



Town of Oakville
Heritage Oakville Advisory Committee

AGENDA

Date: October 29, 2024
Time: 9:30 am
Location: Council Chamber

Town Hall is open to the public and live streaming video is available on <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/live-stream> or at the town's YouTube channel at <https://www.youtube.com/user/TownofOakvilleTV>. Information regarding written submissions and requests to delegate can be found at <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/delegations-presentations>.

	Pages
1. Regrets	
2. Declarations of Pecuniary Interest	
3. Confirmation of Minutes of Previous Meeting(s)	
3.1 Minutes September 17, 2024	3 - 6
4. Discussion Item(s)	
4.1 Heritage Permit Application HP024/24-42.20A – Demolition of existing residence and construction of new residence – 81 Allan Street	7 - 34
Recommendation:	
1. That Heritage Permit Application HP024/24-42.20A for the demolition of the existing residence and construction of a new residence at 81 Allan Street, as attached in Appendix B to the report dated October 15, 2024, from Planning Services, be approved subject to the following:	
a. That final details on the windows, doors, trim, cladding materials and paint colours be submitted to Heritage Planning staff for final approval; and,	
2. That this heritage permit expire two years from the date of final approval by Council.	
4.2 Notice of intention to designate – Multiple properties – October 29, 2024	35 - 140

Recommendation:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the following properties:

1. Glendon House Stone Wall at 225 Bronte Road;
2. Glendon House Stone Wall at 231 Bronte Road;
3. Glendon House Stone Wall at 235 Bronte Road;
4. Dane MacKendrick House at 1314 Lakeshore Road East; and
5. Chapman House at 2167 Rebecca Street.

5. Information Item(s)

5.1 Heritage Conservation District Update

5.2 Designation Project Update

6. Date and Time of Next Meeting

Tuesday November 26, 2024

Oakville Municipal Building

Council Chamber - 9:30 a.m.

7. Adjournment



Heritage Oakville Advisory Committee

MINUTES

Date: September 17, 2024

Time: 9:30 am

Location: Council Chamber

Members: Drew Bucknall, Chair
Councillor Gittings
Russell Buckland
Kerry Colborne
George Gordon
Susan Hobson
Jason Judson
Bob Laughlin
Brenda Sweeney

Regrets: Gerarda (Geri) Tino, Vice-Chair
Jonathan McNeice

Staff: G. Charles, Director of Planning Services
K. Biggar, Manager of Policy Planning and Heritage
C. Van Sligtenhorst, Supervisor of Heritage Conservation
S. Schappert, Heritage Planner
E. Eigl, Heritage Planner
K. McLaughlin, Heritage Planner
J. Radomirovic, Council and Committee Coordinator

A meeting of the Heritage Oakville Advisory Committee was held on September 17, 2024, in the Council Chamber of the Oakville Municipal Building, commencing at 9:30 a.m.

These minutes will go forward to the Planning and Development Council meeting of September 24, 2024 for approval. Please view those minutes to note any changes Council may have made.

1. Regrets

As noted above.

2. Declarations of Pecuniary Interest

No declarations of pecuniary interest were declared.

3. Confirmation of Minutes of Previous Meeting(s)

3.1 Minutes August 27, 2024

Moved by George Gordon

That the minutes of the Heritage Oakville Advisory Committee meeting of August 27, 2024, be approved.

CARRIED

4. Discussion Item(s)

4.1 Heritage permit application HP018/24-42.20S 93 Second Street – addition and renovations to existing residence

Alexandar Temporale, the owner of 93 Secon Street was present.

Moved by Brenda Sweeney

1. That Heritage Permit Application HP018/24-42.20S for the addition and renovations to 93 Second Street, as attached in Appendix B to the report dated September 4, 2024, from Planning Services, be approved subject to the following:
 - a. That final details on the windows, doors, trim, cladding materials and paint colours be submitted to Heritage Planning staff for final approval; and,
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

4.2 Heritage permit application HP019/24-42.20F 31 First Street – Construction of a new enclosed rear porch

Travis Hageman, Designer, Hageman Interior Design, spoke on behalf of the applicant.

Moved by George Gordon

1. That Heritage Permit Application HP019/24-42.20F for the construction of a new enclosed rear porch at 31 First Street, as attached in Appendix B to the report dated September 3, 2024 from Planning Services, be approved subject to the following:
 - a. That final details on the windows, doors, trim, paint colours, brick and stone be submitted to Heritage Planning staff for final approval;
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

5. Confidential Discussion Item(s)

5.1 Ontario Heritage Trust Nominations

Moved by Councillor Gittings

That the nominee for the Ontario Heritage Trust Awards as set out in Confidential Appendix A of the report from Planning Services dated September 4, 2024, be endorsed.

CARRIED

6. Information Item(s)

6.1 Heritage Conservation District Update

6.2 Designation Project Update

6.3 Delegated Heritage Permits, June to August 2024

Moved by Bob Laughlin

That the information item(s) be received.

CARRIED

7. Date and Time of Next Meeting

Tuesday October 29, 2024

Oakville Municipal Building

Council Chamber - 9:30 a.m.

8. Adjournment

The meeting adjourned at 10:09 a.m.

REPORT

Heritage Oakville Advisory Committee

Meeting Date: October 29, 2024

FROM: Planning and Development Department

DATE: October 15, 2024

SUBJECT: Heritage Permit Application HP024/24-42.20A – Demolition of existing residence and construction of new residence – 81 Allan Street

LOCATION: 81 Allan Street

WARD: Ward 3

Page 1

RECOMMENDATION:

1. That Heritage Permit Application HP024/24-42.20A for the demolition of the existing residence and construction of a new residence at 81 Allan Street, as attached in Appendix B to the report dated October 15, 2024, from Planning Services, be approved subject to the following:
 - a. That final details on the windows, doors, trim, cladding materials and paint colours be submitted to Heritage Planning staff for final approval; and,
2. That this heritage permit expire two years from the date of final approval by Council.

KEY FACTS:

The following are key points for consideration with respect to this report:

- The property is designated under Part V of the *Ontario Heritage Act* as part of the First and Second Street Heritage Conservation District.
- The existing residence is identified as a non-historic (non-contributing) property within the First and Second Street Heritage Conservation District Plan. Demolition of non-historic properties can be approved with the approval of plans for new construction.
- Staff is recommending that the application be approved.

BACKGROUND:

The property at 81 Allan Street is located on the east side of Allan Street near its intersection with Robinson Street. A location map is attached as Appendix A. The property contains a one-storey red brick residence constructed in 1953. The property is designated under Part V of the *Ontario Heritage Act* as part of the First and Second Street Heritage Conservation District and is identified as a non-historic, non-contributing property.

The subject heritage permit application is for the demolition of the existing 1953 residence and construction of new two-storey building which will be divided into two unit while retaining the appearance of a single-family home. The application form, photos, and drawings of the proposed work are attached as Appendix B.

As the property is located within the First and Second Street Heritage Conservation District (the District), the District Plan for the HCD is applicable. Relevant excerpts from the District Plan are attached as Appendix C. The proposed residence has also been revised from preliminary designs based on feedback received from member of the Heritage Oakville Advisory Committee during the pre-consultation for the heritage permit application.

The complete heritage permit application was deemed complete on October 1, 2024. In accordance with the *Ontario Heritage Act*, the 90-day deadline for Council to make a decision on the application is December 30, 2024.

COMMENT/OPTIONS:

Proposed Demolition

The existing residence, constructed in 1953, has been identified as non-historic, non-contributing in the First and Second Street Heritage Conservation District Plan and Guidelines. The demolition of this residence may be permitted alongside the approval of the plans for the new residence. A demolition permit from Building Services will not be issued until such time as the applicant has applied for the building permit for the approved new residence.

Proposed New Residence

The proposed replacement residence on the property is a two-storey brick building with vertical wood siding. The siting for the new residence is similar to the existing house, maintaining a similar front setback to avoid damages to the three mature town trees on the front lawn. The front elevation of the new residence is approximately in line with the property to the south and slightly forward compared to the property to the north.

Height of the proposed residence is under what is permitted by the Town's Zoning By-law and has been lowered an additional foot from the preliminary designs, based

on feedback. The proposed roof has two front wall gables with two shed dormers, one to the north and one in between the gables. The roof would be clad in asphalt shingles with standing seam metal roofs on the dormers and porches.

The design of the proposed residence is considered contemporary with traditional details. The relatively block-ish form of the building is broken by the wall gables that create two storey vertical bays with an additional two-storey bay of vertical wood siding to the north. The glazing on the front elevation is an appropriate proportion for the residence and District, with a more contemporary configuration of aluminum clad wood windows proposed. The bay windows are surrounded by wood panelling painted in a shade of cream. The proposed cladding material for the residence is buff brick with natural stained wood siding.

While the proposed building will have two units, divided horizontally, the building is being constructed with the potential for easy conversion to a single-family home. The main entrance faces Allan Street and has a small overhanging roof with wood door and sidelights. The proposed front door is a contemporary design of vertical panelled wood. Doors on the side and rear elevations are proposed to be glass and metal. The north elevation of the building houses the secondary entrance to the upper unit of the building. The rear elevation has a higher percentage glazing looking into the rear yard.

The driveway access is located to the south of the residence, where the current driveway is. The retaining wall along the front of the property at the sidewalk will be rebuilt to retain the existing grades. No mature trees are proposed to be removed as part of this heritage permit application, although several shrubs will be removed. Any additional landscaping will be part of a future heritage permit application.

When evaluating the changes to the subject property, the District Plan for the First and Second Street HCD is the primary policy document to use (attached as Appendix C). Additionally, Heritage Planning staff reviewed the proposed application with consideration of the town's Livable Oakville Plan and its cultural heritage policies, which support the conservation and enhancement of the town's heritage conservation districts.

The location of the new residence is appropriate as it is sited in a similar position to the existing residence. The architect has provided a streetscape drawing that shows the proposed building in context with its north and south neighbours. The scale and massing do not overwhelm the streetscape and are in keeping with the character of the District. The overall design reflects a more contemporary architectural style tempered with traditional elements, such as the gable roof and brick cladding.

While the preferred colour for brick in the District is red, the proposed buff colour is not inappropriate within the context of the heritage character of the area. The neutral and natural tones of the materials of the building help it blend with the streetscape.

Window and door materials are in keeping with the guidelines of the District Plan. The amount of glazing on the front elevation is within the recommended proportions. The asphalt shingles are appropriate with the standing seam metal roofs of the dormers acting as accents. The front porch creates a focal point for the main entrance to the residence, as it reads as a single-family home.

Overall, the proposed new residence will fit into the streetscape of Allan Street without detracting from the heritage value of nearby historic buildings. The applicant has responded appropriately to the feedback received at the pre-consultation meeting and the revised drawings are appropriate for a replacement building on a non-contributing property in the First and Second Street Heritage Conservation District.

Conclusion

The subject proposal is therefore considered to meet the guidelines of the First and Second Street Heritage Conservation District Plan. Staff recommends that this heritage permit application be approved subject to the conditions in the recommendation.

The works proposed are subject to other applicable town regulations and requirements, such as site alteration permits and building permits. It is the applicant's responsibility to review these matters with applicable staff.

CONSIDERATIONS:

(A) PUBLIC

There is no public notification required.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

There is no impact on other departments and users.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability, and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing greenhouse gas emissions.

APPENDICES:

Appendix A – Location map

Appendix B – Heritage permit application

Appendix C – Excerpts from HCD Plan and Guidelines

Prepared by:

Susan Schappert, CAHP, MCIP, RPP
Heritage Planner

Recommended by:

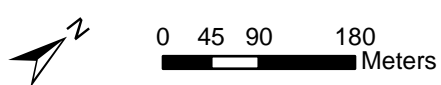
Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning and Development Services



Town of Oakville, Maxar, Microsoft



81 ALLAN ST

LOCATION

 **SUBJECT LANDS**

Community Development Commission

APPENDIX B

HERITAGE PERMIT

Application Form

Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.

Policy Planning & Heritage
Planning Services Department
Town of Oakville

A – Property and Applicant Information

Property Address: 81 Allan street

Owner Contact Information:

[Redacted contact information]

Agent Contact Information (if applicable):

Name: Alison Strickland

Company Name: Narratif Design Inc.

Address & Postal Code: 33 Shepherd Rd, Unit 100, Oakville, L6K2G6

Phone: 4168255272

E-mail: narratif.design@gmail.com

B – Heritage Permit Application Summary

Alterations to Building New Construction Landscaping Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. Demolition of existing house and garage

2. New construction of a detached two-storey two-dwelling unit

3.

4.

5.

6.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

Although this property falls under Part V in the First and Second Street Heritage Conservation District, the existing dwelling itself does not fall under any Heritage jurisdictions.

The development proposal involves removing the existing single story ranch-style bungalow, and replacing it with a new 2 story dwelling. The property is located on the outer edge of the heritage district, close to lakeshore rd, where the heritage qualities have already become more transitional and disparate with various different styles of building now contributing to the mixed nature of the district periphery. Therefore, whilst opting for a less traditional language of expression in this design, the guidelines of preserving the heritage fabric have been incorporated through the geometry of gables, the use of shed roof dormers, bay windows, and the mix of materials reflects features of the heritage neighbourhood, and an incremental growth that happens over time as buildings get extended or added to.

Furthermore, density to the downtown area has been increased in a manner that maintains existing scale and massing conditions along the streetscape. This density increase aligns with Town goals while maintaining the rhythm and pattern of the streetscape of single detached family homes. This design will also support the conservation and upkeep of surrounding heritage properties through a comprehensive restoration of the site. All zoning requirements have been either met (coverage) or bettered (building height, setbacks, ...) Following initial feedback from the heritage committee, the overall building height has been lowered by one foot, the south bay window width on the front elevation has been reduced, detailing has been amended, and certain building materials have been reconsidered.

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

- | | | |
|-------------------------|---|--|
| Building Permit | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
| Minor Variance * | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Plan | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Alteration | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
| Sign Permit | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Tree Removals | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |

*Prior to submission of your heritage permit application, any relevant minor variance application must have been submitted and confirmed on a Committee of Adjustment meeting agenda. The Committee of Adjustment must make a decision on the variance(s) before the heritage permit will be considered by the Heritage Oakville Advisory Committee.

If Yes, please describe the application for all required approvals listed above:

We are currently under review for building permit, we have also applied for development engineering permit, site services permit, and we are awaiting forestry sign-off.

E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	New	Wood Siding Brick Painted wood trim/ panels	Natural Brown Buff tone	
Roof	New	Asphalt Shingles & Standing seam metal roof	Weathered Wood Bronze Metal	
Foundation Walls	New	Concrete	Natural	
Trim	New	Painted trim / panels	Cream/ beige	
Doors	New	Front: Wood Rear & Side: Glass & metal	Stained natural brown	Rear & Side; metal clad Windswept smoke
Windows	New	Metal and Wood	Metal clad wood window Windswept Smoke	With SDL - 7/8 putty glaze style
Porch	New	Wood - stained brackets, T & G ceiling, Flagstone steps	Natural brown & natural stone	
Fencing	New	Wood	Natural tones	
Landscaping	New	Masonry retaining wall	to match house	
Other	New			

F – Completed Submission

Before submitting this application, please check off the following applicable boxes to ensure that your application is complete:

- Pre-consultation meeting with staff has been completed
- Digital copies of all drawings have been submitted
- Digital copies of all photographs have been submitted
- Relevant minor variances have been submitted to the town and assigned to a Committee of Adjustment agenda (*if applicable*)

G – Declaration & Signature

I hereby declare that the statements made herein are, to the best of my belief and knowledge, a true and complete representation of the purpose and intent of this application. I have reviewed the submission requirements and understand that incomplete applications may not be accepted.

I also understand that the proposal must comply with all other applicable legislation and by-laws and that other approvals if required must be described clearly in Section D of this application form (ie. minor variance, site plan, building permit, sign permit, site alteration, tree permit).

I acknowledge that any change to the approved drawings, however small, may require an amendment to the permit and may require resubmission for approval. Failure to reveal these changes to Heritage Planning staff may result in work stoppage and charges and/or fines under the *Ontario Heritage Act*.

I acknowledge that Town of Oakville staff and members of the Heritage Oakville Advisory Committee may visit the property that is the subject of this application for the purpose of evaluating the merits of this application. Property entry will be organized with the applicant or agent prior to entry.

I acknowledge that personal information on this form is collected under the authority of the *Ontario Heritage Act* and will be used to process heritage permit applications.


I confirm that the owner and/or agent for this property has reviewed this application with Heritage Planning staff at a pre-consultation meeting.

September 25, 2024

Date

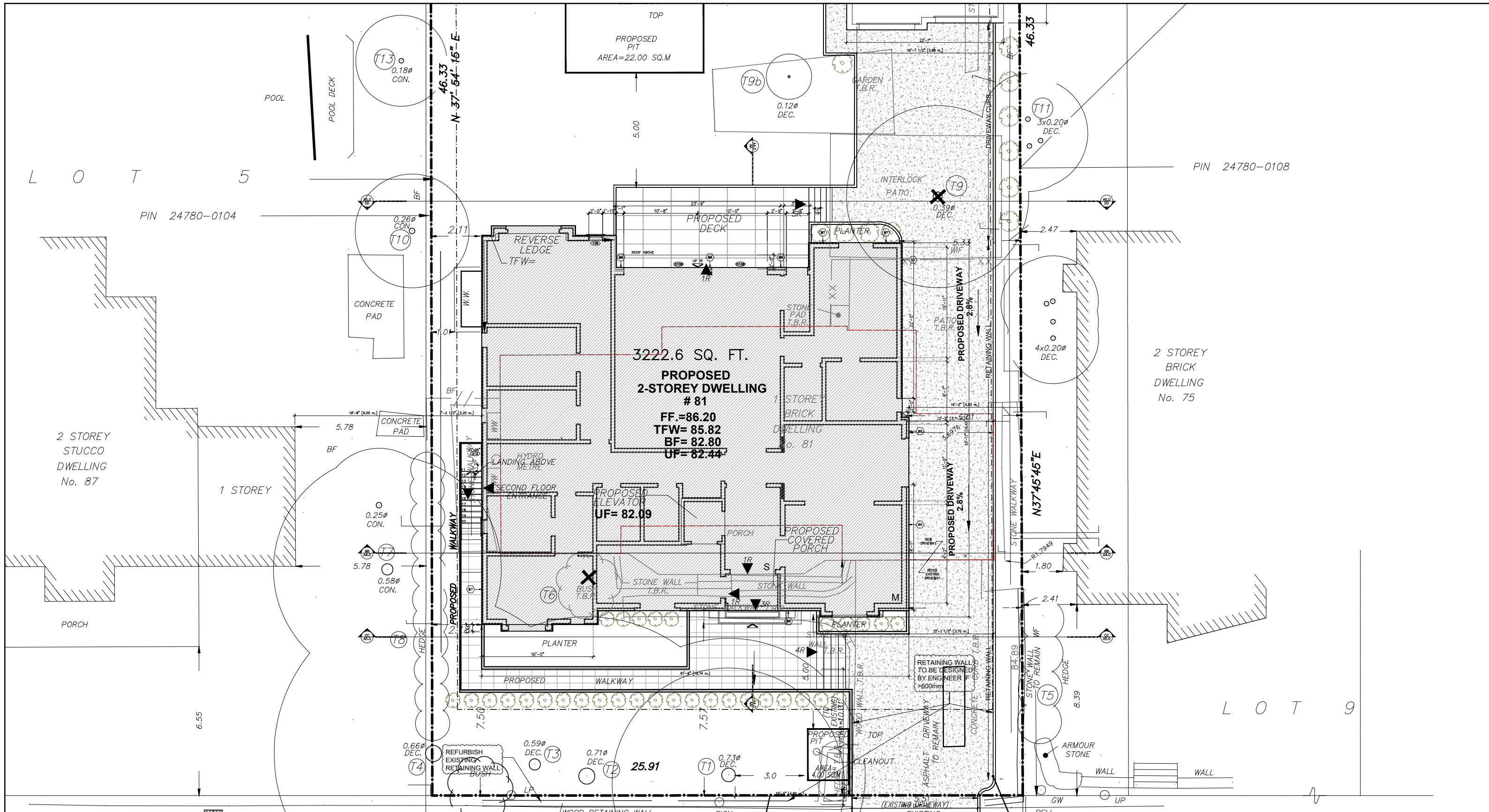
September 25, 2024

Date



Agent's Signature (*if applicable*)

This form is available in an alternate format upon request. Please contact the Planning Services Department for details.
Phone 905-845-6601 TTY 905-338-4200



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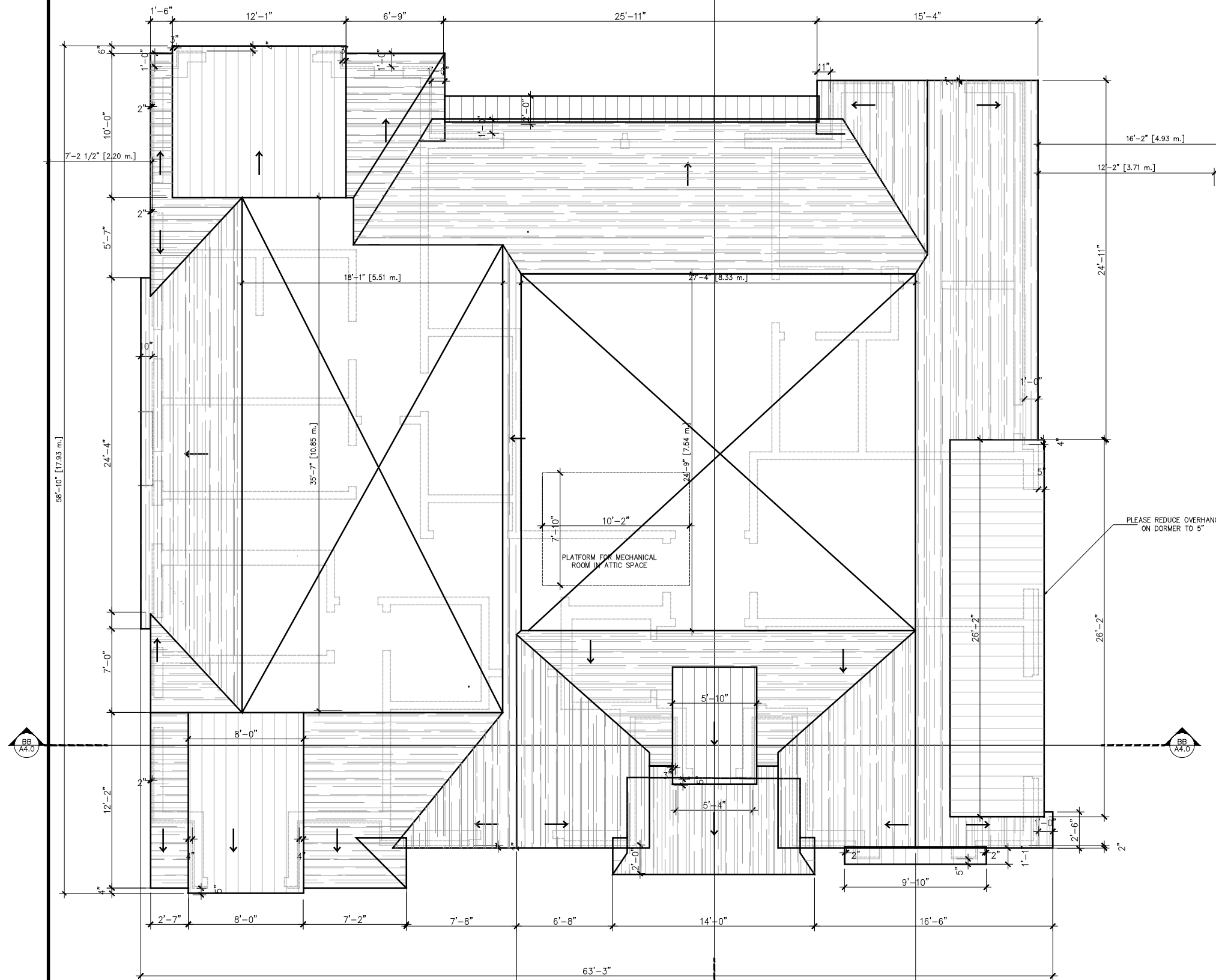


PROJECT: **Ayatollayi Residence**
 81 Allen Street
 DWG. TITLE: **SITE PLAN**

Approved/Client Sign Off _____ Date: _____

DATE: 9/26/2024
 SCALE: 1/8"=1'-0"
 DWN BY: XX
 PROJECT ID: 23.13

A2



SA SMOKE ALARM
 CMA CARBON MONOXIDE ALARM
 30 MIN FIRE SEPARATION

NOTE: INSTALL SMOKE ALARMS AS PER O.B.C. 9.10.19 & 9.36.2.4.(1)
 NOTE: INSTALL CO ALARMS AS PER O.B.C. 9.33.4
 NOTE: FOR STRUCTURAL DRAWINGS PLEASE REFER TO THE STRUCTURAL SET DWG NO S1.0, S1.1, S2.0, S3.0, S4.0, S5.0, S6.0, S7.0.

WALL LEGEND:
 BRICK
 WALLS TO BE DEMOLISHED
 WALLS ABOVE

CEILING LEGEND:
 CEILING BULKHEADS

#	DATE	REVISION / ISSUE	CHKD
1		#	



1 FRONT ELEVATION
A3.0 SCALE: 3/16" = 1'-0"

SA SMOKE ALARM
 CMA CARBON MONOXIDE ALARM
 30 MIN FIRE SEPARATION

NOTE: INSTALL SMOKE ALARMS AS PER O.B.C. 9.10.19 & 9.36.2.4.(1)
 NOTE: INSTALL CO ALARMS AS PER O.B.C. 9.33.4

NOTE: FOR STRUCTURAL DRAWINGS PLEASE REFER TO THE STRUCTURAL SET DWG NO S1.0, S1.1, S2.0, S3.0, S4.0, S5.0, S6.0, S7.0.

#	DATE	REVISION / ISSUE	CHKD
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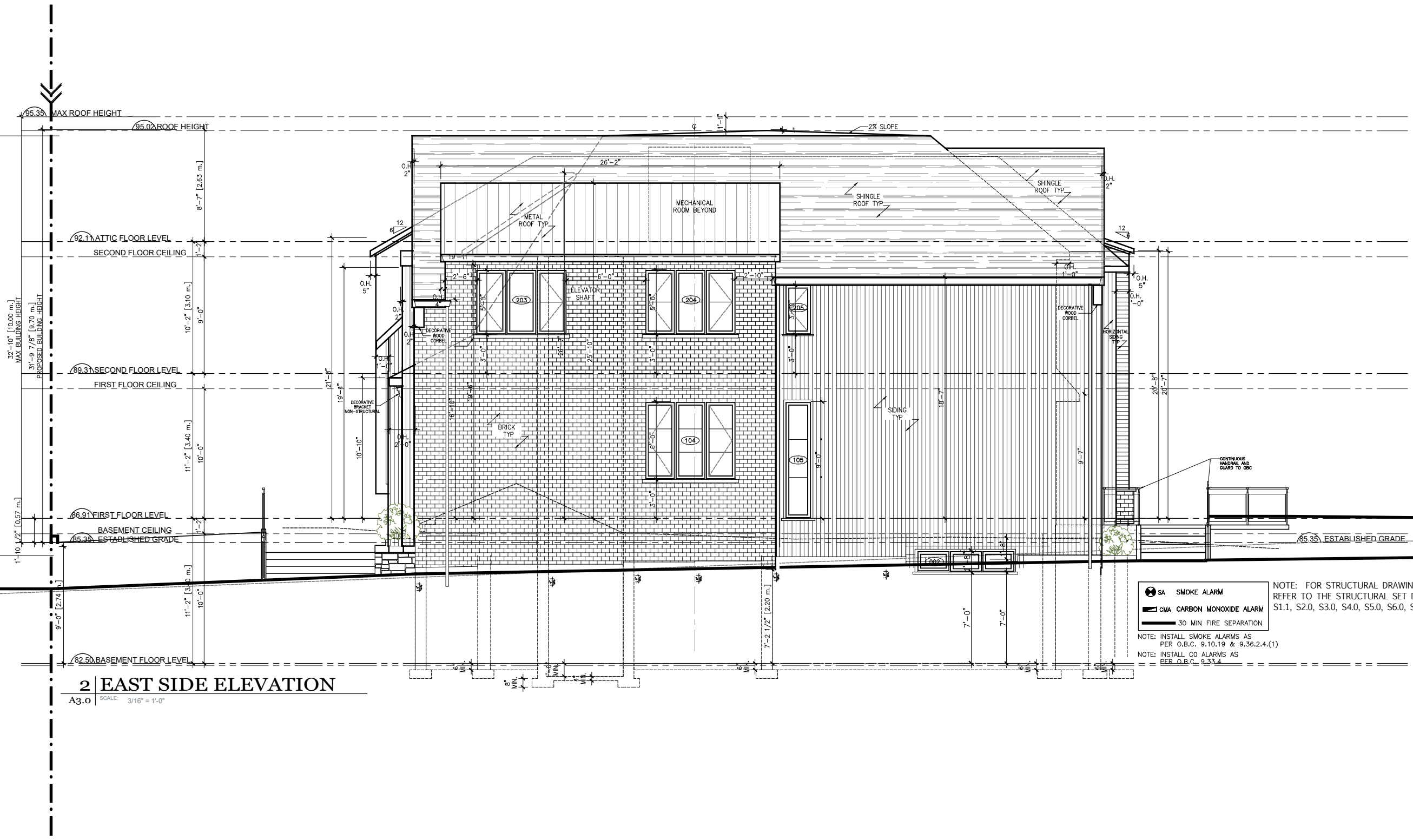
PROJECT: **Ayatollayi Residence**
81 Allen Street

DWG. TITLE: **FRONT ELEVATION**

Approved/Client Sign Off _____ Date: _____

DATE: 9/26/2024
SCALE: 1/8"-1'-0"
DWN BY: KD
PROJECT ID: 23.13

32'-4" [9.85 m.] PERMISSIBLE BUILDING DEPTH



2 EAST SIDE ELEVATION
A3.0 SCALE: 3/16" = 1'-0"

SA SMOKE ALARM
 CMA CARBON MONOXIDE ALARM
 30 MIN FIRE SEPARATION

NOTE: FOR STRUCTURAL DRAWINGS PLEASE REFER TO THE STRUCTURAL SET DWG NO S1.0, S1.1, S2.0, S3.0, S4.0, S5.0, S6.0, S7.0.
 NOTE: INSTALL SMOKE ALARMS AS PER O.B.C. 9.10.19 & 9.36.2.4(1)
 NOTE: INSTALL CO ALARMS AS PER O.B.C. 9.33.4

#	DATE	REVISION / ISSUE	CHKD
1		#	



PROJECT: **Ayatollayi Residence**
 81 Allen Street
 DWG. TITLE: **SIDE ELEVATION**

Approved/Client Sign Off _____ Date: _____

DATE: 9/26/2024
 SCALE: 1/8"-1'-0"
 DWN BY: KD
 PROJECT ID: 23.13

A7
 SHEET No. 11x17



1 REAR ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

SA SMOKE ALARM
 CMA CARBON MONOXIDE ALARM
 30 MIN FIRE SEPARATION
 NOTE: INSTALL SMOKE ALARMS AS PER O.B.C. 9.10.19 & 9.36.2.4.(1)
 NOTE: INSTALL CO ALARMS AS PER O.B.C. 9.33.4
 NOTE: FOR STRUCTURAL DRAWINGS PLEASE REFER TO THE STRUCTURAL SET DWG NO S1.0, S1.1, S2.0, S3.0, S4.0, S5.0, S6.0, S7.0.

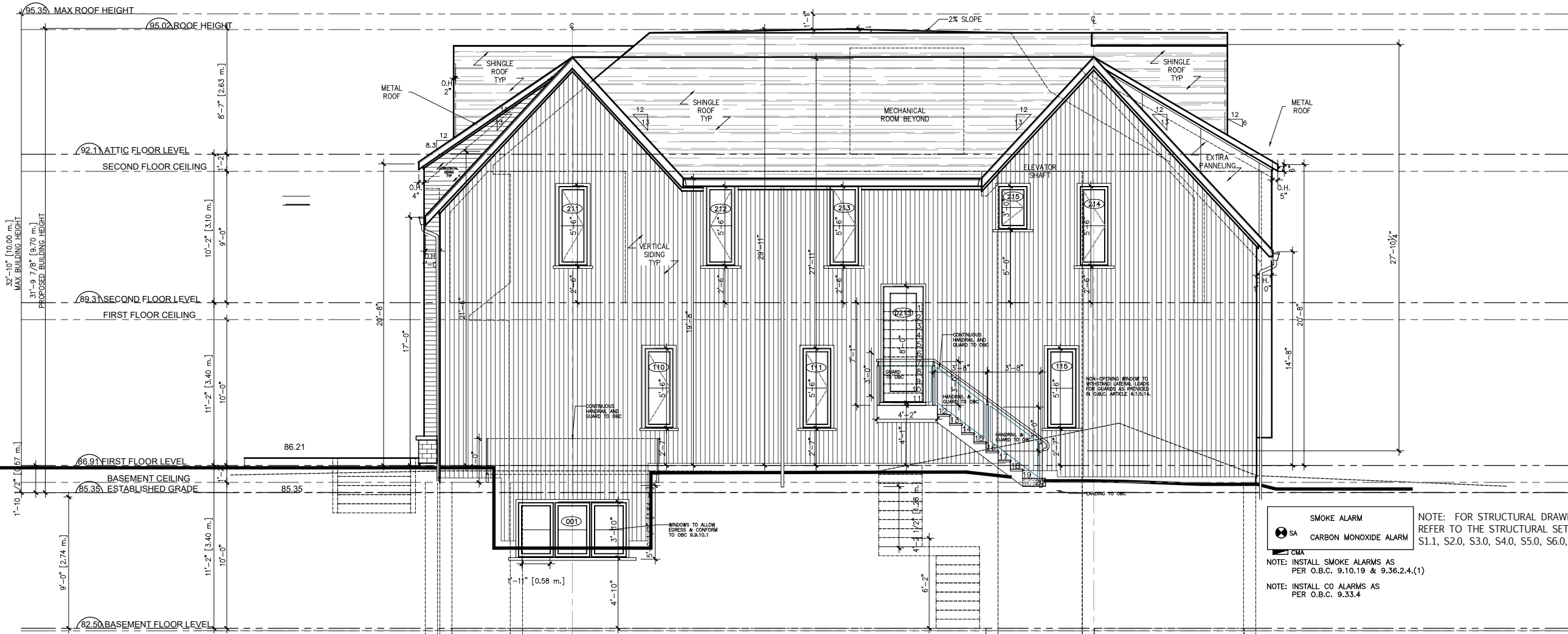
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PROJECT: **Ayatollayi Residence**
 81 Allen Street
 DWG. TITLE: **REAR ELEVATION**

Approved/Client Sign Off _____ Date: _____

DATE: 9/26/2024
 SCALE: 1/8"-1'-0"
 DWN BY: KD
 PROJECT ID: 23.13



2 WEST SIDE ELEVATION
 A3.2 SCALE: 3/16" = 1'-0"

#	DATE	REVISION / ISSUE	CHKD
1		#	



PROJECT: **Ayatollayi Residence**
 81 Allen Street
 DWG. TITLE: **SIDE ELEVATION**

Approved/Client Sign Off _____ Date: _____

DATE: 9/26/2024
 SCALE: 1/8"-1'-0"
 DWN BY: KD
 PROJECT ID: 23.13



#	DATE	REVISION / ISSUE	CHKD
1		#	



PROJECT: **Ayatollayi Residence**
 81 Allen Street
 DWG. TITLE: **SITE SECTION**

Approved/Client Sign Off _____ Date: _____

DATE: 9/26/2024
 SCALE: 1/16"=1'-0"
 DWN BY: KD
 PROJECT ID: 23.13

A10

11x17

SHEET No.



NARRATIF

www.narratif.ca

PROJECT: Ayatollayi Residence
81 Allan Street, Oakville

DWG TITLE: Front Elevation Rendering Page 24 of 140

DATE: 09/26/2024
SCALE: NTS
DWN BY: A.S.
PROJECT ID: 23-13

NARRATIF

designing the story of your space

Narratif Design Inc.
33 Shepherd Rd, Unit 100
Oakville, Ontario
L6K 2G6

Site Photos

Property Address:

81 Allan Street, Oakville, ON









APPENDIX C

4.3.3 NEW DEVELOPMENT

4.3.3.1 Impact on Heritage Character of the District

- 4.3.3.1.1 *New development* on a Non-Contributing Property may be permitted, providing it does not negatively impact the *heritage character* of the District.

4.3.3.2 Location, Scale and Massing

- 4.3.3.2.1 *New development* shall be compatible with the existing streetscape, in terms of the rhythm, alignment, spacing, setbacks, massing, and orientation of buildings in the streetscape. (See Section 4.3.1 - General Policies for Non-Contributing Properties for more detailed guidelines regarding spaces around buildings, setbacks and streetscape rhythm)
- 4.3.3.2.2 The siting and design of *new development* shall respond to the unique conditions of particular property locations, such as corner lots, lots created by severance or lots adjacent to the Lake Ontario shoreline.
- 4.3.3.2.3 *New development* shall protect and maintain the *heritage character* of the District by displaying a clear simplicity of massing, proportions, and roof forms.
- 4.3.3.2.4 The massing and proportions of new construction should conform to any applicable regulations of the Town of Oakville Zoning By-law in effect subject to amendments and variances that may be approved.

4.3.3.3 Height

- 4.3.3.3.1 Protect and maintain the historic low-rise scale of the District.
- a. The maximum height for *new development* shall be the maximum height permitted for the District under the Town of Oakville's Zoning By-law in effect subject to amendments and variances that may be approved.

4.3.3.4 Style

- 4.3.3.4.1 The architectural style of *new development* shall be compatible with *heritage character* of the District.
- a. *Non-traditional styles* may be permitted providing their application respects the scale, massing, set-backs and materials of the *heritage buildings*, and does not negatively impact the *heritage character* of the District.
 - b. The design of *new development* shall maintain a consistent approach to the application of the chosen architectural style for all building elements.

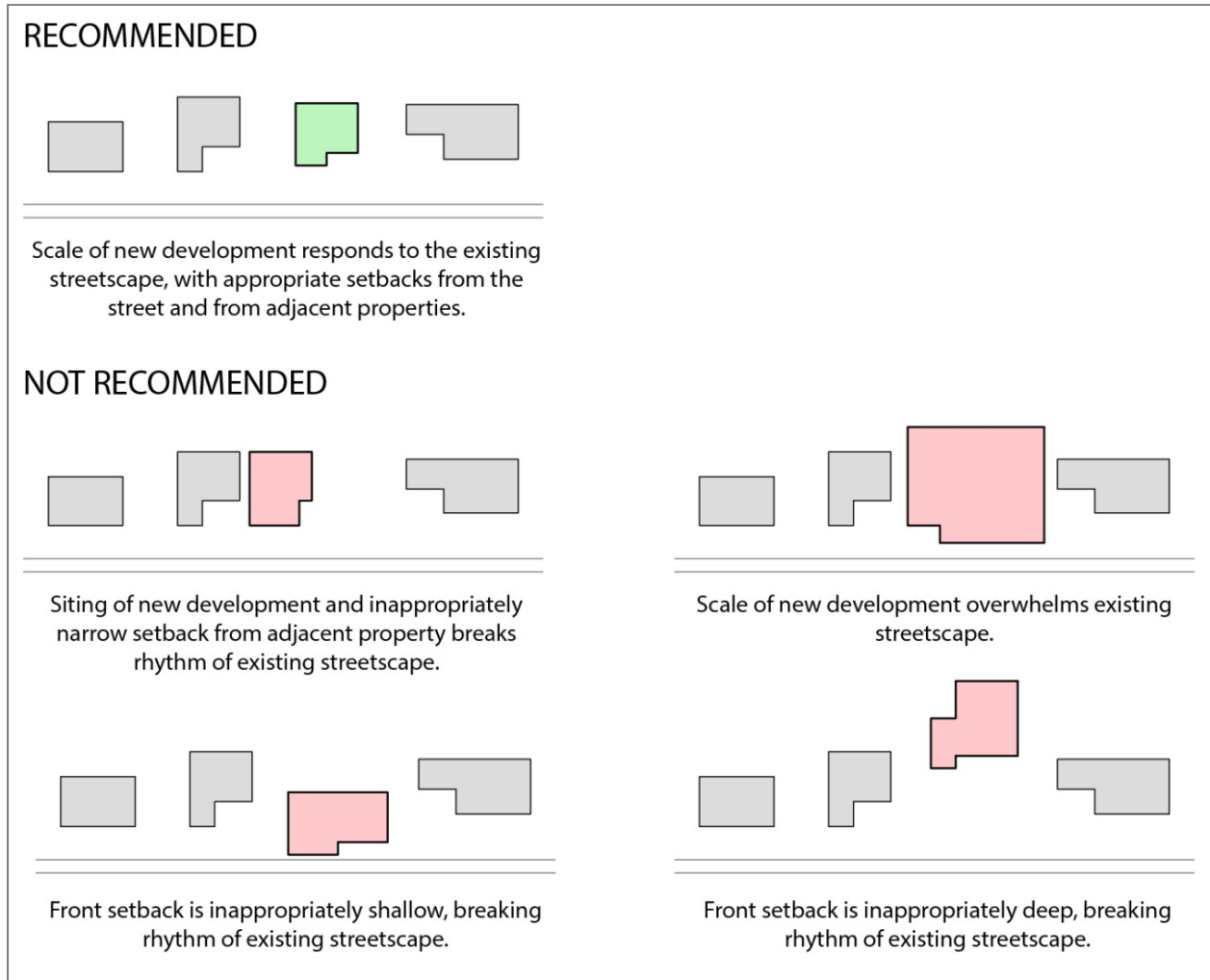


Figure 20: Guidelines for siting new development within the existing streetscape.

4.3.3.5 Roofs

- 4.3.3.5.1 Roof forms shall not negatively impact the *heritage character* of the District.
- Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - Mansard roofs and gambrel roofs are not appropriate for the District.
 - While not appropriate for entire structures or large *additions*, flat roofs and shed roofs may be permitted for small wings of buildings, where compatible with the form and architectural style of the main building and its roof.
- 4.3.3.5.2 Roofing materials shall not negatively impact the *heritage character* of the District.
- Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will be considered on a case-by-case basis. Membranes will only be considered on flat roofs.
 - Aluminum or PVC soffits and fascia will not be permitted.

- 4.3.3.5.3 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- a. Roof ventilation equipment, satellite dishes, plumbing vents and other stacks may be permitted on *new development*, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - b. Skylights should be located on rear or secondary elevations. Skylights located on main elevation shall be flat.
 - c. Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - d. The form, materials and colours of eavestroughs and downspouts shall not distract or detract from the architectural style of the building.
 - e. Flashing should be coloured to match the wall against which it is located.

4.3.3.6 Dormers

- 4.3.3.6.1 Dormers may be permitted, providing they are compatible with the architectural style and form of the building and do not negatively impact the *heritage character* of the District.
- a. Scale new dormers to complement the design and scale of the roof and windows of the building.

Best Practices – Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.3.3.7 Windows

- 4.3.3.7.1 Windows in *new development* shall not negatively impact the *heritage character* of the District.
- a. Consider the historic solid to void ratios and the rhythm of windows and bays.
 - b. Where casement, double-hung, and other traditionally-operable window styles are used on *additions*, they shall be operable.
 - c. Blank windowless walls shall not be permitted.
 - d. Consider the historic solid-to-void ratios and the rhythm of windows and bays. In the District, this void ratio has ranged from 15% to 35%, with the exception of sun rooms or conservatories.
 - e. Windows shall be wood or aluminum-clad wood.
 - f. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District. They do not adequately replicate wood windows in their detailing, finishes, profiles and colour; their sashes, frames and mouldings are often much flatter in appearance.

- g. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.

See Figure 15 on page 35 for a reference diagram of muntin types.

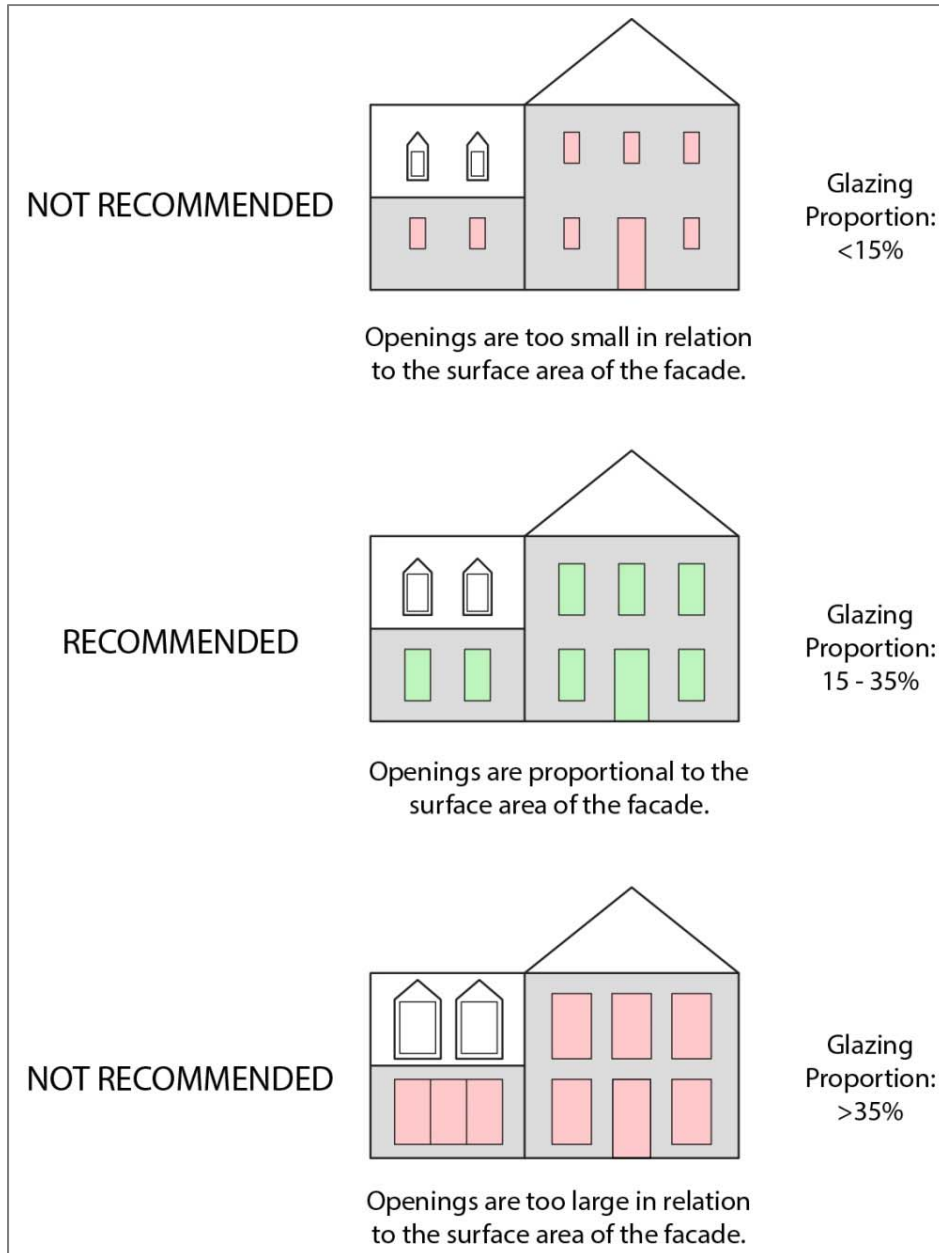


Figure 21: Guidelines for the solid-to-void ratio of new development.

4.3.3.8 Entrances

4.3.3.8.1 Entrances in *new development* shall not negatively impact the *heritage character* of the District.

4.3.3.8.2 Main entrances shall be oriented towards the *public realm*.

4.3.3.9 Porches and Porticos

4.3.3.9.1 Porches and porticos may be permitted, providing they are appropriate for the architectural style of the building and do not negatively impact the *heritage character* of the District.



Figure 22: Entrance portico on 59 Allan St. (left); porch on 37 First St. (right).

Best Practices – Porches and Porticos

When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.3.3.10 Garages

In addition to the policies listed below, all policies under Section 4.3.1 – General Guidelines and Section 4.3.3 – New Development apply to new garages, as do all applicable requirements under the Town of Oakville’s Zoning By-Law in effect subject to amendments and variances that may be approved.

4.3.3.10.1 *Attached, integral and detached* garage forms may be permitted on Non-Contributing Properties, providing they respond respectfully and appropriately to the shape of the lot and the architectural style and form of the main building. *Detached garages* are preferable.

4.3.3.10.2 New garages shall be located and massed so as to minimize their visibility from the *public realm*

- a. Garages shall be lower in profile than the main building, and be complementary in design, materials and colour.
- b. Use landscaping treatments to shield garages from view. (See Section 4.4.1 – *Guidelines for Landscape Conservation and Design – Private Property*)
- c. Locate *attached* and *integral garages* on rear or secondary elevations of the main building. When located on side elevations, *attached garages* should be set back from the main elevation.
- d. Locate *detached garages* to the rear or side of the main building, set back substantially from the main elevation.
- e. Garage doors and windows shall reflect the style of those on the main building
- f. Garage door openings should be single car width, with separated overhead doors in the case of a double vehicle garage.

4.3.3.11 Utility and Service Equipment

4.3.3.11.1 Utility and service equipment shall not negatively impact the *heritage character* of the District, and shall be located so as to minimize their visibility from the *public realm*.

- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 – *Guidelines for Landscape Conservation and Design – Private Property, for guidance on screening*)

4.3.3.12 Exterior Walls

4.3.3.12.1 The cladding materials of *new development* shall be compatible the District and shall not negatively impact its *heritage character*.

- a. Red brick, stucco, wood clapboard and wood shingles are appropriate cladding materials for the District.
- b. Contemporary and other non-traditional materials, such as metal panelling and glass (curtain walls), stone and artificial stone may be permitted for accent, but not as the principal cladding.
- c. Metal, vinyl and plastic composite siding shall not be permitted.
- d. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.
- e. For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the building and the District.



REPORT

Heritage Oakville Advisory Committee

Meeting Date: October 29, 2024

FROM: Planning and Development Department

DATE: October 15, 2024

SUBJECT: Notice of intention to designate – Multiple properties – October 29, 2024

LOCATION: Multiple properties

WARD: Ward 1 and 3

Page 1

RECOMMENDATION:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the following properties:

- 1) Glendon House Stone Wall at 225 Bronte Road;
- 2) Glendon House Stone Wall at 231 Bronte Road;
- 3) Glendon House Stone Wall at 235 Bronte Road;
- 4) Dane MacKendrick House at 1314 Lakeshore Road East; and
- 5) Chapman House at 2167 Rebecca Street.

KEY FACTS:

The following are key points for consideration with respect to this report:

- As part of the Heritage Designation Project 2023-2025, Heritage Planning staff has evaluated the subject properties and considers them worthy of conservation and heritage designation.
- Staff is recommending that the subject properties be designated under section 29, Part IV of the *Ontario Heritage Act* and that notices of intention to designate be issued by Council for each property.

BACKGROUND:

In October 2022, Ontario's Ministry of Municipal Affairs and Housing introduced Bill 23, *More Homes Built Faster Act, 2022*. The bill included several amendments to the *Ontario Heritage Act*, including a two-year time limit for listed properties to remain on municipal heritage registers. In early 2023, Policy Planning & Heritage initiated the

Heritage Designation Project 2023-2025 to designate approximately 80 listed properties prior to their required removal from Oakville's Heritage Register on January 1, 2025. The subject properties of this report were included as priorities within that list.

In June 2024, Bill 200, *Homeowner Protection Act, 2024*, was passed. This bill extended the two-year time limit for existing listed properties on municipal heritage registers from January 1, 2025 to January 1, 2027. While these additional two years are beneficial, staff is continuing the work of the Heritage Designation Project 2023-2025 with the original project timeline, based on staff resources.

Location maps for the subject properties are attached as Appendix A.

A Cultural Heritage Evaluation Report (CHER) has been prepared by staff for each property. These documents provide an overview of each of the property's history, current condition and cultural heritage value. The CHERs are attached as follows:

Appendix B – Cultural Heritage Evaluation Report – 225, 231 and 235 Bronte Road

Appendix C – Cultural Heritage Evaluation Report – 1314 Lakeshore Road East

Appendix D – Cultural Heritage Evaluation Report – 2167 Rebecca Street

Draft Notices of Intention to Designate have also been prepared by staff for each property and are attached as Appendix E.

COMMENT/OPTIONS:

The Province of Ontario has made a clear commitment to the conservation of significant cultural heritage resources through its legislation and policies, including the *Ontario Heritage Act (2021)*, *Planning Act (1990, as amended)* Provincial Policy Statement (2020), the Growth Plan for the Greater Golden Horseshoe (2019).

The PPS (2020) and Growth Plan (2019) function together with the *Ontario Heritage Act (OHA)* by the shared principle that cultural heritage resources shall be conserved. The OHA sets out the procedures for evaluating and protecting heritage resources at the provincial and municipal levels. This includes the use of Ontario Regulation 9/06 as the means for determining if a property has cultural heritage value.

This commitment to heritage conservation continues at the regional and municipal level through supportive objectives and directions outlined in the Region of Halton Official Plan and the town's Livable Oakville Plan and North Oakville East and West Secondary Plans.

In accordance with the OHA, a property must meet at least two criteria of Ontario Regulation 9/06. The subject properties have been evaluated using these criteria. Staff considers each property to meet at least two or more of these criteria, and therefore each property merits designation under section 29, Part IV of the OHA. The attached Cultural Heritage Evaluation Reports provide more details on the cultural heritage value of each property.

Also attached are draft Notices of Intention to Designate. These provide a clear outline of each property's cultural heritage value and the heritage attributes recommended for protection and conservation through a future designation by-law. Separate staff reports recommending designation of the subject properties will be presented to Planning & Development Council at a future meeting.

CONSIDERATIONS:

(A) PUBLIC

If notice is to be issued for the designation of the property, notice will be given in accordance with the town's *Ontario Heritage Act* Alternative Notice Policy.

(B) FINANCIAL

There are no financial implications to consider.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The Legal department will be consulted on the designations as necessary.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities of Community Belonging, Environmental Sustainability and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing carbon footprints. The retention and conservation of these historic buildings through heritage designation contributes to the town's initiatives to reduce carbon footprints.

APPENDICES:

Appendix A – Location Maps

Appendix B – Cultural Heritage Evaluation Report – 225, 231 and 235 Bronte Road

Appendix C – Cultural Heritage Evaluation Report – 1314 Lakeshore Road East

Appendix D – Cultural Heritage Evaluation Report – 2167 Rebecca Street

Appendix E – Draft Notices of Intention to Designate

Prepared by:
Carolyn Van Sligtenhorst, MCIP, RPP, CAHP
Supervisor, Heritage Conservation

Recommended by:
Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:
Gabe Charles, MCIP, RPP
Director, Planning and Development

APPENDIX A



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Meters



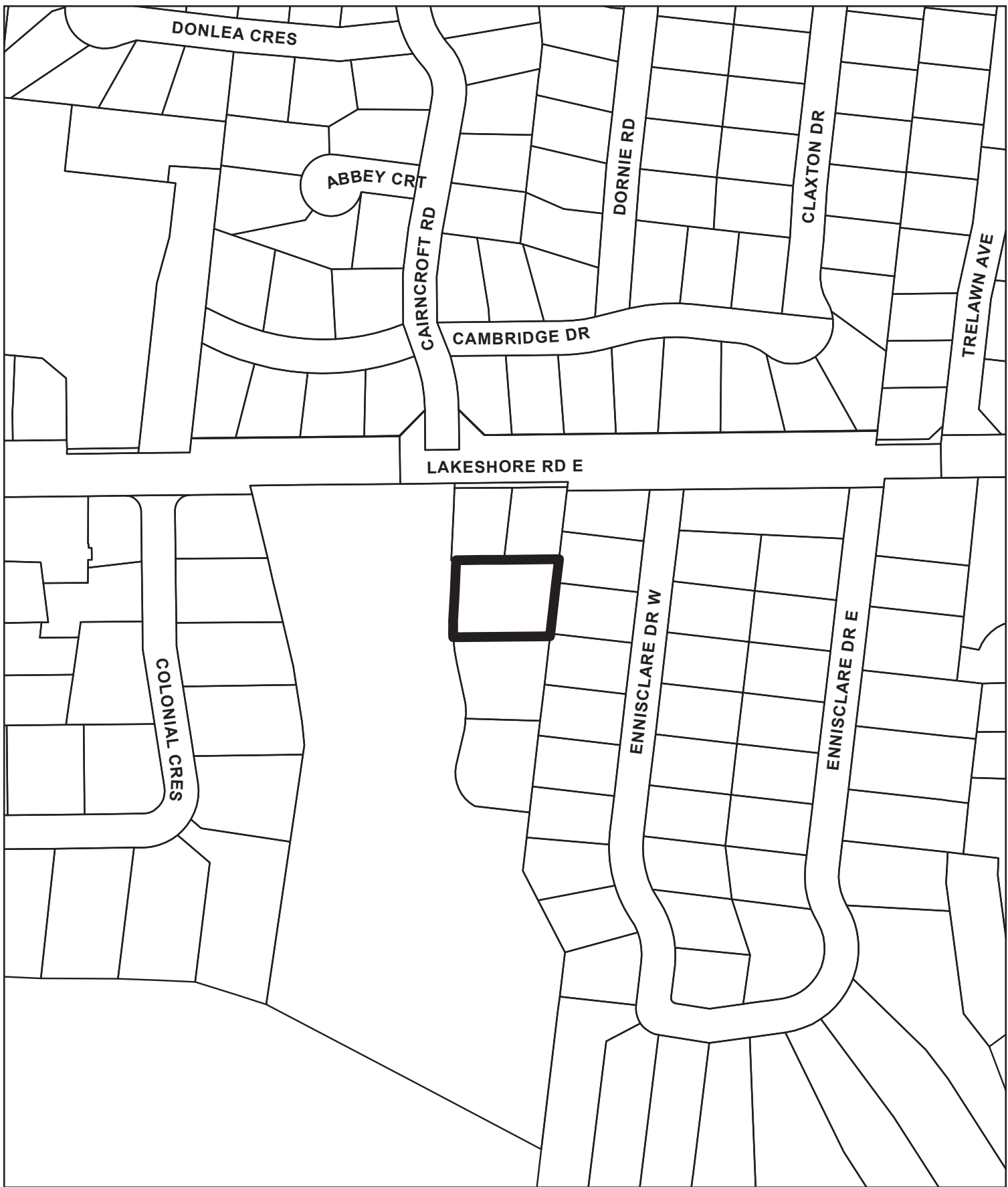
SUBJECT LANDS

**225, 231 and
235 BRONTE RD**

LOCATION

Community Development Commission

S:\ServiceRequests\REQ 11134 - Location Maps - Heritage\



LAKESHORE RD E

DONLEA CRES

ABBEY CRT

CAIRCROFT RD

DORNIE RD

CLAXTON DR

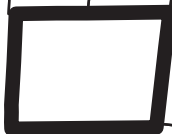
TRELAWN AVE

CAMBRIDGE DR

COLONIAL CRES

ENNISCLARE DR W

ENNISCLARE DR E



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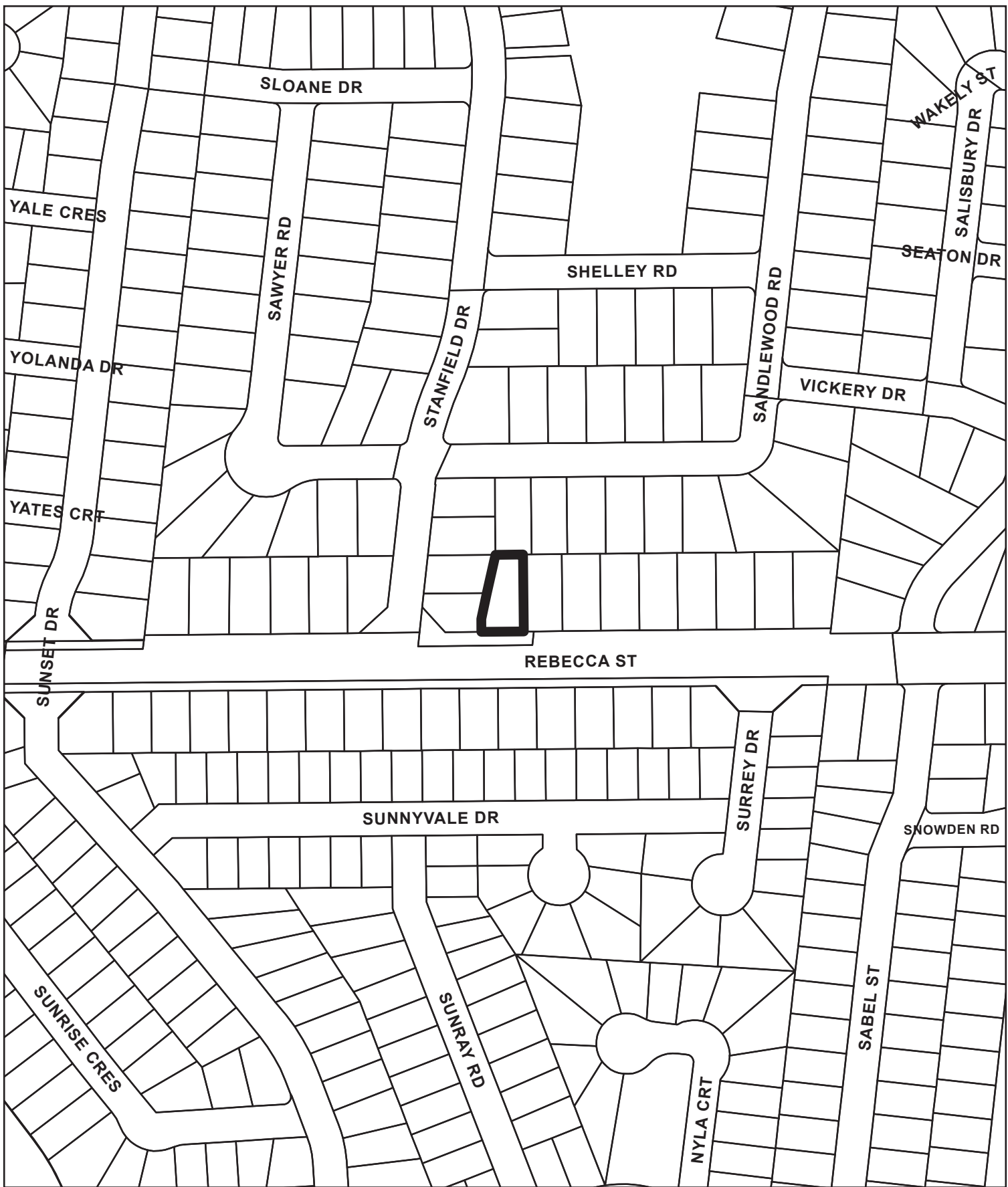
1314 LAKESHORE RD E

LOCATION



SUBJECT LANDS

Community Development Commission



0 20 40 80
 Meters

2167 Rebecca Street

LOCATION



SUBJECT LANDS

Community Development Commission

Cultural Heritage Evaluation Report
Glendon House Stone Wall
225, 231, and 235 Bronte Road, Oakville, Ontario



231 Bronte Road, 2024. Source: Town of Oakville, Planning Services staff photo

Town of Oakville
Heritage Planning
Authors: Elaine Eigl, Carolyn Van Sligtenhorst
August 2024

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject properties merit designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of a subject property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The subject properties at 225, 231, and 235 Bronte Road are located on the east side of Bronte Road, north of Hixon Street (formerly Hickson Street), and south of Rebecca Street. The subject properties are located within the territory covered by Treaty 22, which was signed in 1820 between the Mississaugas and the British Crown.

225 Bronte Road was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* in 2009 for "its potential cultural heritage value for its stone wall formerly associated with 231 Bronte Road (stone wall only – other structures not included)". 231 Bronte Road was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* in 2009 for its circa 1920 house. And, 235 Bronte Road was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* in 2009 for "its potential cultural heritage value for its stone wall formerly associated with 231 Bronte Road (stone wall only – other structures not included)".

This CHER has evaluated the subject properties in accordance with the requirements of the OHA and finds that they meet three of the criteria of Regulation 9/06 for the stone wall on each of the properties. It is therefore recommended that the subject properties be designated under Part IV, section 29 of the OHA.

The findings presented in this report are based on professional research and guidance. Future discovery of additional sources or interpretations may affect the conclusions.

2. Subject Property

The subject properties at 225, 231, and 235 Bronte Road are located on the east side of Bronte Road, north of Hixon Street (formerly Hickson Street), and south of Rebecca Street, within the territory covered by Treaty 22, which was signed in 1820 between the Mississaugas and the British Crown. Historically, the properties made up part of the land identified in William Hawkins' 1834 *Plan of the village of Bronte on Twelve Mile Creek* as part of Lots 22 and 28 in the 6th Range, on the east side of Bronte Road. 231 Bronte Road contains a circa 1910, two-storey vernacular frame house, not currently recommended for designation, and all three properties contain a historic stone wall, which is recommended for designation as part of this report.



Location map: Subject properties are outlined in blue. June 2024. Source: Town of Oakville GIS

Legal description of 225 Bronte Road: PCL 87-1, SEC M6; PT LT 87, PL M6, PART 3, 20R11791; OAKVILLE

Legal description of 231 Bronte Road: PCL 87-2, SEC M6; PT LT 87, PL M6, PART 2, 20R11791; OAKVILLE

Legal description of 235 Bronte Road: PCL 87-1, SEC M6; PT LT 87, PL M6, PART 1, 20R11791; OAKVILLE

3. Background Research

Design and Physical Value

Along Bronte Road, the three properties at 225, 231, and 235 Bronte Road are demarcated by a low stone wall. The wall is made of local fieldstone and is broken into different sections with curved slopes that rise up to square stone columns and sugar maple trees, which demarcate these sections. The wall is topped by single stones, creating a decorative look that resembles a string of beads. Its design and materials are in keeping with the Arts and Crafts era, using natural and local materials that would have helped ground the new house in its natural setting when it was constructed.

The Arts and Crafts movement, which inspired Craftsman architecture, began in Britain as a reaction to the rapid growth of industry and the dehumanization of society that resulted from the sudden restructuring of the population to accommodate large factories.¹ The movement spread to North America and many structures built between 1890 and 1940 demonstrate Arts and Crafts influenced architectural details.² Generally, the goal of the residential Arts and Crafts movement was to portray the home as a place of serenity, with a focus on the home as part of the natural environment.³ Natural materials such as brick, stone, stucco and wood were used in new dwellings and associated landscape elements.

The subject stone wall is reflective of this design era with its natural field stone material, likely found on the property, which was originally a larger, more rural site. The stone wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, rustic aesthetic that was typical of the Arts and Crafts era. Given that the property was originally used as a cottage, this pastoral appearance would have been a deliberate choice for the owners.

The entirety of the wall originally belonged to the Glendon House property, which historically included all three lots before it was severed in 1995. It was likely built during Michael Glendon's ownership between 1908 and 1924. Today, the Glendon House property at 231 Bronte Road includes matching stone pillars flanking a metal pedestrian gate. The pillars are topped by vertical stones, matching those on the rest of the wall. An opening between two trees provides access for a driveway; this was originally a continuous stone fence until it was opened up to accommodate the existing driveway after the severance in 1995.



231 Bronte Road, March 2024. Source: Town of Oakville, Planning Services staff photos

¹ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 101

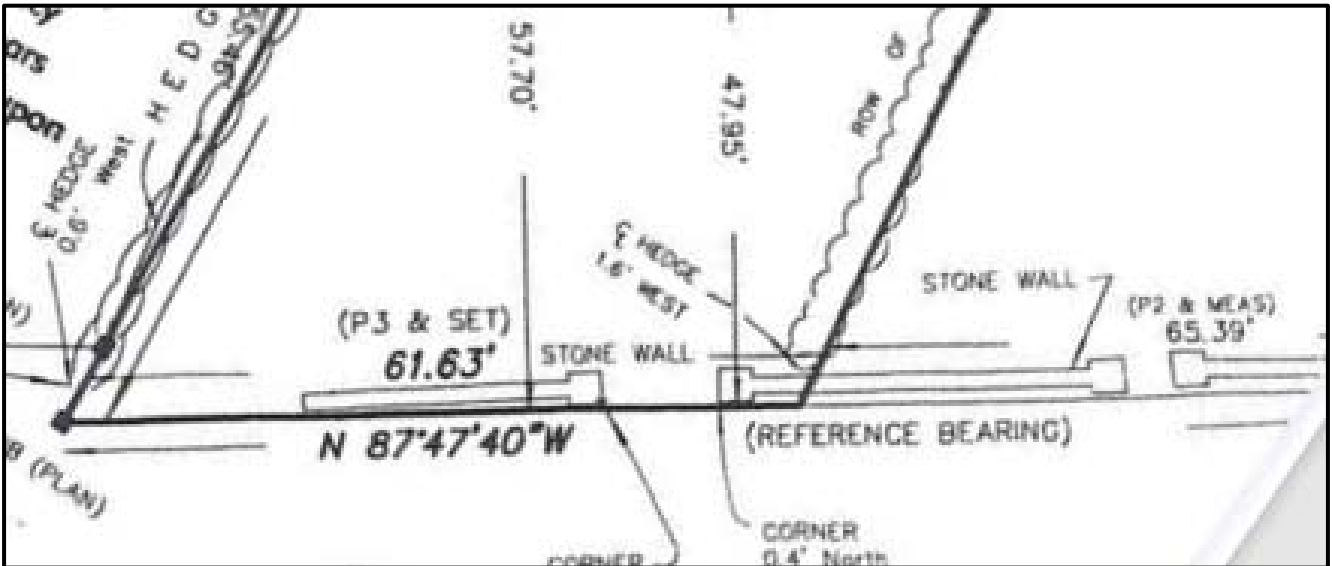
² Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

³ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 105

The property at 235 Bronte Road has two sets of stone pillars for two driveway entrances; the south set was original to the Glendon House property, and likely the original primary vehicular entrance for the house. The north set of columns was constructed after the 1995 severance, likely using stone salvaged from the portion of wall removed at 231 Bronte Road; the materials and style of the columns match the remainder of the stone wall. All four columns are topped by contemporary gargoyle figures.



235 Bronte Road, March 2024. Source: Town of Oakville, Planning Services staff photos

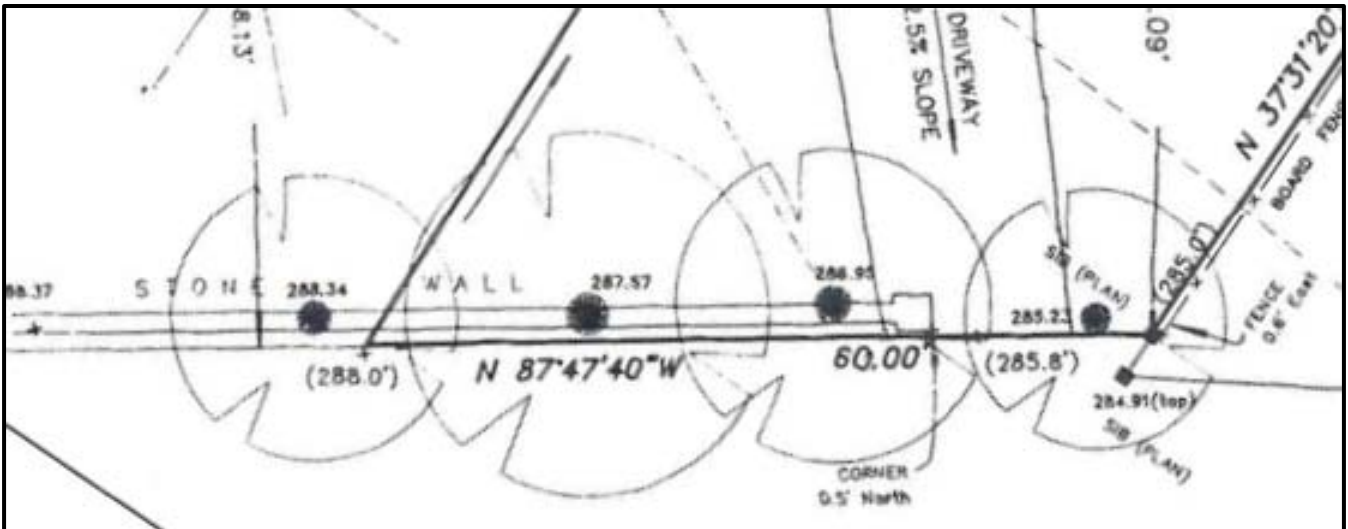


1997 survey of 235 Bronte Road showing the wall and columns as they existed at that time on both 235 and 231 Bronte Road. Source: Town of Oakville Building Services files.

At 225 Bronte Road, the original stone fence and one column remain. The new driveway was installed in the original opening on the south side of the property. A small section of fence appears to have been constructed next to the tree south of the driveway.



225 Bronte Road, March 2024. Source: Town of Oakville, Planning Services staff photos



1997 survey of 225 Bronte Road showing the wall and columns as they existed at that time on both 231 and 225 Bronte Road. Source: Town of Oakville Building Services files.

The aerial view below is marked up to show the original configuration of the stone wall and columns:



Aerial view of 225-231-235 Bronte Road. Source: Town of Oakville GIS



A panoramic view of 225, 231, and 235 Bronte Road showing the extent of the stone wall and pillars. March 2024.
Source: Town of Oakville, Planning Services staff photos

While there is a number of lakestone walls in the area, the Glendon House Stone Wall remains one of the only, if not the only, field stone wall in Oakville. Field stone as a building material is more typically found on rural properties away from Lake Ontario, where lakestone could be found. The subject stone wall is unique as a decorative residential landscape wall built of fieldstone.

Historical and Associative Value

The subject properties at 225, 231, and 235 Bronte Road are located within the traditional territory of the Mississaugas of the Credit First Nation (MCFN or simply “the Mississaugas”). In 1805, the Mississaugas and the Crown reached a provisional agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods; were promised the sole right of the fisheries in the Twelve Mile Creek (Bronte Creek) and Sixteen Mile Creek along with the possession of each creek’s flats; and they reserved the sole right of fishing at the Credit River and retained a 1-mile (1.61 kilometre) strip of land on each of its banks.⁴



Samuel Wilmot’s Trafalgar, Plan of the Second Township, In the Tract of Land lately Purchased from the Mississauga [sic] Indians. Source: Archives of Ontario, Trafalgar District of Gore, Partial, June 1806

The agreement was negotiated when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline.⁵ This put the Mississaugas into “a more

⁴ Mississaugas of the Credit First Nation, “Head of the Lake Treaty, No. 14 (1806).” *Mississaugas of the Credit First Nation*, <https://mncfn.ca/head-of-the-lake-treaty-no-14-1806/> (accessed November 4, 2020).

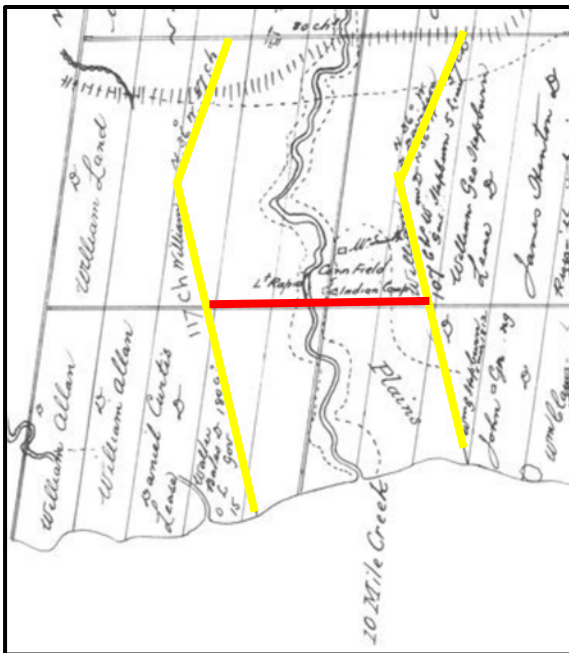
⁵ Emma Stelter. *Friendship, Peace and Respect For All Future Generations*, Debwevin: The Oakville Truth Project, Feb. 2023, pg. 7.

compromised position” from which to negotiate.⁶ The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.⁷

In June 1806, three months before Treaty No. 14 was finalized, Deputy Provincial Surveyor, Samuel Street Wilmot completed his plan called “*Trafalgar, Plan of the Second Township, In the tract of Land lately Purchased from the Mississauga [sic] Indians*”. The survey was completed to facilitate European settlement. Unusually, Wilmot’s plan does not show the land to be set aside for the Mississaugas along the Twelve and Sixteen Mile Creeks, possibly because it was completed before the treaty was finalized.

Settlers started arriving in the area circa 1806, around the time Wilmot was undertaking his survey. After the area was surveyed, settlements were established throughout Trafalgar Township. In the southern part of the township the villages of Oakville and Bronte began to grow at the mouths of Sixteen Mile Creek and Twelve Mile Creek, respectively.

In February 1820, fourteen years after signing Treaty No. 14, the Mississaugas and the Crown entered into a subsequent treaty, Treaty No. 22, which stipulated that in exchange for ceding “about 20,000” acres of their land to the Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the proceeds from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks would be “used to instruct the Mississaugas in the rudiments of the Christian religion and to provide education for their children.”⁸



On the 1806 plan (left), the lands covered by Treaty No. 22 lay between the two yellow lines. The future village of Bronte, including the location of the subject property, was subsequently established upon the area lying roughly within Lots 29 to 32, in the 4th (or Broken Front) Concession South of Dundas Street (SDS), within the land that lies under the red line.

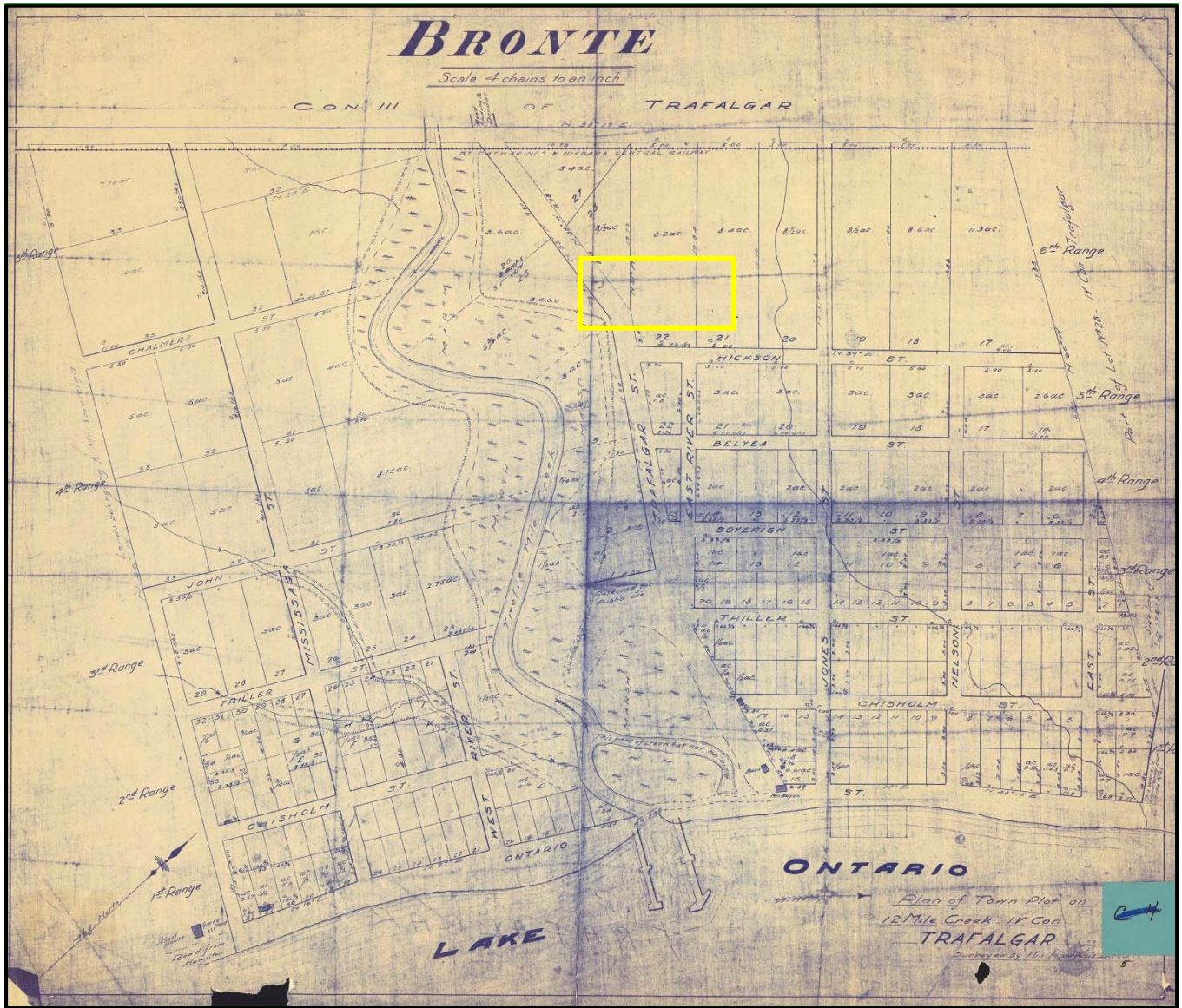
In 1834, fourteen years after the Mississaugas had ceded their lands along the Twelve and Sixteen Mile Creeks and the Credit River, Deputy Provincial Surveyor William Hawkins was instructed to survey the lands along Twelve Mile Creek. The result was his *Plan of the village of Bronte on Twelve Mile Creek, con. 4, Trafalgar Township*. With this new survey, the lands upon which the subject property lies became part of Lots 22 and 28, in the 6th Range east of Twelve Mile Creek, on the east side of Trafalgar Street which was later renamed Bronte Road.

Detail of survey showing the tract of land set aside for the Mississaugas along Twelve Mile Creek, later Bronte Creek. (Wilmot, 1806).
Source: Archives of Ontario, Trafalgar District of Gore, Partial, June 1806

⁶ Emma Stelter. *Friendship, Peace and Respect For All Future Generations*, 7.

⁷ *Ibid*, 10.

⁸ “12 Mile Creek, 16 Mile Creek and Credit River Reserves, Treaty Nos. 22 and 23 (1820).” *Mississaugas of the Credit First Nation*, <https://mncfn.ca/12-mile-creek-16-mile-creek-and-credit-river-reserves-treaty-nos-22-and-23-1820/> (Accessed March 21, 2024).



William Hawkins' 1834, *Plan of Town Plont on 12 Mile Creek, IV Con, Trafalgar*.⁹ 225, 231, and 235 Bronte Road lay within part of Park Lots 22 and 28 on the east side of Trafalgar Street (now Bronte Road), roughly in the area highlighted in yellow.
 Source: Library and Archives Canada

In 1849, Smith's Canadian Gazetteer described Bronte as a "small Village in the township of Trafalgar, on the Lake Shore Road, seven miles from Wellington Square, situated on the Twelve-mile Creek. It contains about 100 inhabitants, grist and saw mills, one store, two taverns, one waggon maker, one blacksmith, one cabinet maker."¹⁰ By the 1850s, the village had two operating hotels, the Triller House Hotel and Thompson's Hotel, a

⁹ *Plan of the village of Bronte on Twelve Mile Creek, con. 4, Trafalgar Township.* / Wm. Hawkins, D.P.S. © Government of Canada. Reproduced with the permission of Library and Archives Canada (2023). *Library and Archives Canada/Department of Indian Affairs and Northern Development fonds/e011205647*

¹⁰ Smith, William Henry, *Smith's Canadian Gazetteer: Comprising Statistical and General Information Respecting All Parts of the Upper Province, Or Canada West ... With a Map of the Upper Province*, Toronto, Published for the author by H. Rowsell, p. 21, https://books.google.ca/books?id=GkszAQAAIAAJ&printsec=frontcover&source=gbs_ge_summary_r&cad=0#v=onepage&q=Bronte&f=false (accessed 16 August 2021)

blacksmith shop and the basket factory.^{11, 12} Bronte Post Office was built in 1851. By 1856, the harbour was completed and two years later, “one of the largest grist mills in the province”, Bronte Steam Mill, opened.^{13, 14}



Undated postcard showing Twelve Mile Creek and its flats. Source: Bronte Historical Society

Early Bronte settlers included the Thompson family, who were described as “one of the oldest and most respected” in Halton County, and the Triller family who built the first mill on Sixteen Mile Creek, and for whom Triller Street, later Lakeshore Road West, and Triller Place were named.^{15, 16, 17}

Bronte has a rich and distinct history. In many ways, it is very different from old Oakville. Canadian author, Mazo de la Roche captured the difference in her book, *Possession*, describing Oakville as “sedate, respectable, and very different from the rowdy, good-humoured poverty of Bronte.”¹⁸ Compared to the wealth found in neighbouring Oakville, Bronte was a relatively modest working-class community. Many residents were day labourers who learned to wear many hats, doing anything they could to make ends meet. Although some felt shame in their poverty, Bronte developed as a proud, tight-knit, hard working community.

¹¹ The Village of Bronte: Preserving the Past, *Timeline*, [Timeline: The Village of Bronte: Preserving the Past: Multicultural Ontario Collections \(vitacollections.ca\)](https://www.vitacollections.ca) (accessed 17 August 2021)

¹² Wark, Ross. “Bronte: Ever Growing, Ever Changing,” *The Oakville Historical Society Newsletter*, Oakville Historical Society, March 2012, p. 4.

¹³ The Village of Bronte: Preserving the Past, *Timeline*, [Timeline: The Village of Bronte: Preserving the Past: Multicultural Ontario Collections \(vitacollections.ca\)](https://www.vitacollections.ca) (accessed 17 August 2021)

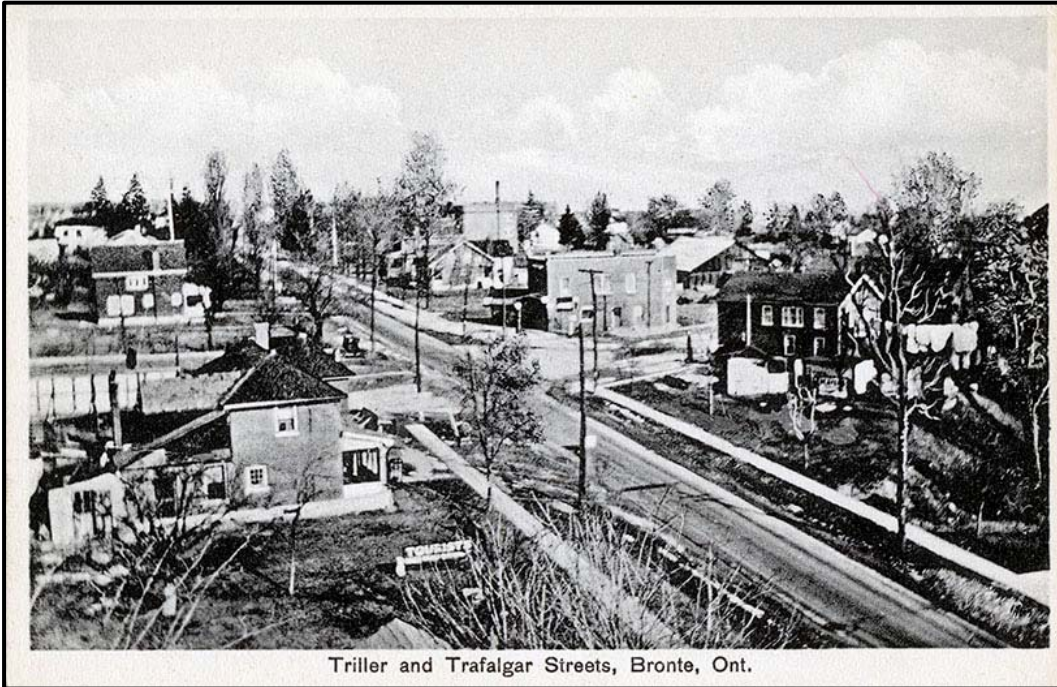
¹⁴ Wark, Ross. “Bronte: Ever Growing, Ever Changing,” *The Oakville Historical Society Newsletter*, Oakville Historical Society, March 2012, p. 4.

¹⁵ Oakville Historical Society, “Family Reunion,” an undated and unattributed newspaper clipping dating to circa 1909. OHS item #1996.26.126K.

¹⁶ Mathews, Hazel. “Chapter 6: The Rising Tide.” *Oakville and the Sixteen: The History of an Ontario Port*, Univ. of Toronto Press, Toronto, 1971, p. 180.

¹⁷ Town of Oakville, Planning Services file, *Oakville Street Name Origins*

¹⁸ Oakville Memories: Old & New: *Bronte Boys (1920s-1950s)*, [Bronte Boys \(1920s - 1950s\): Oakville Memories: Old & New: Oakville Images \(halinet.on.ca\)](https://www.halinet.on.ca) (accessed 16 January 2022)

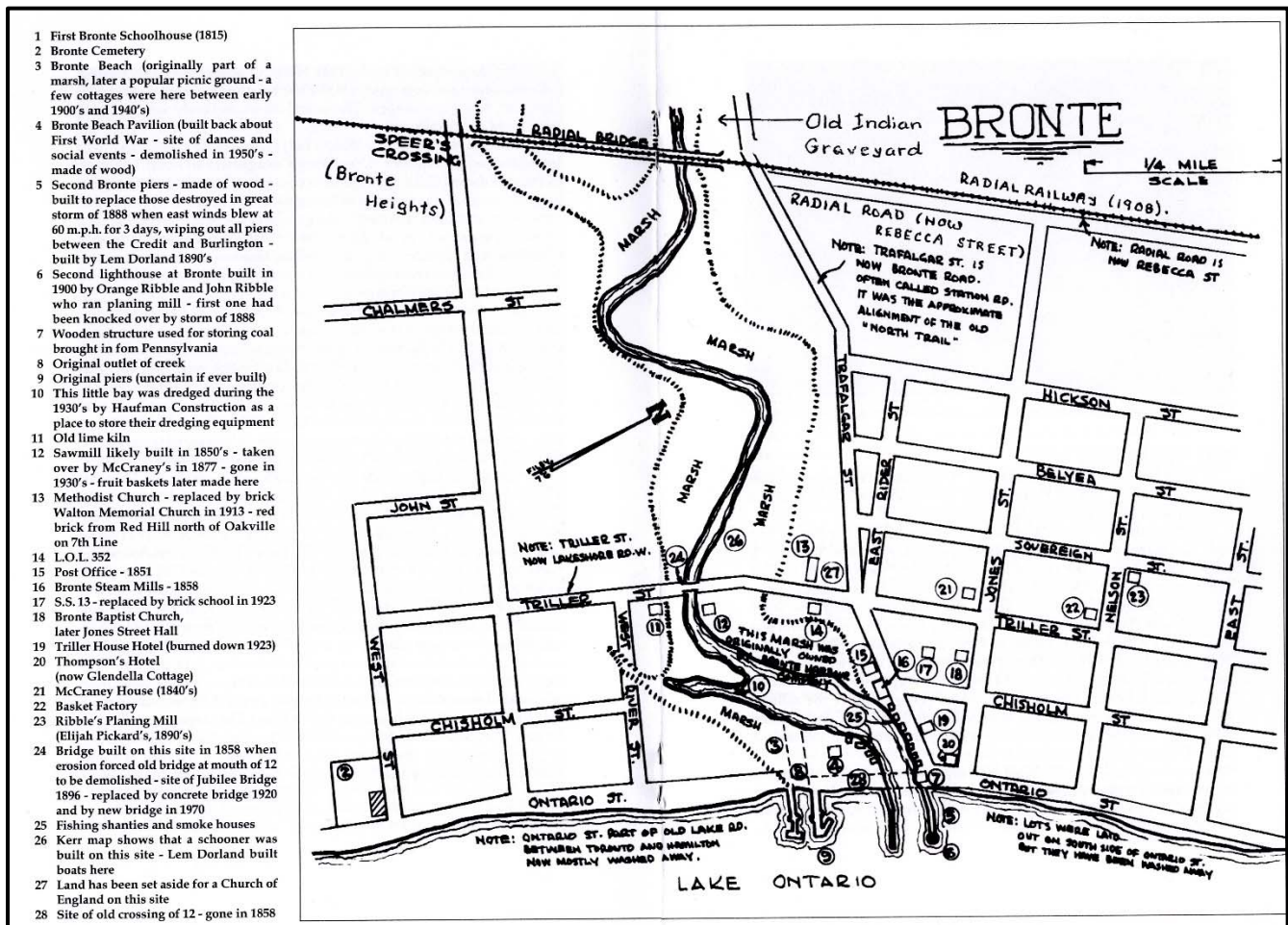


Triller and Trafalgar Streets, Bronte, Ont.

Triller and Trafalgar Streets, later renamed Lakeshore and Bronte Roads respectively, undated. Source: *Town of Oakville Heritage Planning files.*



Hand tinted photograph showing a fishing schooner beside fishing sheds, the 3 storey Bronte Steam Mills on the left, and the Triller House Hotel, identifiable by its cupola, on the right. Circa 1910. Source: *Town of Oakville Heritage Planning files.*



Bronte Village map from *The History of Bronte Village*, 1976. The village east of the creek was dominated by industrial and commercial concerns while the west side of the village, west of the creek, was predominantly the location of residences and cottages.

Source: Philip Brimacombe

Lifelong resident, Bill Cudmore recalled the poverty many in Bronte experience during the early 20th century, explaining that residents' dark humour helped them get through the hardship and rugged times. Cudmore recalled that life on the family farm included chores "like cutting asparagus before school and milking the cows after school."¹⁹ As a teenager, he signed on to Jack Osborne's fishing boat, describing fishing as "a dirty, cold, hard, miserable, mean way to make a living," adding that there was "nothing nice about it."²⁰ "Bronte, as I remember it, was a working class village, where the object of most people was to have a job tomorrow - clean some nets, paint a house, or maybe get a job at the basket factory for a week. It was looked on by Oakville as a low class area," Bill recalled.²¹

Another lifelong Bronte resident, Ken Pollock knows firsthand how cruel the lake can be. He remembers his father and uncles, "fishermen and mariners to the bone," would be "up before dawn and out on the lake, winter and summer, just to make ends meet."²²

¹⁹ Oakville Memories: Old & New: *Bronte Boys (1920s-1950s)*

²⁰ *Ibid.*

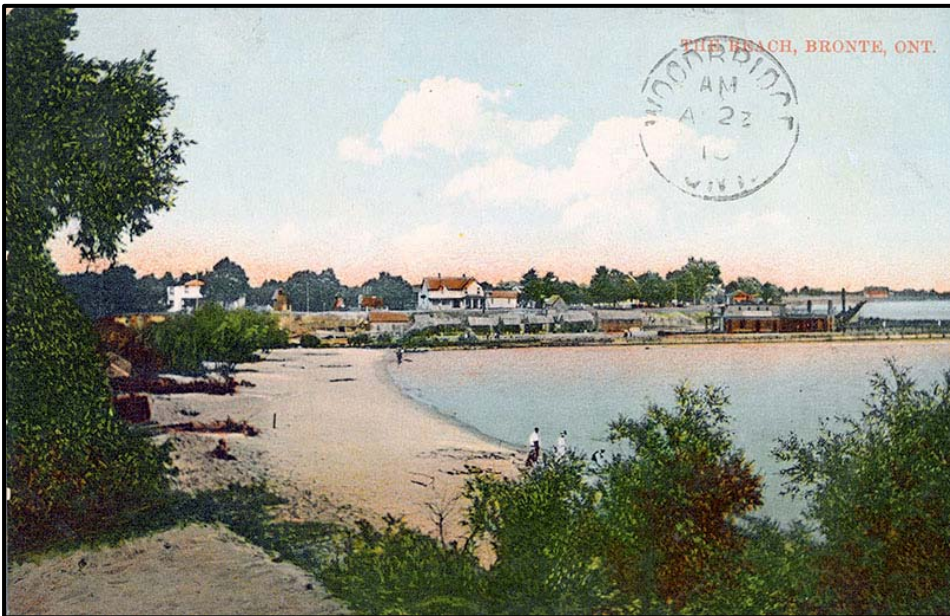
²¹ *Ibid.*

²² *Ibid.*



Bronte Harbour, 1910. Source: *Town of Oakville Heritage Planning files.*

By the mid-20th century, many people remembered Bronte as being a wonderful place in which to live and grow up. A former resident described their experience of the village as a “very small town where everyone knew each other.”²³ There were farms and open fields, and the beach was nearby without fences between properties, allowing children large areas in which to roam.²⁴ People lived in small homes and made do.



Undated image of a postcard of “The Beach” at Bronte, Ontario. Source: *Town of Oakville Heritage Planning files.*

²³ Interview, Bronte Historical Society volunteer, 20 October 2021

²⁴ *Ibid.*

Beginning in the early days of the 20th century and continuing into the period between the two World Wars, as the local commercial fishing industry was winding down, Bronte enjoyed a period of popularity as a summer resort area. Small cottages were developed around the lakefront and some local homeowners even left the area for the summer months, renting their homes to vacationing Torontonians to earn extra income.²⁵ Soon, summer cottagers, some from as far away as Texas, were enjoying the area's fresh air, cool lake breezes, and Bronte Beach. While the area west of the harbour was developed with these cottages, the residential area on the east side of the harbour remained home to local working-class families.

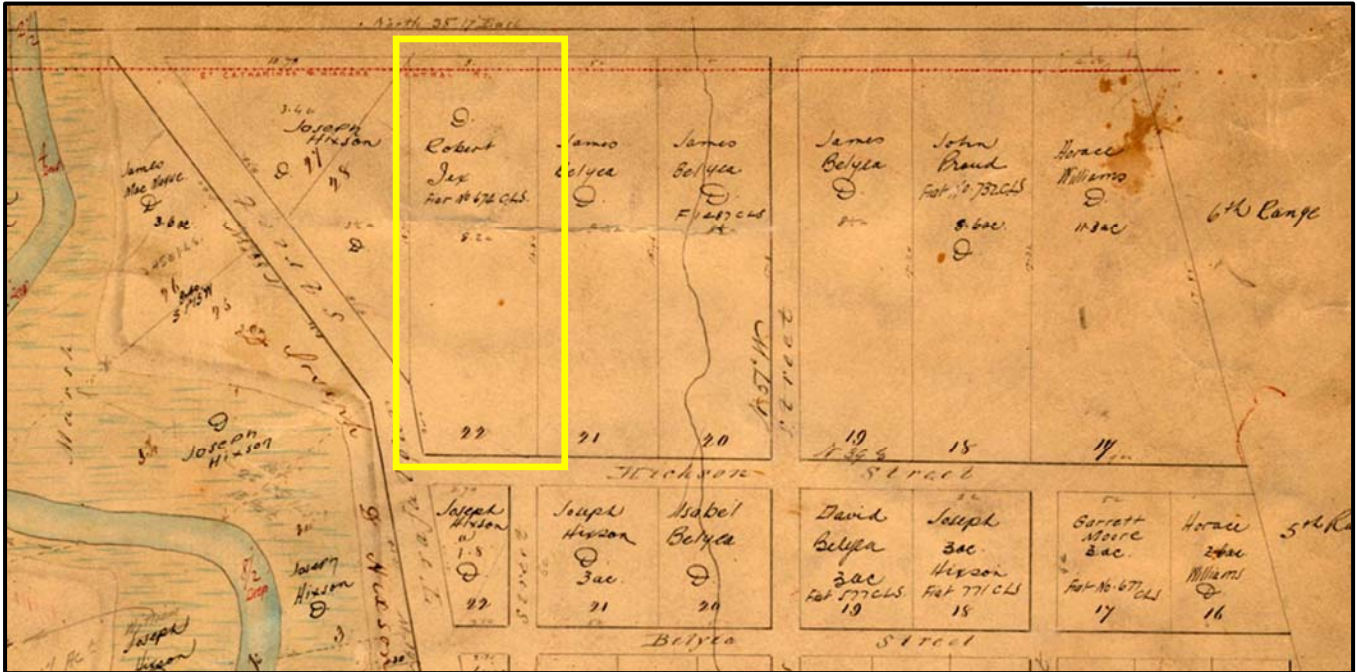
Below is a summary of the owners of the properties from the Crown patent until 1994, when Scott Ben Michaud purchased the property upon which the three subject properties are located. In 1995, Michaud subdivided Lot 87, Plan M-6, into three separate parcels, the configuration which exists today. Individual ownership summary charts showing all transactions after Michaud subdivided the lot, up to and including the current owners, follow later in the report.

Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property's building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period of time.

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	Lot 22	1820-1837
Robert Jex	Park Lot 22	1837-1837
Edward B. Palmer	Park Lot 22	1837-1844
James Thompson	Park Lot 22	1844-1868
Catharine Thompson, widow of James Thompson	Park Lot 22	1868-1868
Jane Adora McWayne	Park Lot 22	1868-1875
Wallis Walton	Park Lot 22	1875-1894
Emmanuel Walton	Lot 22 & other land	1894-1904
Charles Henry Gilbert	Lot 22 & other land	1904-1908
Michael William Glendon	Part of Park Lots 22 & 28	1908-1924
Emma Pearl Yapp	Part of Park Lots 22 & 28	1924-1933
Frederick Henry Yapp	Part of Park Lots 22 & 28	1933-1940
Charles Rosendale & Douglas Woodhall Brown	Part of Park Lots 22 & 28	1940-1946
Olive Alma Hyslop	Part of Park Lots 22 & 28	1946-1947
Kathleen Julia Wotherspoon	Part of Park Lots 22 & 28	1947-1951
Peter and Concetta Conforzi	Part of Park Lots 22 & 28 (4.92 acres)	1951-1963
Concetta Conforzi	Part Lot 28 & another lot	1963-1963
John Peter Conforzi, Alfred, and Edward Conforzi	Part Lot 28 & another lot	1963-1963
Hendrik and Cornelius Van Alphen	Part Lot 28 & another lot	1963-1968
Charles William Ronald & Alice Audrey Scott	Parcel 87-1, Section M-6, being Lot 87, Plan M-6	1968-1994
Scott Ben Michaud	Plan M6 Part Lot 87; Plan 20R11791, Lot 87, Part 2#	1994-1995, 1997, and 1998

²⁵ Town of Oakville, *Heritage Research Report: 3065 Seneca Drive*, 2011, 4.

In August 1837, the Crown granted Lot 22 north of Hixon Street to Robert Jex, who two weeks later sold the property to Edward B. Palmer.^{26,27} Edward Palmer (ca.1800-1847), was one of the founders of the Bronte Harbour Company, and likely the same person who William Chisholm, the founder of Oakville, commissioned to draw the 1835, *Plan of Oakville, Township of Trafalgar, Upper Canada*.^{28,29} Palmer Avenue in Oakville is likely named after him.³⁰ In 1844, Edward Palmer sold the 8-acre Park Lot 22 to James Thompson.³¹



Detail of the 1848 plan of Bronte. Lot 22 on the north side of Hickson Street (later Hixon Street) is highlighted in yellow. Robert Jex was the Crown Patentee. Source: *Town of Oakville Heritage Planning files*.

James Lockwood Thompson (1797-1845), his wife Catherine (nee Triller) Thompson (1788-1868), and their daughter Jane Adora (nee Thompson) McWayne (ca.1825-1921), were long-term owners of the land within which the subject property lies. Between the three of them, they owned the land for 31 years, between 1844 and 1875.

James Thompson was born in Roscommon, Ireland and was a travelling salesman.^{32,33} Catharine Thompson was a member of the Triller family.³⁴ The Thompson and Triller families were some of the earliest to settle in

²⁶ LRO Patent, dated 29 August 1837, between the Crown and Robert Jex.

²⁷ LRO Instrument #814 being a Bargain and Sale dated 13 September 1837, between Robert Jex and Edward B. Palmer.

²⁸ Dorothy Turcotte, *Places and People of Bronte Village* (Grimsby, Ontario, 1993), 85.

²⁹ "Find a Grave Index," database, FamilySearch (<https://www.familysearch.org/ark:/61903/1:1:6K1Y-94B6> : 14 September 2023), Edward Barrow Palmer, ; Burial, Toronto, Toronto Municipality, Ontario, Canada, Mount Pleasant Cemetery; citing record ID 251642164, Find a Grave, <http://www.findagrave.com>.

³⁰ David Ashe and Joyce Burnell, *Oakville Street Names & Landmarks* (London, ON: Burnell Creighton Publishing, 2007), 77.

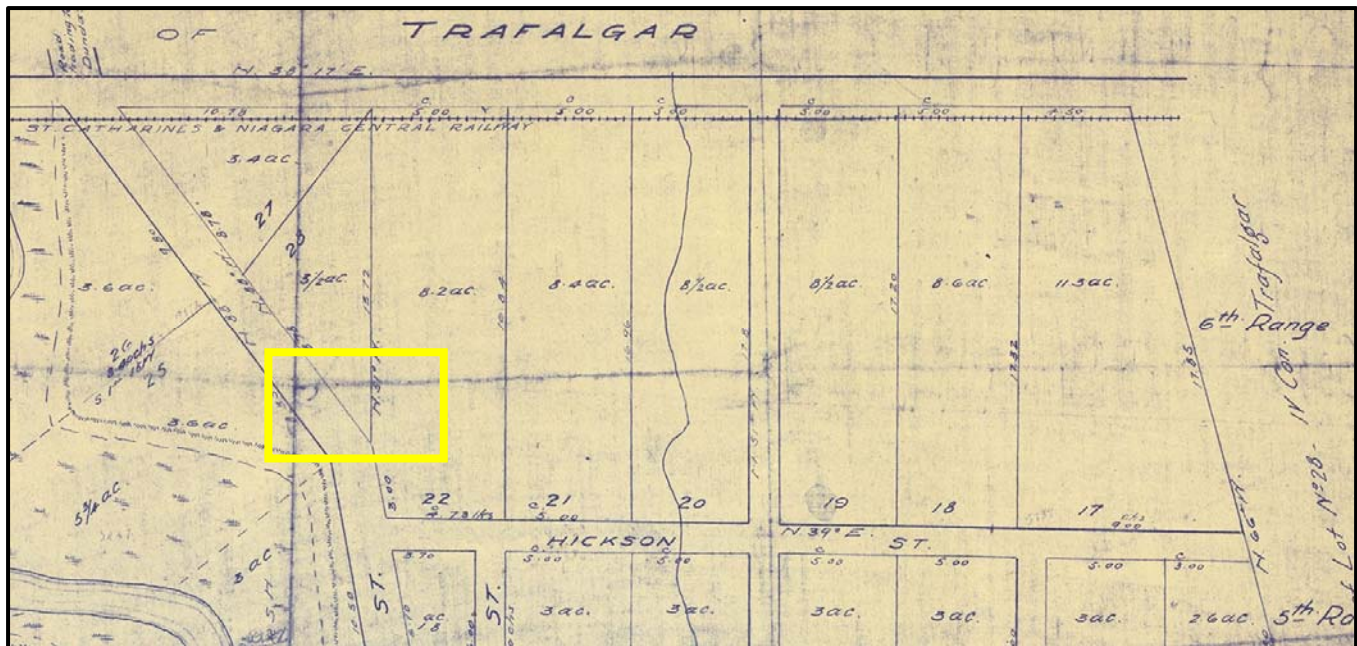
³¹ LRO Instrument #232, being a Bargain and Sale dated 28 November 1844, between Edward B. Palmer and James Thompson.

³² "Find a Grave Index," database, FamilySearch (<https://www.familysearch.org/ark:/61903/1:1:6NDP-LM4H> : 20 October 2022), James Lockwood Thompson, ; Burial, Oakville, Halton Regional Municipality, Ontario, Canada, St Jude's Cemetery; citing record ID 240552122, Find a Grave, <http://www.findagrave.com>.

³³ Oakville Historical Society, Philip Triller and Mary Catherine Young "Individual" file, which contains information about their daughter Catherine (nee Triller) Steven Thompson (1788-1868).

Trafalgar Township. The Smith-Triller viaduct in Oakville commemorates Catherine Tiller's family who, along with the Smith family, were two of the area's earliest millers.³⁵ By the 1850s, both the Thompson and Triller families ran hotels in the Bronte area.³⁶

Although records indicate that in 1845 the Thompsons were living in Bronte upon 58 acres of land, it appears that they weren't living on the subject land.³⁷ Instead, it appears that they were living in a home somewhere within their 50-acre parcel on Lot 29, 3rd Concession SDS, to the northeast of Bronte Village.³⁸



The approximate location of 225, 231 and 235 Bronte Road falls within Lot 22 on the north side of Hickson Street (later Hixon Street) and Lot 28 on the east side of Trafalgar Street (later Bronte Road), highlighted in yellow. Source: Library and Archives Canada

After the Thompson family, the larger parcel of land was owned by the Walton family from 1875 until 1904. It is unlikely that the Waltons built the subject house, but owned the lands as an investment. Wallis Walton owned the land until 1894, when his Last Will and Testament and Codicil was probated, following his death in 1893.^{39,40} Walton was a fruit farmer who, at the time of his death, owned multiple parcels of land in Bronte Village.^{41,42} In his will, Wallis left his son Emmanuel a substantial amount of land, including all his "homestead property being

³⁴ "Find a Grave Index," database, FamilySearch (<https://www.familysearch.org/ark:/61903/1:1:6NDP-JKT5> : 20 October 2022), Catherine Triller Thompson; Burial, Oakville, Halton Regional Municipality, Ontario, Canada, St Jude's Cemetery; citing record ID 240551974, Find a Grave, <http://www.findagrave.com>.

³⁵ Sal Bommarito, "Bridge opening a significant event for Oakville," Oakville Beaver, 18 Aug 1993, <http://news.ourontario.ca/109421/page/30?n=> (accessed 11 July 2024).

³⁶ The Village of Bronte: Preserving the Past, Timeline, <https://vitacollections.ca/multiculturalontario/262/exhibit/2> (accessed 31 July 2024)

³⁷ 1845 Trafalgar Township Assessment Roll (from Oakville Public Library microfilm collection).

³⁸ 1846 Trafalgar Township Assessment Roll (from Oakville Public Library microfilm collection).

³⁹ LTO Instrument #1657, being a Bargain and Sale dated 3 February 1875, between Josiah J. and Jane Adora McWayne, and Wallis Walton.

⁴⁰ LRO Instrument #1582, being the probated Last Will and Testament and Codicil of Wallis Walton, dated 27 January 1894.

⁴¹ "Canada Census, 1891," FamilySearch (<https://familysearch.org/ark:/61903/1:1:MWL9-RWN> : 3 August 2016), Wallace Walton, Trafalgar, Halton, Ontario, Canada; Public Archives, Ottawa, Ontario; Library and Archives Canada film number 30953_148143.

⁴² LRO Instrument #1582, being the probated Last Will and Testament and Codicil of Wallis Walton, dated 27 January 1894.

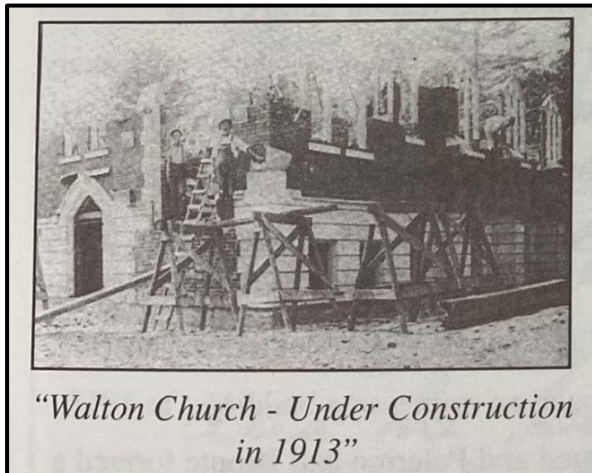
north of Hixon Street being lots 18, 19, 20, 21, 22, 27 with all the orchards and buildings thereon and all the farm stock...," which Emmanuel was prohibited from selling before the tenth anniversary of his father's death.⁴³ The subject property lies within the aforementioned Lot 22. In 1898, Walton was assessed for 40 acres and a building which was located somewhere within Lots 18 to 22 on the north side of Hixon Street.⁴⁴

The Walton family name lives on in Bronte in Walton Memorial United Church, which was built by the Walton family. In 1911, Emmanuel's wife Jane Elizabeth (nee Bray) Walton (1858-1937), suggested that Emmanuel and his brothers build a church the memory of their father, Wallis, who had served as a church Trustee, and for many years was superintendent of the Sunday School.^{45, 46, 47}

The Walton family absorbed the costs of construction, with manual labour being given freely by the men of the congregation.⁴⁸ Unfortunately, Emmanuel Walton died suddenly a few days before the laying of the corner stone.⁴⁹ In January 1914, at the opening ceremony, Emmanuel's widow Jane Walton presented a brass key to Pastor Reverend Thomas Boyd.⁵⁰



Jane Elizabeth (nee Bray) Walton (1858-1937).
Source: *Walton Memorial United Church: 150 Years*



"Walton Church - Under Construction in 1913"



Walton Memorial United Church, Bronte, Ontario.

Walton Memorial United Church during construction in 1913, and in a postcard sent in August 1940. Sources: *Walton Memorial United Church: 150 Years and OurOntario Images*

Emmanuel Walton owned the lands that included 225, 231, and 235 Bronte Road between 1894 and 1904. In June 1904, Emmanuel and Jane Walton sold 82.75 acres of land to Charles Henry Gilbert (1846-1931), a farmer.^{51, 52} Within the land Gilbert purchased was the parcel upon which the subject properties sit.

⁴³ LRO Instrument #1582, being the probated Last Will and Testament and Codicil of Wallis Walton, dated 27 January 1894.

⁴⁴ 1898 Trafalgar Township Assessment Roll (from Oakville Public Library microfilm collection).

⁴⁵ Walton Memorial United Church (Oakville, Ontario), *Walton Memorial United Church: 150 Years* (Oakville, Ont., 2000), 29.

⁴⁶ Ken Pollock, *Bronte on Twelve Mile Creek* (Oakville, Ontario, 2017), 70.

⁴⁷ "Hard Work Built Town's Early Churches," *Daily Journal-Record*, (Oakville) September 1, 1967, [OI003304045pf_0020p.pdf \(ourontario.ca\)](https://ourontario.ca) (accessed 16 July 2024).

⁴⁸ Ken Pollock, *Bronte on Twelve Mile Creek* (Oakville, Ontario, 2017), 71.

⁴⁹ Dorothy Turcotte, *Places and People of Bronte Village* (Grimsby, Ontario, 1993), 103.

⁵⁰ Ken Pollock, *Bronte on Twelve Mile Creek* (Oakville, Ontario, 2017), 71.

Little is known about Charles H. Gilbert except that he was a farmer who emigrated from England either in 1885 or in 1904, and that he was married to Charlotte (nee Smith) Gilbert (1850-1913).^{53, 54, 55} Unfortunately, the Assessment Rolls that cover the four years of Gilbert's ownership haven't survived. As such, it was not possible to determine, from this source, if he built the subject house and stone wall at 225, 231, and 235 Bronte Road. However, it seems unlikely that the Gilbert family had built them as the family is shown living on 35 acres on the north side of Hixon Street, somewhere within Lots 18 to 21.^{56, 57}

In March 1908, Charles and Charlotte Gilbert sold 4.92 acres of land to Michael William Glendon, including the land upon which the Glendon House and the stone wall are located.⁵⁸ A definitive construction date for the Glendon House was not determined. However, based on its architectural style, and the real estate transactions of the time, it is very likely that the Glendon family had the house constructed for them around 1910. The stone wall was likely constructed at the same time, or soon after.

Michael William Glendon (1863-1930) was born in Hagersville, Ontario, to Richard Glendon and Hannah, or Anna, (nee Dougherty) Glendon.^{59, 60} In 1908, when Michael Glendon purchased these lands, he was living on Jameson Avenue in Toronto, and working on Yonge Street in "pianos, gramophones and music."^{61, 62}

Michael Glendon is said to have come to Bronte to buy a summer home.⁶³ The story goes that Glendon approached Mary Speers and her son William Henry Speers asking if they would be willing to sell the former Charles Sovereign farm, located on Mississaga Street on the north side of Lakeshore Road West; a request that was denied as William didn't want "a good farm to be wasted as a summer home."⁶⁴ Instead, it appears that in purchasing 4.92 acres of land from the Gilberts, Glendon had realized his dream. Between 1906 and 1912,

⁵¹ LRO Instrument #8376, being a Bargain & Sale dated 30 June 1904, between Emmanuel M. and Jane E. Walton.

⁵² "Find a Grave Index," database, *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:QK18-4M3W> : 25 February 2022), Charles Henry Gilbert, ; Burial, Oakville, Halton Regional Municipality, Ontario, Canada, Palermo Cemetery; citing record ID 139185328, *Find a Grave*, <http://www.findagrave.com>.

⁵³ Library and Archives Canada, *Census of 1921*, <https://central.bac-lac.gc.ca/.item/?app=Census1921&op=pdf&id=e002930066> (accessed 22 July 2024)

⁵⁴ "Recensement du Canada de 1911," *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:QV9T-ZRL1> : Fri Mar 08 06:32:09 UTC 2024), Entry for C H Gilbert and Sharlotte Gilbert, 1911.

⁵⁵ "Find a Grave Index," database, *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:QK18-4M3Z> : 25 February 2022), Charlotte Smith Gilbert, ; Burial, Oakville, Halton Regional Municipality, Ontario, Canada, Palermo Cemetery; citing record ID 139185445, *Find a Grave*, <http://www.findagrave.com>.

⁵⁶ LRO Instrument #9672, being a Bargain and Sale dated 12 March 1908, between Charles Henry and Charlotte Gilbert; and Michael William Glendon.

⁵⁷ 1910 Trafalgar Township Assessment Roll (from Oakville Public Library microfilm collection).

⁵⁸ LRO Instrument #9672, being a Bargain and Sale dated 12 March 1908, between Charles Henry and Charlotte Gilbert; and Michael William Glendon.

⁵⁹ "Canada, Ontario Deaths, 1869-1937 and Overseas Deaths, 1939-1947," *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:JK45-M6R> : Sun Mar 10 14:52:15 UTC 2024), Entry for Michael William Glendon and Richard Glendon, 1930.

⁶⁰ "Canada, Ontario Marriages, 1869-1927," *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:KZ19-96R> : Sat Mar 09 15:41:26 UTC 2024), Entry for Michael M Glendon and Richard Glendon, 18 Nov 1905.

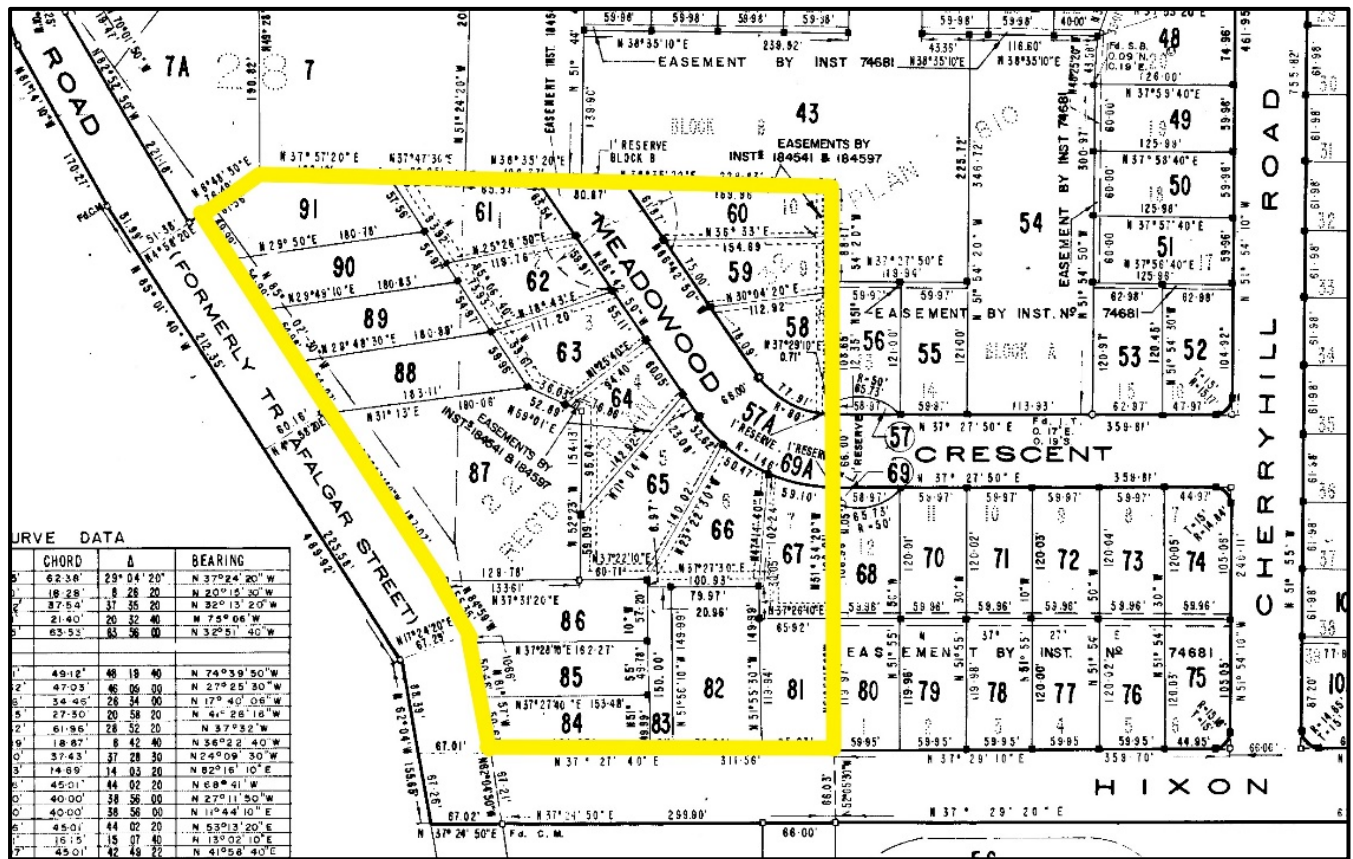
⁶¹ LRO Instrument #9672, being a Bargain and Sale dated 12 March 1908, between Charles Henry and Charlotte Gilbert; and Michael William Glendon.

⁶² Toronto Public Library, *The Toronto City Directory 1909*, *Might Directories Ltd.*, <https://archive.org/details/torontodirec190900midiuoft/page/612/mode/2up>, 612 (613). (accessed 23 July 2024)

⁶³ Town of Oakville, Planning Services property file re 231 Bronte Road, a letter dated 3 May 1995, from Colleen Murray, Bronte Historical Society's Acting Secretary, re the Glendon House.

⁶⁴ Town of Oakville, Planning Services property file re 231 Bronte Road, a letter dated 3 May 1995, from Colleen Murray, Bronte Historical Society's Acting Secretary, re the Glendon House.

Glendon was recorded as sometimes living and working in Toronto, and other times he was living in Bronte while working in Toronto.^{65, 66} This seems to be an indication that the subject building was built as the Glendon family's summer home.



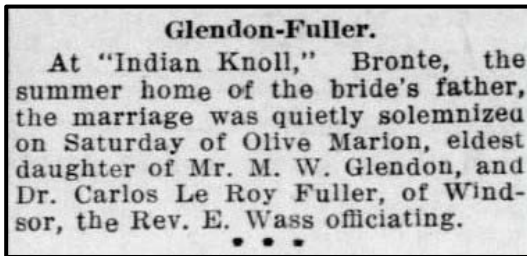
The approximate extent of the 4.92 acre parcel of land sold by Charles H. Gilbert to Michael W. Glendon in 1908. Source: Town of Oakville, map file, Registered Plan of Subdivision 20M-0006, 1968.

In 1909, a year after purchasing land in Bronte, the Glendon family had moved to Bronte, but Micheal Glendon was still working in Toronto as the General Manager of Foster-Armstrong Co., Ltd., a piano manufacturer.⁶⁷ By 1910, there was a building worth \$1,500 on the Glendon's Bronte property.⁶⁸ In 1911, while living in Bronte, Glendon listed his primary occupation as that of a piano dealer and he indicated that his other job, "other than his chief occupation or trade," was in "fruit", although it isn't clear if he was growing it or shipping it.⁶⁹ It seems that Glendon had decided to take advantage of the area's fertile soil, where apples, plums, strawberries, raspberries, and cherry and pear trees were grown in orchards and in residents' back gardens.⁷⁰ The area and its

⁶⁵ Toronto Public Library, *The Toronto City Directory 1906*, Might Directories Ltd., <https://archive.org/details/torontodirec190600midiuoft/page/n541/mode/2up>, p. 542. (accessed 23 July 2024)
⁶⁶ Toronto Public Library, *The Toronto City Directory 1913*, Might Directories Ltd., <https://archive.org/details/torontodirec191300midiuoft/torontodirec191300midiuoft/page/n769/mode/2up>, p. 770. (accessed 23 July 2024)
⁶⁷ Toronto Public Library, *The Toronto City Directory 1910*, Might Directories Ltd., <https://archive.org/details/torontocitydirectory1910/page/646/mode/2up>, p. 646. (accessed 23 July 2024)
⁶⁸ 1910 Trafalgar Township Assessment Roll (from Oakville Public Library microfilm collection).
⁶⁹ "Recensement du Canada de 1911," *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:QV9T-ZRLM> : Sun Mar 10 19:40:35 UTC 2024), Entry for M W Glendon and Marie Glendon, 1911.
⁷⁰ Alida Iacobellis, "History of Oakville: Our Beautiful Town by the Lake," Vita Collections, 2011, <https://vitacollections.ca/multiculturalontario/essay.asp?id=202&PID=12> (accessed 22 July 2024).

residents produced so much fruit that the Oakville Basket Company was established in order to accommodate the volume of fruit that was shipped daily to places such as Toronto and Hamilton.

In 1915, when Michael and Lily's daughter Olive Marion Glendon's wedding was announced, the house in Bronte was identified as their summer home and was called "Indian Knoll," a name it retained during the next owner's tenure.^{71, 72}



Left: Wedding announcement of Michael and Lily Glendon's daughter, Olive Marion, identifying the subject property as "Indian Knoll". Source: *The Evening Record, Windsor, Ontario. September 1915.*

Whether Glendon was a permanent resident of Bronte or not, he was active in the local community. In 1923, M.W. Glendon is listed as one of the school board trustees, along with Leroy Sargent and W.H. Johnston, who awarded a contract to Thomas Shields to build a new four-room school house.⁷³ Tragically, in August 1930, six years after the Glendons had sold the subject property, Michael W. Glendon and his second wife Marie were struck by a train in Hagersville, Ontario.^{74, 75, 76} Michael died from head injuries sustained during the accident, but Marie survived.⁷⁷

The Glendons sold the property to Emma Pearl Yapp in 1924. During the Yapp family's ownership, 1924-1940, the property, which was still called Indian Knoll, included a large cherry orchard.^{78, 79}

Right: Advertisement for Glendon's Piano Dealer, located at 346 Queen Street West, Toronto, Ontario, April 1906. Source: *Toronto Daily Star*, 7 April 1906

**THE NEW
GLENDON
PIANO**

Offers the best qualities of tone, touch, and durability found in the leading Canadian pianos, and at about half the regular price.

This because the customer buys direct from the factory. No costly agents, expensive warehouses, etc., to pay for.

I will ship a Glendon Piano to any responsible party in Ontario, or deliver to any resident of Toronto on one week's trial. If not satisfactory no expense and no sale.

Conditions of Payment
\$200, cash within 30
\$215, payable within 1
year, without interest.
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years, without interest.

Also agent for Steinway, Nordheimer, and Haines Pianos.
Telephone Main 4503 or apply to :

Glendon's
346 Queen West
TORONTO
References - BANK OF TORONTO

⁷¹ "Glendon-Fuller.," *The Windsor Star*, 20 September 1915,

<https://windsorstar.newspapers.com/image/500238451/?match=1&terms=Glendon-Fuller> (accessed 10 July 2024).

⁷² "Canada, Ontario Deaths, 1869-1937 and Overseas Deaths, 1939-1947," database with images, *FamilySearch* (<https://familysearch.org/ark:/61903/1:1:JKXQ-Z7J> : 2 March 2021), Emma Pearl Walsh Yapp, 07 May 1933; citing Bronte, Ontario, 017266, Registrar General. Archives of Ontario, Toronto; FHL microfilm 2,358,600.

⁷³ Ken Pollock, *Bronte on Twelve Mile Creek* (Oakville, Ontario, 2017), 91.

⁷⁴ LRO Instrument #14980, being a Deed of Land dated 15 May 1924, between Michael William Glendon et ux, and Emma Pearl Yapp.

⁷⁵ "Canada, Ontario Marriages, 1869-1927", , *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:KZ19-96R> : Sat Mar 09 15:41:26 UTC 2024), Entry for Michael M Glendon and Richard Glendon, 18 Nov 1905.

⁷⁶ "Michael W. Glendon," *The Jarvis Record*, 25 September 1930, [1930_09_25_p01.pdf \(haldimandcounty.on.ca\)](https://www.familysearch.org/ark:/61903/1:1:KZ19-96R) (accessed 9 July 2024)

⁷⁷ "Canada, Ontario Deaths, 1869-1937 and Overseas Deaths, 1939-1947," *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:JK45-M6R> : Sun Mar 10 14:52:15 UTC 2024), Entry for Michael William Glendon and Richard Glendon, 1930.

⁷⁸ "Canada, Ontario Deaths, 1869-1937 and Overseas Deaths, 1939-1947," database with images, *FamilySearch* (<https://familysearch.org/ark:/61903/1:1:JKXQ-Z7J> : 2 March 2021), Emma Pearl Walsh Yapp, 07 May 1933; citing Bronte, Ontario, 017266, Registrar General. Archives of Ontario, Toronto; FHL microfilm 2,358,600.

⁷⁹ Town of Oakville, Planning Services property file re 231 Bronte Road, *Bronte Village – Heritage Inventory*, re 225 Bronte Road, p. 168.

The property changed hands four times in the 1940s and was then owned by the Conforzi family from 1951 to 1963.^{80,81} Peter (Pietro) Conforzi (1890-1959) and Concetta (nee D'Andrea) Conforzi (1898-1984) were both born in Italy.⁸² Peter and Concetta had seven children and lived in Toronto where Peter had a construction business.⁸³ After her death in 1984, their son John Peter Conforzi (1928-2024), commemorated his mother when he donated land in Concetta's name to the Toronto Commandery Hospice for the construction of a hospice.⁸⁴ Given their deep ties to Toronto, it likely that the Conforzi family used the property as a summer getaway as other earlier owners had done.



Concetta Conforzi. Source: Toronto Commandery Hospice

In 1960, the area around the Glendon House was still surrounded by large tracts of undeveloped land, including many orchards.



On the left: The Village of Bronte in 1960. And, on the right: 225, 231, and 235 Bronte Road lay on the east side of Bronte Road, north of Hixon Street and south of Rivers Bend Lane, roughly within the area highlighted in yellow, 1960. Source: McMaster University aerial photo collection⁸⁵

⁸⁰ Toronto Commandery Hospice, "The dedication of Conforzi Place," Toronto Commandery Hospital, <https://www.ttch.org/post/conforziplace> (accessed 1 August 2024).

⁸¹ LRO Instrument #25086, being a Grant dated 25 January 1951, between Kathleen Julia Wotherspoon and Peter and Concetta Conforzi.

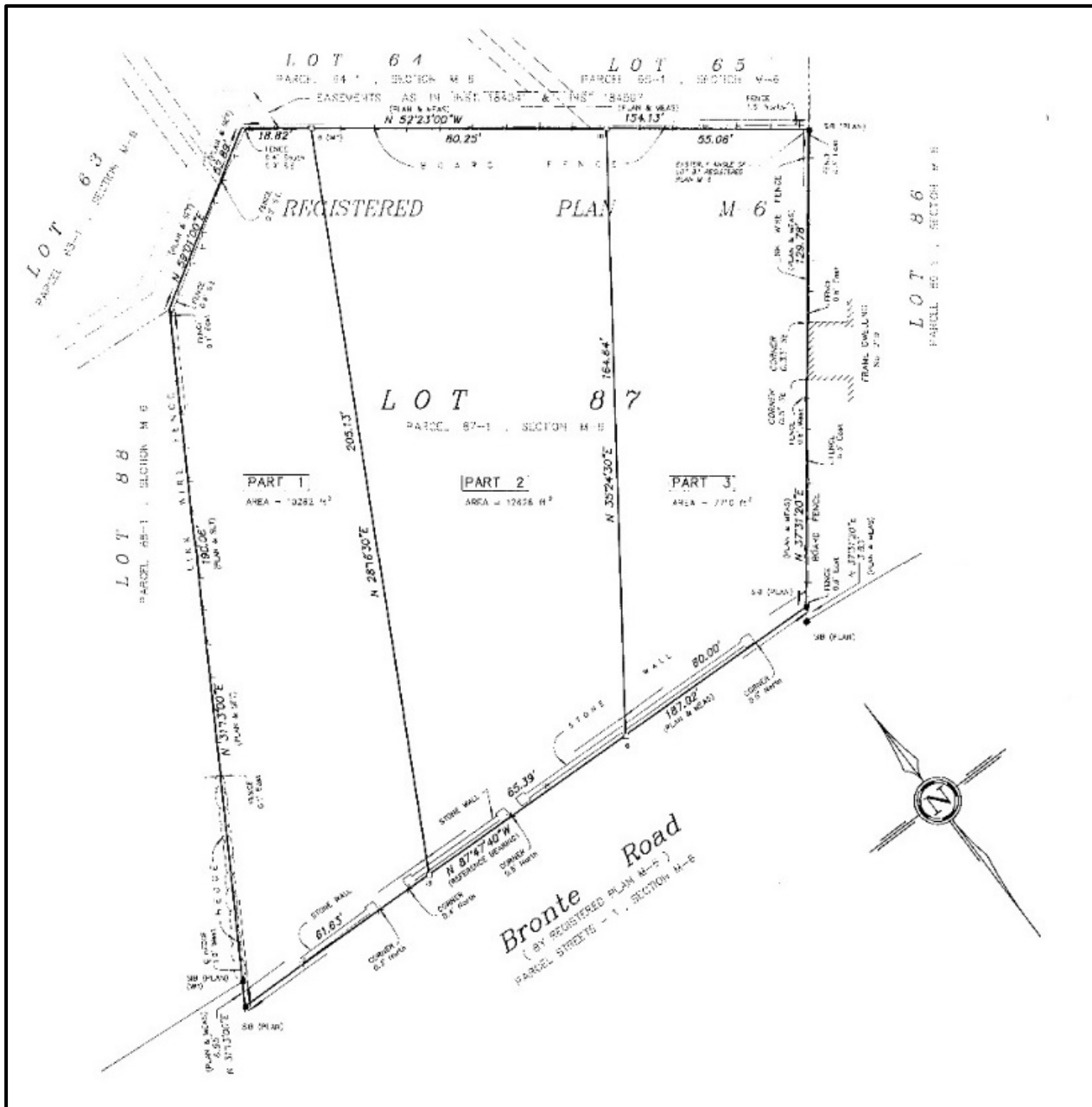
⁸² "Canada, Ontario Marriages, 1869-1927", , FamilySearch (<https://www.familysearch.org/ark:/61903/1:1:2785-73S> : Sat Mar 09 01:26:14 UTC 2024), Entry for Peter Conforzi and Urbano Conforzi, 20 May 1918.

⁸³ Toronto Commandery Hospice, "The dedication of Conforzi Place," Toronto Commandery Hospice, <https://www.ttch.org/post/conforziplace> (accessed 1 August 2024).

⁸⁴ Humphrey Funeral Home, *John Peter Conforzi, July 14, 1923 – March 25, 2024*, <https://www.humphreymiles.com/obituaries/John-Peter-Conforzi?obId=31066160> (accessed 1 August 2024)

⁸⁵ "[Golden Horseshoe Area, 1960-09-02] : [Flightline A17177-Photo 6]", McMaster University Digital Archive, [\[Golden Horseshoe Area, 1960-09-02\] : \[Flightline A17177-Photo 6\] | Digital Archive @ McMaster University Library](#), (accessed 22 July 2024)

In 1995, then property owner Ben Michaud subdivided Lot 87, Plan M6 into three lots.⁸⁶ Michaud seems to have been a land developer, as in 1998, he also subdivided land he owned in Burlington and years later, in 2017, he purchased the historic Parry Sound Railway Station.^{87, 88}



Plan 20R-11791, registered in July 1995, wherein Lot 87 of Plan M-6 was subdivided into three parcels, being, from left to right: 235 (Part 1), 231 (Part 2), and 225 Bronte Road (Part 3). Source: Town of Oakville, GIS.

⁸⁶ Plan 20R-11791, being a Plan of Survey of Lot 87, Registered Plan M-6, (Boundaries Act Plan 146), Town of Oakville, Regional Municipality of Halton, registered on 11 July 1995.
⁸⁷ The Corporation of the City of Burlington, By-law number 16-1998, being a by-law to exempt Part of Lots 1 and 3, Plan 125 as in 846902 from Part Lot Control – Scott Ben Michaud, File No. 510-04-21/97.
⁸⁸ The Corporation of the Town of Parry Sound, Council Meeting Minutes October 3, 2017, item 9.3.1 Sale of CN Station – 1 Station Road, Resolution 2017-169.

After Lot 87 was subdivided, Michaud sold off the three resulting parcels. The ownership of the three subject properties are as follows:

225 Bronte Road:

Scott Ben Michaud	Parcel 87-1, Section M6, Part Lot 87, Plan M6, Part 3	1994-1998
Ina Margaret & Kenneth Willard Hodgkin	Parcel 87-1, Section M6, Part Lot 87, Plan M6, Part 3	1998-2014
Recent owners	Parcel 87-1, Section M6, Part Lot 87, Plan M6, Part 3	2014-2024
Current owners	Parcel 87-1, Section M6, Part Lot 87, Plan M6, Part 3	2024-present

The Glendon House property at 231 Bronte Road:

Scott Ben Michaud	Plan M6 Part Lot 87; Plan 20R11791, Lot 87, Part 2#	1994-1995
George and Sally Bettencourt	Parcel 87-2, Section M6	1995-2003
Current owners		2003-present

235 Bronte Road:

Scott Ben Michaud	Parcel 87-1, Section M6, Part of Lot 87, Plan M6, Part 1	1994-1997
Jaqueline & Daniel Reed Chelin	Parcel 87-1, Section M6, Part of Lot 87, Plan M6, Part 1	1997-2000
John Frederick Grainger	Parcel 87-1, Section M6, Part of Lot 87, Plan M6, Part 1	2000-2011
Karen Lea Dyne & Gerhard Schuetz	Parcel 87-1, Section M6, Part of Lot 87, Plan M6, Part 1	2011-2016
Current owners	Parcel 87-1, Section M6, Part of Lot 87, Plan M6, Part 1	2016-present

In conclusion, the subject properties have cultural heritage value for the stone wall located on 225, 231 and 235 Bronte Road.

Contextual Value

The properties at 225, 231, and 235 Bronte Road have contextual value because they are physically, functionally, visually and historically linked to their surroundings, a low-density residential neighbourhood. Historically, the Bronte Road streetscape was defined by small to mid-sized homes on large lots, with moderate front yard setbacks. In the early years, many were the homes of fruit farmers who took advantage of the area's rich soil to establish small to mid-sized orchards which supplied soft fruit to the big city markets of Hamilton and Toronto. In recent decades, many of these large orchard properties have been subdivided, and larger contemporary homes have replaced land once ripe with apple and pear trees. The infill has changed the historic rhythm and character of the street. However, a few of these historic homes remain, including 231 Bronte Road, which along with the stone wall at 225, 231, and 235 Bronte Road, serve as important reminders of Bronte's late 19th and early 20th century residential development.

The conservation of the stone wall will ensure that this important streetscape will be retained and will continue to inform passersby of the area's history.



Aerial view of 225, 231, and 235 Bronte Road. Source: Town of Oakville, GIS



From left to right: 235, 231, and 225 Bronte Road. March 2024. Source: Town of Oakville, Planning Services staff photos



Looking east towards 231 Bronte Road, the Glendon House. 235 Bronte Road is to its left and 225 Bronte Road is to its right. March 2024. Source: Town of Oakville, Planning Services staff photo



Looking southeast towards, from left to right, 235, 231, and 225 Bronte Road, and their historic stone wall. June 2024.

Source: Google Street View



Looking northeast toward 231 Bronte Road, the grey house with the brick chimney. June 2024. Source: Google Street View

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject properties are guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The stone wall is a rare example of an early 20 th century fieldstone wall in Oakville.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The properties do not display a high degree of craftsmanship or artistic merit.	N
iii. demonstrates a high degree of technical or scientific achievement.	The properties do not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	The property has direct associations with the Bronte's late 19 th and early 20 th century residential and summer home development history, and with the area's early 20 th century agricultural practices.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The properties do not yield any significant information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	The properties do not demonstrate or reflect the work or ideas of any significant person.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The historic character of the area has been altered in recent decades.	N
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is physically, functionally, visually and historically linked to its surroundings, an early 20 th century middle class neighbourhood characterized by small to mid-sized homes built for Bronte Village's middle class. The Glendon House and stone wall give context to the surroundings as a summer home built for a middle-class Toronto merchant family.	Y
iii. is a landmark.	The properties are not landmarks.	N

5. Statement of Cultural Heritage Value or Interest

The subject properties at 225, 231, and 235 Bronte Road have been researched and evaluated to determine their cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the properties' cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The subject properties at 225, 231, and 235 Bronte Road are located on the east side of Bronte Road, north of Hixon Street, and south of Rebecca Street. The Glendon House property, located at 231 Bronte Road, contains a two-storey, circa 1910 vernacular frame house and a historic stone wall that spans the three subject properties at 225, 231, and 235 Bronte Road.

Design Value or Physical Value:

The Glendon House Stone Wall at 225, 231 and 235 Bronte Road has design and physical value as a representative example of an Arts and Crafts era field stone wall. The goal of the residential Arts and Crafts movement was to portray the home as a place of serenity, with a focus on the home as part of the natural environment. Natural materials such as brick, stone, stucco and wood were used in new dwellings and associated landscape elements. The subject stone wall is reflective of this design era with its natural field stone material, likely found on the property. The stone wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, rustic aesthetic that was typical of the Arts and Crafts era. While there is a number of lakestone walls in the area, the Glendon Stone Wall remains one of the only, if not the only, field stone wall in Oakville.

Historical Value or Associative Value:

The Glendon House Stone Wall at 225, 231, and 235 Bronte Road has cultural heritage value because of its direct associations with the theme of late 19th and early 20th century residential and cottage development in Bronte. The wall is a physical reminder of the influx of middle and upper-middle class residents to the area, many of whom came to escape overcrowded big-city living conditions, either permanently or as temporary summer residents. Once part of a larger five-acre property, the properties also have cultural heritage value because of their direct associations with small-scale farming activities, specifically fruit farming. Property owners took advantage of the area's rich soil to establish small to mid-sized orchards which supplied soft fruit to the big city markets of Hamilton and Toronto.

Contextual Value:

The Glendon House Stone Wall at 225, 231, and 235 Bronte Road has contextual value because it is physically, functionally, visually and historically linked to its surroundings along Bronte Road. Historically, the Bronte Road streetscape was defined by small to mid-sized homes on large lots, with moderate front yard setbacks. In the early years, many were the homes of fruit farmers with small to mid-sized orchards. While infill has changed the historic rhythm of the street, a few of these historic homes remain, including 231 Bronte Road, which along with the stone wall at 225, 231, and 235 Bronte Road, serve as important reminders of Bronte's late 19th and early 20th century residential development.

Description of Heritage Attributes

Key attributes of the subject properties at 225, 231, and 235 Bronte Road, which exemplify their value for their early 20th century fieldstone wall, include the following:

- The low fieldstone wall and pillars that remain in their original pre-1995 location; and

- The design of the wall with curving slopes and square pillars, both topped by singular stones.

6. Conclusion

The subject properties located at 225, 231, and 235 Bronte Road meet three of the criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. It is therefore recommended that the properties be designated under Part IV, section 29 of the *Ontario Heritage Act*.

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Cultural Heritage Evaluation Report
Dane MacKendrick House
1314 Lakeshore Road East, Oakville, Ontario



East elevation of 1314 Lakeshore Road East, 2024. Source: *Town of Oakville Planning Services Staff*

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

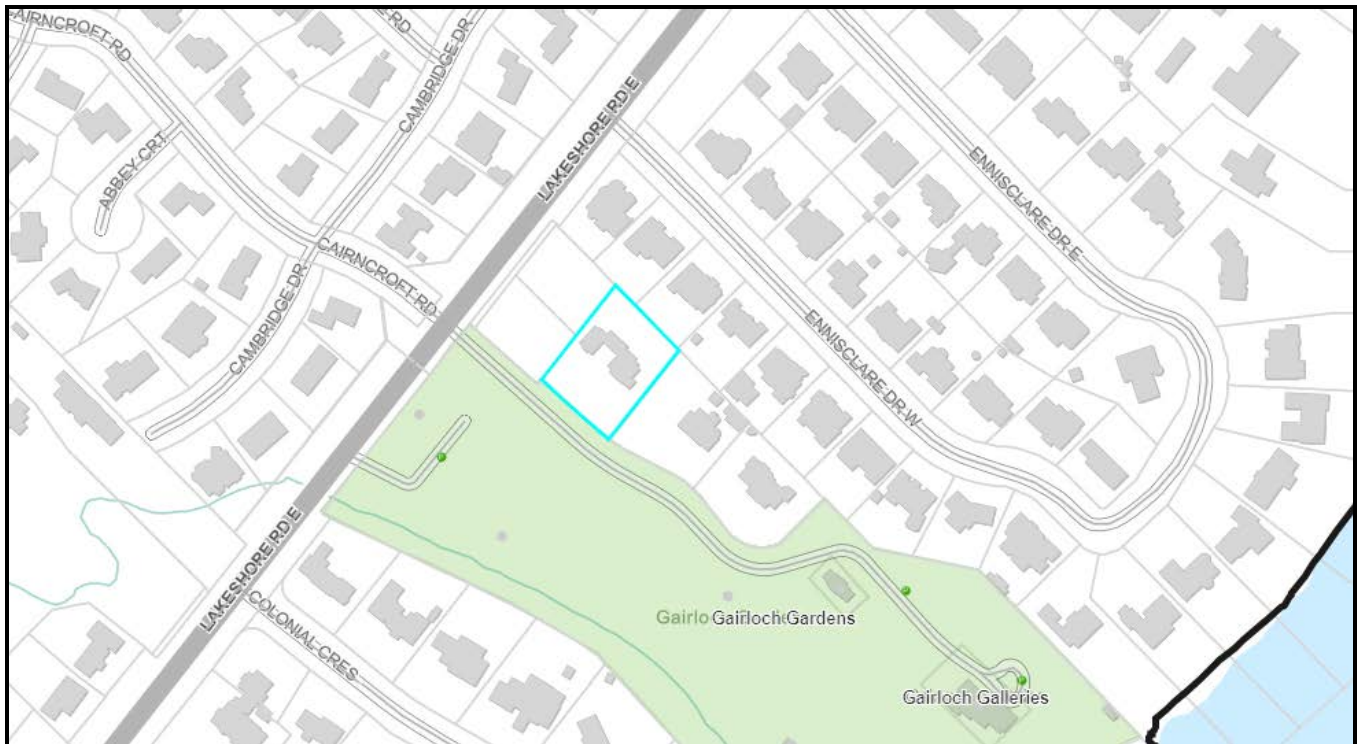
The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The property at 1314 Lakeshore Road East is located south of Lakeshore Road East between Gairloch Gardens and Ennisclare Drive West. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. The property was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* for its potential cultural heritage value for its "circa 1920s Arts & Crafts style frame house and garage and for its associations with the MacKendrick family who owned Gairloch Gardens."

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets four of the criteria of Regulation 9/06. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

2. Subject Property

The property at 1314 Lakeshore Road East is located south of Lakeshore Road East, between Gairloch Gardens and Ennisclare Drive West. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. It was historically a part of the Fourth Concession South of Dundas, Part Lots 7 and 8. W.G. MacKendrick bought the land in Lot 7 as part of his estate in 1910, and Lot 8 in 1921; he then sold several portions to his children, including the subject property at 1314 Lakeshore Road East. The house was then built by Dane MacKendrick, his son, between 1926 and 1929.



Location map: Subject property is outlined in blue. May 2024. Source: Town of Oakville GIS

Legal description: CON 4 SDS PT LOTS 7 & 8 RP 20R8669 PARTS 1, 2, 3; TOWN OF OAKVILLE

3. Background Research

Design and Physical Value

The subject building at 1314 Lakeshore Road East is a one-and-a-half storey frame house. The home has architectural value as a representative example of a Tudor Revival home built during the Arts and Crafts period of the early 1900s.

Tudor Revival (1890-1930)

Most often modelled after rural cottages and country manor houses of the Tudor period of England (1485-1603), houses with Tudor Revival elements call back to Medieval cottage architectural styles. During the early- to mid-1900s, elements from this style were often incorporated into Arts and Crafts houses.¹ Some common elements are steeply pitched roofs with flared peaks and bellcast roofs, cross gables and dormers, half-timbering on upper floors with a contrasting base of brick, narrow casement windows, narrow vents, exposed eaves and window lintels that imitate stone or hewn timbers.

Arts and Crafts Movement (1890-1940)

The Arts and Crafts movement began in Britain as a reaction to the rapid growth of industry and the dehumanization of society that resulted from the sudden restructuring of the population to accommodate large factories.² The movement spread to North America and many structures built between 1890 and 1940 demonstrate Arts and Crafts influenced architectural details.³ Generally, the goal of the residential Arts and Crafts movement was to portray the home as a place of serenity, with a focus on the home as part of the natural environment.⁴ Houses were meant to fit intrinsically into their sites, and its relationship to the natural environment was key to the construction of the house.⁵

Characteristics of Arts and Crafts inspired residences can include: a combination of cladding materials ranging from brick, stone, stucco, shingles, and horizontal wood cladding; wide verandahs or porches sometimes created through an extension of the main roof; dormer windows and wall gables; small paned casement windows, recessed entrances typically under porches; exposed rafter tails or brackets; and asymmetrical façades.

Subject Property Design

The property at 1314 Lakeshore Road East features many Tudor Revival and Arts and Crafts elements. The house has a unique asymmetrical roofline, which calls back to the Tudor Revival style and English cottages. It is also irregular in shape and rambling in construction, another design element of the Arts and Crafts era, done to tie the home in with its natural environment. On the front (west) elevation, the house has a long bellcast curved roof with a front gable. The south elevation has the continuation of the bellcast roof, as well as a side gable wing and a small side entryway. The east elevation (rear) has a gable dormer and a shed dormer, and the north elevation has additions from the 1990s and 2000s. The front porch, south porch, and bay window roofs all have exposed eaves, a common element of Arts and Crafts houses.

The original home includes additions: 1990 renovations added a two-storey wing on the north side of the original house and a small one-storey wing at the rear; in 2001 a new two-storey detached garage was added; and in 2008, a one-storey portion joining the house to the garage was constructed.

¹ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 125

² Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 101

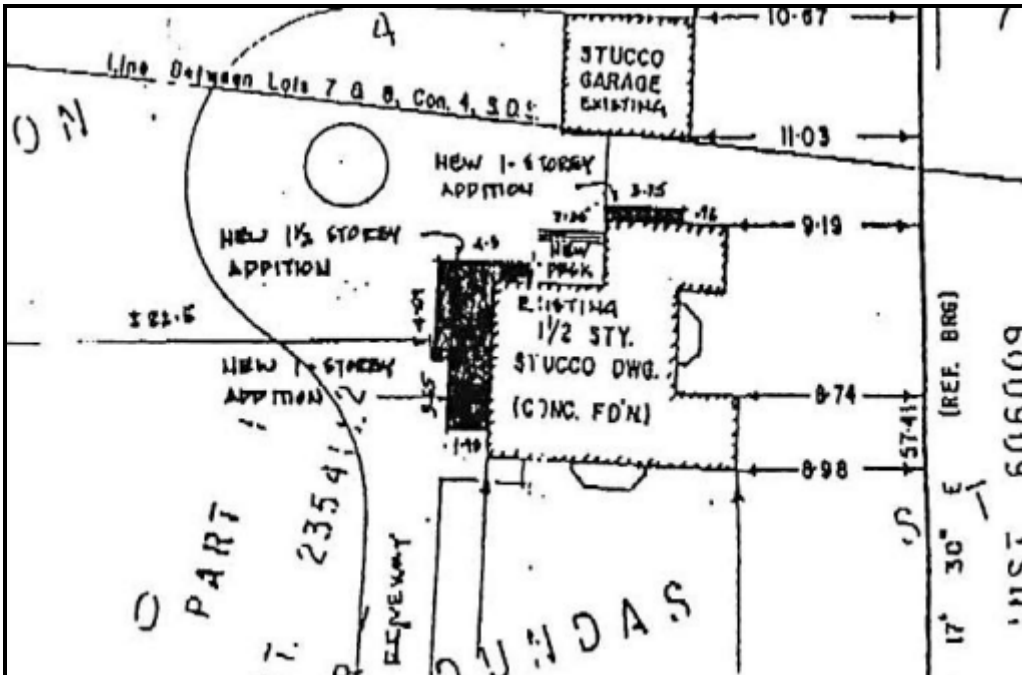
³ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

⁴ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 105

⁵ Ontario Architecture, "Arts and Crafts", <http://www.ontarioarchitecture.com/ArtsandCrafts.htm>



Historical photo of the house without additions, circa 1950s. Source: Town of Oakville Planning files via Janet Armstrong



The additions from 1990 shown in black. Source: Town of Oakville planning files



West elevation of the original house, 2024. Source: *Town of Oakville Planning Staff*



Garage addition and one-storey portion on west elevation, 2024. Source: *Town of Oakville Planning Staff*



North elevation with 1990s addition on the left, 2024. Source: Town of Oakville Planning Staff



South elevation, 2024. Source: Town of Oakville Planning Staff



Original portion of house highlighted in yellow, showing the asymmetrical massing. *Source: Google Aerial*



Another view of the west elevation to show the bellcast roofline, 2024. *Source: Town of Oakville Planning Services Staff*



A historical photo of the house showing the roofline and how it extends on the south elevation. *Source: Town of Oakville planning files, via Janet Armstrong*

The house is clad mainly in stucco, a typical cladding material of Arts and Crafts houses. These houses often have multiple cladding materials to add to the textured nature of the house. The subject property historically had brick on the lower portion of the house. It was later painted the same colour as the house at an unknown date and has since been stuccoed over to match the rest of the house.



Historical photo showing the brick lower portion of the house. *Source: Town of Oakville planning files via Janet Armstrong*



A later historical photo showing the brick painted over. The old stucco garage can be seen on the left side of the image. *Source: Town of Oakville planning files via Janet Armstrong*

Wooden shingle cladding is used on the bay windows and dormers of the house while the roof has wooden soffits and wooden fascia in the exposed wooden eaves to add to the rustic nature of the house.



Exposed wooden eaves on the roof over the front bay window on the west elevation, 2024. This is the same on all overhanging rooflines of the house. *Source: Town of Oakville Planning Staff*



Close-up of the wooden fascia, soffit, and exposed eaves on the west elevation, 2024. *Source: Town of Oakville Planning Services Staff*

The front entry is covered by the extended roofline with exposed wooden eaves. It has a small window and a wooden front door with wooden screen door. A pillar against the wall helps to support the roof, and the entryway has flagstone steps and small patio. Flagstone was often used in cottage-style Arts and Crafts homes to act as a pastoral connection between the interior and the exterior.



Front entrance with flagstone patio, 2024. *Source: Town of Oakville Planning Staff*

The house contains a mix of historic and contemporary casement windows. Most windows on the original portion of the house are multipaned wooden casement windows with wooden sills and simple wooden trim, typical of the Tudor Revival style and the Arts and Crafts era. The house also has projecting bay windows on both the west and south elevations. The front gable of the house has a narrow vent and the south gable has a narrow window in the attic; these narrow proportions are indicative of the Tudor Revival style.



Close-up of the set of three windows and the vent, 2024. *Source: Town of Oakville Planning Staff*

The house has an offset unadorned chimney; this style of chimney—simple but large—is common on Craftsman-style houses from the Arts and Crafts era. The brick appears to match the brick that was originally on the lower portions of the walls.



One of the chimneys, 2024. *Source: Town of Oakville Planning Staff*

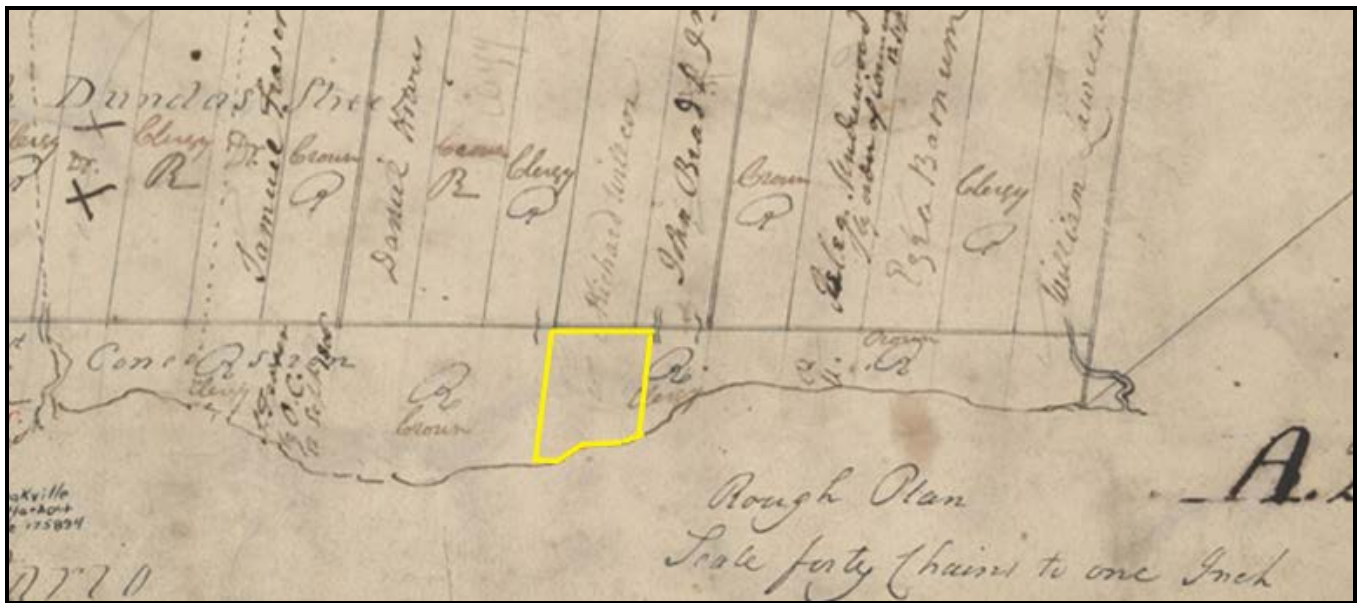
In summary, the house has many historical elements of Tudor Revival architecture with Arts and Crafts influence. Elements include: asymmetrical and irregular massing and form of the one-and-a-half-storey building

with steep bellcast roof; a mix of stucco and wooden shingle cladding; wooden soffits and fascia with exposed wooden eaves; west elevation porch with flagstone; presence of a panelled wooden front door; bay windows on the west and south elevations; the use of multipaned wood windows in the Arts and Crafts style with wood trim; and red brick chimney.

Historical and Associative Value

The property at 1314 Lakeshore Road East is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and a strip of land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.⁶ The subject property is in the territory of Treaty No. 14.⁷

The land outside of the waterway reserves kept by the Mississauga was divided up by the Crown. The subject area was known as the Fourth Concession South of Dundas Street, Part Lots 7 and 8.



Wilmot's Trafalgar Township Survey, 1806, with Lot 8 and half of Lot 7 outlined in yellow, 4th Concession South of Dundas Street. Source: Archives of Ontario

The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding “about 20,000” acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.⁸

Below is a summary of the owners of the property from the Crown patent to the current owners. Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property's building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period.

⁶ Debwewin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

⁷ 1806 Wilmot Survey; Mississaugas of the Credit GIS Treaty Map

⁸ Debwewin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10

Lot 7

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	Lot 7	1806-1812
Richard Wilcox	35 acres of Lot 7	1812
John C. Harris	Ibid.	1812-1832
George McCraney	Ibid.	1832-1834
Elijah Dexter	33 ³ / ₄ acres	1834-1835
John C. Griswold	Ibid.	1835-1838
Anson Griswold	Ibid.	1838-1840
Diana (?) Hilliard	Ibid.	1840-1849
William Francis Romain	Ibid.	1849-1851
William Leach	Ibid.	1851-1852
James Spencer	16 ⁷ / ₈ acres of the westerly half	1852-1865
Charles Levey	Ibid.	1865-1872
Reuben Simeon Bacon	Ibid.	1872, 1887, 1889-1889
Albert and Kate Dodd and James Boomer	18 acres in westerly half	1889-1890
James and Anne Boomer	10 acres in westerly half of westerly half	1890-1904
Ontario Oddfellows Association	20 acres, west half and other land	1904-1910
Sarah and William G. MacKendrick	Ibid.	1910-1926
Dane MacKendrick	Part Lots 7 and another lot	1926-1947
William Gould Armstrong	Part lots 7 and 8	1947-1988
Wayne and Joan Dinwoodie	Ibid.	1988-1997
Current owners	Ibid.	1997-present

Lot 8

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	Lot 8	1806-1839
Richard Coates Sr.	Lot 8	1839-1856
Richard Coates Jr.	46 acres	1856-1861
Orpheus and Sabina Coates	36 acres	1861-1863
Richard Hallaran	Ibid.	1863-1864
Henry McCardle	Ibid.	1864-1874
James Scarlett	Ibid.	1874-1888
Kitty E.B. Scarlett	Ibid.	1888
Mary Jane Walls	Ibid.	1888-1907
William Henry Brouse	Ibid.	1907-1921
William G. MacKendrick	11.47 acres	1921-1926
Dane MacKendrick	Part Lot 7 and another lot	1926-1947
William Gould Armstrong	Part lots 7 and 8	1947-1988
Wayne and Joan Dinwoodie	Ibid.	1988-1997
Current owners	Ibid.	1997-present

In the 1800s, the land east of Oakville was utilized mostly for farming, lumber, and other resource extraction. As Oakville grew, particularly around the mid-1800s, the large historic lots east of town were subdivided further and further. Many continued to be farmed, but in the late 1800s some of the lots were being turned into estates built by the wealthy, many of whom came from Toronto and called these large estates summer homes.⁹



George Tremaine's "County of Halton" survey, 1858, with Lot 8 and the west half of Lot 7, 4th Concession South of Dundas Street, highlighted in yellow. Source: University of Toronto

Lot 7 and 8 were utilized as farms into the 1850s. Richard Coates received a land grant that included Lot 8 in Concession 4 SDS. Lower Morrison Creek, formerly known as Coates' Creek, runs through the historic Lot 8 which he owned as evident in the map above. It is likely that Coates' Creek was named after Richard Coates Senior.

Coates was a well-known and respected resident who had a varied career. Before immigrating to Upper Canada, he served as Bandmaster in the British Army.¹⁰ In his 1824 land petition, Coates described himself as a painter. His work included portraits and "symbolical decorations of the interior of the Temple of Sharon", which he painted at the request of David Willson, the founder of the Children of Peace, an Upper Canadian Quaker sect.¹¹

In 1831, Coates Sr. relocated to Trafalgar Township where he purchased property, which he named "Thornton Farm" after his birthplace in England.¹² After acquiring the subject property in late 1839, Coates Sr. set up a sawmill on the creek that was named after him.¹³ Coates Sr. retained ownership of Lot 8, Concession 4 SDS for slightly more than fifteen years, until he sold 46 acres to his son, Richard Coates Jr. Land registry records indicate

⁹ Ahern, Frances Robin, *Oakville: A Small Town (1900-1930)*. 3rd ed., Oakville: Oakville Historical Society in association with The Boston Mills Press, 1986, pg. 87

¹⁰ Mathews, Hazel, *Oakville and the Sixteen: The History of an Ontario Port*, Toronto: University of Toronto Press Incorporated, 1953, pg. 278

¹¹ Ibid.

¹² Ibid.,

¹³ Ibid.

Historically, Oakville's location, beautiful scenery, and strong economy made it an attractive destination to visit and in which to live. As well as being a source of transportation for both goods and people, Lake Ontario provided recreation to residents and visitors. Amongst these visitors was a small group of wealthy businessmen and their families from Toronto and elsewhere who bought property along the lakefront.¹⁹ The result was that large homes and beautifully landscaped grounds became the norm along Lakeshore Road East (then Lake Shore Road). So many of these wealthy families arrived between 1900 and 1930 that the lakefront became known as Millionaire's Row.²⁰ It was during this time that the subject property was purchased by Lieutenant Colonel William G. MacKendrick.

Family history indicates that William Gordon MacKendrick (1864-1959), who made his fortune as a road builder, amassed between 350 and 400 acres of land running from Lake Ontario to Upper Middle Road.²¹ Land registry records indicate that MacKendrick made two purchases in Concession 4 SDS. The first purchase occurred in 1910, when MacKendrick and his wife Sarah King (1866-1913) bought the "westerly half of broken front, Lot number Seven in the Fourth concession South of Dundas Street in the said Township of Trafalgar, containing by admeasurement twenty acres...more or less", from the Ontario Oddfellows Home Association, for \$35,500.²²

The second purchase occurred in November 1921, when MacKendrick bought from William Henry Brouse, 11.47 acres of "part of Lot Number Eight in the Broken Front, or Fourth Concession, S.D.S.", for \$15,500.²³ It was after this second purchase that Colonel MacKendrick, as he was more commonly known, built his home. Constructed between 1923 and 1924 and developed as a private, waterfront estate, MacKendrick named the property "Chestnut Point".²⁴ This house and its grounds, built and designed by MacKendrick, are now a designated cultural heritage landscape in Oakville.



Undated photo of Chestnut Point. Source: Oakville Galleries

¹⁹ Oakville Public Library, *A History of Oakville: Our Beautiful Town by the Lake, Lifestyle*, <http://images.oakville.halinet.on.ca/202/Exhibit/7>

²⁰ *Ibid.*

²¹ Casas, Teresa, "Paving the Way to Paradise: W.G. MacKendrick, William James, and the Interconnected Development of Parks, Subdivisions and Estates in Toronto and Oakville", 2013, <https://teresa.cce.com/wp-content/uploads/2013/10/Paving-word-October-14-2013.pdf>

²² LRO Instrument 10038, being a Bargain and Sale, dated June 7, 1910, between Ontario Oddfellows Home Association and William Gordon MacKendrick

²³ LRO Instrument 14019, being a Grant, dated November 29, 1921, between William Henry Brouse and William Gordon MacKendrick

²⁴ Casas, Teresa, "Paving the Way to Paradise: W.G. MacKendrick, William James, and the Interconnected Development of Parks, Subdivisions and Estates in Toronto and Oakville", 2013, <https://teresa.cce.com/wp-content/uploads/2013/10/Paving-word-October-14-2013.pdf>

William MacKendrick was one of eight children born to James MacKendrick and Clara Crane, in Galt (now Cambridge), Ontario. Educated at Galt's Central School and Collegiate Institute, MacKendrick learned, through hands-on experience, the trade of road building.²⁵ Described as a "major road builder and promoter of city parks and gardens", by 1913, MacKendrick was a man of significant property, owning a house with extensive gardens in Rosedale as well as his summer home on Centre Island and the property outside of Oakville.²⁶ He was an avid gardener, but was also a Toronto businessman and Manager of the Warren Paving Company until he retired to his Oakville estate where he also had a farm known as Chestnut Jersey Farm.²⁷ He also spent time in France during the First World War paving roads for the Allied armies.



William G. MacKendrick's garden at his Centre Island home in Toronto, 1911. *Source: Canadian Home and Garden April 1911 issue*



Above: Lt. Col. William G. MacKendrick with his first wife Sarah Corrine (Cora) nee King and their five surviving children, 1910. *Source: Oakville Galleries*
 Left: W.G. and wife Corrine at the Toronto Jockey Club, 1913. *Source: City of Toronto Archives*

²⁵ Ibid.

²⁶ Ibid.

²⁷ OnLand, LRO Abstracts, Concession 3, Lots 7 and 8.

Sometime after April 1923, MacKendrick decided to construct a rural retreat for him and his family. This was after the death of his wife Corrine (more commonly known as Cora) in 1913 and the death of their eldest son Gordon in France in 1916 during the First World War.²⁸ His estate, Chestnut Point, was built “in a grove of chestnut trees” and was constructed in a design that was similar to his Toronto house.²⁹ Built in 1911, MacKendrick’s Toronto Rosedale home, which still stands at 55 Roxborough Drive, was based on a design by Ashton Pentecost which was said to be inspired by the English homes of British architect Charles F.A. Voysey.³⁰ At Chestnut Point, MacKendrick went so far as to replicate the ravine topography of his Rosedale home.

MacKendrick used his experience in gardening to design the extensive gardens and landscape of the estate. According to MacKendrick’s son Harry, his father chose to settle in Oakville after the war mostly because he wanted a larger garden. He laid flat lake stones “into the pathways which led to the canopied teahouse and down to the lake [and] landscaped the grounds with [trellises], hedges, trees and shrubs to preserve and enhance his beloved vistas.”³¹

Further, he “dammed Morrison Creek just south of Lakeshore Road to create two duck ponds. Beyond these ponds he planted rose gardens and extensive vegetable gardens. At a similar distance the tennis courts were located.”³² Colonel MacKendrick was the President of the Toronto Horticultural Society, and Harry MacKendrick states that at one time the gardens featured more than 350 different varieties of roses.³³

Another theory posits that MacKendrick built Chestnut Point as a personal retreat from the fast pace of city life and the “global political sphere that he had once embraced as city builder and servant of the British Empire.”³⁴ A popular belief at the time, known as the *Park Movement*, espoused the view that the “park as a restorative environment” provided beneficial effects “of beauty as it was manifested in nature.”³⁵ “Crowded housing was thought to undermine a community’s moral standards” and country life was thought to be “imbued with higher moral standards.”³⁶ In an interview, his daughter Gina stated that he wanted a quieter place to raise the children.³⁷

In an August 1979 newspaper interview, Harry MacKendrick spoke about the “heart, energy and money that Dad [Colonel MacKendrick] poured into this place” as being “stupendous.”³⁸ He went on to describe life at Chestnut Point as well as the 350-acre farm that lay north of Gairloch.

²⁸ Casas, Teresa, “Paving the Way to Paradise: W.G. MacKendrick, William James, and the Interconnected Development of Parks, Subdivisions and Estates in Toronto and Oakville”, <https://teresa.cce.com/wp-content/uploads/2013/10/Paving-word-October-14-2013.pdf> (accessed 20 February 2019).

²⁹ Ashe, David, and Joyce Burnell, *Oakville Street Names & Landmarks*, London: Burnell and Creighton Publishing, 2007, pg. 38

³⁰ *Ibid.*, pgs. 12-6.

³¹ *Ibid.*, pg. 16.

³² Oakville Galleries, “An Information Package on the History of The Gairloch Estate, Gardens and Gallery: Plans” (1992); “Written description of interior of Colonel Mackendrick [sic] Residence (1922)”, pgs. 16-17

³³ Oakville Galleries, “An Information Package on the History of The Gairloch Estate, Gardens and Gallery: Colonel William MacKendrick and Family, Articles” (1992); *Toronto Star*, “Gairloch Gardens: The echoes of gala parties”, Wednesday, August 8, 1979, pg. A2

³⁴ Casas, Teresa, “Paving the Way to Paradise: W.G. MacKendrick, William James, and the Interconnected Development of Parks, Subdivisions and Estates in Toronto and Oakville”, 2013, <https://teresa.cce.com/wp-content/uploads/2013/10/Paving-word-October-14-2013.pdf>

³⁵ *Ibid.*

³⁶ *Ibid.*

³⁷ Interview with Gina MacKendrick, research files on Lakeshore Estates, Peacock fonds, Oakville Historical Society.

³⁸ Oakville Galleries, “An Information Package on the History of The Gairloch Estate, Gardens and Gallery: Colonel William MacKendrick and Family, Articles” (1992); *Toronto Star*, “Gairloch Gardens: The echoes of gala parties”, Wednesday, August 8, 1979, pg. A2



Stone pillars on the driveway between 1310 Lakeshore Road East and 1306 Lakeshore Road East, north of the studio, circa 1950s and 2018. Source: Janet Armstrong and Town of Oakville Planning Staff

As his children matured, Colonel MacKendrick ‘sold’ land along the driveway for homes to two of his married children.³⁹ Land registry records indicate that on April 8, 1926, the first gift of land went to his son Dane Evan MacKendrick (1900-1952) when he purchased, for “Love and \$1” part of Lot 7 and 8, Concession 4 SDS.⁴⁰ Today this property is known municipally as 1314 Lakeshore Road East and is the subject property.

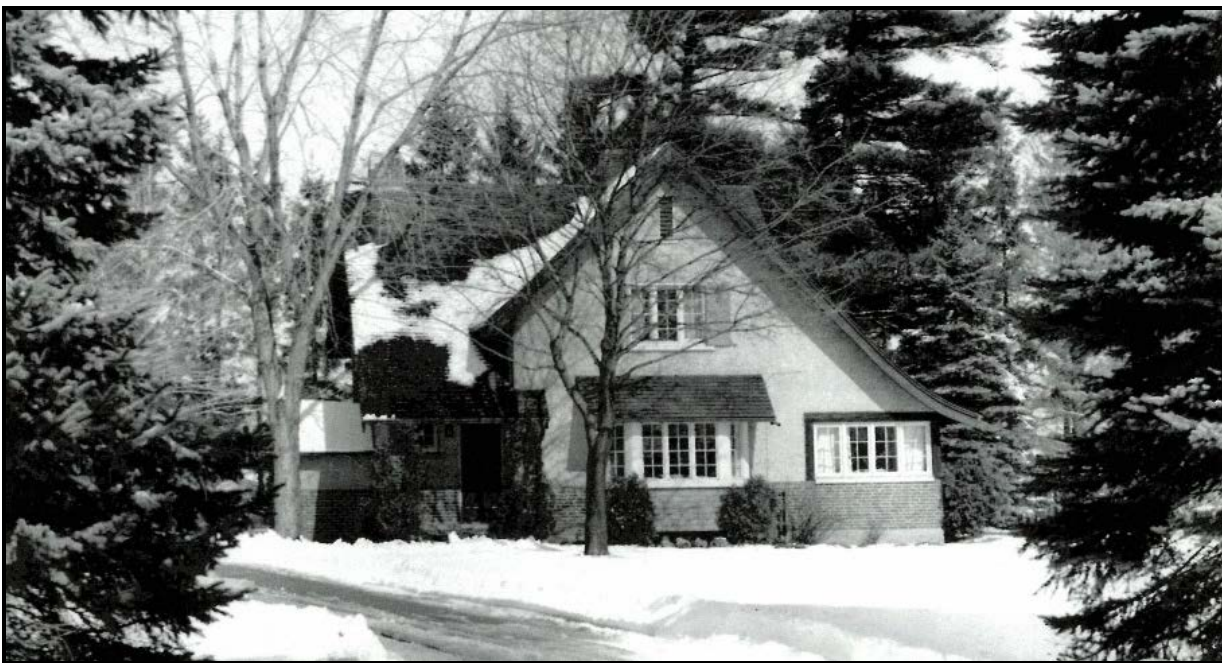
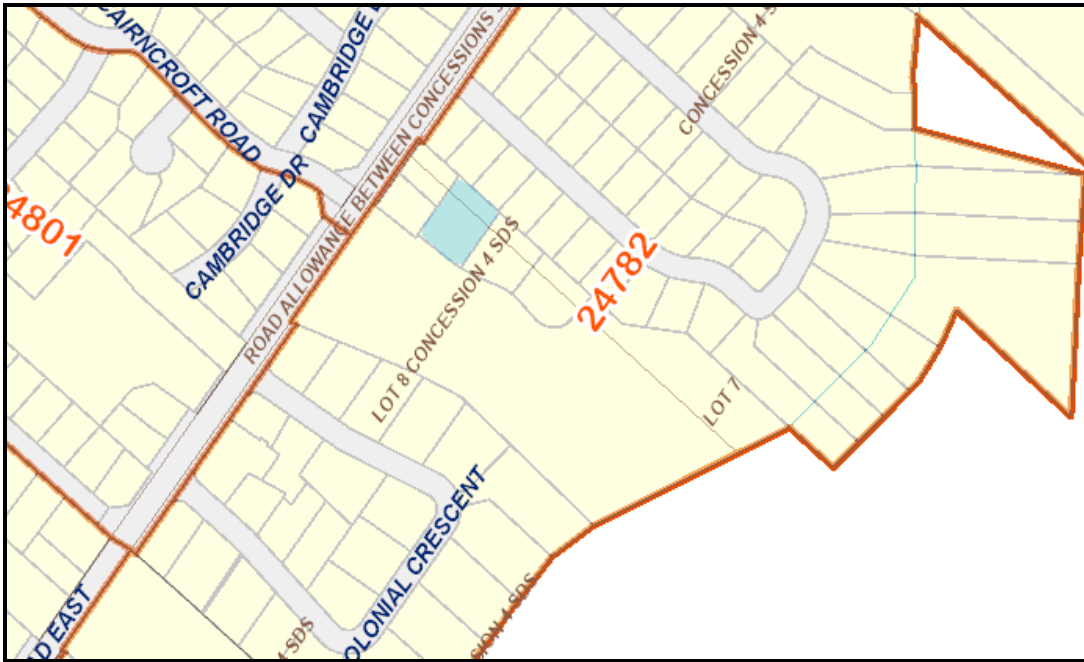


Figure 19: 1314 Lakeshore Road East, Dane E. MacKendrick’s house, March 1950. Source: Town of Oakville planning files via Janet Armstrong

³⁹ Ahern, Frances Robin, *Oakville: A Small Town (1900-1930)*. 3rd ed., Oakville: Oakville Historical Society in association with The Boston Mills Press, 1986, pg. 88

⁴⁰ LRO Instrument 15711, being a Grant, dated April 1926, between William Gordon MacKendrick and wife and Dane E MacKendrick



Subject property (highlighted in blue) showing majority of the property is in the historic Lot 8, with a portion of the rear in Lot 7. *Source: OnLand*

Dane MacKendrick (1900-1952) was the second son of William G. and Corrine MacKendrick. He was a captain in the Queen's Own Rifles in 1922.⁴¹ He attended school at Trinity College and the University of Toronto.⁴² In 1911, he was listed as living in Toronto, and was 13 years old when his mother died.⁴³ In 1916, his brother Gordon died in the First World War.⁴⁴ In 1921, he was a boarder at a house in Walkerton, Ontario, and listed his occupation as a student.

In 1925, he married Madeleine Eaton (1897-1990). Madeleine was the daughter of John Weldron Eaton (1868-1900) and Florence Mabelle Susan McConnell (b. 1875) from St. Mary's, Ontario. By 1925, Dane was listed as a contractor's assistant, although the industry is not clear.



Dane and Maddie MacKendrick in a family photo, undated. *Source: Oakville Galleries*

⁴¹ Ancestry.ca, Dane MacKendrick files

⁴² *Vancouver Sun*, "Rites held for paving firm president", September 29, 1952, pg. 2

⁴³ 1911 Census of Canada

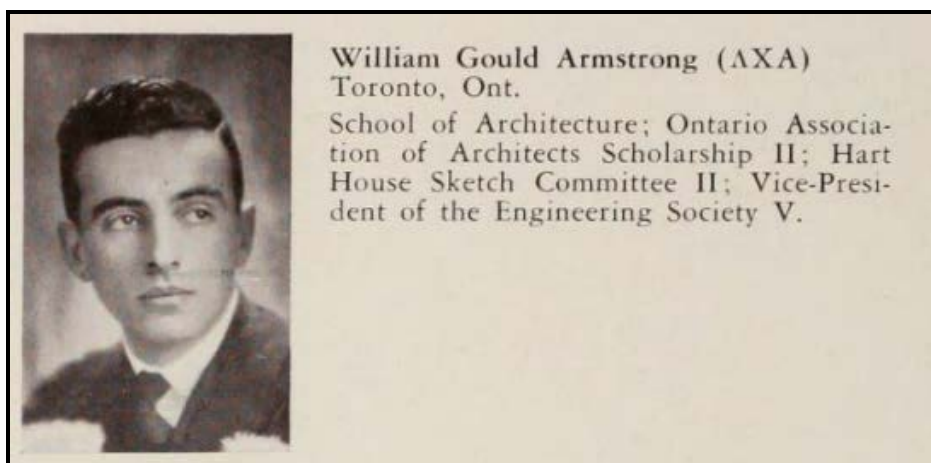
⁴⁴ Find-A-Grave, "LT Gordon King MacKendrick", https://www.findagrave.com/memorial/154114713/gordon-king-mackendrick?_gl=1*_jh2rjp*_gcl_au*MTQyNzU3NzI0Ny4xNzA5NTY3NTA3*_ga*MTE2MzgwNzg1Ni4xNzE1ODc1MDI4*_ga_4QT8FMEX30*YiljZmJlNmEtODBhMS00Njc0LTg1ODgtZjgzYjk1MDQ2ODBiLjkuMS4xNzE3MDg0NTQyLjUzLjAuMA..*_ga_QPQNV9XG1B*YiljZmJlNmEtODBhMS00Njc0LTg1ODgtZjgzYjk1MDQ2ODBiLjkuMS4xNzE3MDg0NTQyLjUzLjAuMC4w

As stated, in 1926 Colonel MacKendrick subdivided the estate to provide lots for two of his married children, Dane MacKendrick and Gina MacKendrick. Two residences facing the driveway of the main residence were built, both designed by Dane MacKendrick.⁴⁵ Dane started his house in 1928 and finished in 1929, taking a year off from work to assist with the construction of his house.⁴⁶ The house, while designed and built by Dane, echoed the cottage style of his father's house at Chestnut Point just down the lane.

On November 6, 1934, Colonel MacKendrick gifted land to his son-in-law and daughter, Christopher Armstrong (1906-1955) and Clara Georgina Armstrong (1909-1992). For "Love and \$1", the Armstrongs received part of Lot 7 and 8, Concession 4 SDS, which today is known municipally as 1312 Lakeshore Road East.⁴⁷ This parcel of land lies immediately south of the land gifted to her brother Dane. Dane MacKendrick then also designed 1312 Lakeshore Road East for his sister and her husband. They moved into the house he designed and helped build in 1934.⁴⁸

Dane and Madeleine continued to live in their home until 1947. Records indicate that they had one daughter named Geil born in 1935, who sadly only lived for one month before dying of Spina Bifida.⁴⁹ Dane and Madeleine then moved to Vancouver in 1949, where Dane was the president of Columbia Bitulithic Ltd.⁵⁰ The reason for his early death is not known. Madeleine remained in Vancouver and died in 1990.⁵¹ Even though the MacKendricks lived in the house for around a decade and then moved, the importance of the MacKendrick family in Oakville and their relationship to Gairloch Gardens is important in Oakville history. It is of note that Dane MacKendrick, an engineer, designed and built the home on the subject property.

William Gould Armstrong (1911-2002) and his wife, Ruth, purchased the subject property from the MacKendricks in 1947. Armstrong was then a Toronto architect who designed buildings throughout Ontario. He graduated from University of Toronto in architecture in 1935.⁵² His father, Norman Alexander Armstrong, was also an architect, and his brother, Norman Jr., was a structural engineer. All three worked together under Norman Sr.'s firm, the N.A. Armstrong Company Ltd., in Toronto.⁵³



William Gould Armstrong's graduation photo from the University of Toronto, 1935. Source: *University of Toronto Archives*

⁴⁵ Interview with Gina MacKendrick, research files on Lakeshore Estates, Peacock fonds, Oakville Historical Society.

⁴⁶ Oakville Public Library, Oakville tax assessment rolls, 1925-1934

⁴⁷ LRO Instrument 18237, being a Grant, dated November 6, 1934, between William Gordon MacKendrick and wife and Christopher Armstrong and Clara Georgina Armstrong

⁴⁸ Ibid.

⁴⁹ Ancestry.ca, "Ontario, Canada, Deaths and Deaths Overseas, 1869-1950 – Geil MacKendrick"

⁵⁰ *Vancouver Sun*, "Rites held for paving firm president", September 29, 1952, pg. 2

⁵¹ Ancestry.ca, "British Columbia, Canada, Death Index, 1872-1990—Madeleine MacKendrick"

⁵² *Globe and Mail*, "Deaths – Armstrong, William G.", December 2, 2002, pg. S8

⁵³ Ibid.

Norman Armstrong Senior was a prolific designer of residential and commercial buildings in Toronto who used both eclectic and contemporary architectural styles in his work.⁵⁴ He designed the well-recognized Moorish-inspired Savarin Tavern on Bay Street (1929; dismantled 1980; façade rebuilt in 1983). He was an early adopter of Modern design in the 1930s, adding curves and rounded forms to his works. One example is the International Harvester Co. Showroom on Bathurst Street, Toronto (1939, portion since demolished).⁵⁵



Postcard of the Savarin Tavern on Bay Street on the left, and image of 51 Bathurst Street on the right; William would have been working at the firm during this time. Sources: Facebook – Toronto Postcard Club, City of Toronto Archives

Active until the early 1950s, Norman Armstrong turned over much of the work in his office to his son, William, and died in 1957.⁵⁶ William was born in Pittsburgh and raised in Toronto. He and Ruth, who was a clerk, were married in 1939.⁵⁷ They then moved to Oakville to the subject property. Armstrong continued to practice architecture in Oakville. He was known as a “fine industrial and residential architect.”⁵⁸

Interestingly, Armstrong had designed an artist’s studio for Jim Gairdner for his Mississauga home. Gairdner purchased Chestnut Point in 1960 and subsequently moved Armstrong’s studio construction to the estate, with Armstrong living only one house away (and on the old estate property).⁵⁹ William Armstrong tried to dissuade his client—and new neighbour—to leave the studio behind as it fit the architectural style of Gairdner’s Mississauga home but not the style of MacKendrick’s.⁶⁰ Undeterred, Gairdner and his studio both moved west. The Studio is now a designated heritage building within Gairloch Gardens.



William Gould Armstrong and Ruth (Agnew) Armstrong on their wedding day, 1939. Source: Niagara-on-the-Lake Public Library

⁵⁴ Biographical Dictionary of Architects in Canada, “Armstrong, Norman Alexander”, <http://dictionaryofarchitectsincanada.org/node/58>

⁵⁵ Ibid.

⁵⁶ Communication with Janet Armstrong, daughter of William Gould Armstrong, 2023.

⁵⁷ Ancestry.ca, marriage certificate between William Gould Armstrong and Ruth Margaret Agnew, 1939.

⁵⁸ Ibid.

⁵⁹ Town of Oakville, “Cultural heritage landscape strategy implementation – phase two: cultural heritage evaluation report. Gairloch Gardens”, 2019

⁶⁰ Ibid.



The Studio, now at Gairloch Gardens, designed by W.G. Armstrong and built 1948. *Source: Town of Oakville planning files*

Houses in Oakville that are known to be designed by William G. Armstrong include 360 Douglas Avenue, 344 Maple Avenue, 27 Reynolds Street, 166 South Service Road East, 322 Trafalgar Road, 356 Trafalgar Road and 408 Trafalgar Road.⁶¹

William continued to design and build buildings in Toronto under his father's firm name after Norman Sr. died in 1957.⁶² William and Ruth owned the subject property for over 40 years. They sold it in 1988 to Wayne and Joan Dinwoodie. Wayne had become the vice-president of commercial banking for the Royal Bank of Canada the previous year.⁶³ He'd been employed by RBC since the age of 17 and retired in 1994.⁶⁴ The current owners have been in the house since 1997.

In summary, the property has direct associations with the MacKendrick family, specifically Dane and Madeleine MacKendrick, and William Gould Armstrong. Dane was the son of Colonel W.G. MacKendrick, who built today's Gairloch Gardens as his country estate Chestnut Point. Dane then designed and built the subject property on his family's subdivided estate lands. The house was purchased by William Gould Armstrong and Ruth Armstrong. W.G. Armstrong was a well-known architect who worked for his father's architectural firm in Toronto and designed numerous buildings in Oakville and Mississauga. He was the architect of the Studio, the designated structure now in Gairloch Gardens.

⁶¹ Communication with Janet Armstrong, daughter of William Gould Armstrong, 2023.

⁶² Ibid.

⁶³ *Globe and Mail*, "The Royal Bank of Canada appointment", October 21, 1987, pg. B7

⁶⁴ *Rutland Herald*, "Wayne Dinwoodie", https://www.rutlandherald.com/news/wayne-dinwoodie/article_c740a4a7-0d6b-5ce8-b4b0-dfec256239cb.html

Contextual Value

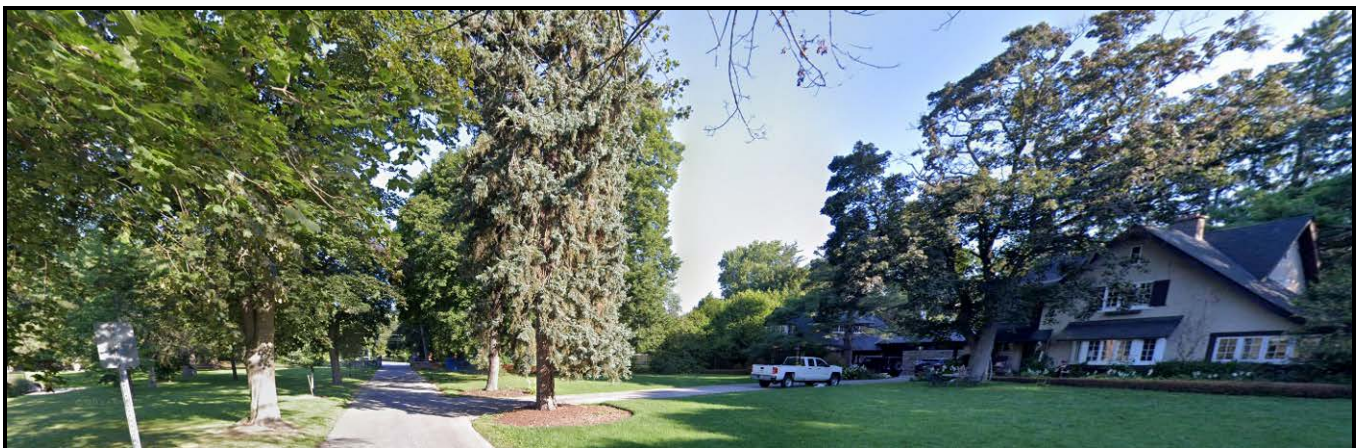
The subject property has cultural heritage value because it is important in defining and supporting the character of the area. Specifically, the house stands on the historical grounds of the Chestnut Point estate, now the designated cultural heritage landscape of Gairloch Gardens. The gardens and house in the park were designed by W.G. MacKendrick. The subject property was then designed and built by Colonel W.G. MacKendrick’s son, Dane. Being built by the same family who designed and built the estate, the presence of the subject Arts and Crafts house helps to support the nearby historic character of Gairloch Gardens.

The subject property is physically, functionally, visually, and historically linked to its surroundings. An early owner of the property, W.G. MacKendrick, had subdivided several portions for residential houses, two of which were built for his children. One of those is the subject property. It physically stands where it was originally built and its location on the driveway leading to Gairloch Gardens is tied to its original purpose as a house for Colonel W.G. MacKendrick’s son. The property remains a residential house. It is visually linked to its surroundings, as it is built in the same style as W.G. MacKendrick’s house, and was designed by Dane MacKendrick to fit with the style of the family estate. Its presence defines one of the early purposes of the land as an estate for the MacKendrick family and supports the surrounding Arts and Crafts rustic character that is still present in Gairloch Gardens.

The house is uniquely positioned on a small laneway that once led to the MacKendrick Estate (now Gairloch Gardens). Because of this, mature trees are visible surrounding the house, along the laneway, and behind the row of houses built on the laneway to separate it from the neighbouring historic lot (to the east).



South on the Gairloch Gardens laneway, 2023, with subject property on the left. *Source: Google Streetview*



North on the Gairloch Gardens laneway, 2023, with subject property on the right. *Source: Google Streetview*



The subject property (yellow circle) in context with Gairloch Gardens (orange highlight). Source: Google

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative, or early example of a style, type, expression, material or construction method;	The property is a representative example of a Tudor Revival style house designed in the Arts & Crafts era.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship or artistic merit.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;	The property has direct associations with the MacKendrick family, specifically Dane MacKendrick, who built the estate that is now Gairloch Gardens and the subject house. It is also associated with William Gould Armstrong, architect, who designed buildings in Oakville and Toronto, as well as the Studio in Gairloch Gardens.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	The house does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist significant to a community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The house stands on what was historically Chestnut Point (now Gairloch Gardens). The presence of the subject Arts and Crafts house helps to support the historic character of Gairloch Gardens.	Y
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is physically, functionally, visually, and historically linked to its surroundings, particularly the historic Gairloch Gardens estate, from which it was originally severed.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 1314 Lakeshore Road East is located on the south side of Lakeshore Road, between Gairloch Gardens and Ennisclare Drive West. The property contains a circa 1929 one-and-a-half-storey Tudor Revival style frame house known as the Dane MacKendrick House.

Design Value or Physical Value:

The Dane MacKendrick House has design and physical value as a representative example of a Tudor Revival house design and construction with Arts and Crafts influences. The house was built around 1929 with Tudor Revival elements such as its: asymmetrical and irregular massing and form with steep bellcast roof; mix of wooden shingles and stucco cladding; wooden soffits and fascia with exposed wooden eaves; west elevation porch with flagstone; presence of a panelled wooden front door; fenestration of the windows on the west and south elevations, including bay windows on the west and south elevations; the use of multipaned wood windows in the Arts and Crafts style with wood trim; and the red brick chimney.

Historical Value or Associative Value:

The Dane MacKendrick House has direct associations with the MacKendrick family and specifically Dane and Madeleine MacKendrick, and William Gould Armstrong, the architect. The MacKendricks built the estate that is now Gairloch Gardens, and Colonel W.G. MacKendrick was a notable local and provincial figure. Dane was the son of W.G. MacKendrick, who built today's Gairloch Gardens as his country estate Chestnut Point. Dane then designed and built the subject property on his family's subdivided estate lands. Colonel W.G. MacKendrick was a notable local and provincial figure. The house was purchased by William Gould Armstrong and Ruth Armstrong. W.G. Armstrong was a well-known architect who worked for his father's architectural firm in Toronto, as well as designing buildings in Oakville and Mississauga. He was the architect of the Studio, the designated structure now in Gairloch Gardens.

Contextual Value:

The Dane MacKendrick House is important in defining, and supporting the character The house stands on what was historically the same property as the nearby estate Chestnut Point (now Gairloch Gardens). Being built by the same family who designed and built the estate, the presence of the subject Arts and Crafts house helps to support the nearby historic character. The subject property is physically, functionally, visually, and historically linked to its surroundings. An early owner of the property, Colonel W.G. MacKendrick, subdivided the land for houses and one is the subject property. Its presence defines one of the early purposes of the land as an estate for the MacKendrick family and supports the surrounding character that is still present in Gairloch Gardens, much of which was designed and built by Colonel W.G. MacKendrick.

Description of Heritage Attributes

Key heritage attributes of the property at 1314 Lakeshore Road East that exemplify its cultural heritage value as a 1920s Tudor Revival style house, as they relate to the north, west and south elevations of the historic one-and-a-half-storey house, include:

- The asymmetrical and irregular massing and form of the one-and-a-half-storey building with steep bellcast roof;

- Stucco and wooden shingle cladding;
- Wooden soffits and fascia with exposed wooden eaves;
- Front porch with flagstone floor and steps;
- Fenestration of the windows on the west, north and south elevations, including bay windows on the west and south elevations;
- The presence of narrow multipaned wooden windows in the Arts and Crafts style with wooden trim;
- The presence of a paneled wooden front door in the Arts and Crafts style; and
- Brick chimney.

6. Conclusion

This property meets four of the criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

7. Sources

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Cultural Heritage Evaluation Report
Chapman House
2167 Rebecca Street, Oakville, Ontario



2167 Rebecca Street, 2024. Source: *Town of Oakville Planning and Development Staff*

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The property at 2167 Rebecca Street is located on Rebecca Street between Stanfield Drive and Sabel Street. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. The property was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* in 2009 for its "potential cultural heritage value for its c. 1915 Edwardian style brick house." It was originally built and owned by James Chapman.

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets three of the criteria of Regulation 9/06. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

The findings presented in this report are based on professional research and guidance. Future discovery of additional sources or interpretations may affect the conclusions.

3. Background Research

Design and Physical Value

The subject building at 2167 Rebecca Street is a two-and-a-half-storey brick house. The house has design and physical value as a representative example of an Edwardian Classicism style brick house. The house was built by the Chapman family between 1919 and 1920.



Front elevation of the house, 2024. *Town of Oakville Planning and Development Staff*

Edwardian Classicism Style (1900-1930)

Edwardian architecture emerged in the early 1900s as a reaction against busy Victorian architecture. The style emphasized simplified, balanced, and formal composition.¹ It was influenced by the Beaux-Arts movement, which focused on a reinterpretation of classical architecture by combining elements of the Greek, Roman, and Renaissance elements to create a more modern style.² A simplified residential version of this style became popular in Ontario and was known as Edwardian Classicism. Typical of the style is a square house with a hipped roof and central dormer, smooth red brick surfaces, tall balanced chimneys, and projecting frontispieces. The porch often has columns on brick piers, and the house typically has many windows, laid out in a formal and mostly symmetrical composition.³

¹ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 166

² Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 111

³ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 113



Massing of the house from the street, circa 2022. *Source: Google*

Subject Property Description

The property at 2167 Rebecca Street is a representative example of an Edwardian Classicism brick farmhouse. The home is two-and-a-half storeys with a rectangular shape and a formal composition. The hip-roofed structure has a hipped dormer on each side of the roof and wide front porch. The wide front porch is a defining feature of the house.



Google aerial showing the overall shape of the house looking west, with a semicircular driveway (backyard has since changed). The four hipped roof dormers are visible. *Source: Google*



South elevation (front façade).

On the east elevation of the historic house is a bay window, a typical feature of the Edwardian Classicism style. To the east of the house is a one-storey frame garage, constructed in 1977.



East elevation.

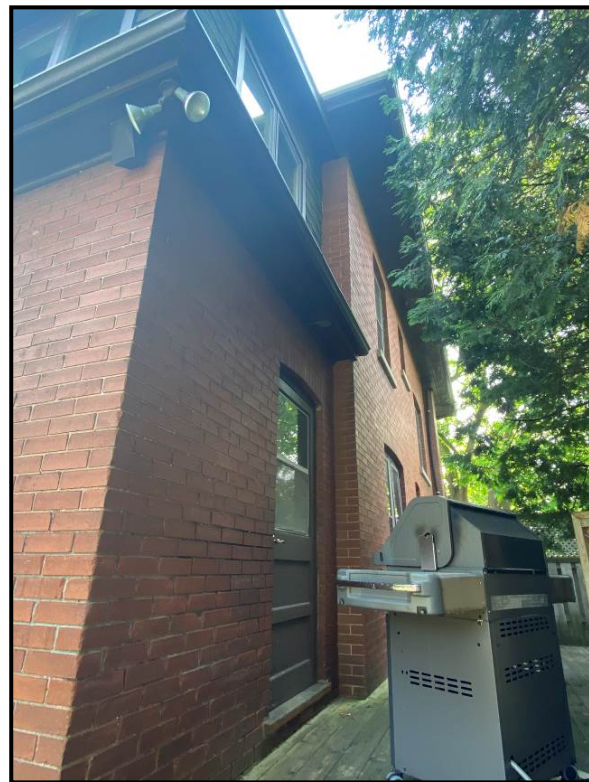
To the rear of the main structure is a two-storey wing with a brick-clad first storey and a shingle-clad second storey with a bell-cast shape. The first storey portion appears to have been constructed not long after the original house and has similar brickwork, windows and sills. The second storey may have been added at the same time or at a later date.



North elevation.



East and north elevation of the rear wing.



West elevation of the rear wing with the main house behind.

The house is clad in running bond red brick with a smooth finish, a common Edwardian cladding. The dormers and the upper storey of the back wing are clad in asphalt shingles, but historically were likely finished with cedar shingles. The house has deep eaves with minimal decoration and simple wooden soffits, all typical of the style.



Left: Close-up of the wooden soffit, 2024. *Source: Town of Oakville Planning and Development Staff*



Right: Smooth red brick with decorative rustic brick ends inserted in the angled corners of the east bay window, 2024. *Source: Town of Oakville Planning and Development Staff*



Close-up of the front dormer, 2024. *Source: Town of Oakville Planning and Development Staff*

The front porch runs the full width of the front elevation and helps give the house its distinct Edwardian Classicism look. The porch provides shelter for those entering the front door and offers an open-air amenity space, an important feature in the days before air conditioning. The porch has tapered and panelled wooden

square columns (or colonettes) resting on brick piers and the low wooden porch railing has square pickets. The wooden ceiling of the porch matches the wooden soffits. There is a small gable in the roof above the steps with wooden trim in a decorative herringbone pattern.



Front porch that extends the width of the house. *Source: Town of Oakville Planning and Development Staff*



Pickets on the front porch railing. *Source: Town of Oakville Planning and Development Staff*

The house has retained most of its original one-over-one wooden windows with one-over-one wooden awning storms. The windows are rectangular but the openings are segmentally-arched with brick voussoirs above. Simple concrete sills support the window openings. The dormers contain Palladian windows, another classic Edwardian feature meant to harken back to classical architecture.



Set of three windows on the east side of the front door. *Source: Town of Oakville Planning and Development Staff*



The historic front door remains with vertical wooden panels and a window in the upper third of the door. A historic wooden screen door has glazing in the upper two thirds, which could be switched out for a screen in the summer.

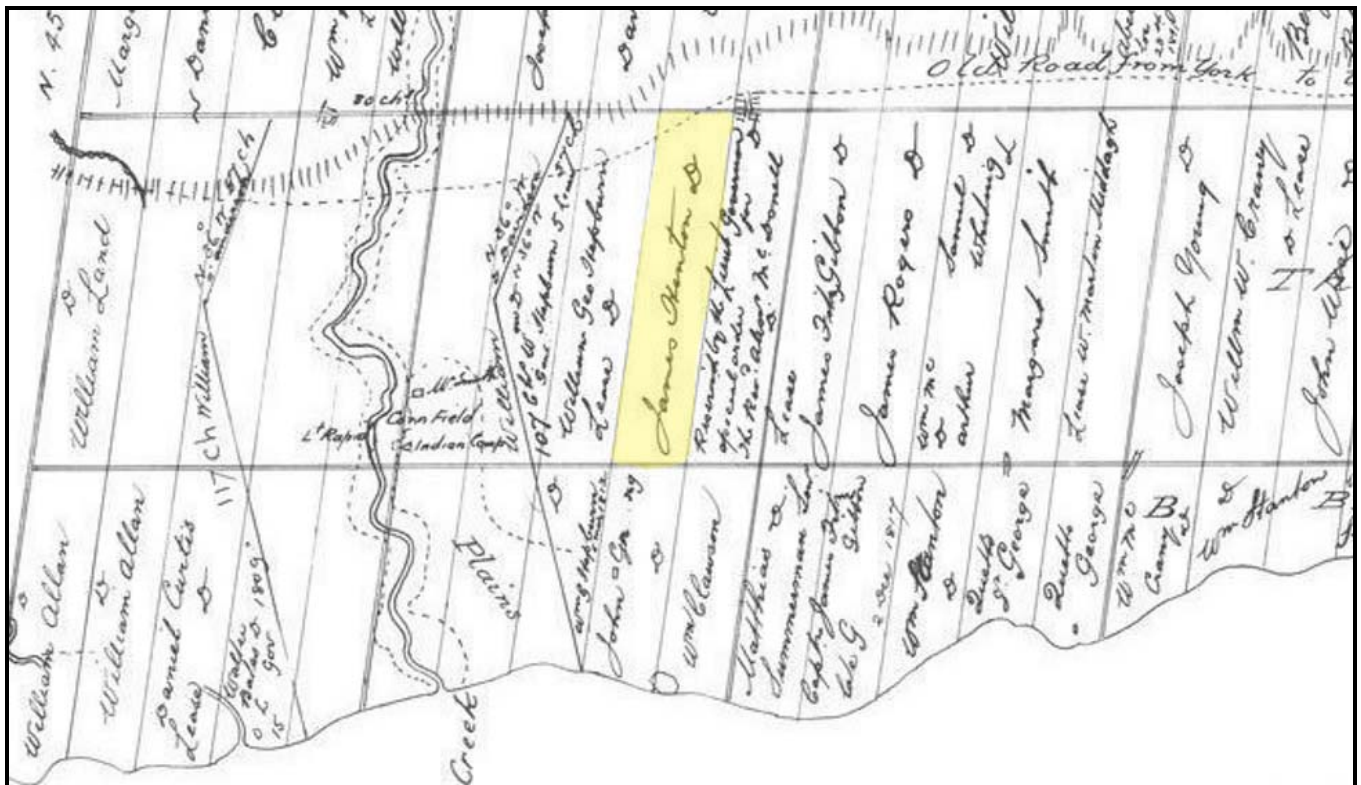
Close-up of the front door. *Source: Town of Oakville Planning and Development Staff*

In summary, the house has many Edwardian architectural features that make it a representative example of that style. These elements include: the simple but formal composition; large, square form with hipped roof and wooden soffit; north elevation extension with bellcast roof shape; central dormers on each elevation with hipped roofs; the simple brick cladding with minimal decoration; the front porch that runs the width of the house, including brick plinths with wooden columns, wooden railing with square pickets; segmental shape of the front door opening with wooden door; segmental shape of the windows with concrete sills; fenestration of the windows and doors; the presence of one-over-one windows in the Edwardian style; and the Palladium style windows in the dormers.

Historical and Associative Value

The property at 2167 Rebecca Street is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and a strip of land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.⁴ The subject property is located within the territory of Treaty No. 14.⁵

The land outside of the waterway reserves kept by the Mississauga was divided up by the Crown. The subject area was known as the Third Concession South of Dundas Street, Lot 27, and would become farmland that was then subdivided around the subject property into residential homes by the mid-1900s.



Wilmot's updated Trafalgar Township Survey, 1806, with Lot 27, Third Concession South of Dundas Street highlighted in yellow. The patent was granted to James Henton, as shown. Source: Archives of Ontario

The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding "about 20,000" acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.⁶

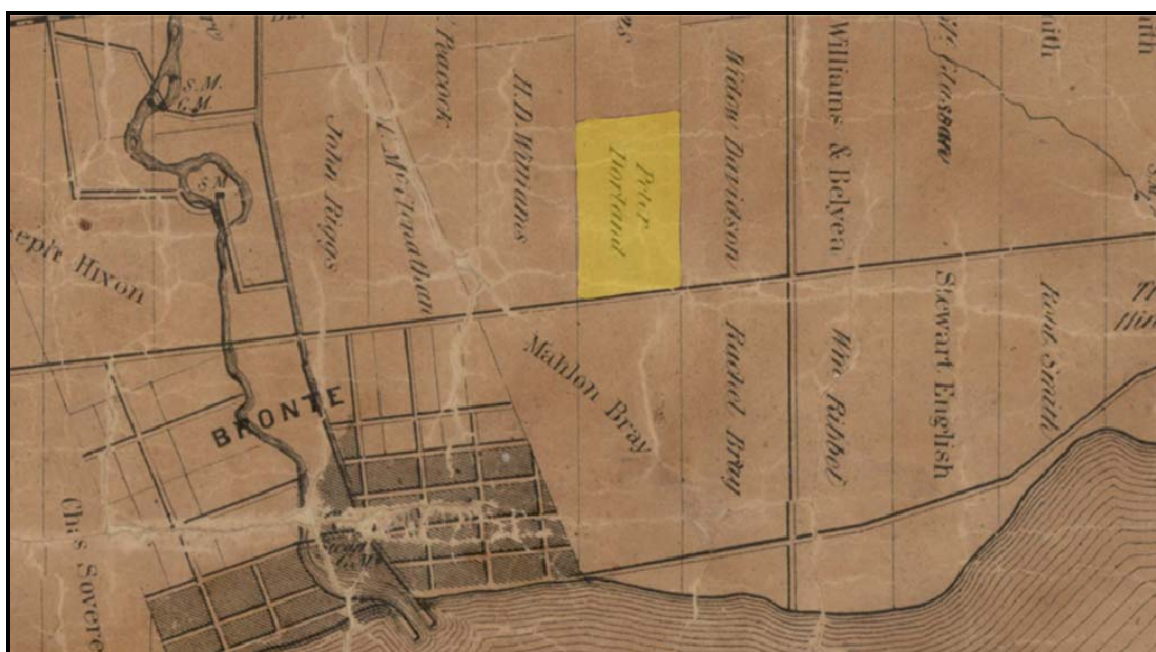
⁴ Debwewin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

⁵ 1806 Wilmot Survey

⁶ Debwewin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10

Below is a summary of the owners of the property from the Crown patent to the current owners. Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property's building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period.

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	200 acres	1806-1807
James Henton	Ibid.	1807-1817
James Chewett	Ibid.	1817/24-1835
James Sherbourne	Ibid.	1835-1842
Peter Dorland	70 acres – southerly part	1842-1869
Samuel/Benjamin Dorland	Ibid.	1869-1882
Emanuel/Emmanuel Dorland	36 ¾ - East part of South part	1882-1903
Elor/Ellen Dorland and Walter Dorland	Ibid.	1903-1918
James Chapman	18 2/8 acres – west part of east part of south part	1918-1923
Oliver and Rachel Flett	Ibid.	1923-1932
John Wilson	Ibid.	1932
John Parnaby	Ibid. plus west portion (12 acres)	1932-1969
Ian Brockway and Grant Redshaw	Part of Lot 27	1969-1972
Terry and Judith Mannell	Plan M70, Lot 6	1972-1985
Thomas Luck and Susan Baxter	Ibid.	1985-1996
Susan Baxter	Ibid.	1996-2015
Current owners	Ibid.	2015-present



George Tremaine's "County of Halton" survey, 1858, with the south part of Lot 27, Third Concession South of Dundas Street highlighted in yellow. Bronte Village is to the left. At this time, it was owned by Peter Dorland. Source: University of Toronto

In 1807, the Crown granted Lot 27 to James Henton.⁷ Ten years later, he sold the lot to James Chewett, a surveyor.⁸ Land records show Henton selling the 200 acres to Chewett twice, once in 1817 and again in 1824, but why remains unclear (potentially portions were sold). In 1835, Chewett sold the lot to James Sherbourne, who split the lot into parts; he sold the south half (70 acres) to Peter Dorland in 1842.⁹

The Dorland family are significant to the village of Bronte history. They are considered one of the early settler families of the area. In the later years of the 1800s, after the grain industry had suffered, an increasing number of Bronte families turned to commercial fishing, including the Dorlands.¹⁰ However, when Peter Dorland purchased this property in 1842, the family farmed the land.

Peter Dorland was born in 1809 to his parents, George and Mary Dorland. George had moved to Ancaster from New Jersey with his family around 1808. When Peter was around 33 years old, he purchased the south portion of Lot 27 in 1842 and owned it until his death in 1869.¹¹ According to the 1861 census, the Dorlands farmed most of the 70 acres with one acre being an orchard; otherwise, they farmed wheat, barley, rye, peas, and oats.¹²

In 1869, after Peter's death, the land was managed by his Henry and Benjamin and his brother, Samuel.¹³ The land was split in half in 1882, with the west half going to David Harris and the east going to Emanuel Dorland.¹⁴ It is not clear who operated the farm during this time; on the 1877 Trafalgar Township map, the south half is attributed to the "Estate of Peter Dorland", indicating his executors shared operation. According to the 1877 map, there are two structures on the farm, but it's not clear if they are houses. There is also an orchard shown.



Dorland farm in yellow, 1877. Source: 1877 Township of Trafalgar Map

⁷ LRO Patent, dated December 26, 1807, between the Crown and James Henton.

⁸ LRO Instrument 3042R, being a Bill and Sale, dated June 26, 1817, between James Henton and James Chewett for 200 acres.

⁹ LRO Instrument 492, being a Bill and Sale, dated May 25, 1835, between James Chewett and James Sherbourne, for 200 acres; LRO Instrument 499, being a Bill and Sale, dated November 23, 1842, between James Sherbourne and Peter Dorland for 70 acres.

¹⁰ Brimacombe, Philip, *The Story of Bronte Harbour*, pg. 21

¹¹ In 1869 his family operates the land until they sell it and Emanuel takes over half in 1882.

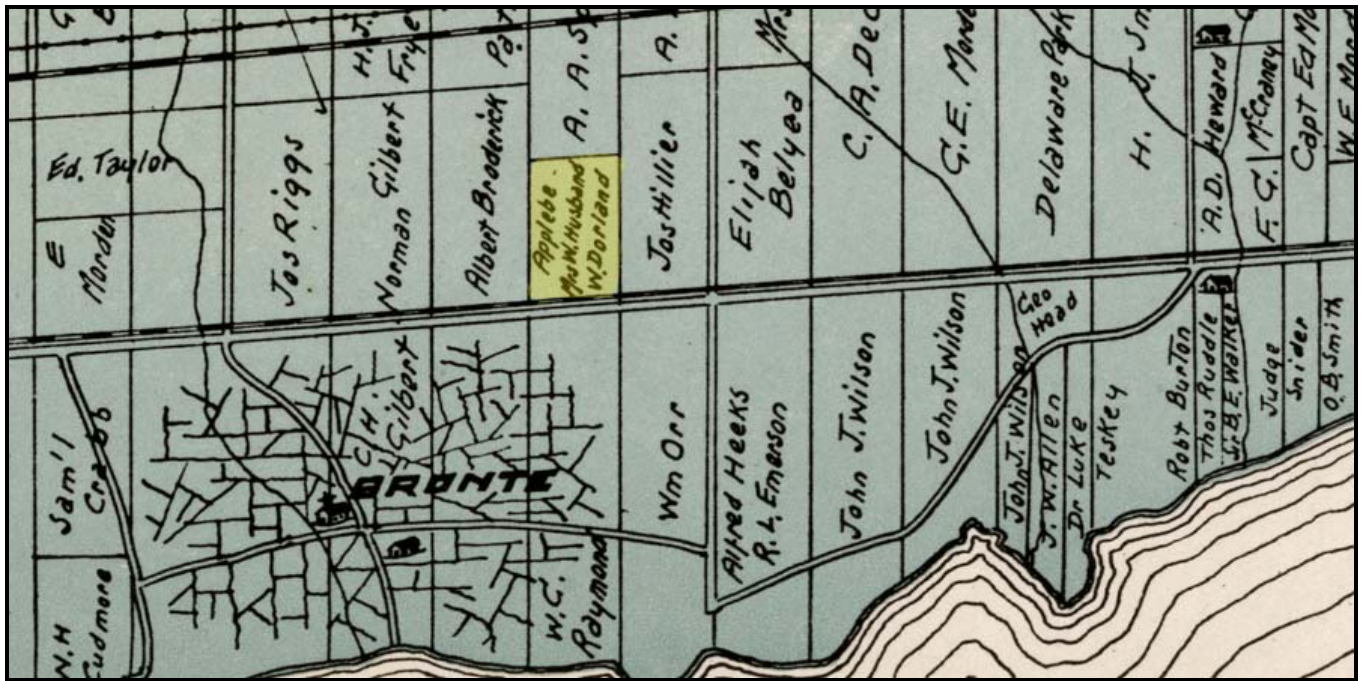
¹² 1861 Census of Canada

¹³ Several of Peter's brothers are named Benjamin, Henry, and Emanuel; as are his sons.

¹⁴ LRO Instrument 3519, being a Bill and Sale, dated February 4, 1882, between Henry Dorland et al. and Emanuel Dorland; LRO Instrument 3619, being a Bill and Sale, dated May 20, 1882, between Henry Dorland et al. and David Harris.

Emanuel Dorland (1828-1903), also sometimes spelled Emanuel or Emmanuel, was one of Peter Dorland's brothers. He was born in Grimsby to George and Mary Dorland. It is possible Emanuel was running the farm during this time, as it is indicated that those in charge of the estate (Henry, Benjamin, and Samuel Dorland) were all mariners.¹⁵ In the 1891 census, Emanuel, his wife Ellen, and their children are listed as living and farming the property, in a wooden, one-storey house with 5-6 rooms. Therefore, the house in the map is likely a wooden structure that predates the subject house.

Emanuel Dorland died in 1903, and his will split his east portion of the Dorland farm between his son, Walter, and his daughter, Sarah (Husband). Walter inherited the west portion of the southeast half, approximately 18 acres.¹⁶ Walter likely inherited the side with the family home, as his mother is shown as living with him and his family on the farm by 1911.¹⁷



By 1917, the land was split roughly into three: the west portion was owned by the Applebes (Appelbes), the middle was owned by Walter and Velma Dorland, and the east was owned by Sarah and William Husband. *Source: 1917 Guidal map*

The Dorland family appears to have remained living in the original wooden farmhouse; until 1917, Walter Dorland and his family are listed as living in a house worth \$300 in the assessment rolls.¹⁸ By 1919, the year after the Dorlands sold their 18 acres to Reverend James Chapman, a house was under construction and worth \$900. Its value then rises to \$1,200, indicating the house finished in 1920 is our subject property and was built under the ownership of James Chapman. The original Dorland farmhouse was likely demolished, as the two wooden houses that remained west of the subject property were both already standing at the time the subject house was built.¹⁹

¹⁵ LRO Instrument 3519: "Henry Dorland, Samuel Dorland, and Benjamin Dorland, all of the Town of Bronte in the County of Halton and Province of Ontario, Mariners, sons and brother-at-law of Peter Dorland..."

¹⁶ Technically it was left for Emanuel's wife and son. LRO Instrument 10113, being a Probate of Will, of Emanuel Dorland, who left his land to his wife, Ellen, and his son, Walter.

¹⁷ 1911 Census of Canada

¹⁸ Oakville Public Library, Township of Trafalgar Assessment Rolls, 1897-1899, 1910-1925

¹⁹ Oakville Public Library, Township of Trafalgar Assessment Rolls, 1897-1899, 1910-1925; aerial photographs show the subject house alongside two wooden houses to the west

Reverend James Chapman was a Baptist priest, who bought the property and turned to farming, listing his job as 'farmer' when he lived on the property.

1921	1921	1921	1921	1921	1921	1921	1921	1921	1921	1921	1921	1921
100	Chapman James	100	100	100	100	100	100	100	100	100	100	100
	Edith											
	George											
	Harold											
	Richard											
	William											
	Robert											
	Thomas											
	John											
100	Husband William	100	100	100	100	100	100	100	100	100	100	100
	Edith											
	George											
	Harold											
	Richard											
	William											
	Robert											
	Thomas											
	John											

1921 census data showing James Chapman in a brick house. Source: 1921 Census of Canada

James Chapman was born in 1866 in England.²⁰ The family moved to Canada in 1875; his brother John died on the ship coming over.²¹ The family appears to have moved to Trafalgar Township in the Bronte area. His father, George, was listed as a farmer in the 1881 census. By 1891, James was noted as farming alongside his father.²² However, he then went to school for theology at McMaster University and graduated in 1899.²³ He then served as a pastor in Barrie, Burlington, and Brantford, among other places. In 1900, James and Edith Vanzant, born in Stouffville in 1879, got married.²⁴ On their marriage certificate he is listed as a clergyman.

The Chapmans purchased the subject property and land in 1918. By 1919 they were building the subject house and it was completed in 1920. By the 1921 census he listed his job as 'farmer' once again; since he grew up farming he would have had the knowledge to take on the career. However, the Chapmans didn't stay long, and they moved on in 1923, when they sold the house and 18 acres to Oliver and Rachel Flett. Chapman then retired around 1933, and he and his family moved to Hamilton and Burlington. He died in 1938.²⁵

Name	Address	Occupation	Structure	Value	Assessment
Chapman Rev. Jas	Bronte	53 B.A.R. Fruit grower	3 L.D.S	1918	1800 1200 3000 3000
Husband Mrs W.	Bronte	81 St. Married	3 L.D.S	1918	2000 2000 2000
William		58 A.R.A Farmer			
Wake George		50 B.A.R. Farmer	3 L.D.S	12/12/25	1500 700 2200 2200
Appleby Mrs E.A.	Dorville	81 St. Widow	3 L.D.S	21/21	2000 700 3000 3000
Chapman Rev. Jas	Bronte				

1920 assessment roll showing James Chapman at the top, now with the subject property. The Husbands did not yet have a house on their half of the land; and the Applebe half was split into two, each with a \$700 structure on the property.

The Fletts lived in the subject house for several years. Oliver was a druggist and never listed his job as a farmer; it is possible at this time someone was renting the farmland or using it for something else. The Fletts fell behind on their mortgage to a local farmer, John Wilson, who took over the land after missed payments. Wilson also owned land on the west side of the lot. The west half had once been split from the Dorlands farm and sold to

²⁰ Ancestry.ca, 1871 England census

²¹ Ancestry.ca, "James Chapman"

²² 1891 Census of Canada

²³ "Burlington Historical Society, A Walk in Greenwood" <https://burlingtonhistorical.ca/wp/wp-content/uploads/media/greenwood/Chapter-14-More-Ministers.pdf>

²⁴ Ancestry.ca, Archives of Ontario; Toronto, Ontario, Canada; Registrations of Marriages, 1869-1928; Series Number: Ms 932; Reel: 105

²⁵ Ancestry.ca, "James Chapman"

David Harris; it was then split again between Eliza Appelbe's family, and her son Cecil took 12 acres and she took around 20.²⁶

John Wilson began renting Eliza Appelbe's larger 20-acre portion around 1920 and purchased it in 1922.²⁷ However, the records about this John Wilson are confusing; according to the 1931 census, this John Wilson was born in Ireland and married to Johanna Cromby; they are listed as living on the portion in the 1931 census, and listed together in the assessment rolls.²⁸ However, another John Wilson in the area, John Wilson Jr., was a well-known dairy farmer who operated the Gilbrae Dairy down the road. When he died in 1941, his executors sold off this portion of land to the Alwards.²⁹ Therefore, it is unclear how John Wilson the Irish farmer was on the land and listed as the owner in assessment rolls, when it was then sold by a different John Wilson to the Alwards. Therefore, it remains unclear which John Wilson owned the land, subsequently, which gave a mortgage to the Fletts for the subject property.

Either way, a John Wilson then put up the subject property for auction in 1932 but no one bid on it; after that, John Parnaby and his wife Kate purchased it to add to their growing holdings on the west side of the lot.³⁰

John Parnaby had purchased the 12 acres west of the subject house in 1925 and was listed as a fruit farmer.³¹ At this point he was older and had already worked first as the gardener and then chauffeur of the well to-do Marlatt family in Oakville. In a memory written by one of the Marlatts, they said: "John Parnaby made himself generally indispensable in driving and looking after the horses and garden. Later, Father had him taught the mysteries of the automobile, and he became our invaluable chauffeur as well."³² He married Kate Saxby in 1918, when they were both 30.³³ He's listed as a chauffeur on their marriage license.

John Parnaby was farming approximately 30 acres on the lot by 1932 and likely had moved from the small wooden house he'd been in into the brick subject house when he purchased the Flett land.

²⁶ Confusingly, two John Wilsons appear to be the owner of the property: John Wilson Jr., owner of Gilbrae Dairy, had his executors (including his wife Harriett) sell the land after his death; however, in the assessment rolls and census data, it appears to be a different John Wilson, with a different group of children and wife. They are not renters, but listed as 'owners'. The discrepancy remains unclear.

²⁷ Oakville Public Library, Township of Trafalgar Assessment Rolls, 1897-1899, 1910-1925

²⁸ Ibid.

²⁹ LRO Instrument 20076, being a Grant, dated September 17, 1942, between Alexander and Donald Wilson, and Theo and Alice Alward.

³⁰ LRO Instrument 17730, being a conveyance, power of sale, dated June, 1932, between John Wilson and John Parnaby.

³¹ 1931 Census of Canada; LRO Instrument 15313, being a Grant, dated April 1925, between Mary Wake and John Thomas Parnaby, for approximately 12 acres.

³² Ahern, Frances Robin, *Oakville: A Small Town (1900-1930)*. Oakville: The Oakville Historical Society, 1981, pg. 190

³³ Ancestry.ca marriage certificate between John Parnaby and Kate Saxby



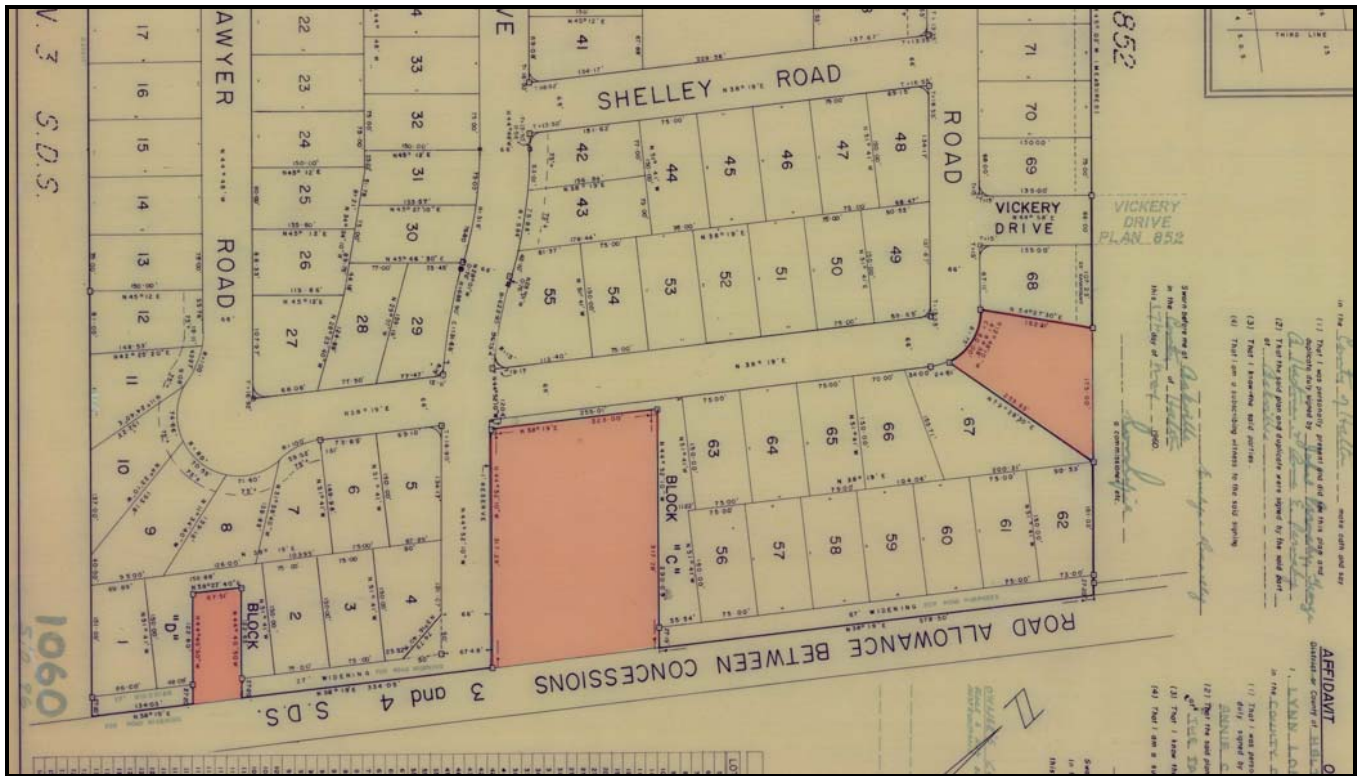
This photo was taken circa 1950s, but the lot was historically split into these four, from left to right, when the house was built:

- Red: Mrs. Applebe and then John Wilson
- Purple: Cecil Applebe and later John Parnaby
- Orange: Walter Dorland and then James Chapman and then John Parnaby (subject house)
- Yellow: Sarah and William Husband

John and Kate Parnaby sold some of their surrounding land to RDA Builders in 1956; it was then part of a 1960 subdivision plan known as Rebecca Gardens. The subject house was initially carved out—along with some land—as well as the house to the east (owned by Sarah Husband, the daughter of Emanuel Dorland), and the house to the west.

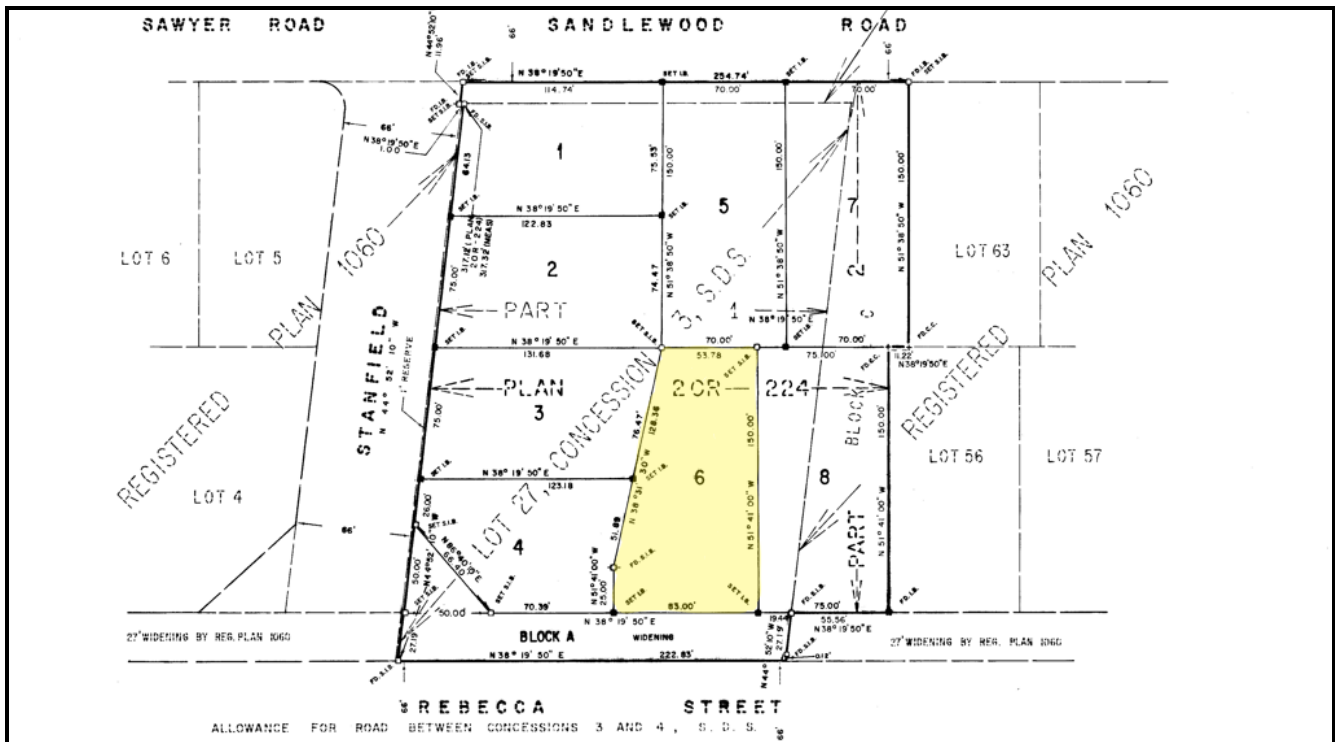


The house highlighted in yellow in an aerial from 1959. The house had an outbuilding (also highlighted). *Source: McMaster Aerial Photography Library*



A portion of a 1960 subdivision plan for 'Rebecca Gardens'; the red squares are where the historic houses were standing, with the subject property in the central rectangle with surrounding land. *Source: Town of Oakville planning files*

John Parnaby died in 1969; the house and remaining land was sold by the executors of his will to Ian Brockway and Grant Redshaw, who subdivided the land into eight smaller lots, with the subject house remaining, in 1972. From 1985 until 2015, the house had the same owner.



The modern lot, with the historical subject house, highlighted in yellow. *Source: Town of Oakville planning files*

In summary, the subject property has historical value for its connection to the surrounding fruit farm industry, which was a large economic driver in the early 1900s around the Oakville area. The house was built by James Chapman, who farmed the lot, which had been farmed by the Dorlands before him since 1842. The house was then owned by John and Kate Parnaby, who continue to farm it until they sold off a large part of the land in 1956.

Contextual Value

The subject property has cultural heritage value because it is physically and historically linked to its surroundings. The house is one of a few remaining historic farmhouse structures in the area. It was built in an area that used to be filled with large fruit farms and orchards, which were main economic drivers in the area. The house stands in its original location and is directly linked to farming families from the area and stands as a reminder of the agricultural history of Oakville and Bronte communities.

The streetscape of the area consists of some mature trees and moderate sized lots which contain medium to large sized houses, mostly from the 1950s and 60s when the surrounding farmland was sold off for development as part of the post-Second World War building boom.



2024 view of Rebecca Street, looking east. The subject property is on the left behind the white fence. *Source: Google Street View*



2024 view of Rebecca Street looking west. The subject house is to the right where the large trees are located. *Source: Google Street View*

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The property is a representative example of an Edwardian Classicism brick farmhouse.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	The property is associated with the theme of agriculture and fruit farming, which played a significant role in the development of the Bronte and Oakville area.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	There are no known connections to an architect, artist, builder, designer or theorist who is significant to a community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining. Or supporting the character of an area;	The subject house is not important in defining, supporting and maintaining the character of the area.	N
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is physically and historically linked to its surroundings. It contributes to the understanding of the local communities of Bronte and Oakville, and the long history of fruit farming and orchards in the area.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 2167 Rebecca Street is located on Rebecca Street between Stanfield Drive and Sabel Street. The property contains a circa 1920 two-and-a-half storey brick house known as the Chapman House.

Design Value or Physical Value:

The Chapman House has design and physical value as a representative example of an Edwardian Classicism brick farmhouse. Edwardian architecture emerged in the early 1900s as a reaction against busy Victorian architecture. The style emphasized simplified, balanced, and formal composition, which can be seen in this 1920 house. The house includes numerous features of the Edwardian style, such as its: large, square form and massing with hipped roof, smooth red brick cladding with minimal decoration, segmentally-arched windows with one-over-one style windows; roof dormers with Palladian style windows, and a wide front porch with square wooden columns and railings. The house retains almost all its original exterior features and is a strong representative example of its architectural style.

Historical Value or Associative Value:

The Chapman House has historical value because it is directly associated with the theme of agriculture and fruit farming. This area was well-known for its fruit farm industry, which was a large economic driver in the early 1900s around the Oakville area. The house remains as a link to this rural and agricultural past as one of the only remaining historic buildings in the area associated with the farms that once dotted the landscape.

Contextual Value:

The Chapman House has cultural heritage value because it is physically and historically linked to its surroundings. The house is one of a few remaining historic farmhouse structures in the area. It was built by a local fruit grower and farmer in an area that used to be filled with large fruit farms and orchards. The house stands in its original location and is directly linked to farming families from the area and stands as a reminder of the agricultural history of Oakville and Bronte communities.

Description of Heritage Attributes

Key attributes of the property at 2167 Rebecca Street that exemplify its cultural heritage value as an Edwardian Classicism style farmhouse, as they relate to the west, south and east elevations of the original two-and-a-half-storey house, include:

- Square form and massing with hipped roof and wide one-storey front porch;
- Hip-roofed dormers with Palladian style windows;
- Smooth red brick cladding;
- Historic fenestration of the windows and doors with segmentally-arched openings, including brick voussoirs and concrete sills;
- The presence of one-over-one wooden windows on the first and second storeys;
- The presence of an Edwardian Classicism style wooden front door;
- The front porch that runs the width of the house with shed roof and small central gable, brick plinths with square, tapered wooden columns, and wooden railings with square pickets; and
- Wooden porch ceiling and wooden soffits.

6. Conclusion

This property meets three of the criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

7. Sources

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- Town of Oakville, "North Oakville East Secondary Plan", 2023
- Town of Oakville, "North Oakville West Secondary Plan", 2023
- Town of Oakville Heritage Planning, "Cultural Heritage Landscape Strategy Implementation Phase Two: Cultural Heritage Evaluation Report for Bronte Cemetery", 2022
- Town of Oakville, various departmental files including the Town's Heritage Register, policies, reports, imagery, and mapping

On November **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Glendon House Stone Wall
225 Bronte Road
PCL 87-1, SEC M6; PT LT 87, PL M6, PART 3, 20R11791; OAKVILLE

Description of Property

The subject property at 225 Bronte Road is located on the east side of Bronte Road, north of Hixon Street, and south of Rebecca Street. The property contains a historic stone wall that spans the three properties at 225, 231, and 235 Bronte Road.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Glendon House Stone Wall at 225 Bronte Road has design and physical value as a representative example of an Arts and Crafts era field stone wall. The goal of the residential Arts and Crafts movement was to portray the home as a place of serenity, with a focus on the home as part of the natural environment. Natural materials such as brick, stone, stucco and wood were used in new dwellings and associated landscape elements. The subject stone wall is reflective of this design era with its natural field stone material, likely found on the property. The stone wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, rustic aesthetic that was typical of the Arts and Crafts era. While there is a number of lakestone walls in the area, the Glendon Stone Wall remains one of the only, if not the only, field stone wall in Oakville.

Historical and Associative Value

The Glendon House Stone Wall at 225 Bronte Road has cultural heritage value because of its direct associations with the theme of late 19th and early 20th century residential and cottage development in Bronte. The wall is a physical reminder of the influx of middle and upper-middle class residents to the area, many of whom came to escape overcrowded big-city living conditions, either permanently or as temporary summer residents. Once part of a larger five-acre property, the properties also have cultural heritage value because of their direct associations with small-scale farming activities, specifically fruit farming. Property owners took advantage of the area's rich soil to establish small to mid-sized orchards which supplied soft fruit to the big city markets of Hamilton and Toronto.

Contextual Value

The Glendon House Stone Wall at 225 Bronte Road has contextual value because it is physically, functionally, visually and historically linked to its surroundings along Bronte Road. Historically, the Bronte Road streetscape was defined by small to mid-sized homes on large lots, with moderate front yard setbacks. In the early years, many were the homes of fruit farmers with small to mid-sized orchards. While infill has changed the historic rhythm of the street, a few of these historic homes remain, including 231 Bronte Road, which along with the stone wall at 225, 231, and 235 Bronte Road, serve as important reminders of Bronte's late 19th and early 20th century residential development.

Description of Heritage Attributes

Key attributes of the subject property at 225 Bronte Road, which exemplify its value for its early 20th century fieldstone wall, include the following:

- The low fieldstone wall and pillars that remain in their original pre-1995 location; and
- The design of the wall with curving slopes and square pillars, both topped by singular stones.

Any objection to this designation must be filed no later than December **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on November **, 2024.

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On November **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Glendon House Stone Wall
231 Bronte Road
PCL 87-2, SEC M6; PT LT 87, PL M6, PART 2, 20R11791; OAKVILLE

Description of Property

The subject property at 231 Bronte Road is located on the east side of Bronte Road, north of Hixon Street, and south of Rebecca Street. The property contains a historic stone wall that spans the three properties at 225, 231, and 235 Bronte Road.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Glendon House Stone Wall at 231 Bronte Road has design and physical value as a representative example of an Arts and Crafts era field stone wall. The goal of the residential Arts and Crafts movement was to portray the home as a place of serenity, with a focus on the home as part of the natural environment. Natural materials such as brick, stone, stucco and wood were used in new dwellings and associated landscape elements. The subject stone wall is reflective of this design era with its natural field stone material, likely found on the property. The stone wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, rustic aesthetic that was typical of the Arts and Crafts era. While there is a number of lakestone walls in the area, the Glendon Stone Wall remains one of the only, if not the only, field stone wall in Oakville.

Historical and Associative Value

The Glendon House Stone Wall at 231 Bronte Road has cultural heritage value because of its direct associations with the theme of late 19th and early 20th century residential and cottage development in Bronte. The wall is a physical reminder of the influx of middle and upper-middle class residents to the area, many of whom came to escape overcrowded big-city living conditions, either permanently or as temporary summer residents. Once part of a larger five-acre property, the properties also have cultural heritage value because of their direct associations with small-scale farming activities, specifically fruit farming. Property owners took advantage of the area's rich soil to establish small to mid-sized orchards which supplied soft fruit to the big city markets of Hamilton and Toronto.

Contextual Value

The Glendon House Stone Wall at 231 Bronte Road has contextual value because it is physically, functionally, visually and historically linked to its surroundings along Bronte Road. Historically, the Bronte Road streetscape was defined by small to mid-sized homes on large lots, with moderate front yard setbacks. In the early years, many were the homes of fruit farmers with small to mid-sized orchards. While infill has changed the historic rhythm of the street, a few of these historic homes remain, including 231 Bronte Road, which along with the stone wall at 225, 231, and 235 Bronte Road, serve as important reminders of Bronte's late 19th and early 20th century residential development.

Description of Heritage Attributes

Key attributes of the subject property at 231 Bronte Road, which exemplify its value for its early 20th century fieldstone wall, include the following:

- The low fieldstone wall and pillars that remain in their original pre-1995 location; and
- The design of the wall with curving slopes and square pillars, both topped by singular stones.

Any objection to this designation must be filed no later than December **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on November **, 2024.

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On November **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Glendon House Stone Wall
235 Bronte Road
PCL 87-1, SEC M6; PT LT 87, PL M6, PART 1, 20R11791; OAKVILLE

Description of Property

The subject property at 235 Bronte Road is located on the east side of Bronte Road, north of Hixon Street, and south of Rebecca Street. The property contains a historic stone wall that spans the three properties at 225, 231, and 235 Bronte Road.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Glendon House Stone Wall at 235 Bronte Road has design and physical value as a representative example of an Arts and Crafts era field stone wall. The goal of the residential Arts and Crafts movement was to portray the home as a place of serenity, with a focus on the home as part of the natural environment. Natural materials such as brick, stone, stucco and wood were used in new dwellings and associated landscape elements. The subject stone wall is reflective of this design era with its natural field stone material, likely found on the property. The stone wall was less a functional structure and more a decorative one, grounding the house on the site and adding a natural, rustic aesthetic that was typical of the Arts and Crafts era. While there is a number of lakestone walls in the area, the Glendon Stone Wall remains one of the only, if not the only, field stone wall in Oakville.

Historical and Associative Value

The Glendon House Stone Wall at 235 Bronte Road has cultural heritage value because of its direct associations with the theme of late 19th and early 20th century residential and cottage development in Bronte. The wall is a physical reminder of the influx of middle and upper-middle class residents to the area, many of whom came to escape overcrowded big-city living conditions, either permanently or as temporary summer residents. Once part of a larger five-acre property, the properties also have cultural heritage value because of their direct associations with small-scale farming activities, specifically fruit farming. Property owners took advantage of the area's rich soil to establish small to mid-sized orchards which supplied soft fruit to the big city markets of Hamilton and Toronto.

Contextual Value

The Glendon House Stone Wall at 235 Bronte Road has contextual value because it is physically, functionally, visually and historically linked to its surroundings along Bronte Road. Historically, the Bronte Road streetscape was defined by small to mid-sized homes on large lots, with moderate front yard setbacks. In the early years, many were the homes of fruit farmers with small to mid-sized orchards. While infill has changed the historic rhythm of the street, a few of these historic homes remain, including 231 Bronte Road, which along with the stone wall at 225, 231, and 235 Bronte Road, serve as important reminders of Bronte's late 19th and early 20th century residential development.

Description of Heritage Attributes

Key attributes of the subject property at 235 Bronte Road, which exemplify its value for its early 20th century fieldstone wall, include the following:

- The low fieldstone wall and pillars that remain in their original pre-1995 location; and
- The design of the wall with curving slopes and square pillars, both topped by singular stones.

Any objection to this designation must be filed no later than December **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on November **, 2024.

DRAFT

On November **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Dane MacKendrick House
1314 Lakeshore Road East
ON 4 SDS PT LOTS 7 & 8 RP 20R8669 PARTS 1, 2, 3; TOWN OF OAKVILLE

Description of Property

The property at 1314 Lakeshore Road East is located on the south side of Lakeshore Road, between Gairloch Gardens and Ennisclare Drive West. The property contains a circa 1929 one-and-a-half-storey Tudor Revival style frame house known as the Dane MacKendrick House.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Dane MacKendrick House has design and physical value as a representative example of a Tudor Revival house design and construction with Arts and Crafts influences. The house was built around 1929 with Tudor Revival elements such as its: asymmetrical and irregular massing and form with steep bellcast roof; mix of wooden shingles and stucco cladding; wooden soffits and fascia with exposed wooden eaves; west elevation porch with flagstone; presence of a panelled wooden front door; fenestration of the windows on the west and south elevations, including bay windows on the west and south elevations; the use of multipaned wood windows in the Arts and Crafts style with wood trim; and the red brick chimney.

Historical and Associative Value

The Dane MacKendrick House has direct associations with the MacKendrick family and specifically Dane and Madeleine MacKendrick, and William Gould Armstrong, the architect. The MacKendricks built the estate that is now Gairloch Gardens, and Colonel W.G. MacKendrick was a notable local and provincial figure. Dane was the son of W.G. MacKendrick, who built today's Gairloch Gardens as his country estate Chestnut Point. Dane then designed and built the subject property on his family's subdivided estate lands. Colonel W.G. MacKendrick was a notable local and provincial figure. The house was purchased by William Gould Armstrong and Ruth Armstrong. W.G. Armstrong was a well-known architect who worked for his father's architectural firm in Toronto, as well as designing buildings in Oakville and Mississauga. He was the architect of the Studio, the designated structure now in Gairloch Gardens.

Contextual Value

The Dane MacKendrick House is important in defining, and supporting the character The house stands on what was historically the same property as the nearby estate Chestnut Point (now Gairloch Gardens). Being built by the same family who designed and built the estate, the presence of the subject Arts and Crafts house helps to support the nearby historic character. The subject property is physically, functionally, visually, and historically linked to its surroundings. An early owner of the property, Colonel W.G. MacKendrick, subdivided the land for houses and one is the subject property. Its presence defines one of the early purposes of the land as an estate for the MacKendrick family and supports the surrounding character that is still present in Gairloch Gardens, much of which was designed and built by Colonel W.G. MacKendrick.

Description of Heritage Attributes

Key heritage attributes of the property at 1314 Lakeshore Road East that exemplify its cultural heritage value as a 1920s Tudor Revival style house, as they relate to the north, west and south elevations of the historic one-and-a-half-storey house, include:

- The asymmetrical and irregular massing and form of the one-and-a-half-storey building with steep bellcast roof;
- Stucco and wooden shingle cladding;
- Wooden soffits and fascia with exposed wooden eaves;
- Front porch with flagstone floor and steps;
- Fenestration of the windows on the west, north and south elevations, including bay windows on the west and south elevations;
- The presence of narrow multipaned wooden windows in the Arts and Crafts style with wooden trim;
- The presence of a paneled wooden front door in the Arts and Crafts style; and
- Brick chimney.

Any objection to this designation must be filed no later than December **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on November **, 2024.

On November **, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Chapman House
2167 Rebecca Street
PLAN M70, LOT 6; OAKVILLE

Description of Property

The property at 2167 Rebecca Street is located on Rebecca Street between Stanfield Drive and Sabel Street. The property contains a circa 1920 two-and-a-half storey brick house known as the Chapman House.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Chapman House has design and physical value as a representative example of an Edwardian Classicism brick farmhouse. Edwardian architecture emerged in the early 1900s as a reaction against busy Victorian architecture. The style emphasized simplified, balanced, and formal composition, which can be seen in this 1920 house. The house includes numerous features of the Edwardian style, such as its: large, square form and massing with hipped roof, smooth red brick cladding with minimal decoration, segmentally-arched windows with one-over-one style windows; roof dormers with Palladian style windows, and a wide front porch with square wooden columns and railings. The house retains almost all its original exterior features and is a strong representative example of its architectural style.

Historical and Associative Value

The Chapman House has historical value because it is directly associated with the theme of agriculture and fruit farming. This area was well-known for its fruit farm industry, which was a large economic driver in the early 1900s around the Oakville area. The house remains as a link to this rural and agricultural past as one of the only remaining historic buildings in the area associated with the farms that once dotted the landscape.

Contextual Value

The Chapman House has cultural heritage value because it is physically and historically linked to its surroundings. The house is one of a few remaining historic farmhouse structures in the area. It was built by a local fruit grower and farmer in an area that used to be filled with large fruit farms and orchards. The house stands in its original location and is directly linked to farming families from the area and stands as a reminder of the agricultural history of Oakville and Bronte communities.

Description of Heritage Attributes

Key attributes of the property at 2167 Rebecca Street that exemplify its cultural heritage value as an Edwardian Classicism style farmhouse, as they relate to the west, south and east elevations of the original two-and-a-half-storey house, include:

- Square form and massing with hipped roof and wide one-storey front porch;
- Hip-roofed dormers with Palladian style windows;
- Smooth red brick cladding;
- Historic fenestration of the windows and doors with segmentally-arched openings, including brick voussoirs and concrete sills;
- The presence of one-over-one wooden windows on the first and second storeys;
- The presence of an Edwardian Classicism style wooden front door;

- The front porch that runs the width of the house with shed roof and small central gable, brick plinths with square, tapered wooden columns, and wooden railings with square pickets; and
- Wooden porch ceiling and wooden soffits.

Any objection to this designation must be filed no later than December **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on November **, 2024.

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