolished). *Source: Town of Oakville files*



Close-up of the house in the 1990s with the front porch enclosed after the house transitioned from residential to commercial use. *Source: Town of Oakville Planning and Development Staff*

The house generally retains its original fenestration with windows laid out in an orderly, fairly symmetrical, pattern. Most window openings are segmentally arched with brick voussoirs above and stone sills below. The original windows were multipaned wood windows, most of them sash windows with four-over-one, six-over-one and eight-over-one glazing patterns. The house currently has vinyl windows with dividers giving the appearance

of multipaned windows. There is one glass block window on the north elevation that was formerly an entrance door, as can be seen in the 1990s photo.



North elevation fenestration. Source: Town of Oakville Planning and Development

The third storey window on the rear elevation has access via a metal fire escape, installed in 1990.¹⁰



Rear elevation fenestration and view of the tower two-storey bay window on south elevation. Source: Town of Oakville Planning and Development

¹⁰ Town of Oakville Building Services files.

In summary, the house has design value as a representative example of an Edwardian brick house with Queen Anne influences. It retains heritage features such as: its two-and-a-half storey form with gable and hipped roof, dichromatic brick cladding with cedar shingles in the gables; fenestration on the north, east, south, and west elevations; segmentally arched window openings with brick voussoirs and concrete sills; bay windows on the west and south elevations; and front porch with square brick columns and railing.

Historical and Associative Value

The property at 123 Trafalgar Road is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and a strip of land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.¹¹

The land outside of the waterway reserves kept by the Mississauga was divided up by the Crown. The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding “about 20,000” acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.¹² The subject property is in the territory of Treaty No. 22.¹³



Wilmot's Trafalgar Township Survey, 1806, with Lot 13, Third Concession South of Dundas Street highlighted in yellow. Source: Archives of Ontario

The subject area was known as the Third Concession South of Dundas Street, Lot 13. It was granted to William Chisholm in 1831. In 1831, William Chisholm, a farmer, businessman, and political figure from Nelson Township, now part of Burlington, Ontario, purchased 1,000 acres of land at the mouth of Sixteen Mile Creek from the Crown.¹⁴ William Chisholm then had the land he purchased subdivided into different blocks and lots, which

¹¹ Debwevin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

¹² Debwevin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10

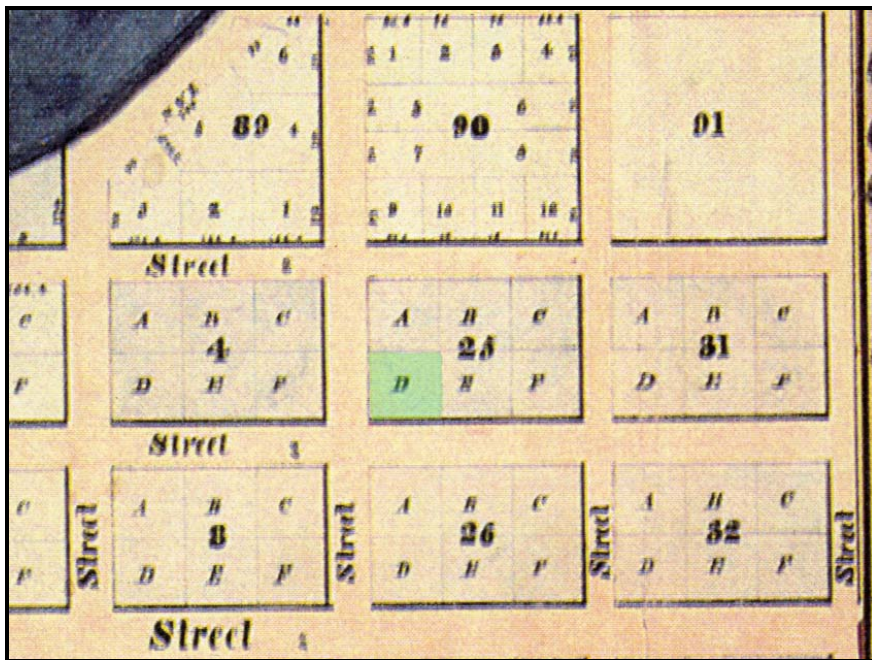
¹³ 1806 Wilmot Survey; Mississaugas of the Credit GIS Treaty Map

¹⁴ Ministry of Natural Resources, Crown Grant, wherein William Chisholm of Nelson Township purchased 1,000 acres of Crown land for £1,020, on the 25th of March 1831

make up the historical Town of Oakville as seen in the map below. Chisholm is widely recognized as the founder of the Village of Oakville. The subject property was built on Block 25, Lot D of this plan (Plan 1) of Oakville.



Edward B. Palmer's, Plan of Oakville, Township of Trafalgar Upper Canada 1835. Source: Oakville Historical Society



Close-up of the historical lot from the same map.

Below is a summary of the owners of the property from the Crown patent to the current owners. Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be

discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property's building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period.

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	200 acres	1806-1831
William Chisholm	Plan 1, Block 25, Lot D	1831-1834
Thomas Divine	Ibid.	1834-1844
Mary L. Hare	Ibid.	1844-1855
Her son, Albert Hare	Ibid.	1855-1907
CD Carson	Ibid., plus another Lot (Lot E)	1907-1909
John William Lyon	Part of Lot D and other land (Lot E)	1909-1913
William C. Richardson	Part of Lot D	1909-1913
Allan Busby and Thomas A. Blakelock	Part of Lot D and E	1913-1915
Thomas A. Blakelock	Ibid.	1915-1954
John Clifford Blakelock and Margaret Blakelock	Ibid.	1954-1966
Ida Cornwall and Marian Vince	Ibid.	1966-1969
Roy and Jean Frederick	Ibid.	1969-1991
928606 Ontario Inc.	Ibid.	1991-2005
2073296 Ontario Inc.	Ibid.	2005-2016
Kaloti Family Wealth Corporation	Ibid.	2016-2022
Current owners	Ibid.	2022-present

In 1834, William Chisholm sold Block 25 Lot D to Thomas Divine, who then sold it to Mary Hare in 1844.¹⁵ She also bought neighbouring Lot E from Chisholm—these two lots would continue to be connected for a long period of time.¹⁶ Mary Hare then sold her holdings to her husband, John Hare.¹⁷ In 1861, John Hare and his children, along with a new wife, Johanna, were listed as living in a one-and-a-half storey house on the property. He was listed as a mason and Johanna was his new wife.¹⁸ The Hare family lived on Lot D and E for quite a while; Johanna is listed there in the 1871 census, with two buildings (one dwelling and one outbuilding). She was at that point a widow and 43 years old and worked as a servant. She grew vegetables such as turnips, carrots and potatoes on the property.¹⁹ By 1881, her son Albert was listed as the homeowner in the assessment rolls but was likely renting out the house over the next twenty years, as he worked in Toronto.²⁰

In the 1893 assessment rolls, two houses are recorded on Lots D and E, one assessed at \$500 (occupied) and the other at \$300 (vacant). This situation remained unchanged through to 1899. In the 1901 census, one person, Jennet Smeaton, is listed as living there. In 1907, Albert Hare sold Lots D and E to C.D. Carson for \$900.²¹

Charles David Carson was a successful and well-known contractor in Oakville, who had helped to purchase and build many of the houses in Orchard Park, in east Oakville, as well as numerous other houses and structures in Oakville. He may have intended to build on Block 25 but instead sold off Lot D, at least, without building any

¹⁵ LRO Instrument 73, being a Bill and Sale, dated January 2, 1844, between Thomas Divine and wife and Mary Hare, wife of John Hare

¹⁶ Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010, pg. 8

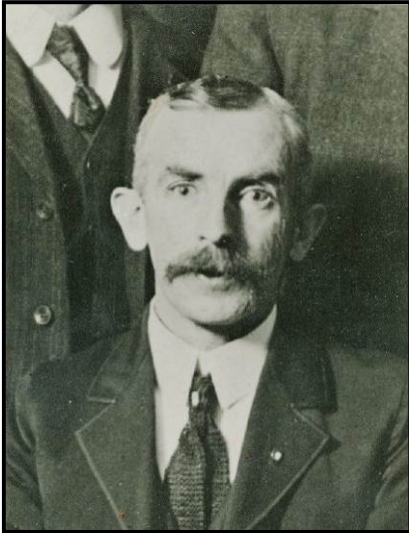
¹⁷ LRO Instrument 299, being a Will, dated December 31, 1855, between Mary Hare and John Hare.

¹⁸ 1861 Census of Canada

¹⁹ 1871 Census of Canada

²⁰ 1871 and 1891 Census of Canada; Town of Oakville Public Library, *Town of Oakville Assessment Rolls, 1881*; Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010

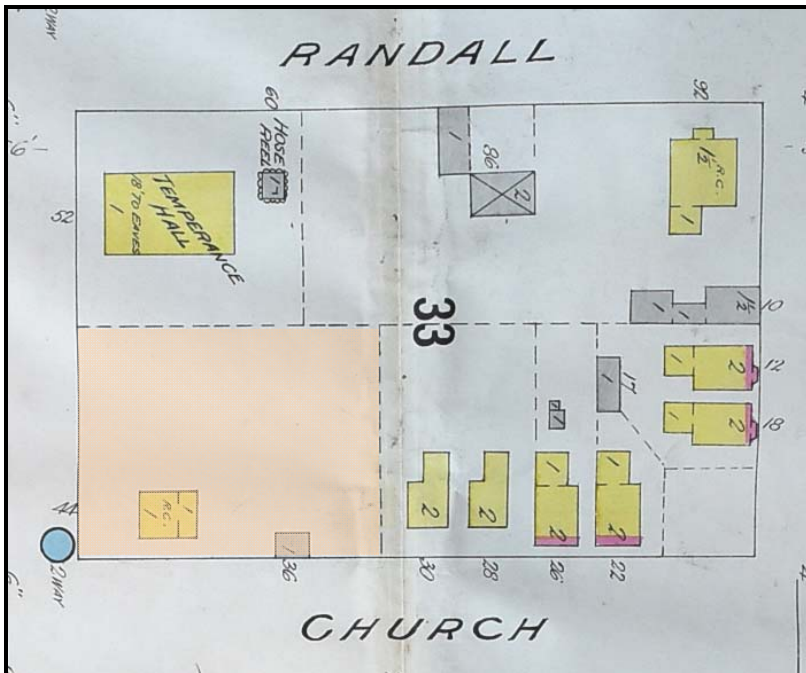
²¹ Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010, pg. 8



new structures—in the 1910 fire insurance map, one single storey frame dwelling is still standing. This is likely the same house the Hares and Smeatons lived in.

Carson divided the combined property of Lots D and E into two unequal portions, with the smaller portion containing the two houses at 297 and 301 Church Street. Carson was listed as living on Lot D in the 1909 assessment roll, however this may not be accurate as the small house was most likely inhabited by the Hares and then the Smeatons.²²

Charles D. Carson. Source: Oakville Historical Society



Lots D and E (highlighted in light orange) combined by Charles Carson, with one one-storey stucco structure and an outbuilding. Later, 293 Church Street was built on Lots E and D. Source: *Underwriters' Survey of Toronto*

In 1909, Charles Carson sold strips of land from Lot D and E to John Lyon, a farmer in Trafalgar Township. The remainder of Lot D he sold for \$700 to William Richardson, variously described as an Oakville merchant, teamster, tanner, and clerk.²³ Assessment rolls for 1910-1913 show Richardson residing there, likely in the one-storey house, with his family.²⁴

In 1911, Lyon sold his north portion of Lot D to James Blakelock and John Thomas Parnaby.²⁵ The south portion of his north sliver he sold to Allan Busby and Thomas Aston Blakelock in 1913, when Busby and Blakelock also

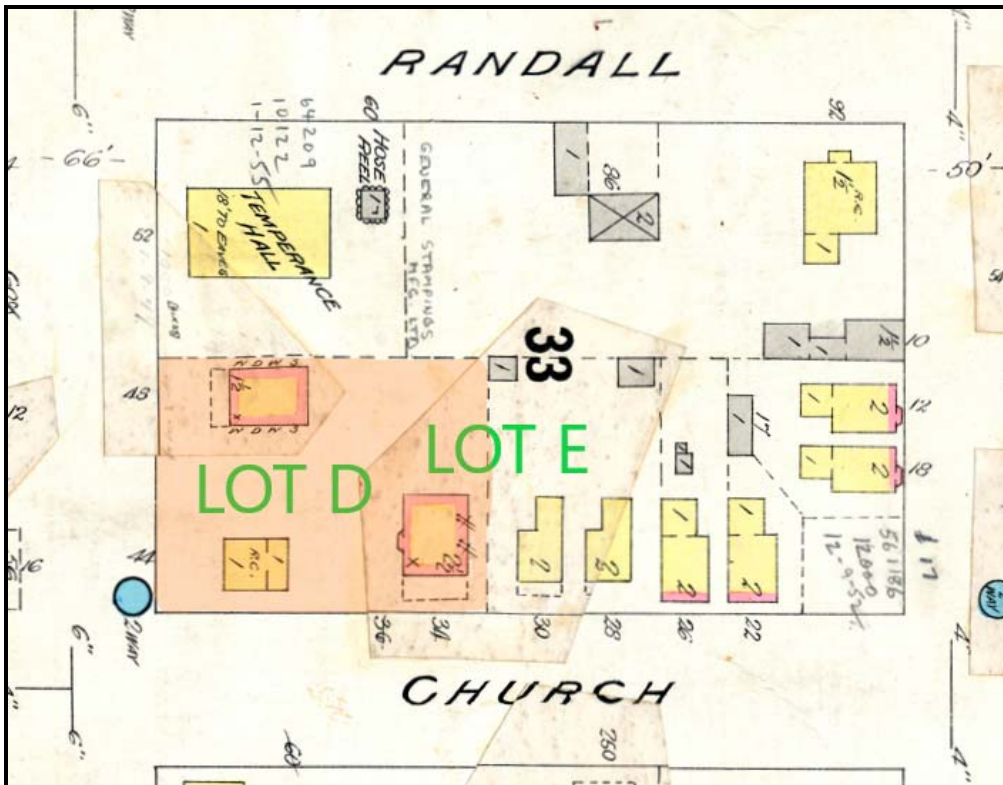
²² Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010, pg. 9

²³ Ibid.

²⁴ Oakville Public Library, *Town of Oakville Assessment Rolls, 1910-1913*

²⁵ LRO Instrument 4665, being a Bill and Sale, dated June 9, 1911, between John Lyon and James Blakelock and John Thomas Parnaby

purchased the south two-thirds of Lot D from Richardson.²⁶ Allan Busby hired the Blakelock Brothers to build his house on his portion (shown below). In this way, all of Lot D was now under the ownership of the Blakelocks, as well as a portion of Lot E. The one storey house on the south portion would be demolished for the subject house, which was built by the Blakelock brothers in 1917 for James B. Blakelock and his wife Muriel.



1913 fire insurance map showing Allan Busby's house on the north of the highlighted lot—built by the Blakelock Brothers—present at modern address 131 Trafalgar (now demolished) and Thomas A. Blakelock House at 293 Church Street, along with the old one-storey building. By this point the land was shared between the Blakelock Brothers, John Thomas Parnaby, and Allan Busby. Source: *Underwriters' Survey of Toronto*

Blakelock Brothers

Thomas Aston Blakelock and James Bulman Blakelock, brothers, were from Yorkshire, England, and arrived in Oakville early in the twentieth century. Thomas came over initially, and having been trained as a carpenter in England, looked for work in Toronto.²⁷ He struggled to find jobs, however. He got work with a farmer, Edward Savage, of Trafalgar Township, who, after noticing his carpentry skills, got him a job with Charles Carson, working on constructing the Edgemere Estate for James Ryrie east of town.²⁸ In this way, Thomas got his foot in the building world of Oakville. It is also possibly how Blakelock learned of building opportunities on the subject block since Carson had owned some of these lands previously.

Thomas Blakelock went on to work on other notable structures around Oakville: an addition to the Central Public School, the construction of the Ryland New Residence (now a designated building), and the offices of the Marlatt and Armstrong Tannery, as well as a house renovation for its proprietor, W.T. Marlatt.²⁹ Around 1909, Thomas went back to England to marry Isabel Ann Parnaby, and returned to Canada with his new wife. Her

²⁶ LRO Instrument 5457, being a Bill and Sale, dated July 17, 1913, between William Richardson and Allan Busby and Thomas Blakelock; LRO Instrument 5468, being a Bill and Sale, September 18, 1913, between Busby and Blakelock and Thomas A Blakelock

²⁷ Newspaper article

²⁸ Town of Oakville files, "Personality parade: He gave time and effort to municipal progress", date unknown

²⁹ Town of Oakville, "Thomas Aston Blakelock", research paper

brother, John Thomas Parnaby, also emigrated to Canada.³⁰ Thomas' brother, James, was another trained carpenter, and came to join the family in Oakville to work in construction. James is listed as living with Thomas' family, along with his brother-in-law, in the 1911 census, and he is listed as immigrating to Canada in 1910 but in a later census, as arriving in 1909.³¹



A photo of the Blakelock family at 293 Church Street; James is sitting on the far left on the railing, and Thomas is holding a baby. *Source: Kathleen McDermott, daughter of Thomas A. Blakelock*

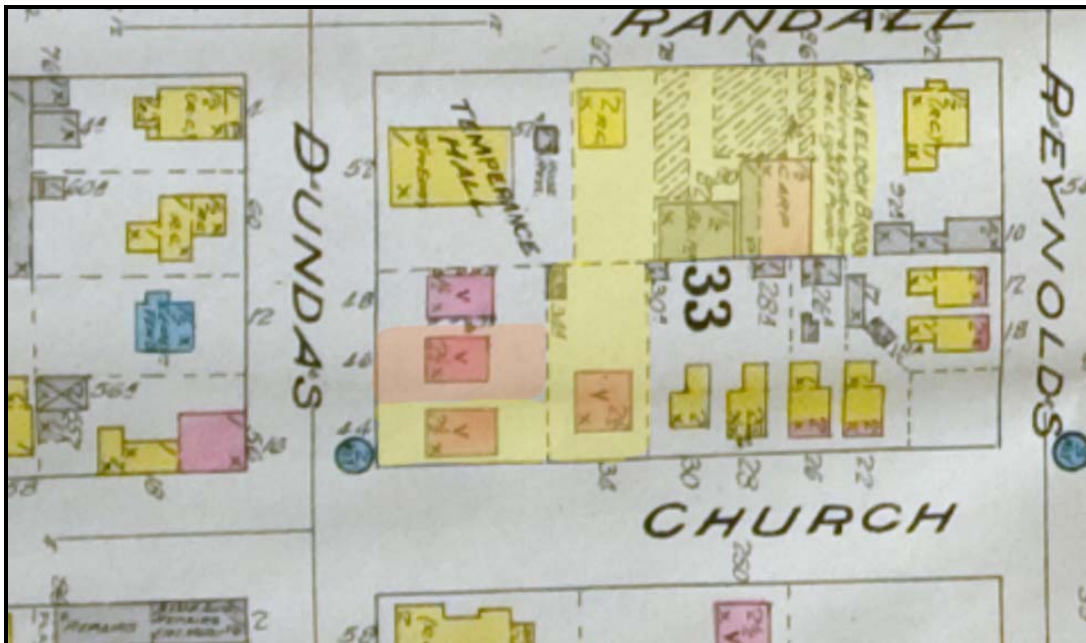
In 1911, James and his brother-in-law John Parnaby purchased the property where 293 Church Street stands; two years later, Thomas assumed Parnaby's share and built the house there, now a designated heritage property known as the Thomas A. Blakelock House.³² The 1911 assessment rolls suggest 293 Church Street was under construction and the family was living at 301 Church Street at the time. The house at 293 Church Street was owned by both brothers until James' death in 1938; after that, James' share was assumed by his wife and then children. The house was the main home of Thomas Blakelock and his family, however, while James' family house was built next door at 123 Trafalgar Road.

Together with his brother James, Thomas established a contracting firm around 1913 to develop land contract construction for new houses. Their operations began on this Block 25, and their system was often made up of buying lots, building houses, and selling as developed property.

³⁰ John Thomas Parnaby was later the chauffeur to the Marlatt family, and then purchased a farm west of Oakville

³¹1911 Census of Canada, 1921 Census of Canada

³² Town of Oakville, "Bylaw 2011-062", Thomas A. Blakelock House



1924 fire insurance map showing the subject property (orange) and the surrounding Blakelock owned properties (yellow), including their building supplies and planing mill. Source: Underwriters' Survey of Toronto

In 1948, the *Oakville Record Star* estimated the firm had built more than 300 houses in and around Oakville, in addition to other buildings. In 1917 and 1923, the brothers bought the property on the north portion of Block 25 to set up a lumber yard and planing mill. The brother's lumber store also sold other building supplies, such as new pressed brick from Milton Pressed Brick and asbestos roofing tiles.³³ During this post-World War I period, there was significant economic growth and increased construction after the return of war veterans as well as materials which had been scarce during the war. The Blakelock Lumber and Building Supplies were able to take advantage of this period of prosperity and successfully operated their business until the mid-1960s, when it shut down and the buildings were then demolished and the land sold.³⁴



Outside the Blakelock Lumber Supplies and Planing Mill. Source: Town of Oakville files

³³ Various Blakelock brothers ads from the *Oakville Record-Star*, as seen below

³⁴ Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010, pg. 10

BLAKELOCK BROS.
CONTRACTORS AND BUILDERS

Carpentering of all Kinds
 And all work Guaranteed

Plans and Estimates Furnished Free

Old or New Hardwood Floors Resurfaced, with an
 ELECTRIC SAND PAPERING MACHINE.
 We will explain this to any persons interested.

BOX 298, OAKVILLE Phone No. 214

BLAKELOCK BROS.
CONTRACTORS AND BUILDERS

AGENTS FOR
Milton Pressed Brick

Samples at Residence
 Church Street . . .

BOX 298, OAKVILLE Phone No. 214

WORKING MEN'S HOMES

Having purchased that block of land on the south side of Palmer avenue, known as the Cross property, we have room for five or six working men's houses. The lots are of good size, 40 ft. by 110 ft., well situated and ideal for working men's homes.

We would build any responsible person a house to his own liking for a small payment down and balance to suit purchaser.

If you are looking forward to own a home of your own do not miss this opportunity.

BLAKELOCK BROS.
BUILDERS AND CONTRACTORS

BOX 298 OAKVILLE Phone No. 214

BLAKELOCK BROS.
BUILDERS AND CONTRACTORS

Box 298 Oakville Phone No. 214
PLANING MILL on Randal St.,
 east of Temperance Hall
 Agents for **MILTON PRESSED BRICK**
 Prices on application.

Having installed a complete line of Wood-working machinery we are now in a position to take orders for all kinds of Storm Sash, Window Screens, Screen Doors, Window Frames and Sash, Doors of any design, or anything in the mill line. Give us your next order and let us convince you that we serve you promptly.

If you are thinking of making any changes around that house of yours, or cleaning off that hardwood floor and making it look like new, ask us for prices on a complete job, we feel sure after the first transaction we can add you to our long list of satisfied customers.

Our Motto is SERVICE.

Various ads from the Blakelock Brothers, top left to bottom right: 1914, 1916, 1919, 1920. Source: *Town of Oakville files, Oakville Record Star*



Thomas Blakelock was also involved in local politics as a councillor, served as deputy-reeve, reeve, and warden of Halton County, was elected Mayor of Oakville in 1929, and that year he won the Liberal nomination for Halton and was elected to the Ontario Legislature. A Trafalgar Township high school that opened in 1958 was named Thomas A. Blakelock High School in recognition of his community service.³⁵

Thomas A. Blakelock, 1940s. Source: *Kathleen McDermott, daughter of Thomas A. Blakelock*

³⁵ Thomas A. Blakelock High School, "About Us", <https://tab.hdsb.ca/about-us>

Subject House History

The Blakelock brothers built the house at 123 Trafalgar Road in 1917 for James B. Blakelock and his wife Muriel.³⁶ It was recorded as “not finished” in 1916, worth \$480, and then by 1917, it was lived in by James and Muriel and worth \$2,480.³⁷ The style of house is similar to the one they built next door for Charles Dorland (127 Trafalgar Road) and around the corner for Thomas (293 Church Street). The house was part of a Blakelock complex on the block, including their mill and store. The house not only provided a home for the Blakelock family, but would have served as an example of their craftsmanship and construction abilities while they expanded their business. In a way, it would have been like a model home.



A later photo from the 1960s showing the subject property in orange, with other Blakelock owned properties nearby on the block, including the Blakelock lumber store and planing mill. The Busby house to the north was also built by the Blakelocks but was demolished in 2010. *Source: Town of Oakville files*

James Bulman Blakelock (1886-1938) was born in Yorkshire, England, to James Blakelock, a book maker, and Mary Bulman.³⁸ He came to Canada around 1909-1910, following his brother, Thomas Aston Blakelock. Together, starting around 1909, the brothers put their carpentry skills and experience to work and started the Blakelock Brothers, which started out as a building and construction company.³⁹ They soon purchased land in the north portion of Block 25 and started their own building supplies and lumber planing mill. In 1915, James returned to England and married his English wife, as his brother Thomas had done before him. James and his wife Muriel then returned to Oakville. He was active in Oakville public life: he was a member of the school board for several years, a member of “various service and athletic clubs in the town”, and an Oddfellow.⁴⁰

However, James Blakelock died fairly young in 1938, at his lumber mill, at age 52. He was injured when a flying block of wood struck him in the abdomen. He died several days later.⁴¹ The Blakelock Brothers business that James had helped to run was prosperous for over 50 years and the company is said to have built over 300 structures in Oakville.

³⁶ Thomas A Blakelock continued to own the property his brother lived on until he sold it to James’ son in 1954.

³⁷ Oakville Public Library, *Town of Oakville Assessment Rolls, 1916-1917*

³⁸ 1891 Census of England

³⁹ *The Georgetown Herald*, “Obituary: James Blakelock”, January 19, 1938, pg. 4

⁴⁰ *Ibid.*

⁴¹ *Ibid.*

Lieut. John Blakelock, R.C.N.



In 1954, Thomas Blakelock sold the subject house to John Clifford Blakelock, son of James and Muriel. Since James had died in 1938 and Muriel in 1945, it is likely that John and his wife, Helen, and their family had been living in the house afterwards.

John was a veteran of World War II who had joined the Royal Canadian Navy in 1936. He met his wife Helen while he was stationed in Nova Scotia in 1942. They married in 1943 and had six children.⁴²

Lieutenant John Blakelock, during his service in the Navy. *Source: Oakville Historical Society.*

The house was then sold to Ida Cornwall and Marian Vince in 1966, ending the Blakelock family ownership of the property. Three years later, the property was sold to Roy and Jean Frederick. They owned the building for nearly 30 years, and in 1991, Jean Frederick sold the house to a numbered company. Around that same time, Quest Booksellers began using the building.⁴³ Quest Booksellers hosted many events for local authors.⁴⁴ It had previously been located around the corner at 297 Church Street.⁴⁵

In summary, the property has historical and associative value because it is directly associated with the late 19th and early 20th century commercial and residential development of downtown Oakville. It is one of the few remaining historic buildings on its block and is an important reminder of this area's history. It is also associated with the Blakelock Brothers, particularly James B. Blakelock, who built the house for his family. The Blakelocks were significant individuals and business owners in Oakville. This was one of the first structures they constructed which served as a family home but also as a model home to help them expand their development and construction business.

⁴² Oakville Historical Society photo record for John Blakelock, <https://oakvillehistory.pastperfectonline.com/Photo/431C845D-FD82-4C43-B4D3-382638140740>

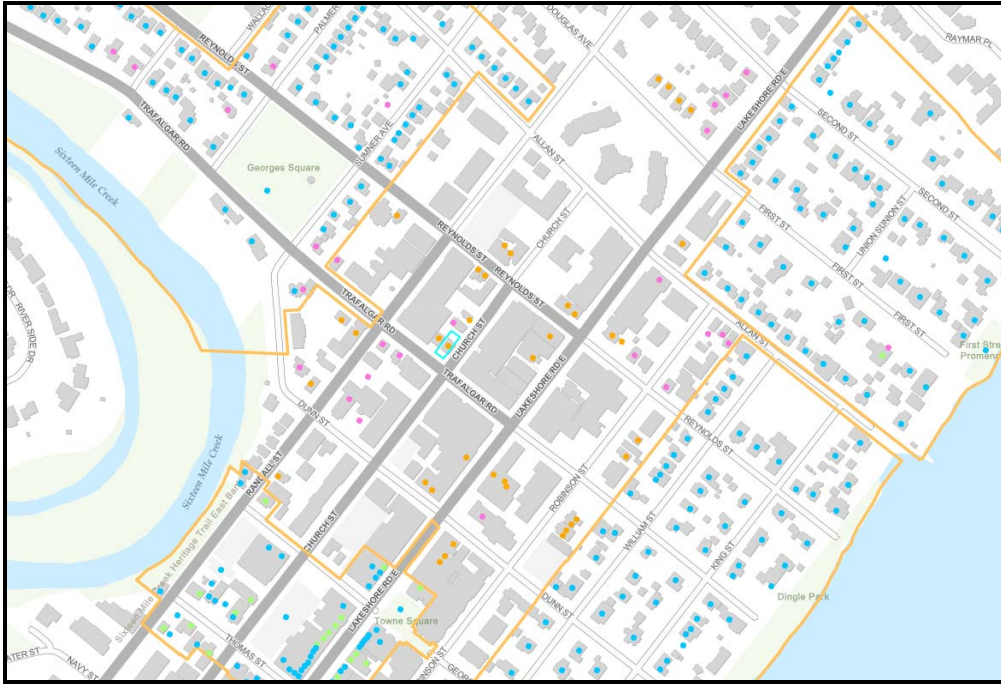
⁴³ LRO Instruments 282443, being a Grant, dated October 2, 1969, between Ida Cornwall and Marian Vince, to Roy and Jean Frederick; 769129, being a Transfer, dated August 9, 1991, between the Fredericks and 928606, which was Quest Booksellers, directed by Jean Frederick (Ontario Business Registry Profile Report, accessed 2024). It is possible the business was Quest Booksellers, however, the report does not include that name and it was incorporated in 1991 when the bookshop existed since 1986 (in a different building).

⁴⁴ Oakville Newspapers, various articles

⁴⁵ Oakville Historical Society, "297 Church Street – Quest Booksellers", 2020.67.17; An *Oakville Beaver* article from 1994 states that Quest Booksellers had an eight-year history, indicating it was present since 1986, likely in 297 Church Street. Jean Frederick

Contextual Value

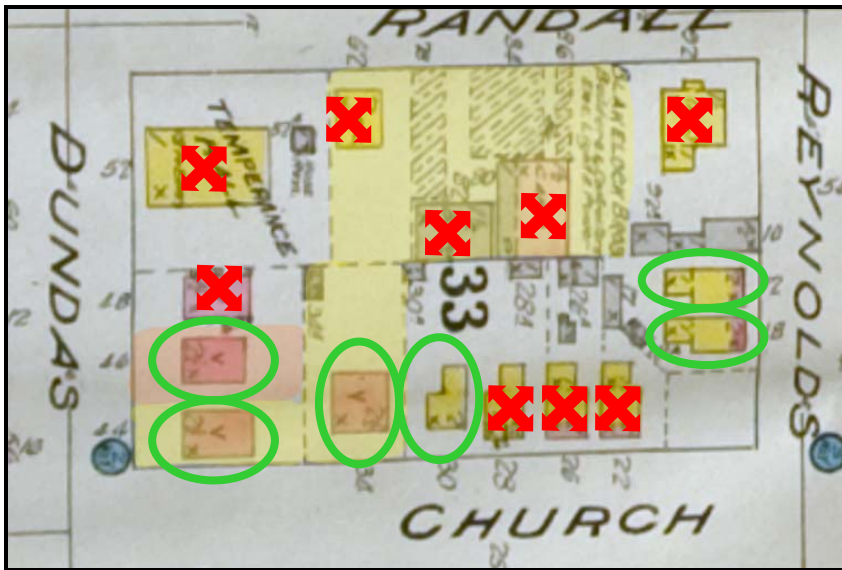
The subject property has cultural heritage value because it is physically, functionally, visually, and historically linked to its surroundings. The property is in downtown Oakville, surrounded by Oakville's four Heritage Conservation Districts, as seen in the map below. The subject property is one of several historical buildings of note still standing which reference the early built history of the neighbourhood, which was a mix of residential, industrial and commercial. It is one of several other houses built by the Blakelock Brothers on the block, but is one of the only few remaining. It sits on a corner lot and is prominently located in the neighbourhood.



The subject property, highlighted in the centre of the map, is shown surrounded by Oakville's four Heritage Conservation Districts, outlined in orange. *Source: Town of Oakville GIS*

The property is also important in defining, supporting, and maintaining the character of the historic downtown core. The area is comprised of adapted former residential buildings whose historical occupants were closely associated with nearby commercial and industrial enterprises, such as the former Blakelock Lumber Mill and the William Whitaker and Sons Carriage Works. The industrial buildings were demolished in the mid to late 20th century, as were several of the houses on this block. Today, only six of the historic early 20th century buildings remain, including 123 Trafalgar Road. These remaining structures have either been designated or are in the process of being designated.

The subject house plays an important role in the remaining historic streetscape of this block, as a visible anchor on the southwest corner. The building's small scale and historic architectural style highlights the history of downtown Oakville and its historically low-scale building streetscape. The James and Muriel Blakelock House provides historical context to the neighbourhood and a link to the area's important past. Its association with the Blakelock family and their business is particularly important as the building is a tangible remnant of this important part of Oakville's history of industry and post-World War I growth.



1924 fire insurance map showing the subject property (orange) and the surrounding Blakelock owned properties (yellow), including their building supplies and planing mill. The properties with a red 'X' have been demolished and the properties with a green oval remain and have been previously designated or are in the process of being assessed for designation. *Source: Underwriters' Survey of Toronto*



2024 view of Trafalgar Road looking east, with the subject property on the right. *Source: Google*



2024 view looking northeast from Trafalgar Road and Church Street, with the subject property in the foreground. *Source: Google*



2024 view of Church Street looking north, with subject property on the far left. *Source: Google*

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The property is a representative example of an Edwardian style house with Queen Anne influences.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	The property is directly associated with the early 20 th century commercial and residential development of downtown Oakville and with the Blakelock Brothers, who built the house and were significant individuals and business owners in Oakville, specifically James B. Blakelock, who lived in the house with his family.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	There are no known connections to an architect, artist, builder, designer or theorist who is significant to a community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The property is important in defining, supporting, and maintaining the historic low-scale residential and commercial character of downtown Oakville.	Y
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is physically, functionally, visually and historically linked to the historic downtown core. It contributes to the understanding of the residential, industrial and commercial history of downtown.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 123 Trafalgar Road is located on the east side of Trafalgar Road, between Randall Street and Church Street in downtown Oakville. The property contains a 1917 two-and-a-half storey Edwardian brick house with Queen Anne influences. It is known as the James and Muriel Blakelock House.

Design Value or Physical Value:

The James and Muriel Blakelock House has design value as a representative example of an Edwardian brick house with Queen Anne influences. It retains heritage features such as: its two-and-a-half storey form with gable and hip roof, dichromatic brick cladding with cedar shingle cladding in the gables; fenestration on the north, east, south, and west elevations; segmentally arched window openings with brick voussoirs and concrete sills; bay windows on the west and south elevations; and its front porch with square brick columns and railing. While the building has been updated in recent decades to accommodate commercial use, the original form and details of its Edwardian style remain.

Historical Value or Associative Value:

The James and Muriel Blakelock House has historical value for its associations with Thomas A. Blakelock and James A. Blakelock, whose construction company built the house for James Blakelock and his family to live in circa 1917. In addition to being a prominent businessman, Thomas A. Blakelock worked for 40 years in public service as Mayor of Oakville, as a Member of the Provincial Legislature for Halton, and as Warden of Halton County. The Blakelock Brothers Contractors and Builders Company built more than 300 buildings in Oakville, including the subject house which was one of the first houses built by the company and one of only a few that was built for the Blakelock family. The house is also associated with the early 20th century industrial, residential and commercial development of downtown Oakville and helps to demonstrate the historic mixed-use development of the downtown, with the homes being constructed on the same block as their well-known planing mill.

Contextual Value:

The subject property has cultural heritage value because it is physically, functionally, visually, and historically linked to its surroundings. The subject property is one of several historical buildings of note still standing that reference the early 20th century built history of the neighbourhood, which was a mix of residential, industrial and commercial uses. It is one of several other houses built by the Blakelock Brothers on the block, but is one of the only few remaining. It sits on a corner lot and is prominently located in the neighbourhood. The property is also important in defining, supporting, and maintaining the character of the historic downtown core. The subject house plays an important role in the remaining historic streetscape of this block, as a visible anchor on the southwest corner. The building's small scale and historic architectural style highlights the history of downtown Oakville and its historically low-scale building streetscape. Its association with the Blakelock family and their business is particularly important as the building is a tangible remnant of this important part of Oakville's history of industry and post-World War I growth.

Description of Heritage Attributes

Key attributes of the property at 123 Trafalgar Road that exemplify its cultural heritage value as an Edwardian style house with Queen Anne influences, as they relate to the north, west and south elevations of the two-and-a-half storey house, include its:

- Rectangular massing and form with gable roof and two-storey bay projection with hip roof on south elevation and one-storey front porch;
- Dichromatic red and dark brown brick cladding;
- Cedar shingle cladding in the gables;
- Remaining historic fenestration of the windows, which does not include the glass block window on the north elevation and the southerly second storey bay window on the west elevation;
- Segmentally arched window and door openings with brick voussoirs and stone sills; and
- Front porch with low-sloped shed roof, brick columns and railings, and stone caps.

6. Conclusion

This property meets four of the criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

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APPENDIX F

Cultural Heritage Evaluation Report
Dorland House
127 Trafalgar Road, Oakville, Ontario



127 Trafalgar Road, 2024. Source: *Town of Oakville Planning Services Staff*

Town of Oakville
Heritage Planning
Authors: Kristen McLaughlin, Carolyn Van Sligtenhorst
October 2024

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The property at 127 Trafalgar Road is located on the east side of Trafalgar Road between Randall Street and Church Street. The property is located within the territory covered by Treaty 22, which was signed in 1820 between the Mississaugas and the British Crown. The property was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* in 2009 for its "potential cultural heritage value for its c.1900 Edwardian style brick house." It was originally owned by Charles Baldwin Dorland and built by the Blakelock Brothers.

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets four of the criteria of Regulation 9/06. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

The findings presented in this report are based on professional research and guidance. Future discovery of additional sources or interpretations may affect the conclusions.

2. Subject Property

The property at 127 Trafalgar Road is located on the east side of Trafalgar Road between Randall Street and Church Street in downtown Oakville. The property is located within the territory covered by Treaty 22, which was signed in 1820 between the Mississaugas and the British Crown. It was historically a part of Block 25, Lot D. The property contains a detached two-and-a-half-storey house, built 1915, known as the Dorland House.



Location map: Subject property is outlined blue. August 2024. Source: Town of Oakville GIS

Legal description: PT LT D, BLK 25, PL 1, AS IN 817997, T/W 817997; OAKVILLE

3. Background Research

Design and Physical Value

The subject building at 127 Trafalgar Road is a two-and-a-half-storey brick house, now a commercial structure. The house has design and physical value as a representative example of an Edwardian brick house with Queen Anne influences. It is known as the Dorland House.



West (front) and south elevations of the building, 2024. Source: Town of Oakville Planning Services Staff

Edwardian Architecture (1900-1930)

Edwardian architecture emerged in the early 1900s as a reaction against busy Victorian architecture. The style emphasized simplified, balanced, and formal composition.¹ It was influenced by the Beaux-Arts movement, which focused on a reinterpretation of classical architecture by combining elements of the Greek, Roman, and Renaissance elements to create a more modern style.² A simplified residential version of this style became popular in Ontario and was known as Edwardian Classicism. Typical of the style is a square house with a hipped roof and central dormer, smooth red brick surfaces, tall balanced chimneys, and projecting frontispieces. The porch often has columns on brick piers, and the house typically has many windows, laid out in a formal and mostly symmetrical composition.³

¹ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 166

² Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 111

³ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 113

Queen Anne Revival Architecture (1890-1914)

Queen Anne architecture is influenced by medieval asymmetrical English country houses, with an assortment of turrets, towers, porches, gables, and roofs.⁴ Typical of the North American design is the asymmetrical shape, the tower with the conical peak, and multi-sloped roofs.⁵ The chimneys are top heavy, their sides embellished with patterned brickwork.⁶ Windows can vary in size and shape and eaves are often flared. The result is an eclectic and whimsical style with highly decorated surfaces and a multitude of decorative features.⁷ Covered porches and balconies often contained decorative arches, brackets, columns and bargeboard.⁸

Subject Property Description

The property at 127 Trafalgar Road retains several architectural elements of both its influential architectural styles that make the subject property an important element of the history and character of the neighbourhood. It was converted to commercial space around 1980 but before that served as residential home. The structure is transitional in style, with a largely Edwardian form with details influenced by Queen Anne style.



West (front) elevation of the building, 2024. Source: Town of Oakville Planning Services Staff

The house is in the standard square shape of Edwardian houses. This style of house is colloquially called a ‘four square’ house because the main floor was comprised of four rooms – foyer, dining room, parlour and kitchen. The house has a simple hip roof with deep eaves, with a front gable recessed into the roof on the front elevation and a hip-roofed dormer on the rear elevation. The Queen Anne influence can be seen in this front gable on the right and the upper bay window on the left, as together they add articulation to the simple Edwardian form and create an asymmetrical appearance.

⁴ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province’s 18th and 19th century homes*, pg. 91

⁵ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

⁶ Ibid.

⁷ Ibid.

⁸ Ibid.



127 Trafalgar circa 1989. Source: Oakville Historical Society

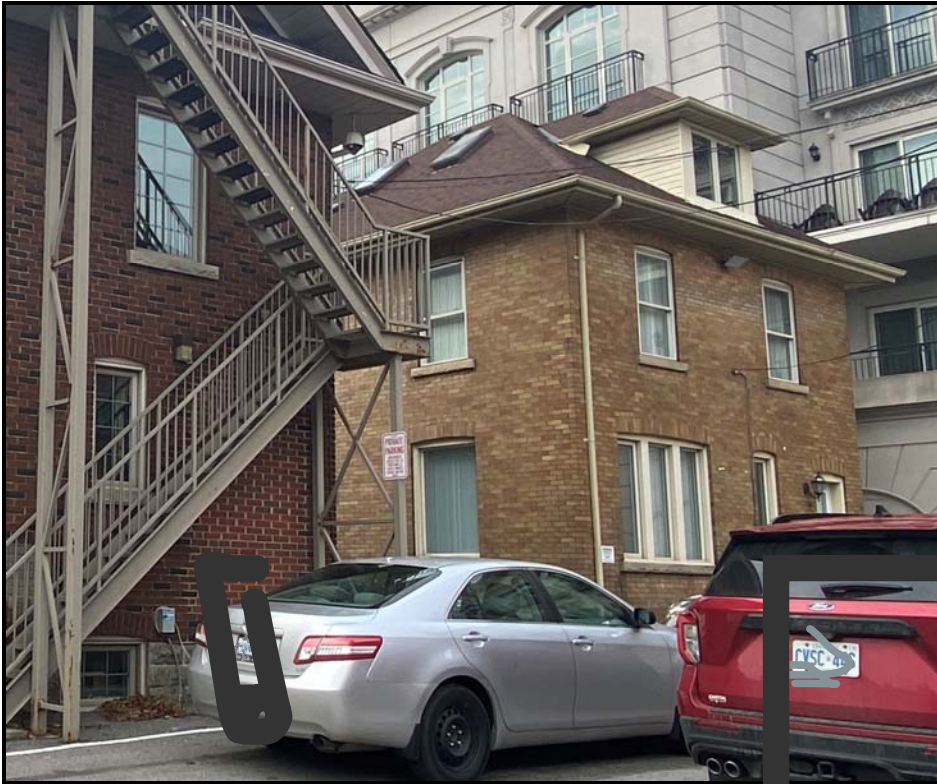
The structure is clad in smooth buff brick in a running bond pattern. Brick voussoirs are installed over window and door openings. There is a full brick chimney on the south elevation and a partial brick chimney on the north elevation. The front gable is clad in wood fish scale shingles, a Queen Anne detail. The house has a concrete foundation, with dressed concrete blocks used above grade for a finished look.



Fish scale cladding on the gable. Source: Town of Oakville Planning and Development Staff



West and south elevations. Source: Town of Oakville Planning and Development Staff



Rear elevation. Source: Town of Oakville Planning and Development



Roof shape with the central dormer at the rear. *Source: Google*

The front porch is typical of the Edwardian style, with brick columns and a partial low brick railing with stone caps. The porch was originally open but by the 1980s, it was filled in with windows and an entrance door. Originally, the porch would have had wood railings, which can be seen in the 1960s image below.



1960s photo showing the open porch. *Source: Town of Oakville files*

The house generally retains its original fenestration with windows laid out in an orderly, fairly symmetrical, pattern. Most window openings are segmentally arched with brick voussoirs above and stone sills below. The original windows were mostly one-over wood sash windows, a common window style in Edwardian homes. In the front gable is an original wood palladium window, a common feature of the Queen Anne style. The window features intricate dentilled trim on the top. The palladium style window is present in a number of other homes constructed by the Blakelock Brothers.

There is also a bay window on the second storey that is covered in aluminum, but the original wood panel detail is likely still underneath—it is visible in a Town of Oakville photo taken in the 1980s.



Original bay window detailing. *Source: Town of Oakville files*

In summary, the house has design value as a representative example of an Edwardian brick house with Queen Anne influences. It retains heritage features such as: its two-and-a-half storey form with hipped roof with front gable with rear hipped dormer; brick cladding with fish scale shingles in the gable; original fenestration on the north, east, south, and west elevation; segmentally arched window openings with brick voussoirs and stone sills; projecting bay window on the west elevation; palladium window with dentil detailing in the west elevation gable; tall brick chimney; and front porch with square brick columns.

Historical and Associative Value

The property at 127 Trafalgar Road is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and a strip of land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.⁹

The land outside of the waterway reserves kept by the Mississauga was divided up by the Crown. The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding “about 20,000” acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.¹⁰ The subject property is in the territory of Treaty No. 22.¹¹



Wilmot's Trafalgar Township Survey, 1806, with Lot 13, Third Concession South of Dundas Street highlighted in yellow. Source: Archives of Ontario

The subject area was known as the Third Concession South of Dundas Street, Lot 13. It was granted to William Chisholm in 1831. In 1831, William Chisholm, a farmer, businessman, and political figure from Nelson Township, now part of Burlington, Ontario, purchased 1,000 acres of land at the mouth of Sixteen Mile Creek from the Crown.¹² William Chisholm then had the land he purchased subdivided into different blocks and lots, which

⁹ Debwevin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

¹⁰ Debwevin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10

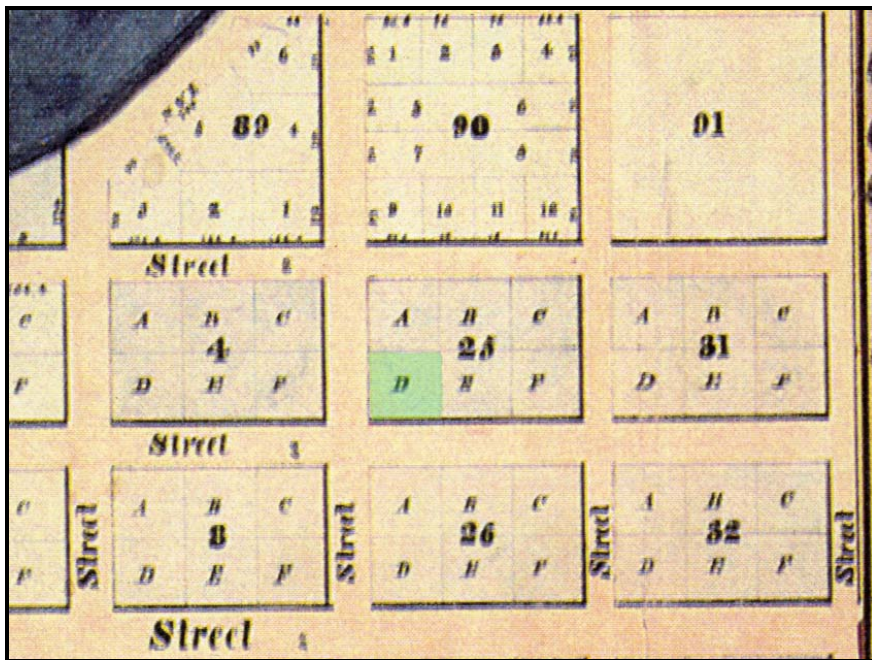
¹¹ 1806 Wilmot Survey; Mississaugas of the Credit GIS Treaty Map

¹² Ministry of Natural Resources, Crown Grant, wherein William Chisholm of Nelson Township purchased 1,000 acres of Crown land for £1,020, on the 25th of March 1831

make up the historical Town of Oakville as seen in the map below. Chisholm is widely recognized as the founder of the Village of Oakville. The subject property was built on Block 25, Lot D of this plan (Plan 1) of Oakville.



Edward B. Palmer's, Plan of Oakville, Township of Trafalgar Upper Canada 1835. Source: Oakville Historical Society



Close-up of the historical lot from the same map.

Below is a summary of the owners of the property from the Crown patent to the current owners. Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be

discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property's building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period.

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	200 acres	1806-1831
William Chisholm	Plan 1, Block 25, Lot D	1831-1834
Thomas Divine	Ibid.	1834-1844
Mary L. Hare	Ibid.	1844-1855
Her son, Albert Hare	Ibid.	1855-1907
CD Carson	Ibid., plus another Lot (Lot E)	1907-1909
William Richardson	Part of Lot D	1909-1913
Allan A. Busby	Ibid.	1913
Thomas A. Blakelock	Ibid.	1913-1915
Charles B. Dorland	Ibid.	1915-1921
Hannah Dorland	Ibid.	1921-1926
Elizabeth Bernice Smith and Mary Burkitt	Ibid.	1926-1934
Mary Lois McKay	Ibid.	1934-1945
Ethel Kelley and Mary Kelley	Ibid.	1945-1964
Mary Kelley	Ibid.	1964-1980
Di-Na Builders	Ibid.	1980-1994
TD Bank	Ibid.	1994
Current owners	Ibid.	1994-present

In 1834, William Chisholm sold Block 25 Lot D to Thomas Divine, who then sold it to Mary Hare in 1844.¹³ She also bought neighbouring Lot E from Chisholm—these two lots would continue to be connected for a long period of time.¹⁴ Mary Hare then sold her holdings to her husband, John Hare.¹⁵ In 1861, John Hare and his children, along with a new wife, Johanna, were listed as living in a one-and-a-half storey house on the property. He was listed as a mason and Johanna was his new wife.¹⁶ The Hare family lived on Lot D and E for quite a while; Johanna is listed there in the 1871 census, with two buildings (one dwelling and one outbuilding). She was at that point a widow and 43 years old and worked as a servant. She grew vegetables such as turnips, carrots and potatoes on the property.¹⁷ By 1881, her son Albert was listed as the homeowner in the assessment rolls but was likely renting out the house over the next twenty years, as he worked in Toronto.¹⁸

In the 1893 assessment rolls, two houses are recorded on Lots D and E, one assessed at \$500 (occupied) and the other at \$300 (vacant). This situation remained unchanged through to 1899. In the 1901 census, one person, Jennet Smeaton, is listed as living there. In 1907, Albert Hare sold Lots D and E to C.D. Carson for \$900.¹⁹

Charles David Carson was a successful and well-known contractor in Oakville, who had helped to purchase and build many of the houses in Orchard Park, in east Oakville, as well as numerous other houses and structures in Oakville. He may have intended to build on Block 25 but instead sold off Lot D, at least, without building any

¹³ LRO Instrument 73, being a Bill and Sale, dated January 2, 1844, between Thomas Divine and wife and Mary Hare, wife of John Hare

¹⁴ Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010, pg. 8

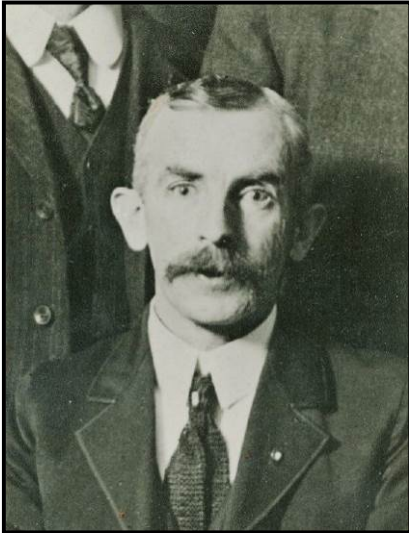
¹⁵ LRO Instrument 299, being a Will, dated December 31, 1855, between Mary Hare and John Hare.

¹⁶ 1861 Census of Canada

¹⁷ 1871 Census of Canada

¹⁸ 1871 and 1891 Census of Canada; Town of Oakville Public Library, *Town of Oakville Assessment Rolls, 1881*; Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010

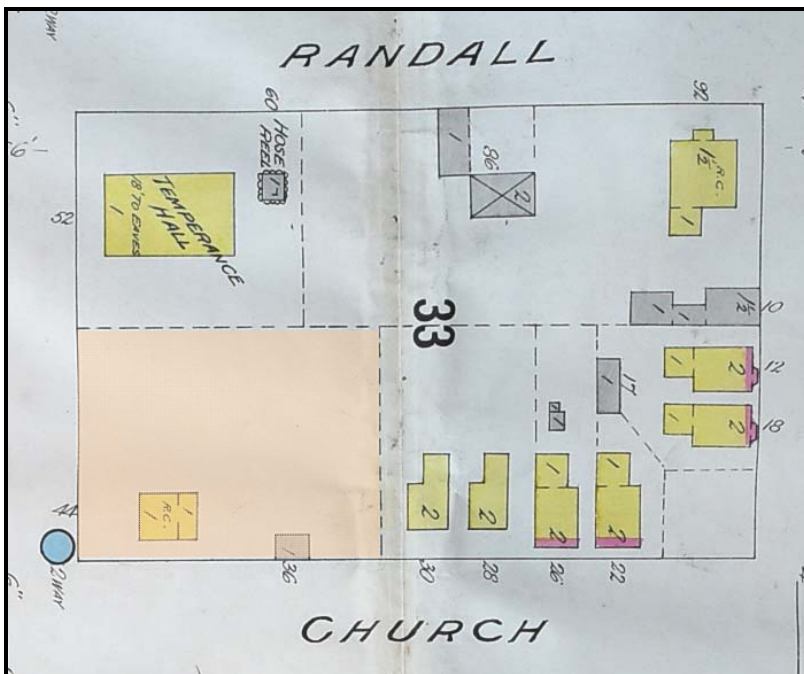
¹⁹ Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010, pg. 8



new structures—in the 1910 fire insurance map, one single storey frame dwelling is still standing. This is likely the same house the Hares and Smeatons lived in.

Carson divided the combined property of Lots D and E into two unequal portions, with the smaller portion containing the two houses at 297 and 301 Church Street. Carson was listed as living on Lot D in the 1909 assessment roll, however this may not be accurate as the small house was most likely inhabited by the Hares and then the Smeatons.²⁰

Charles D. Carson. Source: Oakville Historical Society



Lots D and E (highlighted in light orange) combined by Charles Carson, with one one-storey stucco structure and an outbuilding. Later, 293 Church Street was built on Lots E and D. Source: *Underwriters' Survey of Toronto*

In 1909, Charles Carson sold strips of land from Lot D and E to John Lyon, a farmer in Trafalgar Township. The remainder of Lot D he sold for \$700 to William Richardson, variously described as an Oakville merchant, teamster, tanner, and clerk.²¹ Assessment rolls for 1910-1913 show Richardson residing there, likely in the one-storey house, with his family.²²

In 1911, Lyon sold his north portion of Lot D to James Blakelock and John Thomas Parnaby.²³ The south portion of his north sliver he sold to Allan Busby and Thomas Aston Blakelock in 1913, when Busby and Blakelock also

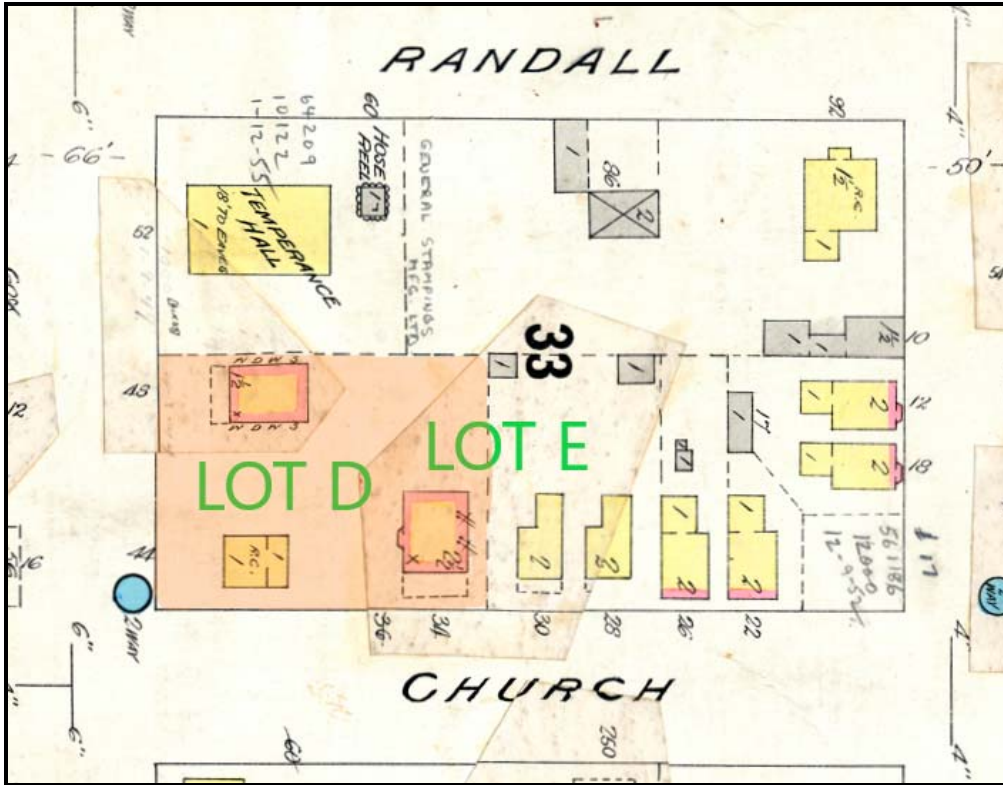
²⁰ Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010, pg. 9

²¹ Ibid.

²² Oakville Public Library, *Town of Oakville Assessment Rolls, 1910-1913*

²³ LRO Instrument 4665, being a Bill and Sale, dated June 9, 1911, between John Lyon and James Blakelock and John Thomas Parnaby

purchased the south two-thirds of Lot D from Richardson.²⁴ Allan Busby hired the Blakelock Brothers to build his house on his portion (shown below). In this way, all of Lot D was now under the ownership of the Blakelocks, as well as a portion of Lot E.



1913 fire insurance map showing Allan Busby’s house on the north of the highlighted lot—built by the Blakelock Brothers—present at modern address 131 Trafalgar (now demolished) and Thomas A. Blakelock House on Church Street, along with the old one-storey building. By this point the land was shared between the Blakelock Brothers, John Thomas Parnaby, and Allan Busby. *Source: Underwriters’ Survey of Toronto*

Blakelock Brothers

Thomas Aston Blakelock and James Bulman Blakelock, brothers, were from Yorkshire, England, and arrived in Oakville early in the twentieth century. Thomas came over initially, and having been trained as a carpenter in England, looked for work in Toronto.²⁵ He struggled to find jobs, however. He got work with a farmer, Edward Savage, of Trafalgar Township, who, after noticing his carpentry skills, got him a job with Charles Carson, working on constructing the Edgemere Estate for James Ryrie east of town.²⁶ In this way, Thomas got his foot in the building world of Oakville. It is also possibly how Blakelock learned of building opportunities on the subject block since Carson had owned some of these lands previously.

Thomas Blakelock went on to work on other notable structures around Oakville: an addition to the Central Public School, the construction of the Ryland New Residence (now a designated building), and the offices of the Marlatt and Armstrong Tannery, as well as a house renovation for its proprietor, W.T. Marlatt.²⁷ Around 1909, Thomas went back to England to marry Isabel Ann Parnaby, and returned to Canada with his new wife. Her

²⁴ LRO Instrument 5457, being a Bill and Sale, dated July 17, 1913, between William Richardson and Allan Busby and Thomas Blakelock; LRO Instrument 5468, being a Bill and Sale, September 18, 1913, between Busby and Blakelock and Thomas A Blakelock

²⁵ Newspaper article

²⁶ Town of Oakville files, “Personality parade: He gave time and effort to municipal progress”, date unknown

²⁷ Town of Oakville, “Thomas Aston Blakelock”, research paper

brother, John Thomas Parnaby, also emigrated to Canada.²⁸ Thomas' brother, James, was another trained carpenter, and came to join the family in Oakville to work in construction. James is listed as living with Thomas' family, along with his brother-in-law, in the 1911 census, and he is listed as immigrating to Canada in 1910 but in a later census, as arriving in 1909.²⁹



A photo of the Blakelock family at 293 Church Street; James is sitting on the far left on the railing, and Thomas is holding a baby. *Source: Kathleen McDermott, daughter of Thomas A. Blakelock*

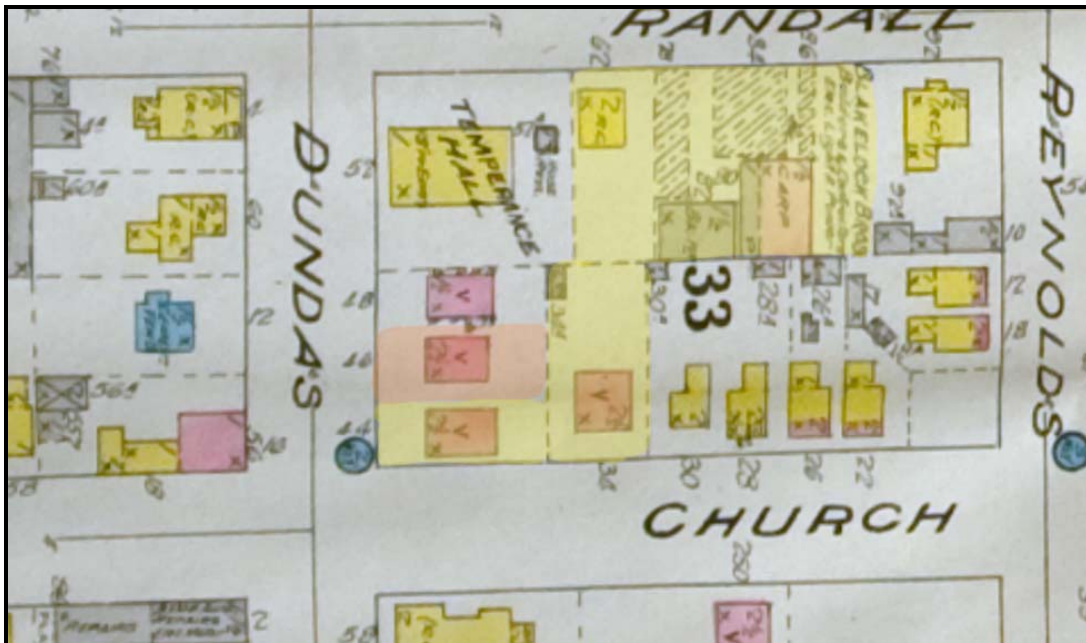
In 1911, James and his brother-in-law John Parnaby purchased the property where 293 Church Street stands; two years later, Thomas assumed Parnaby's share and built the house there, now a designated heritage property known as the Thomas A. Blakelock House.³⁰ The 1911 assessment rolls suggest 293 Church Street was under construction and the family was living at 301 Church Street at the time. The house at 293 Church Street was owned by both brothers until James' death in 1938; after that, James' share was assumed by his wife and then children. The house was the main home of Thomas Blakelock and his family, however, while James' family house was built next door at 123 Trafalgar Road.

Together with his brother James, Thomas established a contracting firm around 1913 to develop land contract construction for new houses. Their operations began on this Block 25, and their system was often made up of buying lots, building houses, and selling as developed property. One example of this is the subject property at 127 Trafalgar Road.

²⁸ John Thomas Parnaby was later the chauffeur to the Marlatt family, and then purchased a farm west of Oakville

²⁹1911 Census of Canada, 1921 Census of Canada

³⁰ Town of Oakville, "Bylaw 2011-062", Thomas A. Blakelock House



1924 fire insurance map showing the subject property (orange) and the surrounding Blakelock owned properties (yellow), including their building supplies and planing mill. Source: Source: Underwriters' Survey of Toronto

In 1948, the *Oakville Record Star* estimated the firm had built more than 300 houses in and around Oakville, in addition to other buildings. In 1917 and 1923, the brothers bought the property on the north portion of Block 25 to set up a lumber yard and planing mill. The brother's lumber store also sold other building supplies, such as new pressed brick from Milton Pressed Brick and asbestos roofing tiles.³¹ During this post-World War I period, there was significant economic growth and increased construction after the return of war veterans as well as materials which had been scarce during the war. The Blakelock Lumber and Building Supplies were able to take advantage of this period of prosperity and successfully operated their business until the mid-1960s, when it shut down and the buildings were then demolished and the land sold.³²



Outside the Blakelock Lumber Supplies and Planing Mill. Source: Town of Oakville files

³¹ Various Blakelock brothers ads from the *Oakville Record-Star*, as seen below

³² Architects Rasch Eckler Associates Ltd., "131 Trafalgar Road, Oakville Heritage Impact Assessment", 2010, pg. 10

BLAKELOCK BROS.
CONTRACTORS AND BUILDERS

Carpentering of all Kinds
 And all work Guaranteed

Plans and Estimates Furnished Free

Old or New Hardwood Floors Resurfaced, with an
 ELECTRIC SAND PAPERING MACHINE.
 We will explain this to any persons interested.

BOX 298, OAKVILLE Phone No. 214

BLAKELOCK BROS.
CONTRACTORS AND BUILDERS

AGENTS FOR
Milton Pressed Brick

Samples at Residence
 Church Street . . .

BOX 298, OAKVILLE Phone No. 214

WORKING MEN'S HOMES

Having purchased that block of land on the south side of Palmer avenue, known as the Cross property, we have room for five or six working men's houses. The lots are of good size, 40 ft. by 110 ft., well situated and ideal for working men's homes.

We would build any responsible person a house to his own liking for a small payment down and balance to suit purchaser.

If you are looking forward to own a home of your own do not miss this opportunity.

BLAKELOCK BROS.
BUILDERS AND CONTRACTORS

BOX 298 OAKVILLE Phone No. 214

BLAKELOCK BROS.
BUILDERS AND CONTRACTORS

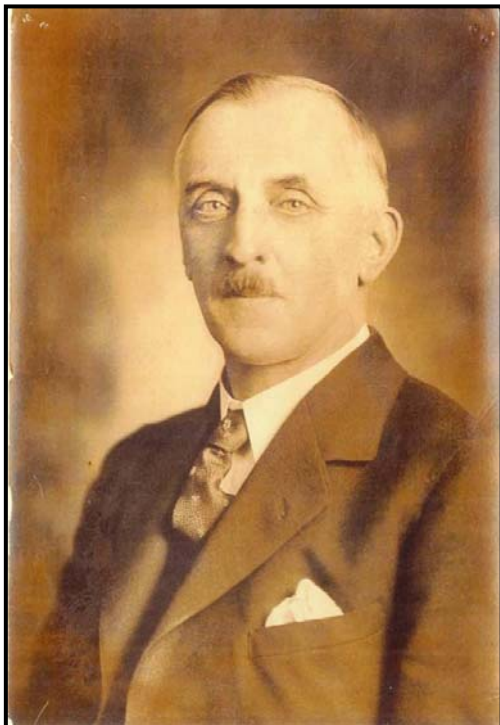
Box 298 Oakville Phone No. 214
PLANING MILL on Randal St.,
 east of Temperance Hall
 Agents for **MILTON PRESSED BRICK**
 Prices on application.

Having installed a complete line of Wood-working machinery we are now in a position to take orders for all kinds of Storm Sash, Window Screens, Screen Doors, Window Frames and Sash, Doors of any design, or anything in the mill line. Give us your next order and let us convince you that we serve you promptly.

If you are thinking of making any changes around that house of yours, or cleaning off that hardwood floor and making it look like new, ask us for prices on a complete job, we feel sure after the first transaction we can add you to our long list of satisfied customers.

Our Motto is SERVICE.

Various ads from the Blakelock Brothers, top left to bottom right: 1914, 1916, 1919, 1920. Source: *Town of Oakville files, Oakville Record Star*



Thomas Blakelock was also involved in local politics as a councillor, served as deputy-reeve, reeve, and warden of Halton County, was elected Mayor of Oakville in 1929, and that year he won the Liberal nomination for Halton and was elected to the Ontario Legislature. A Trafalgar Township high school that opened in 1958 was named Thomas A. Blakelock High School in recognition of his community service.³³

Thomas A. Blakelock, 1940s. Source: *Kathleen McDermott, daughter of Thomas a. Blakelock*

³³ Thomas A. Blakelock High School, "About Us", <https://tab.hdsb.ca/about-us>

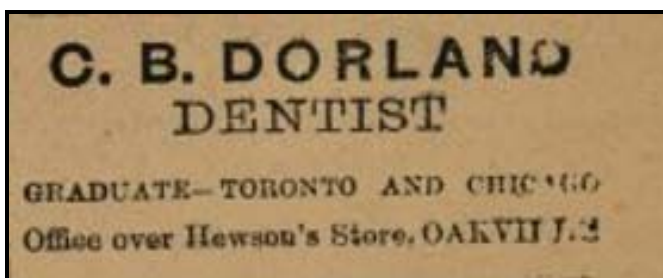
Subject House History

The Blakelock brothers built the house at 127 Trafalgar Road in 1915 before selling it to Charles B. Dorland that same November.³⁴ The style of house is similar to the one they built next door for James (123 Trafalgar Road) and around the corner for Thomas (293 Church Street). The house was part of a Blakelock complex on the block, including their mill and store.

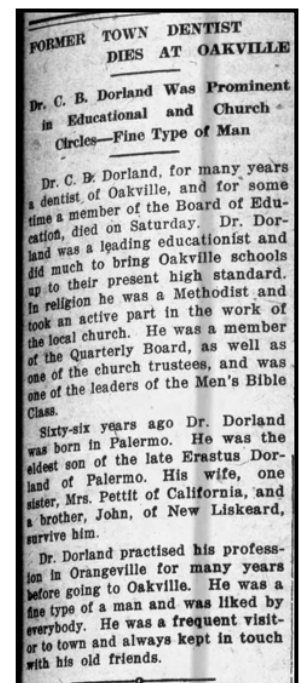


A later photo from the 1960s showing the subject property in orange, with other Blakelock owned properties nearby on the block, including the Blakelock lumber store and planing mill. The Busby house to the north also built by the Blakelocks has since been demolished. Source: *Town of Oakville files*

Charles B. Dorland (1857-1921) was a dentist who had a practice in Orangeville, Ontario, for many years. He married Hannah Jull in 1901, when they moved to Oakville.³⁵ It is likely they bought the subject house to retire in as he would have been almost 60 years old. It is listed as having a \$2,400 value in 1916 assessment rolls. Dr. Dorland was active in Oakville's schools and, according to his obituary, helped to bring them "to their present standard" when he died of a heart attack in 1921.³⁶ He was written as a "fine type of man and was liked by everybody."³⁷ His wife continued living in the house until her death.³⁸



Above: An ad for Dorland's Oakville practice. Source: *Newspapers.com*
Right: Dr. Dorland's obituary. Source: *Orangeville Sun*, February 24, 1921



³⁴ LRO Instrument 6108, being a Grant, dated November 1, 1915, between TA Blakelock and Charles B Dorland

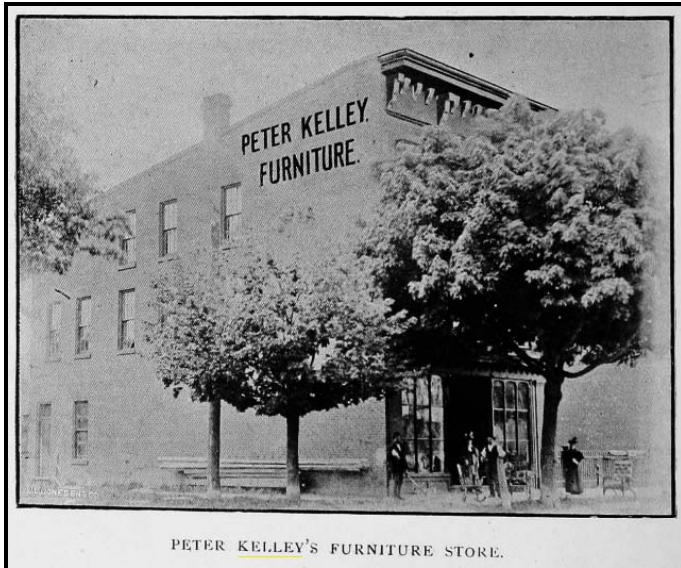
³⁵ *The Orangeville Sun*, "Jull-Dorland", May 9, 1901

³⁶ *The Orangeville Sun*, "Former town dentist dies at Oakville", February 24, 1921

³⁷ *The Globe*, "Dr. CB Dorland dies at Oakville", February 22, 1921

³⁸ Oakville Public Library, *Town of Oakville Assessment Rolls, 1921-1926*

The property went through several other owners until it was purchased by sisters Ethel and Mary Kelley, daughters of the well-known Peter Kelley, who owned a furniture store at Dunn and Colborne (Lakeshore) for many years.



Left: Peter Kelley's store, 1890s. Source: *Beautiful Oakville*, Toronto Public Library
Right: Peter Kelley. Source: *Oakville Historical Society*

Peter Kelley was originally a blacksmith, like his father, James Kelley. Ethel and Mary, along with their other siblings, lived above the furniture store growing up.³⁹

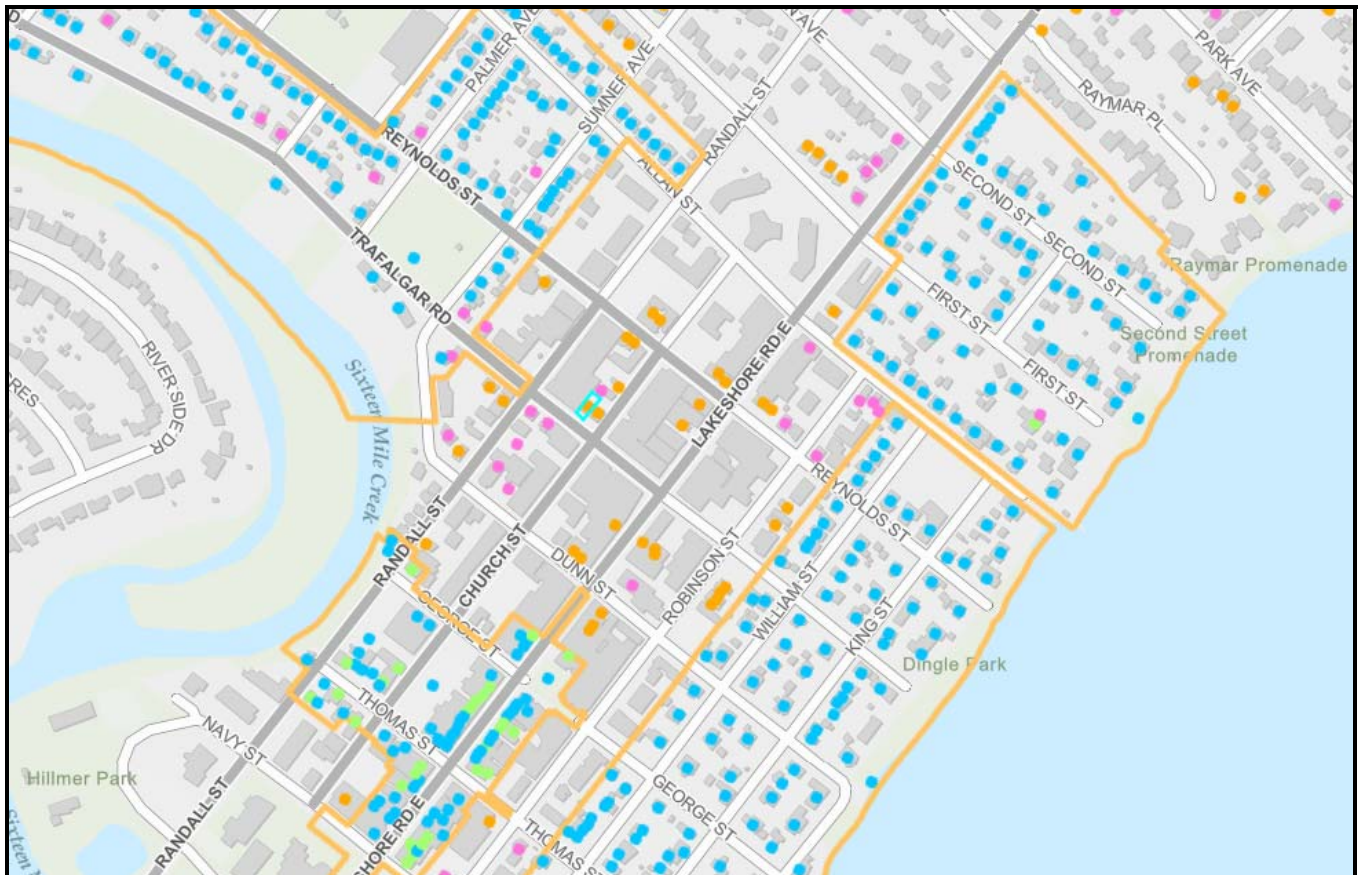
Ethel died in 1964, and Mary continued to live in the house until her death around 1980, when it was then purchased by Di-Na Builders, a local Oakville company. It was likely renovated into commercial space at this time, and the porch was filled in. It was then bought by the current owners in 1994.

In summary, the property has historical and associative value because it is directly associated with the late 19th and early 20th century commercial and residential development of downtown Oakville. It is one of the few remaining historic buildings on its block and is an important reminder of this area's history. It is also associated with the Blakelock Brothers, who were significant individuals and business owners in Oakville. This was one of the first structures they constructed which would have helped them expand their development and construction business.

³⁹ Ahern, Frances Robin, *Oakville: A Small Town (1900-1930)*. Oakville: The Oakville Historical Society, 1981, pg. 122

Contextual Value

The subject property has cultural heritage value because it is physically, functionally, visually, and historically linked to its surroundings. The property is in downtown Oakville, surrounded by Oakville's four Heritage Conservation Districts, as seen in the map below. The subject property is one of several historical buildings of note still standing which reference the early built history of the neighbourhood, which was a mix of residential, industrial and commercial. It is one of several other houses built by the Blakelock Brothers on the block, but is one of the only few remaining. It sits on the major thoroughfare of Trafalgar Road and is prominently located in the neighbourhood.

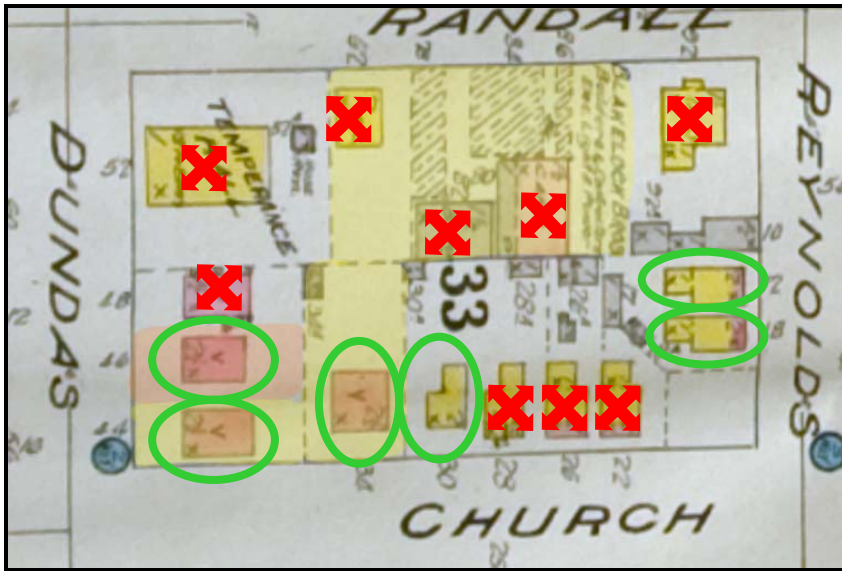


The subject property, highlighted in the centre of the map, is shown surrounded by Oakville's four Heritage Conservation Districts, outlined in orange. *Source: Town of Oakville GIS*

The property is also important in defining, supporting, and maintaining the character of the historic downtown core. The area is comprised of adapted former residential buildings whose historical occupants were closely associated with nearby commercial and industrial enterprises, such as the former Blakelock Lumber Mill and the William Whitaker and Sons Carriage Works. The industrial buildings were demolished in the mid to late 20th century, as were several of the houses on this block. Today, only six of the historic early 20th century buildings remain, including 127 Trafalgar Road. These remaining structures have either been designated or are in the process of being designated.

The subject house plays an important role in the remaining historic streetscape of this block, as a visible anchor on the southwest corner. The building's small scale and historic architectural style highlights the history of downtown Oakville and its historically low-scale building streetscape. The Dorland House provides historical context to the neighbourhood and a link to the area's important past. Its association with the Blakelock family

and their business is particularly important as the building is a tangible remnant of this important part of Oakville's history of industry and post-World War I growth.



1924 fire insurance map showing the subject property (orange) and the surrounding Blakelock owned properties (yellow), including their building supplies and planing mill. The properties with a red 'X' have been demolished and the properties with a green oval remain and have been previously designated or are in the process of being assessed for designation. *Source: Underwriters' Survey of Toronto*



2024 view of Trafalgar Road looking east, with the subject property on the right. *Source: Google*



2024 view looking northeast from Trafalgar Road and Church Street, with the subject property in the foreground. *Source: Google*



2024 view of Church Street looking north, with subject property on the far left. *Source: Google*

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The property is a representative example of an Edwardian style house with Queen Anne influences.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	The property is directly associated with the early 20 th century commercial and residential development of downtown Oakville and with the Blakelock Brothers, who built the house and were significant individuals and business owners in Oakville.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	There are no known connections to an architect, artist, builder, designer or theorist who is significant to a community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The property is important in defining, supporting, and maintaining the historic low-scale residential and commercial character of downtown Oakville.	Y
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is physically, functionally, visually and historically linked to the historic downtown core. It contributes to the understanding of the residential, industrial and commercial history of downtown.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 127 Trafalgar Road is located on the east side of Trafalgar Road, between Randall Street and Church Street in downtown Oakville. The property contains a 1915 two-and-a-half storey Edwardian brick house with Queen Anne influences. It is known as the Dorland House.

Design Value or Physical Value:

The Dorland House has design value as a representative example of an Edwardian brick house with Queen Anne influences. It retains heritage features such as: its two-and-a-half storey form with gable and hip roof, dichromatic brick cladding with cedar shingle cladding in the gables; fenestration on the north, east, south, and west elevations; segmentally arched window openings with brick voussoirs and concrete sills; bay windows on the west and south elevations; and its front porch with square brick columns and railing. While the building has been updated in recent decades to accommodate commercial use, the original form and details of its Edwardian style remain.

Historical Value or Associative Value:

The Dorland House has historical value for its associations with Thomas A. Blakelock and James A. Blakelock, whose construction company built the house circa 1915. In addition to being a prominent businessman, Thomas A. Blakelock worked for 40 years in public service as Mayor of Oakville, as a Member of the Provincial Legislature for Halton, and as Warden of Halton County. The Blakelock Brothers Contractors and Builders Company built more than 300 buildings in Oakville, including the subject house which was one of the first houses built by the company and one of only a few that was built for the Blakelock family. The house is also associated with the early 20th century industrial, residential and commercial development of downtown Oakville and helps to demonstrate the historic mixed-use development of the downtown, with the homes being constructed on the same block as their well-known planing mill.

Contextual Value:

The Dorland House has cultural heritage value because it is physically, functionally, visually, and historically linked to its surroundings. The subject property is one of several historical buildings of note still standing that reference the early 20th century built history of the neighbourhood, which was a mix of residential, industrial and commercial uses. It is one of several other houses built by the Blakelock Brothers on the block, but is one of the only few remaining. It sits on a corner lot and is prominently located in the neighbourhood. The property is also important in defining, supporting, and maintaining the character of the historic downtown core. The subject house plays an important role in the remaining historic streetscape of this block, as a visible anchor on the southwest corner. The building's small scale and historic architectural style highlights the history of downtown Oakville and its historically low-scale building streetscape. Its association with the Blakelock family and their business is particularly important as the building is a tangible remnant of this important part of Oakville's history of industry and post-World War I growth.

Description of Heritage Attributes

Key attributes of the property at 127 Trafalgar Road that exemplify its cultural heritage value as an Edwardian style house with Queen Anne influences, as they relate to the north, west and south elevations of the two-and-a-half storey house, include its:

- Rectangular massing and form with hip roof with front gable and one-storey front porch;
- Buff brick cladding;
- Wood fish scale shingle cladding in the gables;
- Remaining historic fenestration of the windows, which does not include the contemporary bay window on the north elevation;
- Remaining historic wood window trim around palladium window in front gable and second storey bay window on front elevation;
- Segmentally arched window and door openings with brick voussoirs and stone sills; and
- Front porch with low-sloped shed roof, brick columns and stone caps.

6. Conclusion

This property meets four of the criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

7. Sources

- Architects Rasch Eckler Associates Ltd., “131 Trafalgar Road, Oakville Heritage Impact Assessment”, 2010
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- Blumenson, John, *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*. Toronto: Fitzhenry & Whiteside, 1990
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- FamilySearch, *Trafalgar Township Volume A-B ca. 1808-1958*, www.familysearch.org
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- Wikipedia

Cultural Heritage Evaluation Report
Guess House Stone Wall
322 Watson Avenue, Oakville, Ontario



Stone wall in front of 322 Watson Ave, 2024. Source: *Town of Oakville Planning and Development Staff*

Town of Oakville
Heritage Planning
Authors: Kristen McLaughlin, Carolyn Van Sligtenhorst
October 2024

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Significance and identification of heritage attributes.

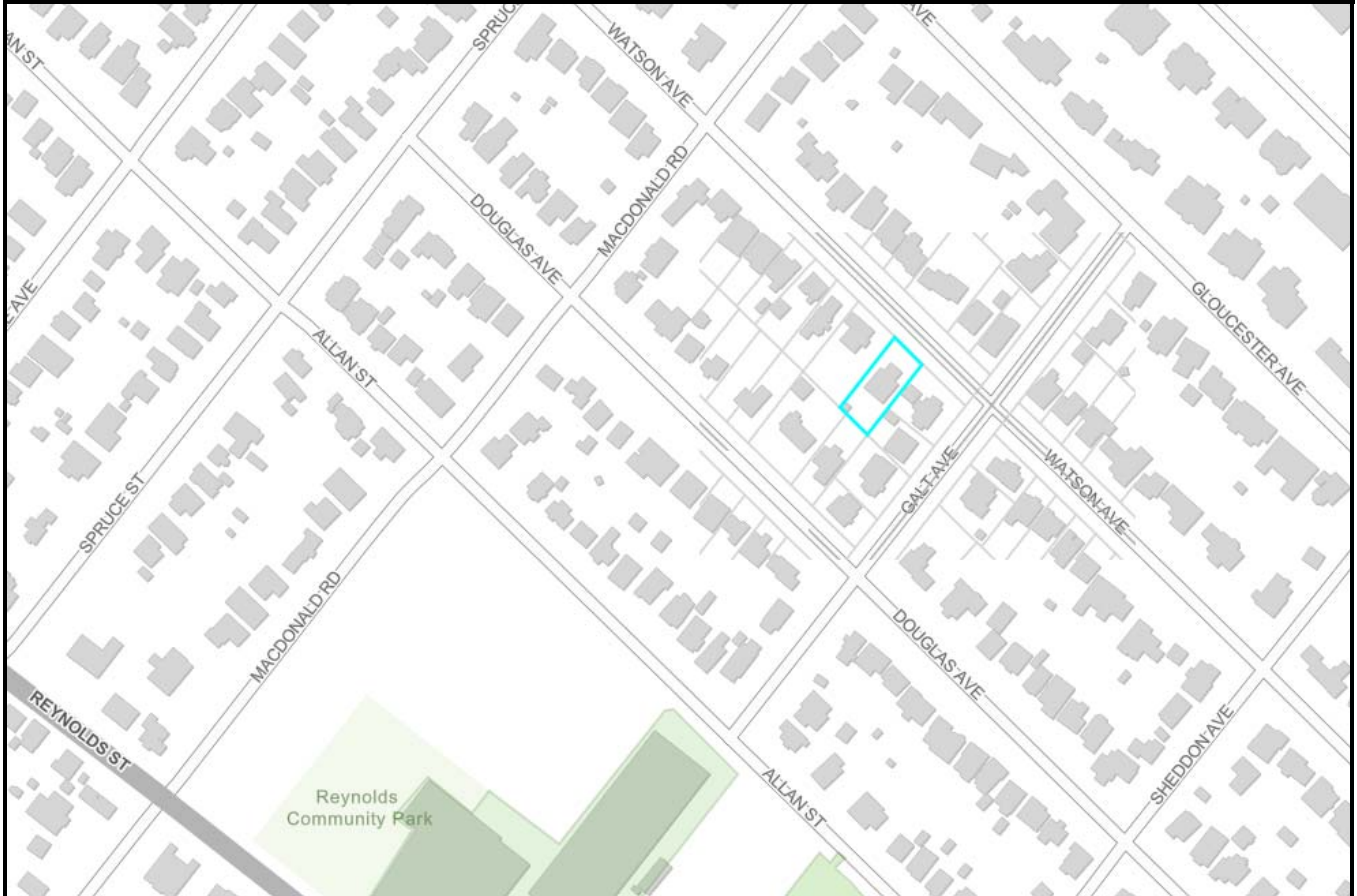
The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2024). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The stone wall at 322 Watson Avenue is located on the west side of Watson Avenue between Macdonald Road and Galt Avenue. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. The wall is historically part of original property for 329 Douglas Avenue, a designated house.

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets four of the criteria of Ontario Regulation 9/06 for its stone wall. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

2. Subject Property

The property at 322 Watson Avenue is located on the east side of Douglas Avenue between Macdonald Road and Galt Avenue, made up of two original subdivision lots. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. It was historically a part of the Third Concession South of Dundas, Lot 12. After being purchased by Charles Anderson in the early 1800s, the subject property became a part of the Anderson farm until it was subdivided into the Brantwood Survey in 1907. The property contains a non-historic contemporary home and a historic stone wall, known as the Guess House Stone Wall.



Location map: Subject property is outlined blue. 2024. Source: Town of Oakville GIS

Legal description: PLAN 113 LOT 200 PT LOT 199 RP 20R12284 PART 2; TOWN OF OAKVILLE

3. Background Research

Design and Physical Value

The subject property at 322 Watson Avenue contains a low lakestone wall (sometimes called knee wall) with accompanying columns made of local lakestone. Today it runs across four properties, demarcating the original six lots purchased by George Guess in 1912 to construct his two-storey Arts and Crafts era house. This house is known as the Guess House and is a designated heritage property at 329 Douglas Avenue. The stone wall that was originally built to accompany the Guess House remains today on 323 Douglas Avenue, 329 Douglas Avenue, 322 Watson Avenue and 330 Watson Avenue.

The stone wall was built during the Arts & Craft era, as was the accompanying Guess House. The Arts and Crafts movement began in Britain as a reaction to the rapid growth of industry and the dehumanization of society that resulted from the sudden restructuring of the population to accommodate large factories.¹ The movement spread to North America and many structures built between 1890 and 1940 demonstrate Arts and Crafts influenced architectural details.² Generally, the goal of the residential Arts and Crafts movement was to portray the house as a place of serenity, with a focus on the home as part of the natural environment.³ There was a strong emphasis on artisanal and hand-crafted objects and structures. Natural materials such as brick, stone, stucco and wood were used in new dwellings and associated landscape elements.



Historic photo of the original Guess house, showing the portion of the wall that runs along Douglas Avenue, circa 1913. Source: 1913 Brantwood promotional booklet, Cumberland Land Company Ltd. And W.S. Davis

¹ Ibid., pg. 101

² Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

³ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 105

The stone wall, as a landscape element that accompanied the Guess House, is reflective of the Arts and Crafts movement. The wall is constructed of natural lakestone sourced from the bed of Lake Ontario nearby. The stone wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, organic aesthetic that was typical of the Arts and Crafts era. It also spoke to the owner's wealth and status by highlighting the expansive size of the property at the time.

As can be seen in historic photos, the stone was originally dry-laid with vertical pieces placed along the top, lending a rustic air to the property. Mortar has since been added between some of the stones on the columns, but much of the wall remains dry-laid. Large individual fieldstones are mortared into the stone columns on both the subject property and next door at 330 Watson Avenue. These types of stones are not on the wall along Douglas Avenue which have the vertical pieces of lakestone instead. The fieldstones may have been later additions or were only used along Watson Avenue which would have been the rear of the property.



Close-up images of columns in front of 322 Watson Avenue, 2024. Ivy is growing along the wall. *Source: Town of Oakville Planning and Development Staff*



A pedestrian path and opening stands at the south of the wall, similar to 330 Watson Avenue next door. *Source: Google Street view*

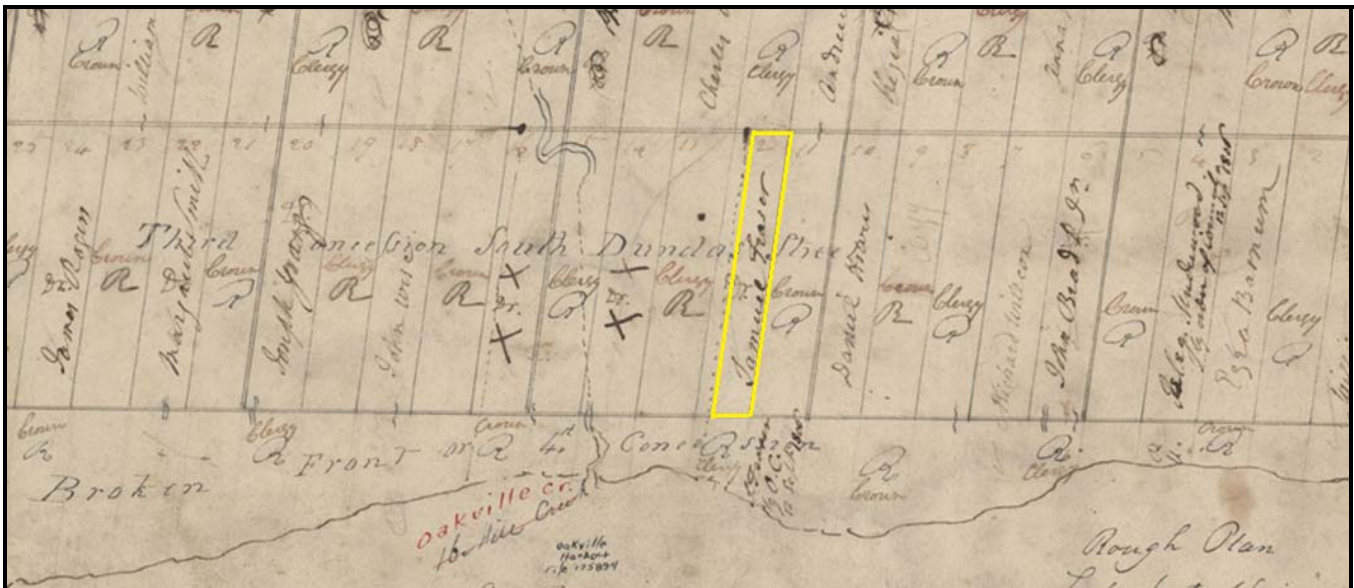


The wall extends in front of what is now 330 Watson Avenue but was historically the back portion of Guess' estate. *Source: Town of Oakville Planning and Development Staff*

Historical and Associative Value

The property at 322 Watson Avenue is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.⁴ The subject property is located within the territory of Treaty No. 14.⁵

The land outside of the waterway reserves kept by the Mississauga was divided up by the Crown. The subject area was known as the Third Concession South of Dundas Street, Lot 12,⁶ and would later become the neighborhood of Brantwood in the 1900s. It is a narrower lot compared to the others, given that it ran alongside the edge of the Mississauga lands on Sixteen Mile Creek.



Wilmot's Trafalgar Township Survey, 1806, with Lot 12, 3rd Concession South of Dundas Street highlighted in yellow. The reserve lands along the creek are most likely the dotted lines, which Lot 12 borders and explain its narrower size in later maps. This would become the Brantwood Survey and subsequent neighbourhood. Source: Archives of Ontario

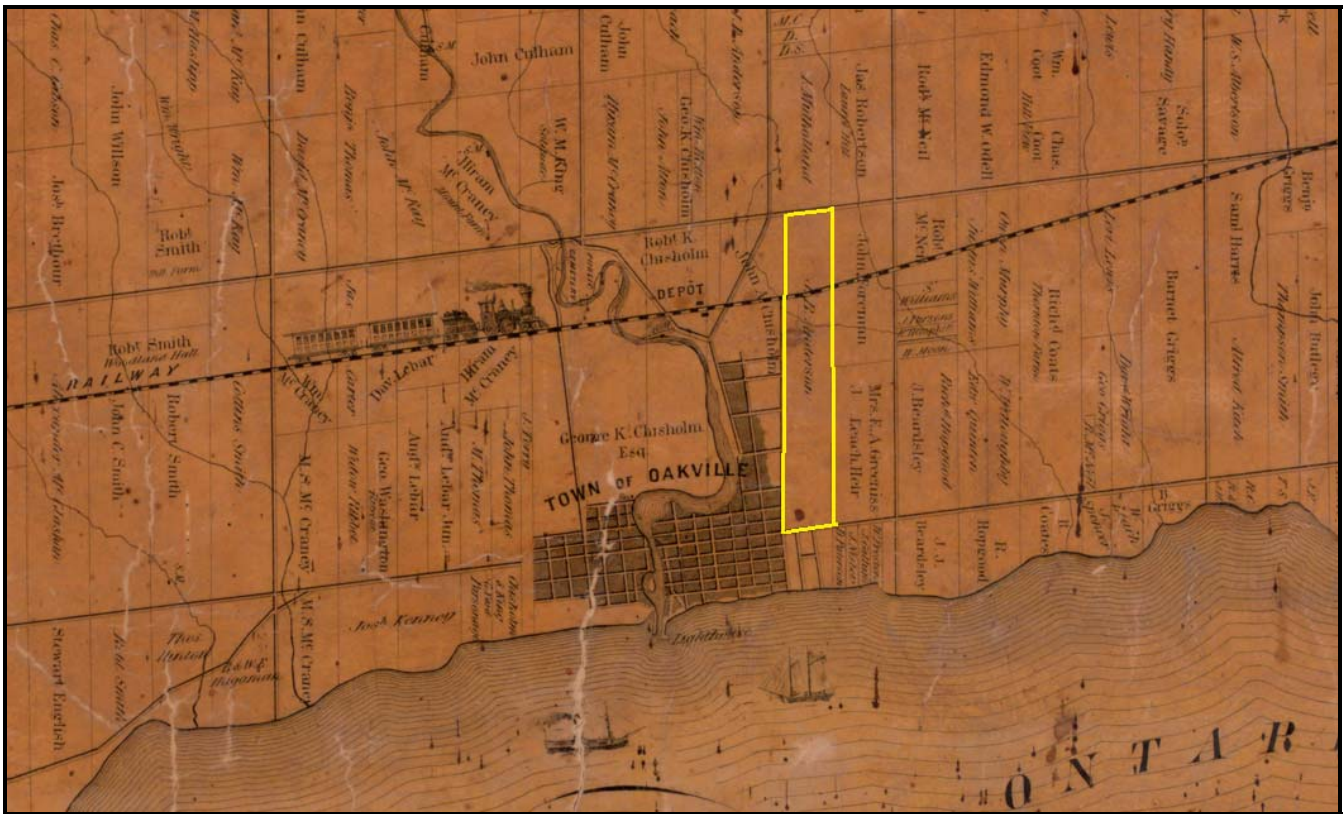
The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding "about 20,000" acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.⁷

⁴ Debwewin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

⁵ 1806 Wilmot Survey

⁶ 1806 Wilmot survey and the subsequent 1858 Tremaine survey

⁷ Debwewin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10



George Tremaine's "County of Halton" survey, 1858, with Lot 12, 3rd Concession South of Dundas Street highlighted in yellow. The Mississauga lands along the creek had been sold by the Crown, and the Village of Oakville was taking shape. At this time, it was owned by Joseph Brant Anderson. Source: University of Toronto

In 1808, the Crown granted Lot 12 to Samuel Fraser, an American settler.⁸ In 1810, Fraser sold the southern portion to Charles Anderson, an Irish immigrant⁹. When the War of 1812 between the US and Britain began, Fraser joined the American forces.¹⁰ Because of this, he was viewed as a traitor after the war and his lands were forfeit to the Crown. In 1819, this portion of Fraser's land was purchased by Charles Anderson.¹¹ The estate was bounded by Lakeshore Road to the south, Gloucester Avenue to the east, Spruce Street to the north, and Allan Street to the west. The lands would stay in the Anderson family until 1902.

Charles Anderson was a friend of Mohawk leader Joseph Brant.¹² When Charles had a son, he was given the name Joseph Brant Anderson. Joseph Brant Anderson and his wife built a log cabin on the property in 1826, close to the path that would become Lakeshore Road East. He farmed the land and built a larger house in 1836.¹³ It burned down in 1895 and at the time was one of the oldest frame homes in the town.¹⁴

⁸ LRO Patent, dated February 15, 1808, from the Crown to Samuel Fraser. A portion of Lot 12 was also given to William Chisholm by the Crown in 1831.

⁹ Oakville Historical Society, "Lot 12", from the Trafalgar Chartwell Residents' Association: <https://www.oakvillehistory.org/lot-12.html>

¹⁰ Ibid.

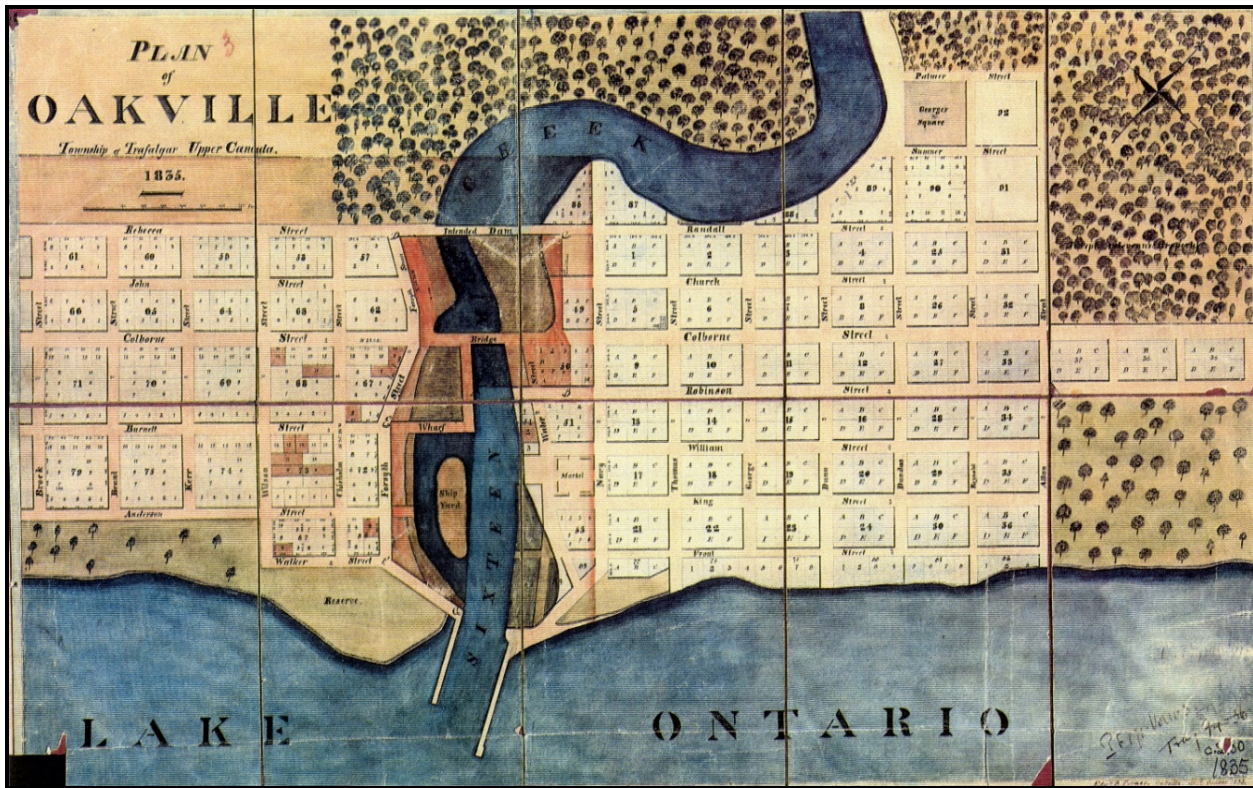
¹¹ LRO Instrument 166F, being a Bargain and Sale, dated March 31, 1821, between James Baby and Charles Anderson

¹² Oakville Historical Society, "Lot 12", from the Trafalgar Chartwell Residents' Association: <https://www.oakvillehistory.org/lot-12.html>

¹³ Ibid.

¹⁴ Ibid.

In 1831, William Chisholm, a farmer, businessman, and political figure from Nelson Township, now part of Burlington, Ontario, purchased 1,000 acres of land at the mouth of Sixteen Mile Creek from the Crown after the signing of Treaty 22.¹⁵ Chisholm is widely recognized as the founder of the Village of Oakville.



Edward B. Palmer's, "Plan of Oakville, Township of Trafalgar Upper Canada 1835" Source: Oakville Historical Society

Four years after Chisholm's purchase, the area was resurveyed. Edward Palmer's 1835 "Plan of Oakville" divided large swaths of land on both sides of Sixteen Mile Creek. The Anderson land in which the 329 Douglas sits was still in the wooded northeast corner of the above map, which reads "Joseph Anderson's Property". He left it to his son Cyrus Anderson in his will in 1879.¹⁶

The Anderson Estate house, known as "The Grit Anchorage", faced Lakeshore Road¹⁷. Between 1897 and 1902, Anderson was the owner of a private bank located in Oakville's downtown. The Anderson bank failed when it was discovered that it had a shortage due to the misappropriation of funds.¹⁸ The Bank of Hamilton, its principal creditor, acquired title to the Anderson farm.¹⁹

To help recover their losses, the Bank of Hamilton planned a large subdivision in 1907 on what had been Anderson's farm. The Cumberland Land Company Limited, a syndicate formed by the Bank of Hamilton to subdivide and sell off the 200 acres of Anderson's land,²⁰ oversaw the project and its infrastructure—planning

¹⁵ Ministry of Natural Resources, Crown Grant, wherein William Chisholm of Nelson Township purchased 1,000 acres of Crown land for £1,020, on the 25th of March 1831

¹⁶ LRO Instruments 46F and 1336D, both being left in their wills, dated February 23, 1829 (between Charles and Joseph Brant) and September 30, 1879 (between Joseph Brant and Cyrus).

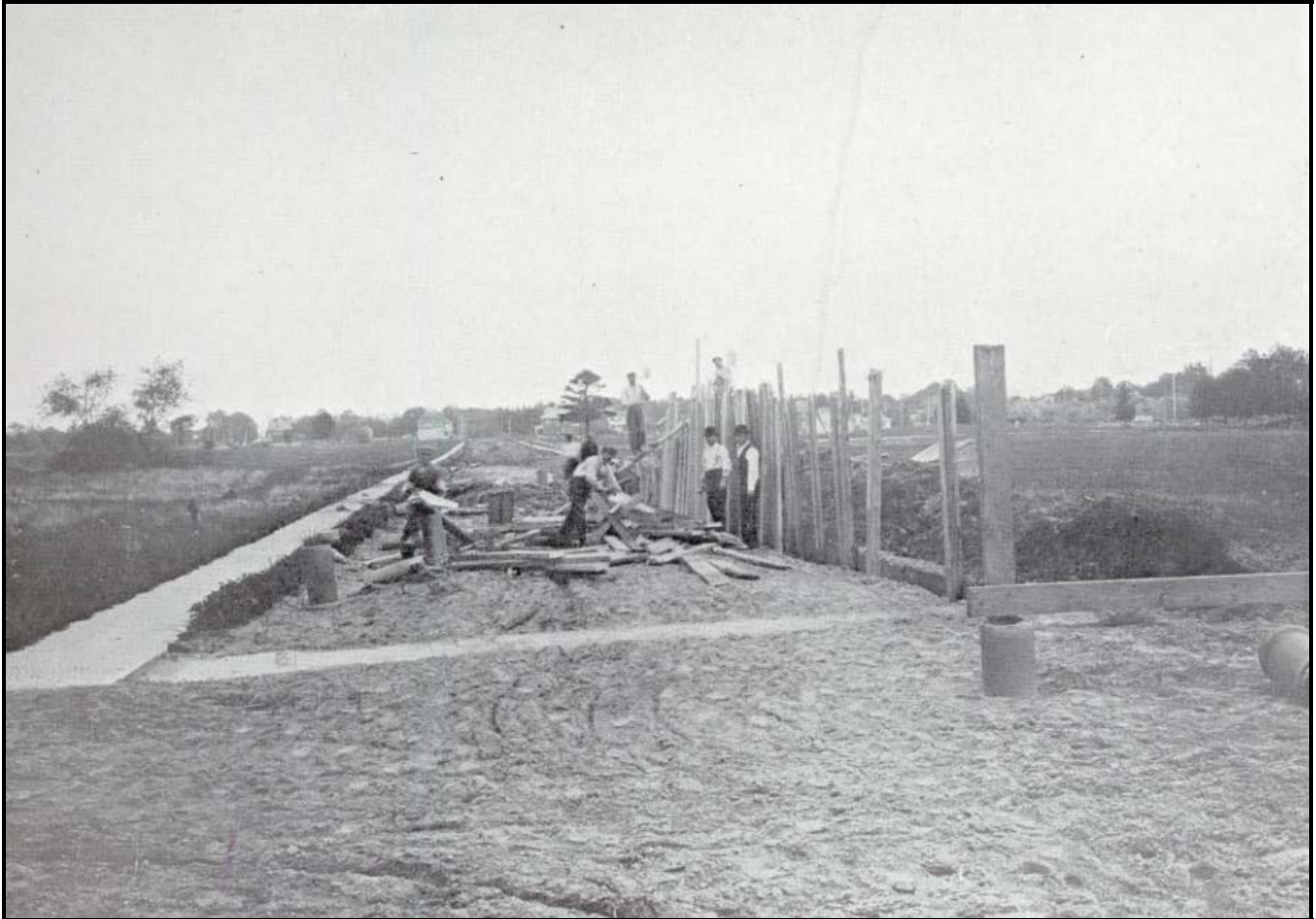
¹⁷ Ahern, Frances Robin. *Oakville: A Small Town, 1900-1930*, pp. 110-113, Oakville: Oakville Historical Society

¹⁸ *The Globe*, "Bank crash is complete", January 7, 1903, pg. 7

¹⁹ *The Globe*, "A document found", January 10, 1903 pg. 28

²⁰ Ahern, Frances Robin. *Oakville: A Small Town, 1900-1930*, pg. 110-113, Oakville: Oakville Historical Society

streets, sewers, and sidewalks—as well as selling the lots along with William Sinclair (W.S.) Davis, a local real estate agent who was appointed sales manager.²¹ The new subdivision was known as Brantwood.²²



1913 photo of workers laying sewers on Douglas Avenue. Sidewalks and other infrastructure were built to draw buyers in. *Source: 1913 Brantwood promotional booklet, Cumberland Land Company Ltd. and W.S. Davis*

A detailed sales brochure (circa 1913-1916) was developed to target Toronto and Hamilton middle class workers and their families to relocate to this new subdivision in Oakville.²³ While the infrastructure was made up of the modern conveniences of the era (sewage, water, and paved roads), sales of the lots in the subdivision slowed through the First World War and did not pick up again until the mid-1920s and 30s.²⁴

As part of this new subdivision, in 1909, Cameron Bartlett, of the Bank of Hamilton sold Lot 170 and 171 directly to William Sinclair Davis.²⁵

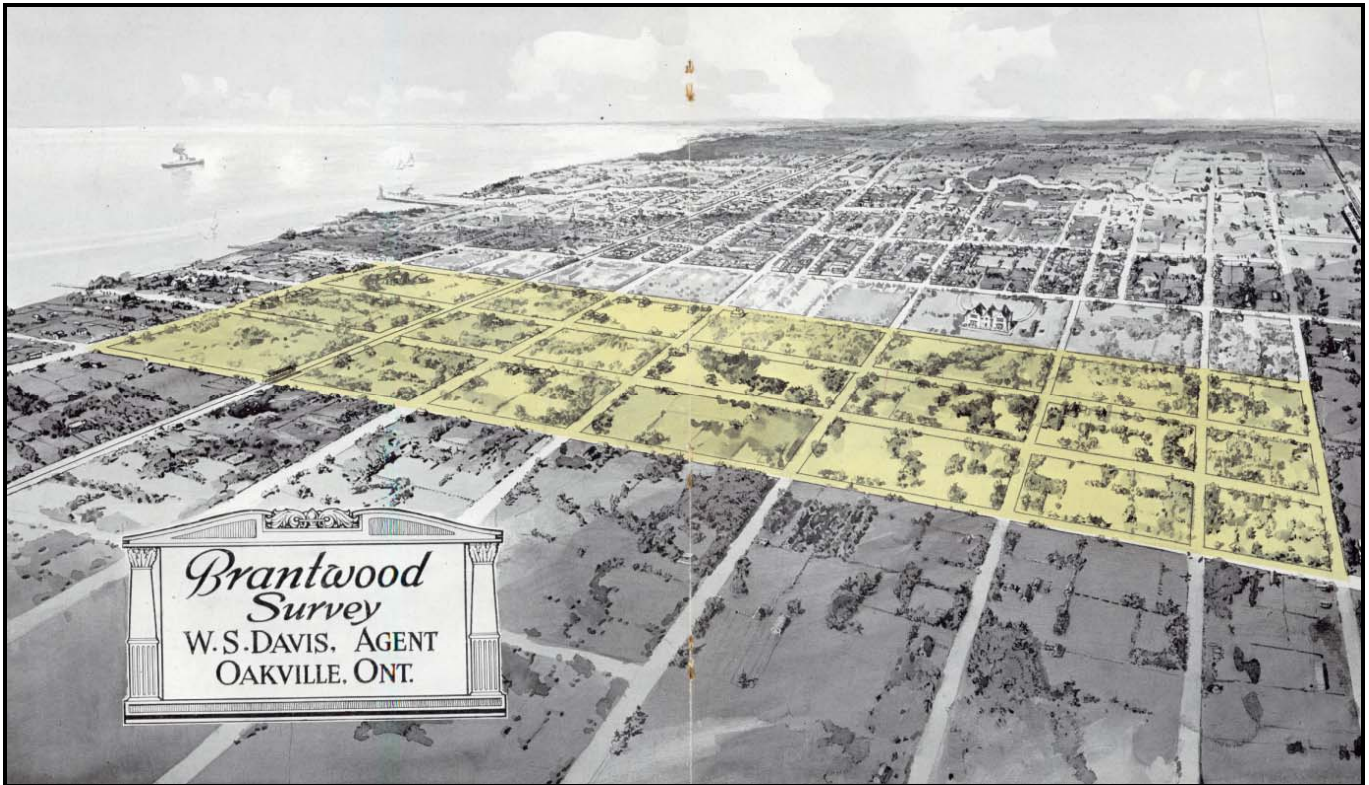
²¹ Cumberland Construction Company Ltd. and W.S. Davis, “Brantwood” pamphlet, 1913; Town of Oakville, Planning Services, 78 Allan Street property file, Heritage Structure Report, undated, pg. 1

²² Oakville Historical Society, Brantwood Survey, 1907

²³ Cumberland Construction Company Ltd. and W.S. Davis, “Brantwood” pamphlet, 1913

²⁴ Town of Oakville, Planning Services, 376 Douglas Avenue property file, Heritage Research Report, July 2011, pg. 6

²⁵ LRO Instrument 4254, being a Bargain and Sale, dated 11 October 1909, between Cameron Bartlett and William Sinclair Davis



Aerial drawing of the borders of the Brantwood Survey in context with the surrounding area and Lake Ontario. A close-up of the house, with artistic liberty, at 329 Douglas from this image is below, showing it was one of the earliest planned in the subdivision. *Source: 1913 Brantwood promotional booklet, Cumberland Land Company Ltd., and W.S. Davis*

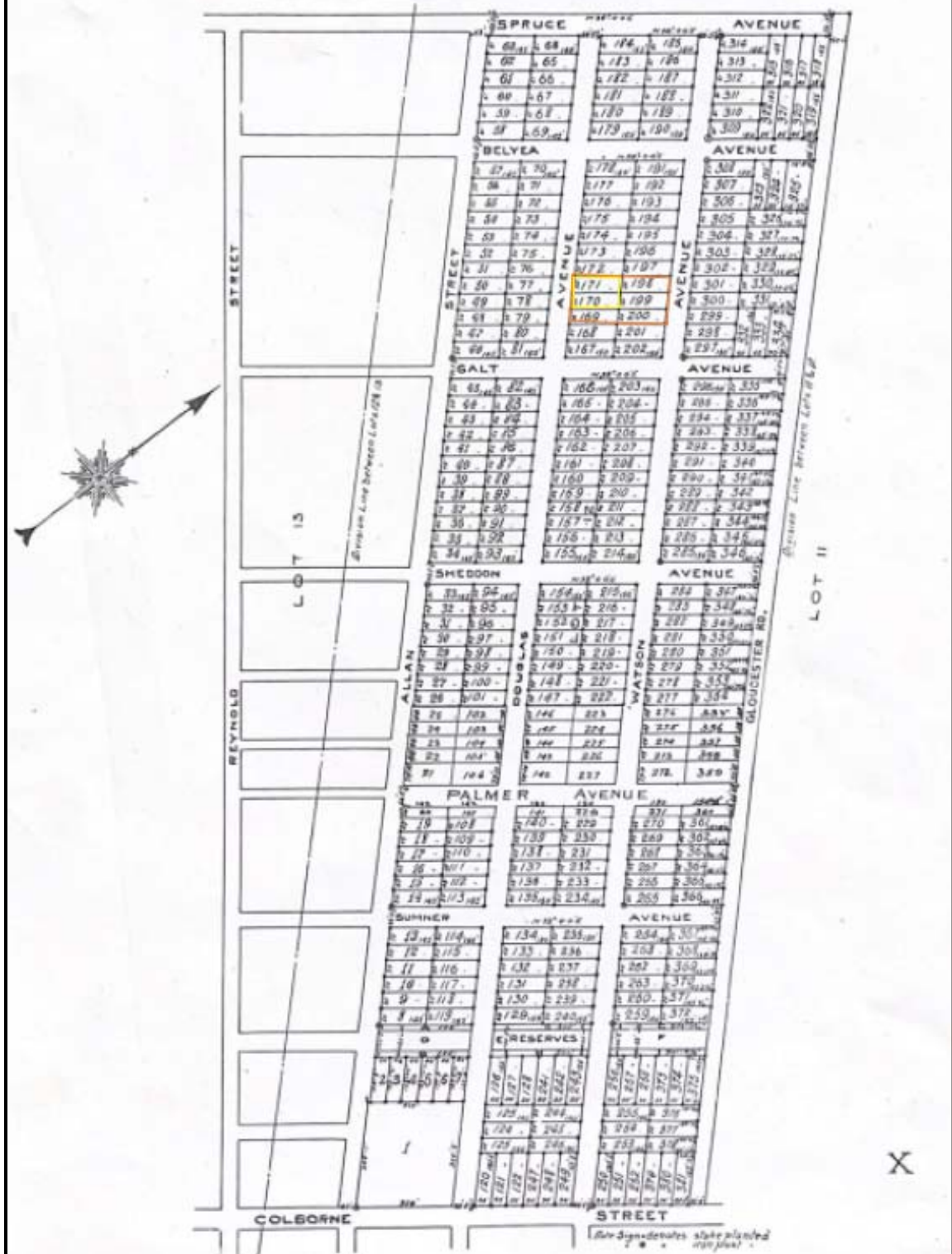


The house at 329 Douglas was one of the earliest built in the subdivision. On October 13, 1909, manufacturer Herbert Elliot purchased Lot 170 and 171 from Davis, as well as Lots 169, 198 199, and 200.²⁶ The house was built while the property was owned by Herbert Elliot, however, it is unknown who the builder was. While it was under his ownership, the house was built by 1910.²⁷

²⁶ LRO Instrument 4269, being a Bargain and Sale, dated October 13, 1909, between W.S. Davis and Herbert Elliot and the other lots for a total of \$2,100

²⁷ Oakville Public Library, 1910 Town of Oakville Assessment roll: Lot 170 and 171 et al. are owned by Herbert Elliot. It lists it as “B” for built upon, and the value of the buildings is \$3,500, indicating that within a year of purchase the house had been mostly complete.

OAKVILLE — PLAN — OF — BRANTWOOD SURVEY —



A map of the 1907 Brantwood Survey, showing the original six lots purchased by Herbert Elliot in 1909 and sold to Guess in orange, and Lots 170 and 171 in yellow where the house was constructed. *Source: Oakville Historical Society*

The house is pictured below in the 1913 Brantwood brochure. From this photo we can see some of the infrastructure work is still happening in the subdivision, as evident from the pile of pipework next to the road yet to be installed and the unpaved road (note the sidewalk is completed). The low lakestone wall is the same one that stands today and extends around the original six lots.



1913 image of the house, showing original elements that still stand, including the lakestone wall and columns. *Source: 1913 Brantwood promotional booklet, Cumberland Land Company Ltd. and W.S. Davis*

In 1912, Elliot sold the six lots to George A. Guess, professor at the University of Toronto.²⁸ It is unclear under which owner the stone wall was built, since the six lots were owned by both Elliott and Guess. The earliest we can confirm its existence is in the 1913 Brantwood pamphlet image above, when it was owned by George Guess. However, since Elliot had the house built, it is possible he also had the wall constructed at the same time as it follows the same Arts and Crafts design ethos as the house.

George Arthur Guess was born in 1873 in Ontario.²⁹ He graduated from Queen's University in 1894 with a master's degree and moved west to British Columbia to work in the copper mining business, forming a company with his brother Harry.^{30 31} He was at the head of many large experimental metallurgical mining concerns in Mexico, the U.S., and South America. In 1912 he returned to Ontario to become the head of the Department of Metallurgy at the University of Toronto.³²

²⁸ LRO Instrument8148, being a Grant, dated March 19, 1912, between Herbert Elliot and George A. Guess, for a total cost of \$8,100.

²⁹ *The Ottawa Journal*, "Deaths", October 23, 1954, pg. 2

³⁰ *The Globe*, "Queen's Graduates", April 24, 1894, pg. 1

³¹ Henderson's British Columbia Gazetteer and Directory and Mining Companies, 1899-1900, Ancestry.com. *Canada, City and Area Directories, 1819-1906*. Provo, UT, USA: Ancestry.com Operations, Inc., 2013. lists George Arthur Guess and Harry Guess as owners of the company Guess Brothers; Harry's residence however is Keewatin, Ontario

³² *The Globe*, "Heads department of metallurgy", January 13, 1912, pg. 9; *The Globe*, "Metallurgy chair in the university," January 13, 1912, pg. 9



This prompted the purchase of the house at 329 Douglas Avenue. George's wife, Emma, died in 1926 from an illness.³³ They had one son, Arthur. Guess then remarried Edna Ashley the following year.³⁴ The Guess families lived in the house for a total of over 60 years. Guess retired from his role at the University of Toronto in 1943.³⁵ Before this, in 1918, he'd received a patent for electrolytically separating nickel from copper.³⁶ He gave many talks about his metallurgical experiences when he was in Ontario. Guess lived in the house until he passed away in 1954, and then his second wife Edna remained there until her death in 1973.³⁷

Clip from the *Globe* announcing George Guess, pictured, as the new Head of the Department of Metallurgy, 1912. Source: *Globe and Mail*



Photo of the house in 1929, published in the *Toronto Star*. Source: *Toronto Public Library – Toronto Star Photograph Archive*

³³ *Globe*, "Mrs. George A. Guess", March 4, 1926, pg. 12

³⁴ Ancestry.ca, marriage certificate

³⁵ Ancestry.ca, article from *The Gazette*, September 18, 1943, pg. 13

³⁶ *Globe*, "Patents issues", February 2, 1918, pg. 9

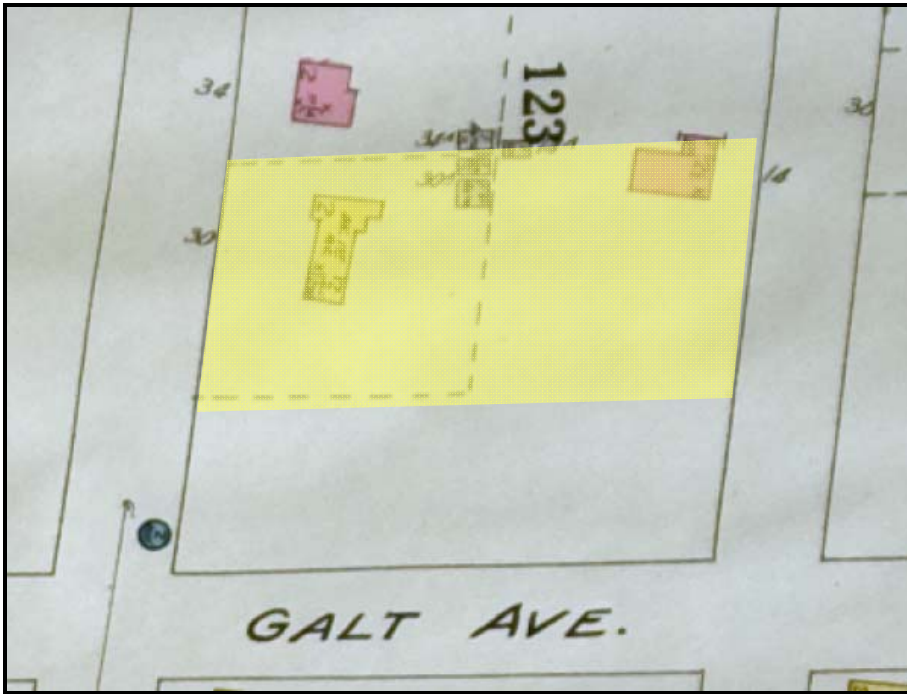
³⁷ *The Ottawa Journal*, "Deaths", October 1, 1954, pg. 2; LRO Instrument 8151, being a Certificate, dated October 11, 1955, to Edna Guess, and LRO Instrument 374960, being an Execution of Deed, dated September 27, 1973, from Ross Regie, executor of Edna Guess' will, to John and Tiiu Purkis



The four properties that still contain the Guess House Stone wall highlighted in yellow. Source: Town of Oakville GIS



Close up of the lots showing the six lots (171, 170, 169 and 198, 199, and 200) that were a part of the original parcel of land. The three lots on Watson Avenue were sold in 1921 and Lot 169 remained as part of the property until the 1960s. The wall still stands at the front of all these lots. Source: OnLand Property Search



1924 fire insurance map with the four properties containing the stone wall outlined. The existing houses at 329 Douglas Avenue and 330 Watson Avenue can be seen in the map. Source: Underwriters' Survey Bureau, Insurance Plan of the Town of Oakville. Toronto: Underwriters' survey Bureau, 1924



1932 fire insurance map with the four properties containing the stone wall outlined. The existing houses at 329 Douglas Avenue and 330 Watson Avenue can be seen in the map. Source: Underwriters' Survey Bureau, Insurance Plan of the Town of Oakville. Toronto: Underwriters' survey Bureau, 1932.

Lot 169 to the south and Lots 198, 199, and 200 on Watson Avenue were also owned by Elliot and then Guess. Lots 198, 199, and 200 were not built on before the second property owner sold them in 1921.³⁸ The house at 330 Watson Avenue was then built, and Lot 200 was its yard facing the lake until the house was built in 1990. Lot 169 remained a part of the subject property for several decades and was eventually sold in 1969 and a house was built the same year.³⁹

In summary, the stone wall has historical and associative value not only because it was built early on in the development of Brantwood, an important local subdivision and one of the first in Oakville from the early 20th century, but also with its association with George Guess, whose family lived in the original house associated with the wall for over 60 years.

³⁸ Oakville Public Library, 1912 Town of Oakville assessment roll

³⁹ LRO Instrument 283608, being a Grant dated October 15, 1969, between Edna Guess and Oakville Developments Ltd; notes state it is Lot 169 only. According to 1949 fire insurance map there is no building in that year, but undetermined if built on at time of sale.

Contextual Value

The subject property is part of the historic Brantwood residential subdivision. The streetscape of the area consists of mature trees and moderate sized lots which contain medium to large sized houses. Houses in this area range in age and architectural style, dating from the early to mid-20th century, specifically being built between 1910 and 1940. Many of the original houses in the Brantwood survey were inspired by the Arts and Crafts movement.

The historic stone wall on the property is physically, functionally, visually, and historically linked to its surroundings. It is also important in defining, supporting and maintaining the historic residential character of Brantwood. The stone wall was built for one of the oldest houses on the street and is representative of the Arts & Crafts era. It was designed, along with its original house, to recall the English countryside and tie the house to the land through this hand-made natural landscape feature. It remains a rare remnant structure from the early 20th century and is a distinguishing feature of the streetscape. Running along four separate properties, the wall provides a physical and visual reminder of the large historic estates that were originally constructed within Brantwood. Despite multiple severances and the construction of new homes over many decades, the stone wall remains as a defining feature of the neighbourhood.



View of Watson Avenue looking north with subject property on the left, 2021. Source: Google Street View



View of Watson Avenue looking southwest with subject property in the middle, 2021. Source: Google Street View

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The stone wall is a rare remaining example of an early 20 th century lakestone wall in Oakville.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	The stone wall is associated with the theme of development of 'Brantwood', an early 20th century subdivision of Oakville that was influenced by the Arts and Crafts movement.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	There are no known connections to an architect, artist, builder, designer or theorist who is significant to a community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The stone wall is important in defining, maintaining and supporting the historic residential character of Brantwood.	Y
ii. is physically, functionally, visually, or historically linked to its surroundings;	The stone wall is physically, functionally, visually, and historically linked to its surroundings. It contributes to the history of the local community, specifically Brantwood, a significant early 20th century Oakville subdivision.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 322 Watson Avenue is located on the west side of Watson Avenue, between Macdonald Road and Galt Avenue in the Brantwood neighbourhood. The property contains a circa 1913 dry-laid lakestone wall originally associated with the Guess House at 329 Douglas Avenue.

Design or Physical Value:

The Guess House Stone Wall has design and physical value as a representative example of an Arts and Crafts era landscape wall. The goal of the residential Arts and Crafts movement was to portray the house as a place of serenity, with a focus on the home as part of the natural environment. There was a strong emphasis on artisanal and hand-crafted objects and structures and natural materials such as brick, stone, stucco and wood. The stone wall is constructed of natural lakestone sourced from the bed of Lake Ontario nearby. The wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, organic aesthetic that was typical of the Arts and Crafts era. It also spoke to the owner's wealth and status by highlighting the expansive size of the property at the time. The craftsmanship can be seen in the originally dry-laid structure topped by vertical pieces of lakestone and its stone columns topped by large fieldstones.

Historical Value or Associative Value:

The Guess House Stone Wall has cultural heritage value for its associations with the theme of development of the local residential area known as 'Brantwood'. Developed in the early 1900s, this subdivision was designed with large lots and was sold to city dwellers as a secluded, beautiful and modern neighbourhood in which to construct their own cottage or stately home. The stone wall was built as part of the Guess House, a large estate home constructed circa 1910 in the Tudor Revival and Craftsman styles, typical architectural styles of the Arts and Crafts period. The wall still stands on four separate properties that make up the original estate property.

Contextual Value:

The Guess House Stone Wall is physically, functionally, visually, and historically linked to its surroundings. It is also important in defining, supporting and maintaining the historic residential character of Brantwood. The stone wall was built for one of the oldest houses on the street and is representative of the Arts & Crafts era. It was designed, along with its original house, to recall the English countryside and tie the house to the land through this hand-made natural landscape feature. It remains a rare remnant structure from the early 20th century and is a distinguishing feature of the streetscape. Running along four separate properties, the wall provides a physical and visual reminder of the large historic estates that were originally constructed within Brantwood. Despite multiple severances and the construction of new homes over many decades, the stone wall remains as a defining feature of the neighbourhood.

Description of Heritage Attributes

Key heritage attributes of the property at 322 Watson Avenue that exemplify its cultural heritage value as an early 20th century Arts and Crafts era landscape wall, include the following:

- The low lakestone wall topped by vertical pieces of lakestone; and
- The lakestone columns topped by large fieldstones.

6. Conclusion

This property meets three of the criteria of Ontario Regulation 9/06, including historical/associative value and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

7. Sources

- Ahern, Frances Robin, *Oakville: A Small Town (1900-1930)*. Oakville: The Oakville Historical Society, 1981
- Ancestry, <http://www.ancestry.ca>
- Blumenson, John, *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*. Toronto: Fitzhenry & Whiteside, 1990
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- Mississaugas of the Credit First Nation, Department of Consultation & Accommodation (DOCA)
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- Ontario Heritage Act, Reg. 9/06
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- Peacock, David and Suzanne. *Old Oakville: A Character Study of the Town's Early Buildings and of the Men Who Built Them*. Toronto: Hounslow Press, 1979
- Region Municipality of Halton, "Halton Region Official Plan", 2022
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- Toronto Public Library, *Globe & Mail* historical archives
- Town of Oakville, "Liveable Oakville", 2009
- Town of Oakville, "North Oakville East Secondary Plan", 2023
- Town of Oakville, "North Oakville West Secondary Plan", 2023
- Town of Oakville, various departmental files including the Town's Heritage Register, policies, reports, imagery, and mapping
- Underwriters' Survey Bureau. *Insurance Plans of the Town of Oakville*. Toronto: Underwriters' Survey Bureau, 1932

On December **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Guess House Stone Wall
323 Douglas Avenue
LT 169, PL 113 ; OAKVILLE

Description of Property

The property at 323 Douglas Avenue is located on the east side of Douglas Avenue, between Macdonald Road and Galt Avenue in the Brantwood neighbourhood. The property contains a circa 1913 dry-laid lakestone wall originally associated with the Guess House at 329 Douglas Avenue.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Guess House Stone Wall has design and physical value as a representative example of an Arts and Crafts era landscape wall. The goal of the residential Arts and Crafts movement was to portray the house as a place of serenity, with a focus on the home as part of the natural environment. There was a strong emphasis on artisanal and hand-crafted objects and structures and natural materials such as brick, stone, stucco and wood. The stone wall is constructed of natural lakestone sourced from the bed of Lake Ontario nearby. The wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, organic aesthetic that was typical of the Arts and Crafts era. It also spoke to the owner's wealth and status by highlighting the expansive size of the property at the time. The craftsmanship can be seen in the originally dry-laid structure topped by vertical pieces of lakestone and its stone columns topped by large fieldstones.

Historical and Associative Value

The Guess House Stone Wall has cultural heritage value for its associations with the theme of development of the local residential area known as 'Brantwood'. Developed in the early 1900s, this subdivision was designed with large lots and was sold to city dwellers as a secluded, beautiful and modern neighbourhood in which to construct their own cottage or stately home. The stone wall was built as part of the Guess House, a large estate home constructed circa 1910 in the Tudor Revival and Craftsman styles, typical architectural styles of the Arts and Crafts period. The wall still stands on four separate properties that make up the original estate property.

Contextual Value

The Guess House Stone Wall is physically, functionally, visually, and historically linked to its surroundings. It is also important in defining, supporting and maintaining the historic residential character of Brantwood. The stone wall was built for one of the oldest houses on the street and is representative of the Arts & Crafts era. It was designed, along with its original house, to recall the English countryside and tie the house to the land through this hand-made natural landscape feature. It remains a rare remnant structure from the early 20th century and is a distinguishing feature of the streetscape. Running along four separate properties, the wall provides a physical and visual reminder of the large historic estates that were originally constructed within Brantwood. Despite multiple severances and the construction of new homes over many decades, the stone wall remains as a defining feature of the neighbourhood.

Description of Heritage Attributes

Key heritage attributes of the property at 323 Douglas Avenue that exemplify its cultural heritage value as an early 20th century Arts and Crafts era landscape wall, include the following:

- The low lakestone wall and columns topped by vertical pieces of lakestone.

Any objection to this designation must be filed no later than January **, 2025. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on December **, 2024.

DRAFT

On December **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Baillie Estate Farm Manager's Cottage
1110 Lakeshore Road West
LOT 1, PLAN 20M651, OAKVILLE

Description of Property

The subject property is located on the south side of Lakeshore Road West between Westdale Road and Wilder Drive. The property contains a one-storey frame cottage structure built in 1926 and known as the Baillie Estate Farm Manager's Cottage.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Baillie Estate Farm Manager's Cottage has cultural heritage value for its c.1926 cottage built in the Arts & Crafts style and designed by Page & Warrington. As a reaction to the mechanization and dehumanization of the Industrial Age, the Arts & Crafts style attempted to reconnect people to nature and to the handmade. The Farm Manager's Cottage is a humble yet eloquent example of the Arts & Crafts style. It was constructed using local, natural materials including stained wood shingles and Credit Valley stone taken from the nearby ravine. The low-sloped roof, tapered stone piers on the corners and natural wood windows and trim work connect the building to its natural surroundings. The cottage displays early 20th century craftsmanship that is visible in the stone piers, stone chimneys and multipaned wood windows.

Historical and Associative Value

The Baillie Estate Farm Manager's Cottage has cultural heritage value for its direct associations with the Baillie family who built the structure as part of Lisonally Farm, the family estate. Lady Edith Baillie was a well-respected philanthropist who redeveloped the summer estate as a farm after the death of her financier and industrialist husband Sir Frank Baillie in 1921. Rather than focusing on making an income, the Baillies' approach was to donate the produce and income to local hospitals, institutions and charities. The cottage is the only remaining structure from Lisonally Farm and contributes to an understanding of the far., and of other prosperous country estates and farms constructed during this era along the lakeshore in Oakville. The property is also directly associated with Page & Warrington, a prominent Toronto firm that designed a number of Arts & Crafts style homes in Toronto's elite residential neighbourhoods like Forest Hill and Rosedale.

Contextual Value

The Baillie Estate Farm Manager's Cottage has contextual value as one of the last remnants of the former Lisonally Farm. The property is physically, visually and historically linked with Lakeshore Road West and the former entrance to the estate that was once in this location. For the past century, the property has been a well-known site along Lakeshore Road, a significant and historic road along Lake Ontario that has been the primary access to the town's historic lakefront estates. The property helps to maintain and support the character of this established residential neighbourhood.

Description of Heritage Attributes

Key attributes of the property which embody the cultural heritage value of the Baillie Estate Farm Manager's Cottage include the following attributes, as they relate to the original one-storey building, include its:

- Rectangular form with low-sloped hip roof with deep eaves;
- Four tapered stone piers, exposed stone foundation, and two stone chimneys constructed of Credit Valley stone laid in regular courses with a quarry cut face;

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- Wood shingle cladding;
- Fenestration of the front (north) elevation;
- Two sets of multipaned wood windows with wood trim on the front (north) elevation;
- One set of multipaned wood windows with wood trim located on the northerly end of the east elevation;
- Wood front door with wood trim on north elevation; and
- Proximity to Lakeshore Road West, near the former entrance to Lisonally Farm.

Any objection to this designation must be filed no later than January **, 2025. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on December **, 2024.

DRAFT

On December **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Smith House
2460 Old Bronte Road
PART LOT 31 CONCESSION 1 TRAF SDS PARTS 4, 5, 14,15, 21, 22 AND 23,
PLAN 20R22672; TOWN OF OAKVILLE

Description of Property

The property at 2460 Old Bronte Road is located on the west side of Old Bronte Road, south of Dundas Street West in the former village of Palermo. The property contains a two-and-a-half storey house with one-storey rear wing known as the Smith House.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Smith House has design and physical value as an evolved 19th century village house with influences from the Gothic Revival and Italianate styles. The main portion of the house is believed to have been built in the 1850s and then expanded and renovated in the 1870s. The Gothic Revival style is evident in the structure's steep roof, prominent centre gable, decorative bargeboard, and round and lancet windows in the gables. The front portico, also likely built during the 1870s renovations, was designed in the Italianate style. The flat roof with projecting eaves, heavily bracketed cornice, and square and rectangular windows with rounded edges are all indicative of the style. The original wood windows on the portico are both tinted and etched with late 19th century patterns, adding decorative detail and privacy.

The Smith House also has design and physical value for the circa 1813 timber-frame structure located to the rear of the building, which would have been one of the earliest structures in Palermo. The original framing features hand-sawn and rough-sawn wood, post and beam notching, wooden pins, mortise and tenon joints, and wide ceiling and roof boards. The structure is a rare and early example of its kind in Oakville.

Historical and Associative Value

The Smith House is associated with the theme of 19th century village life in Palermo and with the Smith families, early settlers in Trafalgar Township. The property has direct associations with the historic village of Palermo, the oldest European settlement in present-day Oakville. Palermo was a significant stop along Dundas Street, the main route between Toronto and Hamilton, and the larger rural community depended on the village for its stagecoach stop, post office, inn, stores, schools, and churches. The Smith family owned the property for almost 90 years, building the original structure and expanding it throughout the 19th century. The property was granted by the Crown to Benjamin Smith, who likely built the original one-storey structure. It was later owned by his son-in-law Caleb Smith from 1860-1902, when the Gothic Revival and Italianate portions were built.

Contextual Value

The Smith House is physically, visually, and historically linked to its surroundings, the historic village of Palermo that has evolved over two centuries. With a construction date starting in the first two decades of the 1800s, the Smith House is one of the earliest remaining residential dwellings in the village. The house is important in defining the area as a former historic rural village. The original circa 1813 portion provides a significant link to the village's early history of European settlement that took place along early routes like Dundas Street and Bronte Road. The later front addition and Gothic Revival and Italianate style renovations help tell the story of the evolution of the village from a sparse, early 19th

century settlement to a busy and thriving village in the later 19th century and early 20th century.

Description of Heritage Attributes

Key attributes of the property at 2460 Old Bronte Road that exemplify its cultural heritage value as a 19th century village house with Gothic Revival and Italianate style influences associated with the former village of Palermo, include:

- The massing and form of the two-and-a-half storey house with its steep side gable roof with front gable and its flat-roofed one-storey front portico;
- Horizontal wood siding;
- Decorative wood bargeboard in the side and front gables;
- The fenestration of the windows;
- The presence of two-over-two sash windows on the first and second storeys;
- The presence of a one-over-one rounded sash window in the front gable;
- Wood lancet windows in the third storey gables;
- Wood window trim, including pediments;
- Heavily bracketed wood cornice on portico;
- Wood transom windows with acid-etched red tinted glass on portico;
- One-over-one wood windows with acid-etched patterns on portico;
- Wood paneled door with acid-etched glass on portico; and
- The orientation of the house facing east towards Old Bronte Road.

Key attributes of the property at 2460 Old Bronte Road that exemplify its cultural heritage value as an early timber frame structure associated with the former village of Palermo include:

- The timber frame structure with wall and roof framing made of hand-sawn and rough-sawn wood, post and beam notching, wooden pins, mortise and tenon joints, ceiling boards, and roof boards; and
- The location of the structure attached to the rear of the two-and-a-half storey house.

Any objection to this designation must be filed no later than January **, 2025. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on December **, 2024.

On December **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

James and Muriel Blakelock House
123 Trafalgar Road
PT LT D, BLK 25, PL 1, AS IN 769129; OAKVILLE

Description of Property

The property at 123 Trafalgar Road is located on the east side of Trafalgar Road, between Randall Street and Church Street in downtown Oakville. The property contains a 1917 two-and-a-half storey Edwardian brick house with Queen Anne influences. It is known as the James and Muriel Blakelock House.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The James and Muriel Blakelock House has design value as a representative example of an Edwardian brick house with Queen Anne influences. It retains heritage features such as: its two-and-a-half storey form with gable and hip roof, dichromatic brick cladding with cedar shingle cladding in the gables; fenestration on the north, east, south, and west elevations; segmentally arched window openings with brick voussoirs and concrete sills; bay windows on the west and south elevations; and its front porch with square brick columns and railing. While the building has been updated in recent decades to accommodate commercial use, the original form and details of its Edwardian style remain.

Historical and Associative Value

The James and Muriel Blakelock House has historical value for its associations with Thomas A. Blakelock and James A. Blakelock, whose construction company built the house for James Blakelock and his family to live in circa 1917. In addition to being a prominent businessman, Thomas A. Blakelock worked for 40 years in public service as Mayor of Oakville, as a Member of the Provincial Legislature for Halton, and as Warden of Halton County. The Blakelock Brothers Contractors and Builders Company built more than 300 buildings in Oakville, including the subject house which was one of the first houses built by the company and one of only a few that was built for the Blakelock family. The house is also associated with the early 20th century industrial, residential and commercial development of downtown Oakville and helps to demonstrate the historic mixed-use development of the downtown, with the homes being constructed on the same block as their well-known planing mill.

Contextual Value

The subject property has cultural heritage value because it is physically, functionally, visually, and historically linked to its surroundings. The subject property is one of several historical buildings of note still standing that reference the early 20th century built history of the neighbourhood, which was a mix of residential, industrial and commercial uses. It is one of several other houses built by the Blakelock Brothers on the block, but is one of the only few remaining. It sits on a corner lot and is prominently located in the neighbourhood. The property is also important in defining, supporting, and maintaining the character of the historic downtown core. The subject house plays an important role in the remaining historic streetscape of this block, as a visible anchor on the southwest corner. The building's small scale and historic architectural style highlights the history of downtown Oakville and its historically low-scale building streetscape. Its association with the Blakelock family and their business is particularly important as the building is a tangible remnant of this important part of Oakville's history of industry and post-World War I growth.

Description of Heritage Attributes

Key attributes of the property at 123 Trafalgar Road that exemplify its cultural heritage value as an Edwardian style house with Queen Anne influences, as they relate to the north, west and south elevations of the two-and-a-half storey house, include its:

- Rectangular massing and form with gable roof and two-storey bay projection with hip roof on south elevation and one-storey front porch;
- Dichromatic red and dark brown brick cladding;
- Cedar shingle cladding in the gables;
- Remaining historic fenestration of the windows, which does not include the glass block window on the north elevation and the southerly second storey bay window on the west elevation;
- Segmentally arched window and door openings with brick voussoirs and stone sills; and
- Front porch with low-sloped shed roof, brick columns and railings, and stone caps.

Any objection to this designation must be filed no later than January **, 2025. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on December **, 2024.

On December **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Dorland House
127 Trafalgar Road
PT LT D, BLK 25, PL 1, AS IN 817997, T/W 817997; OAKVILLE

Description of Property

The property at 127 Trafalgar Road is located on the east side of Trafalgar Road, between Randall Street and Church Street in downtown Oakville. The property contains a 1915 two-and-a-half storey Edwardian brick house with Queen Anne influences. It is known as the Dorland House.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Dorland House has design value as a representative example of an Edwardian brick house with Queen Anne influences. It retains heritage features such as: its two-and-a-half storey form with gable and hip roof, dichromatic brick cladding with cedar shingle cladding in the gables; fenestration on the north, east, south, and west elevations; segmentally arched window openings with brick voussoirs and concrete sills; bay windows on the west and south elevations; and its front porch with square brick columns and railing. While the building has been updated in recent decades to accommodate commercial use, the original form and details of its Edwardian style remain.

Historical and Associative Value

The Dorland House has historical value for its associations with Thomas A. Blakelock and James A. Blakelock, whose construction company built the house circa 1915. In addition to being a prominent businessman, Thomas A. Blakelock worked for 40 years in public service as Mayor of Oakville, as a Member of the Provincial Legislature for Halton, and as Warden of Halton County. The Blakelock Brothers Contractors and Builders Company built more than 300 buildings in Oakville, including the subject house which was one of the first houses built by the company and one of only a few that was built for the Blakelock family. The house is also associated with the early 20th century industrial, residential and commercial development of downtown Oakville and helps to demonstrate the historic mixed-use development of the downtown, with the homes being constructed on the same block as their well-known planing mill.

Contextual Value

The Dorland House has cultural heritage value because it is physically, functionally, visually, and historically linked to its surroundings. The subject property is one of several historical buildings of note still standing that reference the early 20th century built history of the neighbourhood, which was a mix of residential, industrial and commercial uses. It is one of several other houses built by the Blakelock Brothers on the block, but is one of the only few remaining. It sits on a corner lot and is prominently located in the neighbourhood. The property is also important in defining, supporting, and maintaining the character of the historic downtown core. The subject house plays an important role in the remaining historic streetscape of this block, as a visible anchor on the southwest corner. The building's small scale and historic architectural style highlights the history of downtown Oakville and its historically low-scale building streetscape. Its association with the Blakelock family and their business is particularly important as the building is a tangible remnant of this important part of Oakville's history of industry and post-World War I growth.

Description of Heritage Attributes

Key attributes of the property at 127 Trafalgar Road that exemplify its cultural heritage value as an Edwardian style house with Queen Anne influences, as they relate to the north, west and south elevations of the two-and-a-half storey house, include its:

- Rectangular massing and form with hip roof with front gable and one-storey front porch;
- Buff brick cladding;
- Wood fish scale shingle cladding in the gables;
- Remaining historic fenestration of the windows, which does not include the contemporary bay window on the north elevation;
- Remaining historic wood window trim around palladium window in front gable and second storey bay window on front elevation;
- Segmentally arched window and door openings with brick voussoirs and stone sills; and
- Front porch with low-sloped shed roof, brick columns and stone caps.

Any objection to this designation must be filed no later than January **, 2025. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on December **, 2024.

On December **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Guess House Stone Wall
322 Watson Avenue
CONSOLIDATION OF VARIOUS PROPERTIES 1STLY- LT 200, PL 113;
OAKVILLE 2NDLY- PT LT 199, PL 113, PT 2, 20R12284; OAKVILLE

Description of Property

The property at 322 Watson Avenue is located on the west side of Watson Avenue, between Macdonald Road and Galt Avenue in the Brantwood neighbourhood. The property contains a circa 1913 dry-laid lakestone wall originally associated with the Guess House at 329 Douglas Avenue.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Guess House Stone Wall has design and physical value as a representative example of an Arts and Crafts era landscape wall. The goal of the residential Arts and Crafts movement was to portray the house as a place of serenity, with a focus on the home as part of the natural environment. There was a strong emphasis on artisanal and hand-crafted objects and structures and natural materials such as brick, stone, stucco and wood. The stone wall is constructed of natural lakestone sourced from the bed of Lake Ontario nearby. The wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, organic aesthetic that was typical of the Arts and Crafts era. It also spoke to the owner's wealth and status by highlighting the expansive size of the property at the time. The craftsmanship can be seen in the originally dry-laid structure topped by vertical pieces of lakestone and its stone columns topped by large fieldstones.

Historical and Associative Value

The Guess House Stone Wall has cultural heritage value for its associations with the theme of development of the local residential area known as 'Brantwood'. Developed in the early 1900s, this subdivision was designed with large lots and was sold to city dwellers as a secluded, beautiful and modern neighbourhood in which to construct their own cottage or stately home. The stone wall was built as part of the Guess House, a large estate home constructed circa 1910 in the Tudor Revival and Craftsman styles, typical architectural styles of the Arts and Crafts period. The wall still stands on four separate properties that make up the original estate property.

Contextual Value

The Guess House Stone Wall is physically, functionally, visually, and historically linked to its surroundings. It is also important in defining, supporting and maintaining the historic residential character of Brantwood. The stone wall was built for one of the oldest houses on the street and is representative of the Arts & Crafts era. It was designed, along with its original house, to recall the English countryside and tie the house to the land through this hand-made natural landscape feature. It remains a rare remnant structure from the early 20th century and is a distinguishing feature of the streetscape. Running along four separate properties, the wall provides a physical and visual reminder of the large historic estates that were originally constructed within Brantwood. Despite multiple severances and the construction of new homes over many decades, the stone wall remains as a defining feature of the neighbourhood.

Description of Heritage Attributes

Key heritage attributes of the property at 322 Watson Avenue that exemplify its cultural heritage value as an early 20th century Arts and Crafts era landscape wall, include the following:

- The low lakestone wall topped by vertical pieces of lakestone; and
- The lakestone columns topped by large fieldstones.

Any objection to this designation must be filed no later than January **, 2025. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on December **, 2024.

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**Town of Oakville
Heritage Oakville Advisory Committee**

Schedule of Meeting Dates – 2025

Heritage Oakville Advisory Committee meetings will be held on the fourth Tuesday of every month, commencing at 9:30 a.m., at the Oakville Municipal Building, unless noted otherwise:

Heritage Dates

January 28, 2025
February 25, 2025
March 25, 2025
April 22, 2025
May 27, 2025
June 24, 2025
July 22, 2025
August 26, 2025
September 23, 2025
October 28, 2025
November 25, 2025
December 16, 2025

Planning Dates

February 18, 2025
March 3 or 17, 2025
April 7 or 22, 2025
May 5 or 20, 2025
June 16, 2025
July 8, 2025
August 11, 2025
September 8 or 22, 2025
October 6 or October 20, 2025
November 17, 2025
December 8 or 15 (Council), 2025
January 19, 2026