



# Committee of Adjustment Town of Oakville

## AGENDA

Date: November 13, 2024  
Time: 7:00 pm  
Location: Virtual Meeting

Live streaming video is available at [oakville.ca/live.html](http://oakville.ca/live.html) or the Town's YouTube channel at [youtube.com/user/townofoakvilleTV](https://youtube.com/user/townofoakvilleTV).

### Making submissions to the Committee of Adjustment

To participate in the electronic hearing or to submit written correspondence regarding an application on the agenda, please email the Secretary-Treasurer at [coarequests@oakville.ca](mailto:coarequests@oakville.ca), or call 905-845-6601 ext. 1829, by noon the day before the hearing date.

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|  | Pages    |
|--|----------|
| 1. Reading of Preamble                                   |          |
| 2. Regrets   |          |
| 3. Declarations of Pecuniary Interest                    |          |
| 4. Requests for Deferrals or Withdrawals of Applications |          |
| 5. Consent Application(s)                                |          |
| 6. Minor Variance Application(s)                         |          |
| 6.1 CAV A/123/2024 - 324 Wendy Lane                      | 3 - 11   |
| 6.2 CAV A/154/2024 - 92 Forsythe Street                  | 12 - 19  |
| 6.3 CAV A/157/2024 - 1238 Donlea Crescent                | 20 - 30  |
| 6.4 CAV A/160/2024 - 14 Timber Lane                      | 31 - 74  |
| 6.5 CAV A/161/2024 - 12 Rayne Avenue                     | 75 - 85  |
| 6.6 CAV A/162/2024 - 262 King Street                     | 86 - 106 |

|     |  |           |
|-----|--|-----------|
| 6.7 | CAV A/071/2024 - 221 Wedgewood Drive (Deferred from May 1, 2024)     | 107 - 168 |
| 6.8 | CAV A/074/2024 - 1140 Invicta Drive (Deferred from May 15, 2024)     | 169 - 182 |
| 6.9 | CAV A/079/2024 - 2092 Seabrook Drive (Deferred from October 2, 2024) | 183 - 191 |

7. Confirmation of Minutes

8. Adjournment





LOCATION MAP

**LOT 2, REGISTERED PLAN 716**  
**CITY OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON**  
**SURVEY INFORMATION TAKEN FROM SURVEY BY**  
**YOUNG & YOUNG SURVEYING INC.**  
**DATE: NOV 07, 2023**

| PROJECT STATISTICS  |                         |
|---------------------|-------------------------|
| ADDRESS:            | 324 WENDY LANE OAKVILLE |
| ZONING              | RL2-0                   |
| LOT No.             | LOT                     |
| REGISTERED PLAN No. | --                      |

|              | m                     | ft                       |
|--------------|-----------------------|--------------------------|
| LOT AREA     | 1051.73m <sup>2</sup> | 11,320.76ft <sup>2</sup> |
| LOT FRONTAGE | 23.16m                | 76ft                     |
| LOT DEPTH    | 45.72m                | 150ft                    |

| FLOOR AREA RATIO - 0 SUFFIX ZONE - 4188.7 ft <sup>2</sup> (389.14m <sup>2</sup> ) (37%)<br>MAXIMUM RESIDENTIAL FLOOR AREA RATIO |            |                                  |  |   |
|---|------------|----------------------------------|--|---|
| FLOOR   | EXISTING   | PROPOSED                         | PERMITTED  | VARIANCE  |
|   |            |                                  | 4188.7ft <sup>2</sup><br>(37%)<br>389.14m <sup>2</sup> |   |
| GROUND FLOOR  | Demolished | 208.36m <sup>2</sup>             | 2242.7ft <sup>2</sup>                                  |   |
| SECOND FLOOR  |            | 203.72m <sup>2</sup>             | 2192.8ft <sup>2</sup>                                  |   |
| OPEN TO BELOW (1 <sup>st</sup> Floor)   |            | 0.96m <sup>2</sup>               | 10.32ft <sup>2</sup>                                   |   |
| OPEN TO BELOW (2 <sup>nd</sup> Floor)   |            | 68.79m <sup>2</sup>              | 740.4ft <sup>2</sup>                                   |   |
| BASEMENT  |            | m <sup>2</sup>                   | m <sup>2</sup>   |   |
| GARAGE  |            | 32.35m <sup>2</sup>              | 348.21ft <sup>2</sup>                                  | 343.58ft <sup>2</sup>                                     |
| TOTAL   |            | 412.08m <sup>2</sup><br>(39.18%) | 4435.ft <sup>2</sup><br>(37%)                          | 389.14m <sup>2</sup><br>(22.94m <sup>2</sup> )<br>(4.59%) |

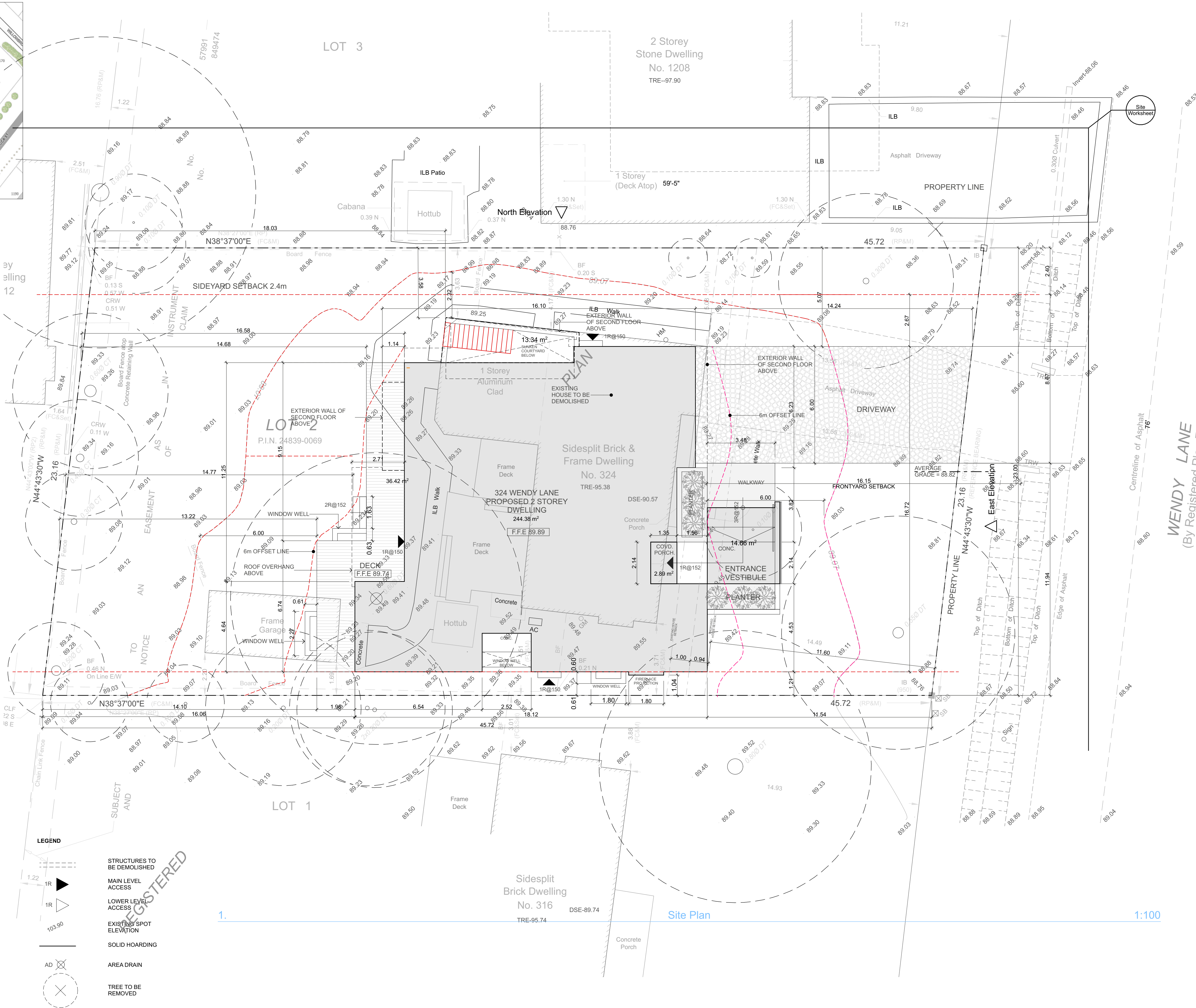
| LOT COVERAGE: 25% PERMITTED     |  |  |  |
|---------------------------------|--|--|--|
|                                 | PROPOSED   | PERMITTED  | VARIANCE   |
| DWELLING FOOTPRINT GROUND FLOOR | 244.38m <sup>2</sup> (2630.4ft <sup>2</sup> )            |  |  |
| SECOND FLOOR PROJECTIONS        | 29.17m <sup>2</sup> (313ft <sup>2</sup> )                |  |  |
| COVERED FRONT PORCH             | 6.26m <sup>2</sup> (67.38ft <sup>2</sup> )               |  |  |
| COVERED REAR DECK, BASEMENT     | 33.18m <sup>2</sup> (357ft <sup>2</sup> )                |  |  |
| TOTAL LOT COVERAGE              | 313.06m <sup>2</sup><br>3369.74 ft <sup>2</sup> (29.76%) | 262.93m <sup>2</sup> - 25%<br>2830 ft <sup>2</sup> | 539.5ft <sup>2</sup><br>(50.13m <sup>2</sup> ) 4.76% |

| SETBACKS                 |                            |                |          |
|--------------------------|----------------------------|----------------|----------|
|                          | REQUIRED                   | PROPOSED       | Variance |
| 1. FRONT YARD            | 41.20' (13.54 - 1m=12.54m) | 11.60m         | 0.94m    |
| 2. REAR YARD             | 24'-6" (7.5m)              | 16.07m         |          |
| 3. INTERIOR SIDE (North) | 7.87' (2.4m)               | 11'-9" (3.58m) |          |
| 4. INTERIOR (South)      | 2'-11" (1.2m)              | 2'-11" (1.2m)  |          |

| LANDSCAPE SOFT AREA - FRONT YARD |                |
|----------------------------------|----------------|
| FRONT YARD AREA:                 | m <sup>2</sup> |
| DRIVEWAY                         | m <sup>2</sup> |
| LANDSCAPED SOFT AREA:            | m <sup>2</sup> |

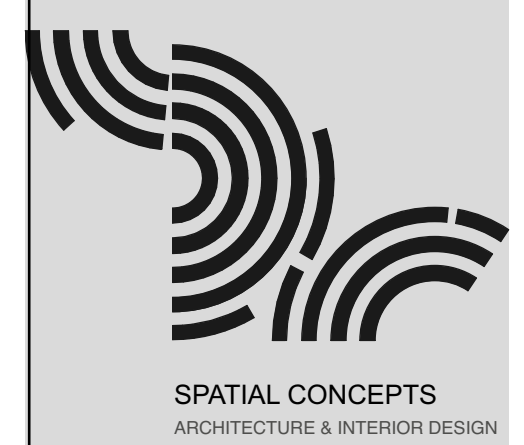
| LANDSCAPE SOFT AREA - REAR YARD |                |
|---------------------------------|----------------|
| REAR YARD AREA:                 | m <sup>2</sup> |
| LANDSCAPED SOFT AREA:           | %              |

| ESTABLISHED GRADE:                                     |       |
|--|-------|
| GRADE ELEVATION AT THE CENTER POINT OF FRONT LOT LINE: | 98.81 |
| HEIGHT - PERMITTED                                     | 9m    |



LEGEND

- STRUCTURES TO BE DEMOLISHED
- MAIN LEVEL ACCESS
- LOWER LEVEL ACCESS
- EXISTING SPOT ELEVATION
- SOLID HOARDING
- AREA DRAIN
- TREE TO BE REMOVED

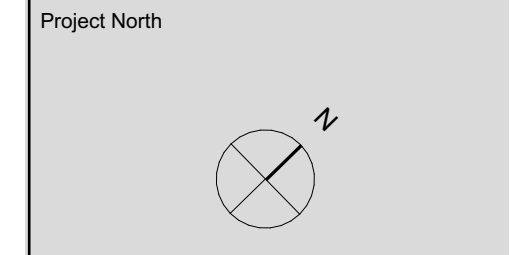


**WENDY LANE HSE**  
 324 WENDY LANE OAKVILLE, ON L5E 2M3  
 Project Number: 2237

ARCHITECT'S SEAL  
 Issued:  
 1 Conservation Halton permit 2024-08-27  
 2 Minor Variance 2024-08-30  
 3

Project Description:  
**CUSTOM SINGLE FAMILY DWELLING**

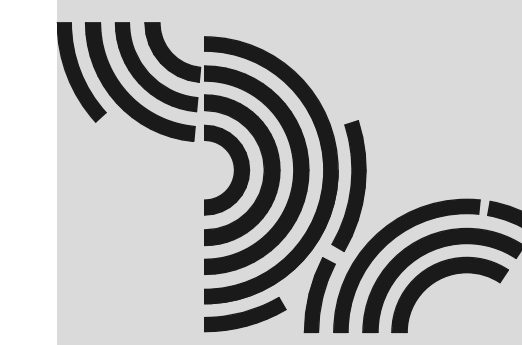
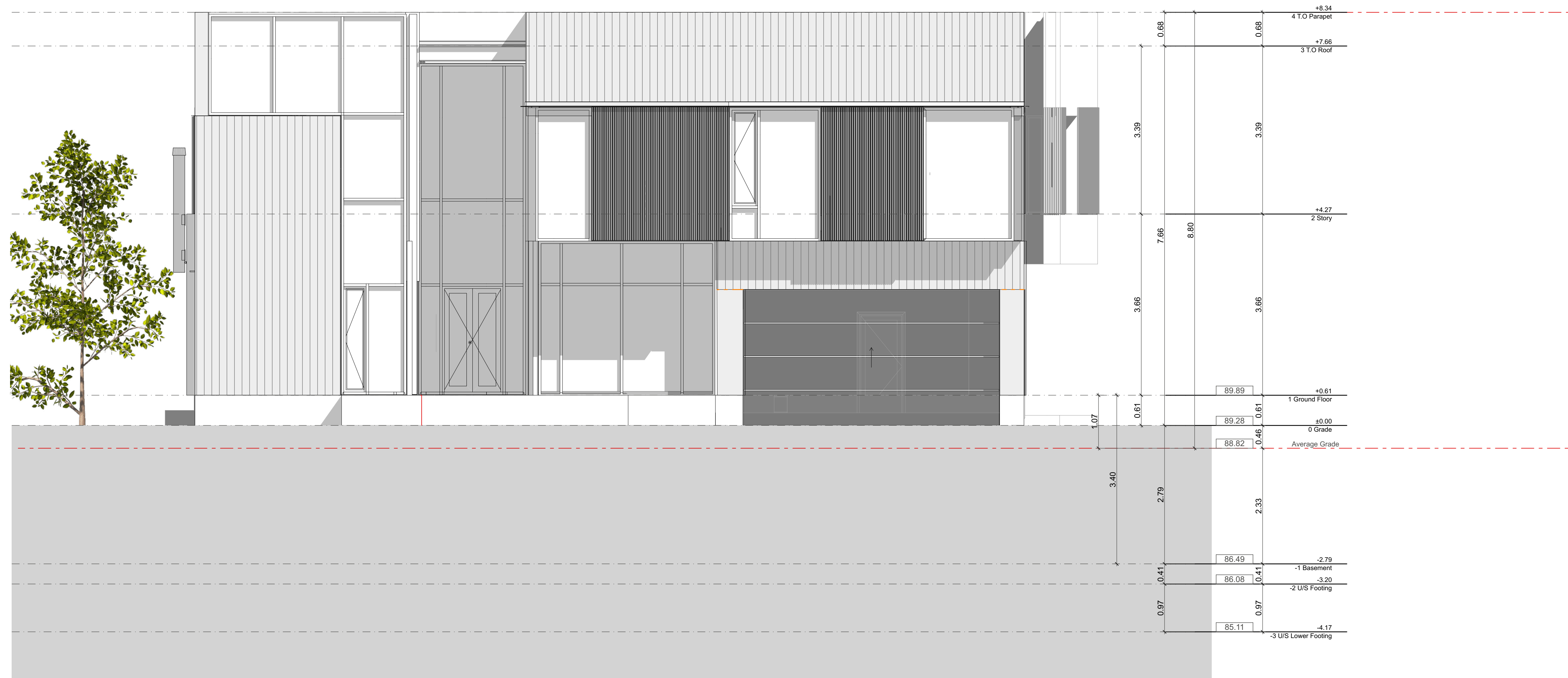
**MINOR VARIANCE**



SITE PLAN

**A0.4**  
 Sheet No. Project: 2024-09-27





SPATIAL CONCEPTS  
ARCHITECTURE & INTERIOR DESIGN

**WNEDY LANE HSE**

324 WENDY LANE OAKVILLE, ON L5E 2M3

Project Number: 2237

ARCHITECT'S SEAL

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- 1 Conservation Halton permit 2024-08-27
- 2 Minor Variance 2024-08-30
- 3 - -

Project Description:

**CUSTOM SINGLE FAMILY DWELLING**

**MINOR VARIANCE**

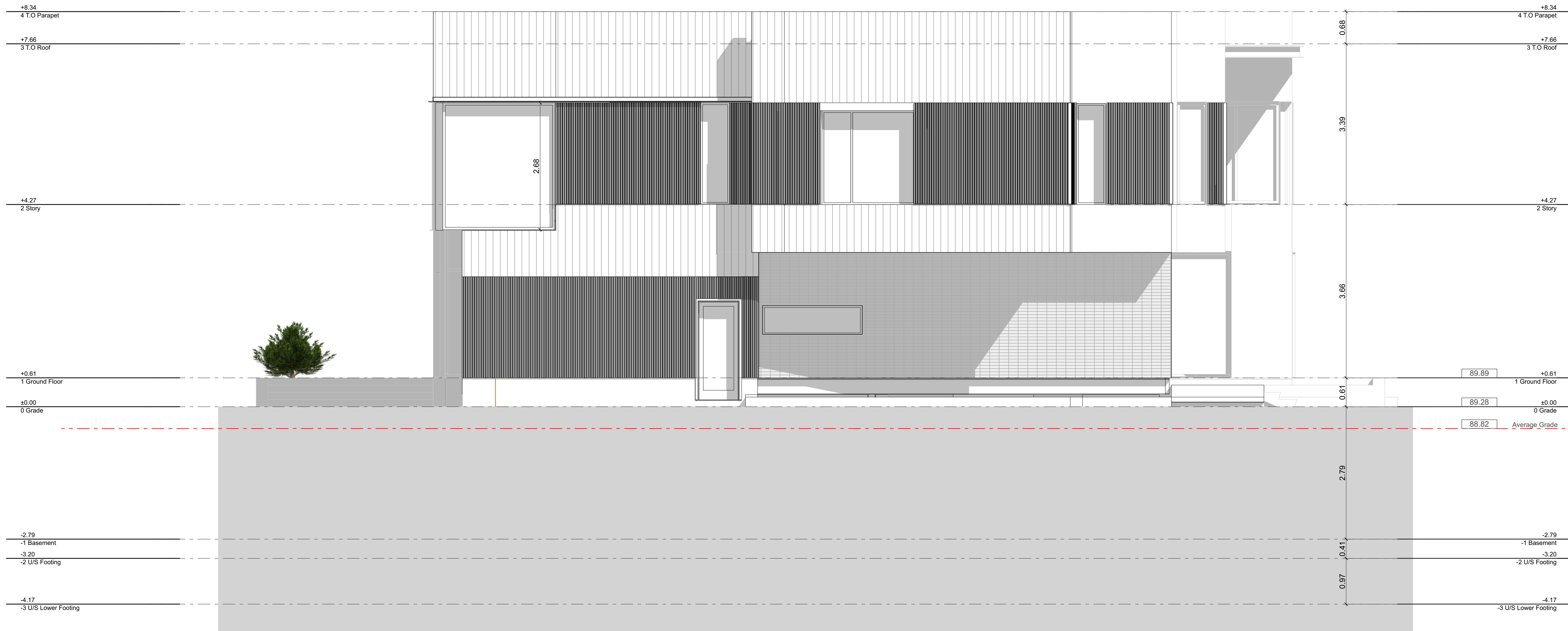
Project North



E-02 EAST ELEVATION

**A2.1**

Sheet No. Printed: 2024-09-27



SPATIAL CONCEPTS  
ARCHITECTURE & INTERIOR DESIGN

**WNEDY LANE HSE**  
324 WENDY LANE OAKVILLE, ON L5E 2M3

Project Number: 2237

ARCHITECT'S SEAL

Issued:

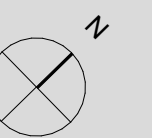
- 1 Conservation Halton permit 2024-08-27
- 2 Minor Variance 2024-06-30
- 3 -

Project Description:

**CUSTOM SINGLE FAMILY DWELLING**

**MINOR VARIANCE**

Project North



E-01 NORTH  
ELEVATION

**A2.2**

Sheet No. Printed: 2024-09-27



SPATIAL CONCEPTS  
ARCHITECTURE & INTERIOR DESIGN

WNEDY LANE HSE  
324 WENDY LANE OAKVILLE, ON L5E 2M3

Project Number: 2237

ARCHITECT'S SEAL

Issued:

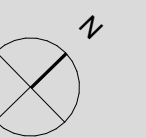
- 1 Conservation Halton permit 2024-08-27
- 2 Minor Variance 2024-06-30
- 3 - -

Project Description:

**CUSTOM SINGLE FAMILY DWELLING**

**MINOR VARIANCE**

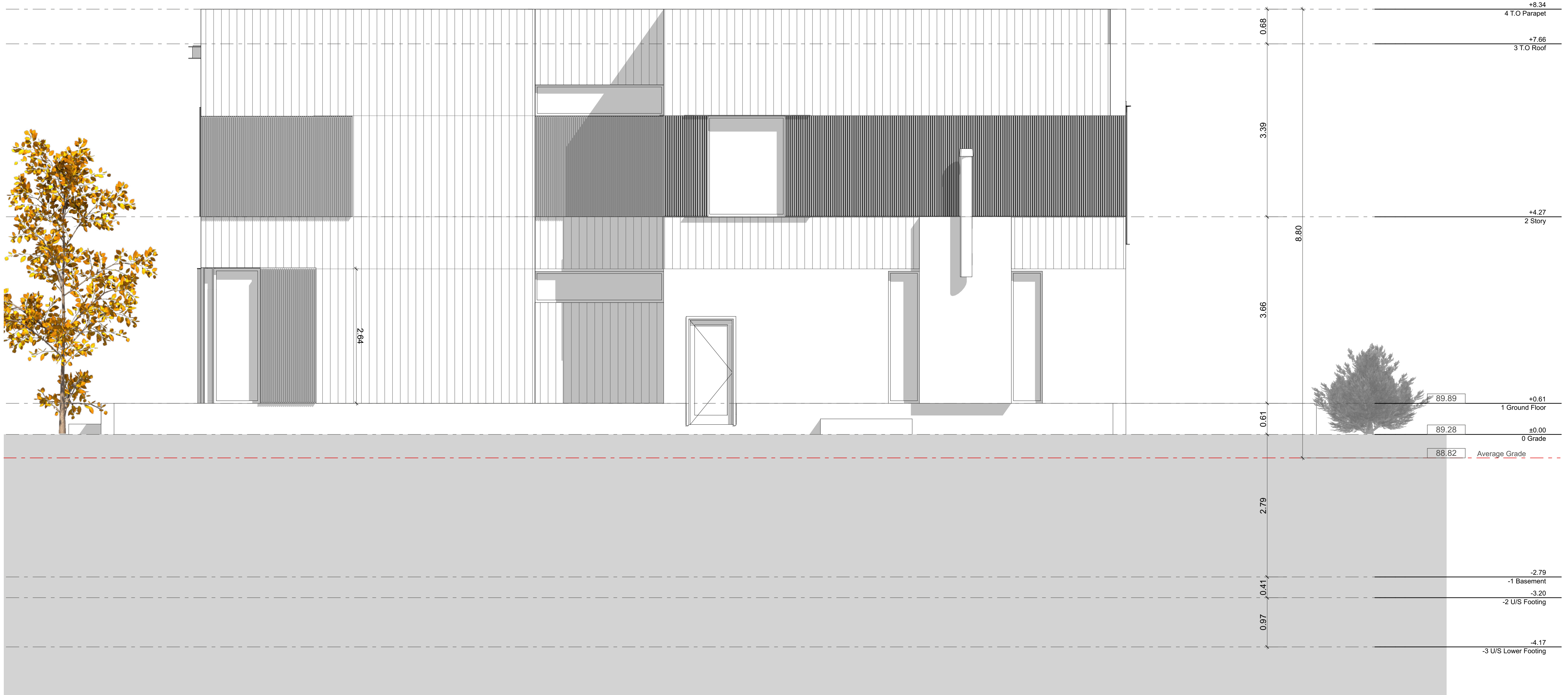
Project North



E-03 SOUTH ELEVATION

**A2.3**

Sheet No. Printed: 2024-09-27



South Elevation

1:39.95



SPATIAL CONCEPTS  
ARCHITECTURE & INTERIOR DESIGN

WNEDY LANE HSE  
324 WENDY LANE OAKVILLE, ON L5E 2M3

Project Number: 2237

ARCHITECT'S SEAL

Issued:

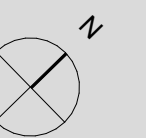
- 1 Conservation Halton permit 2024-08-27
- 2 Minor Variance 2024-06-30
- 3

Project Description:

**CUSTOM SINGLE FAMILY DWELLING**

**MINOR VARIANCE**

Project North



E-04 WEST ELEVATION

**A2.4**

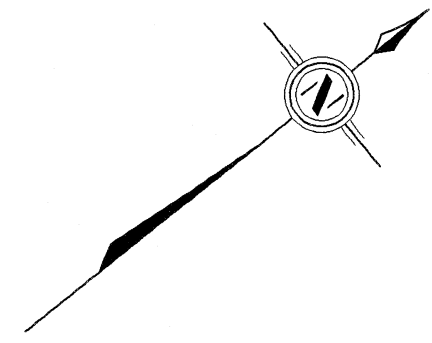
Sheet No. Printed: 2024-09-27



West Elevation

1/4" = 1'-0"





SURVEYOR'S REAL PROPERTY REPORT - PART 1  
 PLAN OF  
**LOT 2**  
**REGISTERED PLAN 716**  
**TOWN of OAKVILLE**  
 REGIONAL MUNICIPALITY OF HALTON  
 SCALE 1 : 150  
**YOUNG & YOUNG SURVEYING**  
 (ETOBICOKE 2006) INC.  
 © COPYRIGHT 2023

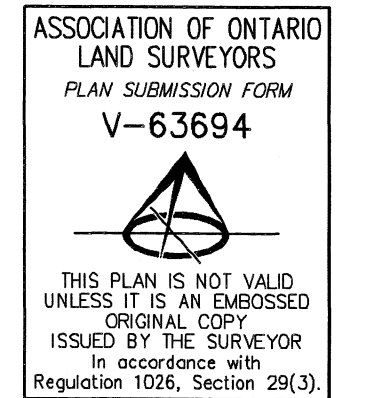
**METRIC**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**BEARING NOTE**  
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH WESTERLY LIMIT OF WENDY LANE, HAVING A BEARING OF N44°43'30"W ACCORDING TO REGISTERED PLAN 716.

**ELEVATION NOTE**  
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK NO. 152 HAVING A PUBLISHED ELEVATION OF 93.76 METRES.

**LEGEND**

|         |         |   |
|---------|---------|---|
| □       | DENOTES | SURVEY MONUMENT SET   |
| ■       | —       | SURVEY MONUMENT FOUND   |
| RP      | —       | REGISTERED PLAN 716   |
| RP2     | —       | REGISTERED PLAN 20M-144                                       |
| N,S,E,W | —       | NORTH,SOUTH,EAST,WEST   |
| M       | —       | MEASURED  |
| SIB     | —       | STANDARD IRON BAR   |
| IB      | —       | IRON BAR  |
| WT      | —       | WITNESS   |
| P.I.N.  | —       | PROPERTY IDENTIFIER NUMBER                                    |
| AC      | —       | AIR CONDITIONER   |
| ILB     | —       | INTERLOCKING BRICK  |
| CLF     | —       | CHAIN LINK FENCE  |
| BF      | —       | BOARD FENCE   |
| CRW     | —       | CONCRETE RETAINING WALL                                       |
| SB      | —       | SERVICE BOX   |
| DSE     | —       | DOORSILL ELEVATION  |
| TRE     | —       | TOP OF ROOF ELEVATION   |
| DT      | —       | DECIDUOUS TREE  |
| CT      | —       | CONIFEROUS TREE   |
| Ø       | —       | DIAMETER  |
| GM      | —       | GAS METER   |
| HM      | —       | HYDRO METER   |
| (950)   | —       | FRED G. CUNNINGHAM INC., O.L.S.                               |
| FC      | —       | PLAN BY FRED G. CUNNINGHAM INC., O.L.S. DATED MARCH 13, 1998. |



**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 7th DAY OF NOVEMBER, 2023.

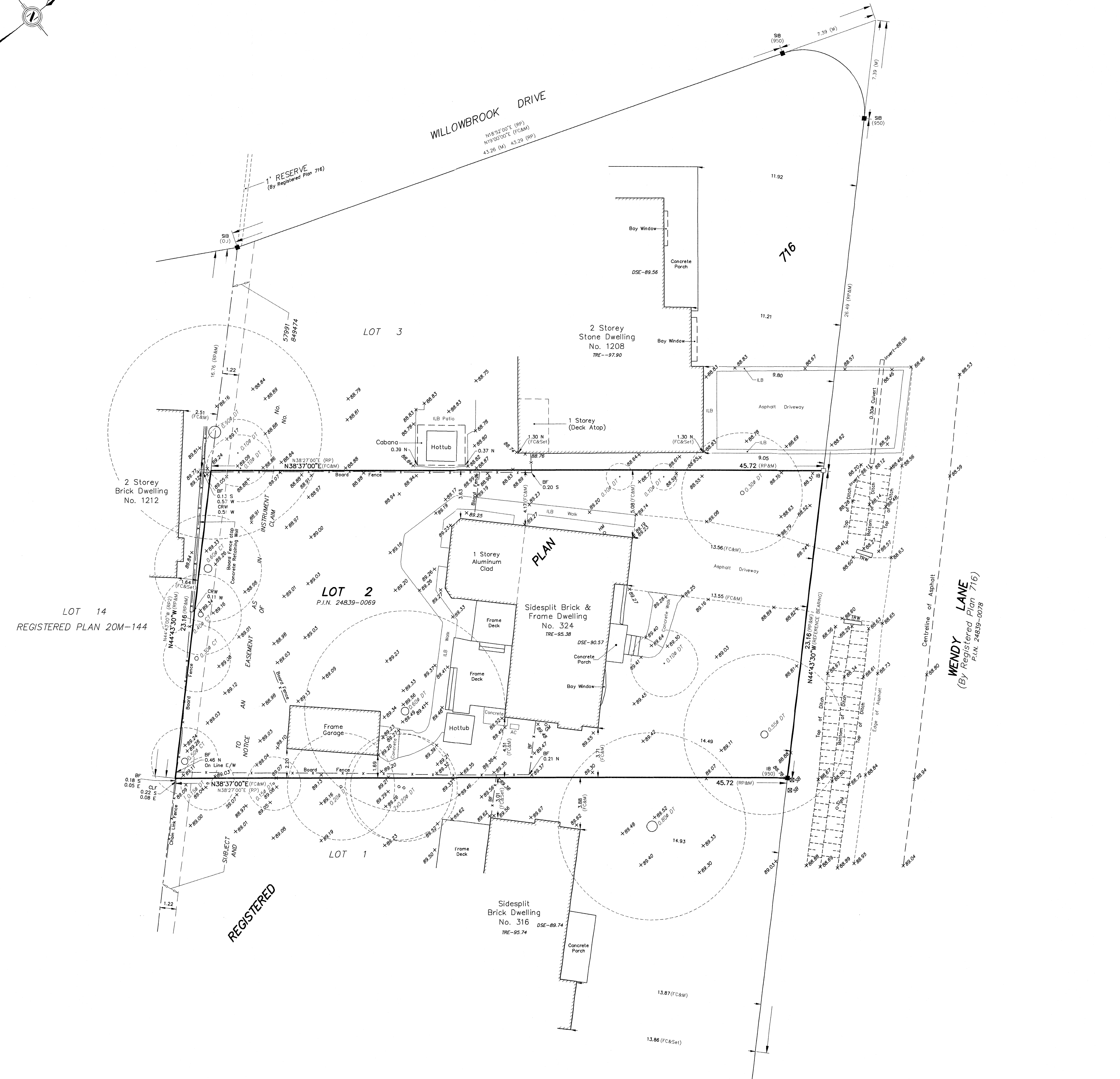
NOVEMBER 17, 2023  
 DATE  
  
 CHRIS BERESNIEMCZ  
 ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR AMIR CHAUDHRY

**PART 2 - SURVEY REPORT**  
 1) PLEASE NOTE LOCATION OF FENCES, RETAINING WALL AND OVERHEAD WIRES  
 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. 57991 AND NOTICE OF CLAIM NO. 849474  
 3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**YOUNG & YOUNG SURVEYING (ETOBICOKE 2006) INC.**  
 310 North Queen St., Unit 102, Toronto ON M5C 5K4  
 Tel: (416) 821-2676 - Fax: (416) 821-3380  
 E-MAIL: info@youngandyoung.ca

DRAWN: RJM CHECKED: C.B. PROJECT 23-111451



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/123/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

| Applicant / Owner   | Authorized Agent   | Subject Property                 |
|---------------------|--|----------------------------------|
| C. Latif<br>S. Amir | JONATHAN BENCZKOWSKI<br>SOL-ARCH<br>301 KEEWATIN AVE<br>Toronto ON, CANADA M4P 2A4 | 324 Wendy Lane<br>PLAN 716 LOT 2 |

**Zoning of Property:** RL2-0, Residential

## Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

| No. | Current   | Proposed  |
|-----|---|---|
| 1   | <i>Table 6.4.1</i><br>The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 1,022.00 m <sup>2</sup> and 1,114.99 m <sup>2</sup> shall be 37%.                             | To increase the maximum residential floor area ratio to 39.18%. |
| 2   | <i>Table 6.4.2 (Row RL2, Column 3)</i><br>The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height.   | To increase the maximum lot coverage to 29.76%.                 |
| 3   | <i>Section 6.4.3 (a)</i><br>The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 12.5 metres. | To reduce the minimum front yard to 11.60 metres.               |

**How do I participate if I have comments or concerns?**

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

### **Contact information:**

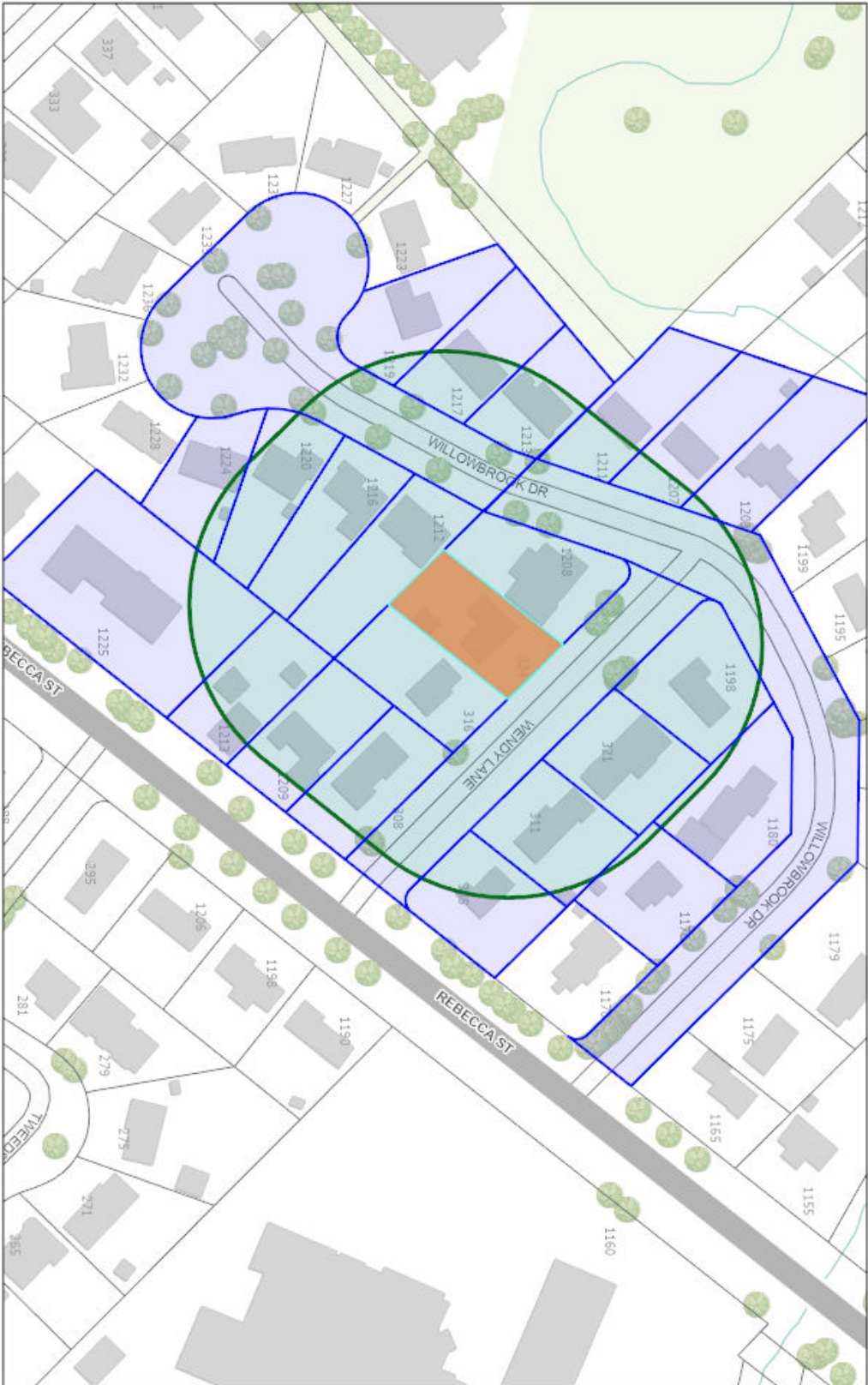
Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

### **Date mailed:**

October 29, 2024



# CAV A/123/224 - 324 Wendy Lane



10/23/2024, 9:12:39 AM

Ownership

Wards

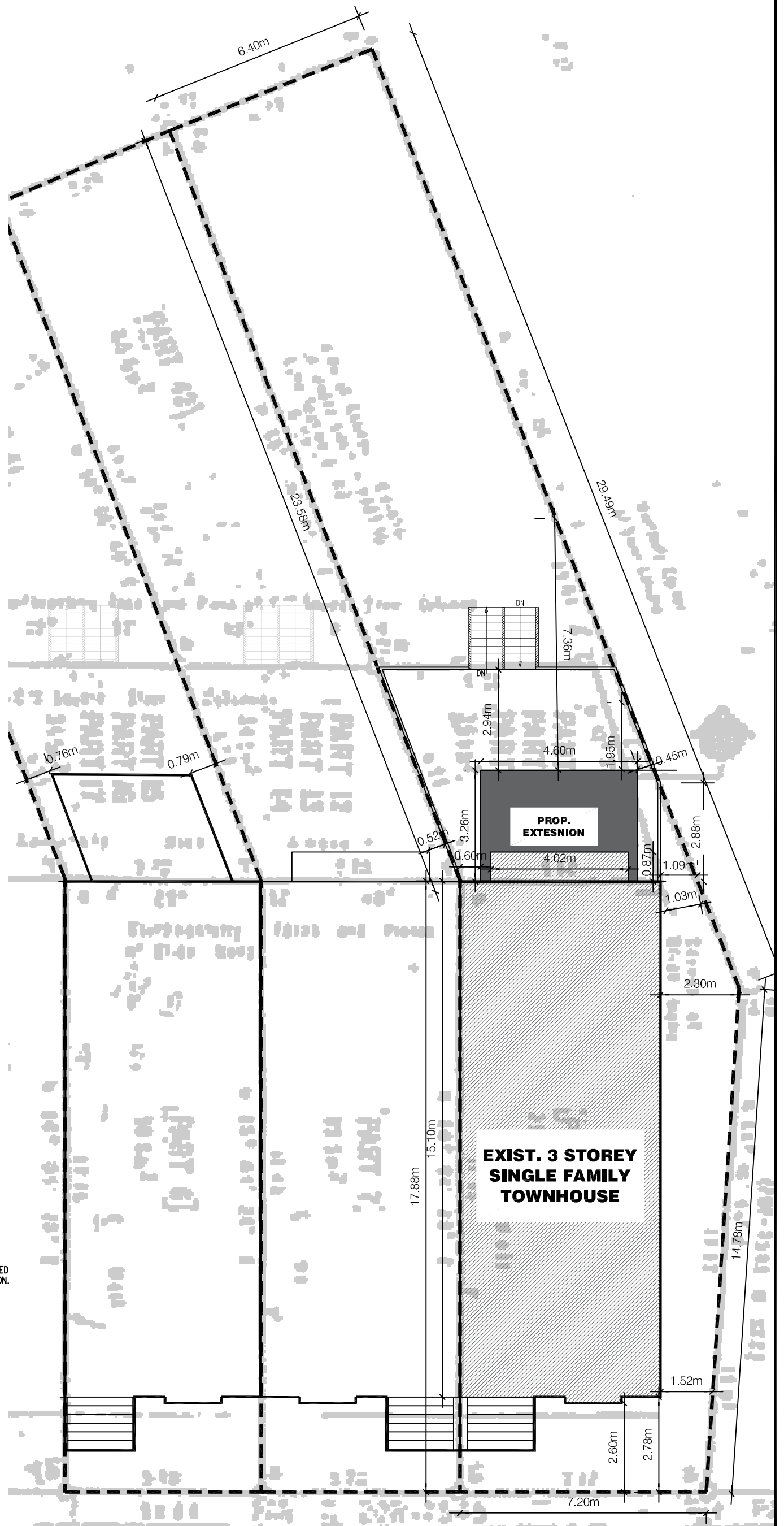
Applicant Name Address



Town of Oakville  
2021 Town of Oakville

# STATISTICS

|                  |             |
|------------------|-------------|
| LOT AREA         | 296.8 SQ. M |
| TOTAL EXIST. GFA | 235.4 SQ. M |
| PROP. ADDED GFA  | 11.6 SQ. M  |
| PROPOSED GFA     | 247.0 SQ. M |

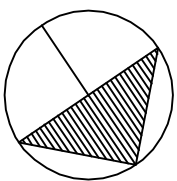


**FORSYTHE STREET**

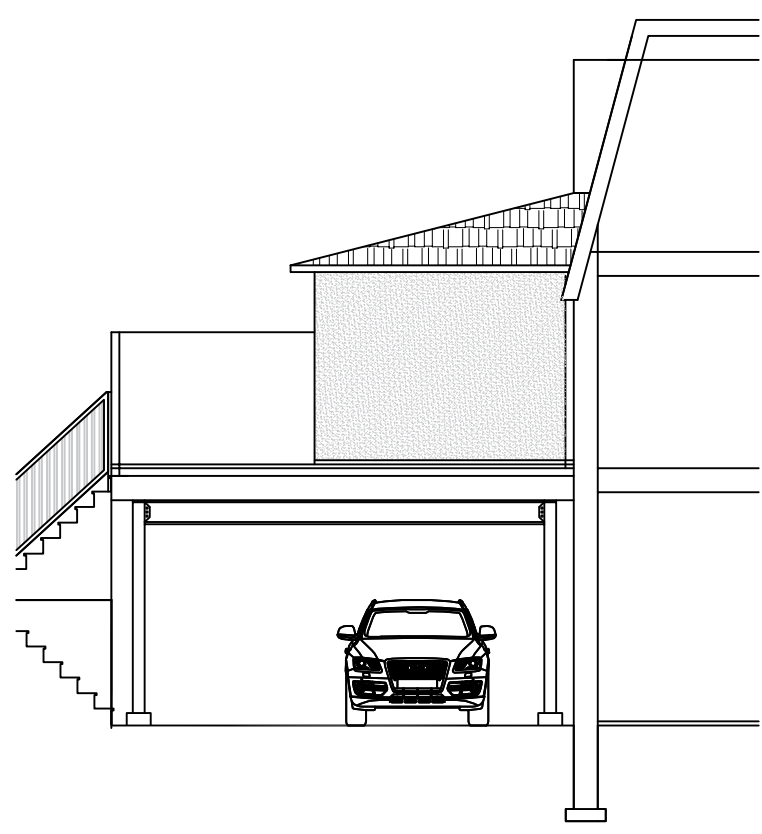
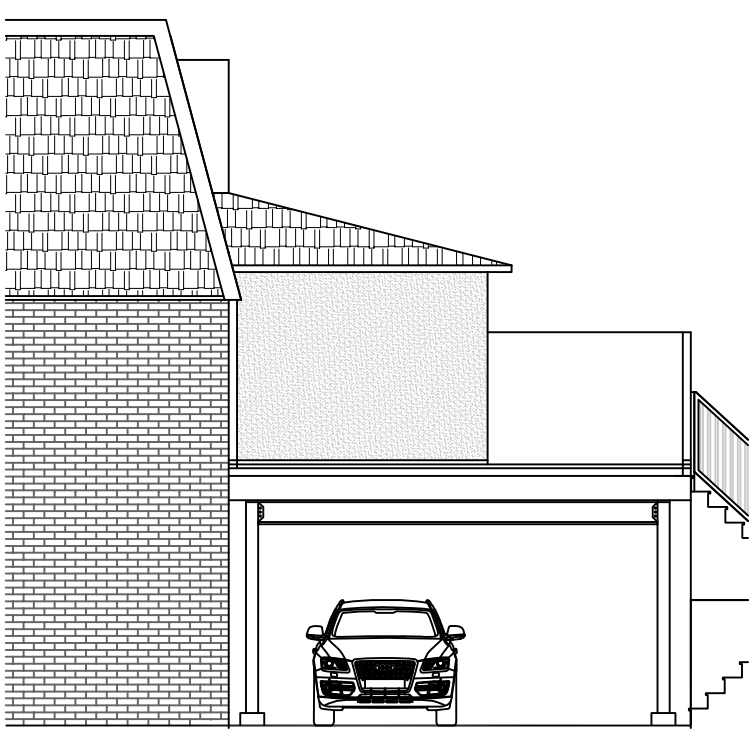
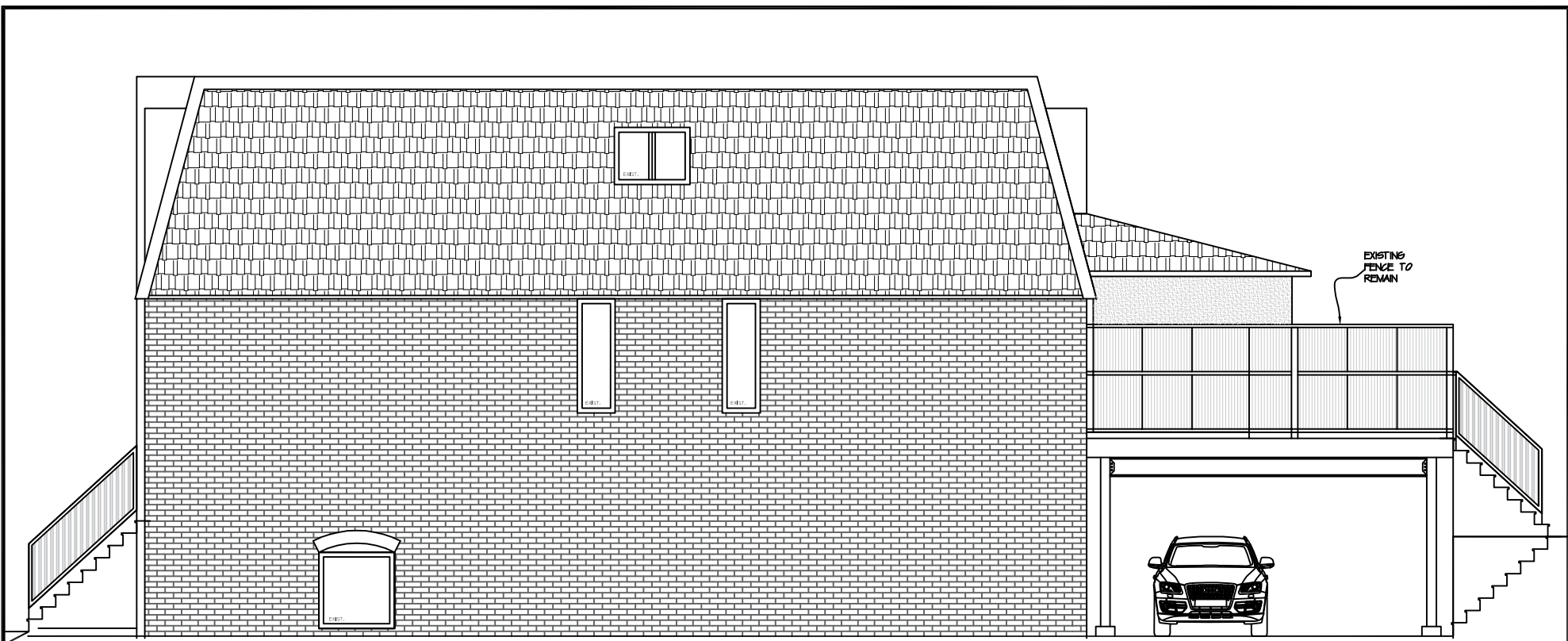
## GENERAL NOTES:

- FEATURE OF CONSTRUCTION NOT FULLY SHOWN ARE TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING, NO PROVISION HAS BEEN MADE ON THE DRAWINGS FOR CONDITIONS OCCURRING DURING CONSTRUCTION.
- THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESS AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT RESPONSIBILITY FOR SUCH MEASURES. IT SHALL ALSO BE RESPONSIBILITY OF CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING AND SHEET PILING OR OTHER TEMPORARY SUPPORT TO SAFEGUARD EXISTING OR ADJACENT STRUCTURES AFFECTED BY THE WORK

CONSTRUCTION NORTH

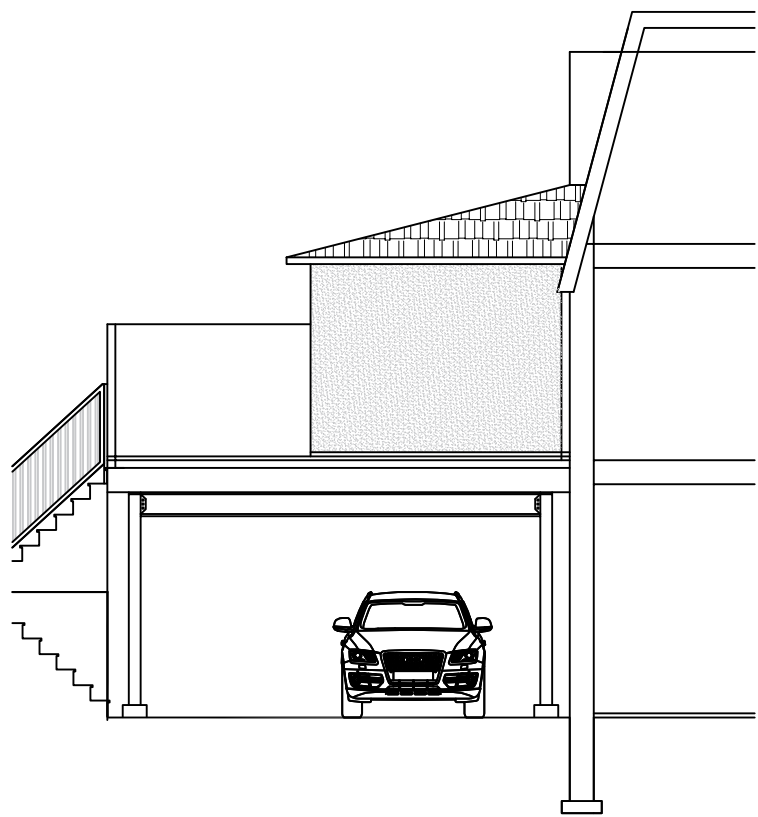
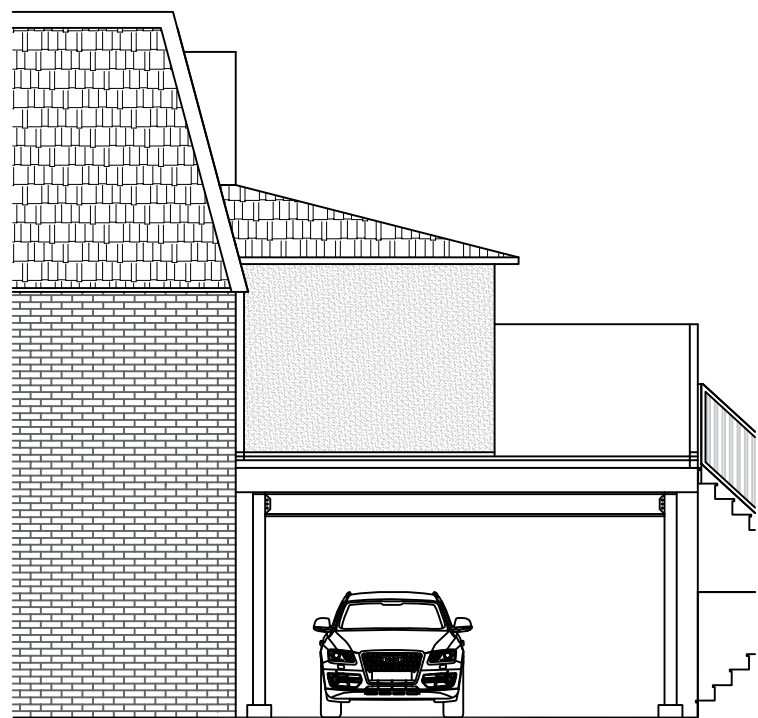
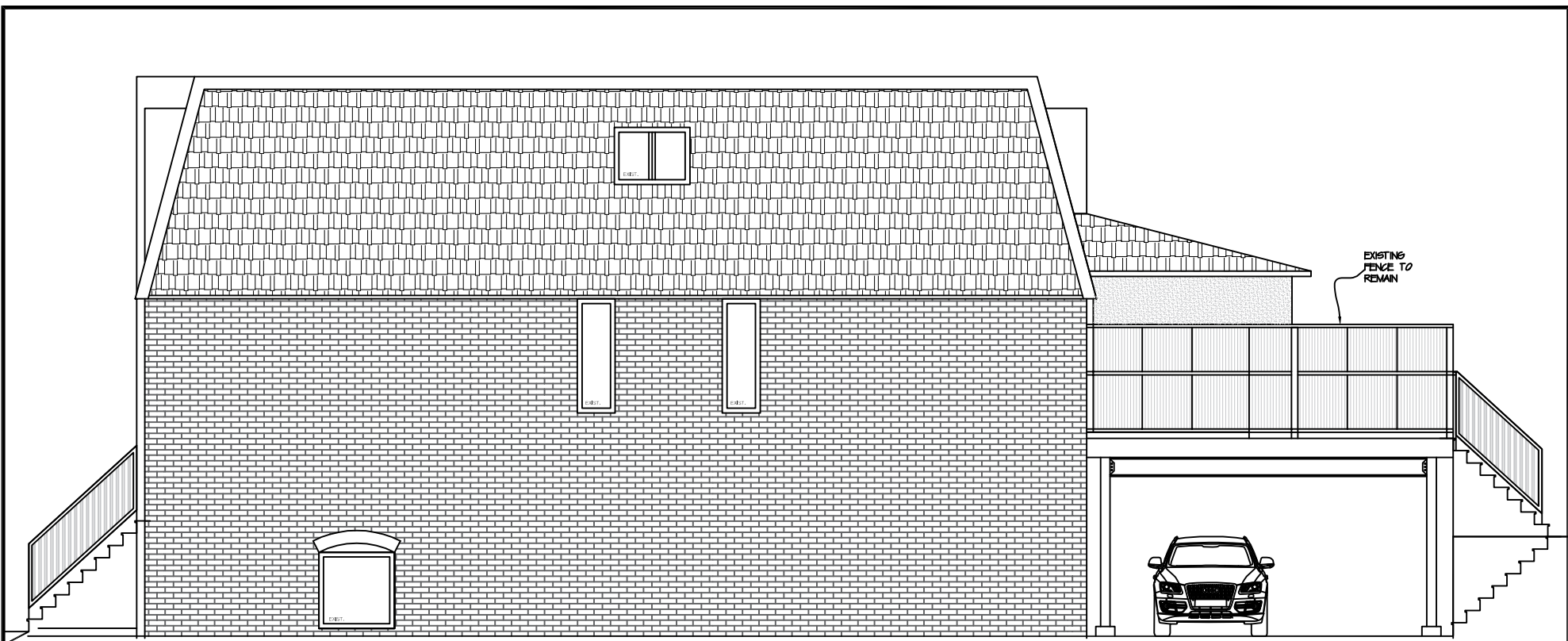


|                             |   |  |  |   |
|-----------------------------|---|--|--|---|
| DRAWING NO.<br><b>A1</b>    | DRAWING TITLE<br><b>SITE PLAN</b>   | <small>CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED.</small> |  |   |
| DRAWN BY<br>MIB             | PROJECT ADDRESS<br><b>HOME RENOVATION<br/>92 FORSYTHE STREET<br/>OAKVILLE, ON</b> |  |  |   |
| SCALE<br>1:125              |   |  |  | <small>1048 BROADVIEW AVENUE UNIT 604<br/>TORONTO ONTARIO M2N 0B9<br/>TEL (416) 579-1791 FAX (416) 630-5714</small> |
| DATE<br>OCT 11 /22          |   |  |  |   |
| PROJECT NO.<br><b>22-08</b> |   |  |  |   |



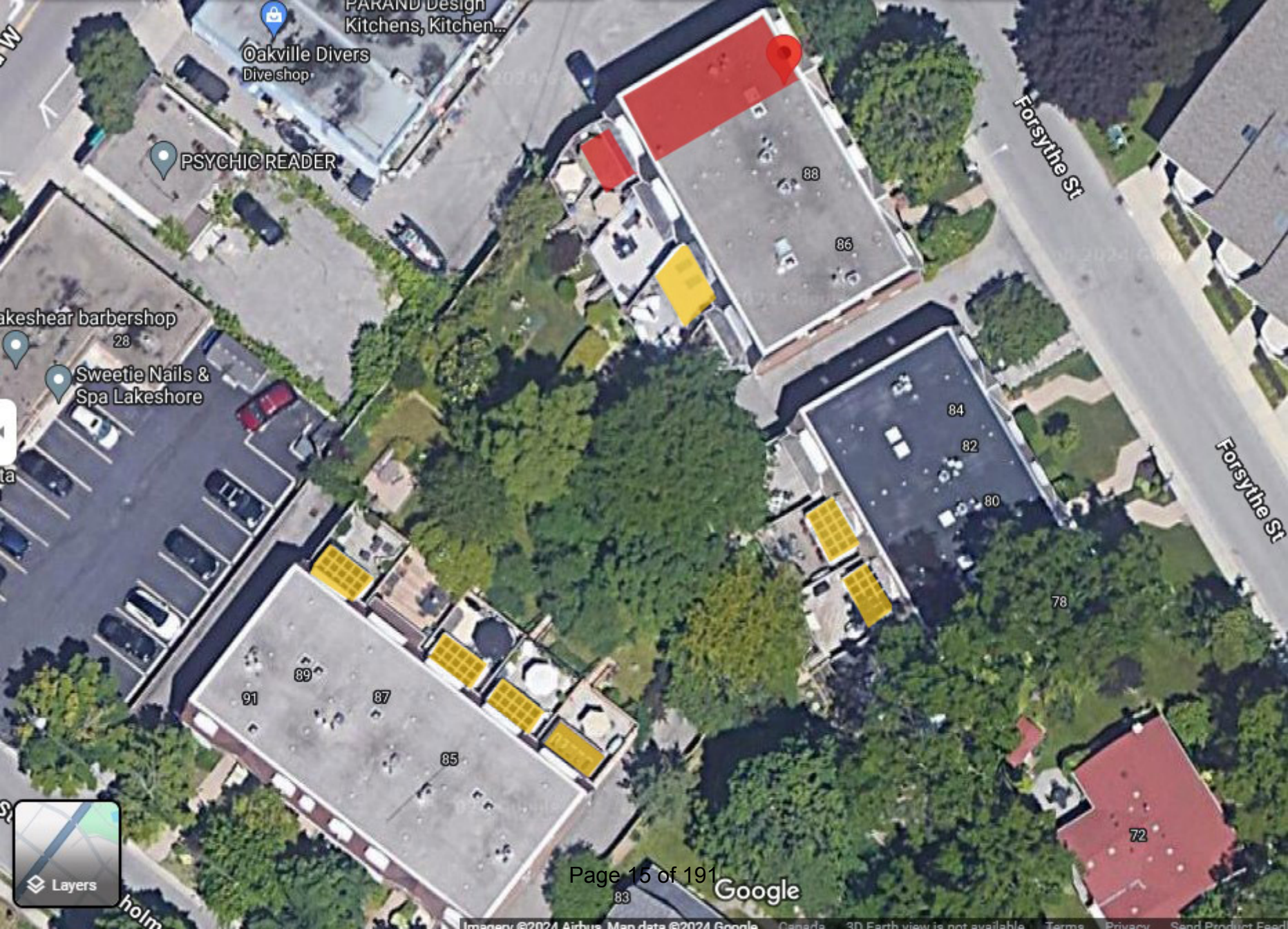
|                             |   |   |  |  |
|-----------------------------|---|---|--|--|
| DRAWING NO.<br><b>A5</b>    | DRAWING TITLE<br><b>PROPOSED ELEVATIONS</b> | CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. |  |  |
| DRAWN BY<br>MIB             | PROJECT ADDRESS                             |   |  |  |
| SCALE<br>3/16" : 1'         | <b>ADDITION AND RENOVATION</b>              |   |  |  |
| DATE<br>OCT 11 /22          | <b>92 FORSYTHE STREET OAKVILLE, ON</b>      |   |  |  |
| PROJECT NO.<br><b>22-08</b> |   | 1 NOV. -/22 ISSUED FOR BUILDING PERMIT<br>No. Date Page 13 of 191   |  | 1048 BROADVIEW AVENUE UNIT 604<br>TORONTO ONTARIO M2N 0B9<br>TEL (416) 579-1791 FAX (416) 630-5714 |





|                             |   |   |  |  |
|-----------------------------|---|---|--|--|
| DRAWING NO.<br><b>A5</b>    | DRAWING TITLE<br><b>PROPOSED ELEVATIONS</b> | CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. |  |  |
| DRAWN BY<br>MIB             | PROJECT ADDRESS                             |   |  |  |
| SCALE<br>3/16" : 1'         | <b>ADDITION AND RENOVATION</b>              |   |  |  |
| DATE<br>OCT 11 /22          | <b>92 FORSYTHE STREET</b>                   |   |  |  |
| PROJECT NO.<br><b>22-08</b> | <b>OAKVILLE, ON</b>                         | 1 NOV. - /22 ISSUED FOR BUILDING PERMIT<br>No. Date Page 14 of 191  |  | 1048 BROADVIEW AVENUE UNIT 604<br>TORONTO ONTARIO M2N 0B9<br>TEL (416) 579-1791 FAX (416) 630-5714 |





Oakville Divers Dive shop

PSYCHIC READER

akeshear barbershop 28

Sweetie Nails & Spa Lakeshore

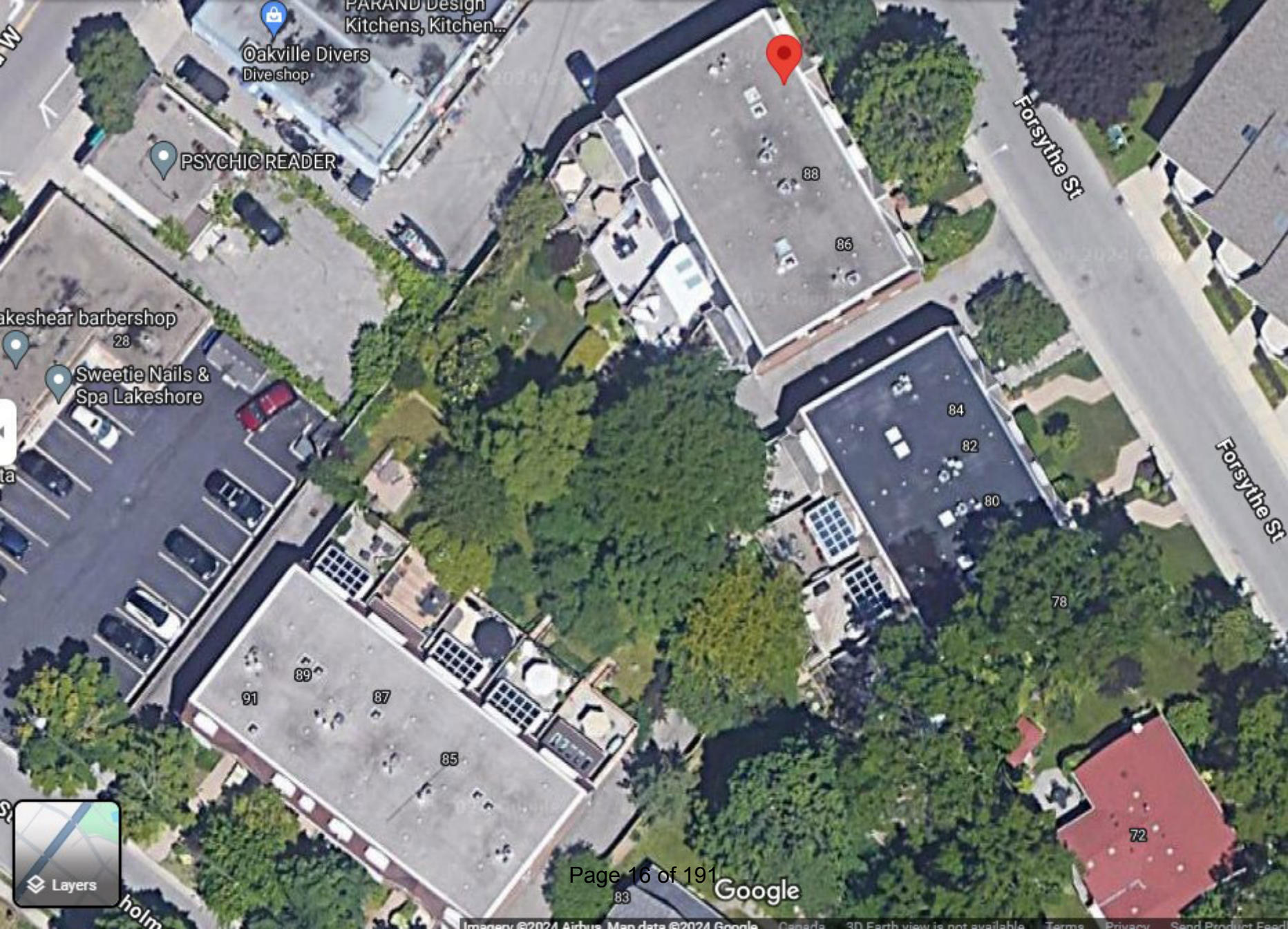
Layers

PARAND Design Kitchens, Kitchen...

Forsythe St

Forsythe St





Oakville Divers Dive shop

PSYCHIC READER

akeshear barbershop 28

Sweetie Nails & Spa Lakeshore

Layers

PARAND Design Kitchens, Kitchen...

Forsythe St

Forsythe St

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/154/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

| Applicant / Owner | Authorized Agent  | Subject Property  |
|-------------------|---|---|
| L. Forsyth        | Michael Baytman<br>Michael I. Baytman, Architect<br>1048 Broadview Ave Unit 604<br>Toronto ON, CANADA M4K 2B8 | 92 Forsythe St<br>PLAN 1 BLK 67 PT LOTS 7,8 RP<br>20R8497 PARTS 8,9,10,11 |

**Zoning of property:** RM1 sp 148, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit a one storey rear addition to the existing dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

| No. | Current   | Proposed  |
|-----|---|---|
| 1   | Table 6.3.8 (Row 5, Column RM1)<br>The minimum interior side yard shall be 1.2 m. | To reduce the minimum northerly interior side yard to 0.45 m. |

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.



Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

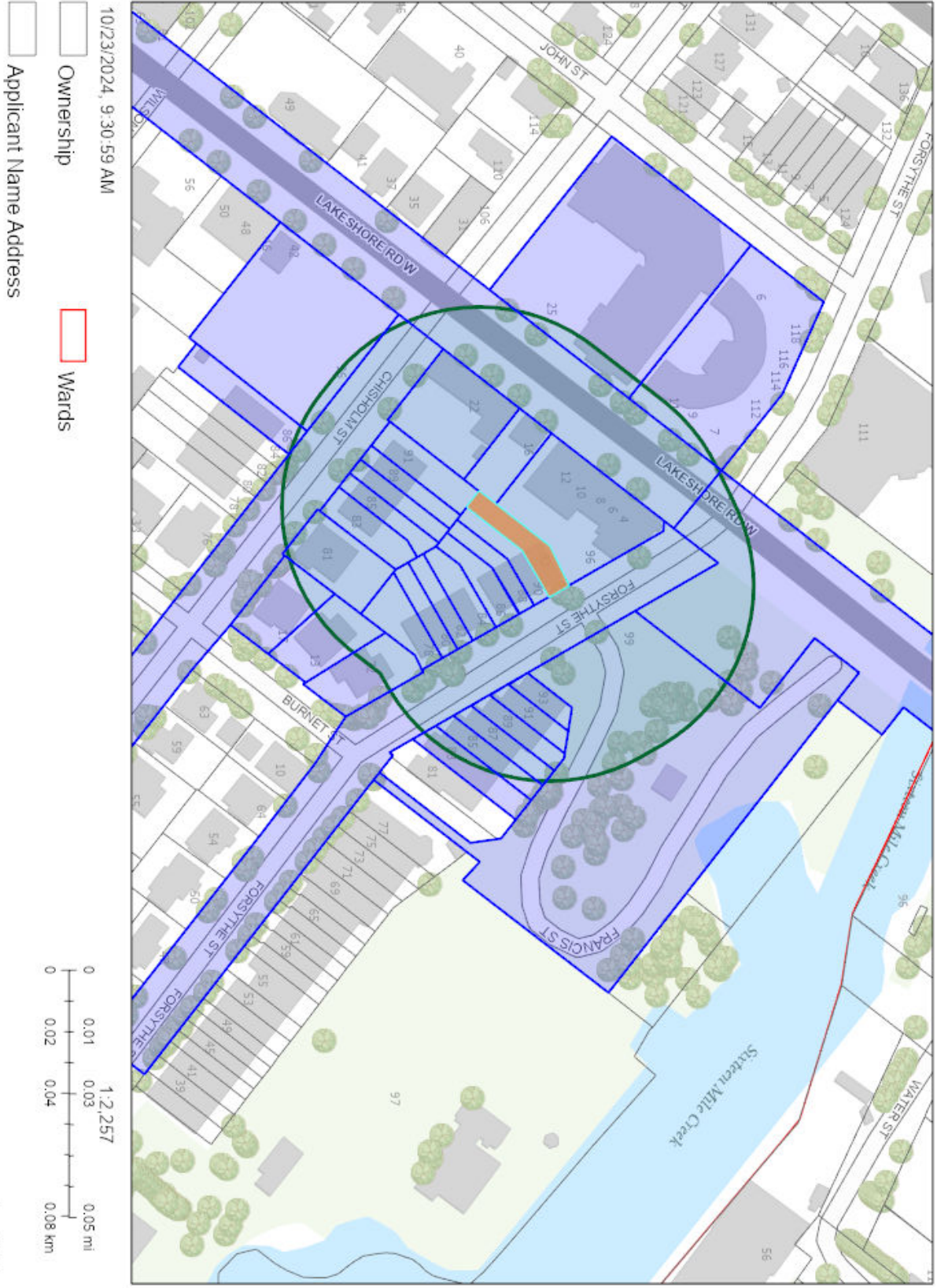
Jennifer Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

October 29, 2024



# CAV A/154/2024 - 92 Forsythe Street



October 15, 2024

# ROSS DEFINA CONSULTING

Town of Oakville  
1225 Trafalgar Road  
Oakville, On. L6H 0H3

Attention: Secretary-Treasurer, Committee of Adjustment, Town of Oakville.

**Re: Minor Variance Applications Cover Letter for:**  
1238 Donlea Crescent, Oakville, On. L6J 1V7

---

Ross Defina Consulting has been retained by the owner to apply for minor variance relief to construct a new two storey single-family home.

The subject property is located at 1238 Donlea Crescent, Oakville, On. L6J 1V7.

Lot #15, Registered Plan 805. The property possess a frontage of 35.52m along Donlea Crescent and comprise an area of 1,392.9 m<sup>2</sup>. The land is currently designated '*Single Family Residential (Group C)*' and zoned Residential RL1-0, with an existing single storey detached dwelling and garage currently located on the lands.

The purpose of the subject applications is to obtain relief for a total of five (4) minor variances as follows.

1. 6.4.1, Floor Space Index: allowable 29%, proposed 32.6%.
2. 5.8.6(c), Garage Floor Aera: allowable 56.0m<sup>2</sup>, proposed 60.84m<sup>2</sup>.
3. 6.3.1, Front Yard Setback: min. allowable 10.5m, proposed 7.6m.
4. 6.3.1, Rear Yard Setback: min. allowable 10.5m, existing (to remain) 9.7m.

We are proposing a Floor Space Index increase of 3.6%, spread over two floors which we believe to be a reasonable and fair request and minor in nature.

The garage floor area increase is needed to help meet the owner's needs for both indoor parking and general storage. Conservation Halton (CH) will not allow any structures to be constructed within the 6.0m setback from the floodplain and stable top of bank. This limits the owner's options to reasonable storage facilities. The garage is the logical best.

Effort was made to best integrate the desired building design with the irregular geometry of the front property lot line and the rear yard natural features. The building design beginning at the west side has been stepped back toward the east side such that adjacent neighbours are unobstructed. The front yard setbacks related to the minor variance relief are specific to encroaching building corners of the proposed dwelling. Further the proposed building plains are non-monolithic and the building height street facing is transitioned through the use of projections and recesses. This serves to create a sense of openness and removes any visible concerns typically associated with reduced front yard setbacks. These protruding corners vary in setback 7.6m at the easterly open entry porch corner, 8.6m at the south east living room corner and 9.8m at the garage east corner. Stepped building face segments with small portion encroachments into the front yard setback further supported by non-monolithic forms keep the majority of the building setback 10.5m posing no visual disruption nor negative impact to the balance within the neighbourhood.

The rear yard setback is based on keeping a significant portion of the existing basement foundation walls. The rear yard setback of 9.7m is an existing condition to remain and not a new proposal. Conservation Halton (CH) suggested that maintaining the existing foundation to help facilitate outdoor living space may have potential to meet CH policies. They recommended that we proceed with a minor variance application prior to applying for a CH permit.

The proposed development will not impact natural areas or features, provides orderly development to adjacent land uses, increases opportunities for more sustainably and energy efficiency, and is appropriately located within a greater residential area.

Economic development and competitiveness are priorities as reflected in all levels of Planning policy. The proposed development will result in increased choice and better housing standards. The subject applications aim to stimulate and revitalize through the integration of new residential development addressing changing social and demographic market demands.

The proposal is in keeping with orderly development of safe and healthy communities, supports the protection of natural areas and features, is in an appropriate location of growth and development, promotes the efficient use and conservation of energy and water and represents the bases for good design practices.

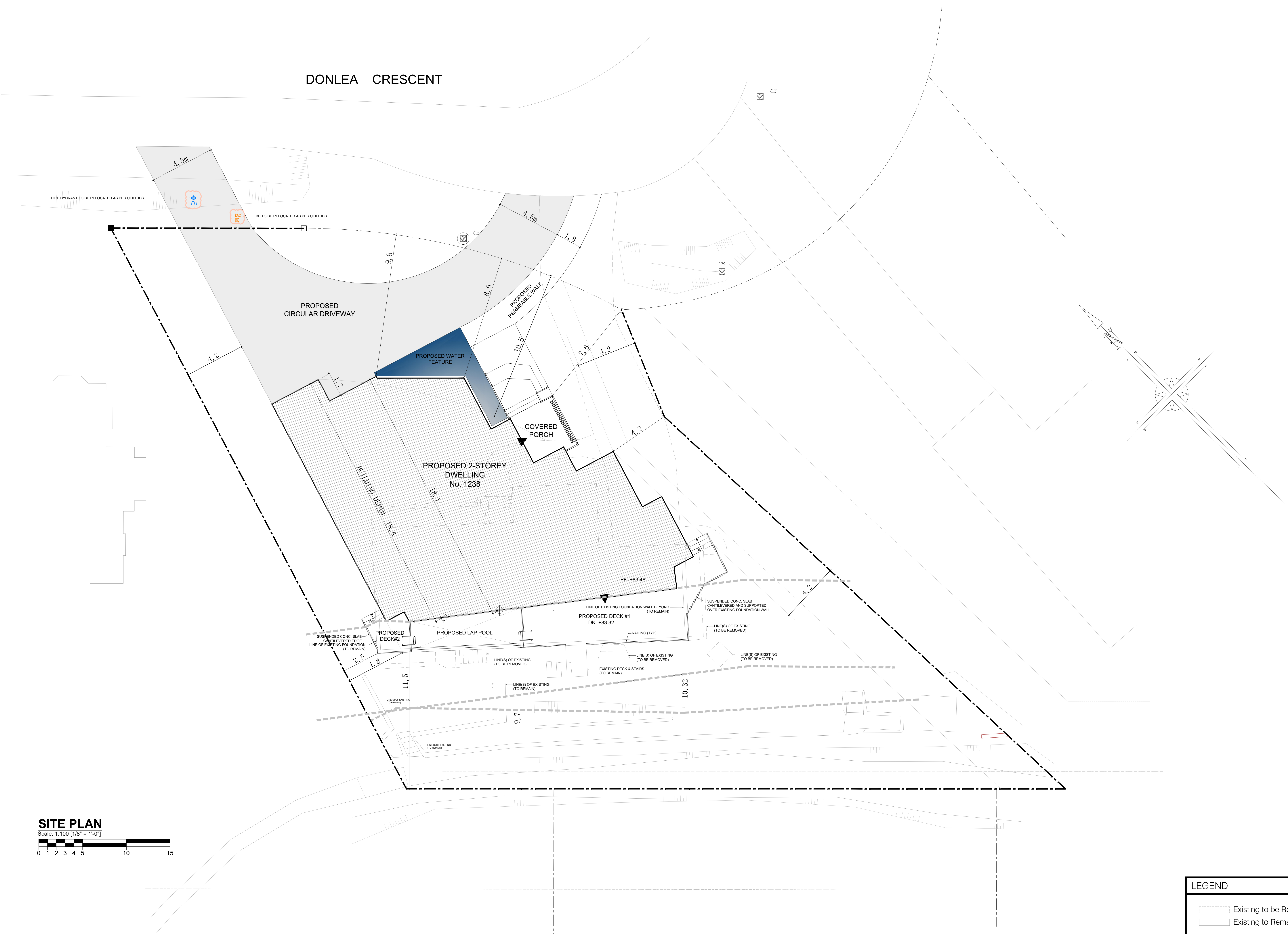
The justification for the approval of the minor variance application is based on the conformity with the goals and objectives of the Planning Act, Provincial Policy Statement, Provincial Growth Plan and the Town of Oakville Official Plan.

Respectfully submitted,  
**ROSS DEFINA CONSULTING**





DONLEA CRESCENT



**SITE PLAN**

Scale: 1:100 (1/8" = 1'-0")



**Site Data/Information**

|  |                                    |
|--|------------------------------------|
| TOWN OF EAST GWILMBURY BY-LAW 2019-043 |                                    |
| BUILDING ADDRESS                       | 1238, DONLEA CRES., OAKVILLE, ONT. |
| LOT NO.                                | 15                                 |
| REGISTERED PLAN                        | 805                                |
| ZONING CLASSIFICATION                  | RS-10                              |
| ESTABLISHED GRADE                      | +81.93 m                           |

|                         | ACTUAL                        | ALLOWABLE | COMMENTS  |
|-------------------------|-------------------------------|-----------|-----------|
| LOT AREA                | 1,392.9 m <sup>2</sup>        |           |           |
| LOT FRONTAGE            | 35.52m                        |           |           |
| LOT COVERAGE            | 328.05m <sup>2</sup> or 23.6% | 25%       | OK        |
| FLOOR SPACE INDEX (FSI) | 454.7m <sup>2</sup> or 32.6%  | 29%       | 3.6% OVER |

**MAIN HOUSE**

|                     |                      |                     |                          |
|---------------------|----------------------|---------------------|--------------------------|
| MAIN FLOOR AREA     | 242.6 m <sup>2</sup> |                     |                          |
| UPPER FLOOR AREA    | 212.1 m <sup>2</sup> |                     |                          |
| TOTAL GFA           | 453.0 m <sup>2</sup> |                     |                          |
| BASEMENT FLOOR AREA | 316.5 m <sup>2</sup> |                     |                          |
| GARAGE FLOOR AREA   | 60.84 m <sup>2</sup> | 56.0 m <sup>2</sup> | 4.84 m <sup>2</sup> OVER |
| COVERED PORCH AREA  | 11.62 m <sup>2</sup> |                     | MAIN ENTRY               |
| CONCRETE DECK #1    | 47.5 m <sup>2</sup>  |                     | REAR YARD                |
| CONCRETE DECK #2    | 7.0 m <sup>2</sup>   |                     | REAR YARD                |

|                   |         |         |                          |
|-------------------|---------|---------|--------------------------|
| FRONT YARD (N)    | 7.6 m   | 10.5 m  | 2.9 m UNDER              |
| SIDE YARD (E)     | 4.2 m   | 4.2 m   |                          |
| SIDE YARD (W)     | 4.2 m   | 4.2 m   |                          |
| REAR YARD (S)     | 9.7 m   | 10.5 m  | 0.8 m <sup>2</sup> UNDER |
| BUILDING HEIGHT   | 9.0 m   | 9.0 m   |                          |
| NUMBER OF STOREYS | TWO (2) | TWO (2) |                          |



|   |  |  |  |
|---|--|--|--|
| 7 |  |  |  |
| 6 |  |  |  |
| 5 |  |  |  |
| 4 |  |  |  |
| 3 |  |  |  |
| 2 |  |  |  |
| 1 |  |  |  |

| No. | Description | Date | By |
|-----|-------------|------|----|
|     |             |      |    |

**Revisions:**

| ENGINEERING DESIGN CRITERIA                                      |          |  |        |
|--|----------|--|--------|
| <b>ROOF LOADS</b>  |          |  |        |
| Ground Snow Load   | 23.0 Psf |  | 40 Psf |
| Dead Load  | 15 Psf   |  | 18 Psf |
| Rain Load  | 8.35 Psf |  |        |
| NOTE: Hourly Wind Pressure (q <sub>h</sub> )= 9.2 psf (0.44 kPa) |          |  |        |

Project Site: #1238 DONLEA CRS., OAKVILLE, ON.

OWNER: LACABAN DEVELOPMENTS INC.

Date: OCT. 7, 2024 Scale: as shown Job #: 0524-017

**PROPOSED CONCEPTUAL SITE PLAN**

Note: Contractor to verify all dimensions before construction begins. Any errors or omissions must be reported to the home owner prior to construction. (DO NOT SCALE DRAWINGS)

Drawn By: \_\_\_\_\_ Checked by: \_\_\_\_\_

Page: **A100**

**LEGEND**

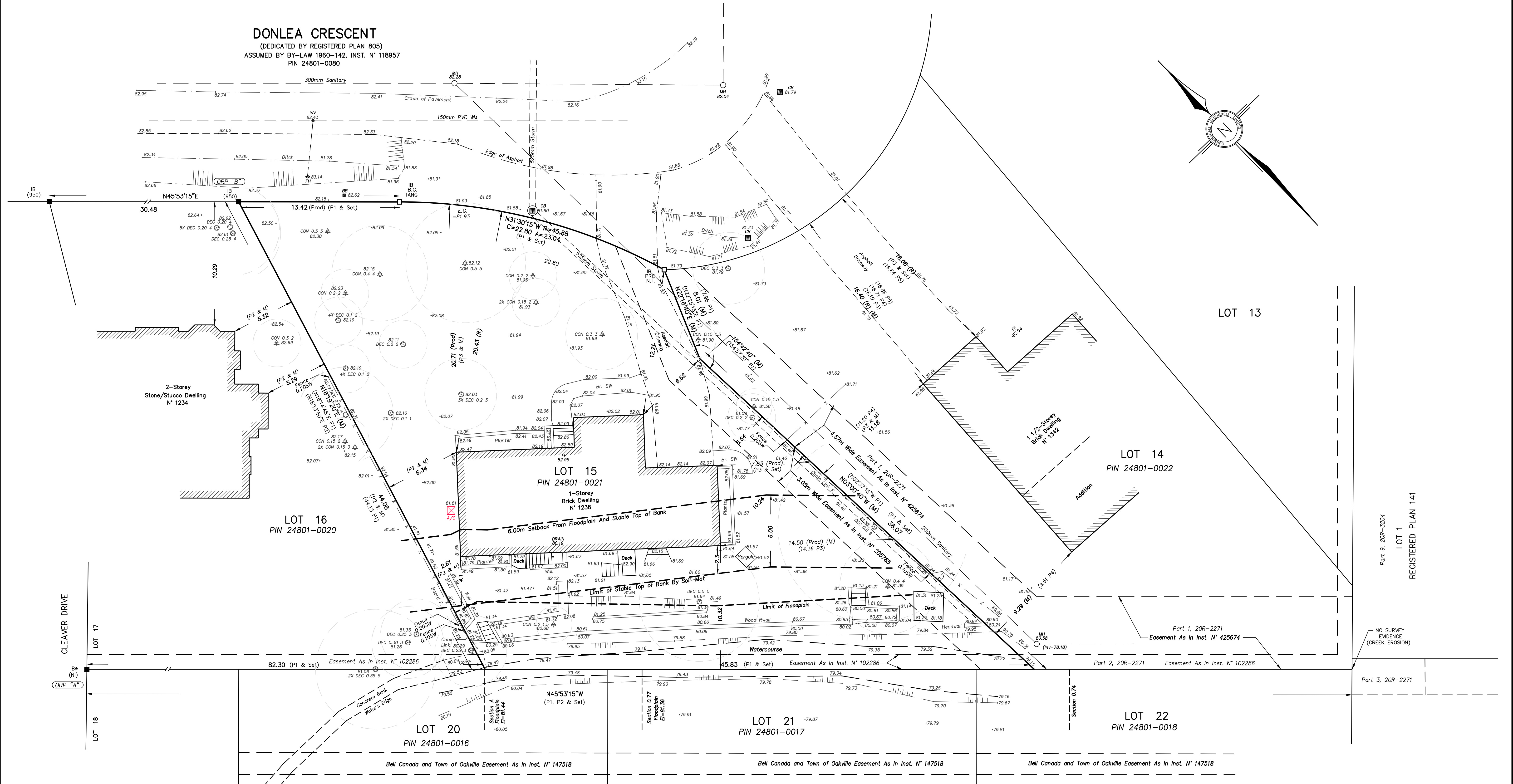
- Existing to be Removed
- Existing to Remain
- New Proposed Dwelling

**ABBREVIATIONS & SYMBOLS**

|      |  |      |                                       |          |                                     |      |                                    |      |                                |            |   |       |                                     |      |                               |   |                                   |
|------|--|------|---------------------------------------|----------|-------------------------------------|------|------------------------------------|------|--------------------------------|------------|---|-------|-------------------------------------|------|-------------------------------|---|-----------------------------------|
| A    | AGE..... AVERAGE GRADE ELEVATION           | C    | CW..... COMPLETE WITH CONCRETE        | D        | DN..... DOWN                        | F    | FHL..... FLUSH LINTEL              | H    | HORIZ..... HORIZONTAL          | L          | LB..... LOAD BEARING                                      | O     | O/C..... ON CENTRE SPACING          | S    | SL..... STEEL LINTEL          | U | U.N.O..... UNLESS NOTED OTHERWISE |
| AT   | AT..... APPROVED FLAT BOTTOM CHORD TRUSSES | CLN  | CLN..... COLUMN                       | DBL      | DBL..... DOUBLE DIA. or (Ø)         | FLR  | FLR..... FLOOR                     | I    | IPO..... IN PLACE OF INTERIOR  | O.B.C.     | O.B.C..... ONTARIO BUILDING CODE                          | SB    | SB..... STEEL BEAM                  | USF  | USF..... UNDERSIDE OF FOOTING |   |                                   |
| B    | BM..... BEAM                               | CANT | CANT..... CANTILEVERED                | DL       | DL..... DROPPED LINTEL              | FLC  | FLC..... FLOOR CONSTRUCTION        | J    | JST..... JOISTS                | OPG        | OPG..... OPENING  | SPL   | SPL..... SLOPING LINTEL             | V    | VENT..... VENTILATION         |   |                                   |
| BTN  | BTN..... BETWEEN                           | CB   | CB..... CROSS BRIDGING                | DB       | DB..... DROPPED BEAM                | FFE  | FFE..... FINISH FLOOR ELEVATION    | JH   | JH..... JOIST HANGER           | OSB        | OSB..... OBSCURED   | SPB   | SPB..... SLOPING BEAM               | VERT | VERT..... VERTICAL            |   |                                   |
| B/O  | B/O..... BY OTHERS                         | CAP  | CAP..... CAPACITY                     | DN       | DN..... DOWN                        | FSE  | FSE..... FINISH SLAB ELEVATION     | DJH  | DJH..... DOUBLE JOIST HANGER   | OUTSW      | OUTSW..... OUTSWING                                       | SBFLR | SBFLR..... SUBFLOOR                 |      |                               |   |                                   |
| BH   | BH..... BEAM HANGER                        | CLG  | CLG..... CEILING                      | EXT      | EXT..... EXTERIOR                   | FGE  | FGE..... FINISH GRADE ELEVATION    | TJH  | TJH..... TRIPLE JOIST HANGER   | PC         | PC..... PARALLEL CHORD                                    | SLB   | SLB..... CONCRETE SLAB CONSTRUCTION |      |                               |   |                                   |
| BYND | BYND..... BEYOND                           | CLSP | CLSP..... CLEAR SPAN                  | E.T.R.   | E.T.R..... EXISTING TO REMAIN       | FTG  | FTG..... FOOTING                   | QBH  | QBH..... QUAD BEAM HANGER      | PCST       | PCST..... PARALLEL CHORD SCISSOR TRUSS                    | SDB   | SDB..... SOLID BEARING BELOW        |      |                               |   |                                   |
|      |  | EDGE | EDGE..... ESTABLISHED GRADE ELEVATION | E.T.B.R. | E.T.B.R..... EXISTING TO BE REMOVED | FN   | FN..... FOUNDATION WL CONSTRUCTION | M.O. | M.O..... MASONRY OPENING       | PLO or (S) | PLO or (S)..... POINT LOAD OVER (SOLID BEARING UNDER PLO) |       |                                     |      |                               |   |                                   |
|      |  |      |                                       | GR       | GR..... GRILLS (WINDOW APPLICATION) | G    | G..... GRILLS (WINDOW APPLICATION) | N    | N..... NOT APPLICABLE          |            |   |       |                                     |      |                               |   |                                   |
|      |  |      |                                       | (GL)     | (GL)..... GRILLS LOWER              | (GU) | (GU)..... GRILLS UPPER             | N.A. | N.A..... NOT APPLICABLE        |            |   |       |                                     |      |                               |   |                                   |
|      |  |      |                                       |          |                                     |      |                                    | NSTL | NSTL..... NON-STRUCTURAL       |            |   |       |                                     |      |                               |   |                                   |
|      |  |      |                                       |          |                                     |      |                                    | NLB  | NLB..... NON-LOAD BEARING WALL |            |   |       |                                     |      |                               |   |                                   |

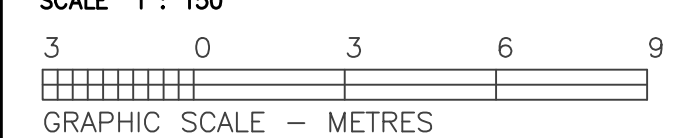


**DONLEA CRESCENT**  
(DEDICATED BY REGISTERED PLAN 805)  
ASSUMED BY BY-LAW 1960-142, INST. N° 118957  
PIN 24801-0080



**SURVEYOR'S REAL PROPERTY REPORT**  
PLAN OF SURVEY OF  
**LOT 15**  
**REGISTERED PLAN 805**  
**TOWN OF OAKVILLE**  
REGIONAL MUNICIPALITY OF HALTON  
SCALE 1 : 150

# REGISTERED PLAN 805



**ASSOCIATION OF ONTARIO LAND SURVEYORS**  
PLAN SUBMISSION FORM  
**V-36545**

BEARINGS ARE UTM GRID, DERIVED FROM THE OBSERVED REFERENCE POINTS "A" AND "B" BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS-2010.0)

OBSERVED REFERENCE POINTS (ORP): UTM ZONE 17, NAD-83 (CSRS-2010.0)  
CO-ORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.R.G. 216/10.

| POINT N° | NORTHING     | EASTING    |
|----------|--------------|------------|
| "A"      | 4,813,098.63 | 608,747.72 |
| "B"      | 4,813,083.68 | 608,819.17 |

CO-ORDINATES CAN NOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

**DISTANCE NOTE**  
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED INTO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.999745659.

**METRIC NOTE**  
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

**ELEVATION NOTE**  
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK O-251 HAVING AN ELEVATION OF 118.729m (CGVD-1928:1978).

**LEGEND**

|        |  |      |  |
|--------|--|------|--|
| AW     | DENOTES SURVEY MONUMENT FOUND          | PROD | DENOTES PRODUCTION                               |
| BB     | DENOTES SURVEY MONUMENT SET            | (R)  | DENOTES RADIAL                                   |
| SB     | DENOTES STANDARD IRON BAR              | P-1  | DENOTES REGISTERED PLAN 805                      |
| SR     | DENOTES SHORT STANDARD IRON PIPE       | P-2  | DENOTES PLAN BY (950) NOVEMBER 20, 2017          |
| IB     | DENOTES IRON BAR                       | P-3  | DENOTES PLAN BY SEWELL & SEWELL AUGUST 3, 1959   |
| CC     | DENOTES CONCRETE CURB                  | P-4  | DENOTES PLAN BY MCCONNELL MAUGHAN JULY 21, 1983  |
| CC     | DENOTES CONCRETE PIPE                  | P-5  | DENOTES PLAN BY J.H. GELBLOOM SEPTEMBER 13, 2011 |
| CB     | DENOTES CUT CROSS                      |      |  |
| PL     | DENOTES PLASTIC BAR                    |      |  |
| PI     | DENOTES PROPERTY IDENTIFICATION NUMBER |      |  |
| (E1)   | DENOTES ENCROACHMENT REFERENCE         |      |  |
| (M)    | DENOTES MARSHALL MAUGHAN               |      |  |
| (MM)   | DENOTES MORTGAGEE'S AND (OR) AGENT(S)  |      |  |
| (950)  | DENOTES GUNNINGHAM MCCONNELL LIMITED   |      |  |
| E.C.   | DENOTES BEGINNING OF CURVE             |      |  |
| P.R.C. | DENOTES POINT OF REVERSE CURVE         |      |  |
| N.T.   | DENOTES NOT TANGENTIAL                 |      |  |
| TANG   | DENOTES TANGENTIAL                     |      |  |

**CLIENT'S NOTE**  
THIS REPORT WAS PREPARED FOR ELIZABETH HAMVAI AND PHILIPPE DEROME AND THEIR SOLICITORS, MORTGAGEE(S) AND (OR) AGENT(S) AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**BEARING COMPARISON NOTE**  
FOR BEARING COMPARISON THE BEARINGS ON PLANS WERE LOCATED BY:  
PLAN P1 = (-) 0°53'15"  
PLAN P2 = (-) 0°53'15"

**FLOODPLAIN LIMIT**  
THE FLOODPLAIN LIMIT WAS OBTAINED FROM THE CONSERVATION HALTON MAPPING - MODEL MORR91.DATT.

**REVISION NOTE**  
THIS PLAN WAS REVISED ON MAY 15, 2023 BY ADDING THE STABLE TOP OF BANK AS PER SOIL-MAT ENGINEERS & CONSULTANTS SLOPE STABILITY ASSESSMENT REPORT DATED MARCH 2023, FILE N° SM 230132-G.

**TOPOGRAPHIC LEGEND**

|          |                                     |
|----------|-------------------------------------|
| AW       | DENOTES ANCHOR WIRE(S)              |
| BB       | DENOTES BELL BOX                    |
| BB       | DENOTES U/G BELL CABLE              |
| CON-0.20 | DENOTES CONIFEROUS TREE 0.20 DIA    |
| DEC-0.20 | DENOTES DECIDUOUS TREE 0.20 DIA     |
| GM       | DENOTES GAS METER                   |
| GV       | DENOTES GAS VALVE                   |
| GM       | DENOTES GAS MAIN                    |
| U/G      | DENOTES U/G GAS MAIN                |
| U/G      | DENOTES U/G HYDRO CABLE             |
| LS       | DENOTES LIGHT STANDARD (LAMP)       |
| WH       | DENOTES WHIMPLE                     |
| OW       | DENOTES OVER HEAD WIRE(S)           |
| SW       | DENOTES SANITARY SEWER              |
| UP       | DENOTES UTILITY POLE                |
| UP       | DENOTES STORM SEWER                 |
| UP       | DENOTES UTILITY POLE                |
| UPL      | DENOTES UTILITY POLE/LIGHT STANDARD |
| WV       | DENOTES WATER VALVE (KEY)           |
| WM       | DENOTES U/G WATER MAIN              |

**UNDERGROUND SERVICES NOTE**  
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.  
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON APRIL 10, 2023.

DATE: APRIL 10, 2023

**SEE REVISION NOTE**  
JARO A. LEGAT, M.Sc.  
ONTARIO LAND SURVEYOR

**GUNNINGHAM MCCONNELL LIMITED**  
ONTARIO LAND SURVEYORS

1200 SPEERS ROAD, UNIT 38  
OAKVILLE, ONTARIO L6L 2K4  
PHONE (905) 845-3497  
FAX (905) 845-3519  
info@ocmlsurveyors.ca

205 MAIN STREET  
MILTON, ONTARIO L9T 1N7  
PHONE (905) 878-7810  
FAX (905) 878-6672  
milton.office@ocmlsurveyors.ca

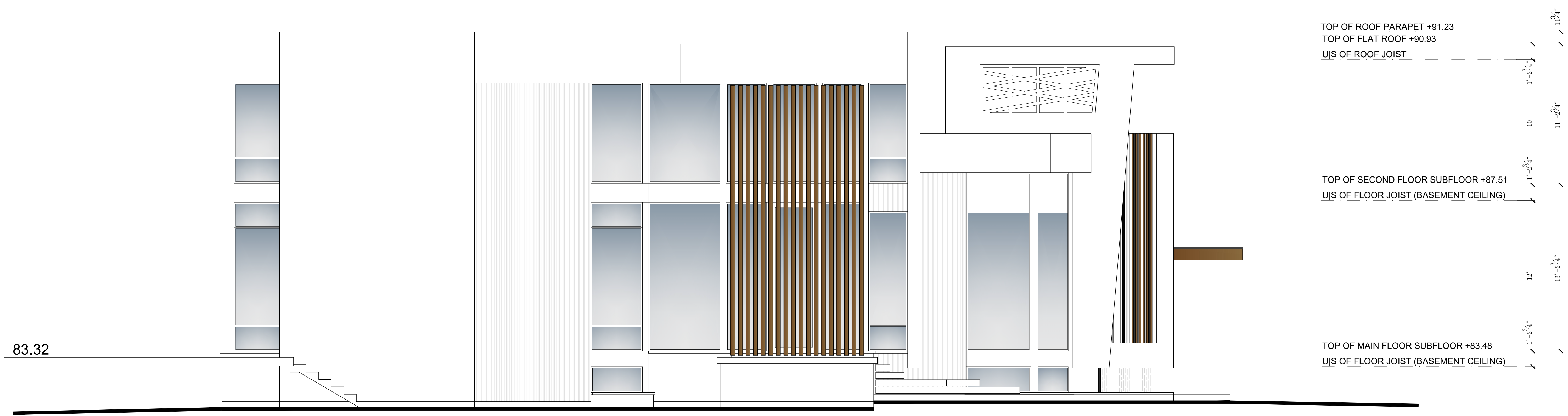
PLOT PAPER SIZE = 914mm BY 609mm | PLAN 28-23-1

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**NORTH SIDE ELEVATION PC1**  
 Scale: 1/4" = 1'-0"  
 0 1 2 3 4 5 10 15



**EAST SIDE ELEVATION PC1**  
 Scale: 1/4" = 1'-0"  
 0 1 2 3 4 5 10 15



|   |  |  |  |
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| No. | Description | Date | By |
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|  |                      |
|--|----------------------|
| <b>ENGINEERING DESIGN CRITERIA</b>                               |                      |
| <b>ROOF LOADS</b>  |                      |
| Ground Snow Load   | 23.0 Psf      40 Psf |
| Dead Load  | 15 Psf      18 Psf   |
| Rain Load  | 8.35 Psf             |
| NOTE: Hourly Wind Pressure (q <sub>h</sub> )= 9.2 psf (0.44 kPa) |                      |

Project Site: #1238 DONLEA CRES., OAKVILLE, ON.

OWNER: LACABAN DEVELOPMENT INC

Date: OCT. 07, 2024      Scale: as shown      Job #: 0524-017

Page Title: PROPOSED CONCEPT ELEVATIONS (N&E)

Note: Contractor to verify all dimensions before construction begins. Any errors or omissions must be reported to the home owner prior to construction. (DO NOT SCALE DRAWINGS)

Drawn By: \_\_\_\_\_ Checked by: \_\_\_\_\_

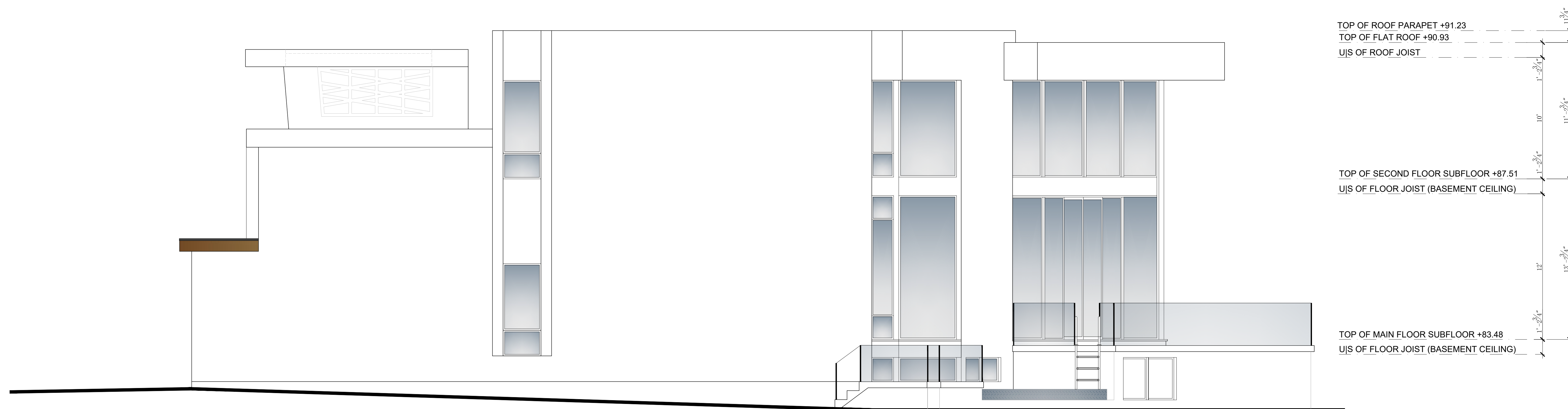
Page: **A200**

**LEGEND**

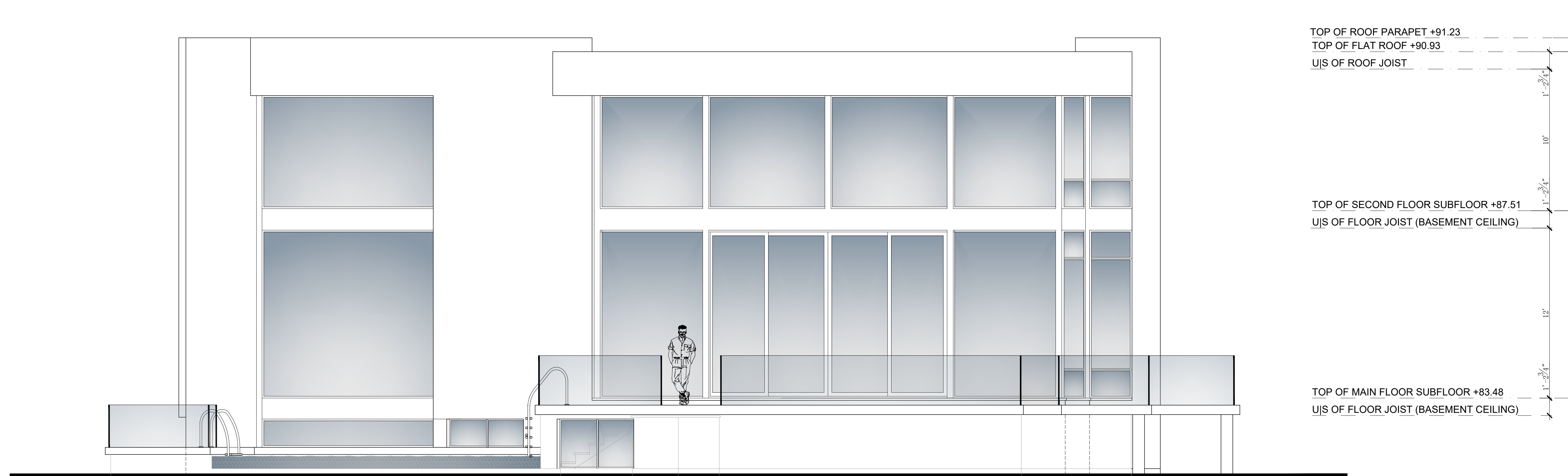
- Existing to be Removed
- Existing to Remain
- New Proposed Dwelling

| ABBREVIATIONS & SYMBOLS |       |                      |                         |          |       |                             |               |      |       |                             |      |            |       |                              |              |       |       |                           |            |       |       |                            |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|-------------------------|-------|----------------------|-------------------------|----------|-------|-----------------------------|---------------|------|-------|-----------------------------|------|------------|-------|------------------------------|--------------|-------|-------|---------------------------|------------|-------|-------|----------------------------|--------------|-----|-------|----------------------|-------------------|---|----|-------|--------------|---|--------|-------|------------------------|
| A                       | AGE   | .....                | AVERAGE GRADE ELEVATION | C        | CW    | .....                       | COMPLETE WITH | D    | DN    | .....                       | DOWN | F          | FHL   | .....                        | FLUSH LINTEL | H     | HORIZ | .....                     | HORIZONTAL | L     | LB    | .....                      | LOAD BEARING | O   | O/C   | .....                | ON CENTRE SPACING | S | SL | ..... | STEEL LINTEL | U | U.N.O. | ..... | UNLESS NOTED OTHERWISE |
| AT                      | ..... | APPROVED FLAT BOTTOM | CHORD TRUSSES           | CONC     | ..... | CONCRETE                    |               | DBL  | ..... | DOUBLE                      |      | FB         | ..... | FLUSH BEAM                   |              | O.B.C | ..... | ONTARIO BUILDING CODE     |            | SB    | ..... | STEEL BEAM                 |              | UJS | ..... | UNDERSIDE OF         |                   |   |    |       |              |   |        |       |                        |
| B                       | ..... | BEAM                 |                         | CLN      | ..... | COLUMN                      |               | DIA. | ..... | DIAMETER                    |      | FLR        | ..... | FLOOR                        |              | OPG   | ..... | OPENING                   |            | SPL   | ..... | SLOPING LINTEL             |              | USF | ..... | UNDERSIDE OF FOOTING |                   |   |    |       |              |   |        |       |                        |
| BM                      | ..... | BETWEEN              |                         | CANT     | ..... | CANTILEVERED                |               | DL   | ..... | DROPPED LINTEL              |      | FLC        | ..... | FLOOR CONSTRUCTION           |              | OBS   | ..... | OBSCURED                  |            | SPBR  | ..... | SLOPING BEAM               |              | UJC | ..... | UNDERSIDE OF FOOTING |                   |   |    |       |              |   |        |       |                        |
| BUI                     | ..... | BUILT-UP             |                         | CB       | ..... | CROSS BRIDGING              |               | DWC  | ..... | DRAWINGS(S)                 |      | FSE        | ..... | FINISH SLAB ELEVATION        |              | OJS   | ..... | OUTSWING                  |            | SBFLR | ..... | SUBFLOOR                   |              | UJC | ..... | UNDERSIDE OF FOOTING |                   |   |    |       |              |   |        |       |                        |
| B/O                     | ..... | BY OTHERS            |                         | CLS      | ..... | CLOSET                      |               | DL   | ..... | DROPPED LINTEL              |      | FCE        | ..... | FINISH CEILING ELEVATION     |              | RSO   | ..... | ROUGH OPENING             |            | SLB   | ..... | CONCRETE SLAB CONSTRUCTION |              | UJC | ..... | UNDERSIDE OF FOOTING |                   |   |    |       |              |   |        |       |                        |
| BH                      | ..... | BOTTOM FLUSH         |                         | CAP      | ..... | CAPACITY                    |               | DB   | ..... | DROPPED BEAM                |      | FGE        | ..... | FINISH GRADE ELEVATION       |              | RSOH  | ..... | ROUGH SAWN OPENING HEIGHT |            | SDB   | ..... | SOLID BEARING BELOW        |              | UJC | ..... | UNDERSIDE OF FOOTING |                   |   |    |       |              |   |        |       |                        |
| BYND                    | ..... | BEYOND               |                         | CLSP     | ..... | CLEAR SPAN                  |               | E    | ..... | EXTERIOR                    |      | FTG        | ..... | FOOTING                      |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|                         |       |                      |                         | EXT      | ..... | EXTENDING TO REMAIN         |               | FRN  | ..... | FURNACE                     |      | J          | ..... | JOISTS                       |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|                         |       |                      |                         | E.T.R.   | ..... | EXISTING TO BE REMOVED      |               | JST  | ..... | JOISTS                      |      | PC         | ..... | PARALLEL CHORD               |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|                         |       |                      |                         | E.T.B.R. | ..... | EXISTING TO BE REMOVED      |               | DJH  | ..... | DOUBLE JOIST HANGER         |      | PCST       | ..... | PARALLEL CHORD SCISSOR TRUSS |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|                         |       |                      |                         | EDGE     | ..... | ESTABLISHED GRADE ELEVATION |               | TJH  | ..... | TRIPLE JOIST HANGER         |      | PLO or [S] | ..... | (SOLID BEARING UNDER 'PLO')  |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|                         |       |                      |                         |          |       |                             |               | QBH  | ..... | QUAD BEAM HANGER            |      | N/A        | ..... | NOT APPLICABLE               |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|                         |       |                      |                         |          |       |                             |               | G    | ..... | GRILLS (WINDOW APPLICATION) |      | NSTL       | ..... | NON-STRUCTURAL               |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|                         |       |                      |                         |          |       |                             |               | (GL) | ..... | GRILLS LOWER                |      | NLB        | ..... | NON-LOAD BEARING WALL        |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |
|                         |       |                      |                         |          |       |                             |               | (GU) | ..... | GRILLS UPPER                |      |            |       |                              |              | REFP  | ..... | REFERENCE POINT           |            | UJC   | ..... | UNDERSIDE OF FOOTING       |              |     |       |                      |                   |   |    |       |              |   |        |       |                        |

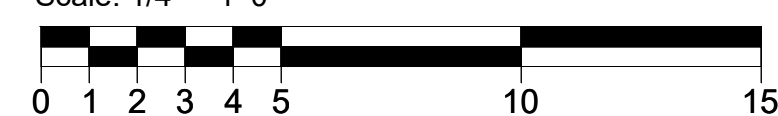




**WEST SIDE ELEVATION PC1**  
Scale: 1/4" = 1'-0"



**SOUTH SIDE ELEVATION PC1**  
Scale: 1/4" = 1'-0"



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| 7 |  |  |  |
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**Revisions:**

| ENGINEERING DESIGN CRITERIA                              |          |  |        |
|--|----------|--|--------|
| <b>ROOF LOADS</b>  |          |  |        |
| Ground Snow Load   | 23.0 Psf |  | 40 Psf |
| Dead Load  | 15 Psf   |  | 18 Psf |
| Rain Load  | 8.35 Psf |  |        |
| NOTE: Hourly Wind Pressure ( $q_h$ )= 9.2 psf (0.44 kPa) |          |  |        |

Project Site: #1238 DONLEA CRES., OAKVILLE, ON.

OWNER: LACABAN DEVELOPMENT INC

Date: OCT. 07, 2024    Scale: as shown    Job #: 0524-017

**PROPOSED CONCEPT ELEVATIONS (S&W)**

Note: Contractor to verify all dimensions before construction begins. Any errors or omissions must be reported to the home owner prior to construction. (DO NOT SCALE DRAWINGS)

Drawn By: \_\_\_\_\_ Checked by: \_\_\_\_\_

Page: **A201**

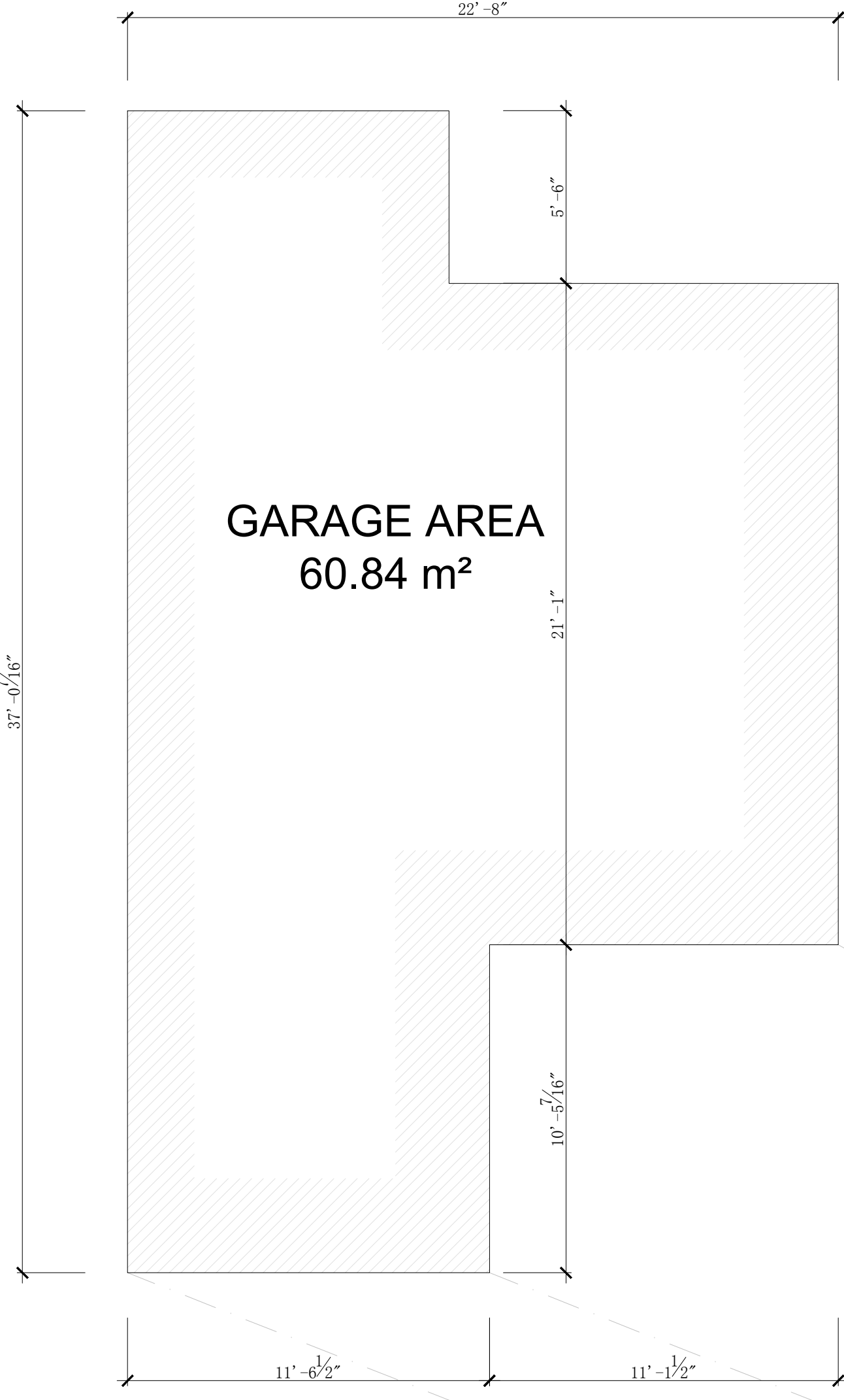
**LEGEND**

|  |                        |
|--|------------------------|
|  | Existing to be Removed |
|  | Existing to Remain     |
|  | New Proposed Dwelling  |

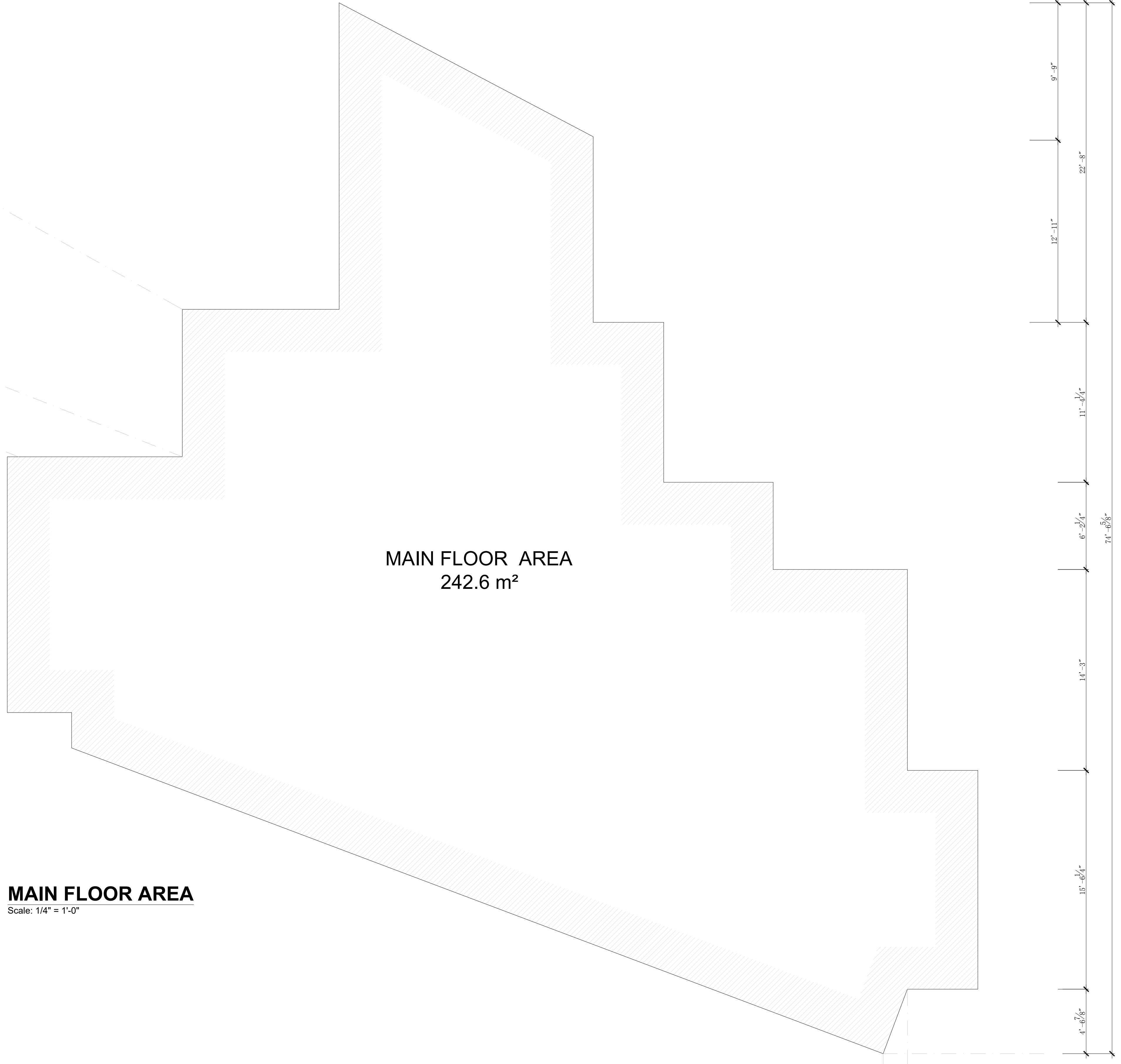
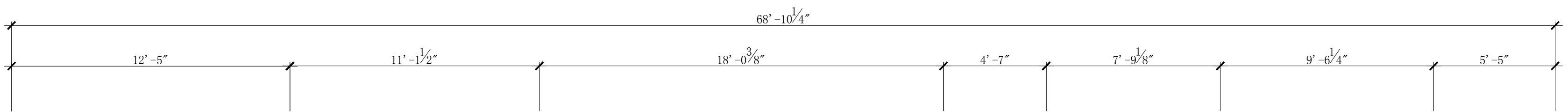
**ABBREVIATIONS & SYMBOLS**

|  |                                |   |  |  |   |   |   |                                       |
|--|--------------------------------|---|--|--|---|---|---|---------------------------------------|
| <b>A</b> ..... AVERAGE GRADE ELEVATION             | <b>CW</b> ..... COMPLETE WITH  | <b>D</b> ..... DOWN                           | <b>F</b> ..... FLUSH LINTEL                  | <b>H</b> ..... HORIZONTAL              | <b>L</b> ..... LOAD BEARING                                       | <b>O</b> ..... ON CENTRE SPACING            | <b>S</b> ..... STEEL LINTEL                                 | <b>U</b> ..... UNLESS NOTED OTHERWISE |
| <b>AT</b> ..... APPROVED FLAT BOTTOM CHORD TRUSSES | <b>CONC</b> ..... CONCRETE     | <b>DBL</b> ..... DOUBLE                       | <b>FB</b> ..... FLUSH BEAM                   | <b>HB</b> ..... HOSE BIB               | <b>LBW</b> ..... LOAD BEARING WALL                                | <b>O.B.C.</b> ..... ONTARIO BUILDING CODE   | <b>SB</b> ..... STEEL BEAM                                  | <b>UJS</b> ..... UNDERSIDE OF         |
| <b>B</b> ..... BEAM                                | <b>CLN</b> ..... COLUMN        | <b>DIA. or (Ø)</b> ..... DIAMETER             | <b>FLR</b> ..... FLOOR                       | <b>I</b> ..... IN PLACE OF             | <b>L</b> ..... LINEN CLOSET                                       | <b>OPG</b> ..... OPENING                    | <b>SPL</b> ..... SLOPING LINTEL                             | <b>USF</b> ..... UNDERSIDE OF FOOTING |
| <b>BM</b> ..... BEAM                               | <b>CANT</b> ..... CANTILEVERED | <b>DL</b> ..... DROPPED LINTEL                | <b>FLC</b> ..... FLOOR CONSTRUCTION          | <b>INT</b> ..... INTERIOR              | <b>LN</b> ..... LINEN CLOSET                                      | <b>OS</b> ..... OUTSWING                    | <b>SPB</b> ..... SLOPING BEAM                               | <b>UXC</b> ..... UNEXCAVATED          |
| <b>BTN</b> ..... BETWEEN                           | <b>CB</b> ..... CROSS BRIDGING | <b>DB</b> ..... DROPPED BEAM                  | <b>FFE</b> ..... FINISH FLOOR ELEVATION      | <b>IPO</b> ..... IN PLACE OF           | <b>M</b> ..... MAXIMUM  | <b>RENF</b> ..... REINFORCED                | <b>SBFLR</b> ..... SUBFLOOR                                 | <b>VERT</b> ..... VERTICAL            |
| <b>BU</b> ..... BUILT-UP                           | <b>CLS</b> ..... CLOSET        | <b>E</b> ..... EXTERIOR                       | <b>FFC</b> ..... FINISH CEILING ELEVATION    | <b>INT</b> ..... INTERIOR              | <b>MIN</b> ..... MINIMUM  | <b>R</b> ..... RADIUS                       | <b>SLB</b> ..... CONCRETE SLAB CONSTRUCTION                 | <b>V</b> ..... VENTILATION            |
| <b>B/O</b> ..... BY OTHERS                         | <b>CAP</b> ..... CAPACITY      | <b>EXT</b> ..... EXTERIOR                     | <b>FG</b> ..... FINISH GRADE ELEVATION       | <b>J</b> ..... JOISTS                  | <b>MANUF</b> ..... MANUFACTURED                                   | <b>RSO</b> ..... ROUGH OPENING              | <b>SDB</b> ..... SOLID BEARING BELOW                        | <b>VENT</b> ..... VENTILATION         |
| <b>BH</b> ..... BEAM HANGER                        | <b>CLG</b> ..... CEILING       | <b>EXT</b> ..... EXTERIOR                     | <b>FTG</b> ..... FOOTING                     | <b>JST</b> ..... JOISTS                | <b>PC</b> ..... PARALLEL CHORD                                    | <b>RSOH</b> ..... ROUGH SAWN OPENING HEIGHT | <b>T</b> ..... TYPICAL                                      | <b>VERT</b> ..... VERTICAL            |
| <b>BYND</b> ..... BEYOND                           | <b>CLSP</b> ..... CLEAR SPAN   | <b>EXT</b> ..... EXTERIOR                     | <b>FN</b> ..... FOUNDATION WL CONSTRUCTION   | <b>JH</b> ..... JOIST HANGER           | <b>PCST</b> ..... PARALLEL CHORD SCISSOR TRUSS                    | <b>REFP</b> ..... REFERENCE POINT           | <b>T.O.</b> ..... TOP OF                                    | <b>W.I.C.</b> ..... WALK IN CLOSET    |
|  |                                | <b>EXT</b> ..... EXISTING TO REMAIN           | <b>FRN</b> ..... FURNACE                     | <b>DJH</b> ..... DOUBLE JOIST HANGER   | <b>PLO or [S]</b> ..... POINT LOAD OVER (SOLID BEARING UNDER PLO) | <b>REFP</b> ..... REFERENCE POINT           | <b>TOP</b> ..... TOP OF FOOTING                             | <b>W.C.</b> ..... WATER CLOSET        |
|  |                                | <b>EXT</b> ..... EXISTING TO BE REMOVED       | <b>G</b> ..... GRILLS (WINDOW APPLICATION)   | <b>TJH</b> ..... TRIPLE JOIST HANGER   |   |   | <b>TPW</b> ..... TOP OF FOUNDATION WALL                     | <b>WR</b> ..... WASHROOM              |
|  |                                | <b>EBGE</b> ..... ESTABLISHED GRADE ELEVATION | <b>(G)</b> ..... GRILLS (WINDOW APPLICATION) | <b>QBH</b> ..... QUAD BEAM HANGER      |   |   | <b>(T) or [T]</b> ..... TEMPERED GLASS                      | <b>WD</b> ..... WASHER AND DRYER      |
|  |                                |   | <b>(GL)</b> ..... GRILLS LOWER               |  |   |   | <b>(TL) or [TL]</b> ..... TEMPERED GLASS IN LOWER UNIT ONLY | <b>WL</b> ..... WALL CONSTRUCTION     |
|  |                                |   | <b>(GU)</b> ..... GRILLS UPPER               |  |   |   |   |                                       |
|  |                                |   |  | <b>N</b> ..... NOT APPLICABLE          |   |   |   |                                       |
|  |                                |   |  | <b>NSTL</b> ..... NON-STRUCTURAL       |   |   |   |                                       |
|  |                                |   |  | <b>NLB</b> ..... NON-LOAD BEARING WALL |   |   |   |                                       |

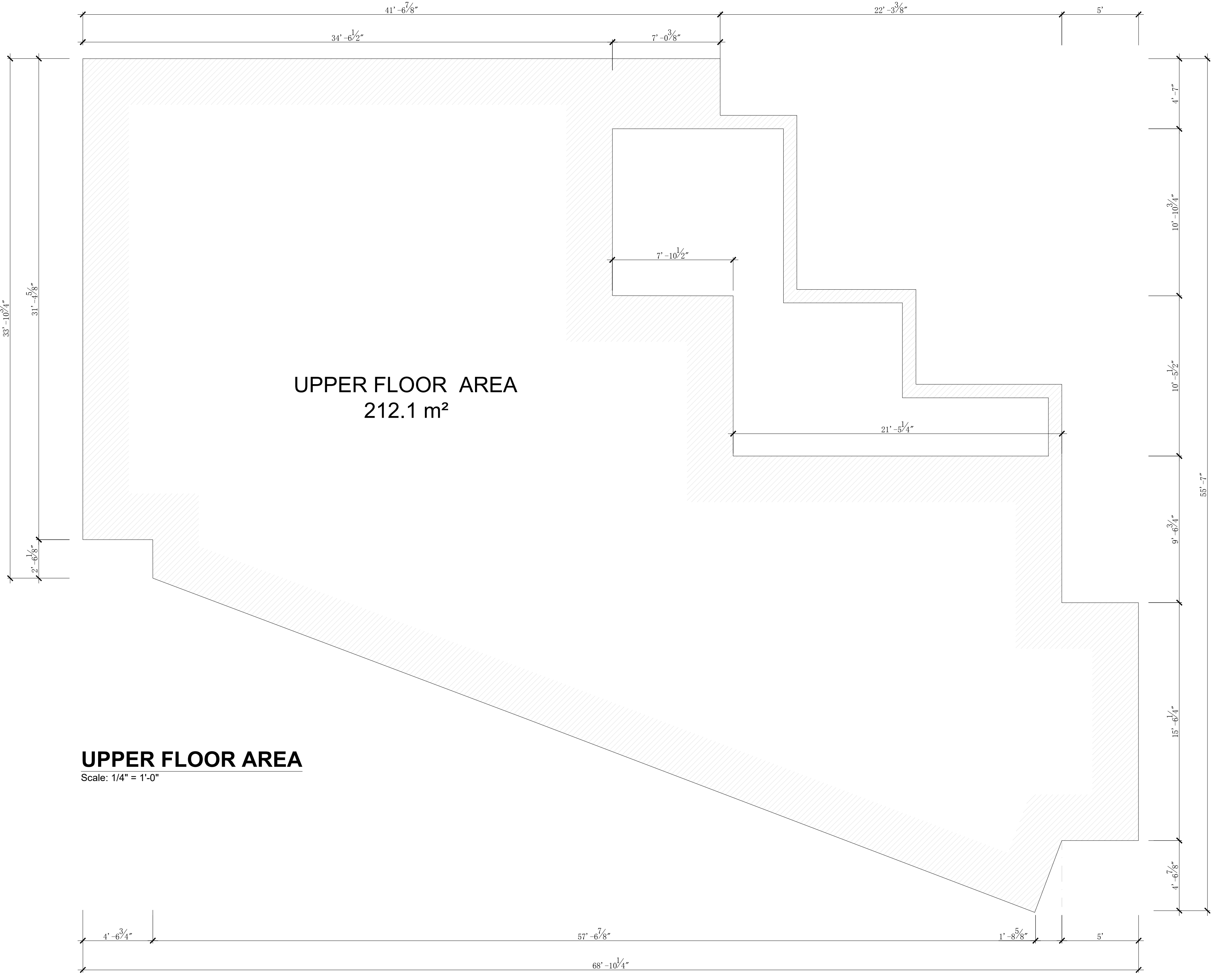




**GARAGE FLOOR AREA**  
Scale: 1/4" = 1'-0"



**MAIN FLOOR AREA**  
Scale: 1/4" = 1'-0"



**UPPER FLOOR AREA**  
Scale: 1/4" = 1'-0"

**ABBREVIATIONS & SYMBOLS**

|  |                                 |  |  |  |  |   |   |   |                                       |
|--|---------------------------------|--|--|--|--|---|---|---|---------------------------------------|
| <b>A</b> ..... AVERAGE GRADE ELEVATION             | <b>C</b> ..... COMPLETE WITH    | <b>D</b> ..... DOWN                          | <b>F</b> ..... FLUSH LINTEL                | <b>H</b> ..... HORIZONTAL                    | <b>L</b> ..... LOAD BEARING                | <b>O</b> ..... ON CENTRE SPACING                                  | <b>Q</b> ..... QUAD BEAM HANGER             | <b>S</b> ..... STEEL LINTEL                 | <b>U</b> ..... UNLESS NOTED OTHERWISE |
| <b>AT</b> ..... APPROVED FLAT BOTTOM CHORD TRUSSES | <b>CONC</b> ..... CONCRETE      | <b>DBL</b> ..... DOUBLE                      | <b>FB</b> ..... FLUSH BEAM                 | <b>HB</b> ..... HOSE BIB                     | <b>LB</b> ..... LOAD BEARING WALL          | <b>O.B.C.</b> ..... ONTARIO BUILDING CODE                         | <b>R</b> ..... REINFORCED                   | <b>SL</b> ..... SLOPING LINTEL              | <b>U.S.</b> ..... UNDERSIDE OF        |
| <b>B</b> ..... BEAM                                | <b>CLN</b> ..... COLUMN         | <b>DIA. or [Ø]</b> ..... DIAMETER            | <b>FLR</b> ..... FLOOR                     | <b>I</b> ..... IN PLACE OF                   | <b>LBW</b> ..... LOAD BEARING LINEN CLOSET | <b>OPG</b> ..... OPENING  | <b>REN.F.</b> ..... REINFORCED              | <b>SPL</b> ..... SLOPING LINTEL             | <b>USF</b> ..... UNDERSIDE OF FOOTING |
| <b>BTN</b> ..... BETWEEN                           | <b>CANT.</b> ..... CANTILEVERED | <b>DWG.</b> ..... DRAWING(S)                 | <b>FLC</b> ..... FLOOR CONSTRUCTION        | <b>INT.</b> ..... INTERIOR                   | <b>LIN.</b> ..... LINEN CLOSET             | <b>OBS</b> ..... OBSURED  | <b>R</b> ..... RADIUS                       | <b>SPB</b> ..... SLOPING BEAM               | <b>UXC</b> ..... UNEXCAVATED          |
| <b>BU</b> ..... BUILT-UP                           | <b>CB</b> ..... CROSS BRIDGING  | <b>DL</b> ..... DROPPED LINTEL               | <b>FFE</b> ..... FINISH FLOOR ELEVATION    | <b>IP</b> ..... IN PLACE OF                  | <b>M</b> ..... MAXIMUM                     | <b>OJS</b> ..... OUTSWING   | <b>RSO</b> ..... ROUGH OPENING              | <b>SBFLR</b> ..... SUBFLOOR                 | <b>V</b> ..... VENTILATION            |
| <b>B/O</b> ..... BY OTHERS                         | <b>CLS</b> ..... CLOSET         | <b>DB</b> ..... DROPPED BEAM                 | <b>FSE</b> ..... FINISH SLAB ELEVATION     | <b>J</b> ..... JOISTS                        | <b>MIN.</b> ..... MINIMUM                  | <b>P</b> ..... PRESSURE TREATED                                   | <b>RSOH</b> ..... ROUGH SAWN OPENING HEIGHT | <b>SLB</b> ..... CONCRETE SLAB CONSTRUCTION | <b>VERT.</b> ..... VERTICAL           |
| <b>BH</b> ..... BEAM HANGER                        | <b>CAP</b> ..... CAPACITY       | <b>FN</b> ..... FOUNDATION WL CONSTRUCTION   | <b>FCE</b> ..... FINISH CEILING ELEVATION  | <b>JST</b> ..... JOISTS                      | <b>MANUF.</b> ..... MANUFACTURED           | <b>PC</b> ..... PARALLEL CHORD                                    | <b>REFP</b> ..... REFERENCE POINT           | <b>SDB</b> ..... SOLID BEARING BELOW        | <b>W</b> ..... WALK IN CLOSET         |
| <b>BF</b> ..... BOTTOM FLUSH                       | <b>CLG</b> ..... CEILING        | <b>FRN</b> ..... FURNACE                     | <b>FGE</b> ..... FINISH GRADE ELEVATION    | <b>EXT.</b> ..... EXTERIOR                   | <b>M.O.</b> ..... MASONRY OPENING          | <b>PCST.</b> ..... PARALLEL CHORD SCISSOR TRUSS                   | <b>REF</b> ..... REFERENCE POINT            | <b>W.C.</b> ..... WATER CLOSET              | <b>W.C.</b> ..... WATER CLOSET        |
| <b>BYND</b> ..... BEYOND                           | <b>CLSP</b> ..... CLEAR SPAN    | <b>G</b> ..... GRILLS (WINDOW APPLICATION)   | <b>FTG</b> ..... FOOTING                   | <b>E.T.B.R.</b> ..... EXISTING TO BE REMOVED | <b>N.A.</b> ..... NOT APPLICABLE           | <b>PLO or [S]</b> ..... POINT LOAD OVER (SOLID BEARING UNDER PLO) | <b>RF</b> ..... ROOF CONSTRUCTION           | <b>W.R.</b> ..... WASHROOM                  | <b>W.D.</b> ..... WASHER AND DRYER    |
|  |                                 | <b>(G)</b> ..... GRILLS (WINDOW APPLICATION) | <b>FN</b> ..... FOUNDATION WL CONSTRUCTION | <b>E.T.B.R.</b> ..... EXISTING TO BE REMOVED | <b>NSTL</b> ..... NON-STRUCTURAL           |   |   | <b>WL</b> ..... WALL CONSTRUCTION           |                                       |
|  |                                 | <b>(GL)</b> ..... GRILLS LOWER               | <b>FRN</b> ..... FURNACE                   | <b>E.T.B.R.</b> ..... EXISTING TO BE REMOVED | <b>NLB</b> ..... NON-LOAD BEARING WALL     |   |   |   |                                       |
|  |                                 | <b>(GU)</b> ..... GRILLS UPPER               |  |  |  |   |   |   |                                       |

Project Site: #1238 DONLEA CRES., OAKVILLE, ON.

OWNER: LACABAN DEVELOPMENT INC

Date: OCT. 07, 2024 Scale: as shown Job #: 0524-017

Page Title: BUILDING AREA SKETCHES

Note: Contractor to verify all dimensions before construction begins. Any errors or omissions must be reported to the home owner prior to construction. (DO NOT SCALE DRAWINGS)

Drawn By: Checked by: Page: A303

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/157/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

| Applicant / Owner      | Authorized Agent   | Subject Property                    |
|------------------------|--|-------------------------------------|
| O. Aluko<br>L. Tejuoso | Ross Defina<br>Ross Defina Consulting<br>9 Wolfe Crt<br>Vaughan ON, CANADA L4J 6T9 | 1238 Donlea Cres<br>PLAN 805 LOT 15 |

**Zoning of property:** RL1-0, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

| No. | Current  | Proposed  |
|-----|--|---|
| 1   | <i>Section 5.8.6 c)</i><br>For lots located within the Residential Low (RL1) Zone the maximum total floor area for a private garage shall be 56.0 square metres. | To increase the maximum total floor area for the private garage to 60.84 square metres. |
| 2   | <i>Table 6.3.1 (Row 6, Column RL1)</i><br>The minimum rear yard shall be 10.50 m.  | To reduce the minimum rear yard to 9.70 m.  |
| 3   | <i>Table 6.4.1</i><br>The maximum residential floor area ratio for a detached dwelling on a lot with a lot area 1301.00 m <sup>2</sup> or greater shall be 29%.  | To increase the maximum residential floor area ratio to 32.60%.                         |
| 4   | <i>Section 6.4.3 (a)</i><br>The minimum front yard on all lots shall be the yard legally existing on the effective date of this                                  | To reduce the minimum front yard to 7.60 metres.  |

|  |  |  |
|--|--|--|
|  | By-law less 1.0 metre. In this instance, the minimum front yard shall be 11.21 metres. |  |
|--|--|--|

### **How do I participate if I have comments or concerns?**

#### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

#### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

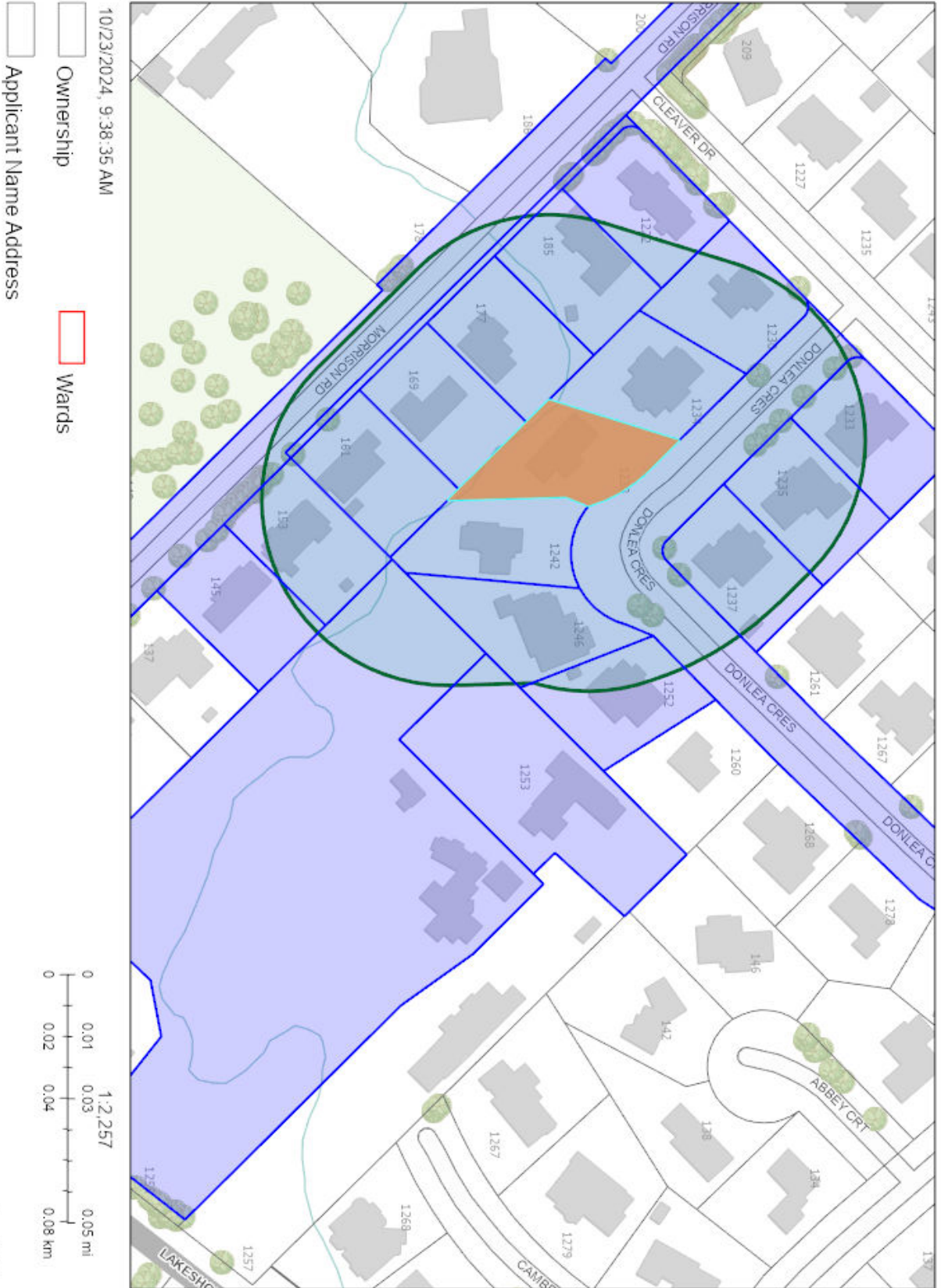
### **Contact information:**

Jennifer Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

### **Date mailed:**

October 29, 2024

CAV A/157/2024 - 1238 Donlea Crescent





Project Address:  
 14 TIMBER LANE  
 OAKVILLE ON L6L 2Z3

Scope of Work:  
 Addition to existing  
 detached dwelling.



DESIGN. DELIVER. INNOVATE.

**TBM Engineers Inc.**

15 Jaylynn Crt.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengineers.com  
 tbmengineers@mail.com



**Project Address:**  
 14 TIMBER LANE  
 OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date**      **Issued for:**  
 2024-05-23    Building Permit

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building permit. Do not scale this document.

**Scale:**  
 $\frac{3}{16}'' = 1'-0''$  (1:64)

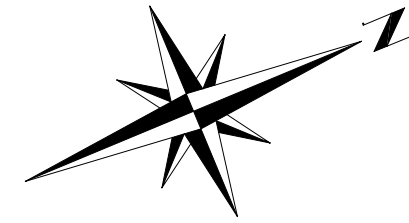
**Drawing No.**

**A-000**

1 of 30



Key Plan



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

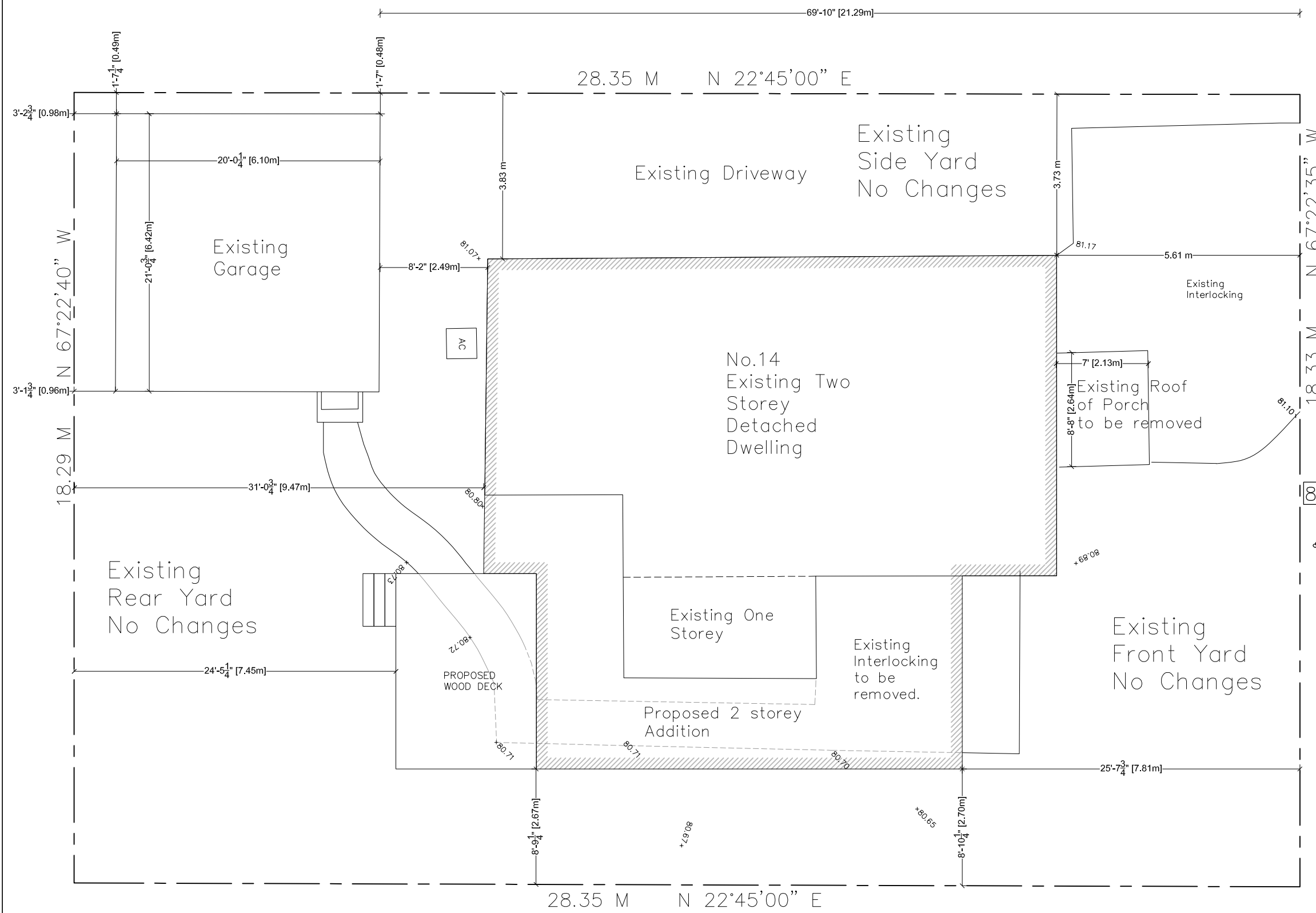
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**Scale:**  
1:100

**Drawing No.**

**A-100**

2 of 30

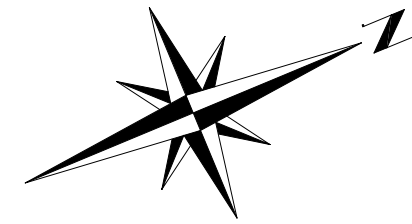
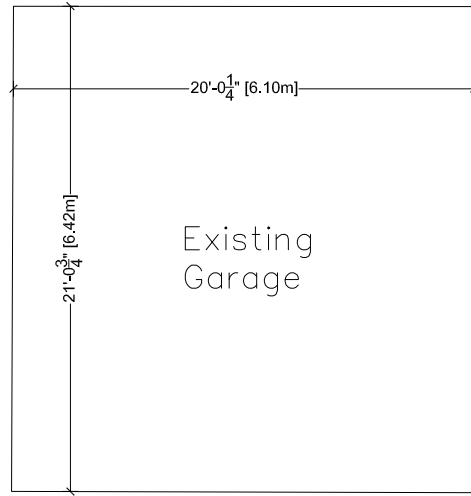


TIMBER LANE

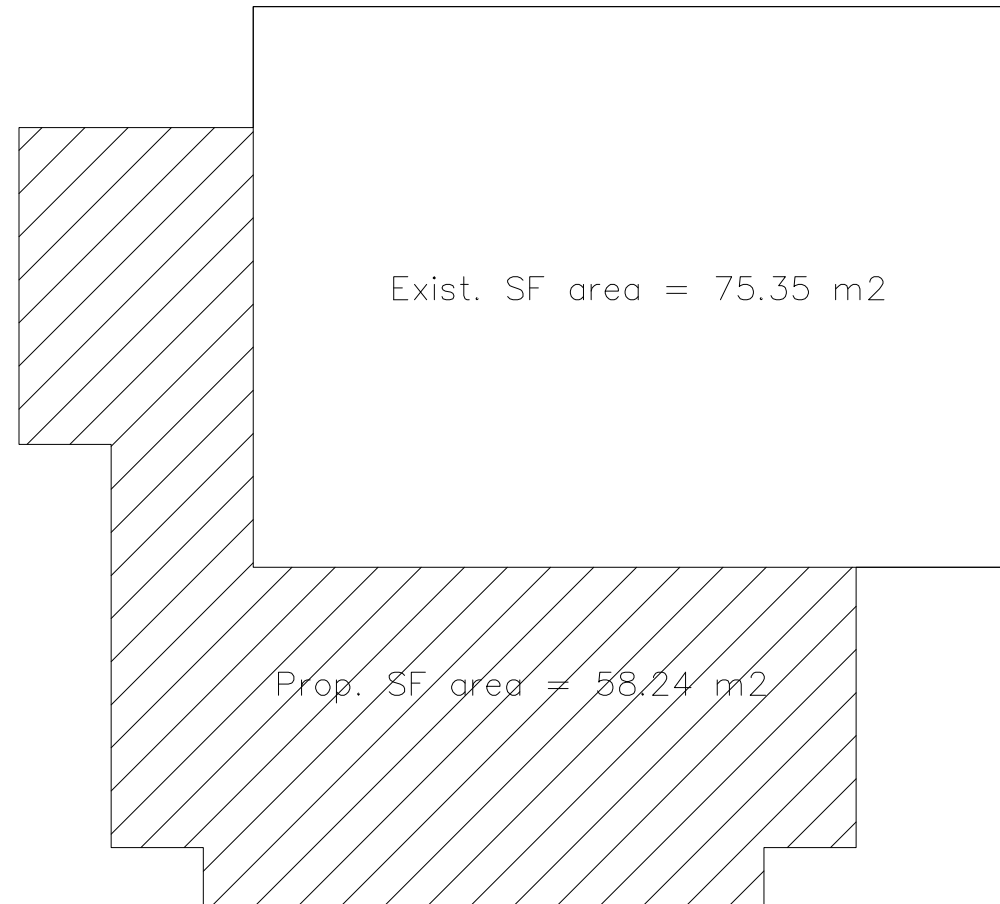
PROJECT STATISTICS ZONING RL3-0  
LOT AREA: 519.57 m<sup>2</sup>  
LOT COVERAGE: 181.54 m<sup>2</sup> (34.94%)

|                                      | EXISTING | PROPOSED | TOTAL                 |
|--------------------------------------|----------|----------|-----------------------|
| BASEMENT AREA:                       | 59.17    | 67.02    | 126.19 m <sup>2</sup> |
| Garage Area:                         | 39.21    | 0.00     | 39.21 m <sup>2</sup>  |
| Ground Floor Area (Garage excluded): | 103.42   | 38.91    | 142.33 m <sup>2</sup> |
| Second Floor Area:                   | 75.35    | 58.24    | 133.60 m <sup>2</sup> |
| Total Ground Floor and Garage        |          |          | 181.54 m <sup>2</sup> |

Survey Information taken from Survey's Certificate issued by Cunningham McConnell Limited. Signed by Robert D. McConnell on July 12, 2023



Total GF area = 142.33 m<sup>2</sup>



Total SF area = 133.60 m<sup>2</sup>



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Woodbridge, ON (905) 893-9070  
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tbmengineers@mail.com



**Project Address:**  
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**Addition to Detached Dwelling**

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**Scale:**  
1:100

**Drawing No.**

**A-101**

3 of 30

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**Drawing No.**

**A-201**

8 of 30

Top of Roof 88.35

Ceiling 86.83

Second Floor 84.57

Ground Floor 81.75

Basement 79.41







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**Drawing No.**

**A-205**

20 of 30



Proposed Front (North) Elevation

**TBM Engineers Inc.**

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Woodbridge, ON (905) 893-9070  
www.tbmengineers.com  
tbmengineers@mail.com



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

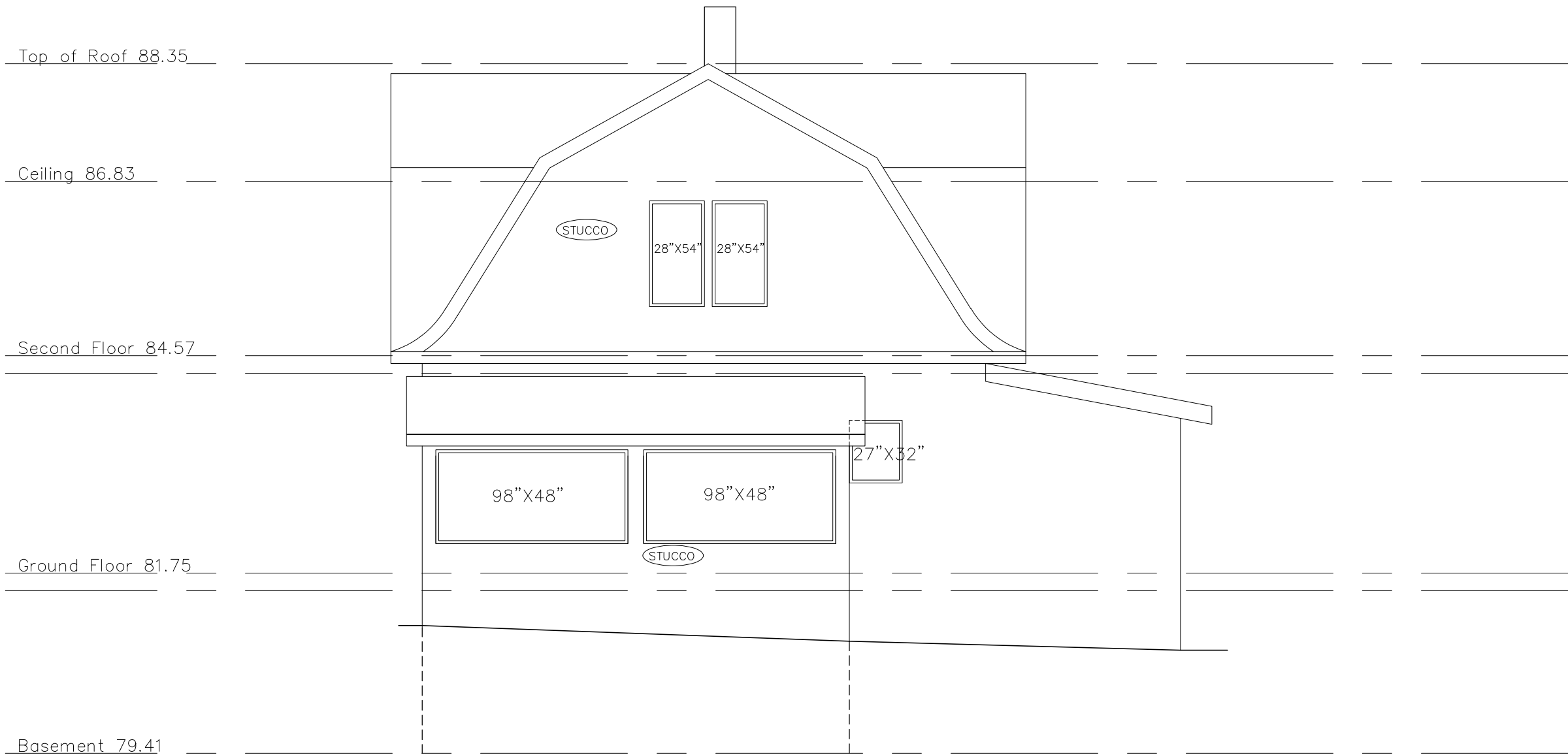
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**Scale:**  
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**Drawing No.**

**A-202**

9 of 30





**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

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**Drawing No.**

**A-206**

21 of 30



Proposed Rear (South) Elevation



**TBM Engineers Inc.**

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www.tbmengineers.com  
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**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

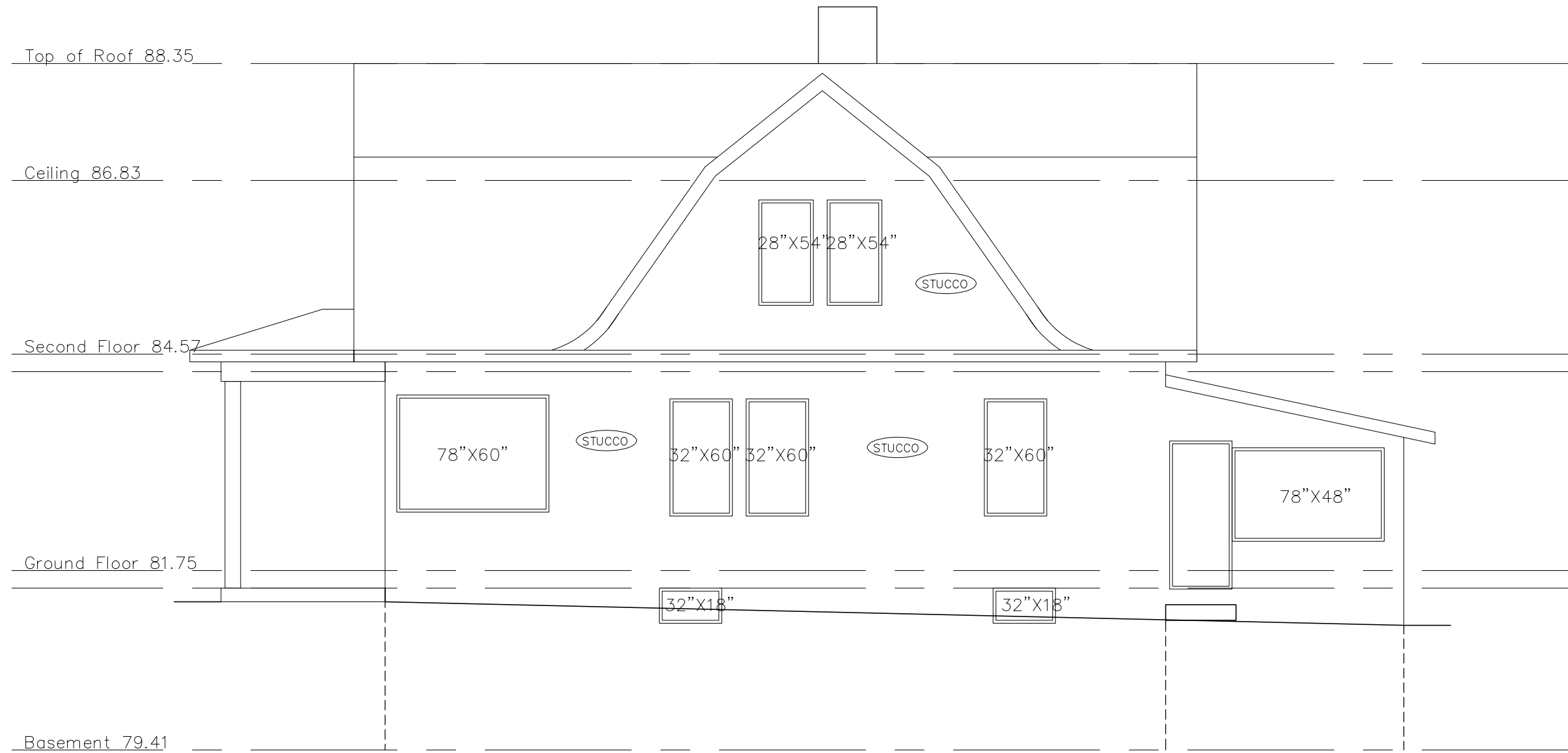
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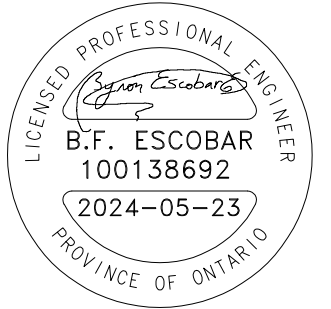
**Drawing No.**

**A-203**

10 of 30



Existing Right (West) Elevation



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

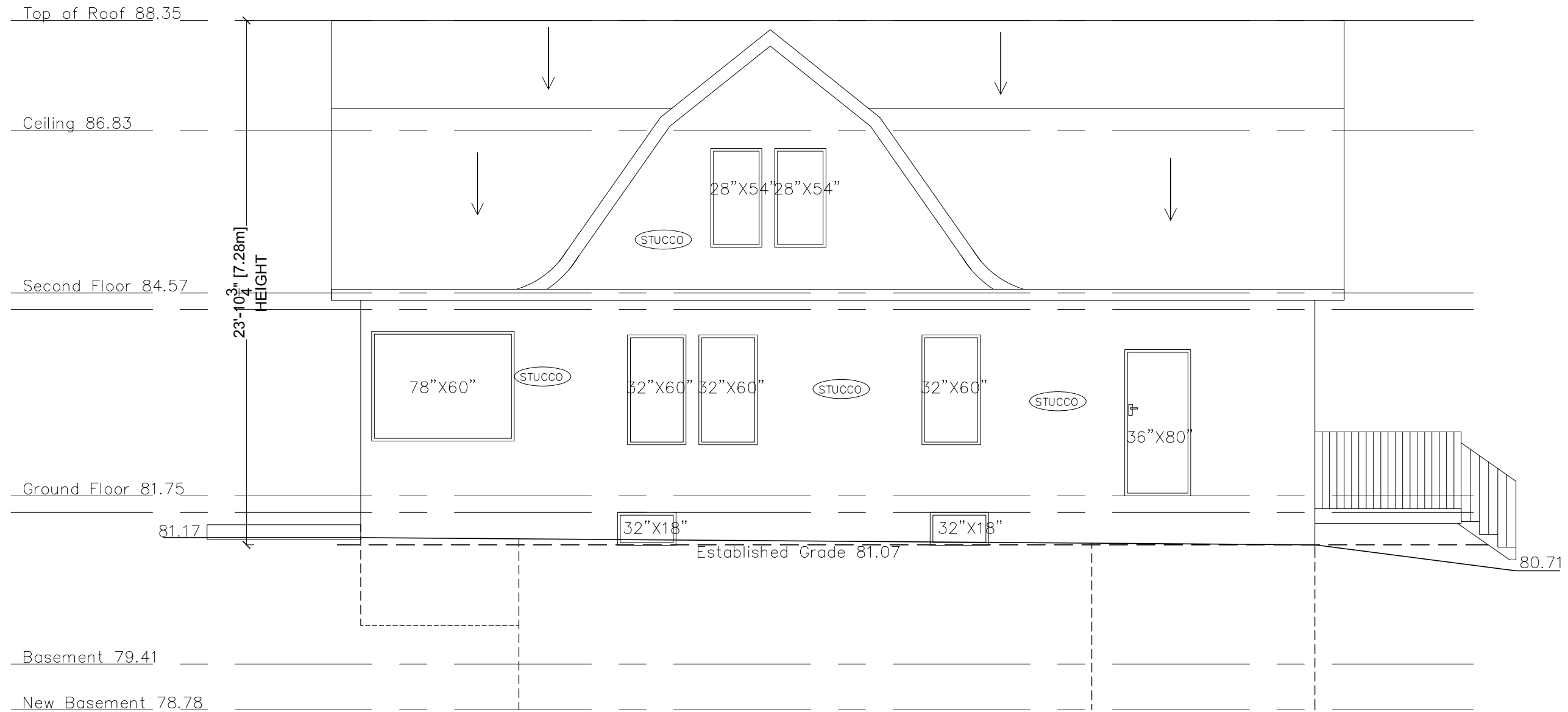
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**Drawing No.**

**A-207**

22 of 30



Proposed Right (West) Elevation

**TBM Engineers Inc.**

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Woodbridge, ON (905) 893-9070  
www.tbmengineers.com  
tbmengineers@mail.com



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

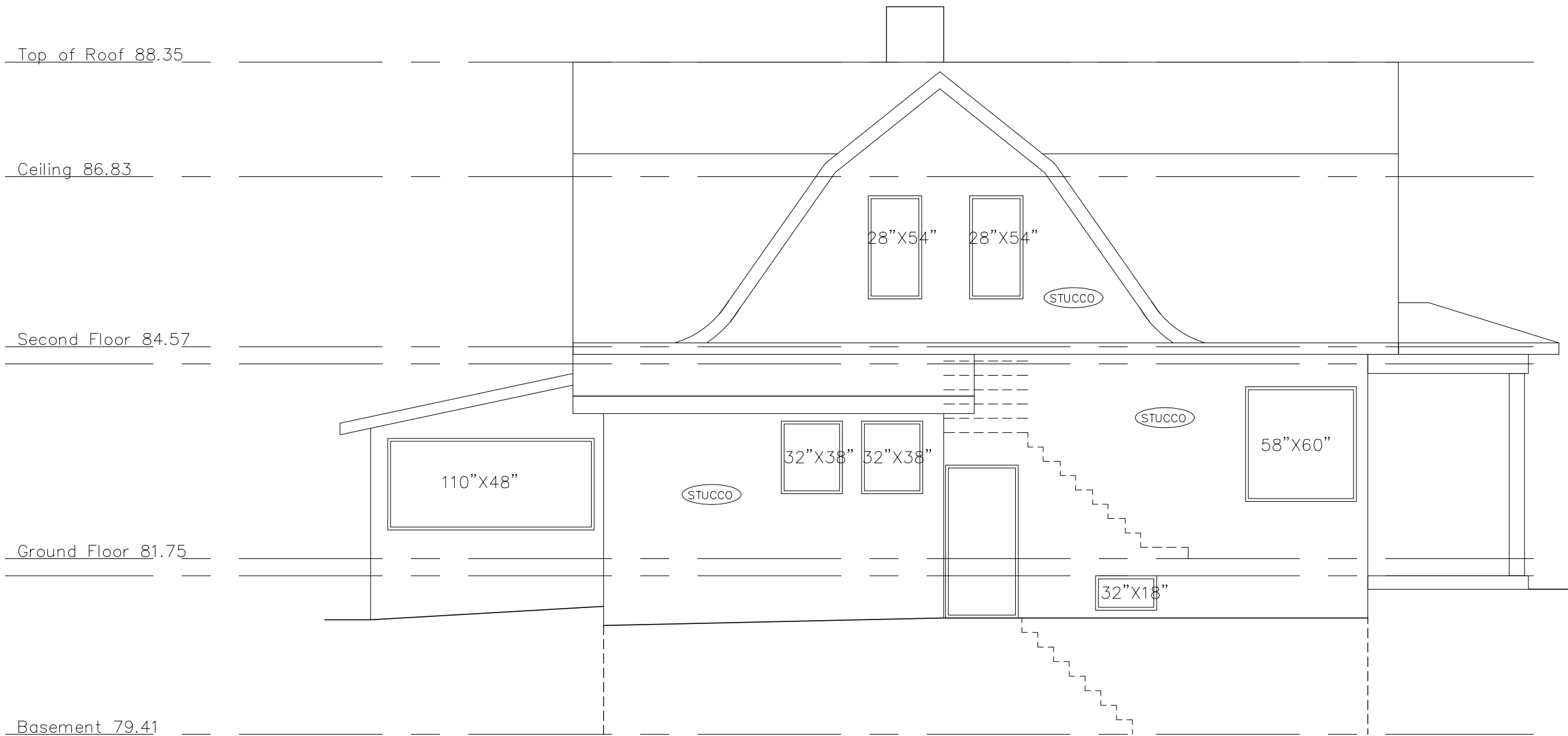
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**Drawing No.**

**A-204**

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Existing Left (East) Elevation



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

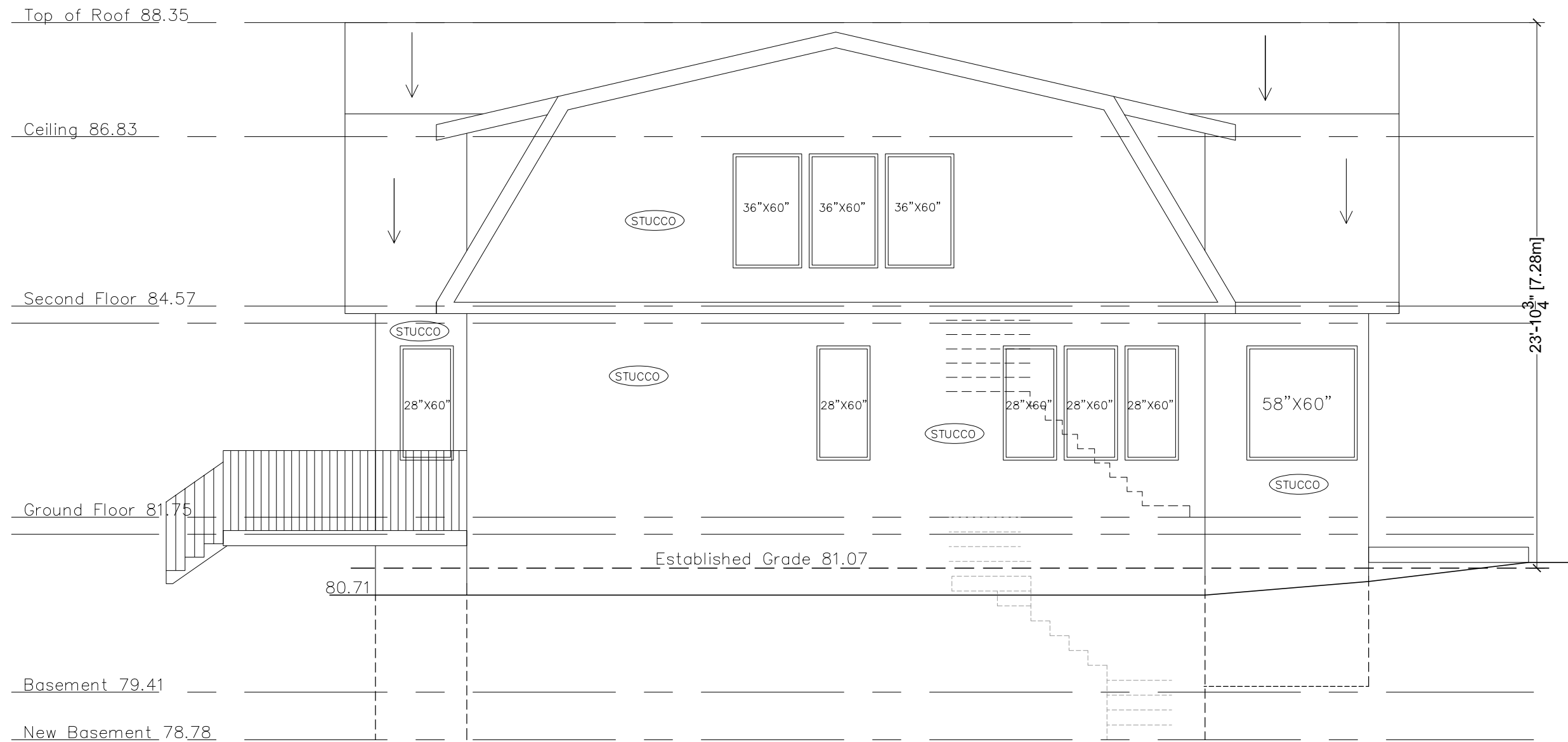
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**Drawing No.**

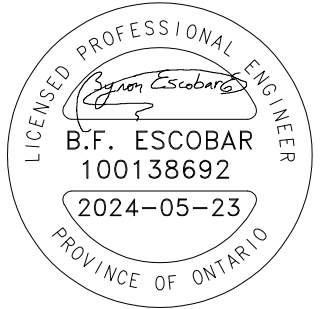
**A-208**

23 of 30



Proposed Left (East) Elevation





**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

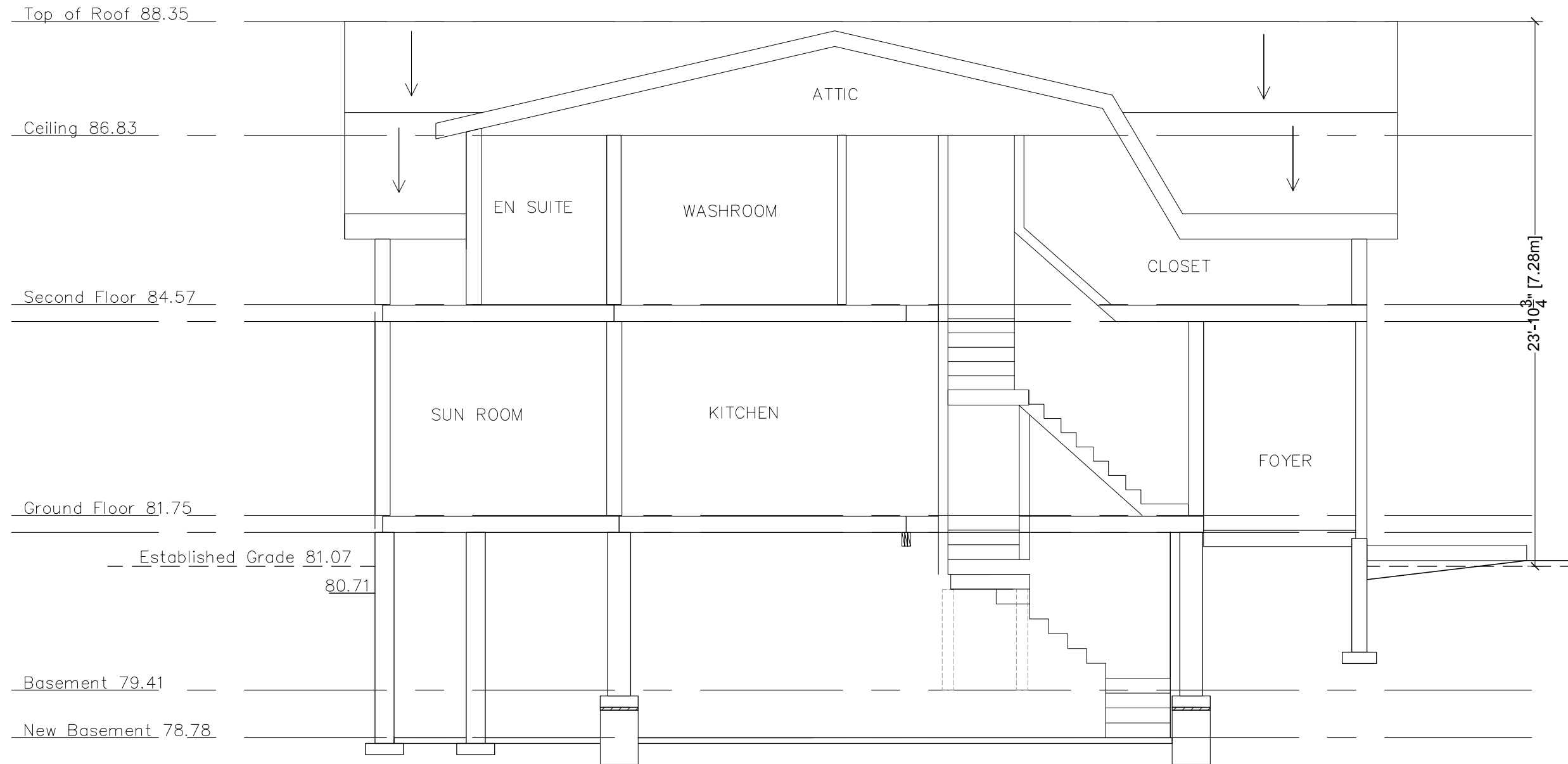
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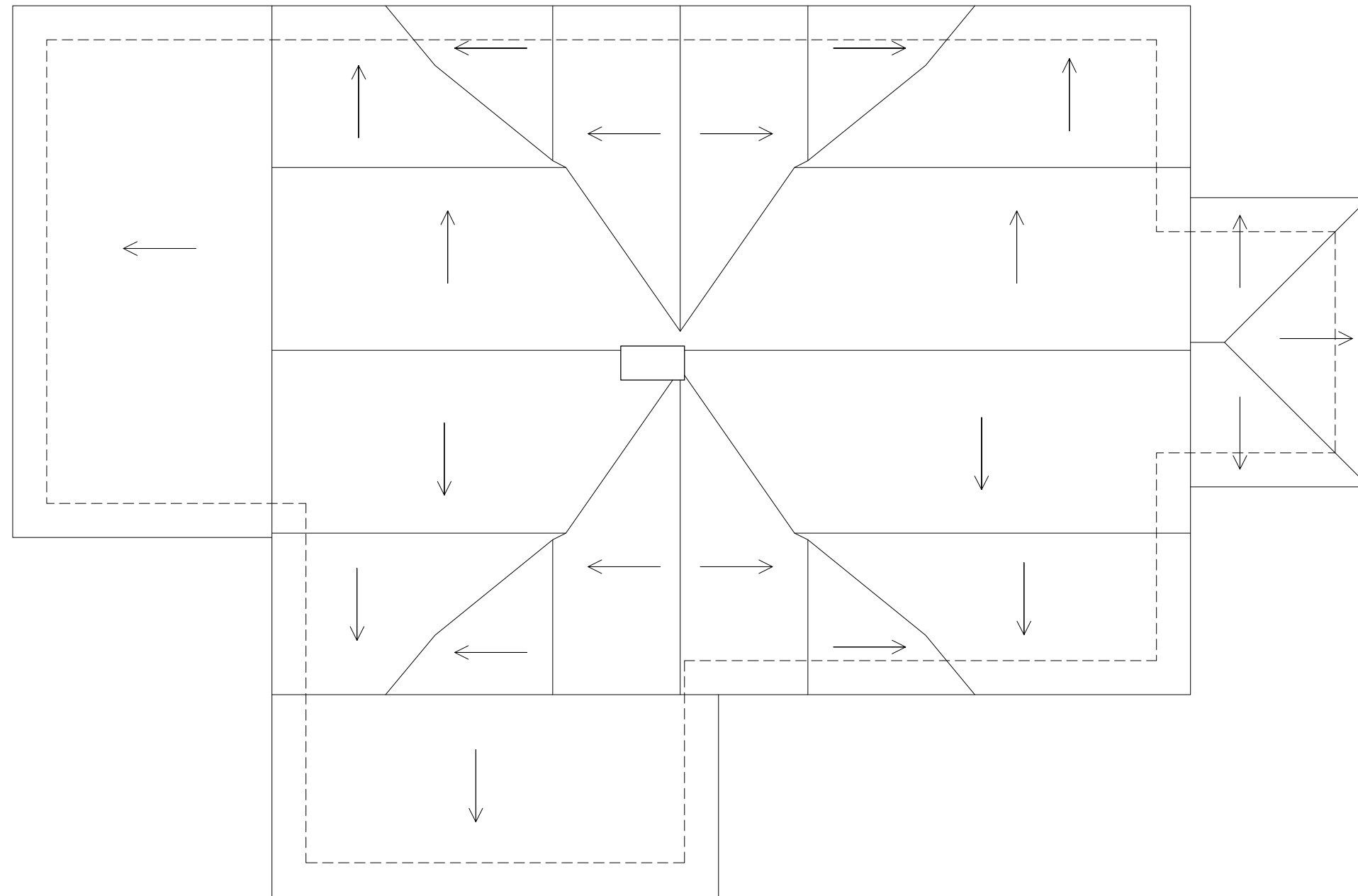
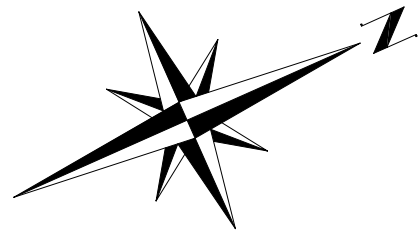
**Drawing No.**

**A-209**

24 of 30



Section A-A



Existing Roof Plan



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**Project Address:**  
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**Drawing No.**  
**A-304**

GENERAL NOTES:

- All work must comply with Ontario Reg. 332/12 (Building Code) and Ontario Reg. 213/91 (Construction Projects).
- All dimensions, locations, existing structural elements to be verified on site prior construction.
- Contractor to provide all temporary bracing and shoring necessary for the safe execution of this work
- All lumber to be No. 1 & 2 spruce or better
- All plywood shall be stamped exterior grade
- Interior Door Lintels:
  - Up to 4' 2-2"x8"
  - Up to 5' 2-2"x10"
  - Up to 6' 2-2"x12"
- Design loads are:
  - Live Load = 40 PSF, Dead Load = 20 PSF
- All members shall be so framed, fastened, tied, braced, and anchored to provide the necessary strength, rigidity, and stability OBC 9.23.2.1 and 4.1.1.3
- All loads must be supported and transferred to foundation or adequate support
- All guards and handrails to comply with OBC 9.8.7 and 9.8.8 requirements typical
- All exterior wood to be pressure treated

CONCRETE:

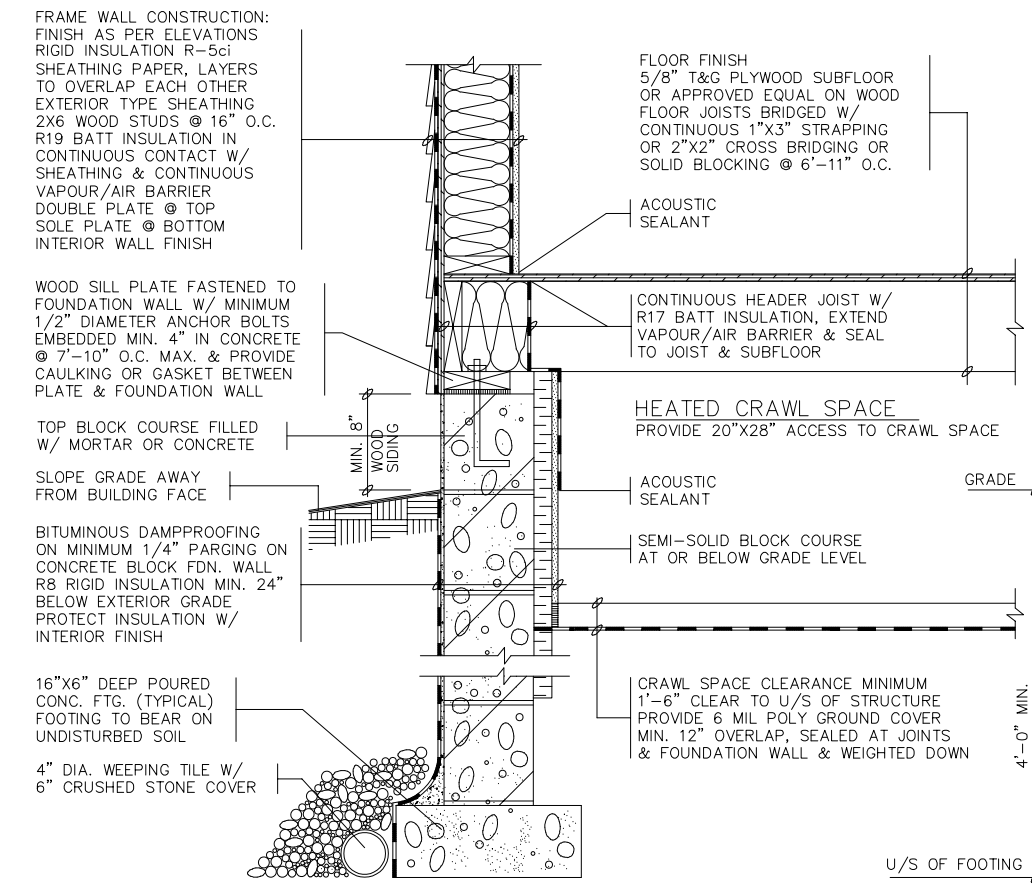
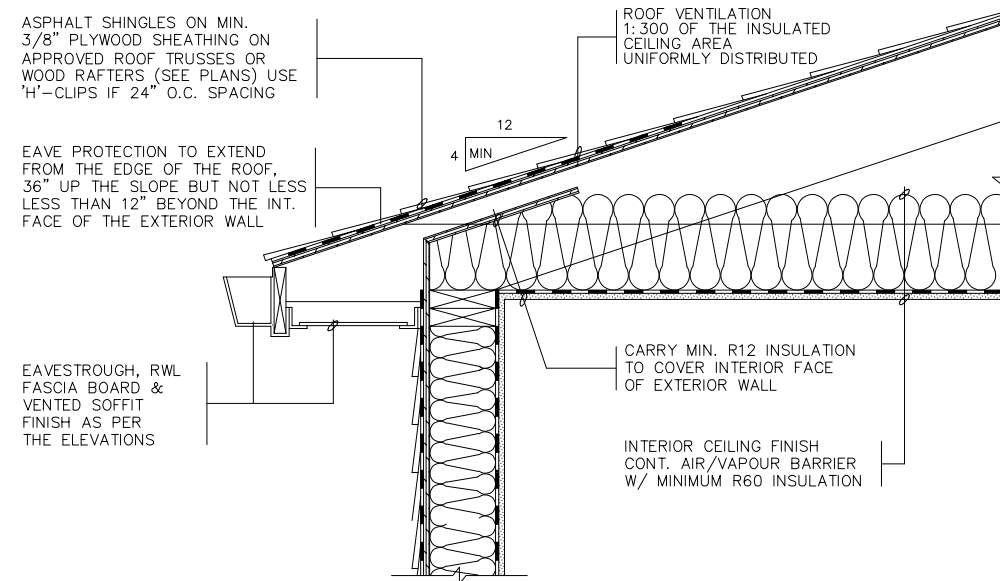
Unreinforced and reinforced concrete shall be designated, mixed, placed, cured and tested in accordance with the requirements for "R" class concrete stated in Clause 8.13 of CSA A23.1, "Concrete Materials and Methods of Concrete Construction", with a maximum aggregate size of 19 mm. For strip footings, footing pads and foundation walls, use 20 MPa. For concrete exposed to cold weather, use 32 MPa concrete with 5%-8% air entrainment.

STEEL REINFORCEMENT:

Reinforcement shall conform to CAN/CSA-G30.18-M "Billet-Steel Bars for Concrete Reinforcement" with a minimum specified yield strength of 400 MPa, and be lapped a minimum of 450 mm for 10M bars and 650 mm for 15 M bars.

STRUCTURAL STEEL:

Structural steel shall conform to CAN/C.S.A.-G40.20/G40.21 Grade 350W to be shop painted (primed). Structural steel connections to be welded on site. Contractor to submit stamped shop drawings for approval prior fabrication. Structural elements to be supported on steel, concrete, or masonry walls. Do not support steel on wood, LVL, or combustible materials.



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Woodbridge, ON (905) 893-9070  
www.tbmengineers.com  
tbmengineers@mail.com



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

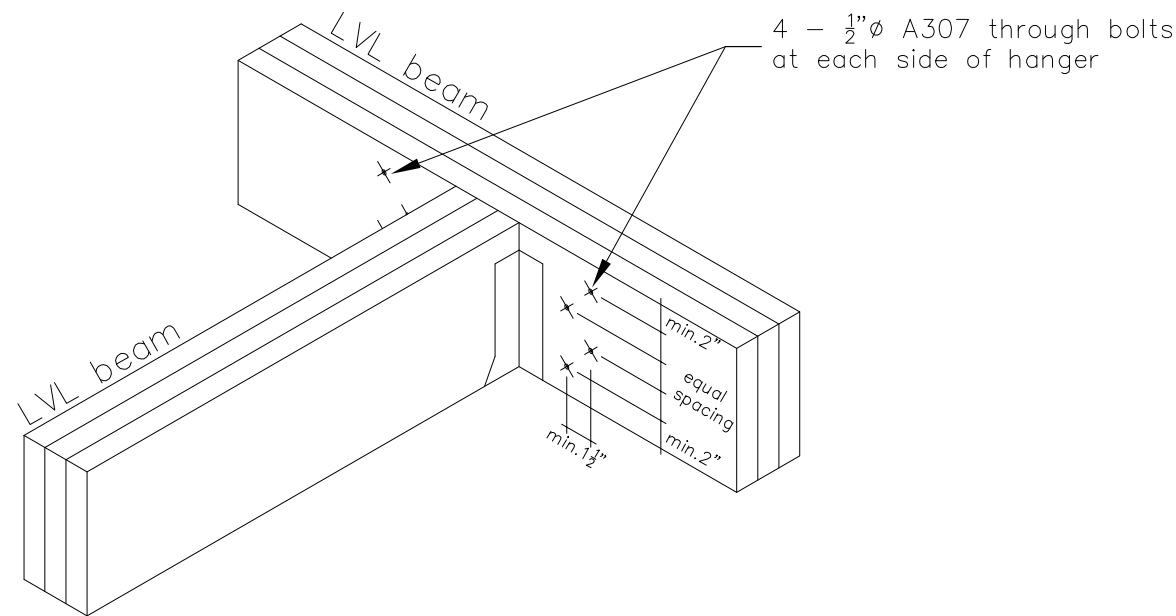
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2024-05-23 Building Permit

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**Drawing No.**  
**S-501**

25 of 30

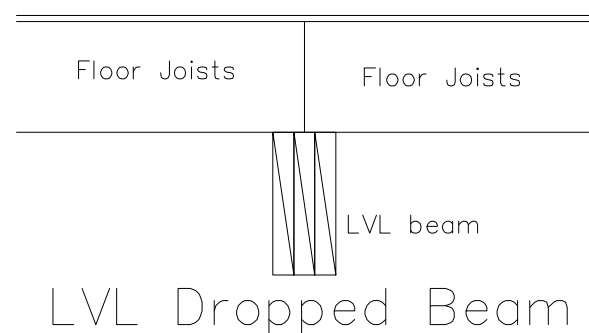
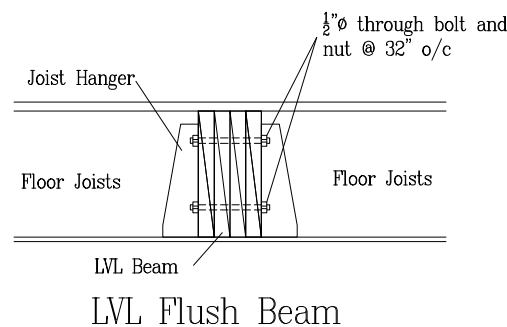


8-Bolt Beam-Beam Connection

3100F<sub>v</sub>-2.0E 1 3/4" WEST FRASER™ LVL

| Connector                      | Spacing  | Rows   | Maximum Factored Uniform Load (PLF) Applied to Either Outside Member |                                   |                    |
|--------------------------------|----------|--------|--|-----------------------------------|--------------------|
|                                |          |        | Nails On One Side or Through Bolts                                   | Nails Both Sides or Through Bolts | Through Bolts Only |
| 16d (3 1/2") Common Wire Nails | 12" o.c. | 2 Rows | 885  | 663                               | Not Applicable     |
|                                |          | 3 Rows | 1327   | 995                               | Not Applicable     |
|                                | 6" o.c.  | 2 Rows | 1770   | 1326                              | Not Applicable     |
|                                |          | 3 Rows | 2654   | 1990                              | Not Applicable     |
|                                | 4" o.c.  | 2 Rows | 2655   | 1989                              | Not Applicable     |
|                                |          | 3 Rows | 3981   | 2985                              | Not Applicable     |
| 1/2" A307 Through Bolts        | 24" o.c. | 2 Rows | 671  | 503                               | 448                |
|                                | 12" o.c. | 2 Rows | 1342   | 1006                              | 895                |
|                                |          | 2 Rows | 2684   | 2012                              | 1790               |

\* 4-ply beams should only be side-loaded when loads are applied to both sides of the member.  
 1. Nails to be located a minimum of 2" from the top and bottom of the member. Start all nails a minimum of 2 1/2" in from ends.  
 2. Bolts are to be material conforming to ASTM Standard A307. Bolt holes are to be the same diameter as the bolt, and located 2" from the top and bottom of the member. Washers should be used under head and nut. Start all bolts a minimum of 2 1/2" in from ends.  
 3. Values listed are for standard term loading.

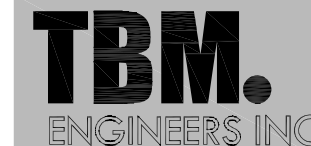


WOOD CONSTRUCTION

Wood framing design and construction shall conform to CAN/CSA-086 "Engineering Design in Wood". Wood trusses and manufactured framing members are to be designed and certified by Professional Engineer for loads conditions indicated on drawings. Framed walls are to be wind braced at all corners in both directions. Lumber to be SPF No. 1 / 2 or better unless noted otherwise. Moisture content to be 19% or less. Lumber not to be drilled or notched without permission of consultant. Roof sheathing to be minimum 1/2" plywood conforming CSA O151 "Canadian Softwood Plywood". Wall sheathing to be minimum 3/8" plywood conforming CSA O151 "Canadian Softwood Plywood" or 7/16" O-2 OBS conforming CSA O0452 "Design Rated OSB". Floor sheathing to be 5/8" T&G plywood conforming CSA O151 "Canadian Softwood Plywood". Subfloor to be glued and nailed / screwed to every supporting member. Bolted connections shall be made using grade A307 bolts unless otherwise noted. Use pressure treated lumber (CWPB approved) or apply suitable wood preservative to all wood in contact with soil. Wood shall not be installed directly on masonry or concrete without protection: provide 6 MIL (0.152 mm ) polyethylene sheet. Solid horizontal blocking shall be provided @ 48" o.c. in the first two joists spaces adjacent to exterior walls and attached to exterior walls to provide lateral stability. Provide 2"x2" diagonal cross bridging @ 96" o.c. for all sawn joist locations. All nails conforming steel wire nails and spikes as defined in CAS Standard B111 "Wire, Nails, Spikes, and Staples". Laterally support all steel beams by pre-drilling flanges for 1/2"Ø bolted attachments for wood nailers with 9/16"Ø holes staggered at 24" o.c.. Use joist hangers where framing members connect into the sides of supporting members. All steel connectors (uplift clips, brackets, joists hangers, etc.) to be Simpson Strong Tie connectors unless otherwise noted. All nails and fasteners in contact with pressure treated wood are to be hot dip galvanized as per CSA-G164 or stainless steel. For built up members, (trusses, beams, lintels) provide a built up post with equal or greater thickness. All built up posts to be continuous (including transfer blocking at floors) down to the foundation or adequate support. All built up members to be fastened together with two 3" spiral nails at 12" o.c. for every ply.

CONSTRUCTION JOINTS:

Construction joists shall be made and located so as not to impair the strength of the structure. If construction joists are not specifically located on drawings, Engineer must be consulted. Construction joints must line up with other building joints (expansion, masonry, concrete, etc.) where possible.



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Project Address:

14 TIMBER LANE  
 OAKVILLE ON L6L 2Z3

Addition to Detached Dwelling

Date Issued for:  
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 3/16" = 1'-0" (1:64)

Drawing No.

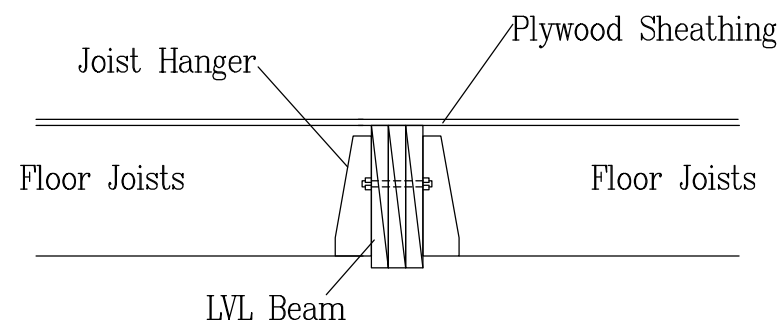
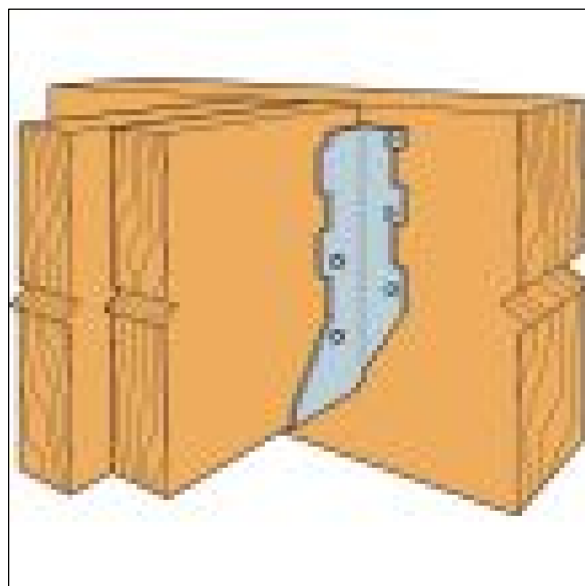
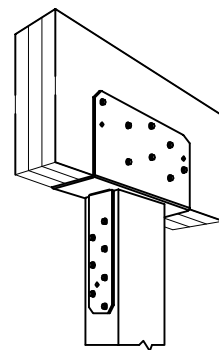
**S-502**

**CONCRETE:**

Unreinforced and reinforced concrete shall be designated, mixed, placed, cured and tested in accordance with the requirements for "R" class concrete stated in Clause 8.13 of CSA A23.1, "Concrete Materials and Methods of Concrete Construction", with a maximum aggregate size of 19 mm. For strip footings, footing pads and foundation walls, use 20 MPa. For concrete exposed to cold weather, use 32 MPa concrete with 5%–8% air entrainment.

**STEEL REINFORCEMENT:**

Reinforcement shall conform to CAN/CSA-G30.18-M "Billet-Steel Bars for Concrete Reinforcement" with a minimum specified yield strength of 400 MPa, and be lapped a minimum of 450 mm for 10M bars and 650 mm for 15 M bars.



WOOD BEAM CONNECTION

**BEARING DETAILS**

**B1 BEARING AT WALL**  
Engineered wood rim board for lateral support  
Built-up wood column

**B2 BEARING FOR DOOR OR WINDOW HEADER**  
Strap per code if top plate is not continuous over headers  
Timbers (see minimum bearing lengths from uniform load tables)

**B3 BEAM-TO-BEAM CONNECTION**  
Face-mount hanger  
Top-mount hanger

**B4 BEARING AT CONCRETE WALL**  
Protect wood from direct contact with concrete

**B5 BEARING AT WOOD OR STEEL COLUMN**  
Verify column capacity and bearing length.  
Wood column with column cap  
Steel column with column cap

**BEARING LENGTH IS EXTREMELY CRITICAL AND MUST BE CONSIDERED FOR EACH APPLICATION.**  
Multiple pieces of West Fraser™ LVL can be nailed or bolted together to form a header or beam of the required size, up to a maximum width of 5 inches for 1 3/4" wide pieces and 7 inches for 1 9/4" wide pieces. See pages 9, 15, 21 and 25 for details.

---

**ALLOWABLE HOLES**

**GENERAL NOTES**

- The Allowed Hole Zone in this chart is suitable for **Uniformly loaded beams** using maximum loads for any tables listed. For other load conditions or hole configurations, please contact West Fraser.
- If more than one hole is to be cut in the beam, the length of the uncut beam between holes must be a minimum of twice the diameter of the largest hole.
- Rectangular holes are not allowed.
- Holes in cantilevers require additional analysis.
- For beam depths of 3 1/2", 5 1/2" and 7 1/4", the maximum hole diameter is 3/4", 1 1/4" and 1 1/2" respectively. For deeper beams, the maximum hole diameter is 2". The maximum number of holes for each span is limited to 3.

**Do not cut, notch or drill holes in West Fraser™ LVL except as indicated in illustration for allowable holes**

**Do not overhang seat cuts on West Fraser™ LVL beams from inside face of support member**

**Do not notch underside of beam at bearing location**

**Do not bevel-cut beam past inside face of support**

SUPPLIER SPECIFICATIONS



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**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

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**S-503**

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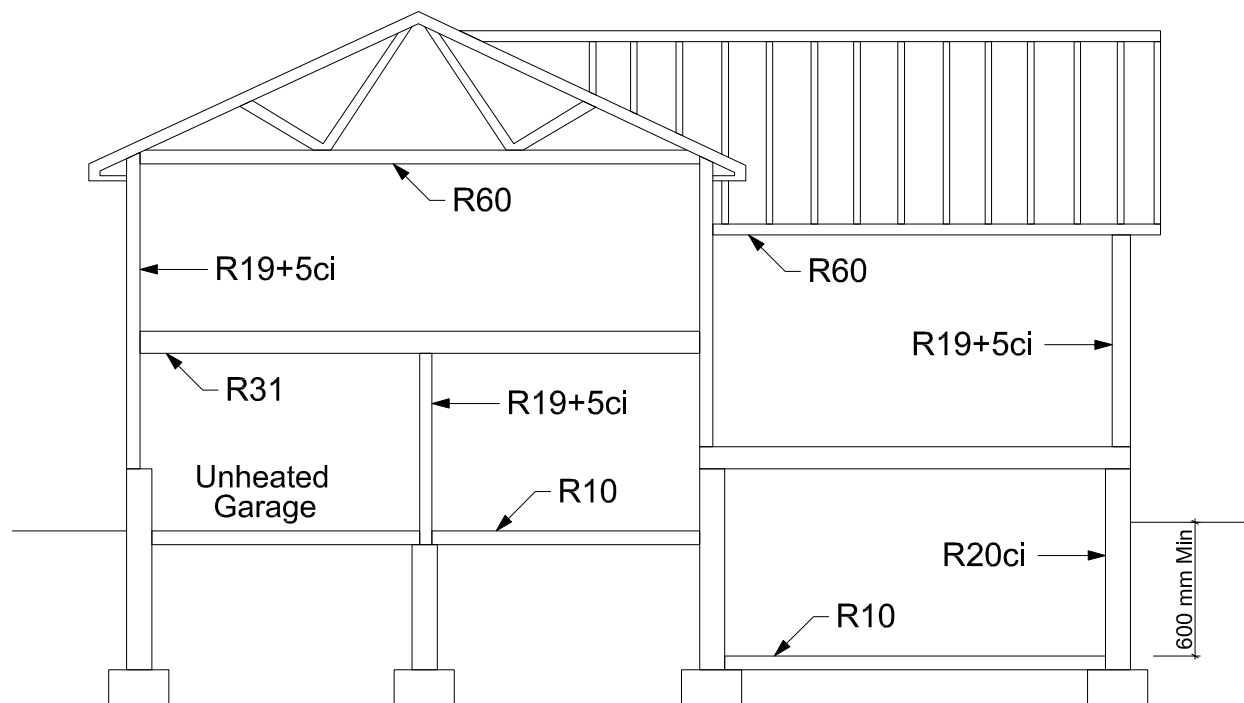
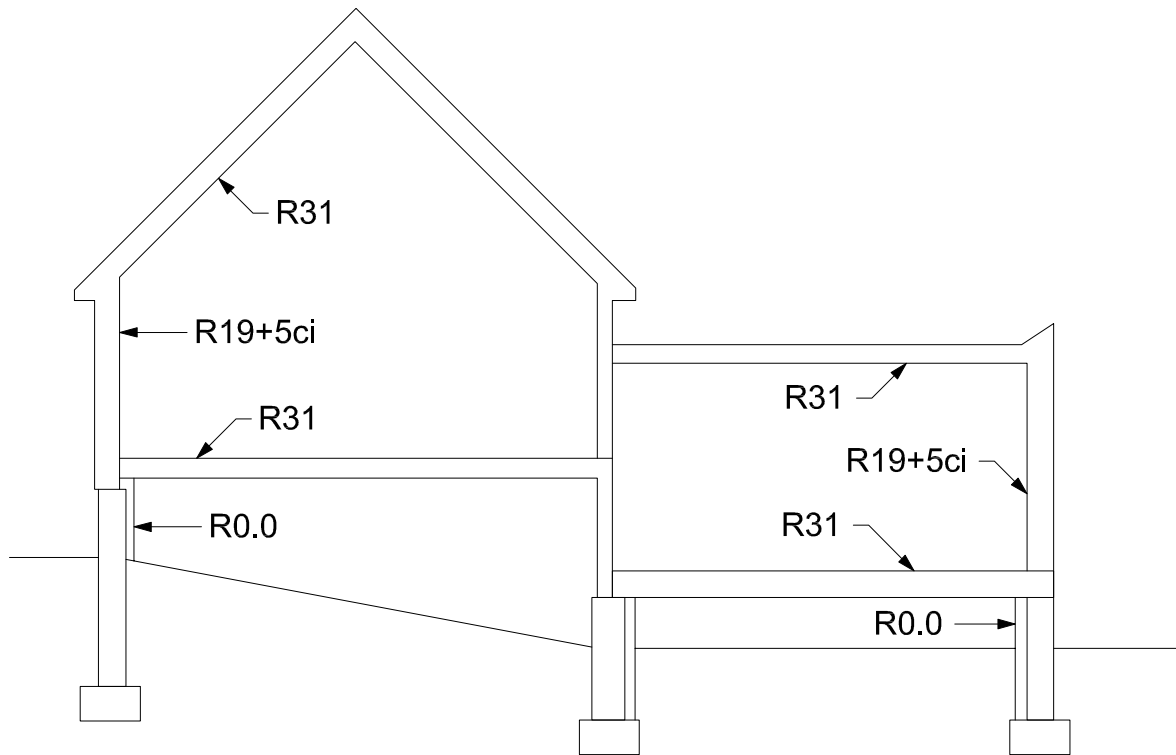
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Table 3.1.1.11. (IP)  
Thermal Performance Requirements for Additions to Existing Buildings(3)  
Forming Part of Sentence 3.1.1.11.(2)

| Component                                     | Thermal Values(7)   | Compliance Package         |                          |                        |
|---|---------------------|----------------------------|--------------------------|------------------------|
|   |                     | Zone 1                     | Zone 2                   | Electric Space Heating |
|   |                     | Less than 5000 Degree Days | 5000 or more Degree Days | Zones 1 and 2          |
| Ceiling with Attic Space                      | Min. Nominal R(1)   | 60                         | 60                       | 60                     |
|   | Max. U(2)           | 0.017                      | 0.017                    | 0.017                  |
| Ceiling Without Attic Space                   | Min. Nominal R(1)   | 31                         | 31                       | 31                     |
|   | Max. U(2)           | 0.036                      | 0.036                    | 0.036                  |
| Exposed Floor                                 | Min. Nominal R(1)   | 31                         | 31                       | 31                     |
|   | Max. U(3)           | 0.034                      | 0.034                    | 0.034                  |
| Walls Above Grade                             | Min. Nominal R(1)   | 19 + 5 ci                  | 22 + 7.5 ci              | 22 + 10 ci             |
|   | Max. U(3)           | 0.049                      | 0.042                    | 0.038                  |
|   | Min. Effective R(3) | 20.32                      | 23.90                    | 26.40                  |
| Basement Walls(6)                             | Min. Nominal R(1)   | 20 ci                      | 20 ci                    | 20 ci                  |
|   | Max. U(4)           | 0.047                      | 0.047                    | 0.047                  |
|   | Min. Effective R(4) | 21.12                      | 21.12                    | 21.12                  |
| Heated Slab or Slab ≤ 600 mm Below Grade      | Min. Nominal R(1)   | 10                         | 10                       | 10                     |
|   | Max. U(4)           | 0.090                      | 0.090                    | 0.090                  |
|   | Min. Effective R(4) | 11.13                      | 11.13                    | 11.13                  |
| Edge of Below Grade Slab ≤ 600 mm Below Grade | Min. Nominal R(1)   | 10                         | 10                       | 10                     |
|   | Max. U(5)           | 0.28                       | 0.25                     | 0.25                   |
| Windows and Sliding Glass Doors               | Energy Rating       | 25                         | 29                       | 29                     |
|   | Column 1            | 2                          | 3                        | 4                      |
|   |                     |                            |                          | 5                      |

Notes to Table 3.1.1.11:

- (1) The values listed are minimum Nominal R values for the thermal insulation component only.
- (2) U-Value and effective R value shall include entire ceiling assembly components, from interior air film to vented space air film above insulation.
- (3) U-Value and effective R value shall include entire exposed floor or above grade wall assembly components, from interior air film to exterior air film.
- (4) U-Value and effective R value shall include entire basement wall or slab assembly components and interior air film.
- (5) U-Value is the overall coefficient of heat transfer for a window assembly, sliding glass door assembly or skylight assembly expressed in Btu/(h·ft²·F).
- (6) In the case of basement wall assemblies, where R20 ci is required R12 + 10 ci is permitted to be used or vice versa; or where R12+ 5 ci is required, R15 ci is permitted to be used or vice versa.
- (7) Nominal and effective R values are expressed in (h·ft²·F)/Btu. U-Values are expressed in Btu/(h·ft²·F).



① EXCAVATION AND BACKFILL

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material
- If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 11 3/4" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter

② DAMPPROOFING AND DRAINAGE

- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required
- Masonry foundation walls shall be parged with 1/4" of mortar covered over the footing prior to dampproofing
- 4" foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump
- Window wells shall be drained to the footing
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion
- Concrete slabs in attached garages shall be sloped to drain to the exterior
- The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties

③ FOOTINGS

- minimum 15 MPa poured concrete
- minimum 48" below finished grade
- Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 100 kPa

④ FOOTING SIZE

- | Floors Supported | Supporting Ext. Wall | Supporting Int. Wall | Column Area          |
|------------------|----------------------|----------------------|----------------------|
| 1                | 9 7/8"               | 9 7/8"               | 4.3 ft <sup>2</sup>  |
| 2                | 13 3/4"              | 13 3/4"              | 8.1 ft <sup>2</sup>  |
| 3                | 17 3/4"              | 19 3/4"              | 10.9 ft <sup>2</sup> |
- Increase footing width by 2 5/8" for each storey of brick veneer supported, and by 5 1/8" for each storey of masonry
  - The projection of an unreinforced footing beyond the wall supported shall not be greater than its thickness

⑤ STEP FOOTINGS

- Vertical Rise  
23 5/8" Max. for firm soils  
15 3/4" Max. for sand or gravel  
Horizontal Run = 23 5/8" Min.

⑥ FOUNDATION WALLS

- To be poured concrete, unit masonry or preserved wood (see drawings for type and thickness)
- Dampproofing shall be a heavy coat of bituminous material.
- Foundation wall to extend minimum 5 7/8" above finished grade.
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2'-11" below exterior grade. A drainage layer shall consist of
  - Min. 3/4" mineral fibre insulation with min. Density of 3.6 lb/ft<sup>2</sup>
  - Min. 4" of free drainage granular material, or
  - An approved system which provides equivalent performance
- Foundation walls shall be braced or have the floor joists installed before backfilling

⑦ CONCRETE FLOOR SLABS

- Garage, carport and exterior slabs and exterior steps shall be 4650psi concrete with 5-8% air entrainment
- Other slabs 3600psi concrete
- Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

⑧ MASONRY WALLS

- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 6th course
- Provide 2" solid masonry or continuous 1 1/2" plate under all roof and floor framing members
- Provide 7 1/2" solid masonry under beams and columns
- Masonry wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6'-7" o.c.
- Inside back of wall to be parged and covered with No.15 breather-type asphalt paper
- For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 1/2" brick to minimum 3 1/2" back-up block with corrosion resistant ties at least 0.028in<sup>2</sup> in cross sectional area, spaced 7 7/8" vertically and 2'-11" horizontally, with joints completely filled with mortar
- Masonry over openings shall be supported on corrosion resistant or prime painted steel lintels with a minimum of 5 7/8" end bearing

⑨ MASONRY VENEER

- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked
- Minimum 1" air space to sheathing
- Provide weep holes @ 31 1/2" o.c. at the bottom of the cavity and over doors and windows
- Direct drainage through weep holes with 20 mil poly flashing extending minimum 5 7/8" up behind the sheathing paper
- Veneer ties minimum 0.030" thick x 7/8" wide corrosion resistant straps spaced @ 23 5/8" vertically and 15 3/4" horizontally
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs

⑩ WOOD FRAME CONSTRUCTION

- All lumber shall be spruce-pine-fir No. 1 & 2, and shall be identified by a grade stamp
- Maximum moisture content 19% at time of installation
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6 mil polyethylene

⑪ WALLS

- Exterior walls shall consist of:
  - cladding
  - sheathing paper lapped 4" at joints
  - 3/8" fibreboard or gypsum board or 1/4" plywood sheathing
  - 2x6 studs @ 16" o.c.
  - 2x6 bottom plate and double 2x6 top plate
  - 2x4 studs @ 16" o.c. can be utilized provided the combined R value of the batt insulation and exterior rigid insulation achieves R-17.
- Interior loadbearing walls shall consist of:
  - 2x4 studs @ 16" o.c.
  - 2x4 bottom plate and double 2x4 top plate
  - 2x4 mid-girts if not sheathed
  - 1/2" gypsum board sheathing

⑫ FLOORS

- See S04 for floor joist size and spacing requirements
- Joists to have minimum 1 1/2" of end bearing
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7' 10" o.c.
- Header joists between 3' 11" and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations
- Trimmer joists shall be doubled when supported header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7"
- 2x2 cross bridging required not more than 6' 11" from each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
- Joists located under parallel non-loadbearing partitions shall be doubled
- See S04 for subflooring requirements

⑬ ROOF AND CEILINGS

- See S04 for rafter, roof joist and ceiling joist size and spacing requirements
- Hip and valley rafter shall be 2" deeper than common rafters
- 2x4 collar ties @ rafter spacing with 1x4 continuous brace at mid span if collar tie exceeds 7' 10" in length
- See S04 for roof sheathing requirements

⑭ NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS

- Holes in floor, roof and ceiling members to be maximum 1/4 x actual depth of member and not less than 2" from edges
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2 the actual depth from the edge of bearing and not greater than 1/3 joist depth
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" if non-load bearing
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design

⑮ ROOFING

- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing
- Every asphalt shingle shall be fastened with at least 4 nails
- Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 11 3/4" from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" head and end laps cemented together, or glass Fibre or Polyester Fibre coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 1.5, or where a low slope asphalt shingle application is provided
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of sheet metal min. 23 5/8" wide
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or 0.019" aluminum

⑯ COLUMNS, BEAMS & LINTELS

- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" end bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2"; in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 1 3/8" x 11 3/8" or 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads

⑰ INSULATION & WEATHERPROOFING

|   |          |
|---|----------|
| Ceiling with attic                            | R-60     |
| Ceiling without attic space                   | R-31     |
| Exposed Floor                                 | R-31     |
| Walls above Grade                             | R-19+5ci |
| Basement Walls                                | R-20ci   |
| Heated Slab or Slab < 600 mm Below Grade      | R-10     |
| Edge of Below Grade Slab < 600 mm Below Grade | R-10     |

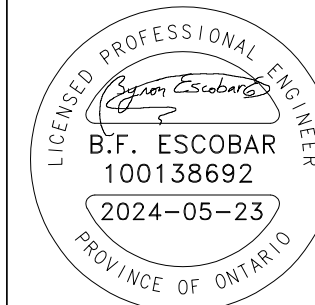
- Supply Ducts in unheated space R-20
- Insulation shall be protected with gypsum board or an equivalent interior finish, except for unfinished basements where 6 mil poly is sufficient for fibreglass type insulations
- Ducts passing through unheated space shall be made airtight with tape or sealant
- Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding
- Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior

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**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date Issued for:**  
2024-05-23 Building Permit

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**S-506**

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18 NATURAL VENTILATION

- Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area.
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
- Unheated crawl spaces shall be provided with 1.1 ft<sup>2</sup> of ventilation for each 538<sup>2</sup> ft
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:  
Bathrooms: 0.97 ft<sup>2</sup>  
other rooms: 3 ft<sup>2</sup>  
Unfinished basement: 0.2% of floor area

19 DOORS AND WINDOWS

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.8 ft<sup>2</sup> and no dimension less than 15", which is openable from the inside without tools
- Exterior house doors and windows within 6' 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock
- The principal entry door shall have either a door viewer, transparent glazing or a sidelight

20 EXTERIOR WALLS

- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3' 11" from property lines
- Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines

21 CERAMIC TILE

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16" o.c. with at least 2 rows cross bridging

22 ACCESS TO ATTICS AND CRAWL SPACES

- Access hatch minimum 19 3/4" x 2' 4" to be provided to every crawl space and every roof space which is 108 ft<sup>2</sup> or more in area and more than 23 5/8" in height

23 GARAGE GASPROOFING

- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes
- All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-closer

24 ALARMS AND DETECTORS

- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2' 11" or more above an adjacent level
- Smoke alarms shall be interconnected and located such that one is within 16' 5" of every bedroom door and no more than 49' 3" travel distance from any point on a floor
- A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove

25 STAIRS

- Maximum Rise 7 7/8"
- Minimum Run 10"
- Maximum Run 14"
- Minimum Head Room 6' 5"
- Minimum Width 2' 10"
- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum average run of 7 7/8"
- Winders which converge to a point in stairs must turn through an angle of no more than 90°; with no less than 30° or more than 45° per tread. Sets of winders must be separated by 3' 11" along the run of the stair
- A landing minimum 2' 11" in length is required at the top of any stair leading to the principal entrance to a dwelling, and other entrances with more than 3 risers
- Exterior concrete stairs with more than 2 risers require foundations

26 HANDRAILS AND GUARDS

- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
- Interior and exterior guards min. 2' 11" high. Exterior guards shall be 3' 6" high where height above adjacent surface exceeds 5' 11"
- Guards shall have no openings greater than 4", and no member between 4" and 2' 11" that will facilitate climbing

27 PLUMBING

- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well

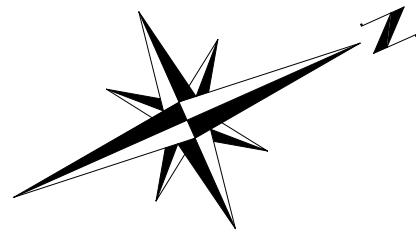
28 ELECTRICAL

- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs
- Basements require a light for each 323 ft<sup>2</sup> controlled by a switch at the head of the stairs

29 MECHANICAL VENTILATION

- A mechanical ventilation system is required with a total capacity at least equal to the sum of:  
• 10 cfm each for basement and master bedroom  
• 5 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets

| Table 3.1.1.11.(SI) - Thermal Performance Requirements for Additions to Existing Buildings |   | Zone 1      |           |
|--|---|-------------|-----------|
| Component  |   |             |           |
| Ceiling with Attic Space   | Minimum RSI(R)-Value(1)                                       | 10.56       | (R60)     |
| Ceiling without Attic Space  | Minimum RSI (R) - Value(1)                                    | 5.46        | (R31)     |
| Exposed Floor  | Minimum RSI (R) - Value(1)                                    | 5.46        | (R31)     |
| Walls above Grade  | Minimum RSI (R) - Value(1)                                    | 3.34+0.88ci | (R19+5ci) |
| Basement Walls   | Minimum RSI (R) - Value(1)                                    | 3.52 ci     | (R20 ci)  |
| Below Grade Slab   | Entire Surface > 600mm Below Grade Minimum RSI (R) - Value(1) | -           |           |
| Heated Slab or Slab <= 600 MM Below Grade  | Minimum RSI (R) - Value(1)                                    | 1.76        | (R10)     |
| Edge of Below Grade Slab <= 600 mm Below Grade   | Minimum RSI (R) - Value(1)                                    | 1.76        | (R10)     |
| Windows and Sliding Glass Doors  | Maximum U-Value(2)  | 1.6         | 0.28      |
| Column 1   |   | 3           |           |



SB= Wood Solid Bearing. Minimum 3-2"x6" SPF. Width or diameter of wood column shall be not less than the width of the supported member

PLA= Point Load Above

L1= 2-2"x10" SPF  
L2= 2-1 3/4"x9 1/4" 3100 Fb-2.0E LVL

B2= 2-1 3/4"x11 7/8" 3100 Fb-2.0E LVL  
B3= 3-1 3/4"x11 7/8" 3100 Fb-2.0E LVL

J1= 9 1/2" s31 @16" TJI joists

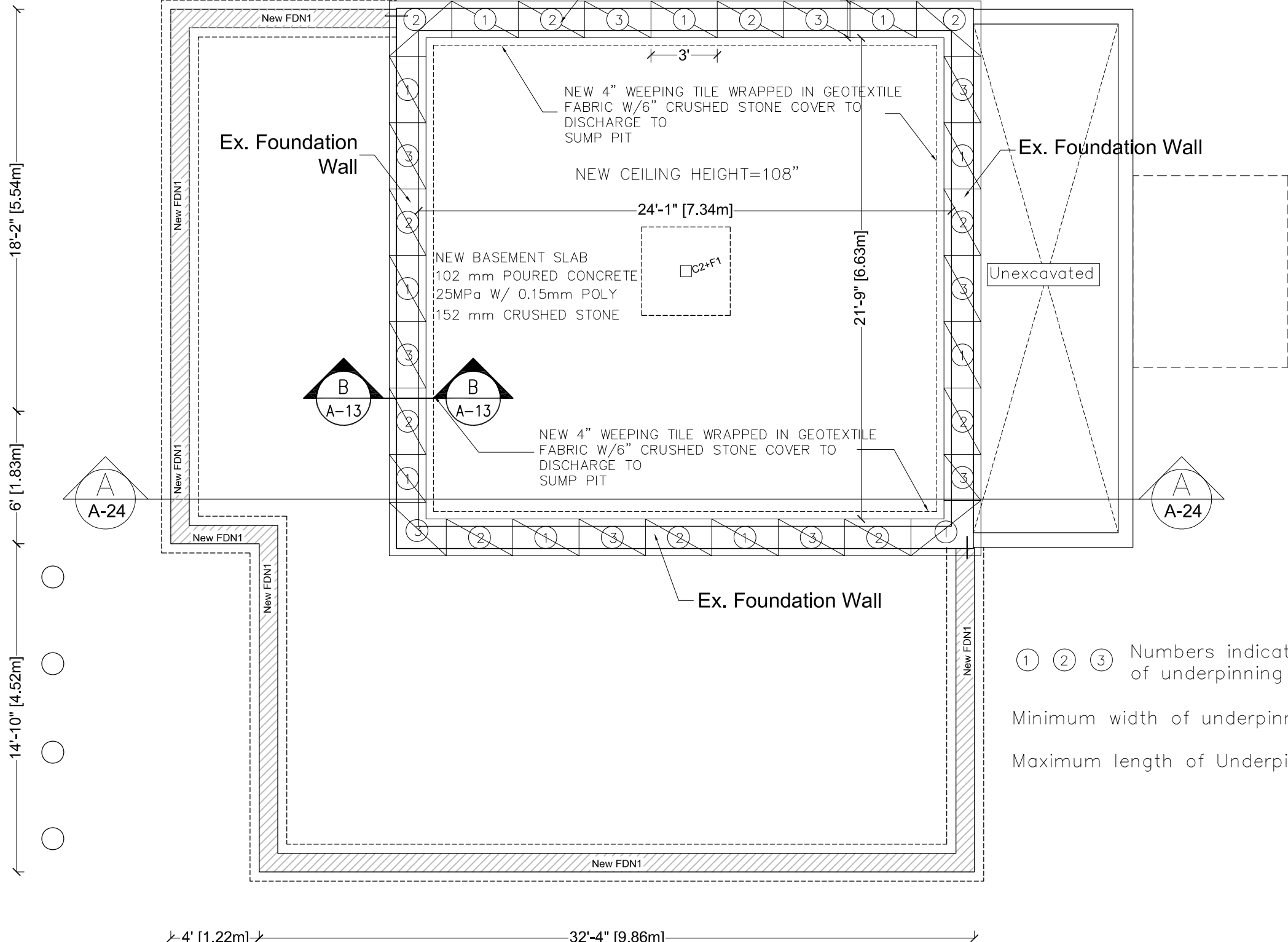
C1=6"x6" PT post  
C2= 4"x4"x1/4" HSS square post with 8"x8"x1/2" bottom plate

LDB= 2-2"x8" PT ledger board with (2)-1/2"Ø@32" o.c. anchor bolts into foundation wall.

P1= 12"Ø concrete pier, 48" below grade

F1=48"x48"x12" concrete footing pad with 15M@6" bottom rebar each way, min 3" concrete cover.

FDN1= 10" poured concrete (25 MPa) 15@16" horizontal and vertical on 20"x6" concrete strip footing with 3-15M longitudinal rebar

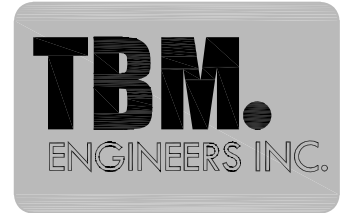


① ② ③ Numbers indicate sequence of underpinning work  
Minimum width of underpinning = 20"  
Maximum length of Underpinning = 36"

Existing Wall  
Walls Removal  
Proposed Wall

Contractor to Verify location, dimensions and size of all existing structural elements and report to engineer any discrepancy.

# Proposed Underpinning



DESIGN. DELIVER. INNOVATE.

### TBM Engineers Inc.

15 Jaylynn Crt.  
Woodbridge, ON (905) 893-9070  
www.tbmengineers.com  
tbmengineers@mail.com



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

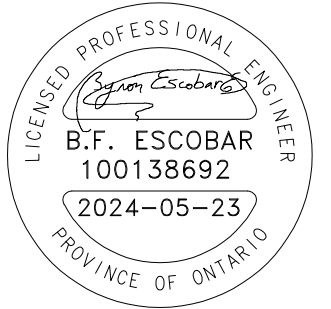
### Addition to Detached Dwelling

**Date** 2024-05-23  
**Issued for:** Building Permit

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**Scale:**  
3/16" = 1'-0" (1:64)

**Drawing No.**  
**U-401**  
12 of 30



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

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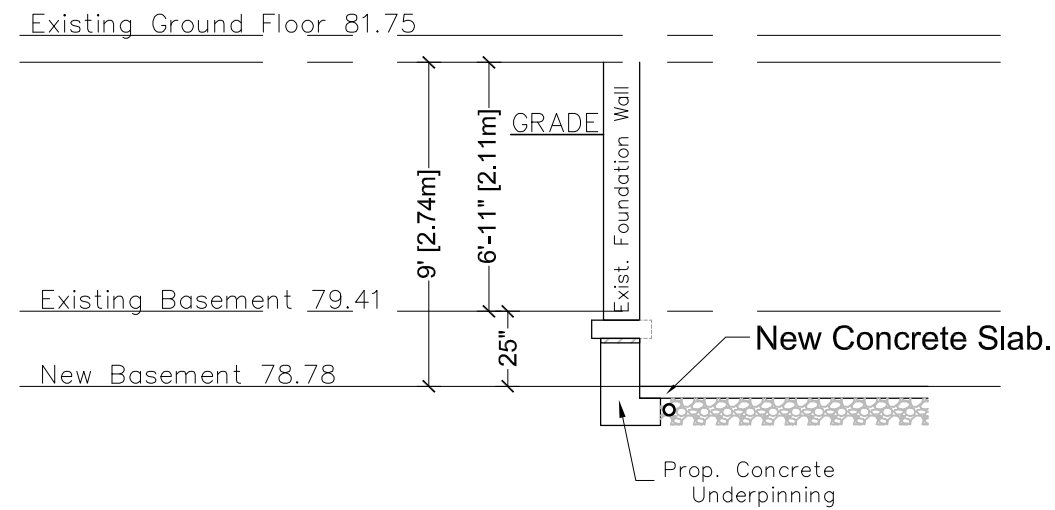
**Scale:**  
1:75

**Drawing No.**  
**U-402**

13 of 30

**NOTES:**

- (1) VERIFY/REINFORCE EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- (2) ALL MEMBERS SHALL BE SO FRAMED, FASTENED, TIED, BRACED AND ANCHORED TO PROVIDE THE NECESSARY STRENGTH RIGIDITY AND STABILITY PER OBC 9.23.2.1
- (3) PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- (4) VERIFY FOUNDATION WALL PROPERTIES, FRAMING AND LOADING DATA FOR COMPLIANCE WITH 9.15.4, OTHERWISE REINFORCE WALLS AS NECESSARY.
- (5) PRIOR TO UNDERPINNING, INSPECTOR TO VERIFY EXISTING FOUNDATION AND FOOTING
- (6) EXCAVATION FOR THE PROPOSED WORK SHOULD NOT UNDERMINE THE FOUNDATION OF ADJOINING BUILDING, OR CAUSE DAMAGE TO UTILITIES, ROADS AND SIDE WALKS. OBC DIV. C 1.2.1.2 AND 9.12.1.4.



SECTION B - B





**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

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**Scale:**  
1:75

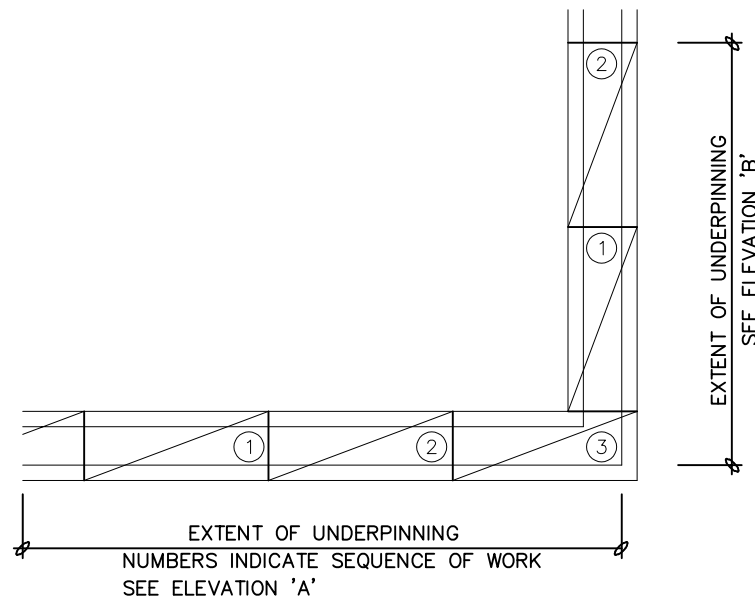
**Drawing No.**

**U-403**

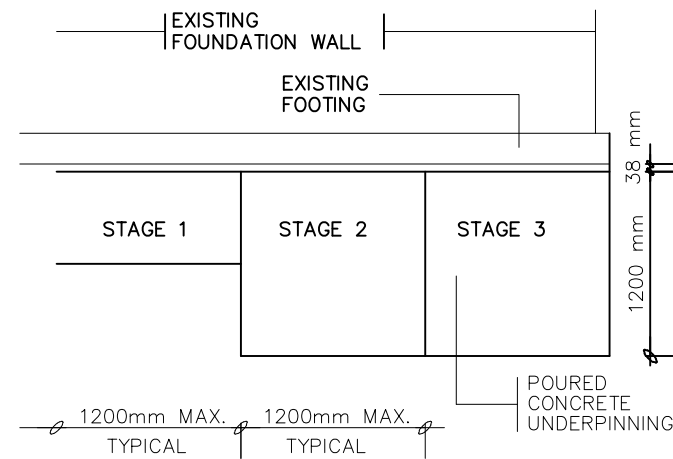
14 of 30

GENERAL NOTES

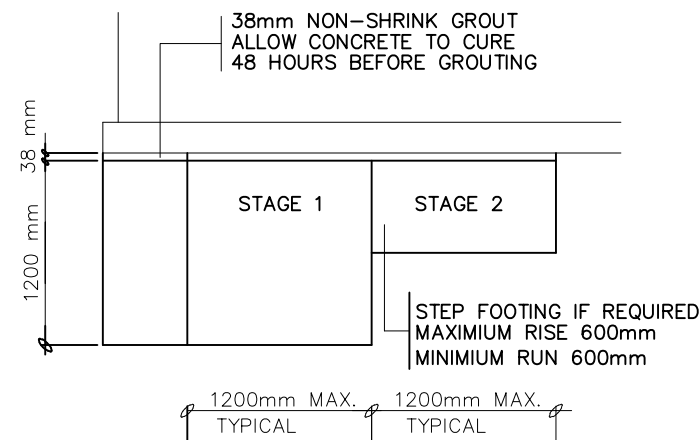
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING & WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200 mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- MINIMUM CONCRETE STRENGTH FOR UNDERPINNING SHALL BE 15MPa AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 32MPa W/ 5%-8% AIR ENTRAINMENT.
- CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING AND PROCEEDING TO THE NEXT STAGE.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.
- WEEPING TILE IS TO DRAIN TO THE STORM SEWER, DITCH, DRYWELL OR INSTALL COVERED SUMP PIT WITH AN AUTOMATIC PUMP.



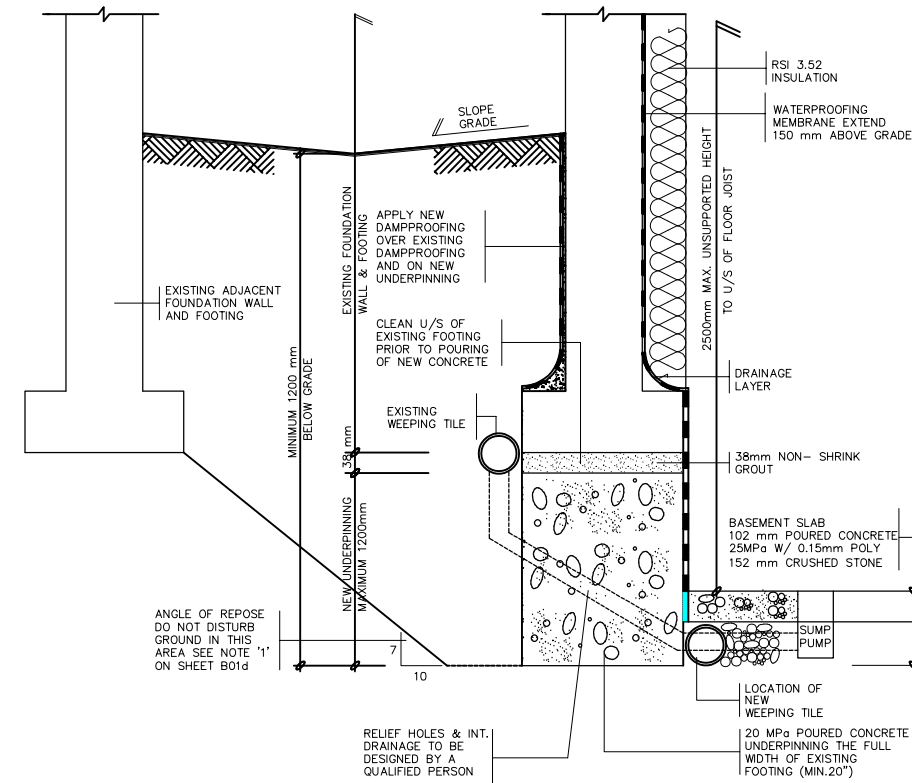
PLAN



ELEVATION 'A'



ELEVATION 'B'



UNDERPINNING FROM INSIDE

**TBM Engineers Inc.**

15 Jaylynn Crt.  
Woodbridge, ON (905) 893-9070  
www.tbmengineers.com  
byrone@tbmengineers.com



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

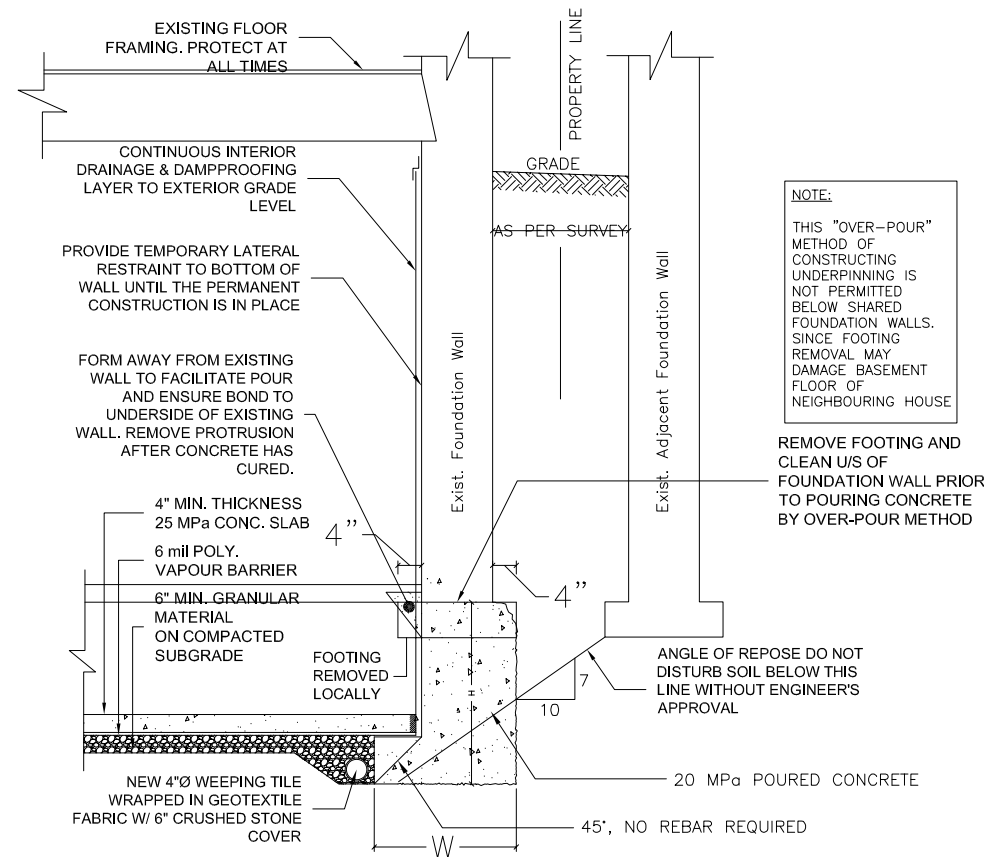
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**Scale:**  
1:75

**Drawing No.**

**U-404**

15 of 30



**NOTE:**  
THIS "OVER-POUR"  
METHOD OF  
CONSTRUCTING  
UNDERPINNING IS  
NOT PERMITTED  
BELOW SHARED  
FOUNDATION WALLS.  
SINCE FOOTING  
REMOVAL MAY  
DAMAGE BASEMENT  
FLOOR OF  
NEIGHBOURING HOUSE

REMOVE FOOTING AND  
CLEAN U/S OF  
FOUNDATION WALL PRIOR  
TO POURING CONCRETE  
BY OVER-POUR METHOD

ANGLE OF REPOSE DO NOT  
DISTURB SOIL BELOW THIS  
LINE WITHOUT ENGINEER'S  
APPROVAL

**NOTES:**

1. THIS IS A "TYPICAL" DETAIL ONLY WHICH MAY BE SUPERSEDED BY DESIGN SPECIFIC INFORMATION SHOWN ON THE DRAWINGS.
2. MAX. LENGTH OF UNDERPINNING SECTIONS SHALL NOT EXCEED 48" AND PERFORMED IN A SEQUENTIAL ORDER AS SHOWN ON THE DESIGN DRAWINGS. UNDERPINNING CONCRETE SHALL CURE MIN. 48 HOURS BEFORE PROCEEDING TO THE NEXT STAGE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT ALL UTILITY LOCATES PRIOR TO CARRYING OUT ANY EXCAVATION WORK. "CALL BEFORE YOU DIG".
4. THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE FROM ORGANIC MATERIAL.
5. EXCAVATION SHALL BE KEPT FREE FROM STANDING WATER.
6. THE CONTRACTOR IS RESPONSIBLE FOR UNDERTAKING THE EXCAVATION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR SHORING AND BRACING THE WORK DURING CONSTRUCTION.
8. H/W SHALL NOT BE MORE THAN 2.0 AND W SHALL MATCH EXISTING FOOTING WIDTH OR BE NOT LESS THAN 20", WHICHEVER IS GREATER



Planning & Regulations  
905.336.1158  
2596 Britannia Road West  
Burlington, Ontario L7P 0G3  
[conservationhalton.ca](http://conservationhalton.ca)

September 5, 2024

Dan Aitken  
14 Timber Lane  
Oakville, ON  
L6L 2Z3

**BY EMAIL ONLY ([daitken5@ford.com](mailto:daitken5@ford.com))**

To Dan Aitken:

**Re: Construction of an addition and foundation underpinning of a two-storey dwelling within the erosion hazard associated with the shoreline of Lake Ontario.  
14 Timber Lane  
Town of Oakville  
CH File: RAPP-9348**

---

### **Proposals**

Please find enclosed **Permit No. 8996** issued in accordance with the *Conservation Authorities Act* and Ontario Regulation 41/24, for the above noted proposal.

Staff have reviewed the following files regarding the above noted proposal:

- *Addition to Detached Dwelling*, Drawings A-02, A-03, A-12, A-13, and A-16-A-23, prepared by TBM Engineers Inc., received July 10, 2024, stamped approved September 5, 2024.

Conservation Halton (CH) regulates all watercourses, valleylands, wetlands, Lake Ontario Shoreline, hazardous lands including unstable soil and bedrock, as well as lands adjacent to these features. The property, 14 Timber Lane, Oakville, is adjacent to the shoreline of Lake Ontario. Through the review of the plans for development activities along the shoreline, CH seeks to ensure that waterfront development activity will generally be directed to areas outside of the hazardous lands. Hazardous lands are those lands adjacent to the shoreline of the Great Lakes - St. Lawrence River System, which are impacted by flooding, erosion, and/or dynamic beach hazards, as well as applicable regulated allowances. The combination of these hazardous lands delineates the extent of the development setback and is determined on-site specific conditions. Permission is required from CH prior to undertaking development activities within CH's regulated area and applications are reviewed under the *Conservation Authorities Act*, Ontario Regulation 41/24 and CH's Regulatory Policies and Guidelines.

The approved work involves the construction and an addition and underpinning the foundation of a dwelling located that is within the erosion hazard associated with the shoreline of Lake Ontario but beyond the development setback. The development activity meets Policy 2.38.1.2 of CH's Regulatory Policies and Guidelines.

Based on the above, this permit is approved with the following conditions:

- a. That CH be contacted immediately should any changes to the scope or timing of works, or details as identified on the stamped approved drawings be proposed. Note: Further review or additional information may be required to support changes.
- b. That disturbed areas be stabilized immediately following the completion of construction.
- c. That effective sediment and erosion control measures be installed prior to starting work, maintained during construction and fully removed once all disturbed areas have been stabilized. That site conditions be monitored and that the sediment and erosion control measures be modified if site conditions warrant it.
- d. That excess fill (soil or otherwise) generated from the proposed works shall not be stockpiled or disposed of within any area regulated by CH.

**Please be sure that you read and understand all conditions listed on the enclosed Permit (and included below).** Please also note that contravention of a Permit, or the terms and conditions of a Permit, is considered an offence under Section 28.0.1(28) of the *Conservation Authorities Act*. It is your responsibility to ensure that any person working under the authority of this Permit is familiar, and complies with, the terms and conditions.

**Conservation Halton must be contacted a minimum of 48 hours prior to commencement of construction. This Permit or a copy thereof as well as all approved drawings must be available at the site. Any changes to the approved design or installation methods must be reviewed and approved by Conservation Halton staff prior to implementation. This Permit is valid two years from the dated it is issued.**

Please be advised that should you have any objection to any of the conditions of the permit, you are entitled to request a hearing before the Authority, in accordance with Section 28.1(5) of the *Conservation Authorities Act*. A written notice of your request for a hearing must be received by staff within 30 days of the date of this letter. Please note that if a hearing has been requested, this permit approval is withdrawn until such time as the hearing results have been finalized and commencement of any site alteration must not occur until the results of the Hearing are determined.

If you require additional information, please contact the undersigned at [aheizer@hrca.on.ca](mailto:aheizer@hrca.on.ca).

Regards,



Adam Heizer  
Regulations Officer

Encl. 2

Cc: Town of Oakville, Building Department ([buildingrequests@oakville.ca](mailto:buildingrequests@oakville.ca))  
Tatiana Quintana, TBM Engineers Inc. ([tatianaq@tbmengineers.com](mailto:tatianaq@tbmengineers.com))



2596 Britannia Road West  
Burlington, ON L7P 0G3  
Telephone: 905 336-1158

PERMIT #: 8996

FILE #: RAPP-9348

## PERMIT

IN ACCORDANCE WITH PART VI OF THE CONSERVATION AUTHORITIES ACT AND ONTARIO REGULATION 41/24, THIS PERMIT HAS BEEN GRANTED TO:

Owner's Name: Dan Aitken Phone: 289-681-7584  
Mailing Address: 14 Timber Lane, Oakville ON L6L 2Z3  
Agent/Contractor: TBM Engineers Inc. Phone: 647-992-9070  
15 Jaylynn Court, Vaughan ON L4H 1Z6

Property Location: 14 Timber Lane  
in the (City, Town, Township) of: Oakville (Region/County) of: Halton

This permit is for the construction of an addition and foundation underpinning of a two-storey dwelling within the erosion hazard associated with the shoreline of Lake Ontario.

**This permit is issued on this 5<sup>th</sup> day of September, 2024 Expires: 5<sup>th</sup> day of September, 2026**

And is subject to the following conditions:

1. That the work to be carried out in accordance with plans submitted on July 10, 2024 and stamped APPROVED by: Adam Heizer, Regulations Officer
2. see reverse
3. **This permit (including drawings stamped approved by Conservation Halton) or a copy thereof, must be on site and available for inspection.**

**In accordance with Section 28.3 of the *Conservation Authorities Act*, Conservation Halton may cancel a permit issued under Section 28.1 if it is of the opinion that the conditions of the permit have not been met or that the circumstances that are prescribed by regulation exist. Before cancelling a permit, Conservation Halton shall give notice of intent to cancel the permit and the permit holder may request a hearing.**

**Authorized representatives of Conservation Halton may, at any time, enter lands to make any surveys, examinations, investigations, and inspections to ensure that the works authorized by this permit are being carried out in accordance with the terms of this permit.**

This permit does not preclude any approvals required by any other existing law and regulations.

Authorized by: Kellie McCormack on the 5<sup>th</sup> day of September 2024  
Kellie McCormack, MA, MCIP, RPP, Director, Planning and Regulations



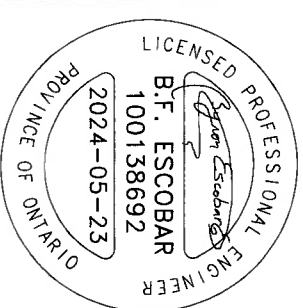
- 2.
- a. That CH be contacted immediately should any changes to the scope or timing of works, or details as identified on the stamped approved drawings, be proposed. Note: Further review or additional information may be required to support changes;
  - b. That disturbed areas be stabilized immediately following the completion of construction;
  - c. That effective sediment and erosion control measures be installed prior to starting work, maintained during construction and fully removed once all disturbed areas have been stabilized. That site conditions be monitored and that the sediment and erosion control measures be modified if site conditions warrant it; and
  - d. That excess fill (soil or otherwise) generated from the proposed works shall not be stockpiled or disposed of within any area regulated by Conservation Halton, unless in conformance as per the approved plans.



**TBM.**  
ENGINEERS INC.

DESIGN. DELIVER. INNOVATE.

**TBM Engineers Inc.**  
15 Jaylynn Crt.  
Woodbridge, ON (905) 893-9070  
www.tbmengeers.com  
tbmengeers@mail.com



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date Issued for:**  
2024-05-23 Building Permit

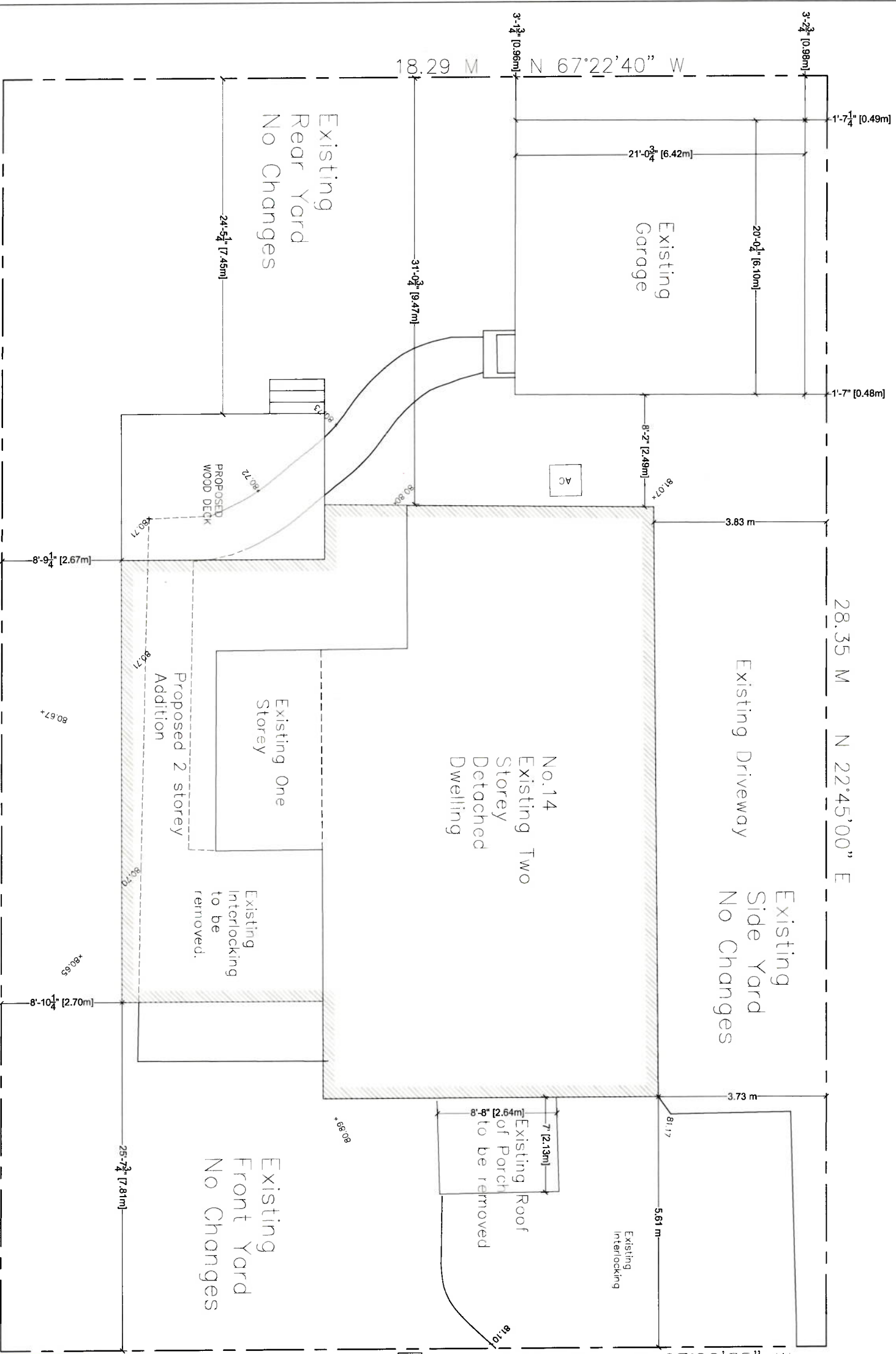
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**Scale:**  
1:100

**Drawing No.**

**A-02**

2 of 30



**HALTON REGION CONSERVATION AUTHORITY**  
**APPROVED BY:** [Signature]  
**DATE: September 5, 2024**  
 Subject to the conditions provided on  
**PERMIT No.: 8996**

**RECEIVED**  
 CONSERVATION  
 HALTON  
 July 10, 2024

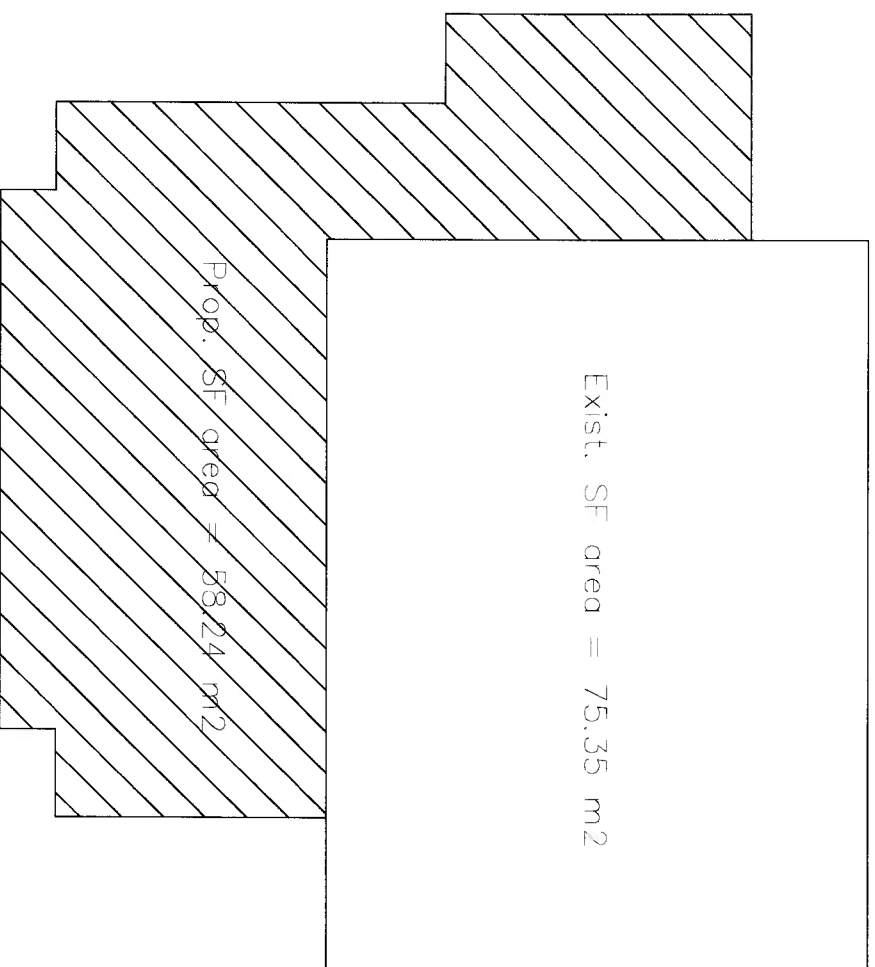
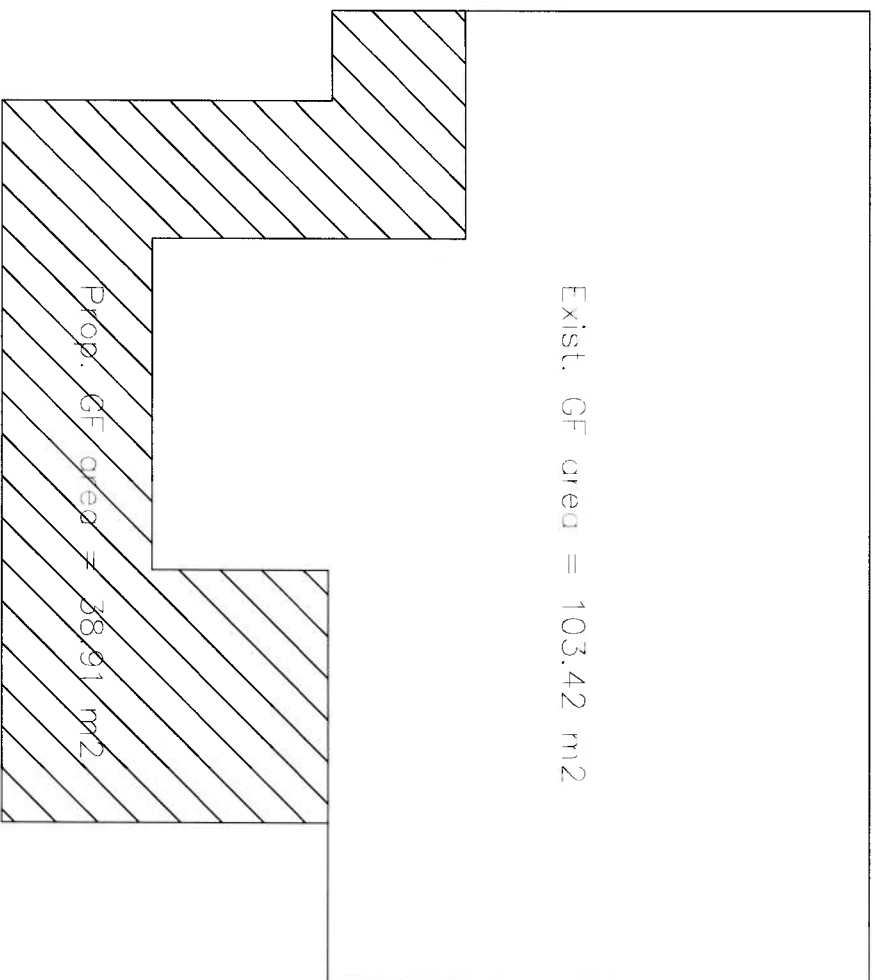
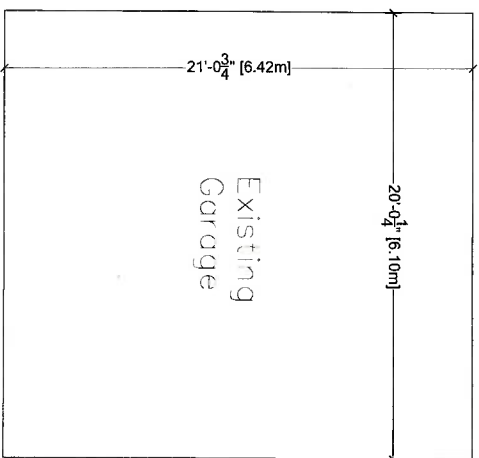
PROJECT STATISTICS ZONING: RL3-0  
 LOT AREA: 519.57 m<sup>2</sup>  
 LOT COVERAGE: 181.54 m<sup>2</sup> (34.94%)

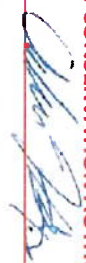
**BASEMENT AREA:**  
 Garage Area: 59.17 m<sup>2</sup>  
 Ground Floor Area (Garage excluded): 39.21 m<sup>2</sup>  
 Second Floor Area: 103.42 m<sup>2</sup>  
 Total Ground Floor and Garage: 181.54 m<sup>2</sup>

| EXISTING | PROPOSED | TOTAL                 |
|----------|----------|-----------------------|
| 59.17    | 67.02    | 126.19 m <sup>2</sup> |
| 39.21    | 0.00     | 39.21 m <sup>2</sup>  |
| 103.42   | 38.91    | 142.33 m <sup>2</sup> |
| 75.35    | 58.24    | 133.60 m <sup>2</sup> |
|          |          | 181.54 m <sup>2</sup> |

Survey Information taken from Survey's Certificate  
 issued by Cunningham McConnell Limited. Signed by  
 Robert D. McConnell on July 12, 2023

Site Plan

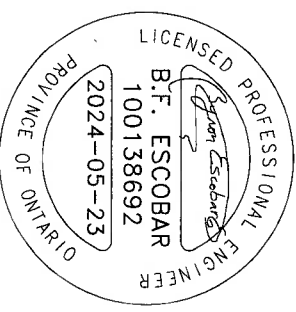


**HALTON REGION CONSERVATION AUTHORITY**  
 APPROVED BY:   
 DATE: **September 5, 2024**  
 Subject to the conditions provided on  
 PERMIT No.: **8996**

**RECEIVED**  
 CONSERVATION  
 HALTON  
 July 10, 2024



**DESIGN. DELIVER. INNOVATE.**  
**TBM Engineers Inc.**  
 15 Jaylynn Cr.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengeers.com  
 tbmengeers@mail.com



**Project Address:**  
 14 TIMBER LANE  
 OAKVILLE ON L6L 2Z3  
**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

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**Scale:** 1:100

**Drawing No.**

**A-03**

3 of 30

AREAS



SB= Wood Solid Bearing. Minimum 3-2"x6" SPF. Width or diameter of wood column shall be not less than the width of the supported member

PLA= Point Load Above

L1= 2-2"x10" SPF  
L2= 2-1 1/2"x9" 3100 Fb-2.0E LVL

B2= 2-1 3/4"x1 1/8" 3100 Fb-2.0E LVL  
B3= 3-1 3/4"x1 1/8" 3100 Fb-2.0E LVL

J1= 9 1/2" s31 @16" TJI joists

C1= 6"x6" PT post  
C2= 4"x4"x1/4" HSS square post with 8"x8"x1/2" bottom plate

LDB= 2-2"x8" PT ledger board with (2)-1/2"Ø@32" o.c. anchor bolts into foundation wall.

P1= 12"Ø concrete pier, 48" below grade

F1= 48"x48"x12" concrete footing pad with 15M@6" bottom rebar each way, min 3" concrete cover.

FDN1= 10" poured concrete (25 MPa) 15@16" horizontal and vertical on 20"x6" concrete strip footing with 3-15M longitudinal rebar

**HALTON REGION CONSERVATION AUTHORITY**

APPROVED BY: 

DATE: **September 5, 2024**

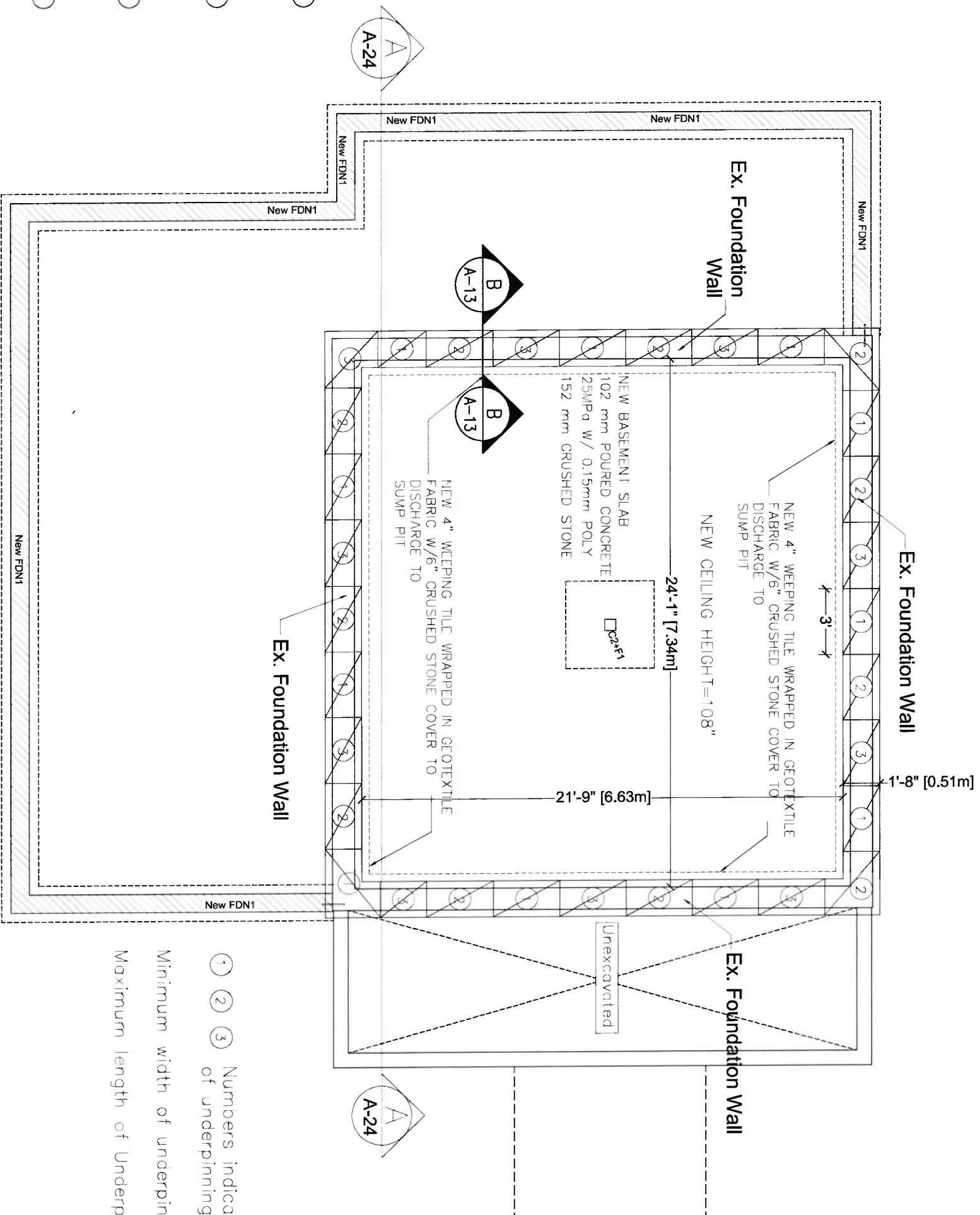
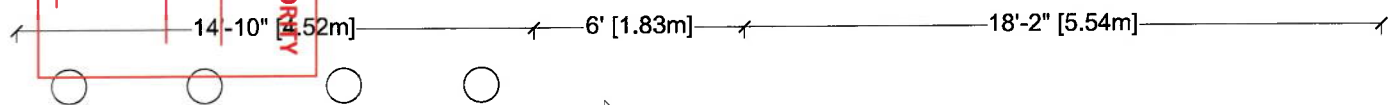
Subject to the conditions provided on

PERMIT No.: **8996**

**RECEIVED**

CONSERVATION  
HALTON

July 10, 2024



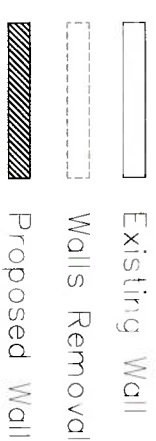
1/4" [1.22m]

32'-4" [9.86m]

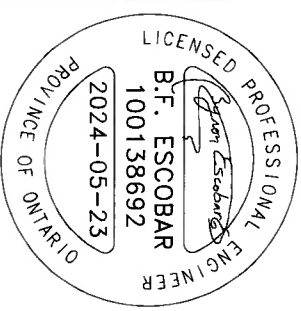
Contractor to Verify location, dimensions and size of all existing structural elements and report to engineer any discrepancy.

- ① ② ③ Numbers indicate sequence of underpinning work

Minimum width of underpinning = 20"  
Maximum length of Underpinning = 36"



**TBM Engineers Inc.**  
15 Jaylynn Crt.  
Woodbridge, ON (905) 893-9070  
www.tbmengeers.com  
tbmengeers@mail.com



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3  
**Addition to Detached Dwelling**

**Date Issued for:**  
2024-05-23 Building Permit

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**Scale:**  
3/8" = 1'-0" (1:64)

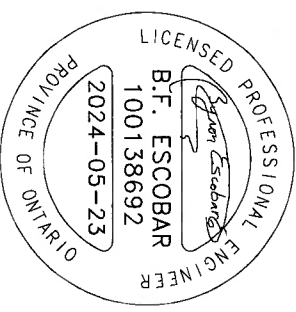
**Drawing No.**

**A-12**

12 of 30

Proposed Underpinning





**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3  
**Addition to Detached Dwelling**

**Date** 2024-05-23 **Issued for:** Building Permit

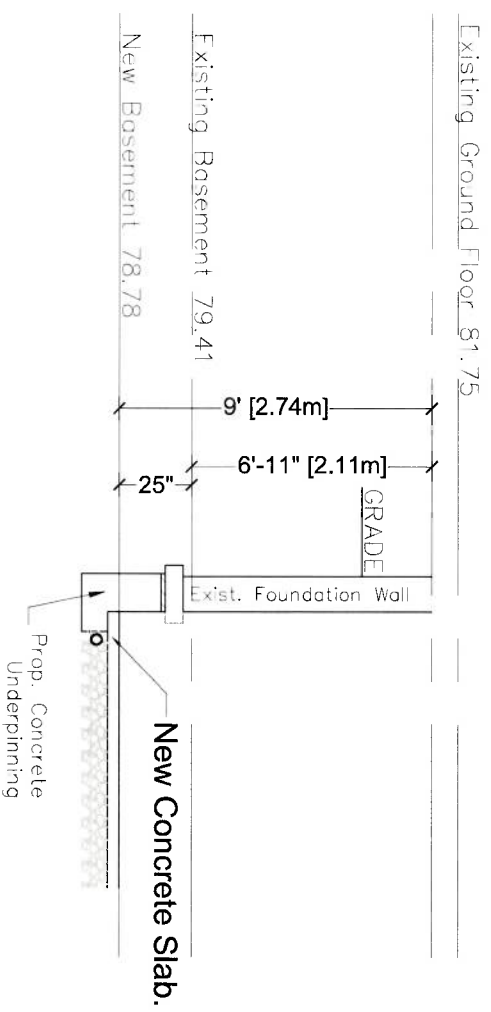
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**Scale:**  
1:75

**Drawing No.**

**A-13**  
13 of 30

- NOTES:
- (1) VERIFY/REINFORCE EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
  - (2) ALL MEMBERS SHALL BE SO FRAMED, FASTENED, TIED, BRACED AND ANCHORED TO PROVIDE THE NECESSARY STRENGTH RIGIDITY AND STABILITY PER OBC 9.23.2.1
  - (3) PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
  - (4) VERIFY FOUNDATION WALL PROPERTIES, FRAMING AND LOADING DATA FOR COMPLIANCE WITH 9.15.4, OTHERWISE REINFORCE WALLS AS NECESSARY.
  - (5) PRIOR TO UNDERPINNING, INSPECTOR TO VERIFY EXISTING FOUNDATION AND FOOTING
  - (6) EXCAVATION FOR THE PROPOSED WORK SHOULD NOT UNDERMINE THE FOUNDATION OF ADJOINING BUILDING, OR CAUSE DAMAGE TO UTILITIES, ROADS AND SIDE WALKS. OBC DIV. C 1.2.1.2 AND 9.12.1.4.



SECTION B - B

**HALTON REGION CONSERVATION AUTHORITY**  
**APPROVED BY:**   
**DATE: September 5, 2024**  
Subject to the conditions provided on  
**PERMIT No.: 8996**

**RECEIVED**  
CONSERVATION  
HALTON  
July 10, 2024





SB= Wood Solid Bearing, Minimum 3-2"x6" SPF. Width or diameter of wood column shall be not less than the width of the supported member

PLA= Point Load Above

L1= 2-2"x10" SPF  
 L2= 2-1 1/2"x9 1/2" 3100 Fb-2.0E LVL  
 L3= 3-1 1/2"x9 1/2" 3100 Fb-2.0E LVL

B2= 2-1 3/4"x1 1/8" 3100 Fb-2.0E LVL  
 B3= 3-1 1/2"x1 1/8" 3100 Fb-2.0E LVL

J1= 9 1/2" s31 @16" TJI Joists

C1= 6"x6" PT post  
 C2= 4"x4"x1/2" HSS square post with 8"x8"x1/2" bottom plate

LDB= 2-2"x8" PT ledger board with (2)-1/2"Ø@32" o.c. anchor bolts into foundation wall.

P1= 12"Ø concrete pier, 48" below grade

F1= 48"x48"x12" concrete footing pad with 15M@6" bottom rebar each way, min 3" concrete cover.

FDN1= 10" poured concrete (25 MPa) 15@16" horizontal and vertical on 20"x6" concrete strip footing with 3-15M longitudinal rebar

**HALTON REGION CONSERVATION AUTHORITY**

APPROVED BY:

DATE: **September 5, 2024**

Subject to the conditions provided on

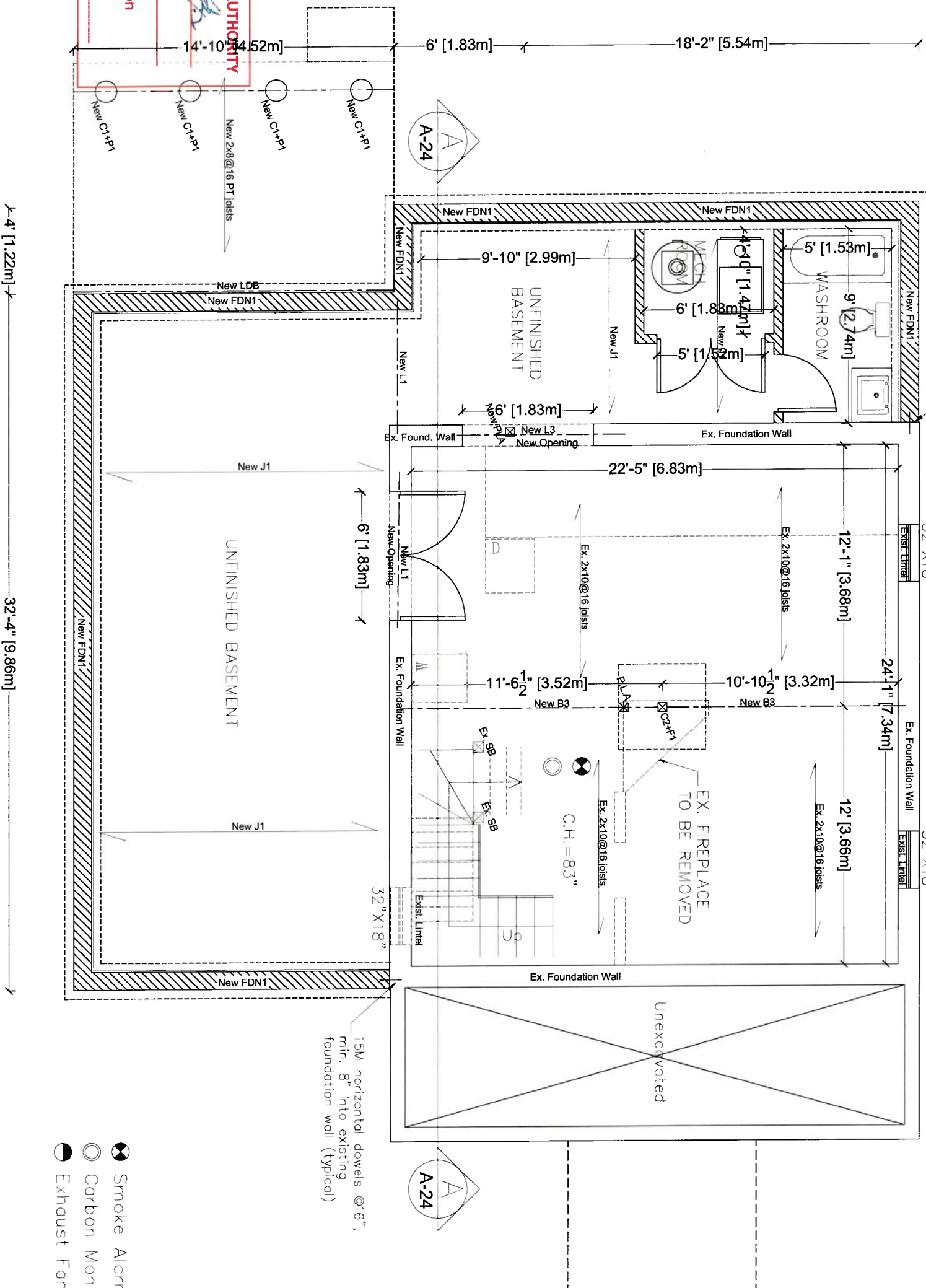
PERMIT No.: **8996**

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CONSERVATION  
 HALTON

July 10, 2024

# Proposed Basement Floor Plan



15M horizontal dowels @6", min. 8" into existing foundation wall (typical)

Contractor to Verify location, dimensions and size of all existing structural elements and report to engineer any discrepancy.

Existing wall to remain  
 Existing wall to be removed  
 Proposed wall

Smoke Alarm  
 Carbon Monoxide Alarm  
 Exhaust Fan

Existing Wall  
 Walls Removal  
 Proposed Wall

Scale: 3/16" = 1'-0" (1:64)

Drawing No.

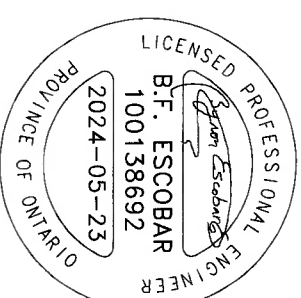
**A-16**

16 of 30



DESIGN. DELIVER. INNOVATE.

**TBM Engineers Inc.**  
 15 Jaylorn Crt.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengineers.com  
 tbmengineers@mail.com



**Project Address:**  
 14 TIMBER LANE  
 OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

Date Issued for:  
 2024-05-23 Building Permit

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.



SB= Wood Solid Bearing. Minimum 3-2"x6" SPF. Width or diameter of wood column shall be not less than the width of the supported member  
 PLA= Point Load Above

L1= 2-2"x10" SPF  
 L2= 2-1 3/4"x9 1/2" 3100 Fb-2.0E LVL  
 L3= 3-1 3/4"x9 1/2" 3100 Fb-2.0E LVL  
 B2= 2-1 3/4"x1 7/8" 3100 Fb-2.0E LVL  
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J1= 9 1/2" s31 @16" TJI Joists

C1= 6"x6" PT post  
 C2= 4"x4"x1/2" HSS square post with 8"x8"x1/2" bottom plate

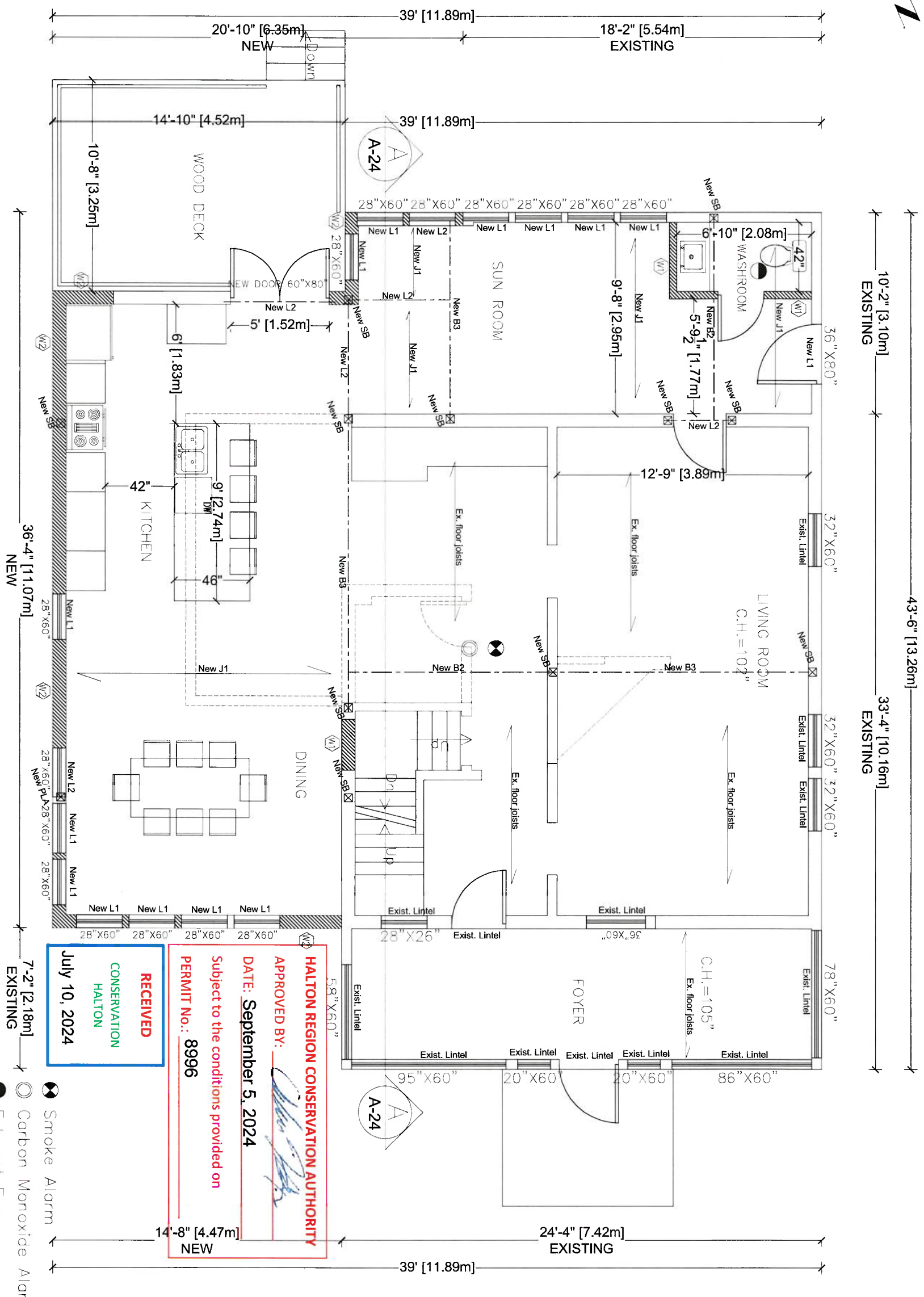
LDB= 2-2"x8" PT ledger board with (2)-1/2"xØ@32" o.c. anchor bolts into foundation wall.

P1= 12"Ø concrete pier, 48" below grade

F1= 48"x48"x12" concrete footing pad with 15M@6" bottom rebar each way, min 3" concrete cover.

FDN1= 10" poured concrete (25 MPa) 15@16" horizontal and vertical on 20"x6" concrete strip footing with 3-15M longitudinal rebar

# Proposed Ground Floor Plan



(W1) Interior Stud Partition  
 1/2" drywall finish both sides of 2"x4"@16" SPF studs, double plate @ top, sole plate @ bottom. Provide sound insulation on bathroom walls and furnace room. Use 1/2" waterproofing gypsum board on washrooms and 1/2" waterproof cement board on bathtubs.

(W2) Exterior Wall STUCCO  
 System to comply with OBC 9.28 or CMC 13103-R. Exterior type insulation sheathing or rigid insulation to provide R-5ci, 2"x6"@16" SPF studs, R19 batt insulation in continuous contact with sheathing, continuous vapour barrier, double plate @ top, sole plate @ bottom, 1/2" interior drywall finish.

- Smoke Alarm
- Carbon Monoxide Alarm
- Exhaust Fan
- Existing Wall
- Walls Removal
- Proposed Wall

**HALTON REGION CONSERVATION AUTHORITY**

APPROVED BY:

DATE: **September 5, 2024**

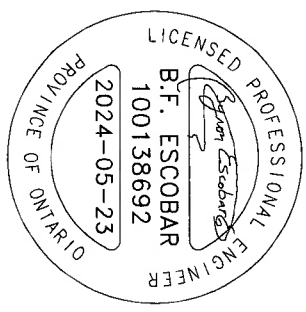
Subject to the conditions provided on  
 PERMIT No.: **8996**

**RECEIVED**

**CONSERVATION**

**HALTON**

**July 10, 2024**



**TBM Engineers Inc.**  
 15 Jaylynn Ct.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengeers.com  
 tbmengeers@mail.com



**Project Address:**  
 14 TIMBER LANE  
 OAKVILLE ON L6L 2Z3

**Addition to Detached Dwelling**

**Date Issued for:**  
 2024-05-23 Building Permit

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Scale:**  
 3/8" = 1'-0" (1:64)

**Drawing No.**

A-17

17 of 30





SB= Wood Solid Bearing. Minimum 3-2"x6" SPF. Width or diameter of wood column shall be not less than the width of the supported member

PLA= Point Load Above

- L1= 2-2"x10" SPF
- L2= 2-1 1/2"x9 1/2" 3100 Fb-2.0E LVL
- L3= 3-1 1/2"x9 1/2" 3100 Fb-2.0E LVL
- B2= 2-1 3/4"x1 1/8" 3100 Fb-2.0E LVL
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- FDN1= 10" poured concrete (25 MPa) 15@16" horizontal and vertical on 20"x6" concrete strip footing with 3-15M longitudinal rebar

**HALTON REGION CONSERVATION AUTHORITY**

APPROVED BY:

DATE: **September 5, 2024**

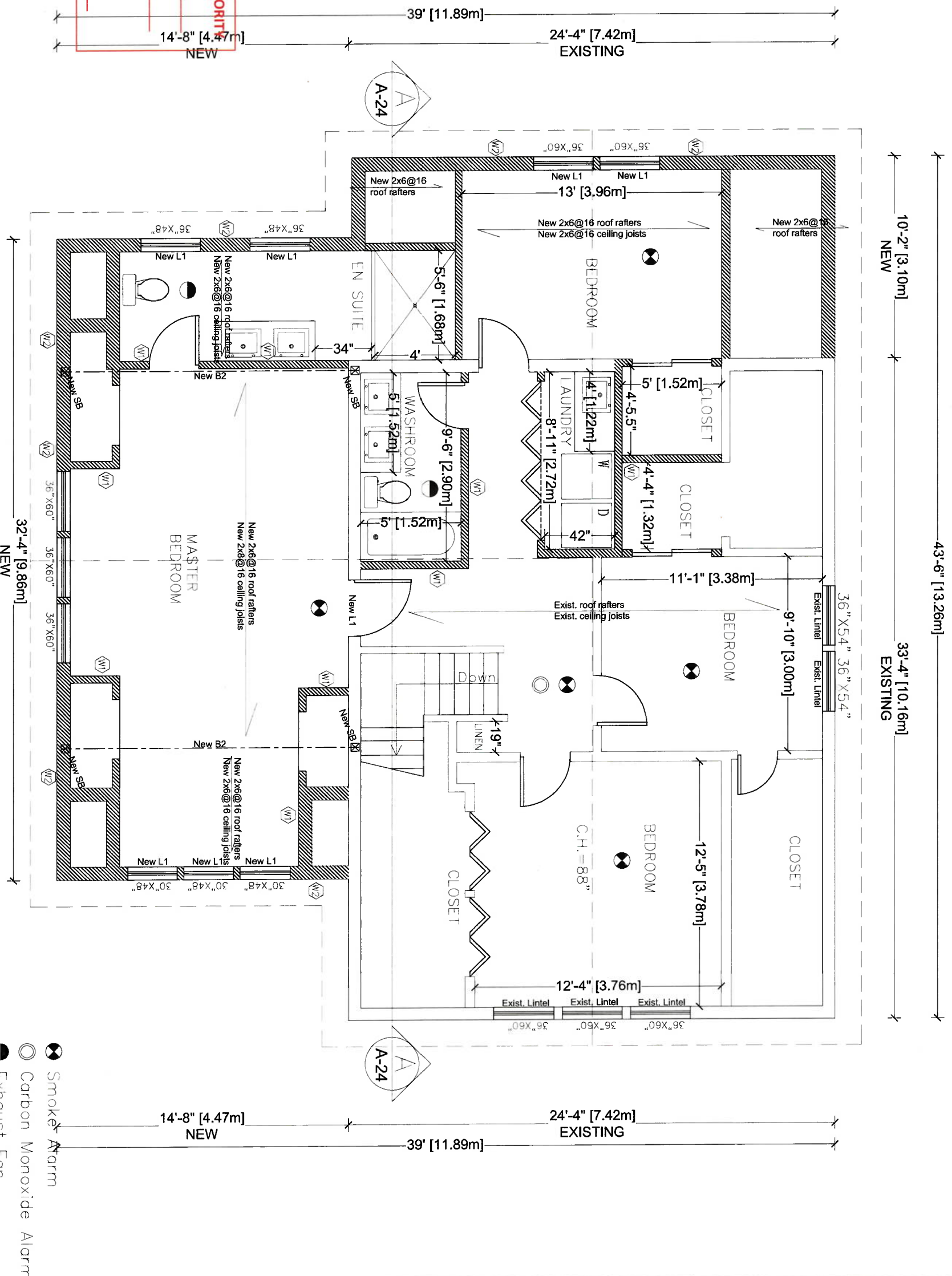
Subject to the conditions provided on PERMIT No.: **8996**

**RECEIVED**

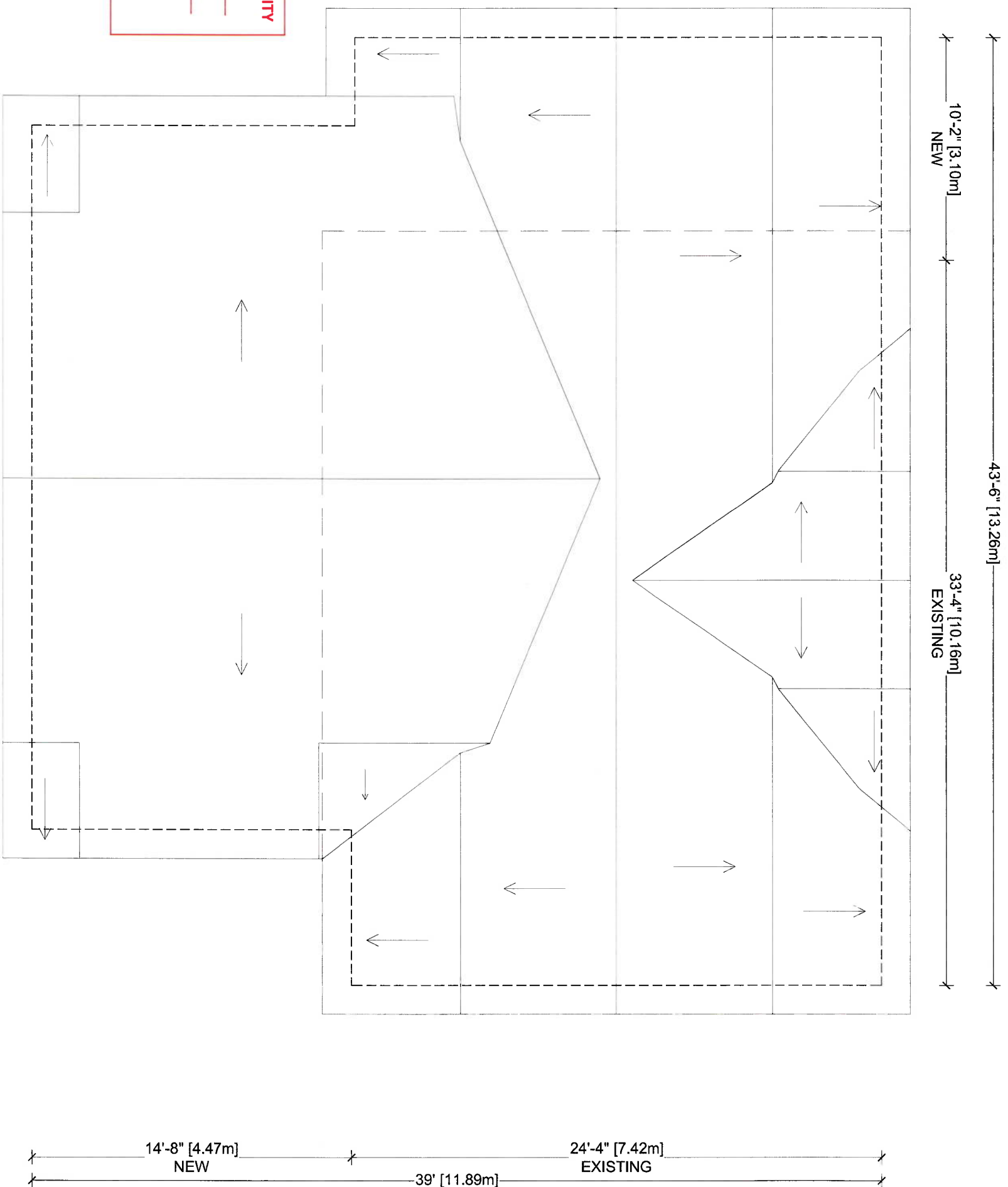
CONSERVATION  
HALTON

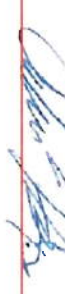
July 10, 2024

Proposed Second Floor Plan



|  |  |   |   |  |
|--|--|---|---|--|
| <p><b>TBM ENGINEERS INC.</b></p> <p>DESIGN. DELIVER. INNOVATE.</p> <p><b>TBM Engineers Inc.</b><br/>15 Jaylynn Crt.<br/>Woodbridge, ON (905) 893-9070<br/>www.tbmengeers.com<br/>tbmengeers@mail.com</p> |  | <p><b>Project Address:</b><br/>14 TIMBER LANE<br/>OAKVILLE ON L6L 2Z3</p> <p><b>Addition to Detached Dwelling</b></p> | <p><b>Date Issued for:</b><br/>2024-05-23 Building Permit</p> | <p>These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.</p> <p><b>Scale:</b><br/>3/8" = 1'-0" (1:64)</p> <p><b>Drawing No.</b><br/><b>A-18</b><br/>18 of 30</p> |
|--|--|---|---|--|



**HALTON REGION CONSERVATION AUTHORITY**  
 APPROVED BY:   
 DATE: **September 5, 2024**  
 Subject to the conditions provided on  
 PERMIT No.: **8996**

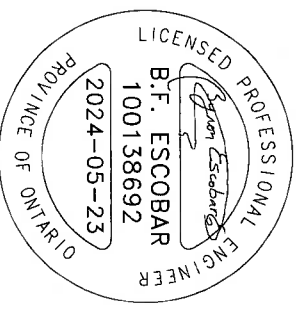
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 HALTON  
 July 10, 2024

# Proposed Roof Plan



DESIGN. DELIVER. INNOVATE.

**TBM Engineers Inc.**  
 15 Jaylynn Ct.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengeers.com  
 tbmengeers@mail.com



**Project Address:**  
 14 TIMBER LANE  
 OAKVILLE ON L6L 2Z3  
**Addition to Detached Dwelling**

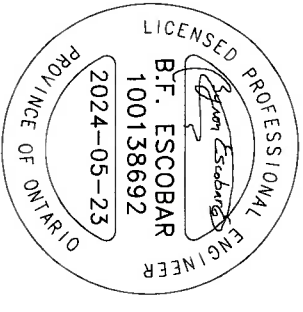
**Date Issued for:**  
 2024-05-23 Building Permit

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**Scale:**  
 $\frac{3}{8}'' = 1'-0''$  (1:64)

**Drawing No.**

**A-19**  
 19 of 30



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3  
**Addition to Detached Dwelling**

**Date Issued for:**  
2024-05-23 Building Permit

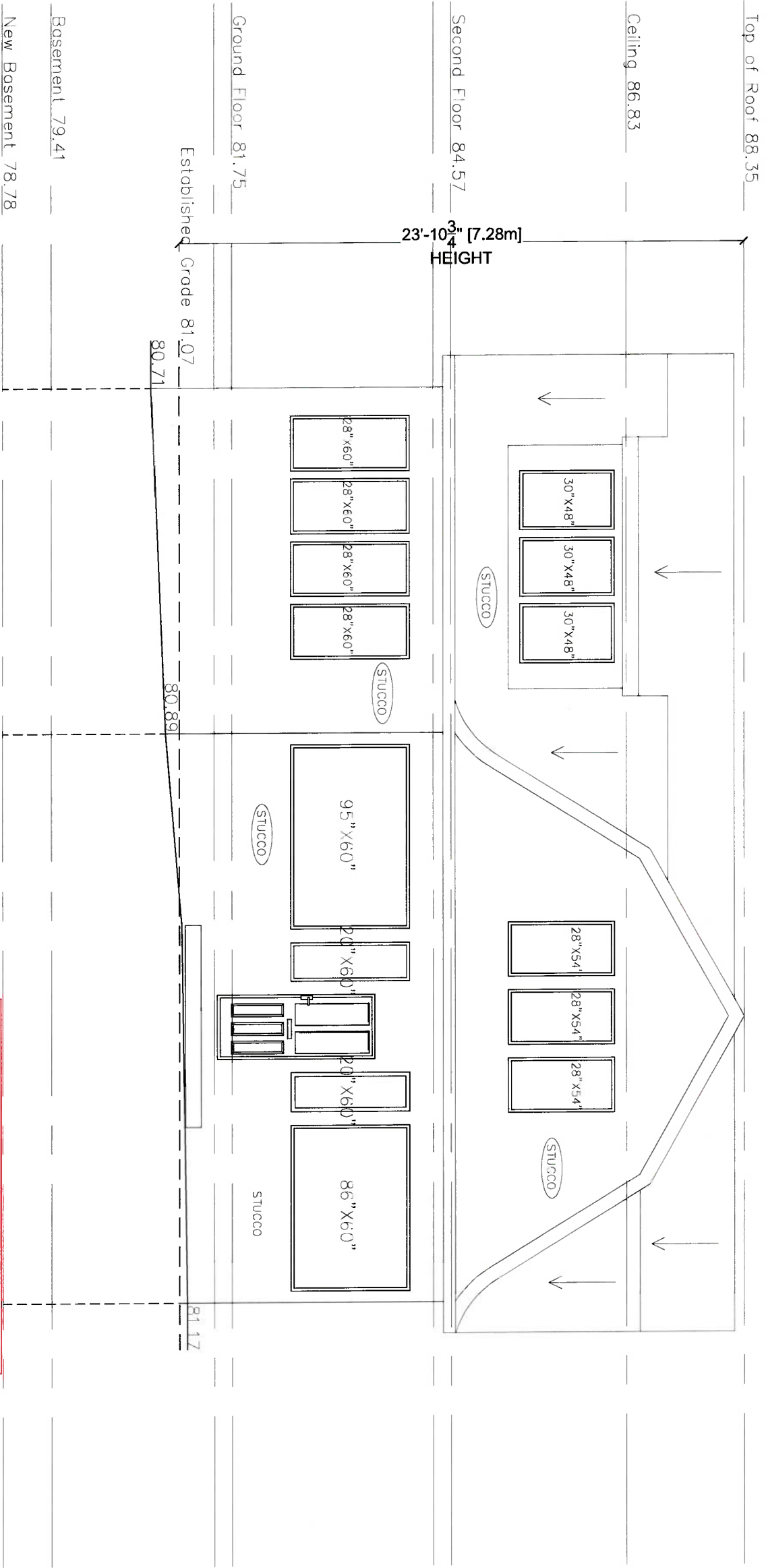
These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Scale:**  
3/16" = 1'-0" (1:64)

**Drawing No.**

**A-20**

20 of 30



Proposed Front (North) Elevation

**HALTON REGION CONSERVATION AUTHORITY**  
APPROVED BY: *[Signature]*  
DATE: **September 5, 2024**  
Subject to the conditions provided on  
PERMIT No.: **8996**

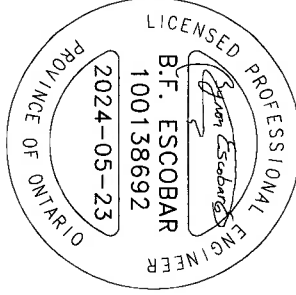
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CONSERVATION  
HALTON  
July 10, 2024





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**TBM Engineers Inc.**  
 15 Jaylann Ct.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengeers.com  
 tbmengeers@mail.com



**Project Address:**  
 14 TIMBER LANE  
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**Addition to Detached Dwelling**

**Date Issued for:**  
 2024-05-23 Building Permit

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**Scale:**  
 $\frac{3}{8}$ " = 1'-0" (1:64)

Drawing No.

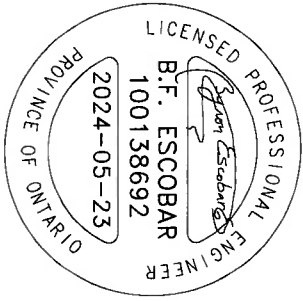
**A-21**  
 21 of 30

# Proposed Rear (South) Elevation



**HALTON REGION CONSERVATION AUTHORITY**  
**APPROVED BY:**   
**DATE:** September 5, 2024  
 Subject to the conditions provided on  
**PERMIT No.:** 8996

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 CONSERVATION  
 HALTON  
 July 10, 2024



**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3  
**Addition to Detached Dwelling**

**Date Issued for:**  
2024-05-23 Building Permit

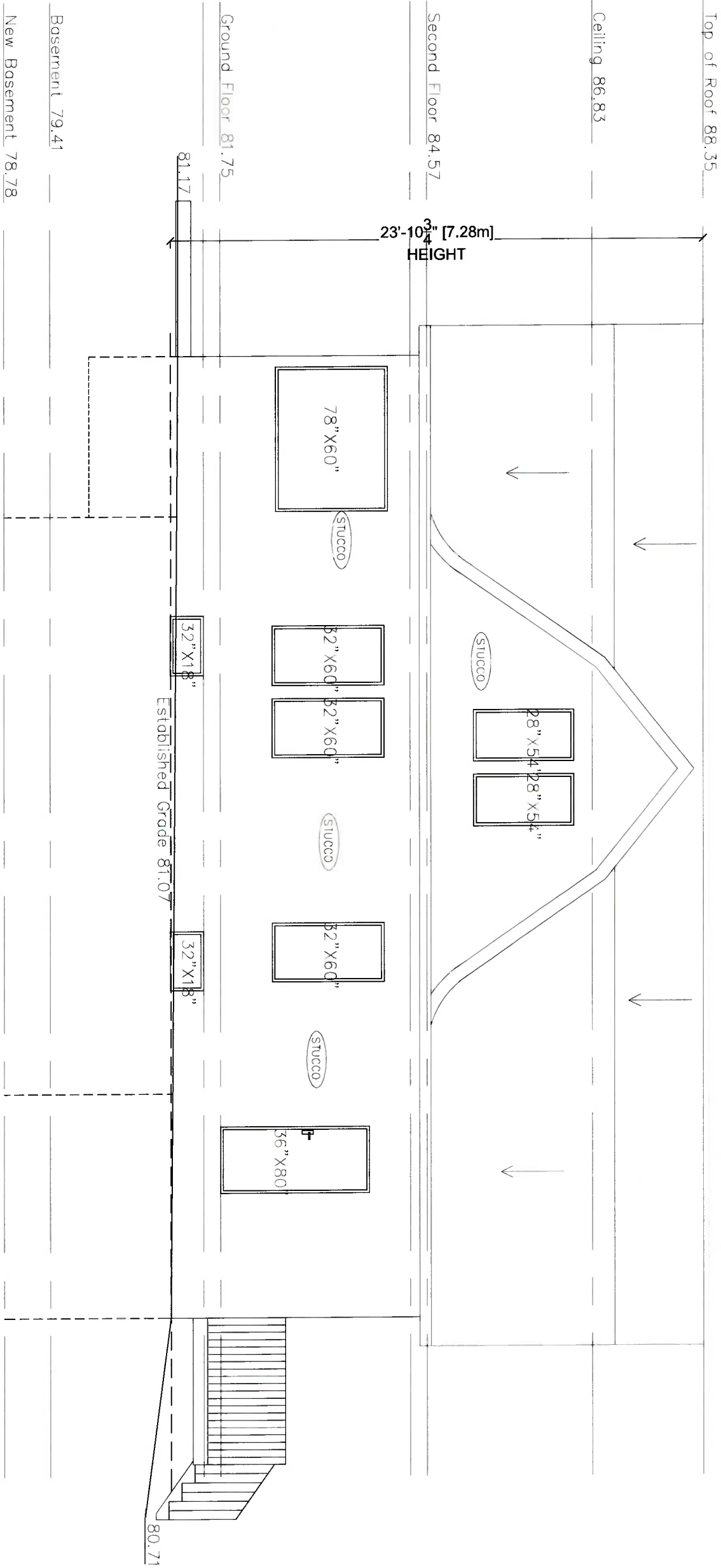
These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Scale:**  
3/8" = 1'-0" (1:64)

**Drawing No.**

**A-22**

22 of 30



**HALTON REGION CONSERVATION AUTHORITY**  
**APPROVED BY:**   
**DATE: September 5, 2024**  
Subject to the conditions provided on  
**PERMIT No.: 8996**

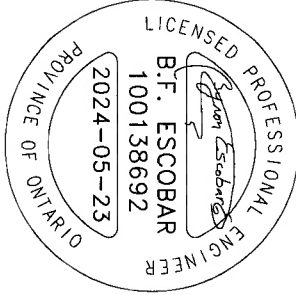
**RECEIVED**  
CONSERVATION  
HALTON  
July 10, 2024

Proposed Right (West) Elevation



DESIGN. DELIVER. INNOVATE.

**TBM Engineers Inc.**  
15 Jaylynn Ct.  
Woodbridge, ON (905) 893-9070  
www.tbmengeers.com  
tbmengeers@mail.com



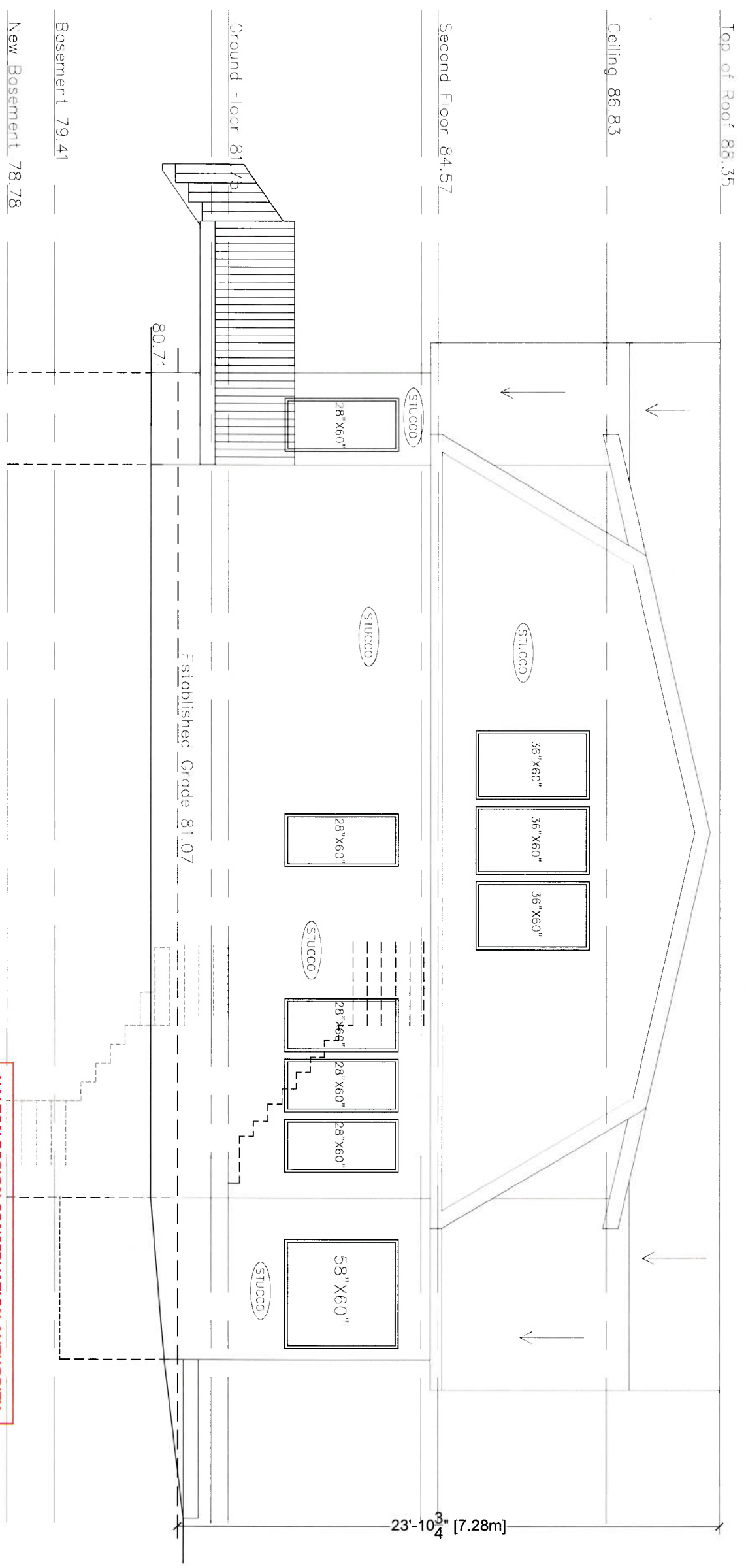
**Project Address:**  
14 TIMBER LANE  
OAKVILLE ON L6L 2Z3  
**Addition to Detached Dwelling**

**Date Issued for:**  
2024-05-23 Building Permit

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**Scale:**  
3/16" = 1'-0" (1:64)

**Drawing No.**  
**A-23**  
23 of 30



**HALTON REGION CONSERVATION AUTHORITY**  
**APPROVED BY:**   
**DATE: September 5, 2024**  
Subject to the conditions provided on  
**PERMIT No.: 8996**

**RECEIVED**  
CONSERVATION  
HALTON  
July 10, 2024

# Proposed Left (East) Elevation

## Tatiana Quintana

---

**From:** Darren Dabideen <darren.dabideen@oakville.ca>  
**Sent:** June 28, 2024 2:48 PM  
**To:** Tatiana Quintana  
**Cc:** Darren Dabideen  
**Subject:** re: Zoning Deficiencies - 14 Timber Lane

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

### Permit Application Update - Zoning

June 28, 2024

Tatiana Quintana  
Tbm Engineers Inc.  
15 Jaylynn Court , Unit  
Vaughan, ON, L4H 1Z6

**Permit Application Number:** 24 - 160844

**Project Location:** 14 Timber Lane , Oakville, ON, L6L2Z3

This is a progress update on the status of your permit application. The zoning examination is complete and we are providing courtesy notification of the deficiencies identified to date. Additional required examinations are in progress.

Once all examinations are complete, you will receive a refusal letter summarizing all deficiency comments. At that time, you will be eligible to resubmit your application with the deficiencies addressed. Your resubmission **must address all comments** identified by all disciplines and be accompanied by a detailed written response indicating how each item has been resolved. **Please do not resubmit materials until the refusal letter is issued.**

Please be aware of the following:

1. When amending plans, be mindful of the impact of changes to associated drawings as they must coordinate and be consistent. You may need to contact various members of your design team to coordinate these changes. Be proactive, look ahead and see the impact the change makes to the entirety of your project.
2. Approved drawings by other town departments/approval agencies must match those submitted for building permit (i.e. Site Plan, Development Engineering, Conservation Halton, etc...).
3. The continued review of your application may result in additional comments identified by other disciplines within the building permit process. You will be notified once all required examinations are complete and you are eligible to resubmit.

For general inquiries, please contact [buildingrequests@oakville.ca](mailto:buildingrequests@oakville.ca) or 905-845-6601 ext. 7377

For questions about specific deficiency items, please feel free to contact me.

Darren Dabideen  
Zoning Plans Examiner  
Phone: 905-845-6601, ext. 3907  
Email: [darren.dabideen@oakville.ca](mailto:darren.dabideen@oakville.ca)

**ZONING** has identified the following comments that need to be addressed prior to resubmission. Hold all resubmission materials until refusal letter is issued:

1. Insufficient Information Provided - the property located at 14 Timber Lane is regulated under the authority of the Conservation of Halton, provide documentation (permit) showing approval received from them for this proposal.

2. Insufficient Information Provided - The property located at 14 Timber Lane is located within close proximity to Lake Ontario, therefore has a "Buffer Zone" flag upon the property requiring approval (Site Plan Approval) from the Planning Department prior to any development (construction) being approved. Provide proof of approval from the Town of Oakville's Planning Dept for the proposed project.

3. Insufficient Information Provided - The property located at 14 Timber Lane is located within a Heritage area and as such has a Heritage warning flag upon it requiring approval of any renovation to be first approved by the Heritage Planners located within the Planning Dept. Provide a clearance letter from the Heritage Planner approving the proposed project.

4. Residential Floor Area: Table 6.4.1. - The maximum Residential Floor Area Ratio for a detached dwelling with a lot area between 0.00m<sup>2</sup> and 557.5m<sup>2</sup> shall be 43% (223.42m<sup>2</sup>) with a Lot area of 519.5m<sup>2</sup>, the calculated amount of 54.38% (282.54m<sup>2</sup>) does not comply.

**Darren Dabideen**  
**Zoning Plans Examiner**  
**Building Services**

Town of Oakville | 905-845-6601, ext. 3907 | [www.oakville.ca](http://www.oakville.ca)

**Vision: A vibrant and livable community for all**

Please consider the environment before printing this email.

<http://www.oakville.ca/privacy.html>



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/160/2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

| Applicant / Owner | Authorized Agent   | Subject Property                  |
|-------------------|--|-----------------------------------|
| D. Aitken         | Tatiana Quintana<br>TBM Engineers Inc.<br>15 Jaylynn Crt<br>Vaughan ON, CANADA L4H 1Z6 | 14 Timber Lane<br>PLAN M11 LOT 48 |

**Zoning of Property:** RL3-0, Residential and N, Natural Area

### Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey addition to the existing detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

| No. | Current  | Proposed  |
|-----|--|---|
| 1   | <i>Table 6.4.1</i><br>The maximum residential floor area ratio for a detached dwelling on a lot with a lot area less than 557.5 m <sup>2</sup> shall be 43%. | To increase the maximum residential floor area ratio to 54.38%. |

### How do I participate if I have comments or concerns?

#### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

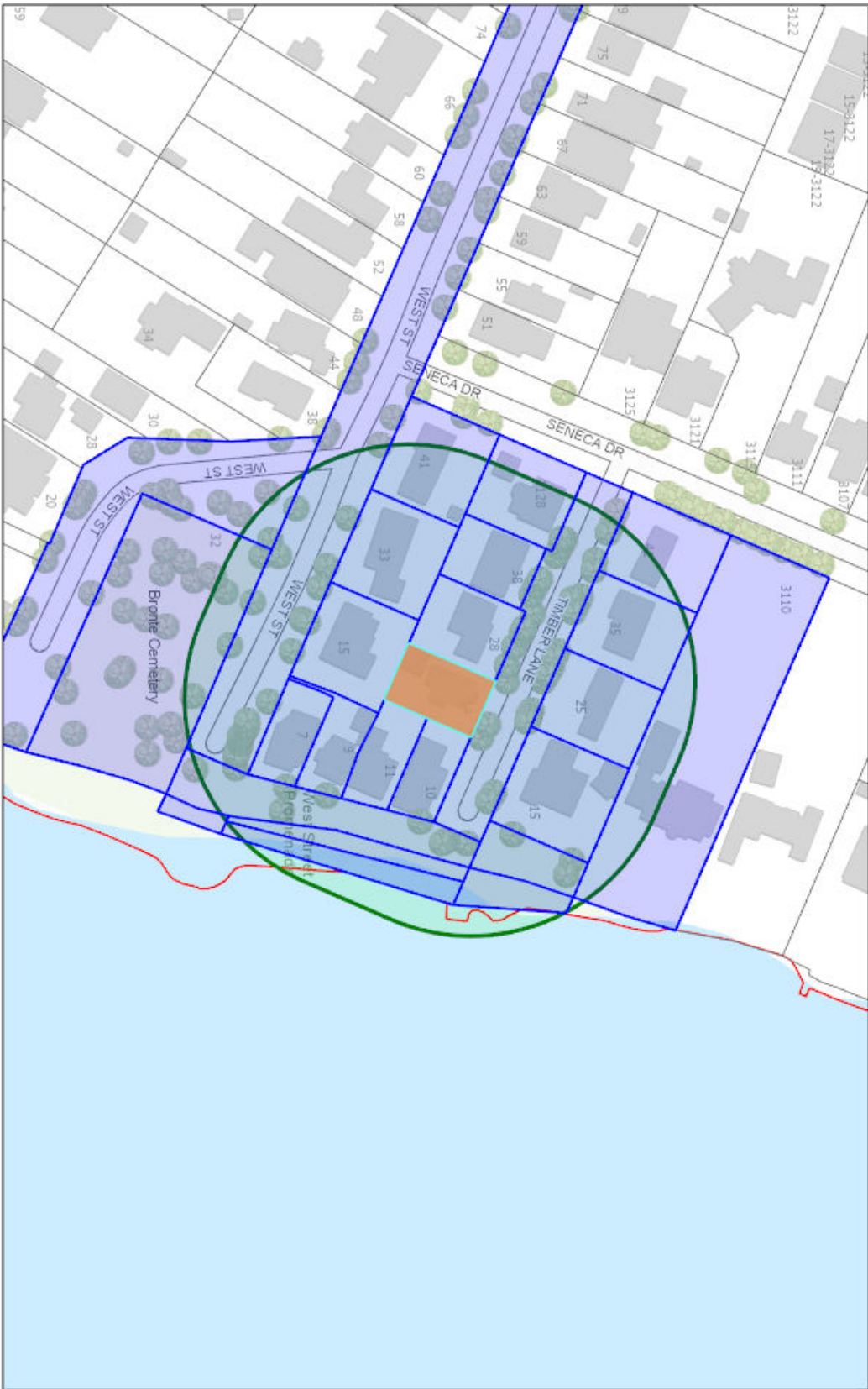
**Contact information:**

Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

October 29, 2024

CAV A/160/2024 - 14 Timber Lane



10/23/2024, 9:48:55 AM

Ownership

Applicant Name Address

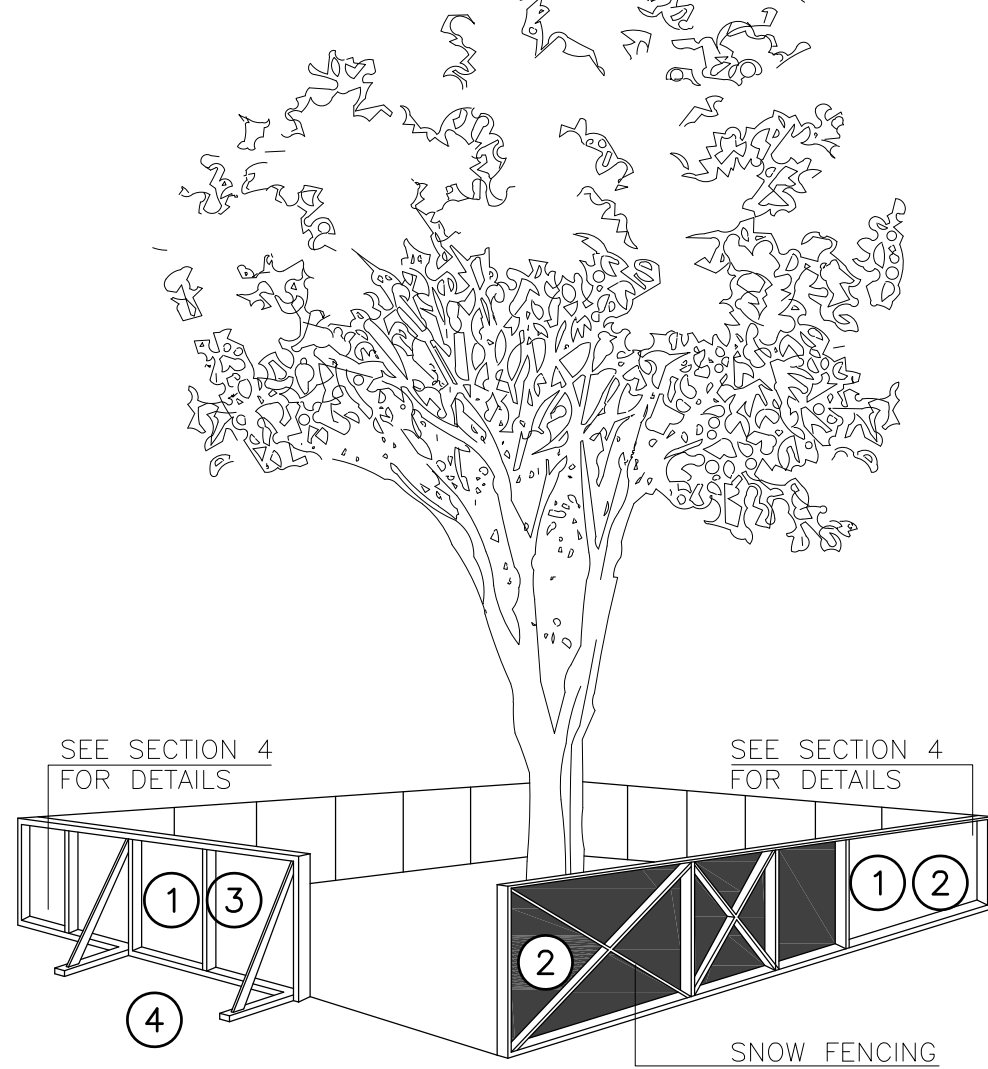
Wards



Town of Oakville  
2021 Town of Oakville



**TREE PROTECTION**



**TREE PROTECTION BARRIERS**

- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
- TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
- WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
- ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

**SECTION 4, SIGNAGE**

- A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmx60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

"TREE PROTECTION ZONE  
NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE."

**TOWN OF OAKVILLE  
PARKS AND RECREATION  
DEPARTMENT**

NAME: TREE PROTECTION BARRIERS  
DATE:  
FILE NO.:

SOLID HOARDING ( PLYWOOD BOARDS )

FRAMED HOARDING ( PLASTIC SAFETY FENCING )

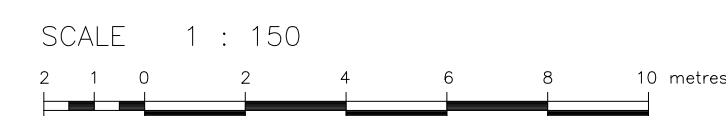
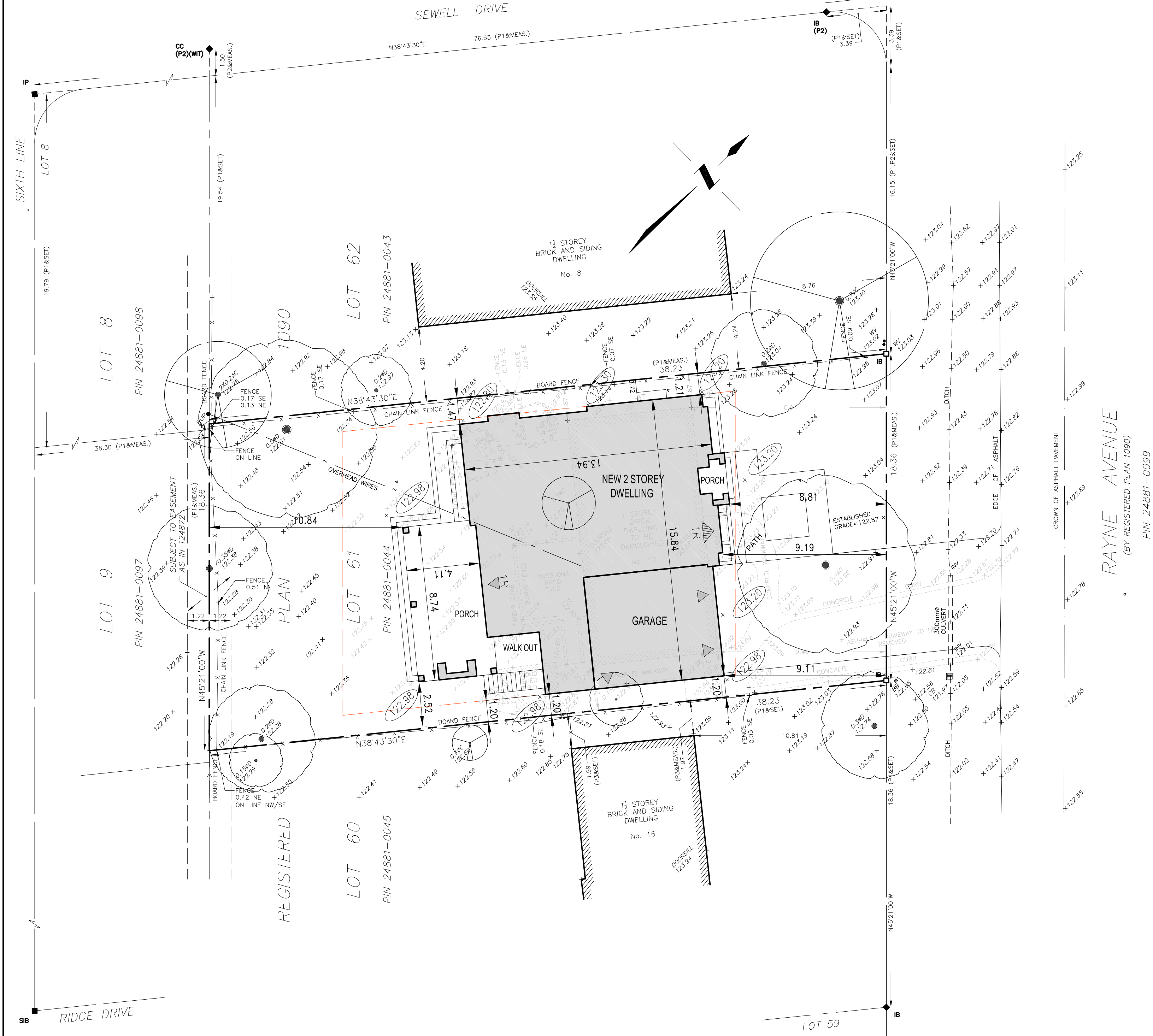
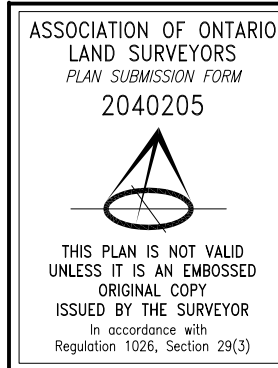
**1 OAKVILLE SITE REQUIREMENTS**

A1.2 SCALE: DNS

- GENERAL NOTES:  
A) SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF SITE GRADING WORKS. TO SATISFACTION OF THE CITY AND HALTON CONSERVATION.  
B) IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/ BASE AREAS SHALL BE STABILIZED BY SEEDING.  
C) THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/ OR EVERY WEEK.  
D) THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/ OR REPLACED IF NECESSARY OR AS DIRECTED BY THE ENGINEER. CONSERVATION AUTHORITY OR THE CITY.  
E) ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION, GRADING, TOPSOILING AND SODDING ARE COMPLETE.  
F) WHEN ALL CONSTRUCTION, GRADING AND SODDING IS COMPLETED. THE SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS REINSTATED.
- ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.
- THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILED.
- CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

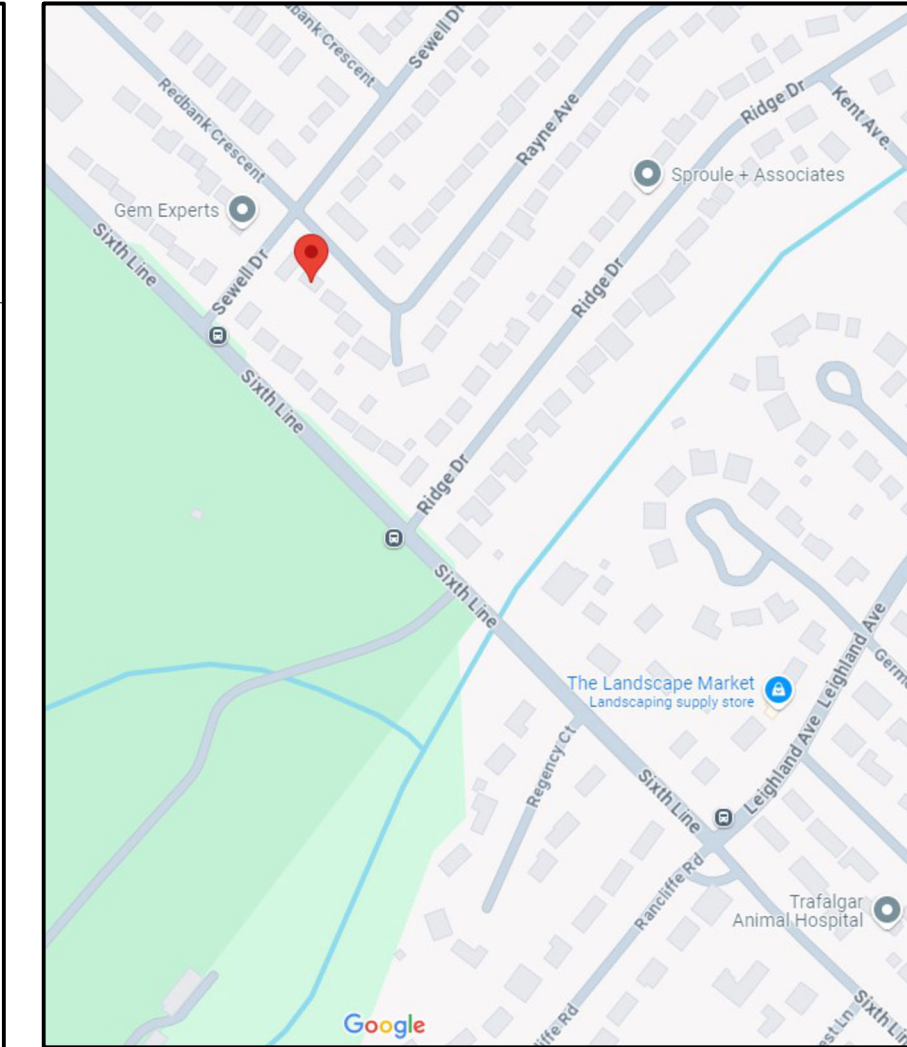
**2 EROSION AND SEDIMENT CONTROL**

A2.1 SCALE: DNS



**REPORT SUMMARY**

PROPERTY DESCRIPTION: 12 RAYNE AVENUE, BEING LOT 61, REGISTERED PLAN 1090, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24881-0044  
EASEMENTS/RIGHTS-OF-WAY: SUBJECT TO EASEMENT IN FAVOUR OF THE BELL TELEPHONE COMPANY OF CANADA AS IN 124872  
COMMENTS: NOTE LOCATION OF FENCES.



4 KEY PLAN  
A2.1 SCALE: DNS

**ZONING 12 RAYNE AVE.**

|                                |                                       |
|--------------------------------|---------------------------------------|
| ZONE RL7-0                     |                                       |
| LOT AREA:                      | 697.7 m <sup>2</sup> (7,509 SQ.FT.)   |
| MIN. LOT FRONTAGE:             |                                       |
| MAXIMUM HEIGHT:                | 9.0m.                                 |
| MAX. LOT COV. 35% :            | 244.19m <sup>2</sup> (2,628 s.f.)     |
| MAX. R.F.A. 41% :              | 286.05m <sup>2</sup> (3,078 s.f.)     |
| MIN FRONT SETBACK:             | APROX. 8.46m.                         |
| MIN SIDE SETBACK:              | 1.2m.                                 |
| MIN REAR SETBACK:              | 7.5m.                                 |
| PROPOSED GROUND FLOOR          | ( 154.31m <sup>2</sup> ) 1,661 s.f.   |
| SECOND FLOOR                   | ( 153.84m <sup>2</sup> ) 1,656 s.f.   |
| EXT. GARAGE                    | ( 45.98m <sup>2</sup> ) 495 s.f.      |
| INT. GARAGE                    | ( 42.08m <sup>2</sup> ) 453 s.f.      |
| COVERED PORCHES (& COVD AREAS) | ( 40.22m <sup>2</sup> ) 433 s.f.      |
| PROPOSED LOT COV.: 34.47%      | ( 240.52m <sup>2</sup> ) 2,589 s.f.   |
| ( GARAGE & PORCHES INCL'D. )   |                                       |
| PROPOSED R.F.A. (44.17%) :     | ( 308.15m <sup>2</sup> ) 3,317 s.f. ✖ |
| PROPOSED ROOF HEIGHT           | 9.0 m                                 |

**5 SITE STATISTICS**

A2.1 SCALE: DNS

**REGIONAL APPROVAL**

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE AREA MUNICIPALITY.

DATED..... SIGNED.....  
INFRASTRUCTURE PLANNING AND POLICY

THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-825-6032). FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED ON.

**6 REGION OF HALTON**

A2.1 SCALE: DNS

**CERTIFICATION FOR PROPOSED GRADING**

**7 GRADING CERTIFICATE**

A2.1 SCALE: NA

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

**SITE LEGEND:**

|  |                                    |
|--|------------------------------------|
|  | PROPERTY LINE                      |
|  | EXISTING GRADE                     |
|  | FINISHED GRADE                     |
|  | F.F.E. FINISHED FLOOR ELEVATION    |
|  | F.B.E. FINISHED BASEMENT ELEVATION |
|  | F.D.E. FINISHED DECK ELEVATION     |
|  | MAIN ENTRANCE                      |
|  | SECONDARY ENTRANCE                 |
|  | PROPOSED ADDITION AREA             |
|  | TREE HOARDING                      |
|  | EXISTING TREE TO REMAIN            |
|  | EXISTING TREE TO BE REMOVED        |
|  | RAIN WATER DOWNSPOUT               |

**SITE ACCREDITATION:**

PLAN OF TOPOGRAPHY OF  
LOT 61  
REGISTERED PLAN 1090  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON  
INFORMATION TAKEN FROM A SURVEY PREPARED BY:  
TARASICK McMILLAN KUBICKI LIMITED 9438-SRPR-T  
ONTARIO LAND SURVEYORS  
AUGUST 15, 2024 ©COPYRIGHT, 2024  
METRIC  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.  
BENCHMARK  
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM TOWN OF OAKVILLE, BENCHMARK No. 227, HAVING A PUBLISHED ELEVATION OF 131.8305 metres.

|      |          |                           |
|------|----------|---------------------------|
| 1    | 09.21.24 | ISSUED FOR GRADING DESIGN |
| REF. | DATE:    | DESCRIPTION:              |

**KEYSTONE HOME DESIGNS**  
www.keystonehomedesigns.com

INFO@KEYSTONEHOMEDESIGNS.COM  
905.616.2221

251 NORTH SERVICE RD. ©2024  
SUITE 303  
OAKVILLE, ON.  
L6M 3E7  
905-616-2221  
info@keystonehomedesigns.com  
www.keystonehomedesigns.com

CLIENT:

**WALIA RESIDENCE**

ADDRESS: 12 RAYNE AVENUE  
CITY: OAKVILLE, ON.

DRAWING TITLE:

**SITE PLAN**

|                   |                 |
|-------------------|-----------------|
| DRAWN: G.C.       | SCALE: AS SHOWN |
| DATE: 09/15/24    | SHEET NUMBER:   |
| JOB NUMBER: 24-06 | A2.1            |



DESIGNED APPROVED BY:

DATE:



**4 FRONT ELEVATION 'B3'**



**KEYSTONE**  
HOME DESIGNS

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info@keystonehomedesigns.com  
www.keystonehomedesigns.com

**NOT FOR CONSTRUCTION**

PROJECT:  
**WALIA**  
RESIDENCE  
12 RAYNE AVENUE,  
OAKVILLE, ON.

**ELEVATION 'B3'**

PROJECT: 24-06  
DATE: SEP.08.24  
SCALE: N.T.S.  
DRAWN BY: G. CASTILLO

**A4.1**



DESIGNED APPROVED BY:

DATE:



5 LEFT ELEVATION 'B3'



**KEYSTONE**  
**HOME DESIGNS**

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OAKVILLE, ON.  
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info@keystonehomedesigns.com  
www.keystonehomedesigns.com

NOT FOR CONSTRUCTION

PROJECT:

**WALIA  
RESIDENCE**

12 RAYNE AVENUE.  
OAKVILLE, ON.

**ELEVATION 'B3'**

PROJECT:

24-06

DATE:

SEP.09.24

SCALE:

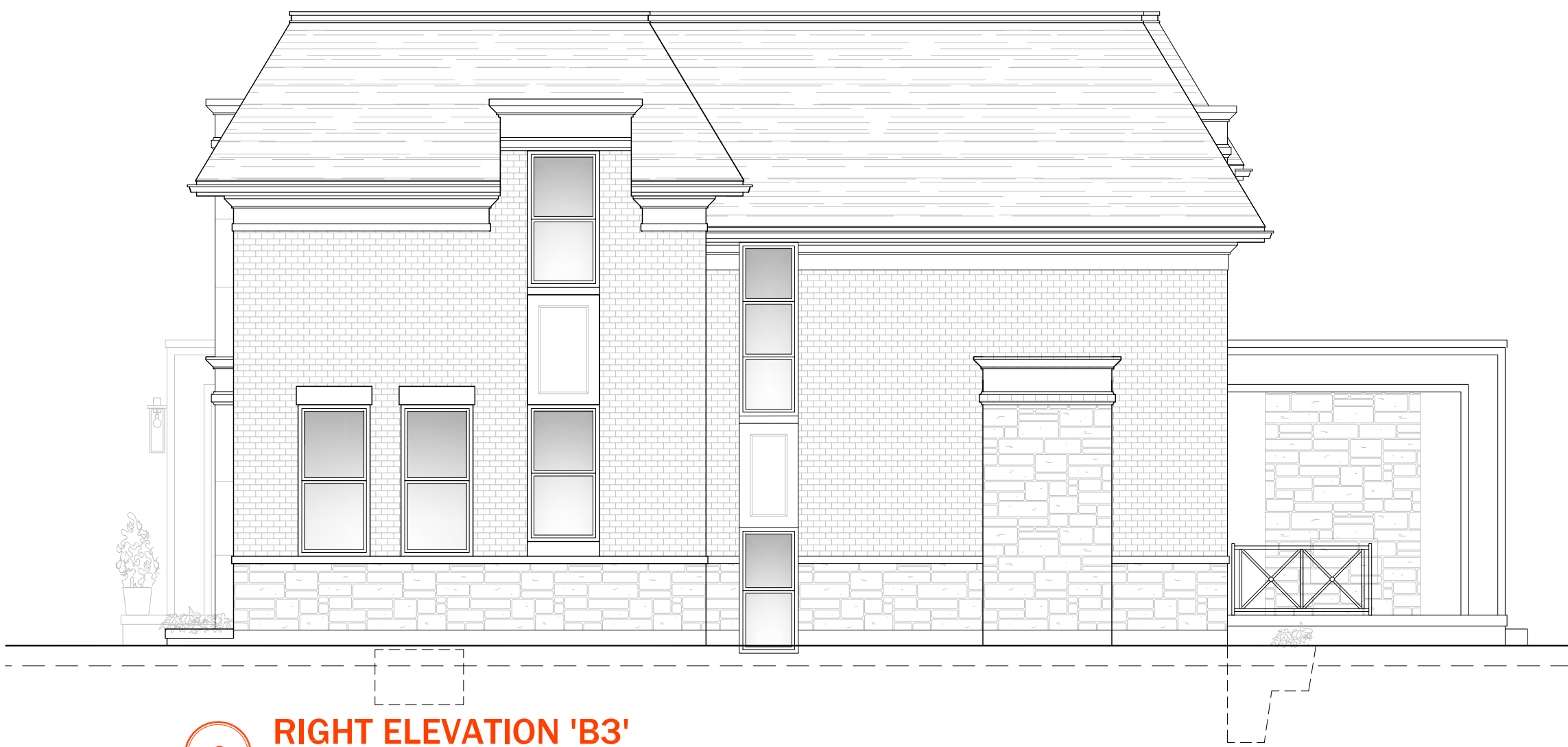
N.T.S.

DRAWN BY:

G. CASTILLO

**A4.2**

DESIGNED APPROVED BY:  
 \_\_\_\_\_  
 DATE:  
 \_\_\_\_\_



**6** RIGHT ELEVATION 'B3'



**KEYSTONE**  
 HOME DESIGNS

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 SUITE 303  
 OAKVILLE, ON.  
 L6M 3E7  
 905-616-2221  
 info@keystonehomedesigns.com  
 www.keystonehomedesigns.com

NOT FOR CONSTRUCTION

Page 78 of 191

PROJECT:  
**WALIA**  
 RESIDENCE  
 12 RAYNE AVENUE.  
 OAKVILLE, ON.

**ELEVATION 'B3'**

|           |             |
|-----------|-------------|
| PROJECT:  | 24-06       |
| DATE:     | SEP.09.24   |
| SCALE:    | N.T.S.      |
| DRAWN BY: | G. CASTILLO |

A4.3

DESIGNED APPROVED BY:

DATE:



7 REAR ELEVATION 'B4'



**KEYSTONE**  
**HOME DESIGNS**

©2024

251 NORTH SERVICE RD.  
SUITE 303  
OAKVILLE, ON.  
L6M 3E7  
905-616-2221  
info@keystonehomedesigns.com  
www.keystonehomedesigns.com

NOT FOR CONSTRUCTION

PROJECT:

WALIA  
RESIDENCE

12 RAYNE AVENUE.  
OAKVILLE, ON.

ELEVATION 'B4'

PROJECT:

24-06

DATE:

SEP.10.24

SCALE:

N.T.S.

DRAWN BY:

G. CASTILLO

A4.4





*12 Rayne Avenue*











# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/161/2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

| Applicant / Owner    | Authorized Agent   | Subject Property                 |
|----------------------|--|----------------------------------|
| N. Walia<br>A. Walia | GERARDO CASTILLO<br>KEYSTONE HOME DESIGNS<br>251 North Service Rd. West Rd<br>suite 303<br>OAKVILLE ON, Canada L6M 3E7 | 12 Rayne Ave<br>PLAN 1090 LOT 61 |

**Zoning of property:** RL7-0, Residential

### Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

| No. | Current   | Proposed  |
|-----|---|---|
| 1   | <i>Table 6.4.1</i><br>The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m <sup>2</sup> and 742.99 m <sup>2</sup> shall be 41%. | To increase the maximum residential floor area ratio to 44.17%. |

## **How do I participate if I have comments or concerns?**

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

### **Contact information:**

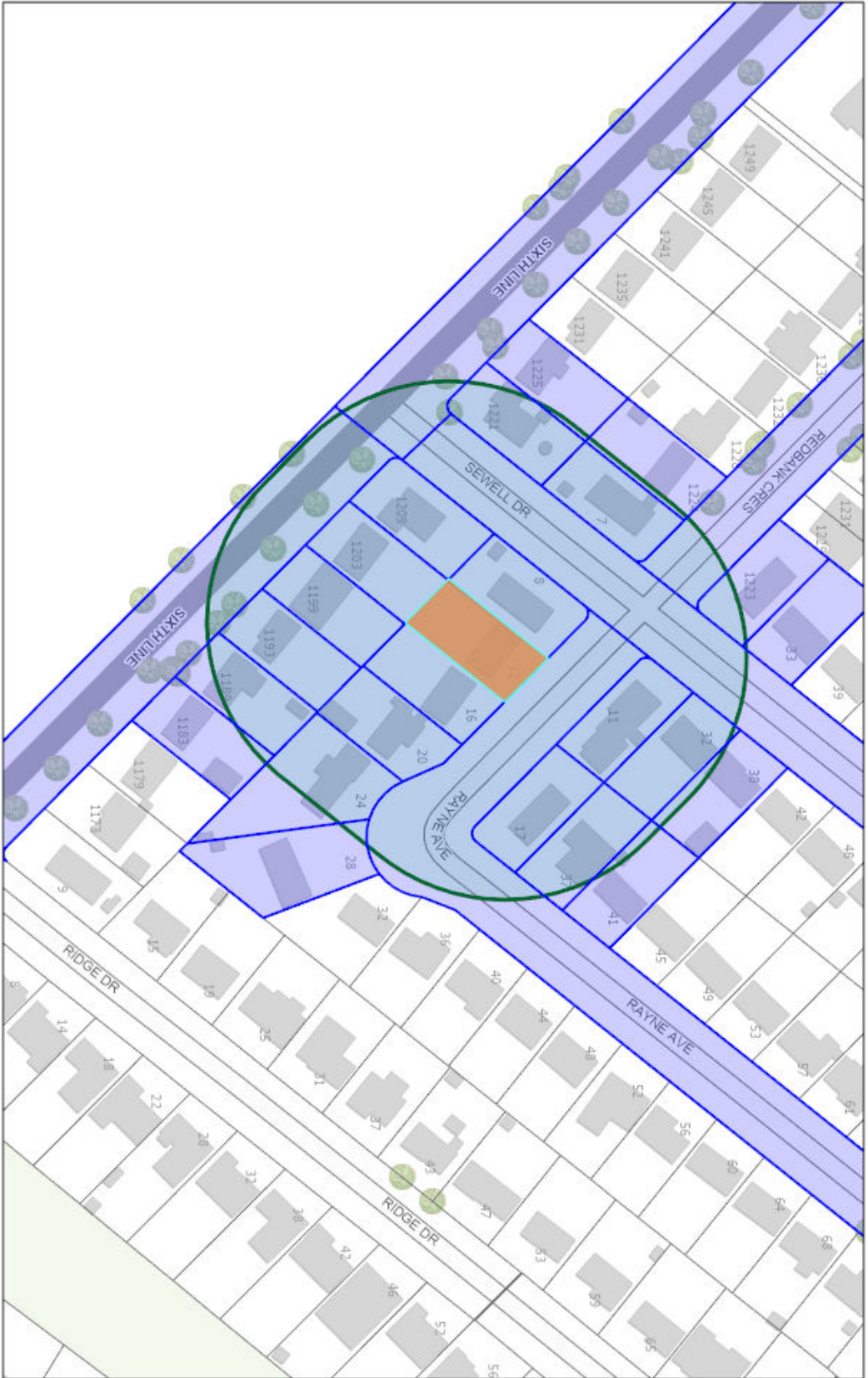
Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

### **Date mailed:**

October 29, 2024



# CAV A/161/2024 - 12 Rayne Avenue



10/23/2024, 9:56:58 AM

Ownership

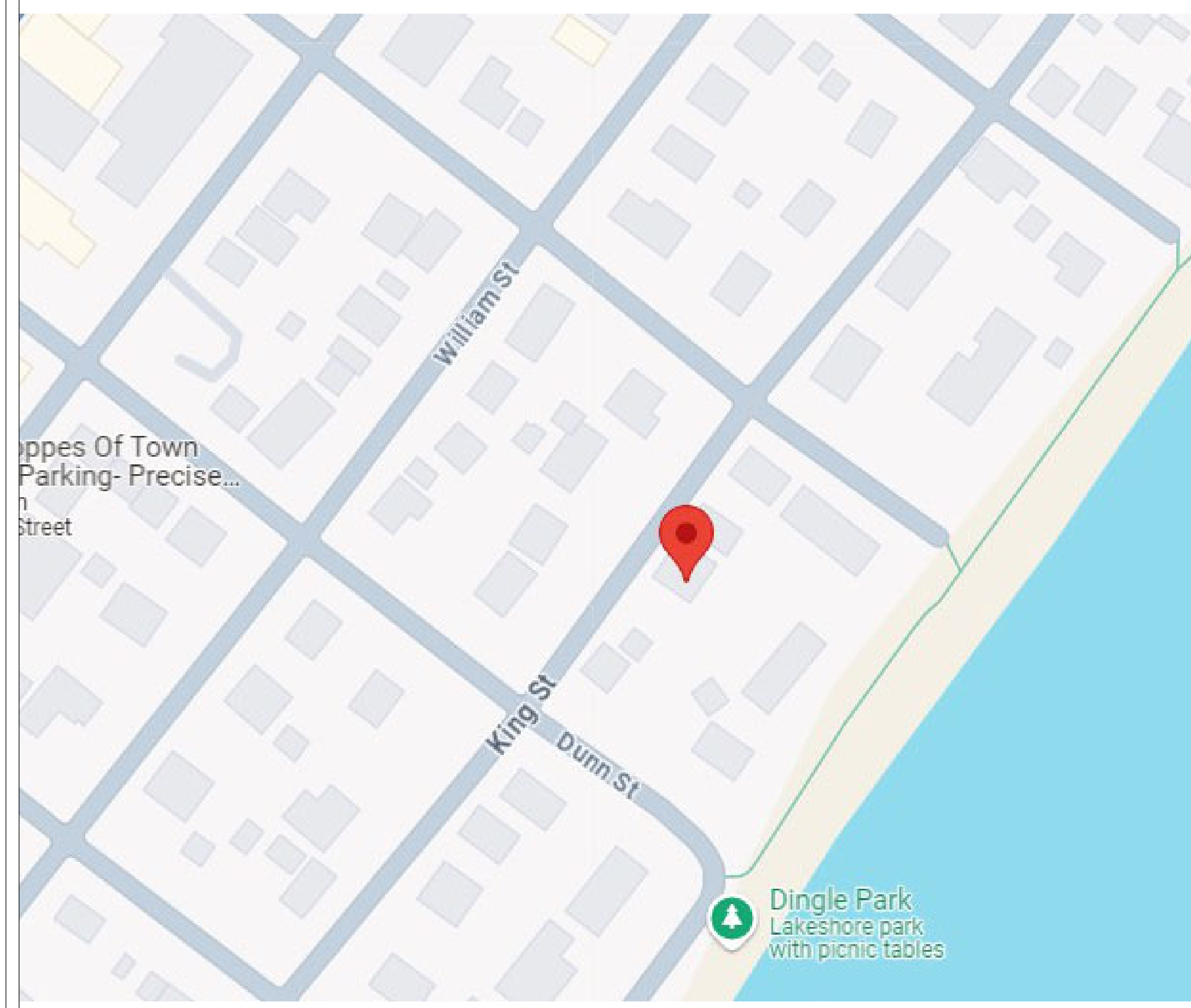
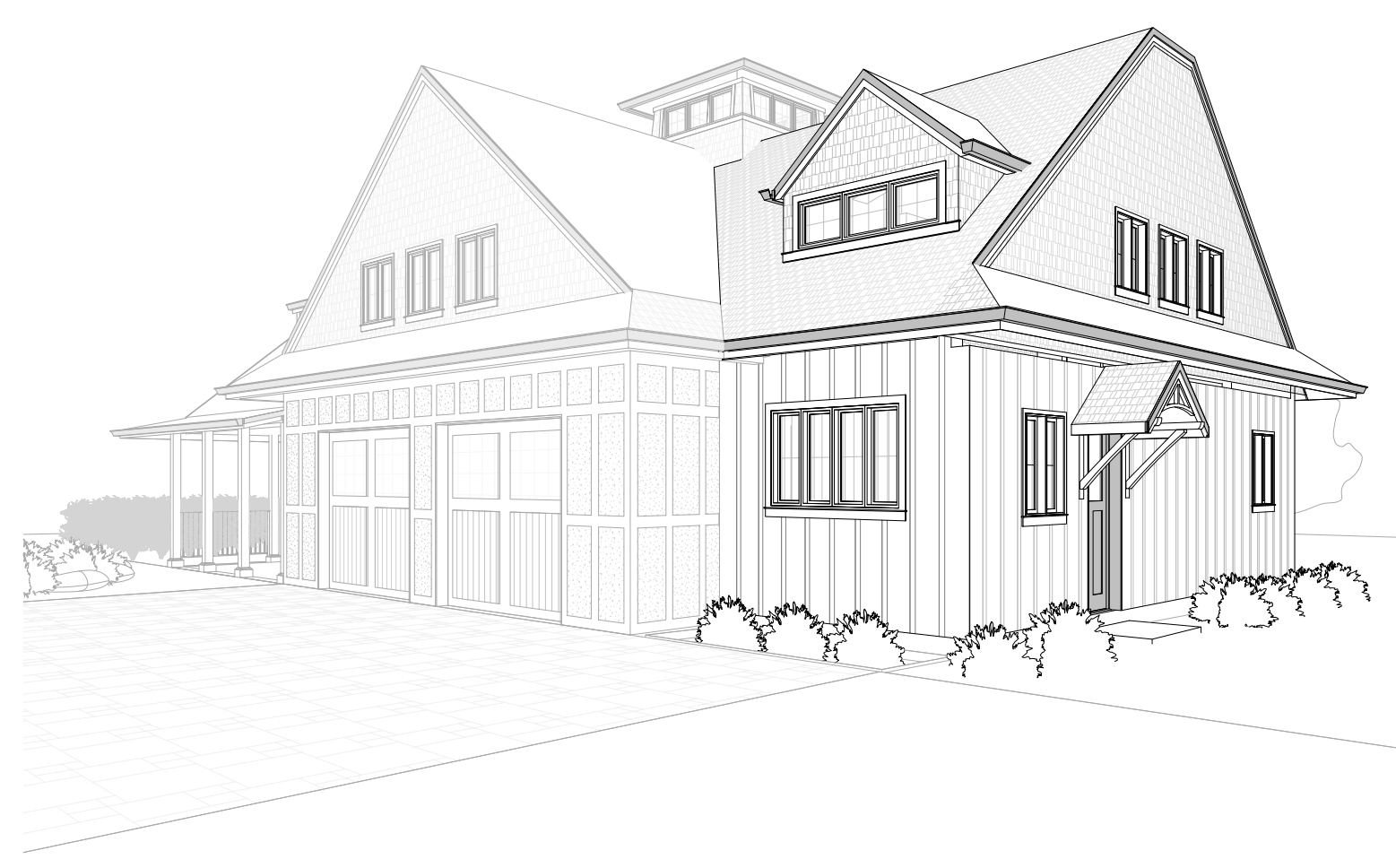
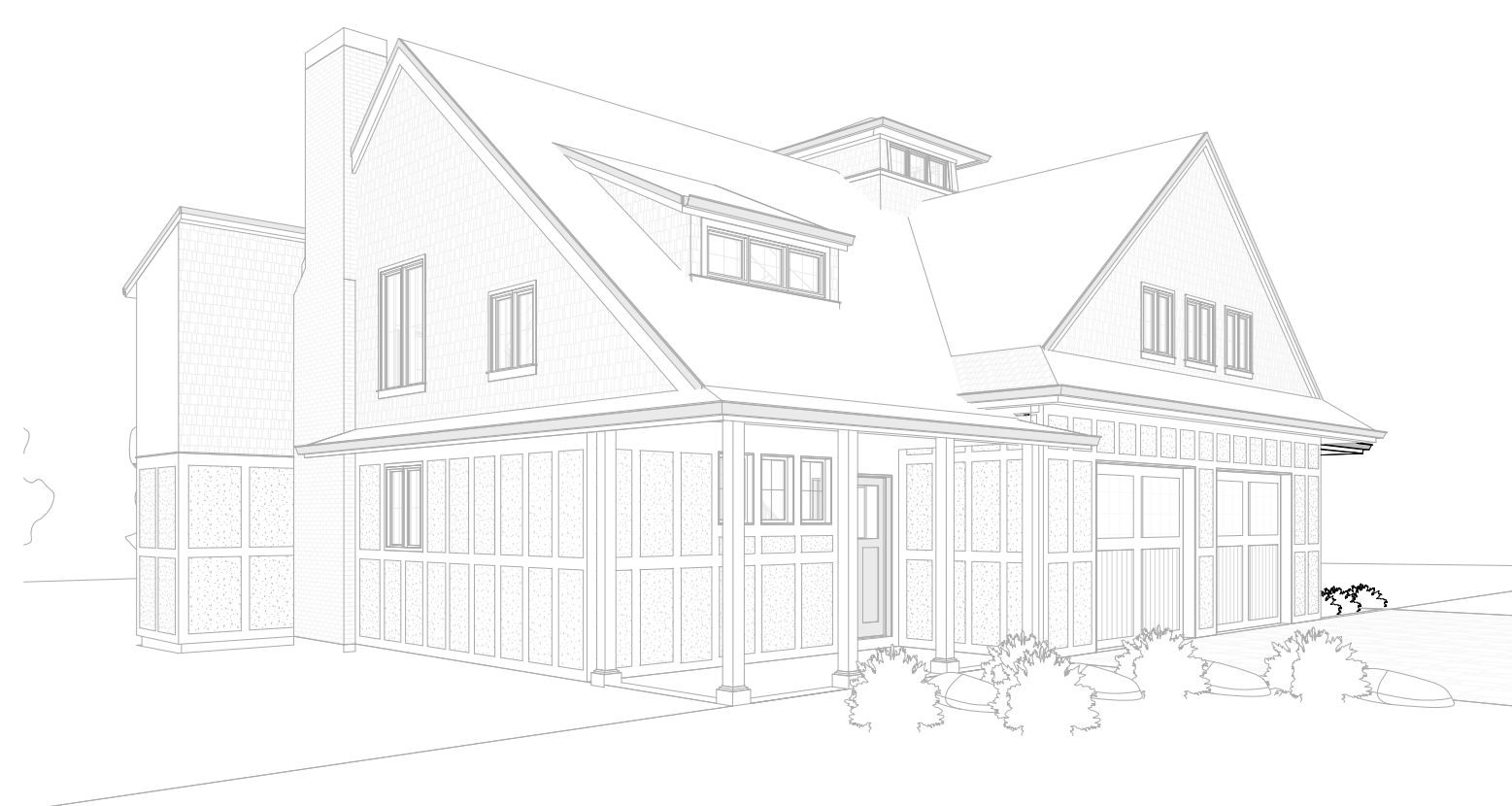
Applicant Name Address

Wards



Town of Oakville  
2021 Town of Oakville



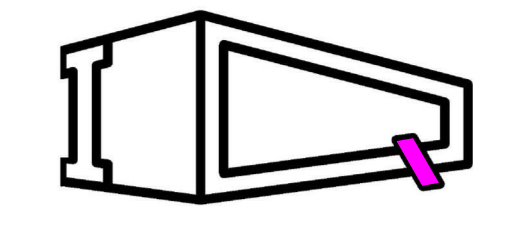


CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE THE DESIGNER. DRAWINGS ARE NOT TO BE SCALED.

**GENERAL CONSTRUCTION NOTES**

- All construction to comply with requirements of the Ontario Building Code (OBC) – Latest edition.
- These notes are included as minimum requirements
- Notes appearing on Architectural or Structural drawings shall supersede these notes.
- Report discrepancies immediately.

|  |  |
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**INTEQUA**  
ARCHITECTURAL + INTERIOR

159 QUEBEC AVENUE,  
TORONTO, ONTARIO M6P 2T9  
TEL: (647) 740-5825  
E: intequa@gmail.com

# 262 KING ST, OAKVILLE

**SCOPE OF WORK: ALTERATION AND ADDITION**

**DRAWINGS LIST**

| Sheet # | Sheet Name              |
|---------|-------------------------|
| A000    | COVER SHEET             |
| A200    | NORTH ELEVATION (FRONT) |
| A210    | SOUTH ELEVATION (REAR)  |
| A220    | WEST ELEVATION (LEFT)   |
| A230    | EAST ELEVATION (RIGHT)  |
| A300    | GROUND FLOOR PLAN       |
| A310    | SECOND FLOOR PLAN       |

Client: **Mr. Clive Maile**

Project: **TWO-STOREY ADDITION**

Address: **262 King Street, Oakville  
ON L6J 1B7**

Drawing Title: **COVER SHEET**

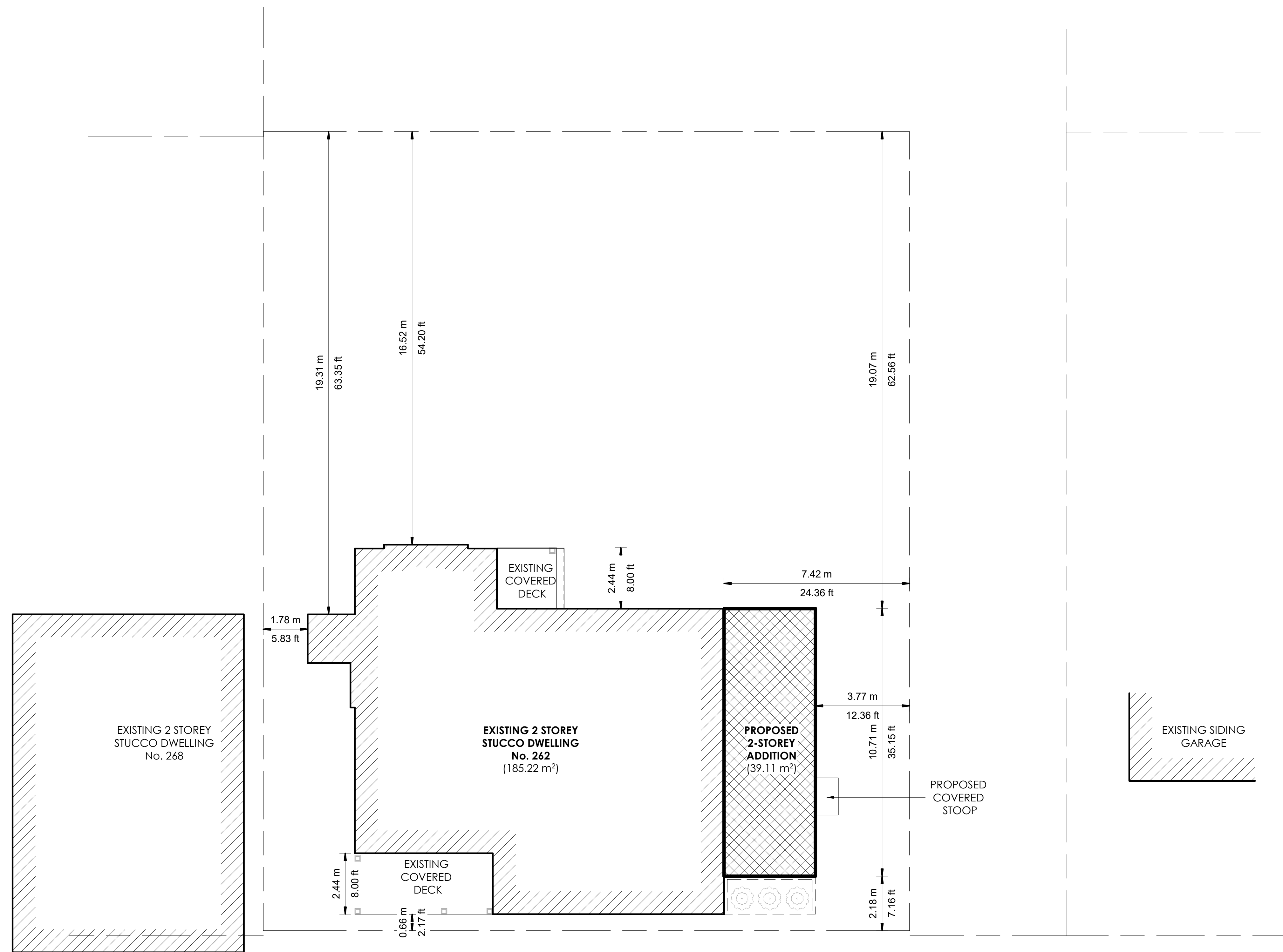
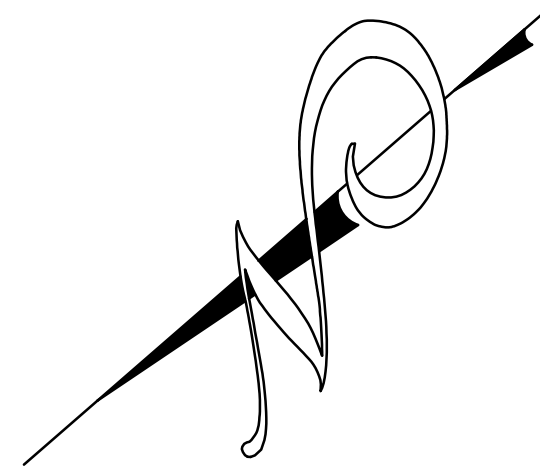
File Application #

Scale

Date: **September 30, 2024**

Project number: **230503**

**A000**



**KING STREET**

**1 SITE PLAN**  
A100 1/8" = 1'-0"

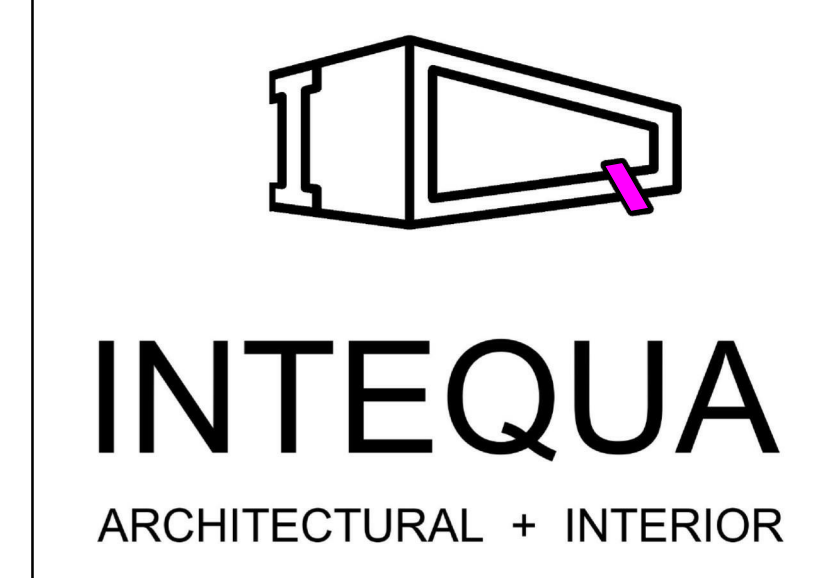
**SITE STATS**

|                             |  |
|-----------------------------|--|
| LOT AREA                    | 824.34 m <sup>2</sup>                          |
| EX. BUILDING FOOTPRINT      | 185.22 m <sup>2</sup>                          |
| EXISTING COVERED DECKS      | 19.70 m <sup>2</sup>                           |
| NEW ADDITION                | 39.11 m <sup>2</sup>                           |
| TOTAL AREA                  | 243.97 m <sup>2</sup> (29.53%)                 |
| <b>NEW GFA CALCULATIONS</b> |  |
| GROUND FLOOR AREA           | 135.04 m <sup>2</sup> (1,453.56 FF)            |
| SECOND FLOOR AREA           | 173.12 m <sup>2</sup> (1,863.45 FF)            |
| TOTAL GFA                   | 308.16 m <sup>2</sup> (3,317.01 FF) = (37.29%) |
| <b>SETBACKS</b>             |  |
| NORTH (Front)               | 0.67 m (EXISTING)                              |
| EAST                        | 3.77 m (PROPOSED)                              |
| SOUTH (Rear)                | 16.51 m (EXISTING)                             |
| WEST                        | 1.77 m (EXISTING)                              |

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE THE DESIGNER. DRAWINGS ARE NOT TO BE SCALED.

**GENERAL CONSTRUCTION NOTES**

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 – Report discrepancies immediately.



159 QUEBEC AVENUE,  
TORONTO, ONTARIO M6P 2T9  
TEL: (647) 740-5825  
E: intequa@gmail.com

Client: **Mr. Clive Maile**

Project: **TWO-STOREY ADDITION**

Address: **262 King Street, Oakville  
ON L6J 1B7**

Drawing Title: **SITE PLAN**

File Application #

Scale: **1/8" = 1'-0"**

Date: **September 30, 2024**

Project number: **230503**

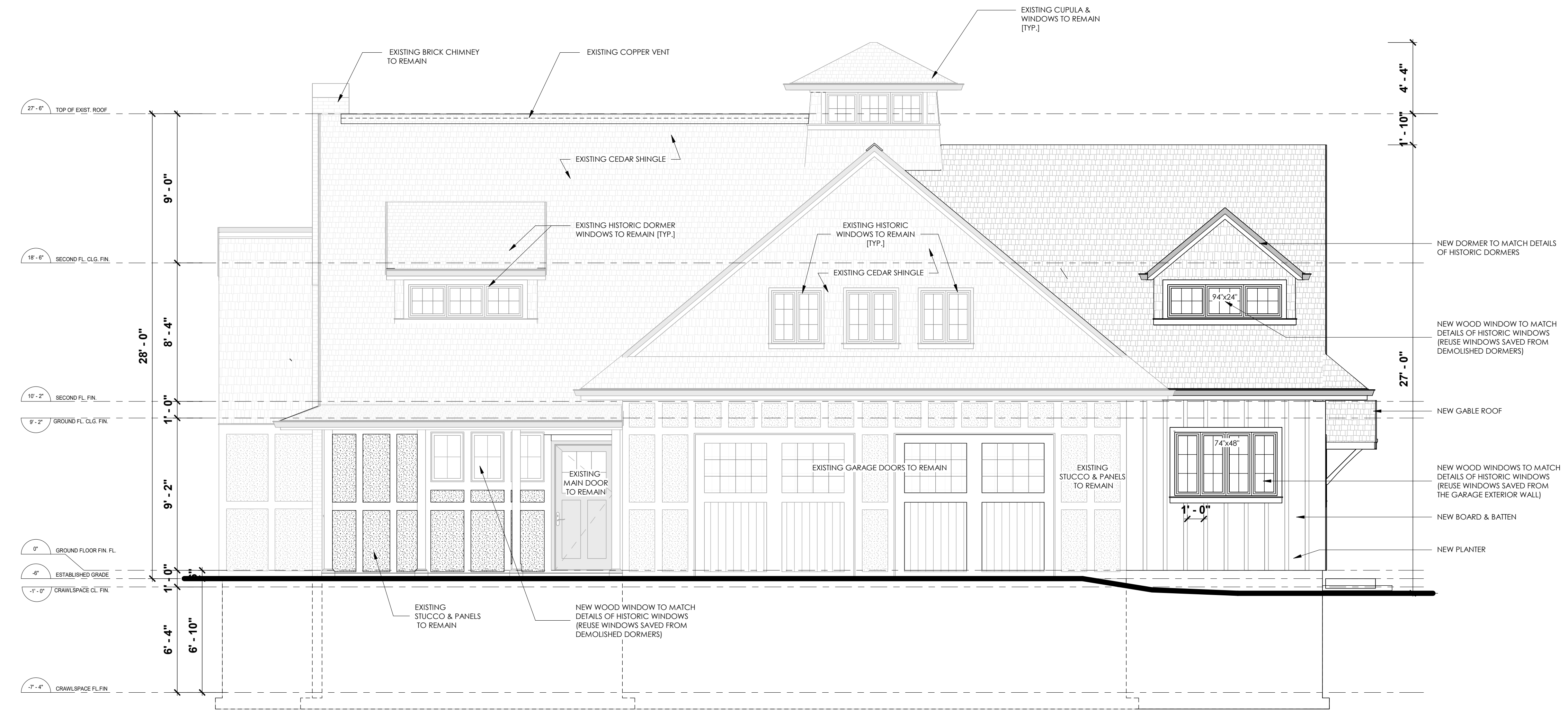
**A100**



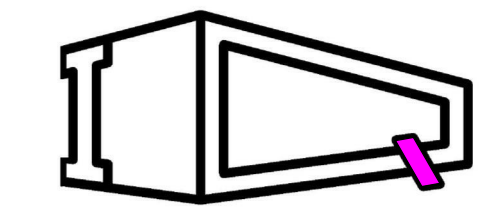
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE THE DESIGNER. DRAWINGS ARE NOT TO BE SCALED.

**GENERAL CONSTRUCTION NOTES**

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**2** **PROPOSED NORTH ELEVATION (FRONT)**  
**A200** 1/4" = 1'-0"



**INTEQUA**  
 ARCHITECTURAL + INTERIOR

159 QUEBEC AVENUE,  
 TORONTO, ONTARIO M6P 2T9  
 TEL: (647) 740-5825  
 E: intequa@gmail.com

Client:  
**Mr. Clive Maile**

Project:  
**TWO-STORY ADDITION**

Address:  
**262 King Street, Oakville  
 ON L6J 1B7**

Drawing Title  
**NORTH ELEVATION (FRONT)**

File Application #

Scale 1/4" = 1'-0"

Date September 30, 2024

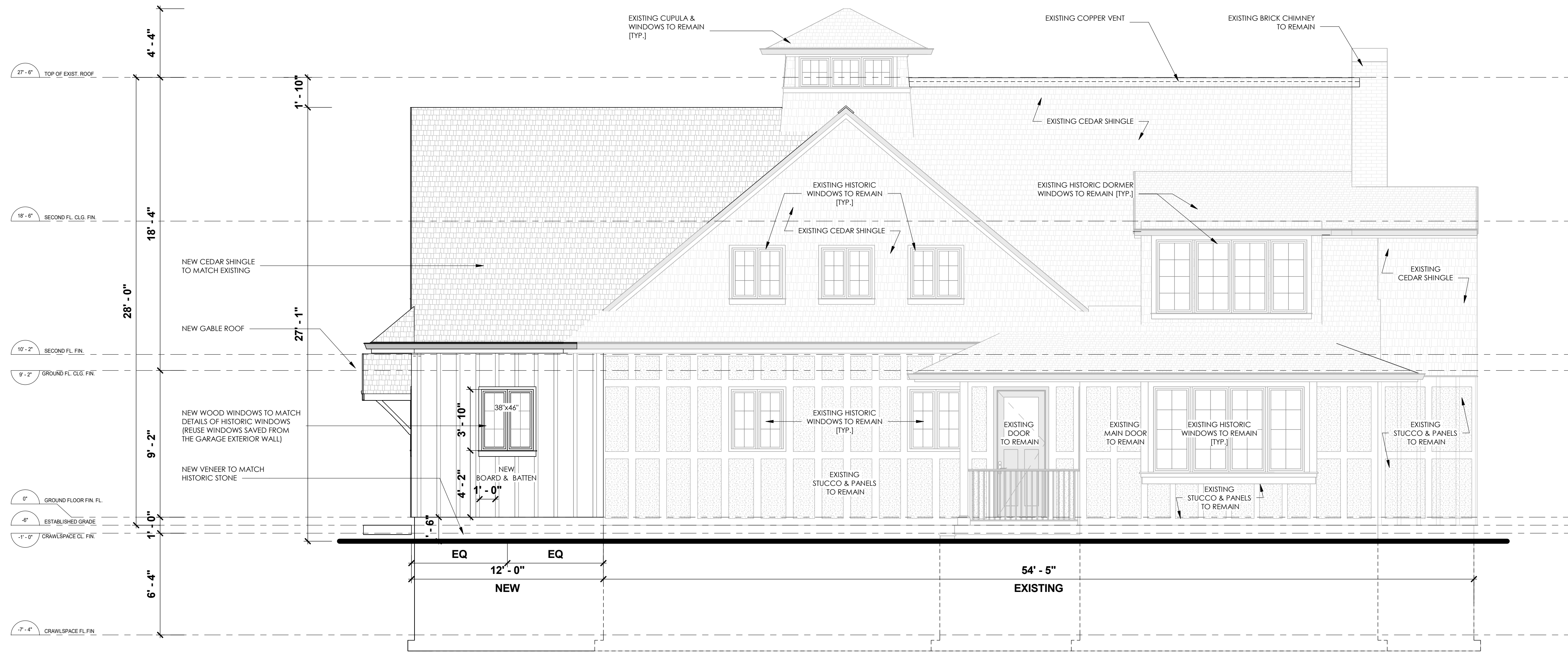
Project number 230503

**A200**

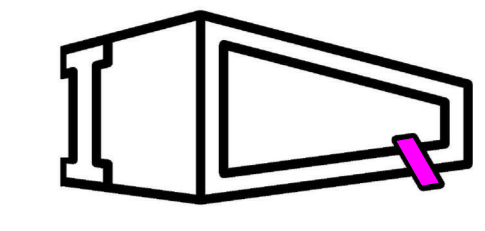
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**GENERAL CONSTRUCTION NOTES**

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 – Report discrepancies immediately.



**1**  
**A210** **PROPOSED SOUTH ELEVATION (REAR)**  
 1/4" = 1'-0"



**INTEQUA**  
 ARCHITECTURAL + INTERIOR

159 QUEBEC AVENUE,  
 TORONTO, ONTARIO M6P 2T9  
 TEL: (647) 740-5825  
 E: intequa@gmail.com

Client:  
**Mr. Clive Maile**

Project:  
**TWO-STOREY ADDITION**

Address:  
**262 King Street, Oakville  
 ON L6J 1B7**

Drawing Title  
**SOUTH ELEVATION (REAR)**

File Application #

Scale **1/4" = 1'-0"**

Date **September 30, 2024**

Project number **230503**

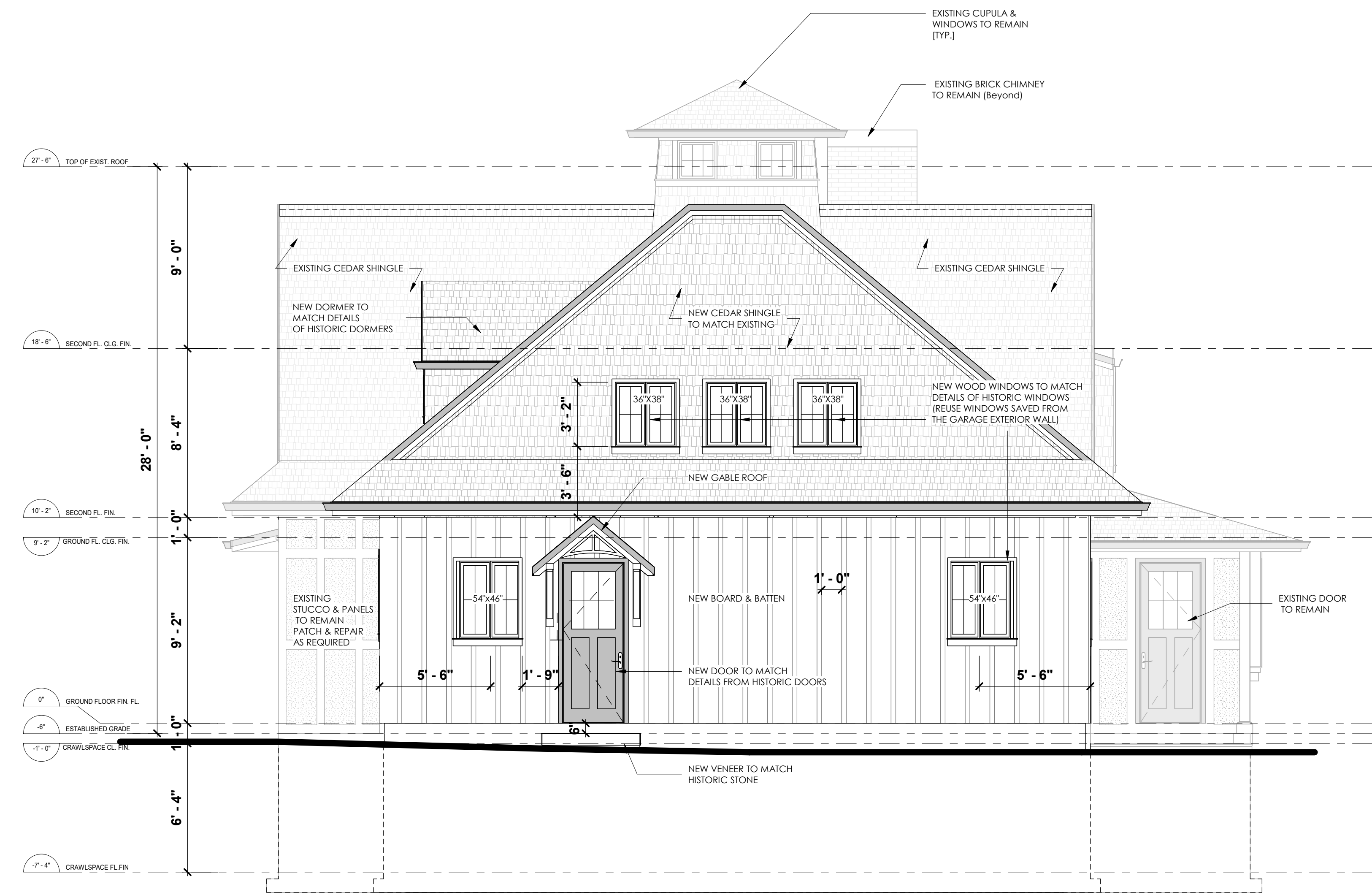
**A210**



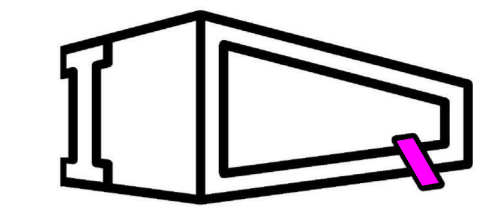
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE THE DESIGNER. DRAWINGS ARE NOT TO BE SCALED.

**GENERAL CONSTRUCTION NOTES**

All construction to comply with requirements of the Ontario Building Code (OBC) – Latest edition.  
 – These notes are included as minimum requirements  
 – Notes appearing on Architectural or Structural drawings shall supersede these notes.  
 – Report discrepancies immediately.



**2**  
**A220**  
**PROPOSED WEST ELEVATION**  
 1/4" = 1'-0"



**INTEQUA**  
 ARCHITECTURAL + INTERIOR

159 QUEBEC AVENUE,  
 TORONTO, ONTARIO M6P 2T9  
 TEL: (647) 740-5825  
 E: intequa@gmail.com

Client:  
**Mr. Clive Maile**

Project:  
**TWO-STOREY ADDITION**

Address:  
**262 King Street, Oakville  
 ON L6J 1B7**

Drawing Title  
**WEST ELEVATION (LEFT)**

|                    |                    |
|--------------------|--------------------|
| File Application # |                    |
| Scale              | 1/4" = 1'-0"       |
| Date               | September 30, 2024 |
| Project number     | 230503             |

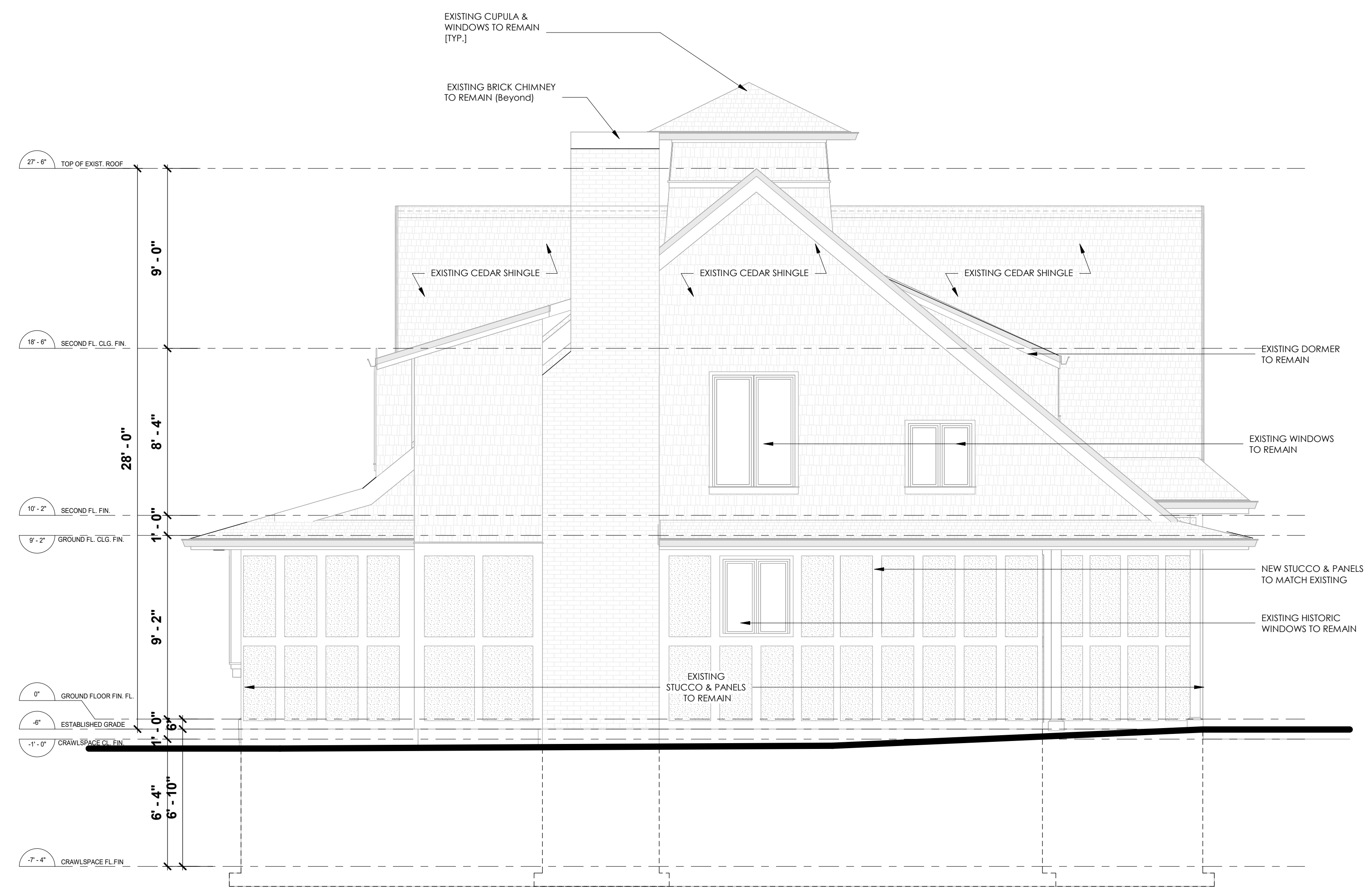
**A220**



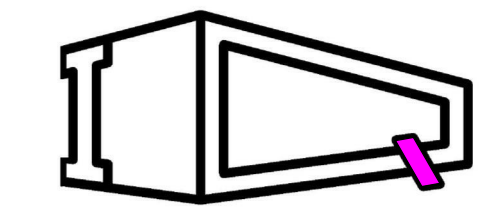
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE THE DESIGNER. DRAWINGS ARE NOT TO BE SCALED.

**GENERAL CONSTRUCTION NOTES**

All construction to comply with requirements of the Ontario Building Code (OBC) – Latest edition.  
 – These notes are included as minimum requirements  
 – Notes appearing on Architectural or Structural drawings shall supersede these notes.  
 – Report discrepancies immediately.



**2** **PROPOSED EAST ELEVATION**  
**A230** 1/4" = 1'-0"



**INTEQUA**  
 ARCHITECTURAL + INTERIOR

159 QUEBEC AVENUE,  
 TORONTO, ONTARIO M6P 2T9  
 TEL: (647) 740-5825  
 E: intequa@gmail.com

Client:  
**Mr. Clive Maile**

Project:  
**TWO-STOREY ADDITION**

Address:  
**262 King Street, Oakville  
 ON L6J 1B7**

Drawing Title  
**EAST ELEVATION (RIGHT)**

File Application #

Scale 1/4" = 1'-0"

Date September 30, 2024

Project number 230503

**A230**

June 27, 2024

Alam Makur  
Intequa Designs  
159 Quebec Ave , Unit  
Toronto, ON, M6P 2T9

**Permit Application Number:** 24 - 161729

**Project Location:** 262 King St , Oakville, ON, L6J1B7

This is a progress update on the status of your permit application. The zoning examination is complete and we are providing courtesy notification of the deficiencies identified to date. Additional required examinations are in progress.

Once all examinations are complete, you will receive a refusal letter summarizing all deficiency comments. At that time, you will be eligible to resubmit your application with the deficiencies addressed. Your resubmission **must address all comments** identified by all disciplines and be accompanied by a detailed written response indicating how each item has been resolved. **Please do not resubmit materials until the refusal letter is issued.**

Please be aware of the following:

1. When amending plans, be mindful of the impact of changes to associated drawings as they must coordinate and be consistent. You may need to contact various members of your design team to coordinate these changes. Be proactive, look ahead and see the impact the change makes to the entirety of your project.
2. Approved drawings by other town departments/approval agencies must match those submitted for building permit (i.e. Site Plan, Development Engineering, Conservation Halton, etc...).
3. The continued review of your application may result in additional comments identified by other disciplines within the building permit process. You will be notified once all required examinations are complete and you are eligible to resubmit.

For general inquiries, please contact [buildingrequests@oakville.ca](mailto:buildingrequests@oakville.ca) or 905-845-6601 ext. 7377

For questions about specific deficiency items, please feel free to contact me.

Gonzalo Marco  
Zoning Examiner  
Email: [gonzalo.marco@oakville.ca](mailto:gonzalo.marco@oakville.ca)

**A refusal letter will be issued once all reviews are complete. Please hold resubmission materials until all examinations are complete.**

**ZONING** has identified the following comments that need to be addressed prior to resubmission. Hold all resubmission materials until refusal letter is issued:

- 1. Front Yard Setback** - Oakville Zoning By-Law 2014-014 - Section 15.11.1 (a): Minimum required front yard setback is 6.0m. The proposed front yard setback to the new addition is 2.38m.
- 2. Lot Coverage** - Oakville Zoning By-Law 2014-014 - Section 15.11.1 (c): Maximum lot coverage for all buildings is 25%. The proposed lot coverage is 29.74% (245.8m<sup>2</sup>)
- 3. Residential Floor Area** - Oakville Zoning By-Law 2014-014 - Section 15.11.1 (h): The maximum residential floor area for a dwelling having two or more storeys is 30% of the lot area. The proposed residential floor area is 37.62% (310.91m<sup>2</sup>)

A refusal letter will be issued once all reviews are complete. Please hold resubmission materials until all examinations are complete.



Attn: Heritage Department

Re proposals 262 King Street.

I live at [REDACTED] Trafalgar Road and I can clearly see Mr Maile's house across my back garden.

I love living in the heritage area of Oakville and I enjoy looking at the other houses when I walk through the neighbourhood. Mr Maile has shown me his plans and renderings for the addition and I have no objection.

February 19, 2024.

A handwritten signature in black ink, consisting of a horizontal line with a large, stylized flourish extending downwards and to the right.

**RE: 262 KING STREET, OAKVILLE, ONTARIO L6J 1B7**

**NAME:** IAN MCKAY

**ADDRESS:** [REDACTED] KING ST, OAKVILLE

I/WE HAVE SEEN THE PLANS FOR THE PROPOSED ADDITION TO 262 KING STREET, OAKVILLE  
AND I WE HAVE NO OBJECTIONS TO THE ADDITION.

**DATE:** FEB 18 2024

**SIGNATURE:** 

**RE: 262 KING STREET, OAKVILLE, ONTARIO L6J 1B7**

**NAME:** DONNA WARD

**ADDRESS:** [REDACTED] KING ST.

I/WE HAVE SEEN THE PLANS FOR THE PROPOSED ADDITION TO 262 KING STREET , OAKVILLE  
AND I WE HAVE NO OBJECTIONS TO THE ADDITION.

**DATE:** Feb. 19/24

**SIGNATURE:** D Ward




RE: 262 King Street

February 5, 2024

Having reviewed the plans for the proposed addition at 262 King Street, I have no objections to the plans as provided.

Please note my house is located at [REDACTED] King Street which is to the immediate west of the Maile residence. Once the small addition is completed the rendering clearly shows that the addition still leaves a substantial open space between both properties.

Sincerely,



Christine Markus

Feb. 5 / 24

**RE: 262 KING STREET, OAKVILLE, ONTARIO L6J 1B7**

**NAME:** Patti Medo

**ADDRESS:** [REDACTED] King

I/WE HAVE SEEN THE PLANS FOR THE PROPOSED ADDITION TO 262 KING STREET , OAKVILLE AND I WE HAVE NO OBJECTIONS TO THE ADDITION.

**DATE:** Feb 19/2024

**SIGNATURE:** P. Medo

Attention: Town of Oakville Heritage Department

February 5, 2024

**Re: Heritage Permit Application for 262 King Street**

Town of Oakville

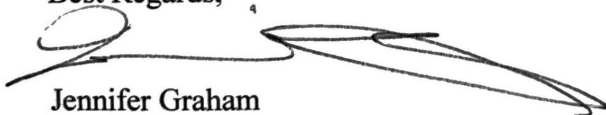
To Whom it May Concern,

My home is located at ■■■ Dunn Street, which is directly to the North and in full view of the Maile residence at 262 King Street.

I have reviewed the plans for the addition and I have no objections. For the record, I previously owned the subject property at 262 King Street prior to the Maile's and I am in complete support of the work the Maile's are proposing.

I believe by looking at the artist's rendering that it still keeps the same feel as the subject property. In fact, the new rendering looks more like the original structure with a main floor room and windows that were later converted into a garage door. The new proposal restores the look of the home.

Best Regards,



Jennifer Graham



RE: 262 KING STREET, OAKVILLE, ONTARIO L6J 1B7

NAME: Irene Lawtak

ADDRESS: [REDACTED] DUNN ST

I/WE HAVE SEEN THE PLANS FOR THE PROPOSED ADDITION TO 262 KING STREET , OAKVILLE  
AND I WE HAVE NO OBJECTIONS TO THE ADDITION.

DATE:

Feb . 22 . 2024 .

SIGNATURE:

*Irene Lawtak*

**RE: 262 KING STREET, OAKVILLE, ONTARIO L6J 1B7**

**NAME:** LIZ GALLAGHER

**ADDRESS:** [REDACTED] King Street

I/WE HAVE SEEN THE PLANS FOR THE PROPOSED ADDITION TO 262 KING STREET , OAKVILLE AND I WE HAVE NO OBJECTIONS TO THE ADDITION.

**DATE:** 20 Feb 2024

**SIGNATURE:** E Gallagher

RE: 262 KING STREET, OAKVILLE, ONTARIO L6J 1B7

NAME: BRIAN ENNS

ADDRESS: [REDACTED] Allan St.

I/WE HAVE SEEN THE PLANS FOR THE PROPOSED ADDITION TO 262 KING STREET , OAKVILLE AND I WE HAVE NO OBJECTIONS TO THE ADDITION.

DATE: Feb 2012.

SIGNATURE: 



RE: 262 KING STREET, OAKVILLE, ONTARIO L6J 1B7

NAME: *Dr. Gaene HIBBERD + ELIZABETH HIBBERD*

ADDRESS: [REDACTED] *Reynolds St. L6J 3J7  
Oakville ONT*

I/WE HAVE SEEN THE PLANS FOR THE PROPOSED ADDITION TO 262 KING STREET , OAKVILLE  
AND I WE HAVE NO OBJECTIONS TO THE ADDITION.

DATE: *Feb 20 /24*

SIGNATURE:  
*Dr. Gaene Hibberd  
Elizabeth Hibberd*

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/162/2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

| Applicant / Owner | Authorized Agent  | Subject Property   |
|-------------------|---|--|
| H. Maile          | Alam Makur<br>INTEQUA DESIGNS<br>159 QUEBEC Ave<br>TORONTO ON, CANADA M6P 2T9 | 262 King St<br>PLAN 1 PT BLK 24 PT LOT B RP<br>20R20862 PART 1 |

**Zoning of property:** RL3 sp:11, Residential

### Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey addition to the existing dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

| No. | Current   | Proposed  |
|-----|---|---|
| 1   | <i>Table 15.11.1 a)</i><br>The minimum front yard shall be 6.0 metres.  | To decrease the minimum front yard to 2.18 metres.  |
| 2   | <i>Table 15.11.1 c)</i><br>The maximum lot coverage for all buildings shall be 25%.   | To increase the maximum lot coverage for all buildings to 29.74%.                                   |
| 3   | <i>Table 15.11.1 h)</i><br>The maximum residential floor area for a dwelling having two or more storeys shall be 30% of the lot area. | To increase the maximum residential floor area for a dwelling having two or more storeys to 37.62%. |

## **How do I participate if I have comments or concerns?**

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

### **Contact information:**

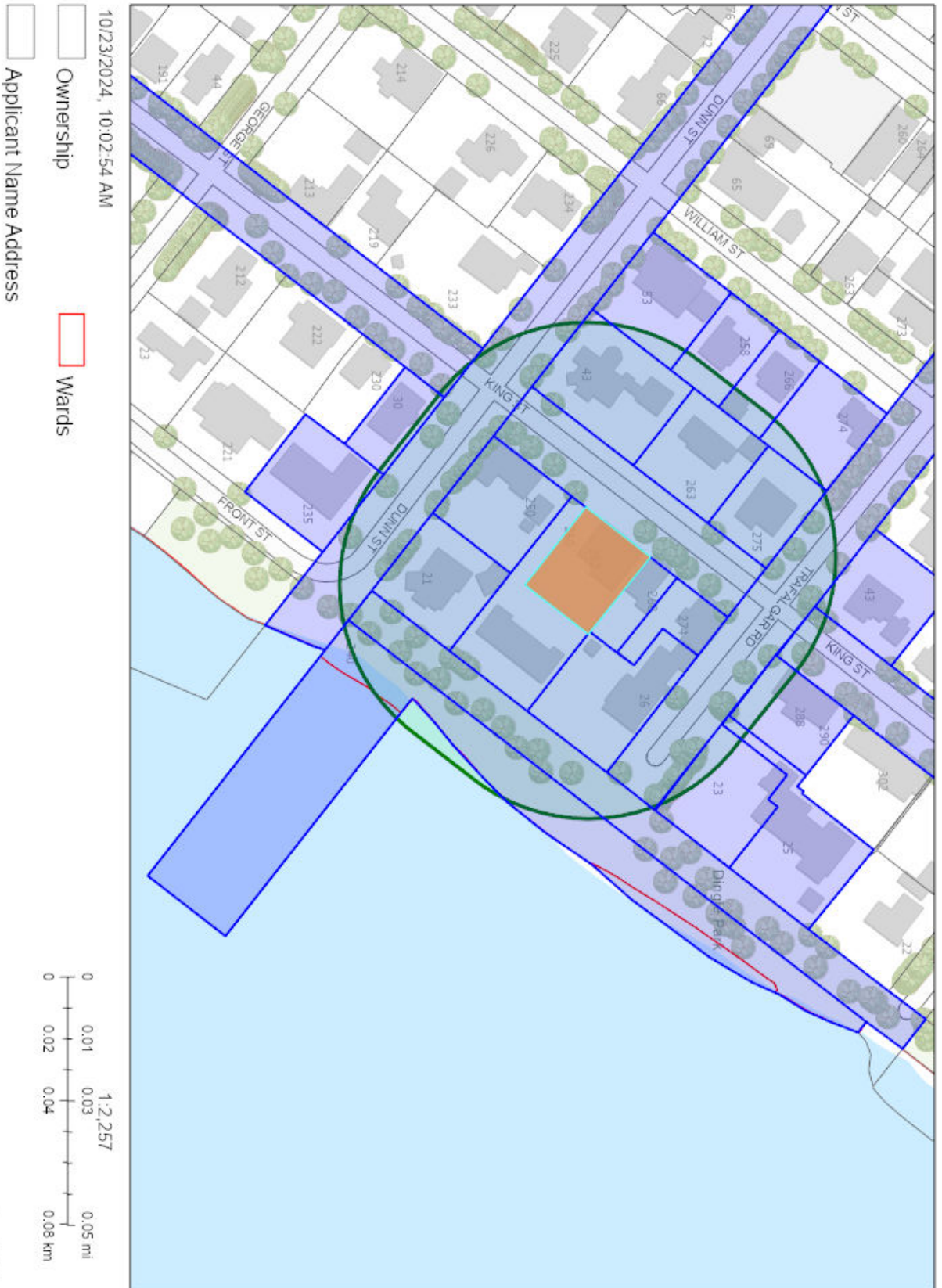
Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

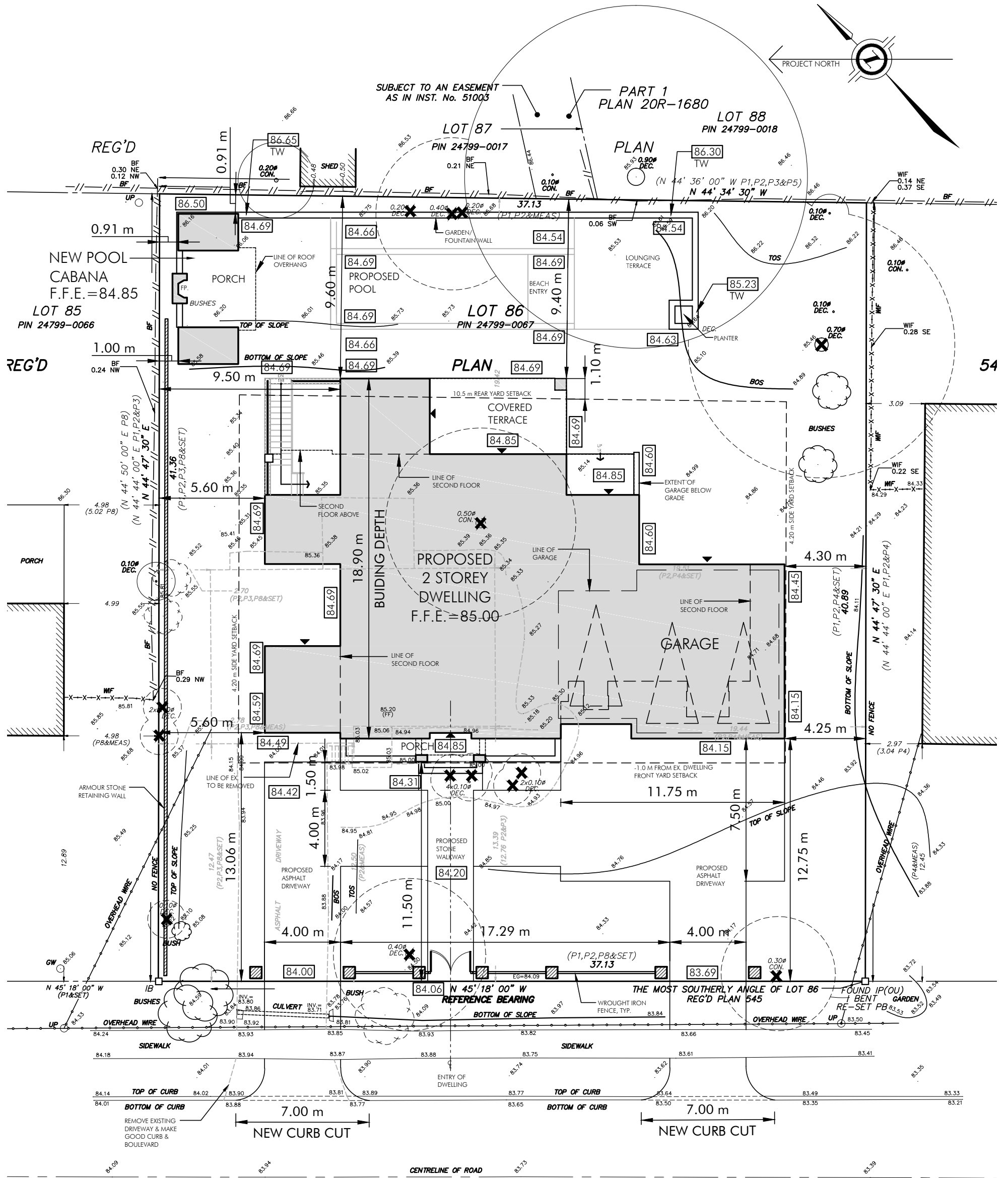
### **Date mailed:**

October 29, 2024



# CAV A/162/2024 - 262 King Street





LOT 86  
 REGISTERED PLAN 545  
 TOWN OF OAKVILLE,  
 REGIONAL MUNICIPALITY OF HALTON  
 AS TAKEN FROM  
 SURVEY BY  
 J.H. GELBLOOM SURVEYING LIMITED  
 ONTARIO LAND SURVEYOR  
 DATED AUG 22, 2023  
 AS PROVIDED BY OWNER

WEDGEWOOD DRIVE  
 (BY REG'D PLAN 545)  
 PIN 24799-0134

Proposed New Residence:

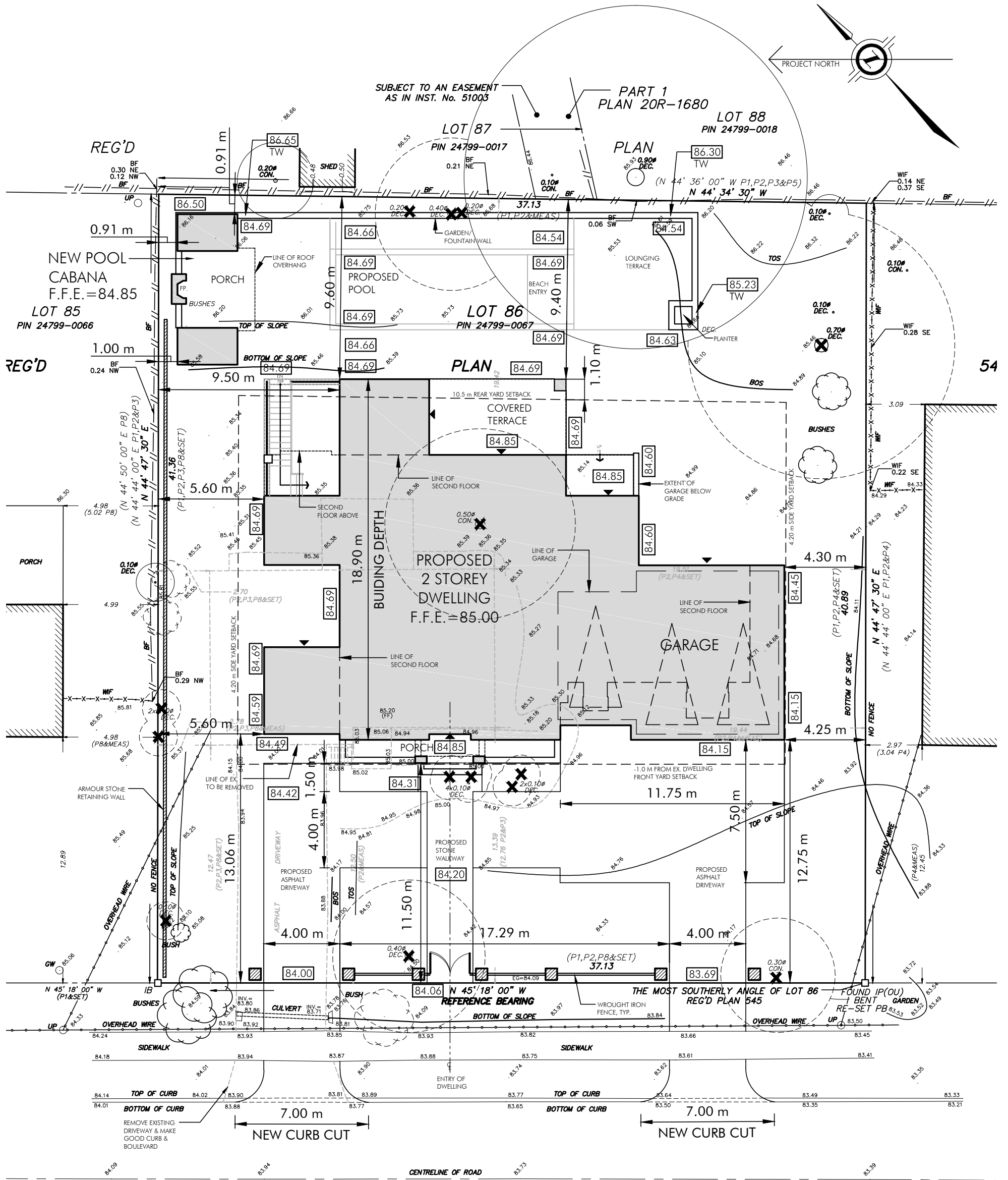
221 WEDGEWOOD DRIVE, Oakville

Site Plan - at 1:200

A101 - September 17, 2024



64 Rebecca Street, Oakville  
 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
 www.gusricciarchitect.com



LOT 86  
 REGISTERED PLAN 545  
 TOWN OF OAKVILLE,  
 REGIONAL MUNICIPALITY OF HALTON  
 AS TAKEN FROM  
 SURVEY BY  
 J.H. GELBLOOM SURVEYING LIMITED  
 ONTARIO LAND SURVEYOR  
 DATED AUG 22, 2023  
 AS PROVIDED BY OWNER

**WEDGEWOOD DRIVE**  
 (BY REG'D PLAN 545)  
 PIN 24799-0134

Proposed New Residence:

**221 WEDGEWOOD DRIVE, Oakville**

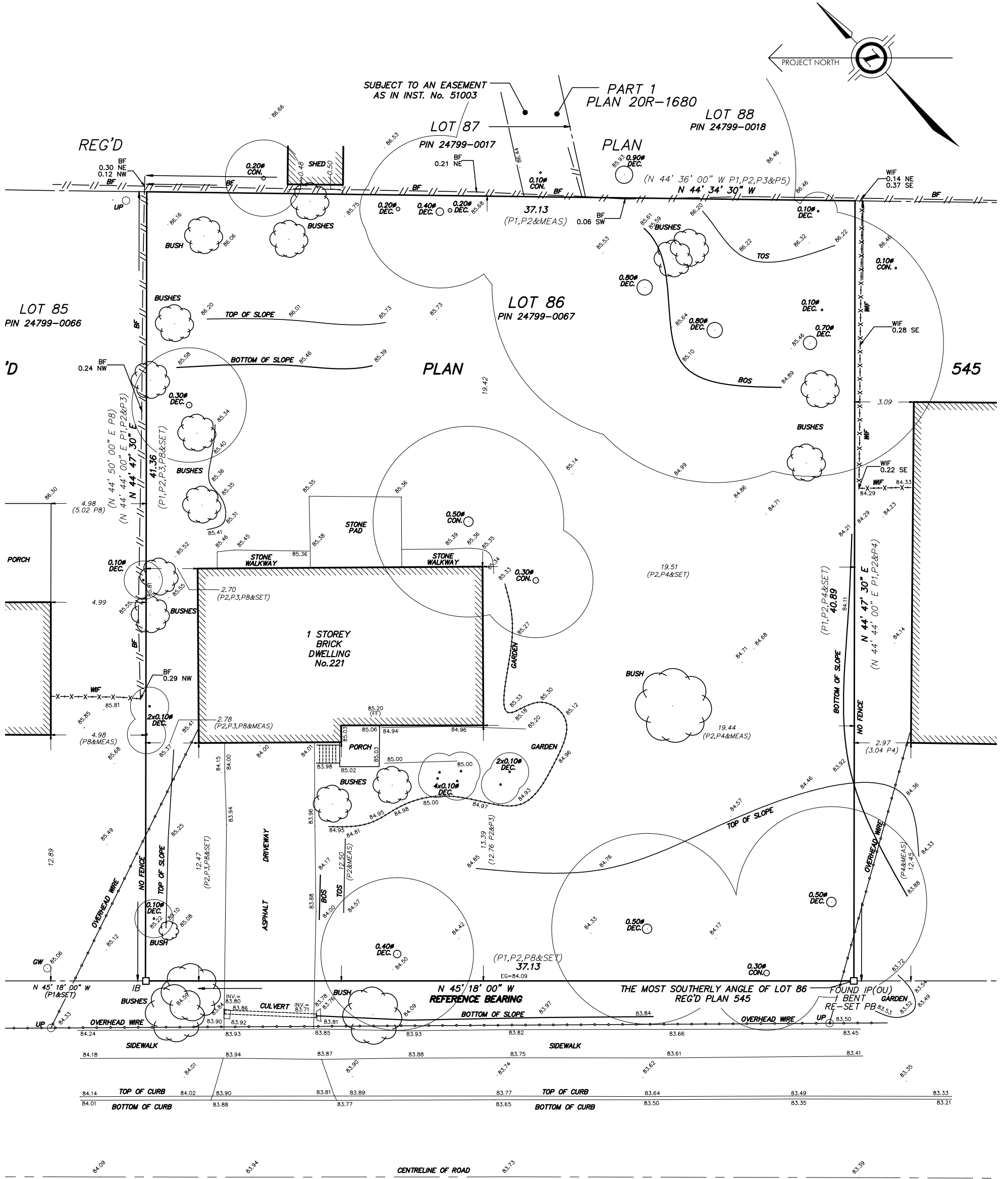
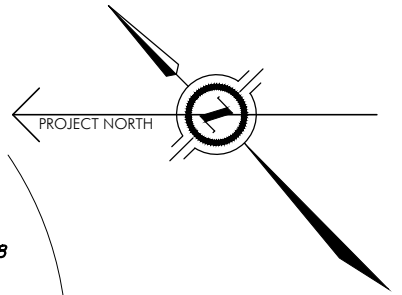
Site Plan - at 1:200

A101 - September 17, 2024



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 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
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LOT 86  
 REGISTERED PLAN 545  
 TOWN OF OAKVILLE,  
 REGIONAL MUNICIPALITY OF HALTON  
 AS TAKEN FROM  
 SURVEY BY  
 J.H. GELBLOOM SURVEYING LIMITED  
 ONTARIO LAND SURVEYOR  
 DATED AUG 22, 2023  
 AS PROVIDED BY OWNER

**WEDGEWOOD DRIVE**  
 (BY REG'D PLAN 545)  
 PIN 24799-0134

Proposed New Residence:  
**221 WEDGEWOOD DRIVE, Oakville**  
 Survey at 1:200  
 C100 - September 17, 2024



64 Rebecca Street, Oakville  
 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
 www.gusricciarchitect.com

| SITE STATISTICS  |  |  |                                     |  |
|--|--|--|-------------------------------------|--|
| LOT DESCRIPTION  | LOT 86, REGISTERED PLAN 545  |  | TOWN OF OAKVILLE                    | REGIONAL MUNICIPALITY OF HALTON                  |
| MUNICIPAL ADDRESS                                      | 221 WEDGEWOOD DRIVE  |  |                                     |  |
|  | ZONING REQUIREMENTS  |  | PROPOSED NEW                        |  |
| ZONING   | BY-LAW 2014-014 RL1 -0   |  |                                     |  |
| LOT AREA   | MINIMUM = 1,393.5 m <sup>2</sup> (15,000.00 sq.ft.)  |  | EXISTING                            | 1,526.88 m <sup>2</sup> (16,435.20 sq.ft.)       |
| LOT FRONTAGE   | MINIMUM = 30.5 m (100.1 ft)  |  |                                     | 37.13 m (121.82 ft.)                             |
| FRONT YARD SETBACK                                     | MINIMUM = 11.47 m (37.63 ft)<br>(-1m LESS THEN EXISTING BUILDING)  |  |                                     | 11.50 m (37.73 ft.)                              |
| REAR YARD SETBACK @DWELLING                            | MINIMUM = 10.5 m (34.45 ft)<br>(1 STOREY EXTENSION LESS THEN OR EQUAL TO 7.50 m IN HEIGHT IS ALLOWED TO EXTEND AN ADDITIONAL 3.00 m INTO REAR YARD PROVIDED INTERIOR SIDE YARD OF 9.00 m ON EITHER SIDE AS PER 6.3.1. (1) - ZONING BY-LAW)   |  | DWELLING SETBACK                    | 9.40 m (30.84 ft.)                               |
| @ACCESSORY BUILDING                                    | MINIMUM = 0.6 m (2.00 ft)  |  | 1 STORY EXTENSION SIDE YARD SETBACK | 9.50 m (31.20 ft.)                               |
| SIDE YARD SETBACK (SOUTH)                              | MINIMUM = 4.20 m (13.80 ft)  |  | BUILDING HEIGHT ENCROACHMENT        | 4.50 m (14.80 ft.)                               |
| SIDE YARD SETBACK (NORTH) @DWELLING                    | MINIMUM = 4.20 m (13.80 ft)  |  |                                     | 1.10 m (3.60 ft.)                                |
| @ACCESSORY BUILDING                                    | MINIMUM = 0.6 m (2.00 ft)  |  |                                     | 0.91 m (3.00 ft.)                                |
| BUILDING DEPTH   | MAXIMUM = 20.0 m (65.60 ft)  |  |                                     | 4.25 m (13.90 ft.)                               |
| BUILDING HEIGHT OVERALL/RIDGE (from established grade) | MAXIMUM = 9.00 m (29.53 ft)  |  |                                     | 5.60 m (18.40 ft.)                               |
| BUILDING HEIGHT (ACCESSORY BUILDING)                   | MAXIMUM = 4.00 m (13.12 ft)  |  |                                     | 0.91 m (3.00 ft.)                                |
| LOT COVERAGE   | MAX = 25% = 381.75 m <sup>2</sup> (4,109.10 sq.ft)<br>(INCLUDES ALL AREA COVERED BY A ROOF. EXCLUDES EAVES 0.6 m OR LESS & BALCONIES)<br><br>ACCESSORY BUILDING<br>MAX. LOT COVERAGE SHALL BE THE GREATER OF 5% OF LOT AREA = 76.34 m <sup>2</sup> (821.72 sq.ft) or 42.00 m <sup>2</sup> (452.10 sq.ft) OF BUILDING AREA. |  | PROPOSED DWELLING                   | 243.70 m <sup>2</sup> (2,623.30 sq.ft)           |
| GARAGE AREA  | MAX = 56.0 m <sup>2</sup> (602.8 sq.ft)<br>(as per 5.8.6. - Zoning Bylaw)  |  | PROPOSED GARAGE                     | 100.00 m <sup>2</sup> (1,075.30 sq.ft)           |
| RESIDENTIAL FLOOR AREA                                 | MAX = 29.0% = 404.10 m <sup>2</sup> (4,350.00 sq.ft)   |  | COVERED PORCHES                     | 5.10 m <sup>2</sup> (55.00 sq.ft)                |
| DRIVEWAY WIDTH   | 9.00 m DRIVEWAY WIDTH  |  | EXPOSED BASEMENT                    | 8.20 m <sup>2</sup> (88.30 sq.ft)                |
|  |  |  | COVERED TERRACE                     | 28.50 m <sup>2</sup> (307.00 sq.ft)              |
|  |  |  | SECOND FLOOR ABOVE                  | 9.00 m <sup>2</sup> (97.40 sq.ft)                |
|  |  |  | PROPOSED POOL CABANA                | 29.50 m <sup>2</sup> (317.30 sq.ft)              |
|  |  |  | PROPOSED LOT COVERAGE               | 424.00 m <sup>2</sup> (4,563.60 sq.ft) = 27.80 % |
|  |  |  | PROPOSED GARAGE FLOOR AREA          | 91.50 m <sup>2</sup> (985.00 sq.ft)              |
|  |  |  | PROPOSED MAIN FLOOR                 | 243.70 m <sup>2</sup> (2,623.30 sq.ft)           |
|  |  |  | PROPOSED SECOND FLOOR               | 247.90 m <sup>2</sup> (2,667.80 sq.ft)           |
|  |  |  | PROPOSED FLOOR AREA                 | 491.60 m <sup>2</sup> (5,291.10 sq.ft) = 32.20 % |
|  |  |  | PROP. DRIVEWAY WIDTH                | 11.75 m (38.60 ft)                               |

Proposed New Residence:

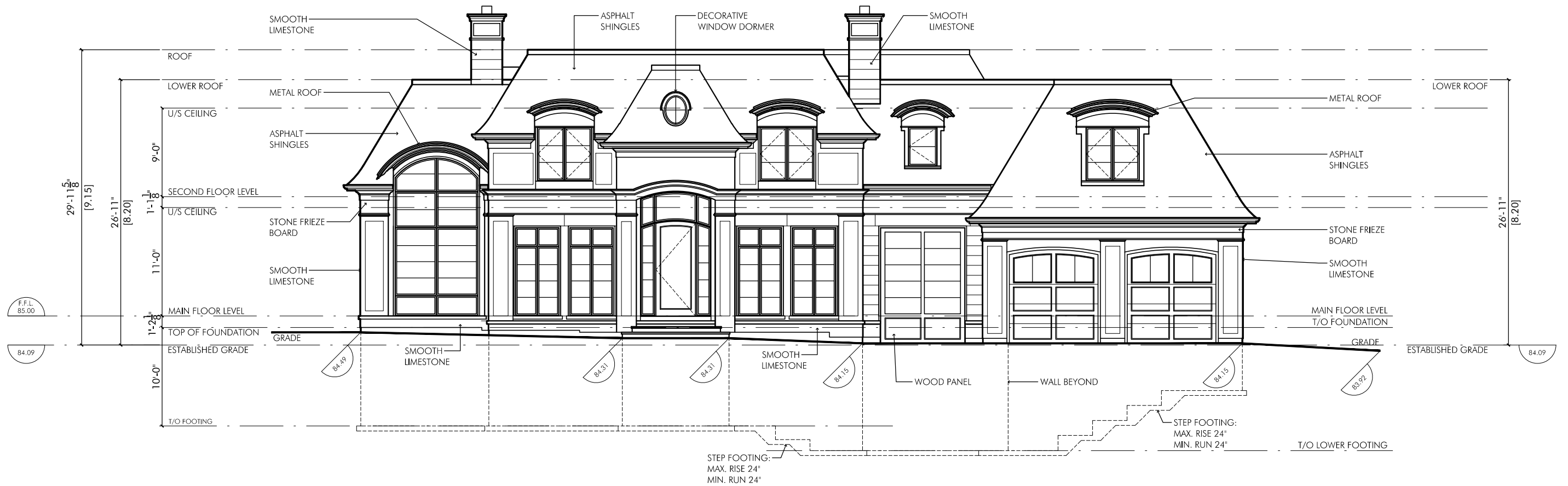
221 WEDGEWOOD DRIVE, Oakville

Site Stats

A102 - September 17, 2024



64 Rebecca Street, Oakville  
Ontario, Canada L6K 1J2  
Tel: (905) 842-9191  
www.gusricciarchitect.com



Proposed New Residence:

221 WEDGEWOOD DRIVE, Oakville

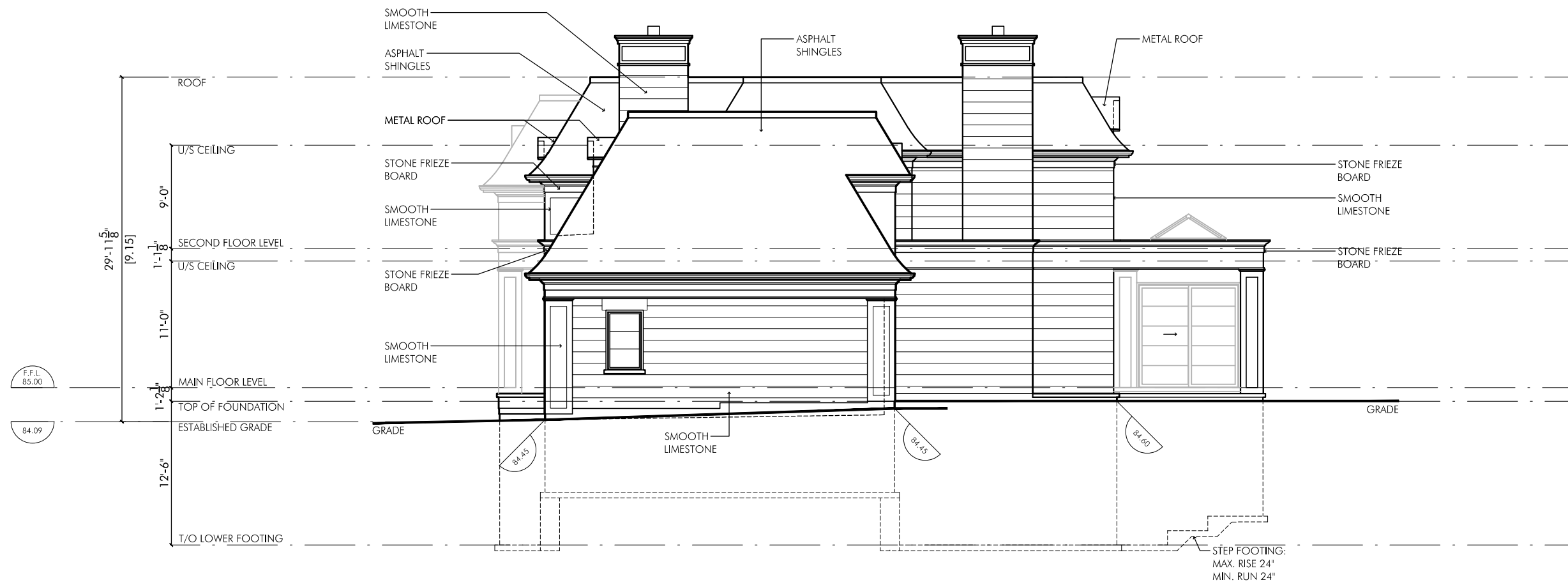
West Elevation at 3/32" = 1'-0"

A200 - September 17, 2024



64 Rebecca Street, Oakville  
 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
 www.gusricciarchitect.com





Proposed New Residence:

221 WEDGEWOOD DRIVE, Oakville

South Elevation at 3/32" = 1'-0"

A201 - September 17, 2024



64 Rebecca Street, Oakville  
 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
 www.gusricciarchitect.com



Proposed New Residence:

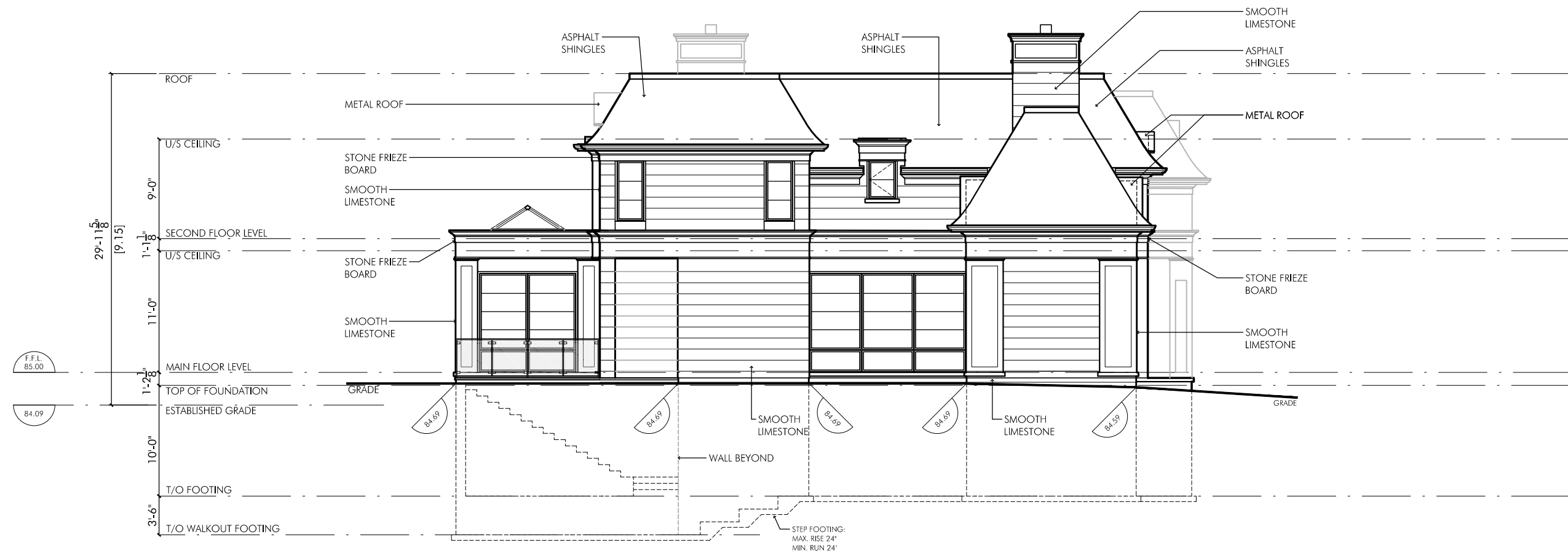
221 WEDGEWOOD DRIVE, Oakville

East Elevation at 3/32" = 1'-0"

A202 - September 17, 2024



64 Rebecca Street, Oakville  
Ontario, Canada L6K 1J2  
Tel: (905) 842-9191  
www.gusricciarchitect.com



Proposed New Residence:

221 WEDGEWOOD DRIVE, Oakville

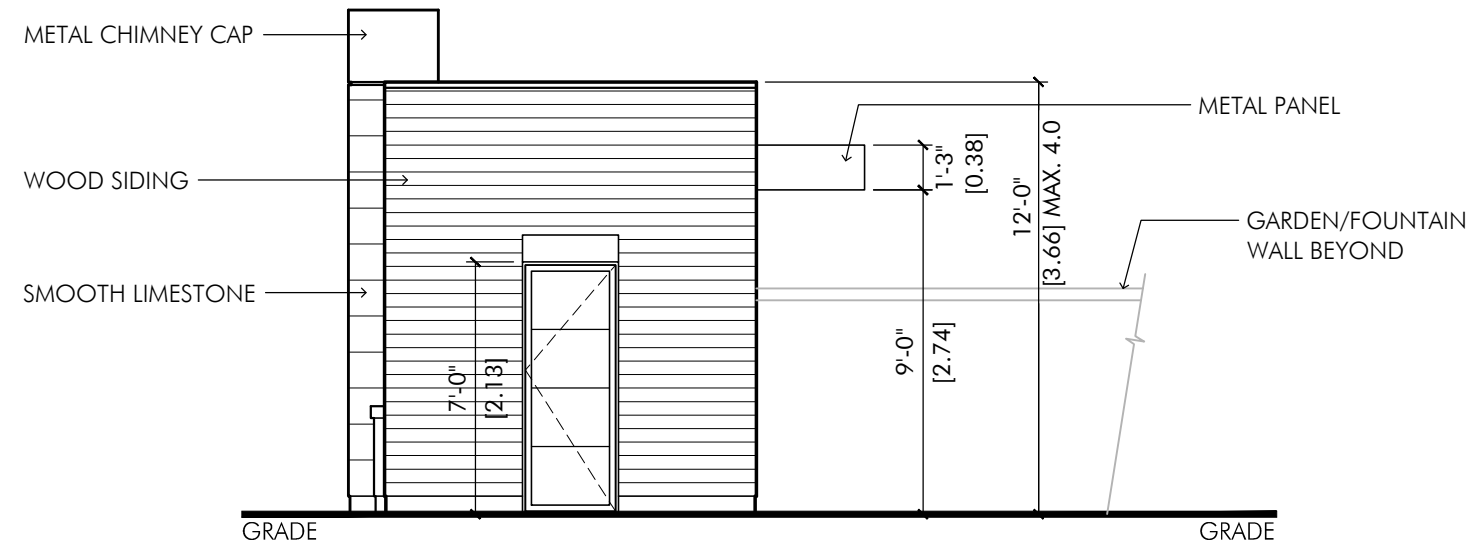
North Elevation at 3/32" = 1'-0"

A203 - September 17, 2024

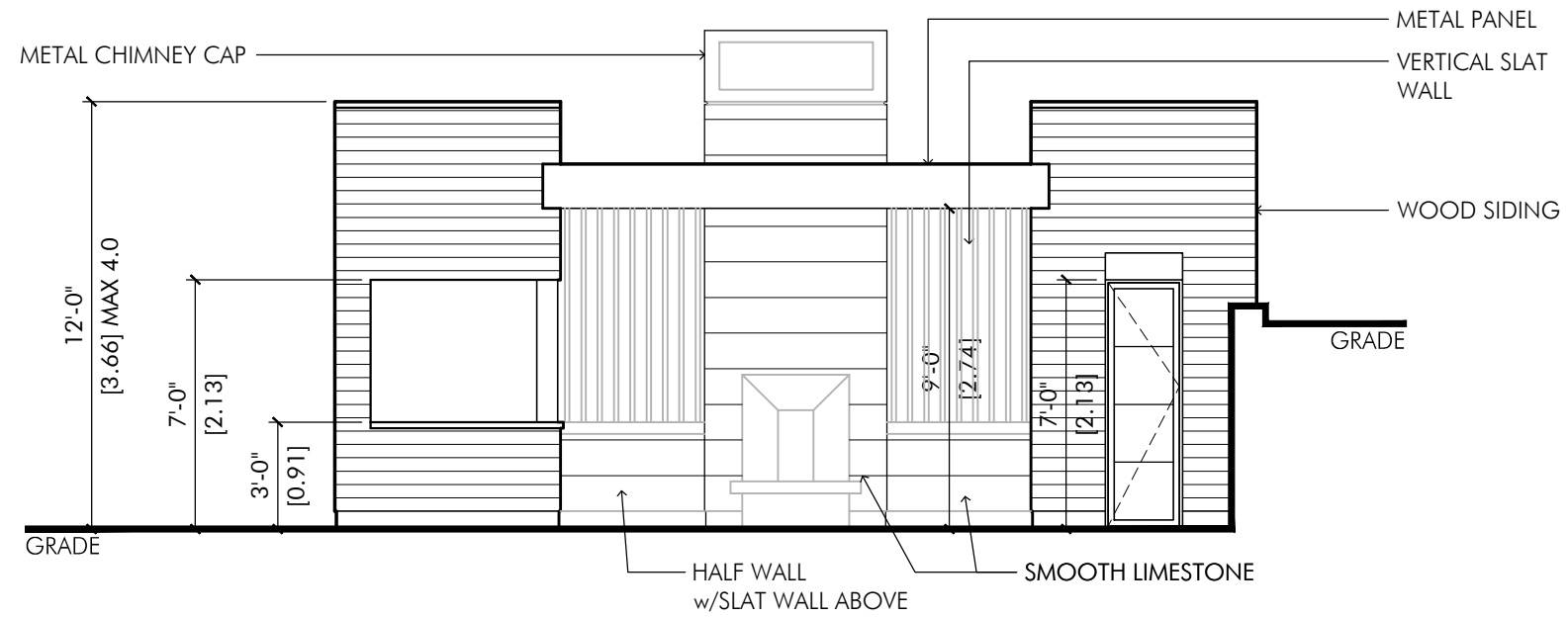


64 Rebecca Street, Oakville  
 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
 www.gusricciarchitect.com





WEST ELEVATION



SOUTH ELEVATION

Proposed New Residence:

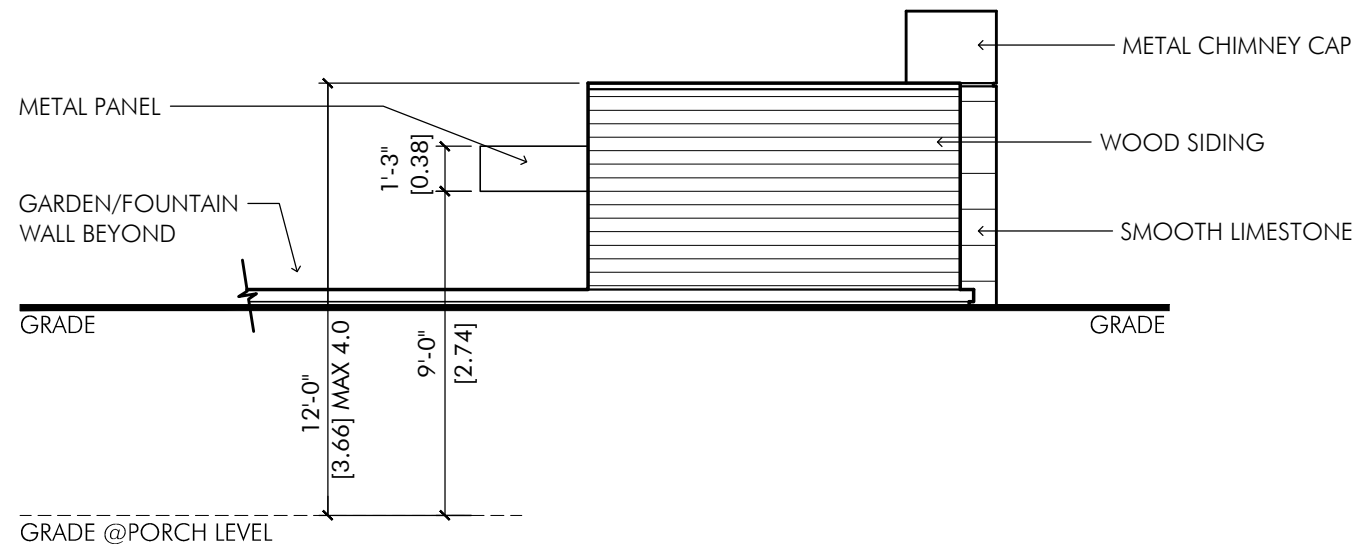
221 WEDGEWOOD DRIVE, Oakville

Cabana Elevations at 3/16" = 1'-0"

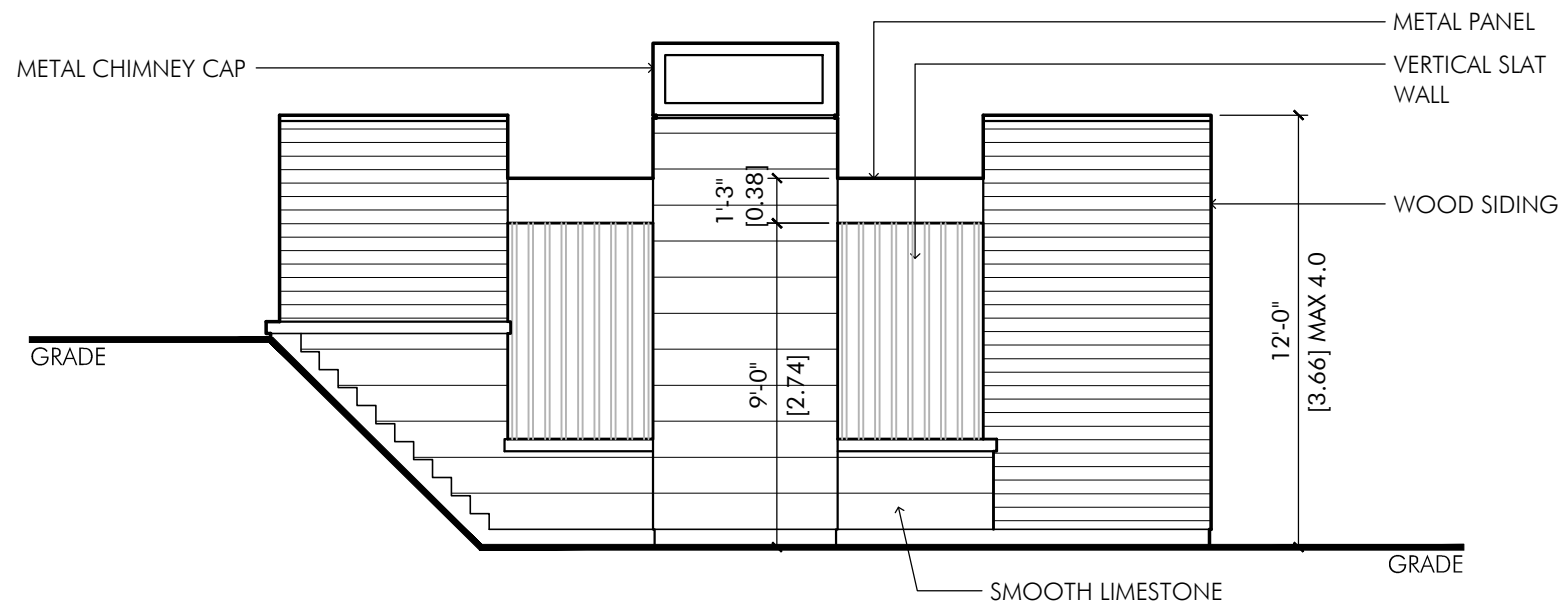
A204 - September 17, 2024



64 Rebecca Street, Oakville  
 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
 www.gusricciarchitect.com



EAST ELEVATION



NORTH ELEVATION

Proposed New Residence:

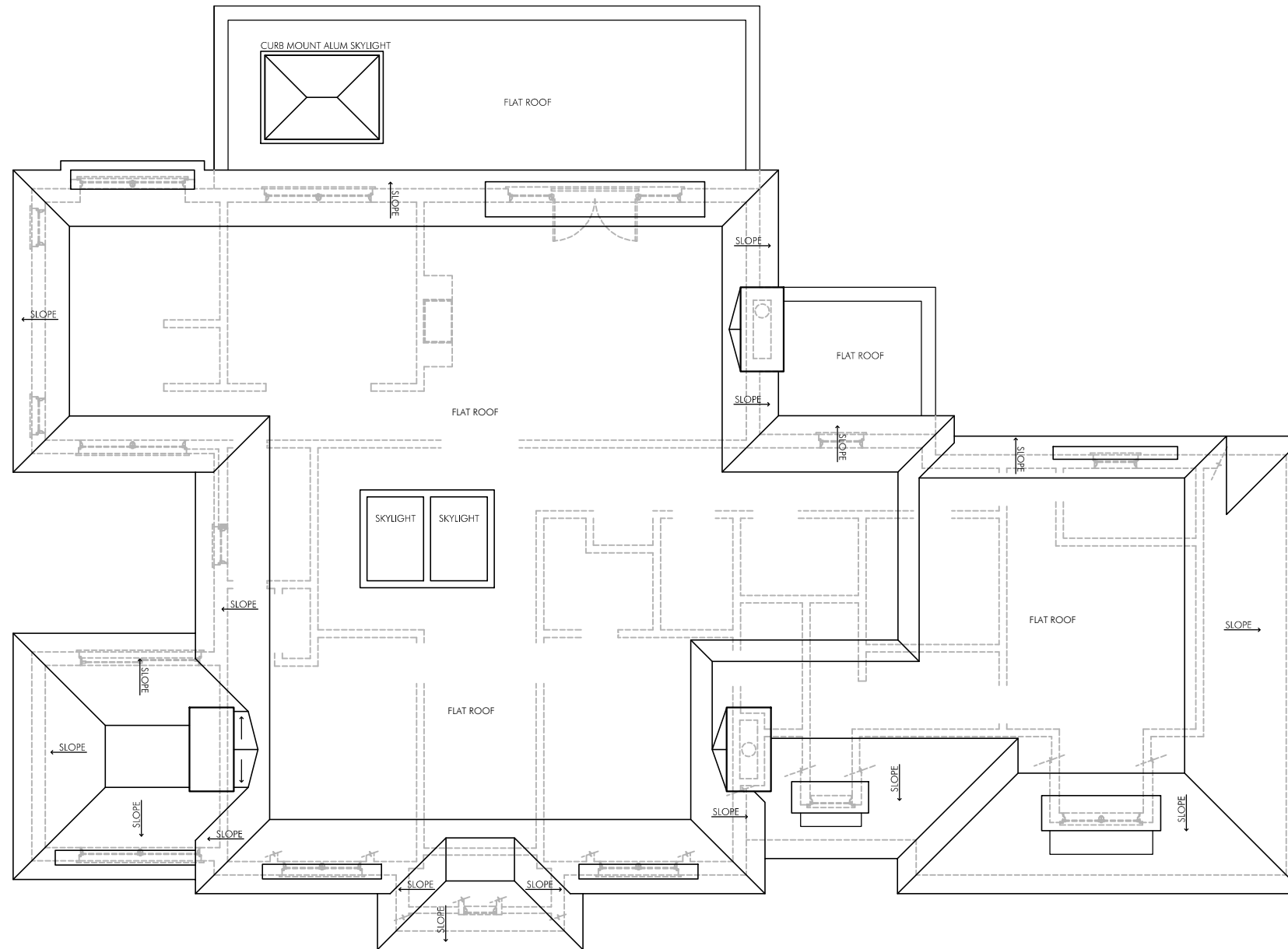
221 WEDGEWOOD DRIVE, Oakville

Cabana Elevations at 3/16" = 1'-0"

A205 - September 17, 2024



64 Rebecca Street, Oakville  
 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
 www.gusricciarchitect.com



Proposed New Residence:

221 WEDGEWOOD DRIVE, Oakville

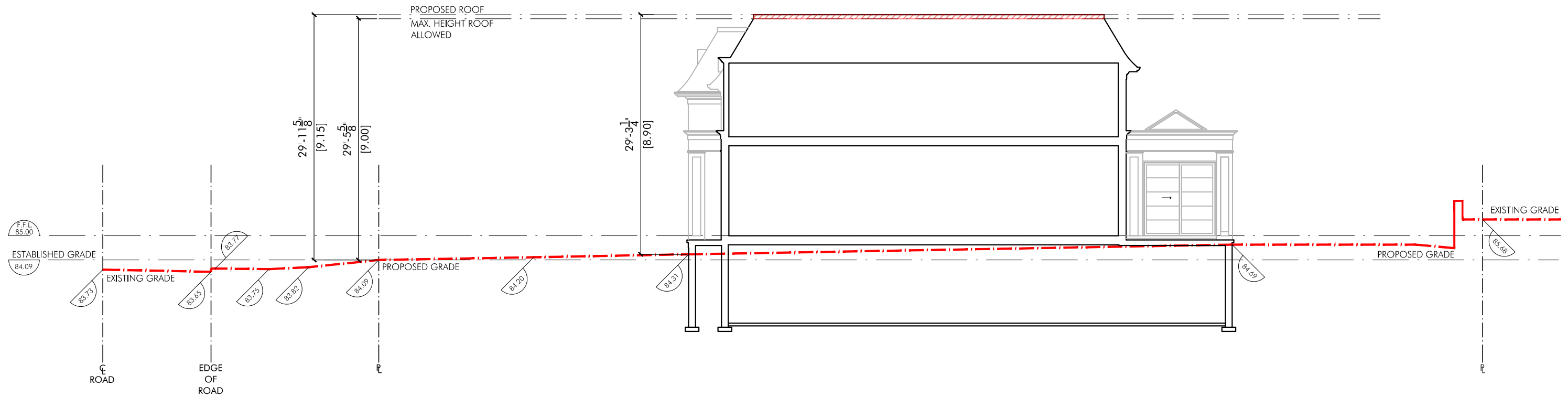
Roof Plan at 3/32" = 1'-0"

A303 - September 17, 2024



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 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
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Proposed New Residence:

221 WEDGEWOOD DRIVE, Oakville

Section Thru Site at N.T.S.

A400 - September 17, 2024



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Ontario, Canada L6K 1J2  
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Proposed New Residence:

221 WEDGEWOOD DRIVE, Oakville  
 Roof Height Schematic (West Elevation) at 3/32" = 1'-0"  
 A401 - September 17, 2024



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 Ontario, Canada L6K 1J2  
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 www.gusricciarchitect.com



Proposed New Residence:

221 WEDGEWOOD DRIVE, Oakville

Streetscape

R100 - September 17, 2024



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Ontario, Canada L6K 1J2  
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Proposed New Residence:

221 WEDGEWOOD DRIVE, Oakville

View To The South

R101 - September 17, 2024



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Proposed New Residence:

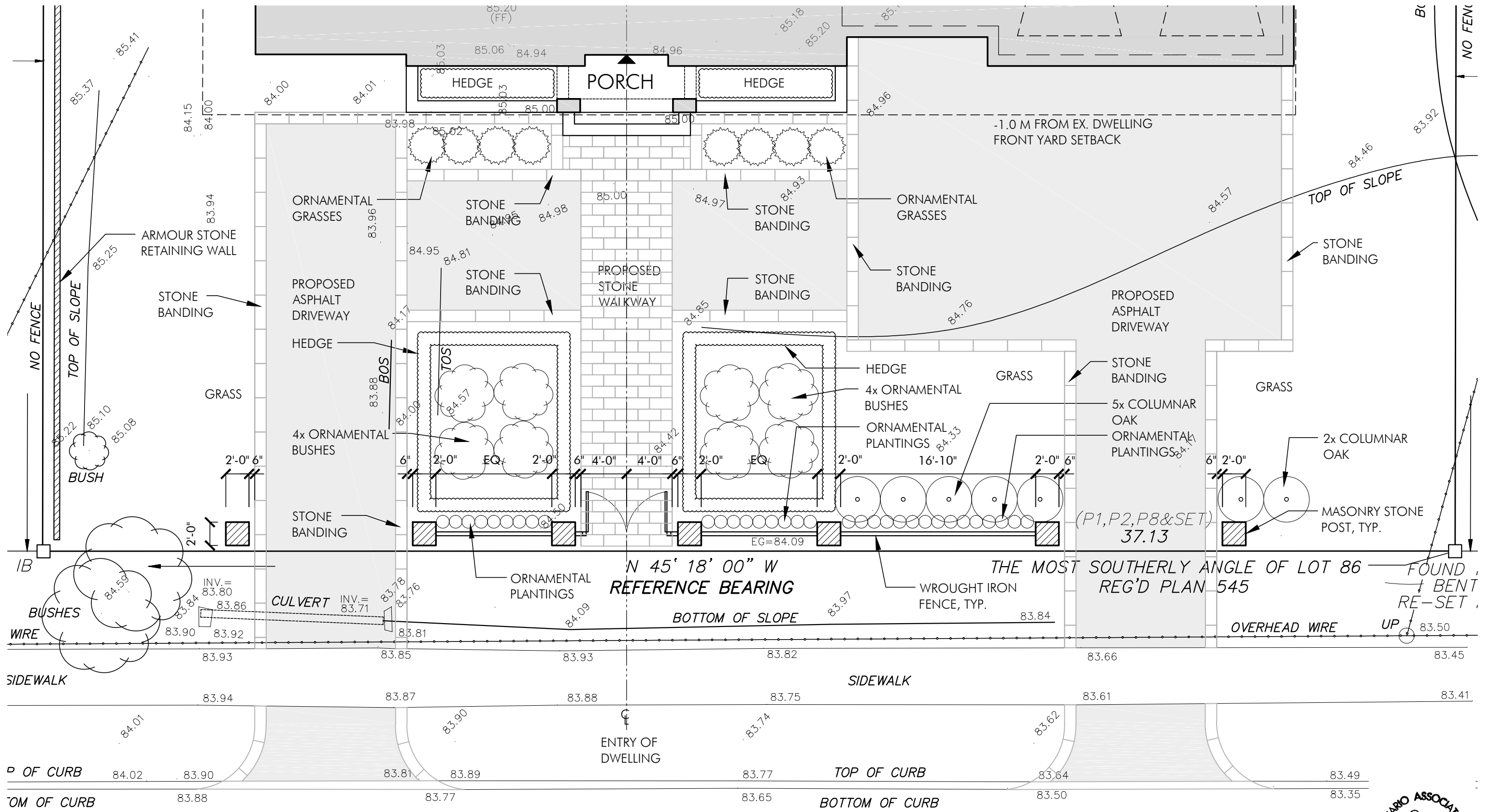
221 WEDGEWOOD DRIVE, Oakville

View To The North

R102 - September 17, 2024



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Ontario, Canada L6K 1J2  
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[www.gusricciarchitect.com](http://www.gusricciarchitect.com)



Proposed New Residence:

**221 WEDGEWOOD DRIVE, Oakville**  
 Conceptual Front Landscape Plan - at 1/8"=1'-0"  
 A101a - September 17, 2024



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 Ontario, Canada L6K 1J2  
 Tel: (905) 842-9191  
 www.gusricciarchitect.com



# ARBORIST REPORT

## TREE REMOVAL AND REPLANTING PLAN

### PREPARED FOR:

LAURA BRUTTO  
221 WEDGEWOOD DRIVE,  
OAKVILLE, ON, L6J4R6

### PREPARED BY:

JONATHAN CHANDLER

ISA CERTIFIED ARBORIST ON-1305AT

[WWW.JCFORESTRY.COM](http://WWW.JCFORESTRY.COM)

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(416) 953 9806



**JC FORESTRY**  
TREE CARE AND PRESERVATION



## Definitions

**"arborist"** means a person who has graduated from an accredited college or university with a diploma or degree in Urban Forestry, Arboriculture or equivalent

**"diameter or DBH"** means the diameter at breast height, measured outside the bark, of the stem or trunk of a tree, and shall be measured at a point 1.4 meters above the existing grade of the ground adjoining its base or, where there are multiple stems to a tree, means the total of diameter of all stems at a point 1.4 meters above the existing grade, or alternate methods approved by the Designated Official

**"Removal"** means remove specific tree outlined in chart, followed by images and location of tree

**"Action"** refers to method to be carried out, either remove, preserve, tpz,

**"injure/injury"** means damaging or destroying a tree by: removing, cutting, girdling, or smothering of the tree or roots; cutting more than 25% of tree canopy; interfering with the water supply; setting fire to a tree; applying chemicals on, around, or near the tree; compaction or re-grading within the drip line of a tree; damage caused by new development or construction related activities that are not evaluated as part of an approval under the Planning Act

**"lot"** means a parcel of land having specific boundaries which is capable of legal transfer;

**"ownership"** means the registered owner of a lot, either private or municipal

**"location"** means location of tree on subject property, either front yard, side, or backyard, location to be specified in

**"permit"** means a tree removal permit issued under this By-law to remove a tree on private property within the city

**"pruning"** means the appropriate removal of not more than 25% of the live branches or limbs of a tree as part of a consistent annual pruning program

**"Replacement tree"** means a tree that is required under this By-law to replace an existing tree that is approved for removal;

**"Assessment Agreement"** agreement set out by arborist includes disclosure of report and conditions

## Segment 1 - Overview

Jonathan Chandler was retained to complete an Arborist Report at the property located at 221 wedgewood drive, Town of Oakville for the submission of a tree removal permit application.

This report has been prepared to address the tree removal planning of species greater than 15 cm (or 6") for the subject property. This report will document the trees to be removed as well as trees to be replanted.

An inventory and assessment was conducted on September 24th 2024 to assess the trees to be removed under Town of Oakville guidelines as well as ISA standards. The purpose of this report is to:

- Provide an inventory and assessment of existing bylaw-protected trees as required by the Town of Oakville
- Location of trees
- Tree to be removed
- Tree to be replanted as per replanting plan

The proposed Trees were examined to determine species and were identified based on bud and bark patterns, shape and color as well as tree structure. Due to the time of year, live foliage was favorable for viewing. Trees were measured at DBH (diameter at breast height, or 1.4 m above ground surface) and condition was assessed based on presence of flaws, damage, and evidence of structural damage.

Indicated in this report will be trees that vary in condition based on visual observation, assessments made at the time of viewing are documented and prepared as accurately as possible.



## Segment 2 - Inventory of trees

The Town of Oakville private Tree Bylaw regulates the removal of trees on private property, the Bylaw states for the removal of trees that measure 15 cm (6”) diameter at breast height (DBH) or greater, will require a permit.

**Table 1 - Tree inventory table description** (*See tree inventory on next chart*)

|                       |   |
|-----------------------|---|
| <b>Tree ID #</b>      | This ID number is assigned to the tree on the plan/survey/overhead view |
| <b>Common Name</b>    | Common name given to the species of tree                                |
| <b>Botanical Name</b> | Botanical name/Latin name given to species of tree                      |
| <b>DBH</b>            | Diameter at breast height measured 1.4m from ground                     |
| <b>Health</b>         | Visual assessment on health of tree ranging                             |
| <b>Structure</b>      | Visible amount of structure remaining                                   |
| <b>Crown</b>          | Visual measurement of crown   |
| <b>Ownership</b>      | Tree will be privately owned or owned by city                           |
| <b>Location</b>       | Location of tree on subject property                                    |
| <b>Action</b>         | Determination of tree, to either protect, injure or destroy (remove)    |

**TABLE 2 - Existing tree inventory**

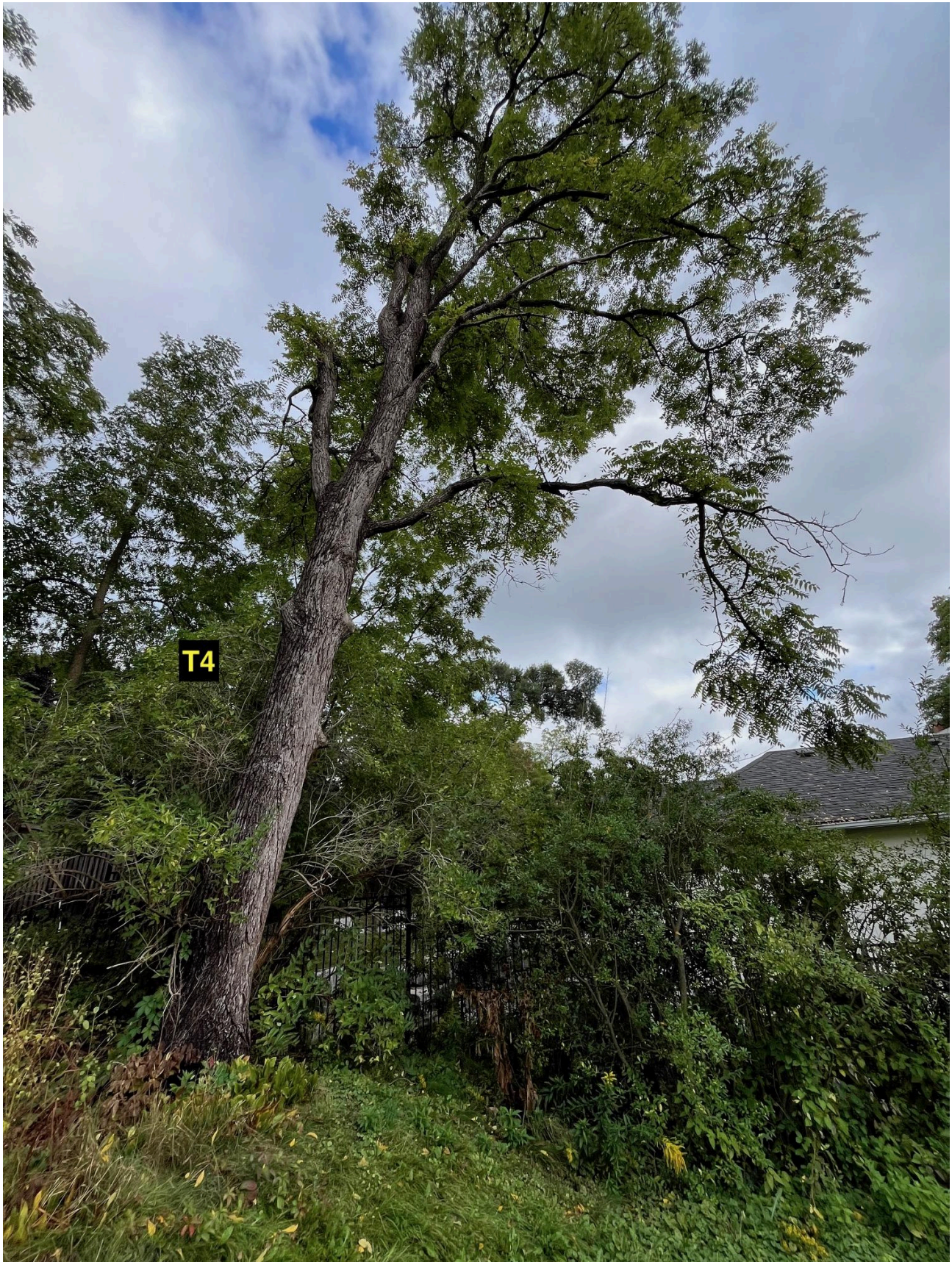
| Tree # | Common Name  | Botanical Name            | DBH (cm) | Health/condition | Structure % | Crown (m) | Ownership | location               | Action  | Comments   |
|--------|--------------|---------------------------|----------|------------------|-------------|-----------|-----------|------------------------|---------|--|
| T1     | Norway Maple | <i>Acer platanoides</i>   | 37       | fair             | 90          | 5         | Private   | frontyard              | Removal | Tree is growing into service lines, located within proposed pedestrian walkway |
| T2     | Norway Maple | <i>Acer platanoides</i>   | 20       | Fair/poor        | 85          | 2         | Private   | Front yard (left side) | Removal | Limited canopy, leaning towards neighboring property                           |
| T3     | White Cedar  | <i>Thuja occidentalis</i> | 18/32    | good             | 95          | 3         | Private   | Backyard               | Removal | Located within proposed dwelling   |
| T4     | Black Walnut | <i>Juglans nigra</i>      | 69       | fair             | 85          | 9         | Private   | Backyard               | Removal | Leaning towards neighboring house, on slope, needs to be removed               |

## Segment 3 - Pictures of trees listed in report

Pictures outlined in this report are taken on the day of the assessment, to provide a clear and detailed image of trees outlined in this arborist report, no alterations, changes, or enhancements will be made to photographs.









































## Segment 4 - Replanting

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- The requirements for replacement tree planting are: At least 1.8 m tall if it's a coniferous (evergreen) tree or at least 6 cm in diameter if it's a deciduous (leaves) tree. One replacement tree is required for 10 cm of the removed tree's DBH
- Selection of trees to be replanted will be post tree removal to ensure optimal growing conditions without any concern of damage. Third party contractors or the homeowner, will select the variety of species to be replanted, with the exception of any invasive or restricted tree species. If the homeowner decides to pay cash in lieu this will be described in the tree compensation chart.
- Requirements will be respected and met as per Town of Oakville guidelines. A follow up with city staff members for inspection will be required by the landowner once the trees have been successfully planted, or cash be paid in lieu of private tree removal

| Trees being removed |              |                           |       |                             |  |
|---------------------|--------------|---------------------------|-------|-----------------------------|--|
| Tree #              | Common Name  | Botanical Name            | DBH   | Compensation Ratio Category | # of trees required to replant           |
| T1                  | Norway Maple | <i>Acer platanoides</i>   | 37    | 1:10                        | Subject to town of oakville requirements |
| T2                  | Norway Maple | <i>Acer platanoides</i>   | 20    | 1:10                        | Subject to town of oakville requirements |
| T3                  | White Cedar  | <i>Thuja occidentalis</i> | 18/32 | 1:10                        | Subject to town of oakville requirements |
| T4                  | Black Walnut | <i>Juglans nigra`</i>     | 69    | 1:10                        | Subject to town of oakville requirements |

- Homeowner will replant the required amount of trees based on the town of Oakville's requirements, in lieu of removal of current and existing trees located on property for compensation as per Town of Oakville guidelines
- Selection of trees will be to the specified to the chart provided by the Town of Oakville, this will not include invasive tree species, toxic or dangerous plants, fruit trees, or other trees not listed in the guide
- Placement/planting of trees will be to the sole discretion of the homeowner on where they want to plant, once planted the homeowner will advise the city inspector for further inspection

## **Assessment agreement and acknowledgement**

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It is the policy of Jonathan Chandler, consulting arborist, to attach the following clause in regards to limitations based on the assessment written in this report. This is to ensure that the client is fully aware of what is technically and professionally realistic in the preservation and evaluation of trees in the urban environment and their current setting.

The assessment of the trees in this report has been done in conjunction with and according to accepted arboriculture methods and techniques. These include an examination of the above ground parts of the tree for structural defects, scars, cracks, the overall condition of the root structures, the severity and direction of lean (if any), the general condition of the trees and the surrounding environment, external indications of decay such as fungal fruiting bodies, evidence of attack by insects, symptoms of infestation and pathogens, discolored foliage, and the proximity of potential targets should a tree fail.

The trees were not cored, probed or climbed and there was no detailed inspection of the root crowns involving excavations, or samples taken to be scientifically tested. Notwithstanding the recommendations and conclusions presented in this report, it must be acknowledged that trees are living organisms. They are not immune to changes in site conditions, dramatic weather events or seasonal variations in climate. Therefore it should always be recognized that trees are ever evolving and their health and vigor constantly vary over time.

While all reasonable efforts have been made to ensure that the subject trees are healthy, no guarantees are offered or implied that these trees or part(s) of any trees will remain intact. It is professionally and practically impossible to predict with absolute certainty the behavior of any tree. Most trees have the potential for failure under adverse weather conditions and the risk can only be completely eliminated if the tree is removed. Inherently, a standing tree will always pose some level of risk. Although every effort has been made to ensure that this assessment is reasonably accurate, trees should be reassessed periodically.

Jonathan Chandler reserves the right to withdraw this report and its recommendations, if any requirements are not met. If alterations/revisions are required it will solely be at the discretion of the consulting arborist who prepared this report based on the information requested.



# Arborist Report Prepared By

**Jonathan Chandler**  
Certified Arborist  
ON-1305AT



## The International Society of Arboriculture

Hereby Announces That

*Jonathan Mark Chandler*

Has Earned the Credential

### ISA Certified Arborist®

By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

  
Caitlyn Pollihan  
CEO & Executive Director

|              |                 |                      |
|--------------|-----------------|----------------------|
| 4 April 2023 | 30 June 2026    | ON-1305A             |
| Issue Date   | Expiration Date | Certification Number |



## The International Society of Arboriculture

Hereby Announces That

*Jonathan Mark Chandler*

Has Earned the Credential

### ISA Tree Risk Assessment Qualification®

By successfully meeting ISA Tree Risk Assessment Qualification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

  
Caitlyn Pollihan  
CEO & Executive Director

|               |                 |
|---------------|-----------------|
| 19 April 2024 | 19 April 2029   |
| Issue Date    | Expiration Date |



## The International Society of Arboriculture

Hereby Announces That

*Jonathan Mark Chandler*

Has Earned the Credential

### ISA Certified Tree Climber

By successfully meeting ISA Certified Tree Climber certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

  
Caitlyn Pollihan  
CEO & Executive Director

|               |                 |                      |
|---------------|-----------------|----------------------|
| 18 April 2009 | 30 June 2027    | ON-1305AT            |
| Issue Date    | Expiration Date | Certification Number |





64 Rebecca Street, Oakville  
Ontario, Canada L6K 1J2  
Tel (905) 842-9191  
Fax (905) 842-3382

September 26, 2024

Ms. Jasmina Radomirovic  
Assistant Secretary - Treasurer  
Committee of Adjustment  
**Town of Oakville**  
1225 Trafalgar Road  
Oakville, Ontario L6J 5A6

**RE: Committee of Adjustments application #A /071/2024 : 221 Wedgewood Drive, Oakville**

Dear Ms, Radomirovic, Chairperson and Committee Members,

The variance application for 221 Wedgewood Drive, Oakville was previously scheduled to be heard at a meeting on May 1, 2024. However, based on Planning comments we requested a deferral which was granted. We have been developing revised designs, discussing these with Planning staff and we are in a position to re-submit for a new meeting.

Please accept the attached revised application, drawings and planning justification report all in support of our variance application. We respectfully request to be heard at the next available date with the Committee of Adjustment and look forward to providing additional information if required when the application is heard.

Respectfully submitted,  
**Gus Ricci Architect**

Gus Ricci, B. Arch, OAA, MRAIC



# 221 WEDGEWOOD DRIVE

## OAKVILLE, ONTARIO



### PLANNING RATIONALE

### MINOR VARIANCE APPLICATION

SEPTEMBER 2024 // PREPARED BY BATORY PLANNING + MANAGEMENT



## **1.0 Introduction**

Batory Management has been retained as the planning consultant for the development at 221 Wedgewood Drive in Oakville Ontario.

This Planning Justification Report provides a summary of the proposed development and justification of the required minor variances to support a proposed single-detached dwelling at 221 Wedgewood Drive, Oakville Ontario (the “subject site”).

### **1.1 Proposed Development**

The proposed development, illustrated in figures 1 through 7 below, comprises a two-storey, single-detached dwelling with an overall floor area of 491.6 square metres on a large rectangular shaped lot with an overall area of 1,526.88 square metres. The proposed detached dwelling covers 27.8% of the property totalling 424 square metres. The proposed height of the dwelling is 9.15 metres. A new circular driveway is proposed and is designed to mitigate impacts on the existing tree canopy within the public right-of-way, while significant tree planting is proposed on the subject site within the front yard. The proposed building has been located to fit appropriately onto the subject site, falling within the setback requirements of the Zoning By-law.

The proposed architecture of the home has been carefully considered in terms of materials, roofline, and proportions that ensure compatibility with the site on which the building is located, adjacent properties, and the local context while contributing to the varied character of buildings in the immediate neighbourhood, effectively utilizing the dimensions of this large, rectangular shaped lot.

The front façade of the proposed building is characterized by a series of large rectangular windows situated across the 1<sup>st</sup> and 2<sup>nd</sup> floors. A prominent front entry is located toward the center of the front façade. The building features a shingled, sloped roof with various indentations and portions of the second floor and dormers designed within this roofline. A three-car attached garage is located on the south side of the dwelling, which includes an architectural treatment of the northern garage door which is designed to appear as a window, similar to the windows on the main dwelling. The rear elevation features a series of large rectangular windows overlooking the rear yard. An in-ground swimming pool and cabana are proposed within the rear yard of the property along with a series of landscaped spaces.

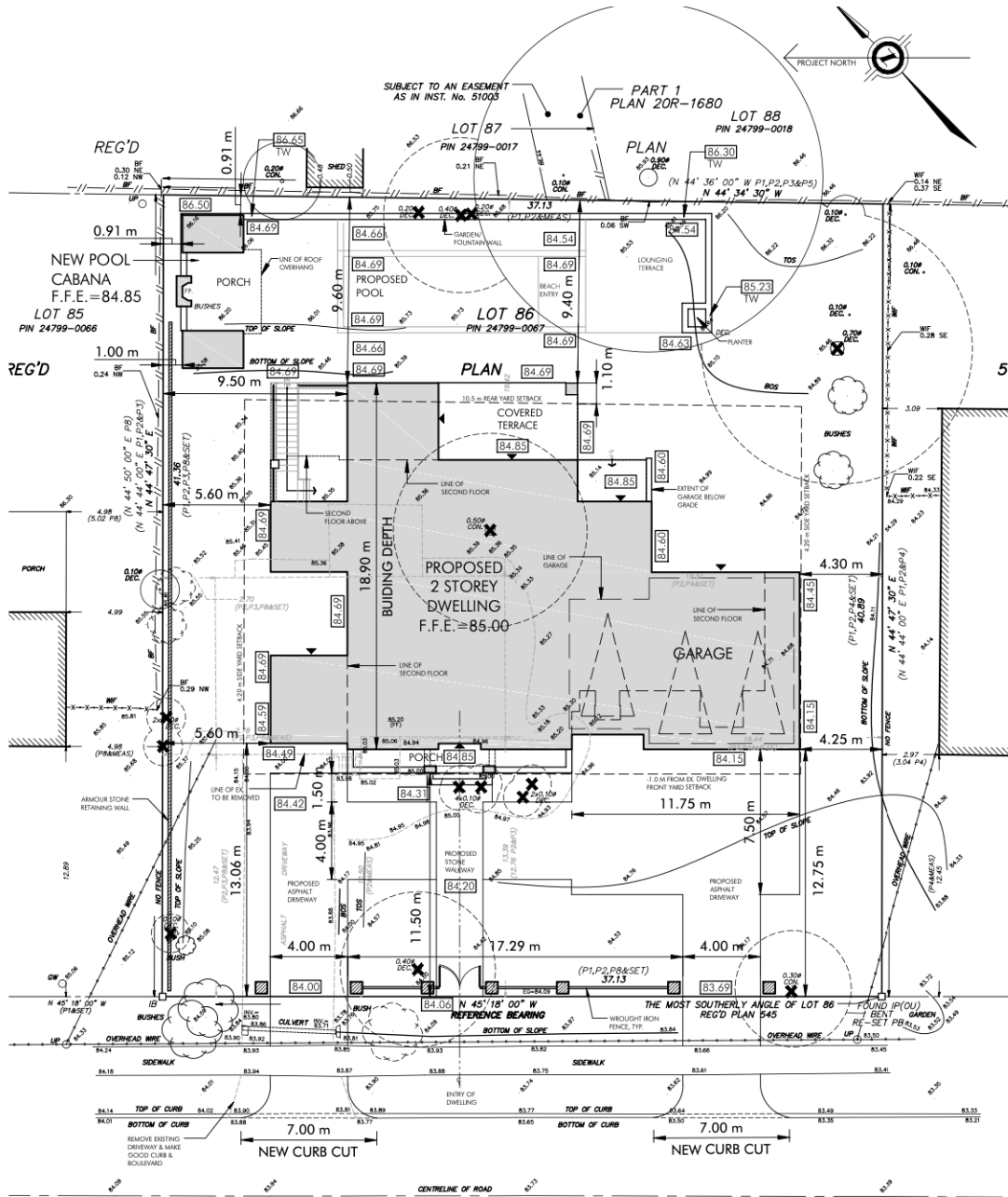


Figure 1 – Site Plan

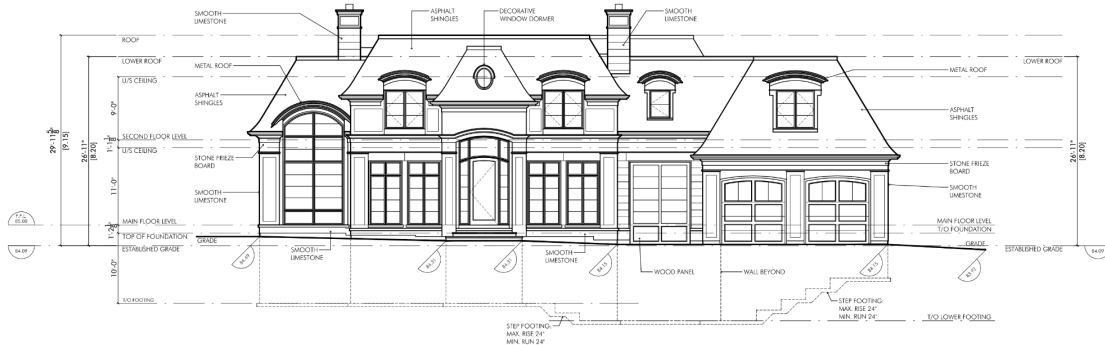


Figure 2 – Front Elevation



Figure 3 – Rear Elevation

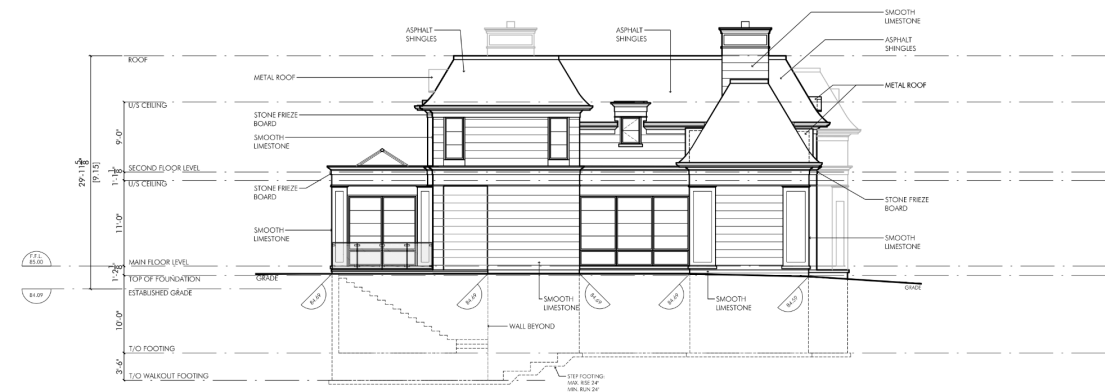


Figure 4 – North Elevation





**Figure 5 –South Elevation**



**Figure 6 – Rendering: Front Elevation A**



**Figure 7 – Rendering: Front Elevation B**

## 1.2 Subject Site & Application History

The subject site, measuring 1,526.884 square metres, is a rectangular-shaped lot with 37.13 metres of frontage on Wedgewood Drive. The subject site is currently occupied by an existing single detached dwelling with a reverse grade driveway on the north side of the site which leads to an attached below-grade garage.

An active Minor Variance Application (File Number A/071/2024) was deferred by the Town of Oakville Committee of Adjustment on May 1, 2024. The requested variances included an increase to the maximum permitted driveway entrance width, an increase to the maximum permitted floor area for a private garage, an increase in the maximum residential floor area, an increase in the permitted lot coverage, and an increase to the maximum permitted height. A detailed summary of these requested variances compared to the revised application are found later in this report.

The site is designated as “Urban Area” by the Region of Halton Official Plan and is within the “Residential Areas” and “Low Density Residential” land use designation as shown on Schedule G – South East Land Use in the Oakville Official Plan. It is also subject to the Residential Low Density Lands (RL1 / RL1-0 Zones) policy overlay. The site is zoned RL1-0 Residential Low Zone by the Town of Oakville Zoning By-Law 2014-014.

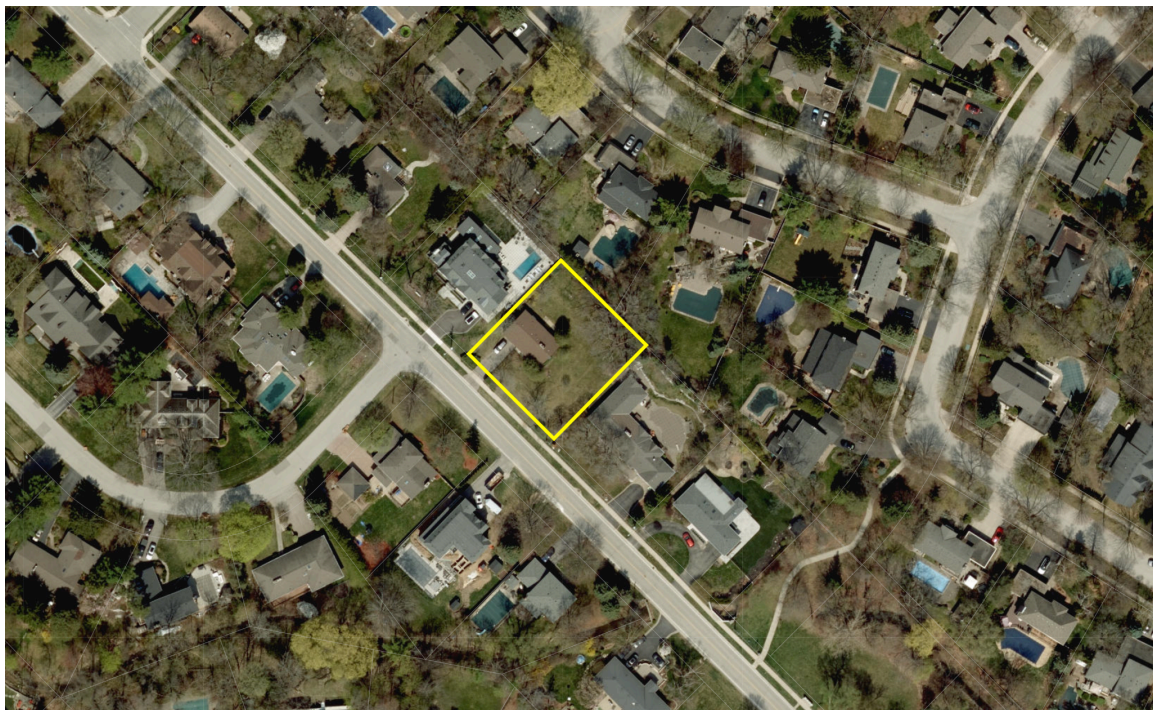


Figure 8 – Immediate Context



### 1.3 Area Context

The subject site is located within an established neighbourhood in southeast Oakville comprising primarily one and two-storey detached residential buildings on a variety of lot sizes and shapes and in a wide variety of architectural styles. The local area is characterized by significant tree canopy, as well as numerous re-constructed dwellings in recent years. Parking for area residences is provided in driveways in attached garages. A number of properties have rear yard pools.

The Oakville Go station is located a 10 minute drive from the subject site. Warren Drive Park and Albion Park are located in close proximity to the site. The subject site is within walking distance of Oakville Trafalgar High School, Maple Grove Public School, and St. Vincent Catholic Elementary School.

### 1.4 Zoning By-law and Proposed Variances

The Town of Oakville Zoning By-law 2014-014 establishes standards for how land is to be used and developed. It includes regulations regarding permitted uses, siting, massing, and scales of buildings, minimum and maximum lot sizes, and parking requirements, among others. The Zoning By-law helps implement the policies of the Town’s Official Plan. The current iteration of Oakville’s Zoning By-Law is consolidated to December 12, 2023.

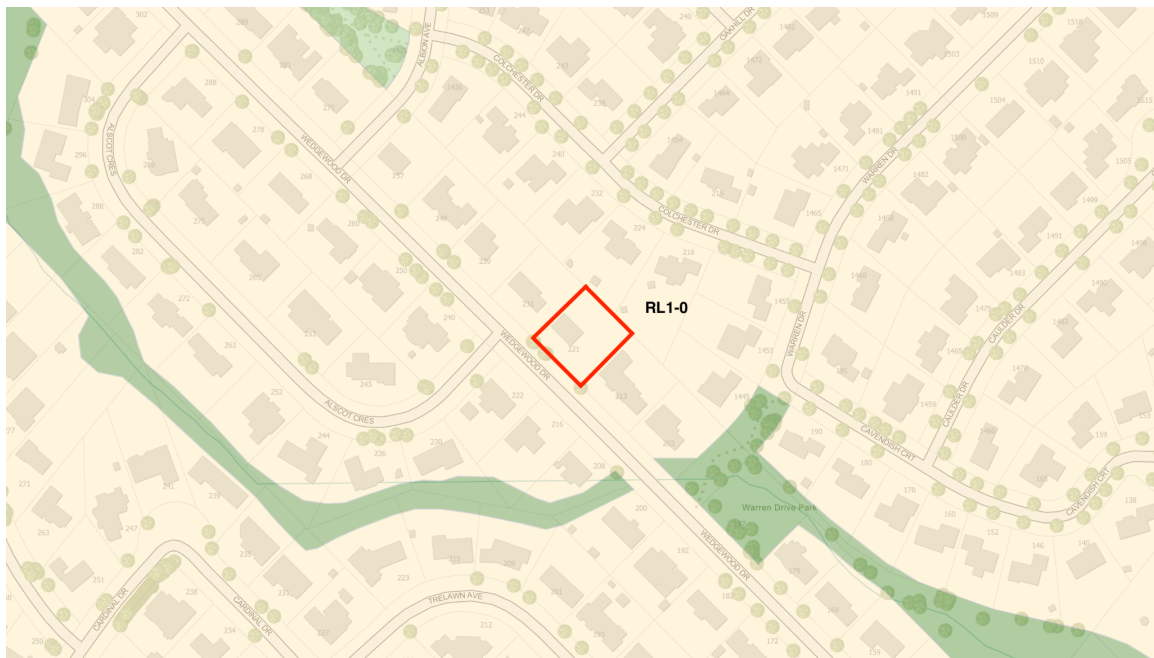


Figure 9 – Zoning By-law 2014-014 map excerpt



The subject site is zoned RL1-0 Residential Low Zone by the Town of Oakville Zoning By-Law 2014-014 (see Figure 9). The RL1-0 zoning permits the use of a detached dwelling, as well as several other conditional uses, such as a daycare and a private home day care. The “-0” suffix to the zone adds a series of requirements to the base RL1 zone, including those regarding lot coverage, front yard setbacks, main wall proportionality, height, and others.

The following chart provides the previous and current variances being requested to facilitate the proposed development.

| By-law Provision   | Requirement          | May 1, 2024 Variances | Current Variance Requested  |
|--|----------------------|-----------------------|-----------------------------|
| Maximum cumulative width of driveway entrances at the point of crossing the front lot line | 9.0 metres           | 12.0 metres           | N/A                         |
| Maximum Garage Area  | 56.0 square metres   | 94.80 square metres   | 91.5 square metres          |
| Maximum Floor Area Ratio   | 29.0% (404.1 sq. m.) | 36.30%                | 32.2% (491.6 square metres) |
| Maximum Lot Coverage   | 25%                  | 29.90%                | 27.8%                       |
| Maximum Building Height  | 9.0 metres           | 9.75 metres           | 9.15 metres                 |
| Maximum Driveway Width   | 9.0 metres           | N/A                   | 11.75 metres                |

### 1.5 Evaluation of the Proposed Minor Variances

In support of the proposed development, an application has been submitted to the Town of Oakville Committee of Adjustment seeking approval of a number of minor variances to permit the construction a new detached dwelling. This Planning Justification Report evaluates the requested revised variances based on the following four tests established in the Section 45(1) of the Planning Act:

- 1) Are the proposed variances consistent with the general intent and purpose of the Official Plan?
- 2) Are the proposed variances consistent with the general intent and purpose of the Zoning By-law?
- 3) Are the proposed variances appropriate and desirable development for the area?
- 4) Are the proposed variances minor in nature?

## **2.0 Consistency with the General Intent of the Official Plan**

The subject site is located within a two-tier municipality and is subject to the Halton Region Official Plan and the Town of Oakville Official Plan, titled the Livable Oakville Plan.

### **2.1 Halton Region Official Plan**

The Halton Region Official Plan (ROP), formally known as Sustainable Halton, is intended to provide clear direction for how physical development should take place in Halton to meet the Region's current and future needs. The ROP provides land-use guidance in developing a consistent vision for Burlington, Halton Hills, Milton, and Oakville.

The subject site is designated as "Urban Area" as shown on Map 1h – Regional Urban Structure of the ROP.

The objectives of the Urban Area, as established in Policy 72 of the ROP, include:

72 (1) To accommodate growth in accordance with the Region's desire to improve and maintain regional unity, retain local community identity, create healthy communities, promote economic prosperity, maintain a high quality, sustainable natural environment, and preserve certain landscapes permanently.

72 (3) To provide a range of identifiable, inter-connected and complete communities of various sizes, types and characters, which afford maximum choices for residence, work and leisure.

#### **2.1.1 Halton ROP Analysis and Opinion**

The proposed development provides for a detached dwelling within the urban area, consistent with the objectives of the ROP to accommodate growth in accordance with the Region's desire to create healthy communities and provide a range of identifiable, interconnected and complete communities of various sizes, types, and characters, affording maximum choices for residence, work, and leisure. In my opinion, the proposed development is consistent with the general intent and purpose of the Regional of Halton Official Plan.

### **2.2 The Livable Oakville Plan**

The Livable Oakville Plan (2009) (the "Plan") was adopted by the Town of Oakville on June 22, 2009 and approved by the Region of Halton on November 30, 2009. Its current iteration incorporates amendments up to August 31, 2021. Livable Oakville establishes the desired land use patterns for lands within the Town of Oakville. The Plan coordinates land use and infrastructure requirements to ensure that the anticipated growth can be accommodated throughout the municipality, and establishes the policy framework for decision-making to provide certainty in the planning process.

### **2.2.1 Guiding Principles**

Part B of the Plan provides Guiding Principles to create a livable community. Section 2.2.1 speaks to preserving and creating a livable community in order to:

- a) preserve, enhance, and protect the distinct character, cultural heritage, living environment and sense of community of neighbourhoods,

Section 2.2.2 details the objective of providing choice throughout the Town to:

- a) enable the availability and accessibility of a wide range of housing, jobs and community resources to meet the diverse needs to the community throughout all stages in life; and
- c) foster the Town's sense of place through excellence in building and community design.

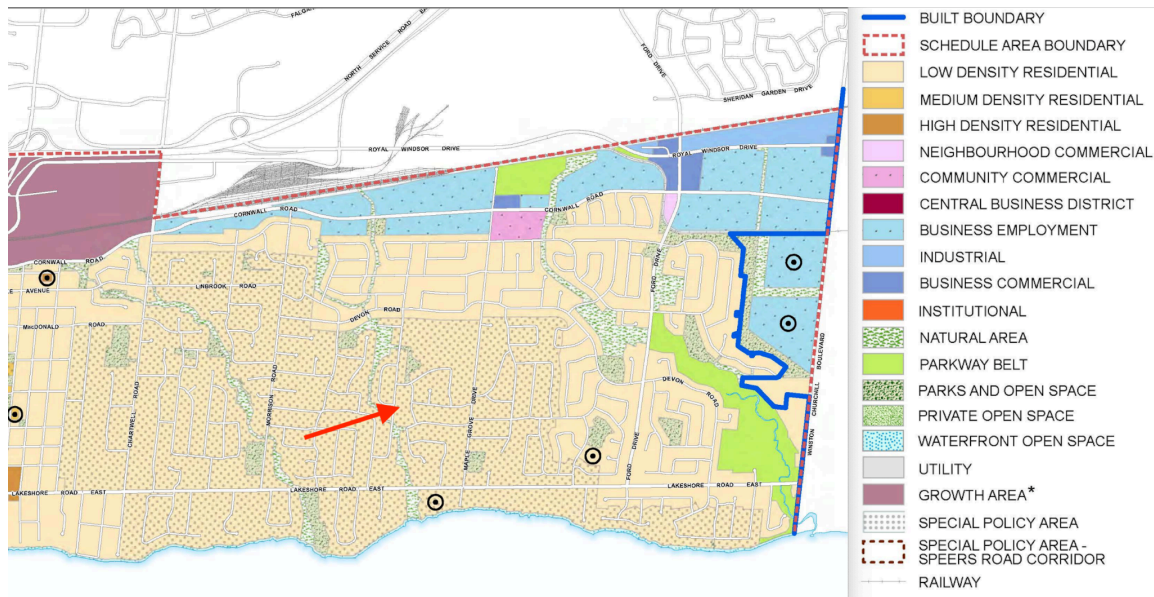
### **2.2.2 Urban Structure and Land Use**

Part C of the Plan contains the general policies for the urban structure within the Town. According to Schedule A1 Urban Structure, the subject lands are located within "Residential Areas."

The Plan intends that the character of Residential Areas be maintained. Policy 3.9 of the Plan notes that Residential Areas include low, medium, and high density residential uses as well as a range of compatible facilities. The Plan further states that some growth and change may occur in the Residential Areas, provided the character of the area is preserved and the overall urban structure of the Town is upheld.

The subject site is within the 'Low Density Residential' land use designation as shown on Schedule G – South East Land Use, and is subject to the Residential Low Density Lands (RL1 / RL1-0 Zones) policy overlay.





**Figure 10 – Livable Oakville Plan Schedule G – South East Land Use Excerpt**

Section 11 of the Livable Oakville Plan contains policies to guide the development of properties within the Residential Areas land use designation. The Plan states the following objectives, which apply to all Residential Areas:

- a) maintain, protect and enhance the character of existing residential areas;
- b) encourage an appropriate mix of housing types, densities, design and tenure throughout the Town;
- c) promote housing initiatives to facilitate revitalization, compact urban form and an increased variety of housing for all socio-economic groups
- d) encourage the conservation and rehabilitation of older housing in order to maintain the stability and character of the existing stable residential communities

Section 11.1.4 of the Plan states that development in Residential Areas shall conform with the policies relating to urban design and sustainability set out in Part C of the Plan.

The Plan generally considers Residential Areas as being stable, with Sections 11.1.8 and Section 11.1.9 establishing the criteria against which development in stable Neighbourhoods is evaluated, in order to maintain and protect the existing neighbourhood character. Character is defined by the Plan as the collective qualities and characteristics that distinguish a particular area or neighbourhood.

The criteria for development within all stable residential communities, established in Section 11.1.9, includes the following:

- a) The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.
- b) Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood.
- h) Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.

### **2.2.3 Special Policy Area-- Residential Low Density Lands (RL1 / RL1-0 Zones)**

Section 26.2 of the Plan establishes special policy provisions for Residential Low Density Lands which are also subject to RL1 / RL1-0 zoning. The Special Policy Area is intended to protect the unique character of this area within the Town and limits intensification to development which maintains the integrity of the large lots characteristic of this area. The policy further directs that densities shall not exceed 10 units per site hectare, notwithstanding the Low Density Residential designation.

### **2.2.4 Design Guidelines for Stable Residential Communities**

Section 11.1.9 of the Plan notes the Design Guidelines for Stable Residential Communities (the “Guidelines”) that are intended to implement the urban design and residential policies of the Official Plan. Endorsed by Planning and Development Council on April 29, 2013, the Guidelines apply to the development on the subject site and are an important tool in assessing the intent of the Official Plan.

Aligning with the policy text of the Plan, Section 3 of the Guidelines establishes that new development should be compatible with the dwellings in the surrounding neighbourhood; that is, designed to respond to the basic neighbourhood patterns and reoccurring characteristics, such as lot patterns, street edges, placement and orientation of dwellings, existing vegetation, topography, and other common or distinctive elements.

Section 3.1.1 of the Guidelines recommends that new development be designed to maintain and preserve the scale and character of the site, provide a visual reference to existing neighbourhood features and its immediate context, and to create compatible transitions between the new dwelling and existing dwellings in the surrounding neighbourhood.

Section 3.1.3 of the Guidelines states that new development should not have the appearance of being substantially larger than the existing dwellings in the immediate vicinity.

Section 3.1.5 of the Guidelines directs that the design and placement of new development should make every effort to minimize the potential impacts on the privacy

of rear yard amenity spaces of adjacent properties by carefully considering building massing and the placement of building projections, decks and balconies, and screening vegetation.

With regard to building design, Section 3.2 states that new development, when contextually designed, may reflect any architectural style and still maintain compatibility with the character of the surrounding neighbourhood.

Where new development is larger in overall massing than adjacent dwellings, Section 3.2.1 recommends that a thoughtful composition of smaller elements and forms that visually reflect the scale and character of the dwellings in the surrounding area be incorporated into the design.

Section 3.2.2 states that new development is encouraged to incorporate upper storey living spaces wholly or partially within the roof structure to de-emphasize the height and overall building scale, and to divide the massing of the roof. Dormer and end gable windows can provide adequate light into these spaces.

Section 3.2.3 intends that new development should be oriented and positioned on the lot to be compatible with the existing pattern of dwelling placement, in terms of front, side, flankage and rear yard setbacks and should maintain the setback or average of setbacks from the street frontage as the existing dwellings in the immediate area.

With regard to the design of the primary building façade, Section 3.2.4 of the Guidelines recommends that new development incorporate a prominent primary entrance on the front façade to provide a clear sense of arrival, as well as a connection to the municipal sidewalk. Section 3.2.5 suggests that new development incorporate adequate window openings, designed in appropriate proportion, on the primary façade to add visual interest and to maximize light penetration and views, while minimizing overlook conditions onto neighbouring properties.

Section 3.2.6 of the Design Guidelines recommends that new development should make every effort to minimize the visual prominence of the garage and the surface parking area on the property frontage in order to maintain a positive pedestrian experience along the streetscape.

Section 3.3.1 of the Guidelines suggests that new development be designed and sited to retain established landscaping, such as healthy mature trees and existing topography, and incorporate landscaping and proposed trees into the design and development of the site for compatibility with the surrounding landscape patterns.



Section 3.3.2.1 of the Design Guidelines recommends that new development should be designed with minimal paved areas in the front yard. These paved areas should be limited in width to accommodate a driveway plus a pedestrian walkway.

Section 3.3.2.2 of the Design Guidelines recommends that new development should be designed with widest part of the driveway positioned directly in front of the garage door(s). The driveway width should be minimal at the property line to reduce the impact on the pedestrian environment and on street trees in the boulevard.

### **2.2.5 Livable Oakville Plan and Design Guidelines Analysis and Opinion**

The proposed development provides for a new detached dwelling within the urban area, in a form compatible with the character and scale of dwellings in the area and the prevailing low rise residential context. The proposal represents gradual growth and change within the Residential Area. The proposed dwelling type is consistent with the surrounding context.

Relative to the overall size of the subject site, the scale, massing, height, and siting of the proposed development reflects the prevailing form of houses in the local context. The site itself is a rectangular-shaped lot, similar to many of the lots in the immediate area. The frontage of the property is comparable to the frontages of many lots within the immediate neighbourhood. The dwelling is suitable in size for the lot and has been sited with regard for adjacent properties and the respective dwellings on these lots. The proposed coverage for the main dwelling, excluding unenclosed portions of the building, is within the required maximum for this site, and further, the proposed setbacks result in a building that is situated appropriately on the lot to maintain compatibility with adjacent residences and limit any potential for overlook and privacy issues. All setback provisions of the Zoning By-law are being met or exceeded.

The proposed development is consistent with the Residential Low Density Special Policy area requirement to maintain the integrity of the large-lot characteristic of this area. As a single-detached dwelling is proposed on the lot, the area density does not exceed 10 units per hectare as required by the Plan.

The Design Guidelines for Stable Residential Communities are an important tool for assessing a proposal's consistency with the intent of the Official Plan. To the greatest degree possible, the proposal has been designed to respond to the neighbourhood patterns and reoccurring characteristics and is consistent with the applicable guidelines contained within the Guidelines.

The proposed development has been designed to maintain and preserve the scale and character of the site as well as the immediate context. The dwelling is situated within an neighbourhood that is characterized by large, single-detached dwellings with heights, floor area, dwelling depths, and setbacks that in many instances are greater than the

typical provisions of the Zoning By-law. The dwelling has been further sited on the lot to create compatible transitions between the new dwelling and existing dwellings in the surrounding neighborhood, consistent with Section 3.1.1 of the Guidelines. Further, the proposed dwelling does not have the appearance of being substantially larger than the existing dwellings in the immediate vicinity, consistent with Section 3.1.3 of the Guidelines.

The proposed massing of the dwelling and building projections, has been designed to mitigate potential impacts on the privacy of rear yard amenity spaces of adjacent properties, consistent with Section 3.1.5 of the Guidelines. The dwelling siting includes a front yard setback that is compliant with the provisions of the Zoning By-law and assists in mitigating any potential rear yard amenity impacts on the adjacent rear yards.

Consistent with the objective of Section 3.2 in the Guidelines, the proposed dwelling does not necessarily replicate or reflect any particular architectural style common to the immediate neighbourhood context, but still maintains compatibility with the character of the surrounding neighbourhood. The window treatment of the proposed dwelling has been designed in appropriate proportion on the primary façade to add visual interest and to maximize light penetration and views. The development incorporates a prominent primary entrance adjacent to Wedgewood Drive, which provides a clear sense of arrival. The proposed building design is compatible with the immediate neighbourhood, which includes a significant variety of architectural styles, materials, and built form features. The proposed dwelling does not appear to be larger in overall massing in comparison to adjacent properties, and provides for a thoughtful composition of building elements and forms that reflect the scale and character of dwellings in the surrounding neighbourhood. These built form features include portions of the second storey and roof structure that have been designed to de-emphasize the height and overall building scale, consistent with Section 3.2.2 of the Guidelines. These elements also include the roof design above the garage on the north elevation, as well as the roof design on the front elevation that breaks up the overall massing of the dwelling.

As noted, the proposed building has been appropriately sited on the lot to maintain compatibility with adjacent residences both in terms of setbacks and dwelling placement, with the intent of responding to the area character as well as limiting any overlook and privacy issues, consistent with Guideline Section 3.2.3.

The driveway design of the development features a circular driveway and a widened portion of the driveway located in front of the garage doors with significant landscaping proposed to mitigate potential impacts. The paved area in the front yard is compliant with the Zoning By-law requirements and features a pedestrian walkway to the front entrance of the dwelling, and the widest part of the driveway is positioned in front of the garage door, consistent with Section 3.3.2 of the Guidelines.

In my opinion, the proposed development is consistent with the general intent and purpose of the Livable Oakville Plan and the Design Guidelines for Stable Residential Communities.

### **3.0 Consistency with the General Intent of the Zoning By-law**

The subject site is zoned RL1-0 Residential Low Zone by the Town of Oakville Zoning By-Law 2014-014. The RL1-0 zoning permits the use of a detached dwelling, as well as several other conditional uses, such as a day care and a private home day care. The “-0” suffix to the zone adds a series of requirements to the base RL1 zone, including those regarding lot coverage, front yard setbacks, main wall proportionality, height, and others.

Variances to the prescribed maximum building height, maximum lot coverage, maximum floor area ratio, maximum driveway width, and maximum garage area are being sought to permit the proposed development.

#### **3.1 Maximum Building Height**

The intent of the maximum building height is to limit potential for impacts related to overlook, shadow, and loss of sky view on adjacent properties, as well as maintain consistency in the area’s physical character.

The maximum permitted building height is 9.0 metres. The proposed building height is 9.15 metres. Based on the design, siting, and size of the proposed dwelling relative to the lot size, and the characteristics of other houses in the immediate area, the proposed increase in height is not anticipated to result in any appreciable impact on adjacent properties or the character of the area. The proposed increase in dwelling height also is only applicable to the centre portion of the roofline, which is setback in excess from the side lot lines well in excess of the Zoning By-law requirements. Further, there is approximately a 1 metre difference in grade from the north property line to the south property line, which slightly impacts the established grade and design of the dwelling on the lot.

The character of dwellings in the surrounding neighbourhood comprises primarily one and two-storey designs both in the style of the original building stock of the neighbourhood and newer, more contemporary two-storey houses. In cases where a building is disproportionate in size relative to the lot on which it is proposed, additional height can be impactful on both adjacent properties and area character. However, these impacts are not present in this case. The proposed height is not disproportionate to the lot on which it is situated and, importantly, the building’s setbacks, varying roofline design, and landscape features serve to satisfactorily limit any impact on adjacent properties associated with the proposed height.



It is my opinion that the requested variance to building height is consistent with the intent of the Zoning By-Law.

### 3.2 Maximum Driveway Width

The intent of regulating the maximum driveway width is to ensure that reasonable vehicular access can be provided without the hard surface treatment of the driveway dominating the front yard area.

The driveway width has been measured at the widest part of the driveway, which is located at the southern side of the front of the dwelling, in front of the proposed garage doors.. The driveway features a circular design which is permitted as-of-right, and is further mitigated with significant planting in the front yard.

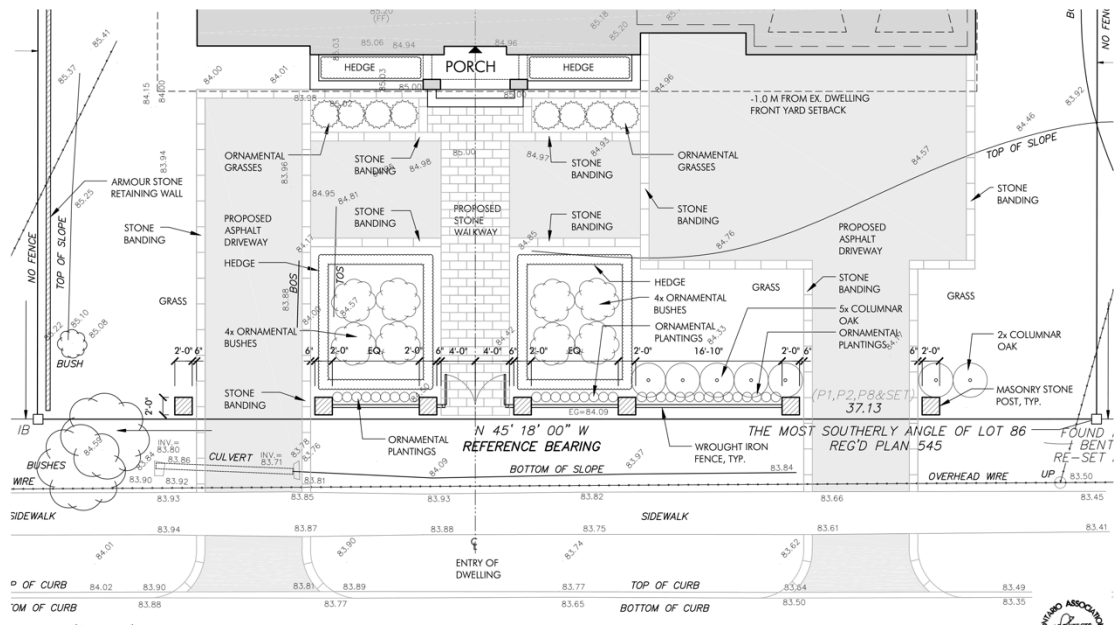


Figure 11 – Concept Landscape Plan

Further, the circular driveway design has been limited to 4.0 metres in width for significant portions of the driveway design to limit impacts on the streetscape, and the proposed paved surface of the driveway for the majority of the driveway has been significantly reduced from the original application submission.

It is my opinion that the requested variance to the maximum driveway width is consistent with the intent of the Zoning By-Law.

### **3.3 Maximum Residential Floor Area Ratio and Lot Coverage**

The intent of the maximum residential floor area ratio and maximum lot coverage provision to ensure a dwelling does not have a mass and scale that appears larger than the dwellings in the surrounding neighbourhood.

Consistent with the intent of the By-law, the proposed design features an entry portico, and a roofline and built form features that provide for a variety of building proportions in the architecture of the home. These massing approaches contribute to breaking up the building mass, diminishing the perception of building scale from the street. The building also locates some of the 2<sup>nd</sup> floor area within its roofline, further diminishing the perception of building mass from the street.

The proposed dwelling features un-enclosed building components including a rear single storey covered terrace and a front porch which assists in breaking up the massing of the dwelling. The footprint of the main portions of the dwelling are within the permitted lot coverage provisions, albeit these features are counted towards the lot coverage of the proposed dwelling.

Of note, a number of dwellings in the immediate vicinity of the subject property feature floor area ratios and lot coverages in excess of the Zoning By-law. The proposed variances will not have a negative impact on adjacent properties or the surrounding area since the overall massing and scale of the proposed dwelling is similar to existing dwellings in the surrounding neighbourhood. The request for the additional floor area ratio and lot coverage is compatible and in keeping with the pattern of new development in the area.

It is my opinion that the requested variances to residential floor area ratio and lot coverage are consistent with the intent of the Zoning By-Law.

### **3.4 Maximum Garage Area**

The intent of the maximum garage area provision is to ensure that dwellings do not contain uncharacteristically large parking garages within their building footprint and further to mitigate potential streetscape impacts. The maximum permitted parking garage area is 56 meters with an access width of 9.0 metres, whereas the proposed parking garage area is 91.5 square meters.

This provision is somewhat problematic when considered alongside other zoning criteria which regulate the overall size of a dwelling. In other cases, such as with Lot Coverage and Floor Space Index, requirements are expressed relative to the size of the site, not as a hard number. In many cases it is likely that 56 square metres is sufficient for vehicle parking, but in cases where a large dwelling is proposed on a large site, it may be appropriate for the garage area to bear some relationship to the overall size of the dwelling, especially in cases where the additional garage area creates no impact on

adjacent properties. In this instance, the garage area is appropriate relative to the size of the proposed dwelling, which itself is appropriately scaled for the site, as discussed earlier in this report.

The proposed garage, a one-storey structure with three garage doors, is provided with a garage design which includes a third door that appears as a window, similar to the architecture proposed for the windows of the main dwelling. Significant tree and vegetation planting is also proposed to mitigate impacts of the garage on the streetscape.

It is my opinion that the requested variance to parking garage area is consistent with the intent of the Zoning By-Law.

#### **4.0 Minor in Nature**

The primary basis for determining whether a requested variance is minor in nature is one of impact. This determination is not strictly a mathematical exercise and, even though a variance may present a considerable numerical change, it may still be properly judged as minor in nature if the actual effects of the variance do not result in significant adverse impacts on the surroundings, which include neighbouring properties as well as the 'streetscape.'

In my opinion, the requested variances are minor in nature.

#### **4.1 Maximum Building Height**

The maximum permitted building height is 9.0 metres, while the proposed building height is 9.15 metres. As discussed, the proposed height will not impact the neighbouring properties with regard to overlook, shadow, or loss of sky view. The proposed dwelling's massing is broken up by varied architectural components, provides a significant setback from the north property line, and is scaled appropriately when compared to the dwellings in the immediate context. The proposed roofline further assists in limiting any incremental impacts resulting from the additional requested 0.15 metre building height.

In my opinion, the proposed building height variance is minor in nature.

#### **4.2 Maximum Driveway Width**

Disproportionate driveway widths impact the streetscape when the additional width contributes to an excessive proportion of the front yard being paved, particularly when the driveway area is near the street. In the context of the proposed development, the large front yard, driveway design, and proposed planting and landscaping ensures that an extensive front yard remains landscaped, and significant portions of the driveway will be screened from the streetscape. The requested driveway width only pertains to the



southern portion of the site, and hardscape areas have been significantly reduced for the development. for vehicular movements and turnaround area, specifically required for access to the garage that is designed to interface with the northern side yard and mitigates impact to the streetscape.

In my opinion, the proposed maximum driveway width variance is minor in nature.

#### **4.3 Maximum Residential Floor Area Ratio and Lot Coverage**

The proposed design of the proposed residence breaks up the building mass through a series of architectural elements, including the entry portico, north façade setback, varying building proportions, and roofline of the dwelling. These design elements and building siting diminish the perception of building scale from the street to ensure that the proposed development is consistent with the massing of other similar two-storey residences in the immediate context.

In my opinion, the proposed variances to the residential floor area ratio and lot coverage are minor in nature.

#### **4.4 Maximum Garage Area**

The proposed garage area exceeds the provision outlined in the Oakville By-law. It is noted that the northern garage door entrance is designed to not appear as a typical garage door, and the garage will be significantly screened via trees and vegetation from the streetscape along Wedgewood Drive. The garage is also appropriately setback from the street with and further features architectural treatment to mitigate any potential impacts.

In my opinion, the requested variance for the garage area is minor in nature.

#### **5.0 Appropriate and Desirable Development for the Area**

The proposed development is located within an established large lot residential area. The requested variances are necessary to permit the construction of a dwelling that is consistent in all but minor regard from the metrics for a detached dwelling contemplated on the Town of Oakville Zoning By-Law 2014-014, as amended.

The scale, massing, height, and siting of the proposed development reflect an appropriate form and scale of dwelling relative to the size and configuration of the subject site. The dwelling has been sited with regard for the setbacks and yards of adjacent properties. The northern setback is significantly increased from the By-law minimum of 4.2 metres to 5.6 metres to mitigate any potential massing impacts associated with both the requested height and floor area ratio variances.

With consideration of the large size and unique layout of this lot, the proposed height and overall mass of the building fits appropriately in the immediate context, particularly

with the more contemporary residences, and has been designed and sited with regard for the immediately adjacent dwellings. The architecture of the home has been carefully considered, incorporating high quality materials, extensive landscaping, and proportions that ensure compatibility with the adjacent properties and the local context, while contributing positively to the varied nature of designs in the immediate neighbourhood. The proposed development is located within an established neighbourhood in the urban area, and is within walking distance to parks and schools.

In my opinion, the proposed development represents appropriate and desirable development for the area.

## **6.0 Planning Conclusion**

The proposed development is located within an established neighbourhood of single-detached dwellings on large, landscaped lots within the urban area. The requested variances are necessary to permit the proposed detached dwelling with a scale and character that is consistent in all but minor regard from the metrics for a detached dwelling contemplated on this lot by Zoning By-Law 2014-014, as amended. Each of the proposed variances has been reviewed in relation to the current requirements of the Zoning By-law and specifically examined with respect to the adverse impact, if any, that would be experienced on the nearby properties should the variances be granted.

The proposed development provides for a new detached dwelling within the urban area, in a form compatible with the character of the existing low rise residential context, representing appropriately gradual growth and change within the Residential Area. The proposed dwelling is consistent with the surrounding context pursuant to the policies of the Livable Oakville Plan and the Design Guidelines for Stable Residential Communities.

In my opinion, the proposed variances are consistent with the general intent and purpose of the Halton Regional Official Plan, the Livable Oakville Plan, and applicable Zoning By-laws, are minor in nature, reflect appropriate and desirable development for the area, and represent good planning.

Respectfully submitted by,



Paul Demczak, MCIP, RPP  
Principal, **Batory Planning + Management**



*Batory Planning & Management is a multidisciplinary urban planning and project management consulting firm with a focus on helping our clients improve the built environment and embrace unique opportunities within the real estate spectrum. The firm integrates urban planning, project management, and real estate consultancy, prioritizing a customer-focused experience for our clients.*





# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/071/2024 (Deferred from May 1, 2024)

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

| Applicant / Owner | Authorized Agent   | Subject Property                    |
|-------------------|--|-------------------------------------|
| L. Brutto         | Gus Ricci<br>Gus Ricci Architect<br>64 Rebecca St<br>Oakville ON, CANADA L6K 1J2 | 221 Wedgewood Dr<br>PLAN 545 LOT 86 |

**Zoning of property:** RL1-0, Residential

### Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit a new two storey detached dwelling with an accessory building (pool cabana) on the subject property proposing the following variances to Zoning By-law 2014-014:

| No. | Current  | Proposed   |
|-----|--|--|
| 1   | <i>Section 5.8.2 c) iii)</i><br>The maximum width of a driveway shall be 9.0 metres for a lot having a lot frontage equal to or greater than 18.0 metres.        | To increase the maximum width of the driveway to be 11.75 metres for a lot having a lot frontage equal to or greater than 18.0 metres. |
| 2   | <i>Section 5.8.6 c)</i><br>For lots located within the Residential Low (RL1) Zone the maximum total floor area for a private garage shall be 56.0 square metres. | To increase the maximum total floor area for the private garage to 91.50 square metres.  |
| 3   | <i>Table 6.4.1</i><br>The maximum residential floor area ratio for a detached dwelling on a lot with a lot area 1301.00 m <sup>2</sup> or greater shall be 29%.  | To increase the maximum residential floor area ratio to 32.20%.  |

|   |   |   |
|---|---|---|
| 4 | <i>Table 6.4.2 (Row RL1, Column 3)</i><br>The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height. | To increase the maximum lot coverage to 27.80%. |
| 5 | <i>Section 6.4.6 c)</i><br>The maximum height shall be 9.0 metres.  | To increase the maximum height to 9.15 metres.  |

**How do I participate if I have comments or concerns?**

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville’s Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

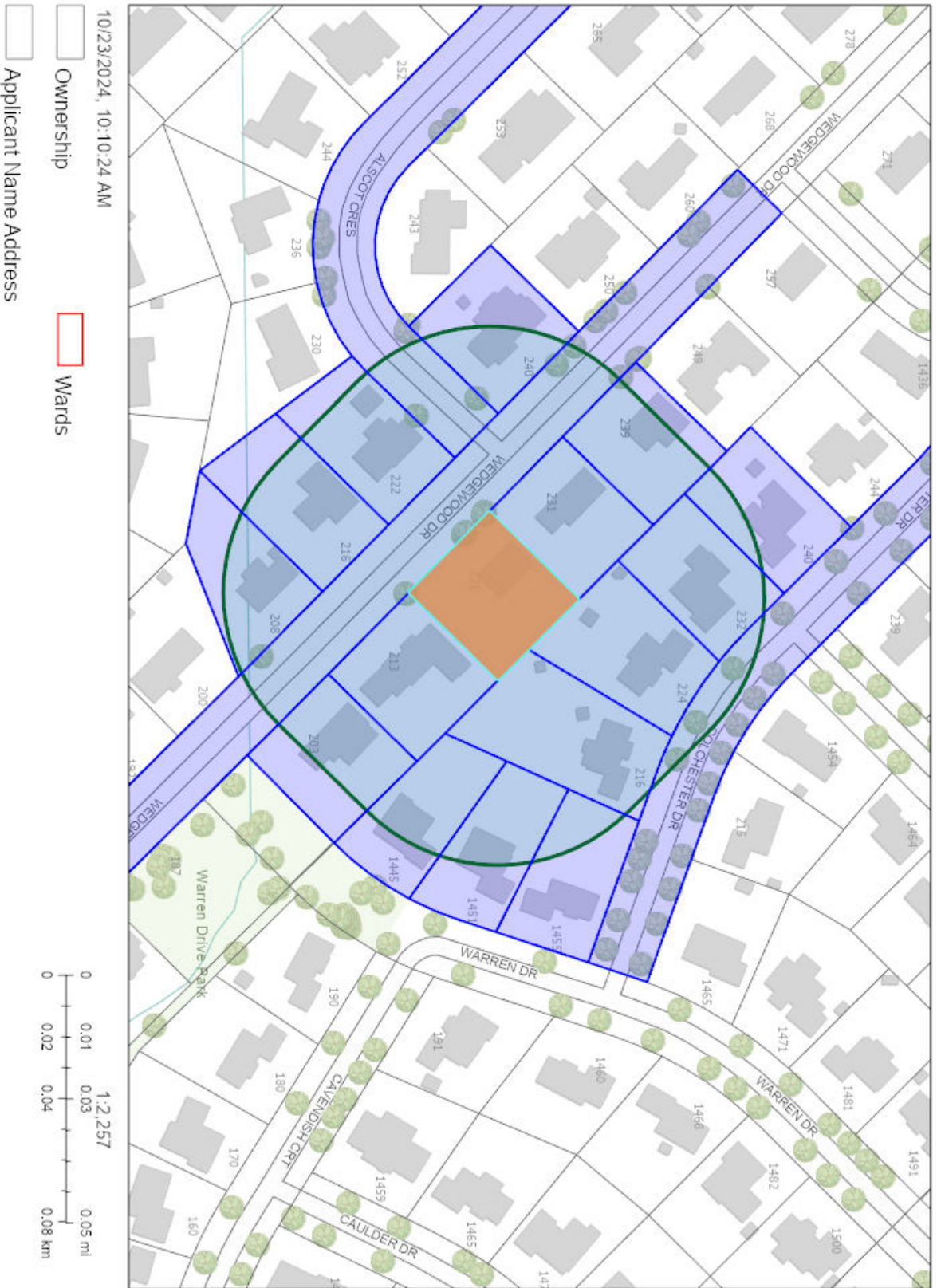
**Contact information:**

Jennifer Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

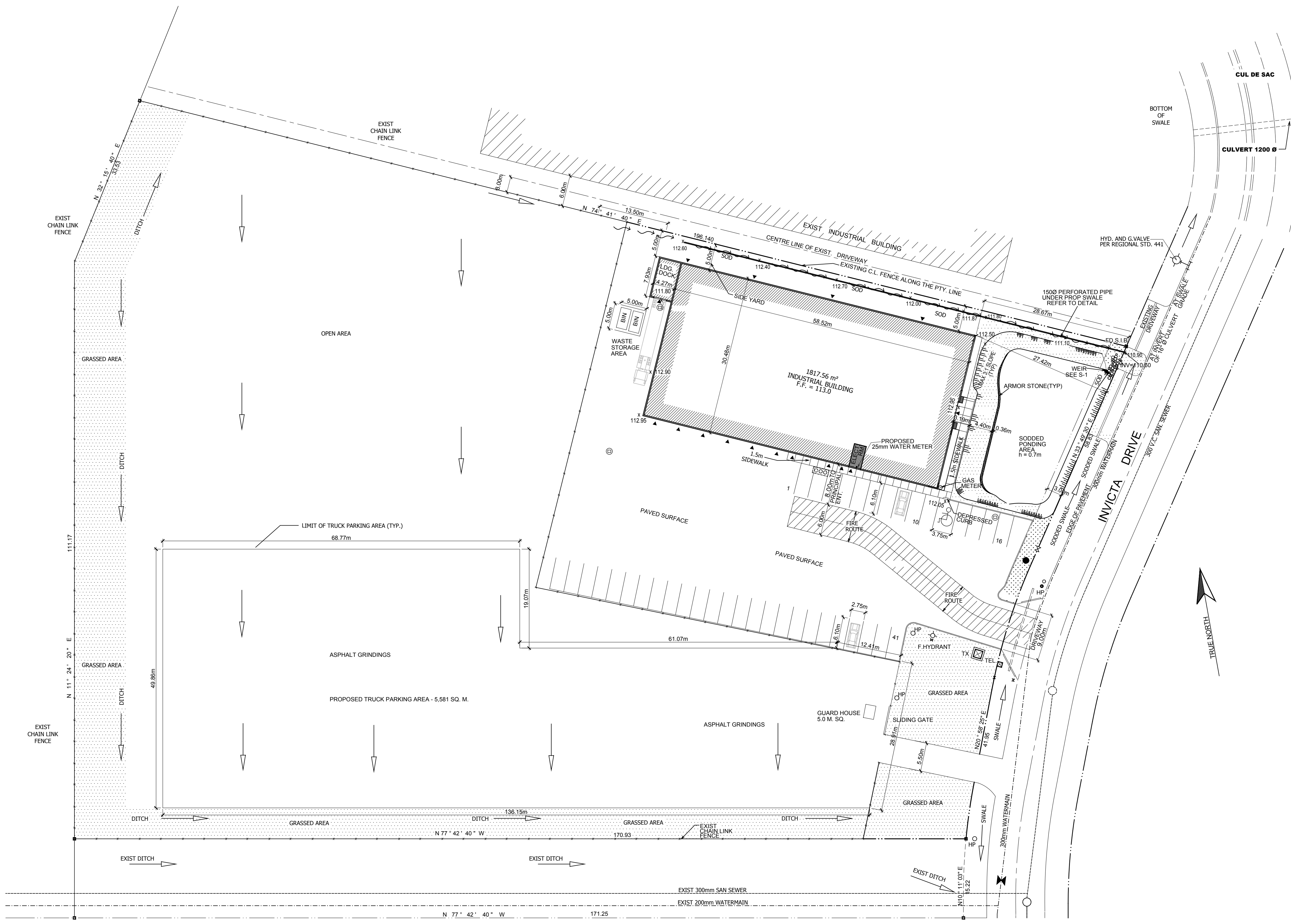
**Date mailed:**

October 29, 2024

# CAV A/071/2024 - 221 Wedgewood Drive (Revised)







**SITE PLAN**  
SCALE: 1:400  
0 5 10 15 METERS

**SITE ANALYSIS**

|                         |   |
|-------------------------|---|
| TOTAL SITE AREA         | 22,369.69 M <sup>2</sup> (2.24HA)             |
| TOTAL BUILDING AREA     | 1817.56 M <sup>2</sup>                        |
| BUFFER STRIP            | 302.34 M <sup>2</sup>                         |
| LANDSCAPING AREA        | 2,256.42 M <sup>2</sup>                       |
| PARKING SPACES CARS     | 41 (INC. 1 HANDICAPPED PARKING)               |
| PARKING AREA FOR TRUCKS | 5,581 M <sup>2</sup> (25% OF TOTAL SITE AREA) |
| LOT COVERAGE            | (8.13%)                                       |
| LOT FRONTAGE            | 100.78m                                       |
| FRONT YARD              | 9.0m  |
| SIDE YARD               | 5.0m (ACTUAL) 3.0m (REQUIRED)                 |

**LAND USE SCHEDULE**

|                       |                         |
|-----------------------|-------------------------|
| ZONING                | E-1                     |
| PAVED SURFACE AREA    | 3,213.68 m <sup>2</sup> |
| ASPHALT GRINDINGS     | 5,581 m <sup>2</sup>    |
| GARBAGERECYCLING AREA | 25.00 m <sup>2</sup>    |

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - ▲ DENOTES O.H. DOOR LOCATION
  - △ DENOTES MAN DOOR EXIT
  - IB DENOTES IRON BAR
  - CMP DENOTES CORRUGATED METAL PIPE
  - MH DENOTES MANHOLE
  - CBMH DENOTES CATCH BASIN MANHOLE
  - CB CATCH BASIN
  - (C) INDICATES ELEVATION ON TOP OF CURB
  - +FH FIRE HYDRANT
  - +HP HYDRO POLE
  - TEL TELEPHONE
  - DRAINAGE ARROW

**STATEMENT OF DESIGN SIZE, OCCUPANCY & CONSTRUCTION**

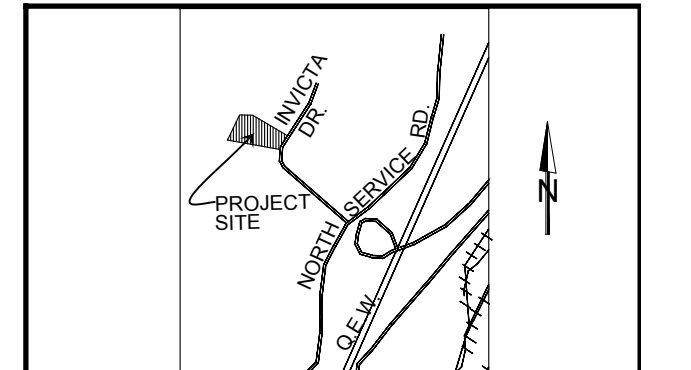
|                          |  |
|--------------------------|--|
| OCCUPANCY CLASSIFICATION | GROUP F, DIVISION 2 PART 3, DIVISION 2 ARTICLE 3.2.2.70 TABLE 3.2.2.70.A. COL. 1 |
| SPRINKLERS               | NOT REQUIRED   |
| CONSTRUCTION             | NONCOMBUSTIBLE   |
| No. OF STOREYS           | ONE STOREY   |
| No. OF STREETS           | ONE STREET (FIRE ROUTE) (OFF INVICTA DRIVE)                                      |
| FIRE ALARM STANDPIPE     | NOT REQUIRED   |
| EXISTING ELEVATION       | EXISTING ELEVATION   |
| + 000.000                | NEW ELEVATION  |
| DESIGN REVIEW            | ENGINEER   |

**NOTE ON LIGHTING:**  
ALL OUTDOOR LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD AND DESIGNED TO MAINTAIN ZERO CUT-OFF LIGHT LEVEL DISTRIBUTION AT THE PROPERTY LINE.

**CREDITS**  
PLAN SHOWING PART OF LOT 7, BLOCK A REGISTERED PLAN 608 TOWN OF OAKVILLE

SURVEY INFORMATION HAS BEEN TAKEN FROM A PLAN PREPARED BY KENNETH H. MCCONNELL, O.L.S. 1973 (ORIGINAL SURVEY DONE IN IMPERIAL UNITS) (CONVERTED TO METRIC BY HAI)

**KEY PLAN**



CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCEMENT OF WORK. WORK NOT TO PROCEED UNTIL ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED. DO NOT SCALE DRAWINGS.

**REVISIONS**

| NO | DATE     | DESCRIPTION                               | REV. BY |
|----|----------|---|---------|
| 1  | 15JULY24 | MODIFY PROPOSED TRUCK PARK. AREA A/P TOWN | DH      |

**ISSUED**

| NO | DATE     | DESCRIPTION |
|----|----------|-------------|
| 1  | 15JULY24 | FOR REVIEW  |

**hawley and associates inc**  
integrated design and construction management

**hā**

2795 huntington trail oakville, ontario N5 7p7  
905.467.4542 info@hawleyandassociates.ca

|                    |  |
|--------------------|--|
| PROJECT - PROPOSAL |  |
| PARKING            |  |
| TITLE              |  |
| SITE PLAN          |  |

|        |   |
|--------|---|
| CLIENT | <b>INDUSTRY DIESEL &amp; TURBO SERVICE LTD</b><br>1015 INDUSTRY ST. OAKVILLE, ONTARIO |
|--------|---|

| SCALE      | DATE        | DRAWING NO. |
|------------|-------------|-------------|
| AS NOTED   | 3JULY2023   |             |
| DRAWN BY   | PLOT DATE   |             |
| D.H.       | 3JULY2023   | <b>A1.0</b> |
| CHECKED BY | PROJECT NO. |             |
| D.H.       | 23007       |             |

October 7, 2024  
24P02

Kelly Lanaus, CPT  
Senior Zoning Plans Examiner  
Building Department  
Town of Oakville  
1225 Trafalgar Road  
Oakville, ON L6H 0H3

Dear Kelly,

**RE: PLANNING RATIONALE – REVISED APPLICATION FOR MINOR VARIANCE  
Town Application/File No. CAV A/074/2024  
1140 Invicta Drive  
Town Of Oakville**

We are planning consultants to 1600767 Ontario Limited (the “Applicants”) who own 1140 Invicta Drive (the “Subject Lands”). We submitted the original application April 8, 2024, and at its May 15<sup>th</sup> hearing the Committee of Adjustment granted a deferral to allow further discussions with Staff. We now submit a revised minor variance application for the Committee’s consideration which, in our opinion, reflects these discussions and works to address the concerns expressed by staff.

Specifically, the Applicant has significantly reduced the size of the parking area, and we hereby amend the application to request this existing parking be allowed to persist as a “Parking Area, Heavy Vehicle” despite it not being accessory to the primary use on the property. The revisions are explained in further detail below.

In our opinion, the revised requested variance meets all the tests under Section 45(1) of the Planning Act and represents good land use planning.

#### **THE REVISED MINOR VARIANCE**

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In the original submission, the Applicant sought permission to allow the continued use of the parking area as a “Motor Vehicle Storage Compound”, whereas such a use was not permitted in the E2 zone.

**Johnston Litavski Ltd.**  
235 Lakeshore Road East, Suite 202  
Oakville, Ontario L6J 1H7  
P: 905-845-7325  
P: 416-323-1444

However, further to our discussions with Staff, and further to several physical changes to the parking area (including a substantial reduction in its size), we are revising the application to seek the continued use of the parking area as a “Parking Area, Heavy Vehicle” despite it not being accessory to the primary use.

## **THE SUBJECT LANDS & PURPOSE OF THE APPLICATION**

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### **Purpose Of The Application**

As mentioned, the purpose of the application is to permit the continued use of a portion of the Subject Lands as a storage/parking area for truck-tractors by Musket Transport Ltd. (“Musket”) who are leasing the lands from the Applicant.

As described in our initial submission, the Applicant and Musket erroneously constructed and started using the truck parking area without first securing the appropriate zoning relief from the Town. The purpose of this application, and of the revisions now being submitted, are to rectify this and seek the appropriate zoning relief.

### **Surrounding Context**

Please refer to our April 8, 2024, letter for a description of the surrounding context.

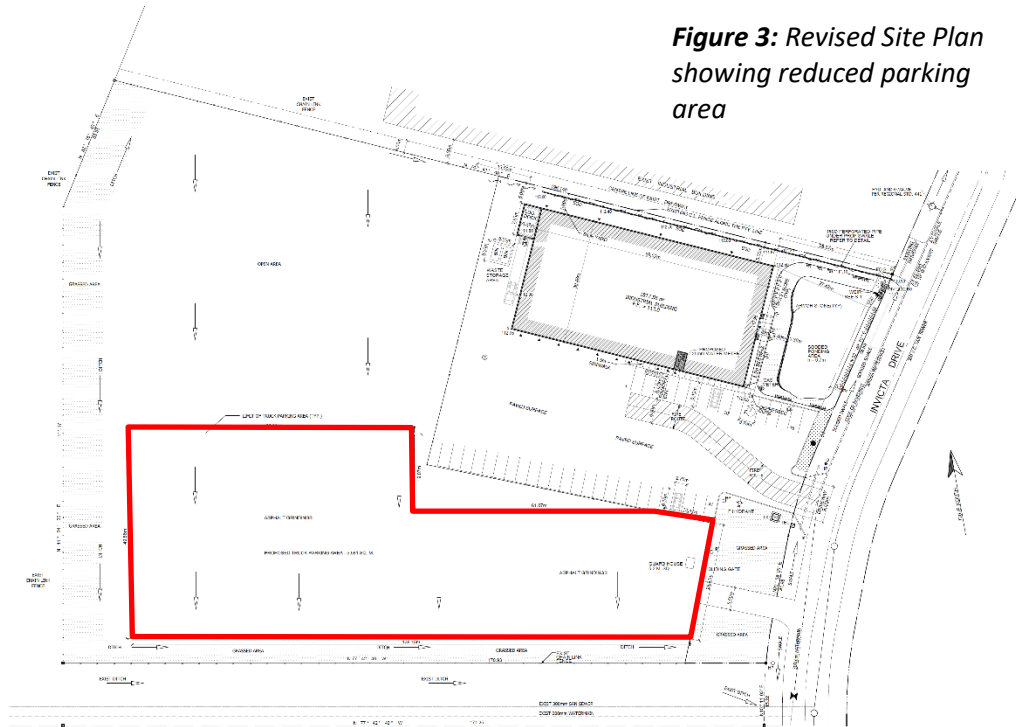
### **Staff Concerns & The Changes Made To Address Them**

The revised parking area has been reduced to comply with all standards applicable to a “Parking Area, Heavy Vehicle”, except for the fact that it is not accessory to the primary use. Specifically:

- The parking area has been reduced so that it occupies no more that 25% of the lot area;
- The parking area is located in the rear yard and interior side yard;
- The parking area is setback more than 3.5m from all lot lines;

A copy of the revised site plan is enclosed with this submission.





**Figure 3: Revised Site Plan showing reduced parking area**

A key concern of Town Staff with the original submission was the size of the parking area and potential impacts arising from its size. The size of the parking area has been significantly reduced. Likewise, we note that an opinion letter from HGC Engineering was submitted with the original application which assessed potential noise impact from the original, larger, parking area. That report concluded that, given background sound levels from traffic noise from the surrounding roadways, noise impacts upon residences along Falgarwood Road from the parking area will be minimal. Any potential noise from the much smaller parking area will be even less.

Staff also expressed concern that they had not previously been given the opportunity to review the site changes in more detail before the parking area was built. A key purpose of this application is to rectify that. The Applicant has expressed in their discussions with Staff an openness to review such things as appropriate screening and a review of site grading, either via conditions of approval of the requested variance, and/or during the review of any subsequent permits that may be required.

**We Disagree With Staff's Assertion This Is A "Transportation Terminal"**

The Applicant's original submission characterized the parking area as a "Motor Vehicle Storage Compound" and sought a minor variance to permit this use on the Subject Lands. In our opinion, this use description appropriately reflected the nature of the use proposed at the time – i.e., the parking/storage of vehicles within a fenced-in and secured compound – and the size of the facility and the fact that it was not accessory to the primary use – i.e., the parking area was leased from the Applicant and used by Musket.

However, Town Staff believed the use should be characterized as a "Transportation Terminal". We disagree.

By-law 2014-14 defines a "Transportation Terminal" as:

*"...a premises or area of land used for storing, parking or dispatching of buses, trucks, tractors, or trailers, including servicing or repair within an enclosed building."*

This is an exceptionally broad definition which, if not interpreted judiciously, might encapsulate nearly any area used to park commercial vehicles. Musket operates three different transportation terminals within the GTA, the two closest of which are at 2215 Royal Windsor Drive and 556 Southdown Road in Mississauga. These terminals are different than the parking area on the Subject Lands. Firstly, in our opinion, a key word in the definition is "dispatching" – particularly as this word would apply to the distribution of goods or materials from a Transportation Terminal. "Dispatching" in this context typically refers to the orderly organizing and sending off of assembled tractor/trailers on their established delivery routes. Secondly, a key point is to note the various elements that work together to define a Transportation Terminal – i.e. the fact that vehicles and trailers are parked, stored, assembled and dispatched all on the same property, and there are typically concurrent office and service/repair/inspection facilities. The combination of these elements functioning together on the same property work to differentiate a Transportation Terminal from a simple parking area or storage compound.

However, a “Parking Area, Heavy Vehicle” is defined as:

*“...an area on a lot for the accessory parking for trucks, tractors and commercial vehicles exceeding a gross weight of 4,500.0 kilograms, as licensed by the Ministry of Transportation, in association with the primary use of the lot.”*

A Parking Area, Heavy Vehicle is permitted as-of-right on the Subject Lands, so long as it is accessory to the primary use. We acknowledge that the parking area on the Subject Lands is not accessory to the primary use. It is leased and operated by Musket. Permission to allow a non-accessory Parking Area, Heavy Vehicle is the relief the Applicant is seeking.

Musket is a full-service intermodal transportation company offering numerous transportation, warehousing, and distribution services to a wide variety of industry sectors across North America. They maintain a fleet of 200+ truck tractors, 300+ trailers, and 500+ chassis used to transport shipping containers. All equipment is corporately owned, and all drivers are employees of the company. They operate three different transportation terminals within the GTA and have recently opened a fourth in Burlington. But the parking area on the Subject Lands is not one of them. Rather, the closest terminals are located at 2215 Royal Windsor Drive and 556 Southdown Road in Mississauga, as well as the new terminal at 1151 Heritage Road in Burlington. Musket is a bonded carrier and security is paramount to their operations. We understand that to maintain their security and bonded status, Musket must park all truck-tractors separately from all trailers within a secured compound when not in use. The parking area on the Subject Lands is used by Musket to park their truck-tractors. Trailers and goods for distribution are not parked or stored there. Rather, these are stored at Musket’s transportation terminals. Musket’s drivers must first collect a truck tractor from the parking area on the Subject Lands, then drive it to one of the Transportation Terminals where they are mated to a trailer then dispatched on their respective delivery route. Each truck tractor is returned to the parking area after the delivery is complete and its trailer has been returned to the Transportation Terminal to be made ready for the next delivery. The parking area on the Subject Lands is simply where the truck tractors are parked/stored in between deliveries. The parking area is kept clean, fenced, and guarded at all times.

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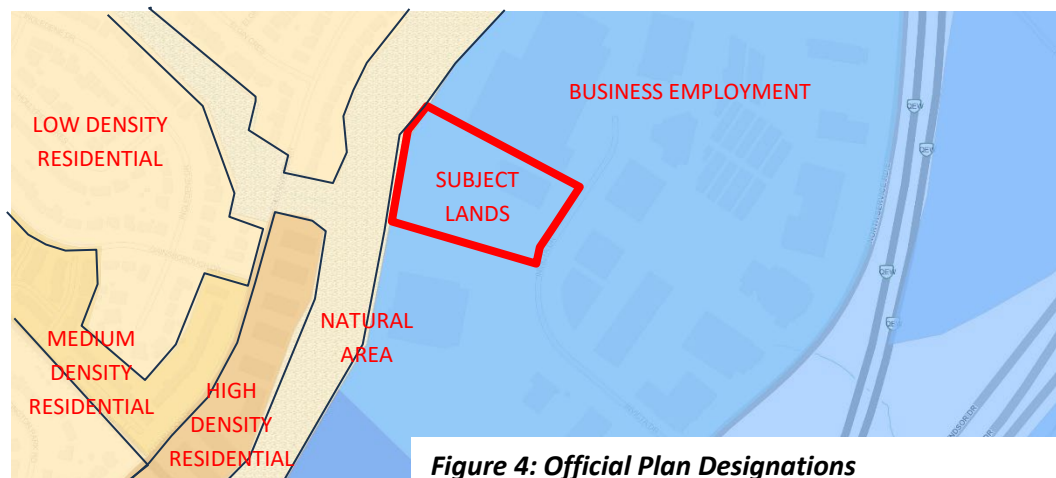


The parking area on the Subject Lands, as revised with this submission, now functions the same as one permitted as-of-right – the only difference being the fact it is leased and operated by a different user than the Applicant. The Applicant commits to ensuring that the parking area meets all other applicable zoning standards (i.e. size/lot coverage, setbacks, landscaping, etc.).

**OFFICIAL PLAN AND ZONING**

The Subject Lands are designated **Business Employment** in Town’s Official Plan. There are no applicable Secondary Plans or Site-Specific Policies. The Business Employment area is buffered from the adjoining residential lands in Falgarwood by a Natural Area designation relating to Morrison Creek.

The Subject Lands are zoned **Employment – E2 sp:3** by Zoning By-law 2014-014. The E2 zone permits a wide variety of employment, commercial, manufacturing, and warehousing uses. Heavy vehicle parking and outdoor storage is permitted as an accessory use. Special provision 3 also allows an extended list of motor vehicle related uses, including motor vehicle body shops, repair facilities and dealerships.



**Figure 4: Official Plan Designations**

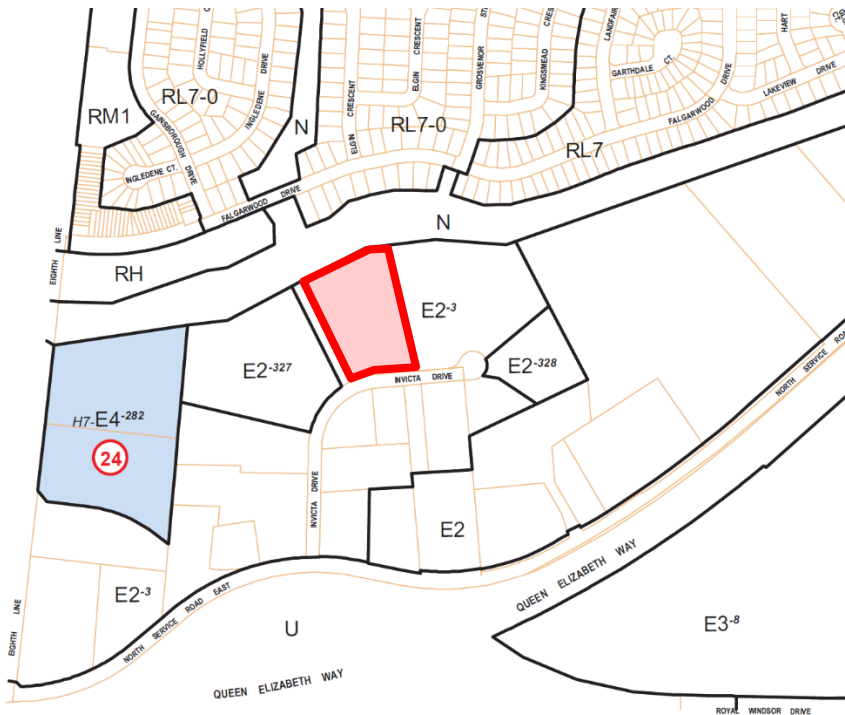


Figure 5: Zoning – Subject Lands highlighted in red

**THE REQUESTED VARIANCE**

The Applicant is seeking only one minor variance:

- **To permit a non-accessory Parking Area, Heavy Vehicle, whereas Sections 10.2(18) and Part 3 of Bylaw 2014-014 state a Parking Area, Heavy Vehicle is permitted only as an accessory use to another permitted use.**

**THE PROPOSED VARIANCE SATISFIES THE FOUR (4) TESTS UNDER THE PLANNING ACT**

In our opinion, the requested variance meets the four (4) tests under Section 45(1) of the Planning Act:

**The Proposed Variance Meets The General Intent & Purpose Of The Official Plan:**

The Official Plan’s Business Employment designation allows employment uses predominantly within enclosed buildings and provides for office uses and light and service industrial operations with minimal impacts on surrounding

areas.<sup>1</sup> Permitted uses include light industrial uses such as manufacturing, assembling, processing, fabricating, repairing, warehousing and wholesaling<sup>2</sup>. Motor vehicle related uses are also permitted between Iroquois Shore Road (including the proposed extension) and the North Service Road, west of Invicta Drive.<sup>3</sup> Outdoor storage uses are anticipated and are to be adequately screened and may be implemented through zoning<sup>4</sup> but are not to be allowed on lands that abut residential areas.<sup>5</sup>

We note the Applicant's existing industrial use is permitted in a Business Employment designation, and that the Subject Lands are separated and buffered from the low-density Falgarwood neighbourhood by the Natural Area designation relating to Morrison Creek.

A Parking Area, Heavy Vehicle is already permitted as an accessory use, and the Town has determined that such parking areas comply with the Business Employment designation. Although the proposed parking area will not be accessory to the Applicant's existing industrial operation, they have committed to ensuring that it will comply with all other performance standards, in terms of size, setbacks, landscaping, screening, etc. The parking area will function just as an as-of-right one, except that Musket will operate it. The leasehold tenancy of the parking area is a minor difference and will not result in a functionally different parking area.

The general intent and purpose of the Official Plan will be maintained.

**The Proposed Variance Meets The General Intent And Purpose Of The Zoning By-Law:**

We note again that the Applicant seeks relief only from the fact that the parking area will not be accessory to the primary use – i.e. the Applicant has leased the area to Musket. Functionally and physically, it will operate no differently than an as-of-right parking area.

The general intent and purpose of allowing a Parking Area, Heavy Vehicle is to recognize such outdoor/storage functions are not uncommon in industrial areas like that within which the Subject Lands are located, and that such operations should be

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<sup>1</sup> Livable Oakville – Policy 14.4

<sup>2</sup> Ibid. – Policy 14.4.1(a)

<sup>3</sup> Ibid. – Policy 14.4.1(e)(iii)

<sup>4</sup> Ibid. – Policy 14.4.4

<sup>5</sup> Ibid. – Policy 14.4.5



limited in scope. This is reinforced by the various performance standards the parking area must comply with:

- The parking area can occupy no more than 25% of the Subject Land's lot area<sup>6</sup>
- The parking area can only be in an interior side yard or rear yard and shall be setback no less than 3.5m from any lot line<sup>7</sup>
- Despite the 3.5m setback provision, there must be a minimum 7.5m wide landscaping strip between the parking area and any interior side lot line and any rear lot line<sup>8</sup>
- Any Gatehouse must be no more than 3.0m in height and not exceed 5.0m<sup>2</sup> in floor area<sup>9</sup>
- The parking area cannot be in a yard that abuts a Residential, Institutional or Community Use zone<sup>10</sup>

The Applicant seeks relief only from the accessory nature of the Parking Area, Heavy Vehicle permission. All other zoning requirements will be complied with.

The general intent and purpose of the zoning by-law will be maintained.

**The Proposed Variance Is Appropriate For The Development Or Use Of The Lands:**

Allowing the existing parking area to continue represents a modest zoning change which would allow a significant employer and important part of the Province's industrial base to continue. The existing industrial area is very well established having served the Town's and broader provincial economy for decades. The requested use is in keeping with the existing and planned context and reflective of other similar uses in the area. The existing parking area results in no additional impacts over and above what an as-of-right Parking Area, Heavy use would offer.

As such, the requested variance is appropriate for the development or use of the lands.

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<sup>6</sup> By-law 2014-014 – Provision 10.6(b)(iii)

<sup>7</sup> Ibid. – Provision 10.6(a)

<sup>8</sup> Ibid. – Provision 4.11.2, Table 4.11.2 Row 7

<sup>9</sup> Ibid. – Provision 10.4

<sup>10</sup> Ibid. – Provision 10.6(e)

**The Proposed Variance Is Minor:**

The test of whether a variance is minor consists of three parts – Impact, size, and importance.

In terms of impact, the parking area will function no differently and have no greater impact than an otherwise permitted as-of-right accessory parking area. Noise levels are in keeping with currently permitted uses. We note a noise assessment from HGC Engineering was submitted as part of the original (and larger) proposal, which concluded that there was minimal impact from the larger parking area. The reduced parking area will have even less of an impact.

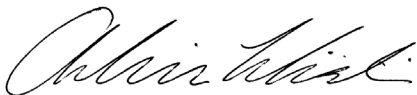
Size refers to the scale of the variance itself. In this case the Applicant is only requesting relief from the accessory nature of the as-of-right permission. All other zoning standards will be complied with. This is a modest change that would result in no difference on the ground from what could already happen as-of-right.

Importance refers to whether it is appropriate to seek the required relief via minor variance or whether a full zoning amendment is necessary. In our opinion, given the nature of the requested zoning relief, a full zoning amendment is not required.

The requested variance is minor.

In summary, the requested variance satisfies all four (4) tests of Section 45(1) of the *Planning Act* and represents good land use planning.

Yours very truly,



Adrian Litavski, MCIP RPP  
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litavski@planners.to

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# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/074/2024 – Deferred from May 15, 2024

### Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

### Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

### Applicant and property information:

| Applicant / Owner       | Authorized Agent   | Subject Property  |
|-------------------------|--|---|
| 1600767 Ontario Limited | JOHNSTON LITAVSKI LTD.<br>(ADRIAN LITAVSKI)<br>235 Lakeshore Road East, Suite<br>202<br>Oakville, ON L6J 1H7 | 1140 Invicta Dr<br>PLAN 608 PT LOT 7 RP 20R5425<br>PART 1 |

**Zoning of property:** E2 sp: 3, Business Employment

### Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit heavy vehicle parking area on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

| No. | Current  | Proposed  |
|-----|--|---|
| 1   | <i>Part 3</i><br>Parking Area, Heavy Vehicle means an area on a lot for the accessory parking for trucks, tractors and commercial vehicles exceeding a gross weight of 4,500.0 kilograms, as licensed by the Ministry of Transportation, in association with the primary use of the lot. | To modify the definition of parking area, heavy vehicle to mean an area on a lot for the parking for trucks, tractors and commercial vehicles exceeding a gross weight of 4,500.0 kilograms, as licensed by the Ministry of Transportation. |
| 2   | <i>Table 10.2, footnote 18</i><br>Heavy vehicle parking area is permitted only accessory to another permitted use.   | To permit heavy vehicle parking area as a primary use.  |



## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

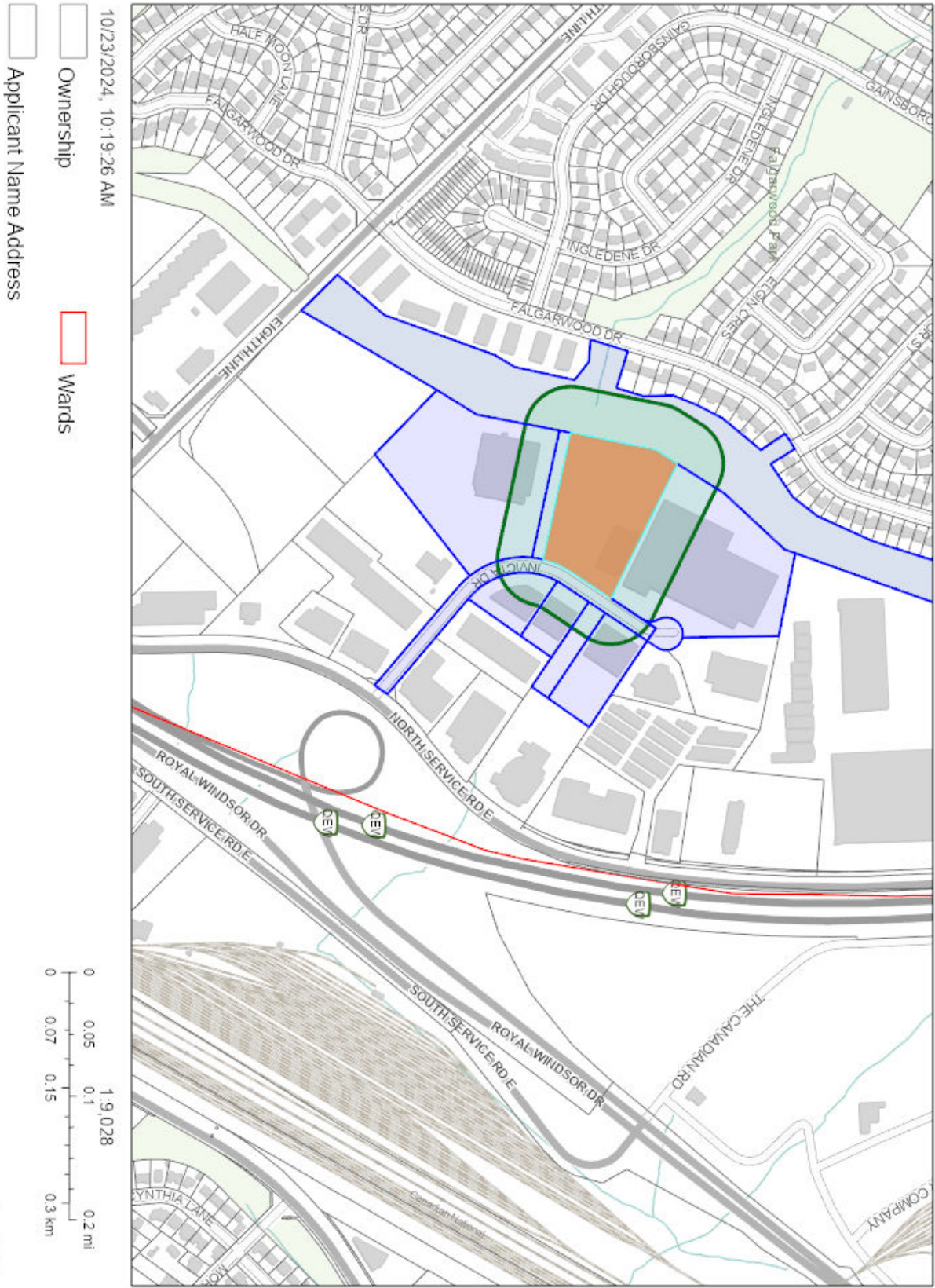
### **Contact information:**

Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

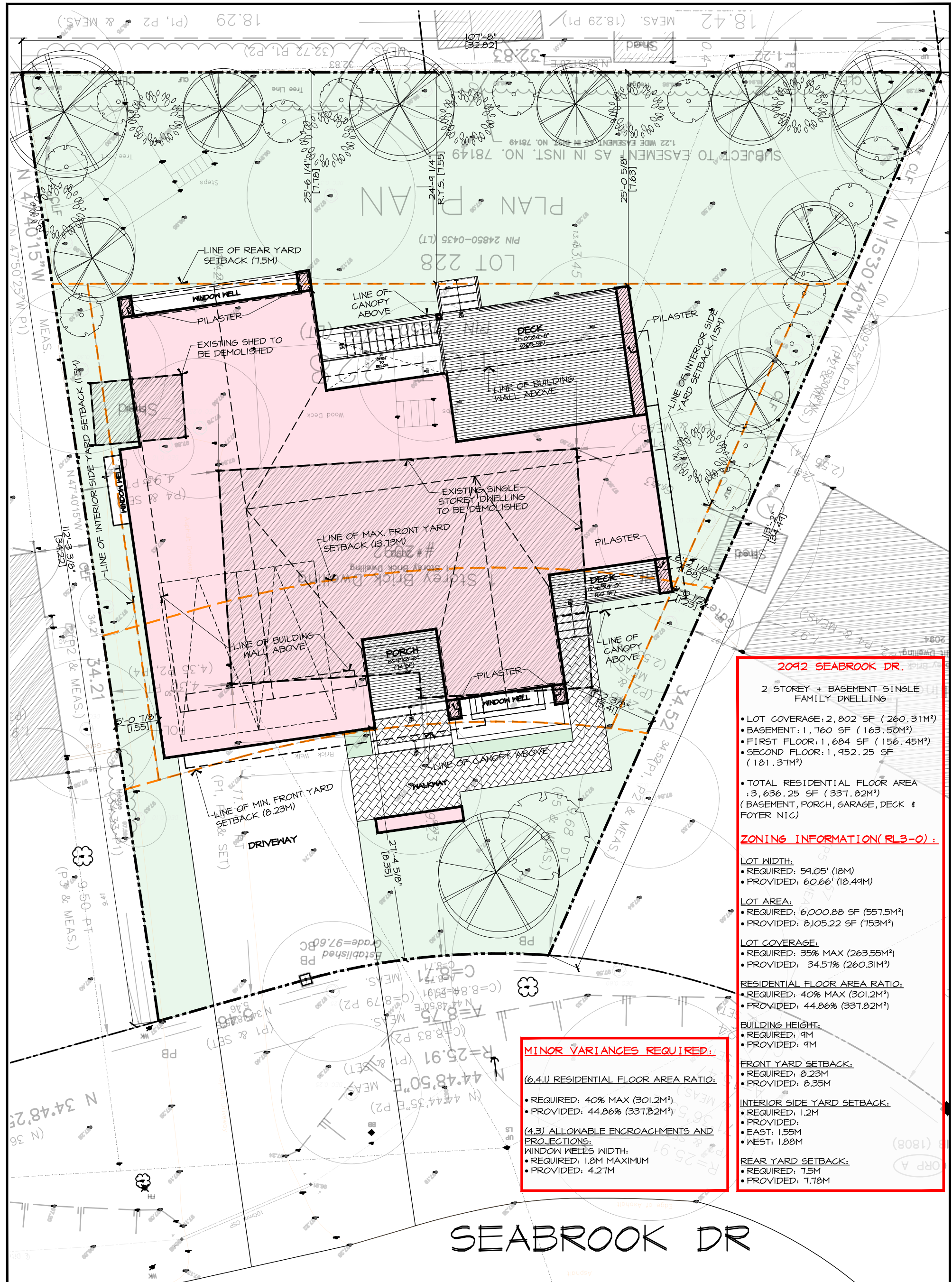
### **Date mailed:**

October 29, 2024

CAV A/074/2024 - 1140 Inivcta Drive (Revised)







**2092 SEABROOK DR.**

2 STOREY + BASEMENT SINGLE FAMILY DWELLING

- LOT COVERAGE: 2,802 SF (260.31M<sup>2</sup>)
- BASEMENT: 1,760 SF (163.50M<sup>2</sup>)
- FIRST FLOOR: 1,684 SF (156.45M<sup>2</sup>)
- SECOND FLOOR: 1,452.25 SF (134.13M<sup>2</sup>)
- TOTAL RESIDENTIAL FLOOR AREA: 3,636.25 SF (337.82M<sup>2</sup>) (BASEMENT, PORCH, GARAGE, DECK & FOYER NIC)

**ZONING INFORMATION (RL3-0):**

**LOT WIDTH:**

- REQUIRED: 59.05' (18M)
- PROVIDED: 60.66' (18.49M)

**LOT AREA:**

- REQUIRED: 6,000.88 SF (551.5M<sup>2</sup>)
- PROVIDED: 8,105.22 SF (753M<sup>2</sup>)

**LOT COVERAGE:**

- REQUIRED: 35% MAX (263.55M<sup>2</sup>)
- PROVIDED: 34.57% (260.31M<sup>2</sup>)

**RESIDENTIAL FLOOR AREA RATIO:**

- REQUIRED: 40% MAX (301.2M<sup>2</sup>)
- PROVIDED: 44.86% (337.82M<sup>2</sup>)

**BUILDING HEIGHT:**

- REQUIRED: 9M
- PROVIDED: 9M

**FRONT YARD SETBACK:**

- REQUIRED: 8.23M
- PROVIDED: 8.35M

**INTERIOR SIDE YARD SETBACK:**

- REQUIRED: 1.2M
- PROVIDED: 1.55M
- EAST: 1.55M
- WEST: 1.88M

**REAR YARD SETBACK:**

- REQUIRED: 7.5M
- PROVIDED: 7.18M

**MINOR VARIANCES REQUIRED:**

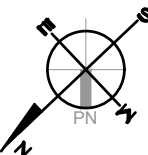
(6.4.1) RESIDENTIAL FLOOR AREA RATIO:

- REQUIRED: 40% MAX (301.2M<sup>2</sup>)
- PROVIDED: 44.86% (337.82M<sup>2</sup>)

(4.3) ALLOWABLE ENCROACHMENTS AND PROJECTIONS:

WINDOW WELLS WIDTH:

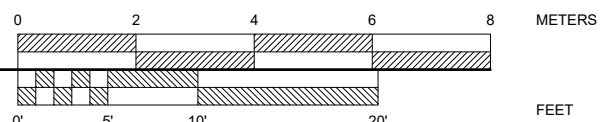
- REQUIRED: 1.8M MAXIMUM
- PROVIDED: 4.27M



**SITE PLAN**

SCALE: 1/32" = 1'-0"

MINOR VARIANCE REQUIRED FOR A SECOND FLOOR BALCONY



AI  
DWG No.:

|              |            |
|--------------|------------|
| DATE:        | 2023-07-17 |
| CHECKED:     | AS         |
| DWG BY:      | AS         |
| PROJECT NO.: | 2023-02    |

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|----|--------------------|------|-------|
| 10 | PLANNING REVIEW    | 2024 | 06-19 |
| 9  | FLOOR PLANS REVIEW | 2024 | 05-13 |
| 8  | PLANNING REVIEW    | 2023 | 12-10 |
| 7  | PLANNING REVIEW    | 2023 | 10-16 |
| 6  | ELEV & 3D REVIEW   | 2023 | 10-14 |
| 5  | FLOOR PLANS REVIEW | 2023 | 09-28 |
| 4  | FLOOR PLANS REVIEW | 2023 | 09-20 |

**2092 SEABROOK DR**

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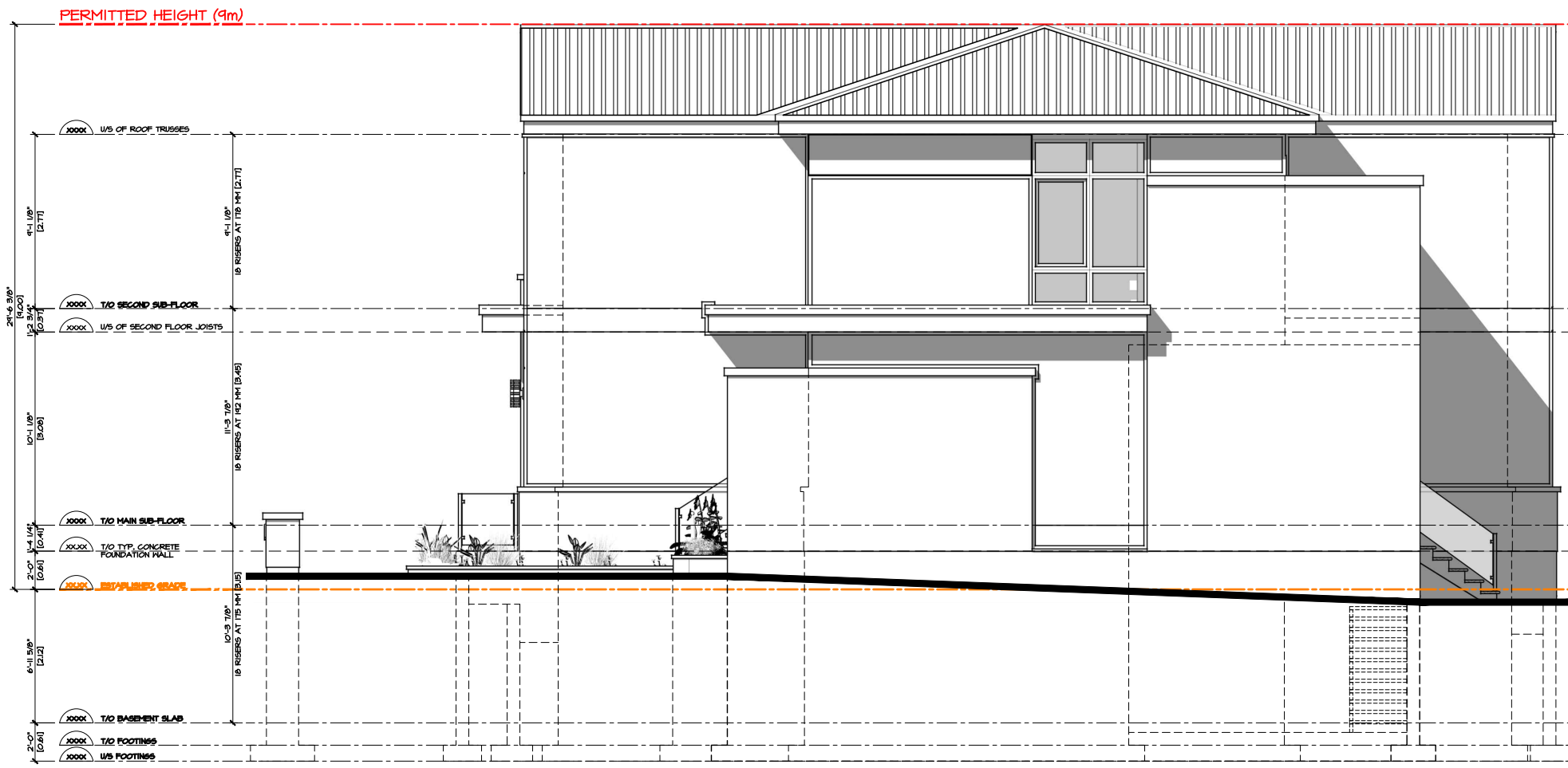
**PROJECT TITLE**

AS Design Company Inc.  
The Division of Design  
A 32 Inc. Street, Ottawa, ON  
K1P 1G1  
1 (613) 700-0387  
FAMID@asdesigncompany.com





**SOUTH ELEVATION**  
SCALE :  $\frac{1}{8}'' = 1'-0''$



**WEST ELEVATION**  
SCALE :  $\frac{1}{8}'' = 1'-0''$

A3  
DWG No.:

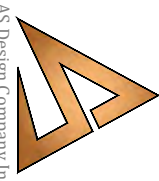
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PROJECT No.:  
2023-02

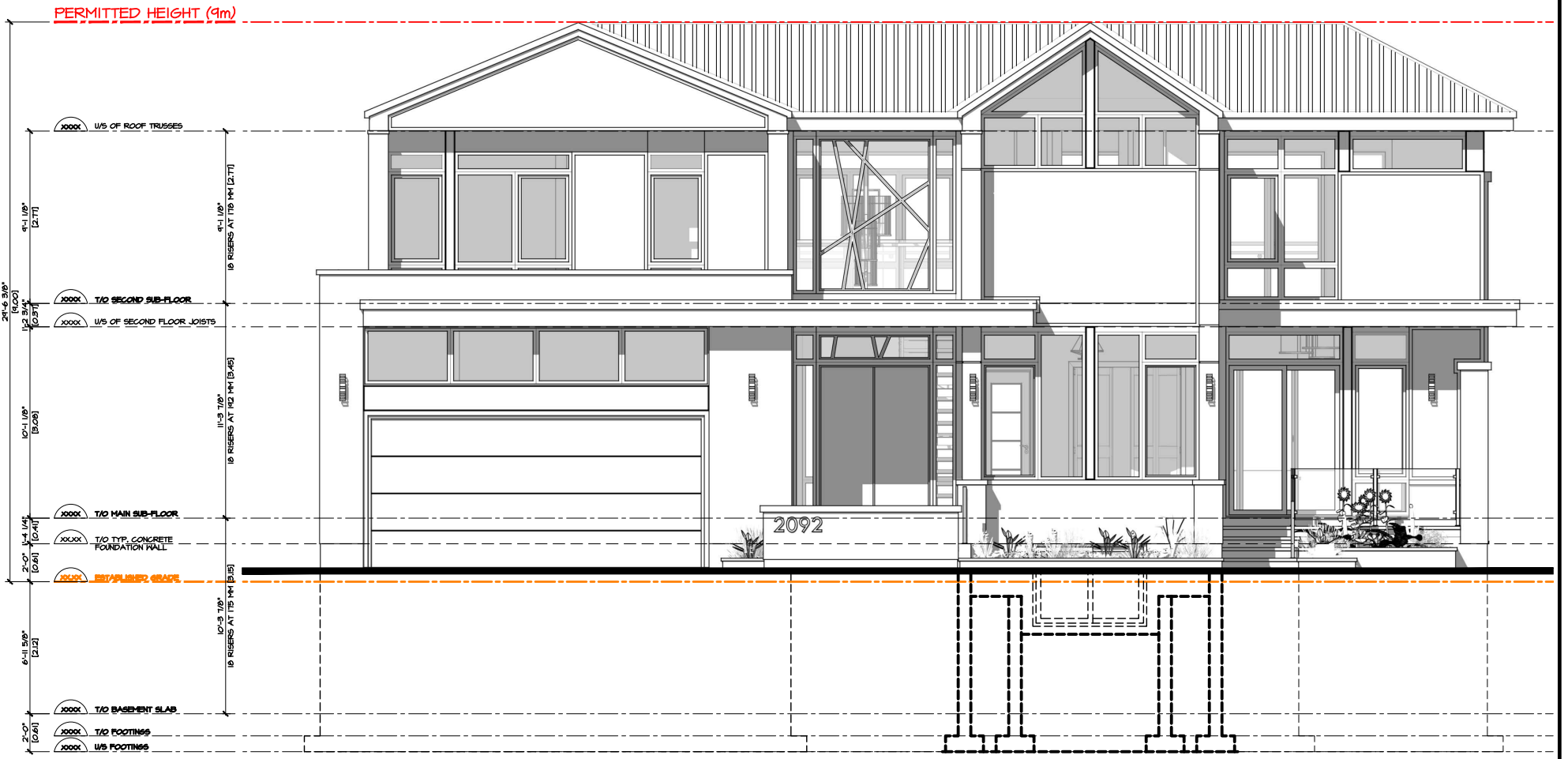
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2092 SEABROOK DR

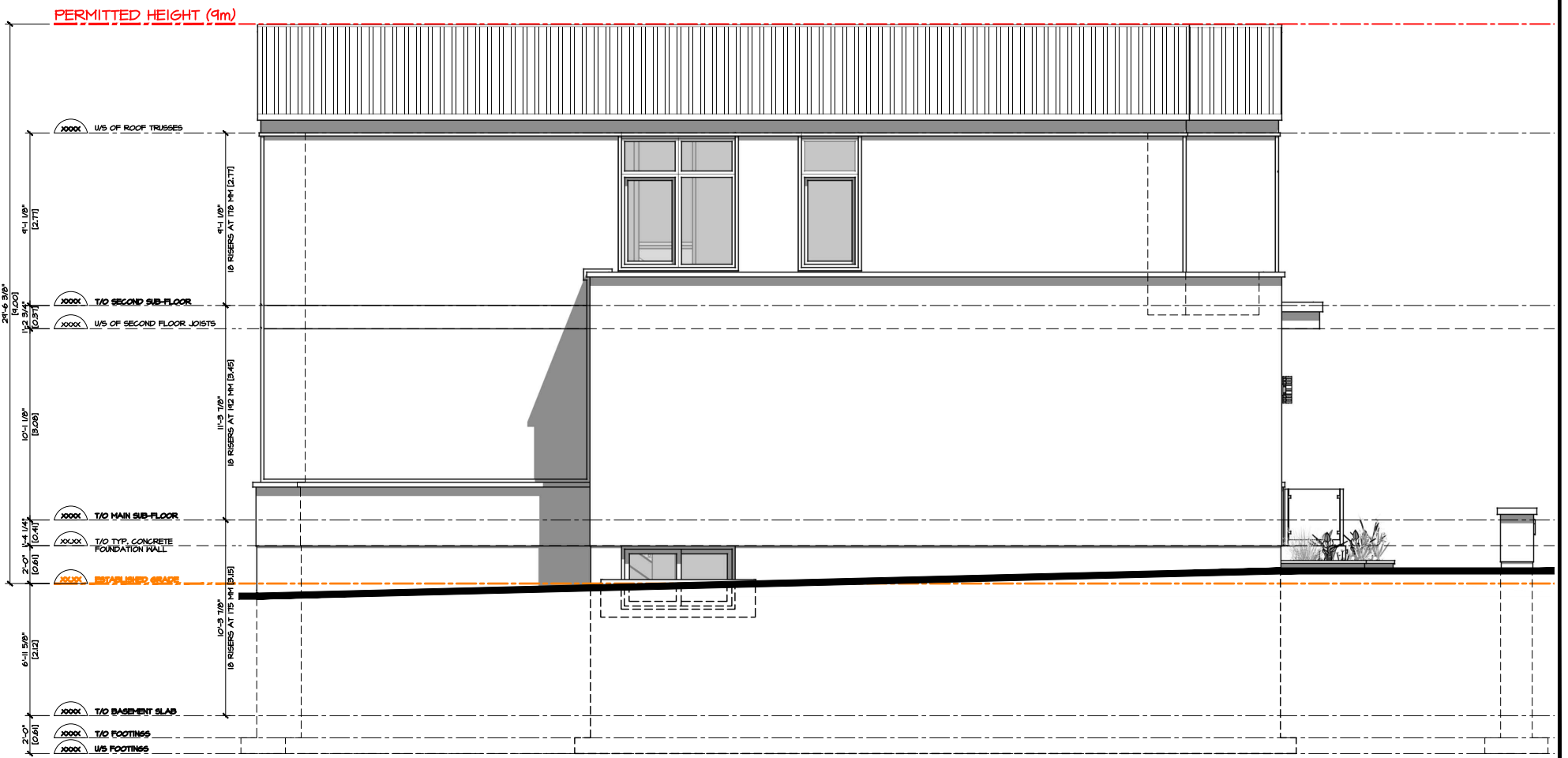
PROJECT TITLE



AS Design Company Inc.  
The Passion of Design  
A: 32 Hockell Street, Ottawa,  
K1P 1B1  
T: (613) 700-0387  
F: (613) 700-0387  
E: AMID@ASDesignCompany.com



**NORTH ELEVATION**  
 SCALE :  $\frac{1}{8}'' = 1'-0''$



**EAST ELEVATION**  
 SCALE :  $\frac{1}{8}'' = 1'-0''$

A2  
 DWG No.:

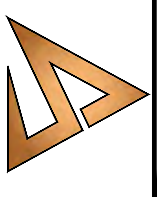
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PROJECT No. :  
 2023-02

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 A: 32 Hockell Street, Ottawa,  
 K1G 0K7  
 T: (613) 700-0387  
 E: AMID@ASDesignCompany.com





NORTH PERSPECTIVE



NORTH WEST PERSPECTIVE

A7  
DWG No.

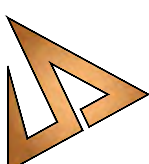
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| DWG BY:  | AS         |

PROJECT No. :  
2023-02

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| 5  | FLOOR PLANS REVIEW | 2023 | 09-28 |
| 6  | ELEV & 3D REVIEW   | 2023 | 10-14 |
| 7  | PLANNING REVIEW    | 2023 | 10-16 |
| 8  | PLANNING REVIEW    | 2023 | 12-10 |
| 9  | FLOOR PLANS REVIEW | 2024 | 05-13 |
| 10 | PLANNING REVIEW    | 2024 | 06-19 |

2092 SEABROOK DR

PROJECT TITLE



AS Design Company Inc.  
The Masters of Design  
A: 32 Hockell Street, Ottawa,  
K1N 6L7  
T: (613) 700-0387  
E: AMID@ASDesignCompany.com





WEST PERSPECTIVE



NORTH EAST PERSPECTIVE

A8  
DWG No.

DATE: 2023-07-17  
CHECKED: AS  
DWG BY: AS


PROJECT No.:  
2023-02

|    |                    |      |       |
|----|--------------------|------|-------|
| 10 | PLANNING REVIEW    | 2024 | 06-19 |
| 9  | FLOOR PLANS REVIEW | 2024 | 05-13 |
| 8  | PLANNING REVIEW    | 2023 | 12-10 |
| 7  | PLANNING REVIEW    | 2023 | 10-16 |
| 6  | ELEV & 3D REVIEW   | 2023 | 10-14 |
| 5  | FLOOR PLANS REVIEW | 2023 | 09-28 |
| 4  | FLOOR PLANS REVIEW | 2023 | 09-20 |

2092 SEABROOK DR

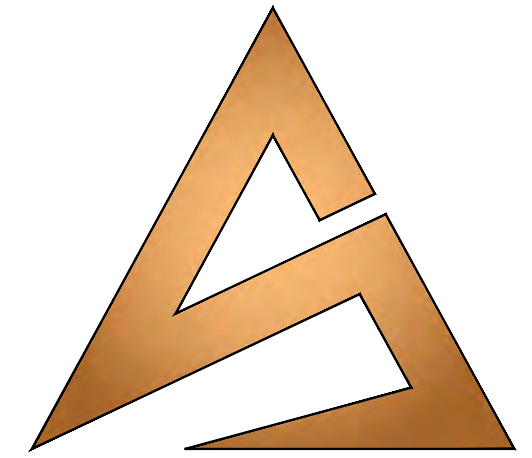
Page 187 of 191

PROJECT TITLE



AS Design Company Inc.  
The Division of Design  
A-32 Hockell Street, Ottawa,  
ON K1P 1G1  
T: (613) 700-0387  
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AS Design Company Inc.  
*The Passion of Design*

AS DESIGN COMPANY | 32 HACKETT STREET,  
OTTAWA, ON, K1V 0P7  
(613) - 7000387  
www.ASDesignCompany.com



2092 SEABROOK DR  
SINGLE FAMILY DWELLING

|                        |          |
|------------------------|----------|
| 10                     | REV. NO. |
| 2023-02                | PR. NO.  |
| 2024-06-19             | DATE     |
| 2092 SEABROOK DR       | LOCATION |
| RL3-0- RESIDENTIAL LOW | ZONING   |

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/079/2024 – Deferred from October 2, 2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at [oakville.ca](http://oakville.ca) on November 13, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

| Applicant / Owner  | Authorized Agent   | Subject Property                     |
|--------------------|--|--------------------------------------|
| M. Amin<br>A. Amin | Michael Barton<br>MB1 Development Consulting Inc<br>1489 Abbeywood Dr<br>Oakville ON, CANADA L6M 2M6 | 2092 Seabrook Dr<br>PLAN 852 LOT 228 |

**Zoning of Property:** RL3-0, Residential

## Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

| No. | Current   | Proposed  |
|-----|---|---|
| 1   | <i>Table 4.3 (Row 7)</i><br>The maximum encroachment into a minimum yard for window wells with a maximum width of 1.8 metres shall be 0.6m.   | To increase the maximum encroachment into the minimum rear yard for the window well to 0.6 m with a maximum width of 4.27 metres. |
| 2   | <i>Section 6.4.1</i><br>The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 743.00 m <sup>2</sup> and 835.99 m <sup>2</sup> shall be 40%. | To increase the maximum residential floor area ratio to 45.04%.   |

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments



regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

Jen Ulcar  
Secretary-Treasurer of Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

October 29, 2024

# CAV A/079/2024 - 2092 Seabrook Drive (Revised)

