



Committee of Adjustment
Town of Oakville

AGENDA

Date: October 30, 2024
Time: 7:00 pm
Location: Virtual Meeting

Live streaming video is available at oakville.ca/live.html or the Town's YouTube channel at youtube.com/user/townofOakvilleTV.

Making submissions to the Committee of Adjustment

To participate in the electronic hearing or to submit written correspondence regarding an application on the agenda, please email the Secretary-Treasurer at coarequests@oakville.ca, or call 905-845-6601 ext. 1829, by noon the day before the hearing date.

| | Pages |
|---|--------------|
| 1. Reading of Preamble | |
| 2. Regrets | |
| 3. Declarations of Pecuniary Interest | |
| 4. Requests for Deferrals or Withdrawals of Applications | |
| 5. Consent Application(s) | |
| 6. Minor Variance Application(s) | |
| 6.1 CAV A/149/2024 3427 Millicent Avenue | 3 - 6 |
| 6.2 CAV A/152/2024 1300-1350 Bronte Road | 7 - 43 |
| 6.3 CAV A/153/2024 2016 Salvator Boulevard | 44 - 56 |
| 6.4 CAV A/155/2024 86 Selgrove Crescent | 57 - 66 |
| 6.5 CAV A/156/2024 372 Stanfield Drive | 67 - 74 |
| 6.6 CAV A/113/2024 28 Crescent Road (deferred from Aug. 7/24) | 75 - 84 |

7. **Confirmation of Minutes**

8. **Adjournment**

General Notes

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
 * ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
 * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
 * DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

| REVISION | | |
|----------|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |
| | | |
| | | |
| | | |
| | | |

Firm Name and Address
MEM ENGINEERING INC
 2355 DERRY ROAD EAST
 MISSISSAUGA, ON, L5S 1V6
 905-673-9100
 Email: harry@memengineering.ca

PROJECT TITLE:
 3427 MILLICENT AVE, OAKVILLE,
 ON L6H 7C5

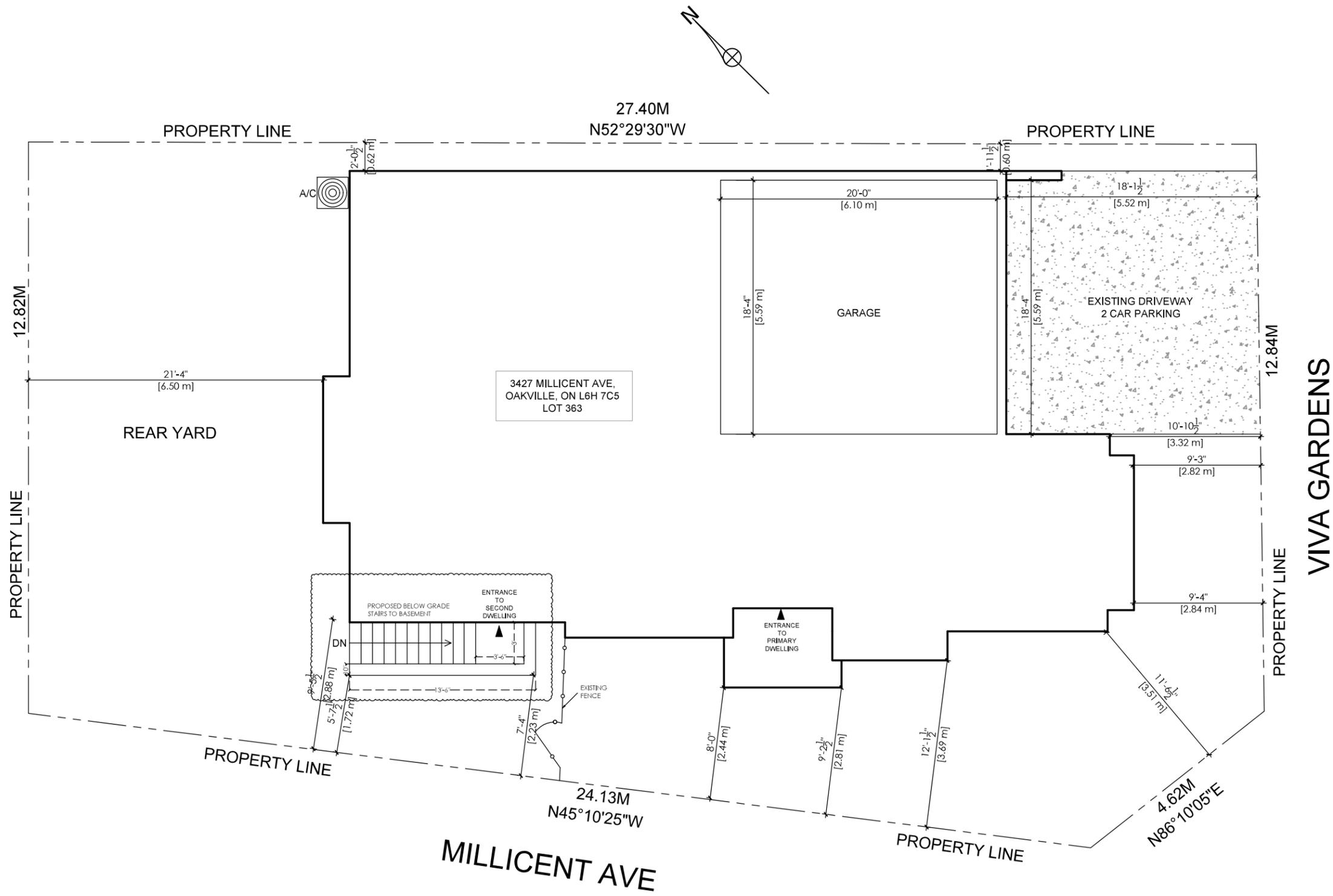
SHEET TITLE:
SITE PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE:
 1/8" = 1'-0"
 PLOT DATE:
 2024-06-10
 DRAWN BY:
 SB
 CHECKED BY:
 HS

DRAWING NO.:
A099



SITE PLAN
 SC: 1/8" = 1'-0"

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/149/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, October 30, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

| Applicant / Owner | Authorized Agent | Subject Property |
|-------------------|---|--|
| W. Ibrahim | Raman Kumar MEM ENGINEERING INC 2355 DERRY Rd E 28 MISSISSAUGA ON, CANADA L5S 1V6 | 3427 Millicent Ave PLAN M1214 LOT 363 |

Zoning of Property: GU sp:42, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of an uncovered stairs below grade accessing a main dwelling proposing the following variance(s) to Zoning By-law 2009-189:

| No. | Current | Proposed |
|-----|--|--|
| 1. | <i>Table 4.21 Row (h)</i> Uncovered stairs below grade accessing a main dwelling are permitted to project 0.0m into a required side yard. | To permit the uncovered stairs below grade accessing a main dwelling to project 0.28m into the required flankage yard. |

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

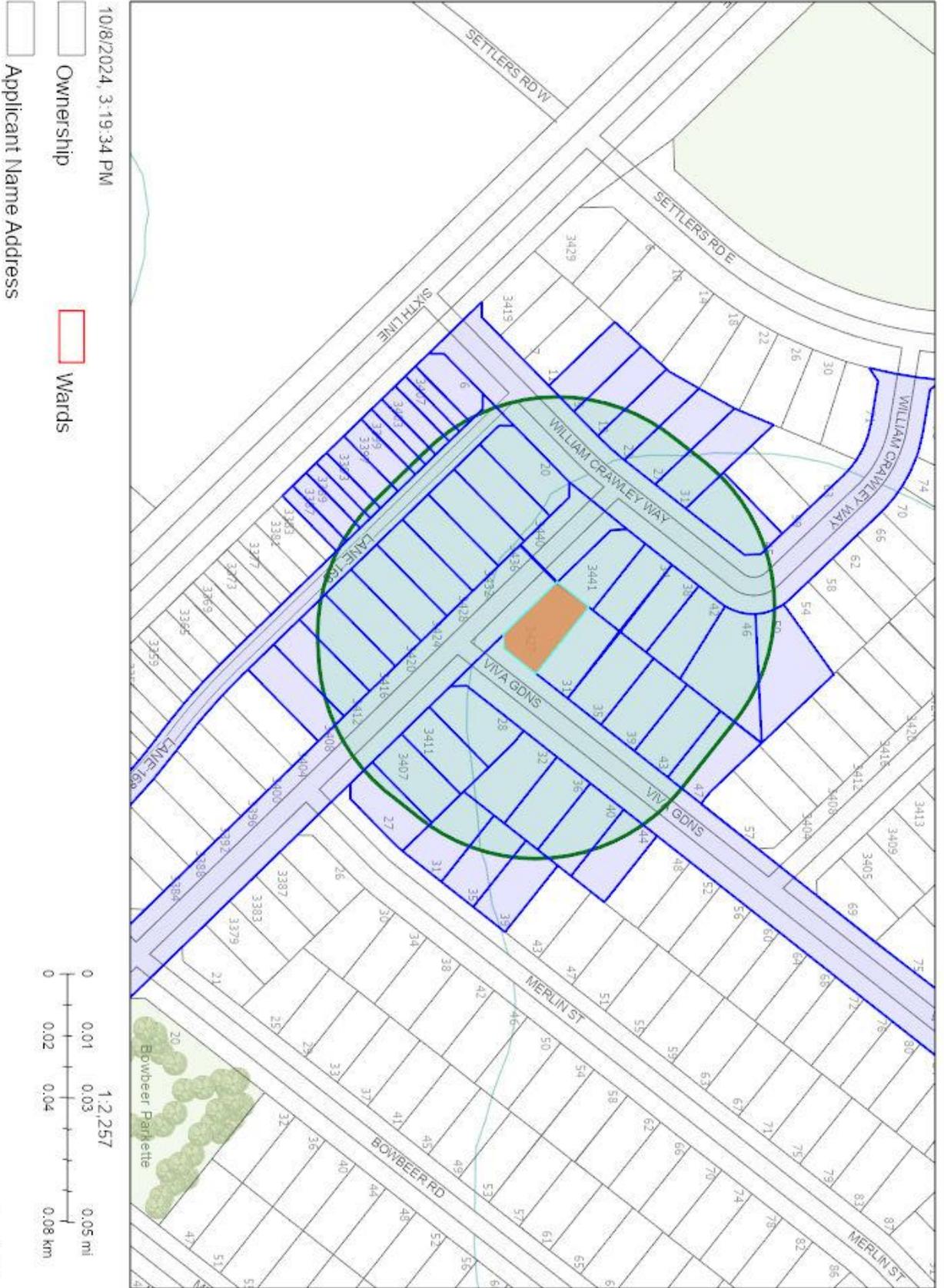
Contact information:

Sharon Coyne
Assistant Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

October 15, 2024

CAV A/149/2024 3427 Millicent Avenue



10/8/2024, 3:19:34 PM

Ownership

Wards

Applicant Name Address



Town of Oakville
2021 Town of Oakville

**PLAN OF SURVEY OF
BLOCK 1
PLAN 20M-////
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON**

SCALE 1:500

R-PE SURVEYING LTD., O.L.S.

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
 ■ DENOTES MONUMENT SET
 ■ DENOTES MONUMENT FOUND
 ■ DENOTES SHORT STANDARD IRON BAR
 ■ DENOTES STANDARD IRON BAR
 ■ DENOTES IRON BAR
 ■ DENOTES PLASTIC BAR
 ■ DENOTES CONCRETE PIN
 ■ DENOTES PROPERTY IDENTIFIER NUMBER
 ■ DENOTES OBSERVED REFERENCE POINT
 ■ DENOTES PLAN 20M-////
 ■ DENOTES FENCH
 ■ DENOTES LINE OF BALCONY ABOVE
 ALL FOUND MONUMENTS ARE SHORT STANDARD IRON BARS UNLESS NOTED OTHERWISE

INTEGRATION NOTE
 BEARINGS ARE 090.0 UTM, NAD83(CRS)2010.0, DERIVED FROM ORP (S) AND (B). S ARE DERIVED FROM REAL TIME NETWORK STATION 2072010009 (NORTHING 4801633.53, EASTING 597944.44).
 COORDINATES ARE UTM ZONE 17, NAD83 (CRS:CRS:2010.0), TO URBAN ACCURACY PER SEC. 14 (2) OF OREG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

| POINT | NORTHING | EASTING |
|---------|------------|-----------|
| ORP (S) | 4807697.30 | 600753.38 |
| ORP (B) | 4807726.19 | 601298.26 |

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999707.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE ___ DAY OF ___, 2024.
 DATE: ___, 2024
 I, A. ABRAHAM
 ONTARIO LAND SURVEYOR
 THIS PLAN OF SURVEY RELATES TO AOLS
 PLAN SUBMISSION FORM NUMBER V-__

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
 DATE: ___, 2024
 L. A. ABRAHAM O.L.S.

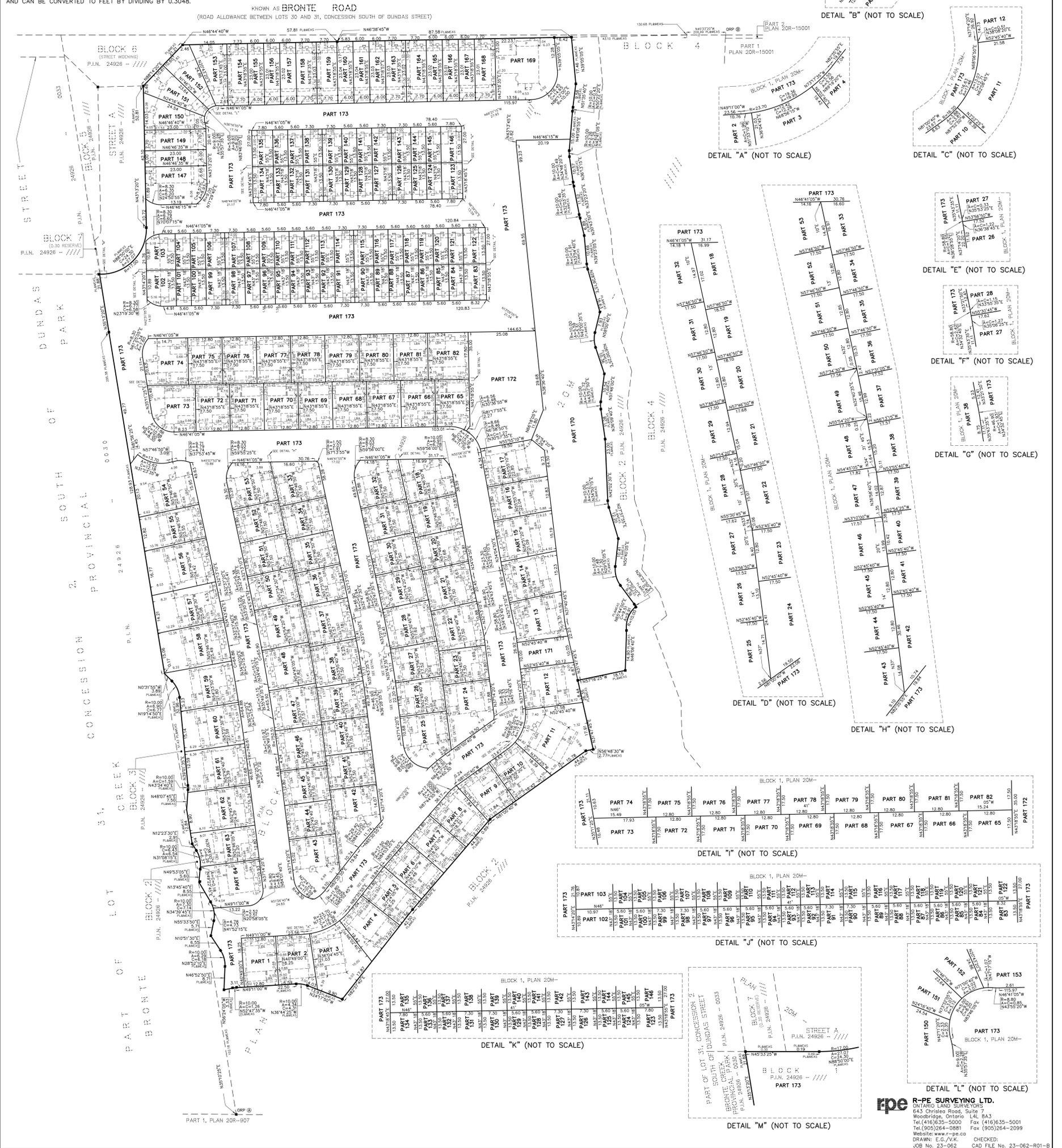
PLAN 20R-

RECEIVED AND DEPOSITED

DATE: ___, 2024

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF HALTON (No.20)

| SCHEDULE | | | |
|----------|--------------|---------|--------------|
| PARTS | ALL OF BLOCK | PLAN | PART OF PLAN |
| 1 TO 173 | 1 | 20M-/// | 24926-/// |



August 30, 2024

GSAI File: 1635-001

In Memoriam, Founding Partner:
Glen Schnarr

Secretary-Treasurer
Committee of Adjustment
Town of Oakville
1225 Trafalgar Road
Oakville, ON L6H 0H3

**RE: Minor Variance Application
Bronte River LP
1300 – 1350 Bronte Road, Town of Oakville**

Glen Schnarr & Associates Inc (GSAI) have been retained by Bronte River LP (the 'Owner') of the lands municipally known as 1300, 1316, 1326, 1342 and 1350 Bronte Road, in the Town of Oakville (the 'Subject Lands' or 'Site'). On behalf of the Owner, we are pleased to provide this Minor Variance Application to facilitate a residential development on the Subject Lands.

In support of this Application, please find attached the following materials:

- A copy of the signed Application Form;
- A copy of the Draft M-Plan, prepared by R-PE;
- A copy of the Conceptual Development Plan, prepared by Gerrard Design, dated July 22, 2024;
- A copy of the 42' Lot Architectural Plans, prepared by Q4 Architects Inc, dated June 6, 2024., including:
 - Ground Floor Plan (Drawing A1.02);
 - Second Floor Plan (Drawing A1.03);
 - Third Floor Plan (Drawing A1.04);
 - Optional Third Floor Plan (Drawing A4.05);
 - Front Elevation (Drawing A2.01);
 - Left (Side) Elevation (Drawing A2.02);
 - Rear Elevation (Drawing A2.03);
 - Right (Side) Elevation (Drawing A2.04);
- A copy of the 46' Lot Architectural Plans, prepared by Q4 Architects Inc, dated May 31, 2024., including:
 - Ground Floor Plan (Drawing B-1.1);
 - Second Floor Plan (Drawing B-2.1);
 - Front Elevation (Drawing B-4.1);
 - Left (Side) Elevation (Drawing B-4.2);
 - Rear Elevation (Drawing B-4.3);
 - Right (Side) Elevation (Drawing B-4.4);
- A copy of the 50' Lot Architectural Plans, prepared by Q4 Architects Inc, dated May 31, 2024., including:
 - Ground Floor Plan (Drawing A-1.1);

- Optional Ground Floor Plan (Drawing A-1.2);
- Optional Second Floor Plan (Drawing A-2.3);
- Optional Third Floor Plan (Drawing A-3.2);
- Third Floor Plan (Drawing A-3.3);
- Front Elevation (Drawing A-4.1);
- Left (Side) Elevation (Drawing A-4.2);
- Rear Elevation (Drawing A-4.3);
- A copy of the By-law 2024-029; and,
- A copy of the Variance Sketch, prepared by GSAI, dated August 23, 2024.

Payment of full fees will be provided prior to circulation.

SITE & SURROUNDING AREA

The Subject Lands are an assembly of five (5) lots located on the west side of Bronte Road, north of the Queen Elizabeth Way ('QEW') and south of Upper Middle Road. The Site, which is currently municipally known as 1300, 1316, 1326, 1342 and 1350 Bronte Road, is located within an evolving community. More specifically, the Subject Lands and surrounding area are in various stages of development. Once complete, this area of the Town will support the creation of a complete community whereby a range of uses are to be provided as well as a range of built forms. Given this, the surrounding area can be understood to have an evolving and eclectic character due to the range and mixture of built forms.

By way of context, the Subject Lands are referred to as the 'Bronte River' development and are subject to previous approvals. These approvals include a site-specific Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision. The approved Zoning By-law Amendment culminated in By-law 2024-029, while the approved Draft Plan of Subdivision will culminate in the creation of development blocks. As demonstrated on the accompanying Plan of Subdivision, the development area subject to this current Minor Variance Application is comprised of a segment of Block 1 lands. The entirety of the Block 1 lands will be further divided and enable the creation of individual lots, or Parcels of Tied Lands ('POTLs'), via a future Exemption from Part Lot Control Approval process. The Site is also currently ongoing a Site Plan pre-submission process. When complete, the Bronte River development will provide for the creation of a compact residential development comprised of dual frontage townhouse, back-to-back townhouse and detached built forms. This Application is focused on a segment of the Block 1 lands in the overall subdivision which are to be developed for a range and mixture of detached dwellings.

OFFICIAL PLAN & ZONING

The segment of the Subject Lands subject to this Application are designated 'Low Density Residential' by the in-effect Livable Oakville Plan. In accordance with a Town Council approved Official Plan Amendment, the Site is also subject to an Area Specific policy which permits the overall development density and the introduction of private condominium roadways. For clarity, the Area Specific policy does not change the permitted use of the Site.

The Site is subject to the Town of Oakville Zoning By-law 2014 – 014 ('By-law 2014-014'), as amended, which zones the segment of the Site subject to this Application as 'Residential Low Density, Special Provision 429 (RL6 sp. 429)' via By-law 2024-029. Detached dwellings are a permitted use. Special Provision 429 establishes a series of site-specific

development standards, including minimum setbacks and maximum projections, that the detached dwellings must conform to.

REQUESTED RELIEF

The Owner is in the process of obtaining planning approvals (via a site plan pre-submission) to construct a series of new detached dwellings, including integrated private garages and select rear yard, 2nd level balconies. The proposed dwellings, as currently contemplated, has been planned and designed to comply with the applicable zoning regulations, to the greatest extent possible and to implement the approved development vision established by the accompanying Conceptual Development Plan. The following are the variances for which the Owner is seeking approval:

1. Section 15.429.1.d), By-law 2014-014

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building is required.

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 65% of the dwelling width measured at the rear of the main building is requested.

2. Section 15.429.1.d), By-law 2014-014

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building is required.

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 63% of the dwelling width measured at the rear of the main building is requested.

3. Section 15.429.1.d), By-law 2014-014

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building is required.

A minimum rear yard may be reduced to 1.2 m for a one storey addition for a maximum of 72% of the dwelling width measured at the rear of the main building (of corner lots) is requested.

4. Section 15.429.1.k), By-law 2014-014

A maximum encroachment into a minimum rear yard for uncovered platforms having a floor height less than or equal to 3.0 metres, measured from grade, of up to 1.2 m from the rear lot line is required.

A maximum encroachment into a minimum rear yard for uncovered platforms on the second level having a floor height greater than or equal to 3.0 metres, measured from grade, up to 1.2 m from the rear lot line is requested.

MINOR VARIANCE TESTS

Section 45(1) of the *Planning Act*, as amended, identifies the four tests which must be satisfied in order for the Committee to approve this application. Those tests are:

1. The variance maintains the general intent and purpose of the Official Plan.

2. The variance maintains the general intent and purpose of the Zoning By-law.
3. The variance is desirable for the appropriate development or use of the land.
4. The variance is minor in nature.

In my opinion, the requested variances are supportable and meet the four tests under the *Planning Act* in the following ways:

The Variance Maintains The General Intent & Purpose of the Official Plan

As mentioned above, the segment of the Subject Lands subject to this Application are designated 'Low Density Residential' by the in-effect Livable Oakville Plan. The intent of the 'Low Density Residential' designation is to facilitate a range of permitted low density housing types including single detached dwellings. The proposed detached dwelling built forms are permitted.

Livable Oakville directs that infill development in stable residential communities is to be evaluated against perspective criteria (Section 11.1.9). Specifically, Section 11.1.9 states:

"Development within all stable residential communities shall be evaluated using the following criteria to maintain and protect the existing neighbourhood character:

- a) *The built form of development, including scale, height, massing, architectural character, and materials, is to be compatible with the surrounding neighbourhood.*
- b) *Development should be compatible with the setbacks, orientation, and separation distances within the surrounding neighbourhood.*
- h) *Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing."*

The proposed dwellings (as demonstrated in the accompanying Architectural Plans) have been designed to be complimentary to and compatible with both historical and surrounding development forms in the surrounding area. This is achieved through the provision of refined, high-quality built forms that include stepbacks above the ground level, the integration of living areas into the roofline and built form features that are similar and complimentary to those found in the immediate surrounding area.

I also highlight that the presence of a covered front porch and an integrated, front yard private garage are features found throughout the immediate surrounding community. As such, the prevailing pattern of dwelling orientation, height, massing and character are maintained. Furthermore, the proposed facades are to provide for similar, compatible material selections as those present in the surrounding community and provides for a built form, scale and massing that has clear ground level elements, and mitigates the appearance of blank front main walls or a dwelling that visually overwhelms. This enables the provision of living areas that meet the needs of families, while also being appropriately and sensitively provided on the lot. Given the above, the proposal will provide for built forms, massing and built form features that will seamlessly integrate with the established and evolving character of the community.

Based on the above, it is my opinion that the requested variances conform to the policy objectives established by the Livable Oakville Plan and meet the general intent and purpose of the Official Plan.

The Variance Maintains The General Intent & Purpose of the Zoning By-law

As mentioned above, the Subject Lands are subject to By-law 2014-014, as amended. The requested variances seek the following relief:

Maintenance of Rear Yard Setbacks, as a function of dwelling width

Section 15.429.1.d) of By-law 2014-014 states that a minimum rear yard setback of 1.2 m is permitted for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building, whereas a 1.2 m rear yard setback for 63%, 65% and 72% of the dwelling width measured at the rear of the main building is requested.

The general intent and purpose of setback regulations is to ensure sufficient spacing and buffering between buildings that are beside one another in order to provide appropriate transition and scale as well as adequate space for maintenance, while also avoiding privacy and overlook concerns.

In this case, the minimum rear yard setback of 1.2 metres is to be maintained, while the setback as a measure of dwelling width along the rear façade is to be increased depending on the lot configuration. More specifically, the rear yard setback as a measure of dwelling width is to be increased from 55% of the dwelling depth along the rear façade to 63%, 65% and 72% of dwelling width for certain lots as further demonstrated on the accompanying Variance Sketch. The requested setback as a measure of an increased dwelling width is required to facilitate a refined, high-quality built form that incorporates interior living spaces that reflect the changing needs of families. I highlight that the overall position of dwellings on the lot, regardless of the lot configuration under consideration, and the minimum rear yard setbacks will remain unchanged. Furthermore, the greatest relief of 72% is only applicable to select corner lots across the development. As a result, the requested setbacks and home designs are reflective of the proposed, optimized site design and will provide for sufficient spacing and visual screening. Visual screening is to be provided via privacy fencing along the shared property lines as well as rear yard amenity areas and landscaping. As a result, the positioning of the dwellings on the lot at 63%, 65% and 72% of the dwelling width will provide a consistent pattern, will not lead to privacy concerns nor will it have adverse impacts on the surrounding lands.

Increased Rear Yard Maximum Encroachment

Section 15.429.1.k) of By-law 2014-014 states that a maximum encroachment into a minimum rear yard for uncovered platforms having a floor height less than or equal to 3.0 metres, measured from grade, up to 1.2 m from the rear lot line is required, whereas a maximum encroachment into a minimum rear yard for a 2nd level uncovered platform having a floor height less than or equal to 3.0 metres, measured from grade, up to 1.2 metres from the rear lot line is requested.

The general intent and purpose of projection regulations is to control massing and architectural form. Projection regulations often work hand-in-hand with building envelope regulations to ensure an appropriate built form is provided on a lot.

In this case, By-law 2024-029 permits rear yard projections for uncovered platforms with a floor height less than or equal to 3.0 metres, measured from grade, up to 1.2 metres from the rear lot line, while a maximum projection for a 2nd level uncovered platform with a floor height less than or equal to 3.0 m, measured from grade, up to 1.2 m from the rear lot line is requested. For clarity, this requested relief is only being requested for a selection of detached lots on the periphery within the development as demonstrated on the accompanying Variance Sketch.

In this case, the requested projection permission for a 2nd level uncovered platform is to facilitate the provision of a walk-out terrace above the ground level. This terrace, which is understood to be an uncovered platform for the purpose of zoning, will enable an outdoor area to be provided that is a natural extension of the adjacent interior living area. It will also further compliment the rear yard outdoor amenity space provided for residents. Given the balcony is to be positioned above the ground level, the agreed upon placement of dwellings on the lot is to be maintained and the specified maximum projection into the required rear yard is also maintained. A consistent pattern is also to be provided as each selected detached lot is to have this requested terrace. Furthermore, By-law 2024-029 already permits rear yard projections with a floor height less than or equal to 3.0 m, measured from grade. As such, the requested relief to permit a 2nd level uncovered platform is a minor deviation from existing permissions.

Finally, I highlight that the requested 2nd level uncovered platforms are to be provided only on those lots which abut Natural Area or Stormwater Management Facility areas. Collectively, the above-noted features contribute to refined, high-quality built forms and optimal site designs to be realized and to prevent adverse overlook conditions. As a result, the requested projection permission and home designs will provide for an appropriate and desirable rear yard condition which does not lead to overlook or privacy concerns nor will it have any adverse impacts on the surrounding lands.

Based on the above, it is my opinion that the proposed variances meet the general intent and purpose of the Zoning By-law.

The Variance is Desirable for the Appropriate Development or Use of the Land

Approval of the requested variance will allow for the proposed redevelopment of the Subject Lands as contemplated by the previous development approvals. Reinvestment in lands in close proximity to services and amenities, such as that being proposed, is appropriate and desirable for the Town, the Neighbourhood, and this Site.

The requested increased dwelling width as a measure of rear yard setbacks and increased uncovered platform projections will maintain appropriate built forms, height, mass, and built-form features. The variances are desirable in recognizing the appropriate development and use of the Subject Lands.

Overall, it is my opinion that the proposed variances have been designed to be complimentary to the character of the Subject Lands and the surrounding community. The proposal will not negatively affect surrounding uses and represents an efficient, compatible, and appropriate development that is desirable for the Subject Lands.

The Variance is Minor in Nature

The requested variances will permit the development of new dwellings on the Subject Lands and represent a minor departure from current zoning permissions. The variances required do not represent overdevelopment of the Subject Lands as the proposed dwellings will be complimentary to the surrounding community and have been thoroughly reviewed as a result of the previous development approval processes.

Overall, the variances will allow for sensitive reinvestment to occur on the Subject Lands in a manner that is compatible and in keeping with the current and evolving physical character of the surrounding community. The variances requested will not result in adverse impacts on adjoining properties or surrounding lands. Therefore, it is my opinion that the proposed variances are minor in nature.

CONCLUSION

As described above, the requested variances satisfy the four tests of Section 45(1) of the *Planning Act* and represent good planning. As such, we respectfully request the Town's recommendation in favour for the proposed variances.

Yours very truly,

GLEN SCHNARR & ASSOCIATES INC.



Stephanie Matveeva, MCIP, RPP
Associate

Material Legend

| | |
|------|--|
| C100 | POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.) |
| C101 | POURED CONC. PORCH SLAB W/ INSET STEP(S) IF REQUIRED. |
| E103 | SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK) |
| E300 | FACE BRICK (TYP.) |
| E301 | STONE VENEER (TYP.) |
| P104 | SQUARE VINYL OR FIBERGLASS COLUMN |
| R100 | ASPHALT SHINGLES (TYP) |
| R103 | PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS |
| T100 | FIBER-CEMENT TRIM BOARD |
| T104 | FIBER-CEMENT HEADER TRIM BOARD |
| T105 | FIBER-CEMENT SILL TRIM BOARD |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |
| T323 | SMOOTH PRECAST OR STONE W/ 1/2" PROJECTION |

NOTE:
- ALL ROOF OVERHANG DIMENSIONS ARE FROM EXTERIOR OF FINISHES.

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
- ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- SECOND FLR & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
- TYPICAL WINDOW HEAD HEIGHT TO BE 7'10" ON GROUND FLOOR

SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



A - FRONT ELEVATION

A - FRONT ELEVATION

Sheet Title

| | |
|-------------|---------------|
| Project No. | 23008 |
| Scale | 3/16" = 1'-0" |
| Drawn By | TW |
| Checked By | NS/KB |

Project Title
CAVAN TCSD42' MODULE

Location
BRAMPTON - CALEDON, ON.
Client
CAVAN

Issued / Revision Chart

| | | | |
|---|----------------------------------|------------|-------|
| 6 | DO ISSUED FOR CONSULTANT | 2024.06.06 | NS |
| 5 | UPDATED AS PER CLIENT | 2024.04.26 | TW |
| 4 | FINAL SCHEMATIC DESIGN ISSUED | 2024.03.15 | SL/MR |
| 3 | DO ISSUED FOR CLIENT | 2024.02.09 | GB |
| 2 | FULL SD ISSUED FOR CLIENT REVIEW | 2023.12.11 | MR |
| 1 | FULL SD ISSUED FOR CLIENT REVIEW | | |

Q4 ARCHITECTS INC.

4110 Yonge Street
Suite 602, Toronto, ON
M2P 2B7

T: 416.322.6334
F: 416.322.7294
E: info@q4architects.com

Q4A
ARCHITECTS

PROFESSIONAL STAMP

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The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. Drawings are NOT to be scaled. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.

A2.01

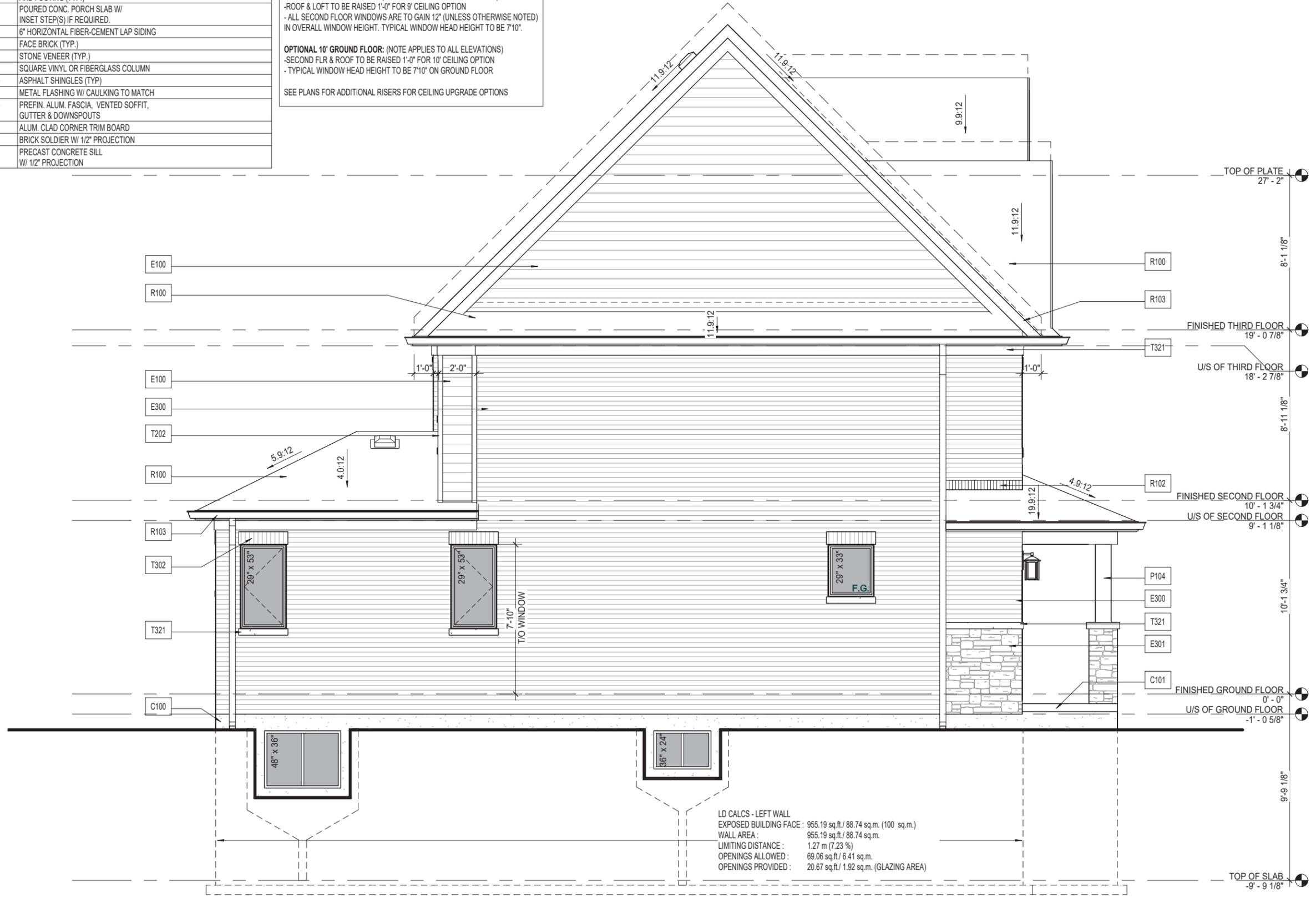
| Material Legend | |
|-----------------|--|
| C100 | POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.) |
| C101 | POURED CONC. PORCH SLAB W/ INSET STEP(S) IF REQUIRED. |
| E100 | 6" HORIZONTAL FIBER-CEMENT LAP SIDING |
| E300 | FACE BRICK (TYP.) |
| E301 | STONE VENEER (TYP.) |
| P104 | SQUARE VINYL OR FIBERGLASS COLUMN |
| R100 | ASPHALT SHINGLES (TYP) |
| R102 | METAL FLASHING W/ CAULKING TO MATCH |
| R103 | PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS |
| T202 | ALUM. CLAD CORNER TRIM BOARD |
| T302 | BRICK SOLDIER W/ 1/2" PROJECTION |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |

NOTE:
- ALL ROOF OVERHANG DIMENSIONS ARE FROM EXTERIOR OF FINISHES.

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
- ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- SECOND FLR & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
- TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR

SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



LD CALCS - LEFT WALL
 EXPOSED BUILDING FACE : 955.19 sq.ft./ 88.74 sq.m. (100 sq.m.)
 WALL AREA : 955.19 sq.ft./ 88.74 sq.m.
 LIMITING DISTANCE : 1.27 m (7.23 %)
 OPENINGS ALLOWED : 69.06 sq.ft./ 6.41 sq.m.
 OPENINGS PROVIDED : 20.67 sq.ft./ 1.92 sq.m. (GLAZING AREA)

A - LEFT ELEVATION

A - LEFT ELEVATION

Sheet Title

Project Title

CAIVAN TCSD42' MODULE

Location

BRAMPTON - CALEDON, ON.

Client

CAIVAN

Issued / Revision Chart

| NO | ISSUED FOR CONSULTANT | 2024.06.06 | NS |
|----|-------------------------------|------------|-------|
| 6 | ISSUED FOR CONSULTANT | 2024.06.06 | NS |
| 5 | UPDATED AS PER CLIENT | 2024.04.26 | TW |
| 4 | FINAL SCHEMATIC DESIGN ISSUED | 2024.03.15 | SL/MR |
| 3 | ISSUED FOR CLIENT | 2024.02.09 | GB |
| 2 | FULL SD ISSUED FOR CLIENT | 2023.12.11 | MR |
| 1 | FULL SD ISSUED FOR CLIENT | 2023.12.11 | MR |

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PROFESSIONAL
 STAMP

TCSD4244T

Project No. **23008**
 Scale **3/16" = 1'-0"**

Drawn By **TW**
 Checked By **NS/KB**

A2.02

Material Legend

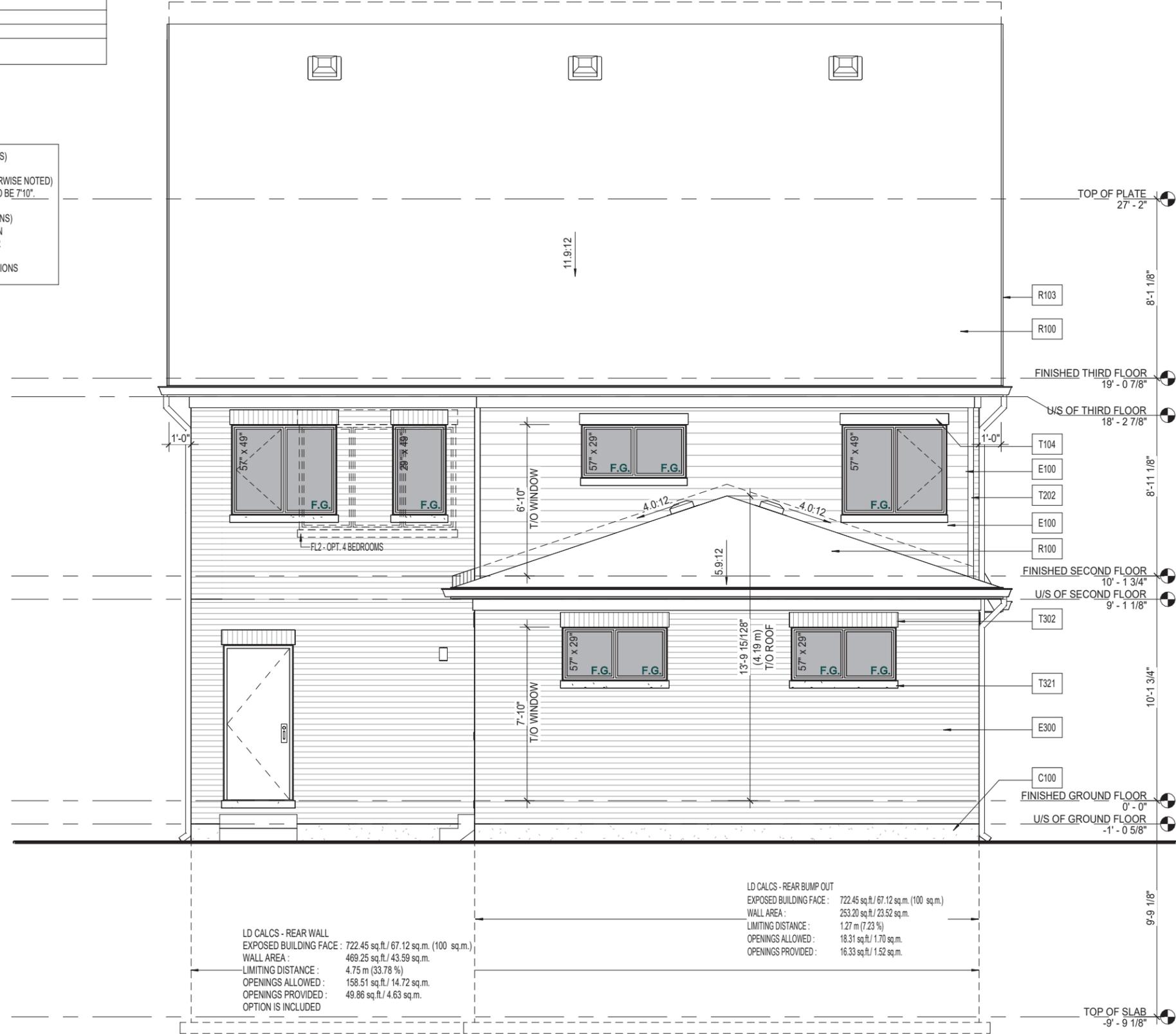
| | |
|------|--|
| C100 | POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.) |
| E100 | 6" HORIZONTAL FIBER-CEMENT LAP SIDING |
| E300 | FACE BRICK (TYP.) |
| R100 | ASPHALT SHINGLES (TYP) |
| R103 | PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS |
| T104 | FIBER-CEMENT HEADER TRIM BOARD |
| T202 | ALUM. CLAD CORNER TRIM BOARD |
| T302 | BRICK SOLDIER W/ 1/2" PROJECTION |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |

NOTE:
- ALL ROOF OVERHANG DIMENSIONS ARE FROM EXTERIOR OF FINISHES.

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
-ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
- ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
-SECOND FLR & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
- TYPICAL WINDOW HEAD HEIGHT TO BE 7'10" ON GROUND FLOOR

SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



LD CALCS - REAR WALL
EXPOSED BUILDING FACE : 722.45 sq.ft./ 67.12 sq.m. (100 sq.m.)
WALL AREA : 469.25 sq.ft./ 43.59 sq.m.
LIMITING DISTANCE : 4.75 m (33.78 %)
OPENINGS ALLOWED : 158.51 sq.ft./ 14.72 sq.m.
OPENINGS PROVIDED : 49.86 sq.ft./ 4.63 sq.m.
OPTION IS INCLUDED

LD CALCS - REAR BUMP OUT
EXPOSED BUILDING FACE : 722.45 sq.ft./ 67.12 sq.m. (100 sq.m.)
WALL AREA : 253.20 sq.ft./ 23.52 sq.m.
LIMITING DISTANCE : 1.27 m (7.23 %)
OPENINGS ALLOWED : 18.31 sq.ft./ 1.70 sq.m.
OPENINGS PROVIDED : 16.33 sq.ft./ 1.52 sq.m.

A - REAR ELEVATION

A - REAR ELEVATION

Sheet Title

| | |
|------------------|---------------|
| TCSD4244T | |
| Project No. | 23008 |
| Scale | 3/16" = 1'-0" |
| Drawn By | TW |
| Checked By | NS/KB |

Project Title
CAVAN TCSD42' MODULE

Location
BRAMPTON - CALEDON, ON.

Client
CAVAN

| NO | ISSUED FOR CONSULTANT | 2024.06.06 | NS |
|----|----------------------------------|------------|-------|
| 6 | ISSUED FOR CONSULTANT | 2024.06.06 | NS |
| 5 | UPDATED AS PER CLIENT REDLINES | 2024.04.26 | TW |
| 4 | FINAL SCHEMATIC DESIGN ISSUED | 2024.03.15 | SL/MR |
| 3 | ISSUED FOR CLIENT REVIEW | 2024.02.09 | GB |
| 2 | FULL SD ISSUED FOR CLIENT REVIEW | 2023.12.11 | MR |

Issued / Revision Chart

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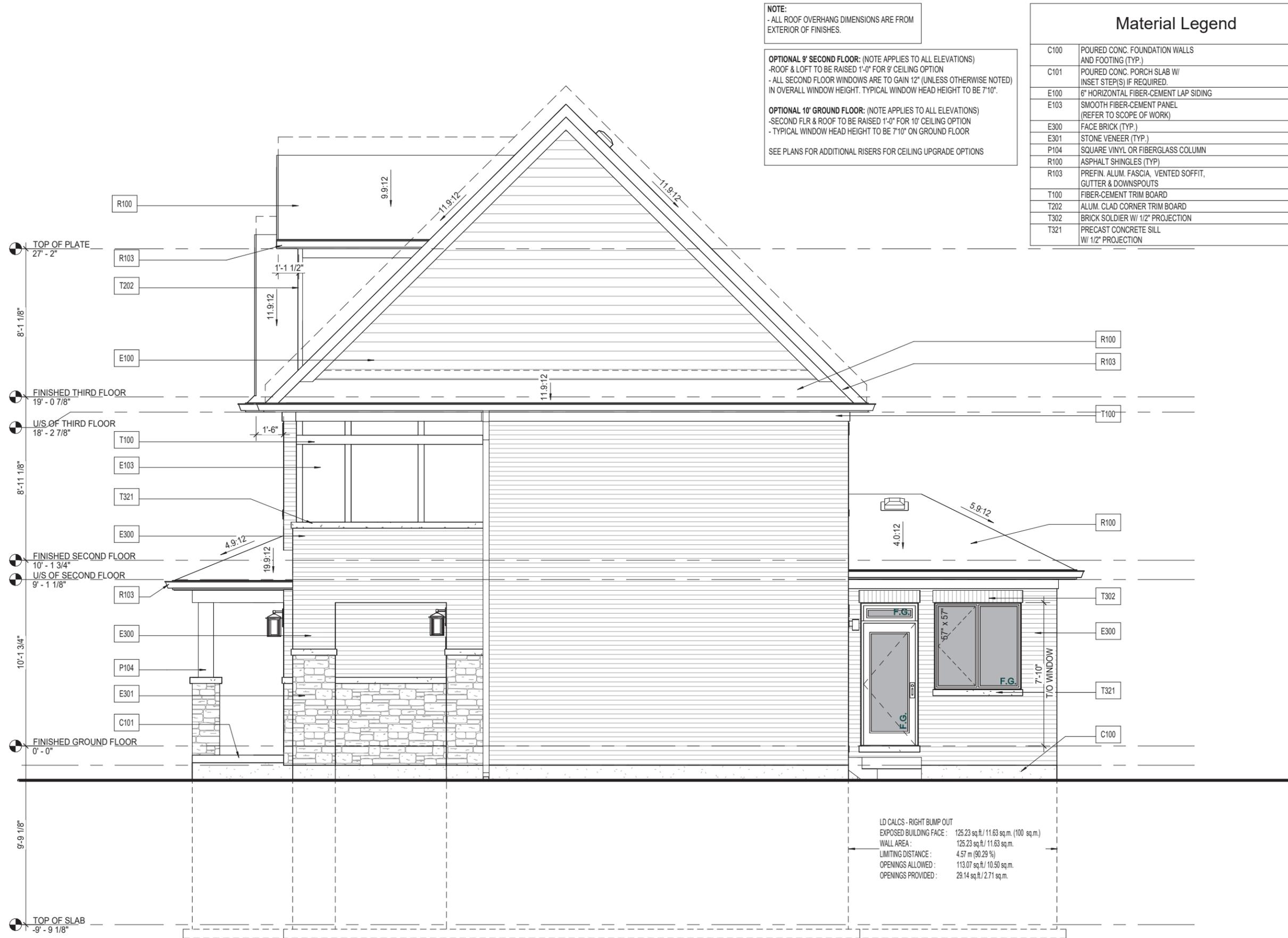
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PROFESSIONAL STAMP

PROFESSIONAL ARCHITECT



NOTE:
- ALL ROOF OVERHANG DIMENSIONS ARE FROM EXTERIOR OF FINISHES.

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
- ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
- SECOND FLR & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
- TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR

SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS

| Material Legend | |
|-----------------|--|
| C100 | POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.) |
| C101 | POURED CONC. PORCH SLAB W/ INSET STEP(S) IF REQUIRED. |
| E100 | 6" HORIZONTAL FIBER-CEMENT LAP SIDING |
| E103 | SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK) |
| E300 | FACE BRICK (TYP.) |
| E301 | STONE VENEER (TYP.) |
| P104 | SQUARE VINYL OR FIBERGLASS COLUMN |
| R100 | ASPHALT SHINGLES (TYP) |
| R103 | PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS |
| T100 | FIBER-CEMENT TRIM BOARD |
| T202 | ALUM. CLAD CORNER TRIM BOARD |
| T302 | BRICK SOLDIER W/ 1/2" PROJECTION |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |

A - RIGHT ELEVATION

LD CALCS - RIGHT BUMP OUT

| | |
|-------------------------|--|
| EXPOSED BUILDING FACE : | 125.23 sq.ft./ 11.63 sq.m. (100 sq.m.) |
| WALL AREA : | 125.23 sq.ft./ 11.63 sq.m. |
| LIMITING DISTANCE : | 4.57 m (90.29 %) |
| OPENINGS ALLOWED : | 113.07 sq.ft./ 10.50 sq.m. |
| OPENINGS PROVIDED : | 29.14 sq.ft./ 2.71 sq.m. |

TCSD4244T

Project Title: **CAVAN TCSD42' MODULE**

Location: **BRAMPTON - CALEDON, ON.**

Client: **CAVAN**

Project No.: 23008

Scale: 3/16" = 1'-0"

Drawn By: TW

Checked By: NS/KB

Issue / Revision Chart

| NO | ISSUED FOR CONSULTANT | 2024.06.06 | NS |
|----|----------------------------------|------------|-------|
| 6 | ISSUED AS PER CLIENT | 2024.04.26 | TW |
| 5 | REVISIONS | 2024.03.15 | SL/MR |
| 4 | FINAL SCHEMATIC DESIGN ISSUED | 2024.02.09 | GB |
| 3 | ISSUED FOR CLIENT | 2023.12.11 | MR |
| 2 | FULL SD ISSUED FOR CLIENT | | |
| 1 | FULL SD ISSUED FOR CLIENT REVIEW | | |

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Material Legend

| | |
|------|--|
| E103 | SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK) |
| E204 | WOOD-LIKE CLADDING WALL FINISH |
| E300 | FACE BRICK (TYP.) |
| R103 | PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



B - FRONT ELEVATION

TCSD4640C

B- FRONT ELEVATION

Project Title
CAVAN - TCSD46' CORNER MODULE

Project No. **23026**
 Scale **3/16" = 1'-0"**
 Drawn By **NS/DS**
 Checked By **PM/KB/NS**

Location
ONTARIO
 Client
CAVAN

| | | | |
|---|-------------------------------------|------------|----|
| 4 | FINAL SD ISSUED FOR CLIENT APPROVAL | 2024.05.31 | NS |
| 3 | REVISED PER CLIENT COMMENTS | 2024.05.10 | DS |
| 2 | SD ISSUED FOR CLIENT REVIEW | 2024.05.03 | NS |
| 1 | SD ISSUED FOR INTERNAL REVIEW | 2024.05.02 | DS |

Issued / Revision Chart

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Material Legend

| | |
|------|--|
| E100 | FIBER-CEMENT LAP SIDING |
| E103 | SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK) |
| E204 | WOOD-LIKE CLADDING WALL FINISH |
| E300 | FACE BRICK (TYP.) |
| T302 | BRICK SOLDIER W/ 1/2" PROJECTION |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |

OPTIONAL 9' SECOND FLOOR:(NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR:(NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



B - LEFT ELEVATION (FLANKAGE)

TCSD4640C

Project No. 23026
 Scale 3/16" = 1'-0"
 Drawn By NS/DS
 Checked By PM/KB/NS

B-4.2

Sheet Title
B- LEFT ELEVATION (FLANKAGE)
 Project Title
CAIVAN - TCSD46' CORNER MODULE

Location
ONTARIO
 Client
CAIVAN

Issued / Revision Chart

| | | | |
|---|-------------------------------------|------------|----|
| 4 | FINAL SD ISSUED FOR CLIENT APPROVAL | 2024.05.31 | NS |
| 3 | REVISED PER CLIENT COMMENTS | 2024.05.10 | DS |
| 2 | SD ISSUED FOR CLIENT REVIEW | 2024.05.03 | NS |
| 1 | SD ISSUED FOR INTERNAL REVIEW | 2024.05.02 | DS |

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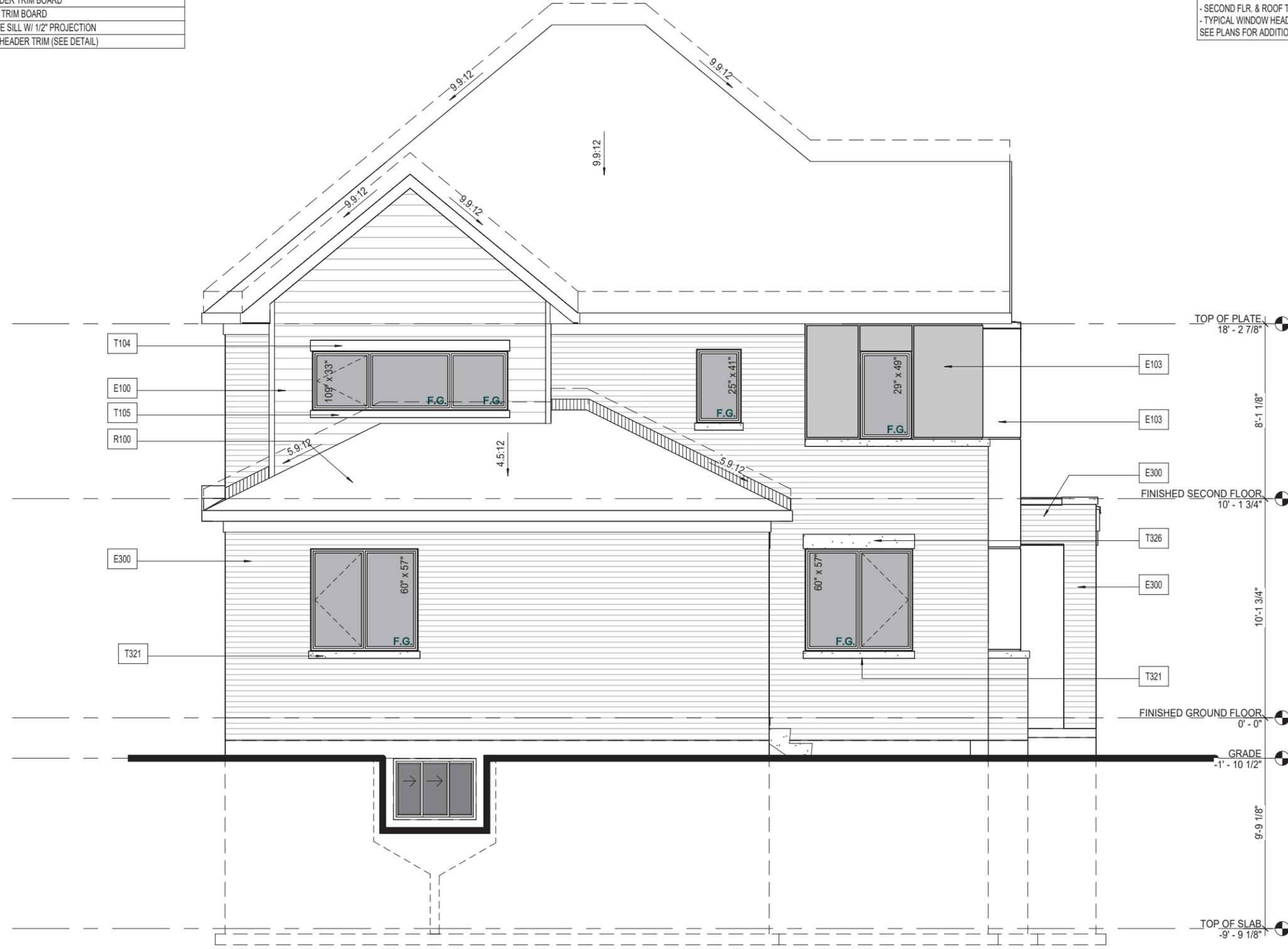
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Material Legend

| | |
|------|--|
| E100 | FIBER-CEMENT LAP SIDING |
| E103 | SMOOTH FIBER-CEMENT PANEL (REFER TO SCOPE OF WORK) |
| E300 | FACE BRICK (TYP.) |
| R100 | ASPHALT SHINGLES (TYP) |
| T104 | FIBER-CEMENT HEADER TRIM BOARD |
| T105 | FIBER-CEMENT SILL TRIM BOARD |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |
| T326 | BUILT-UP PRECAST HEADER TRIM (SEE DETAIL) |



B - REAR ELEVATION

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS

TCSD4640C

B- REAR ELEVATION

Project Title
CAIVAN - TCSD46' CORNER MODULE

Location
ONTARIO
 Client
CAIVAN

PROFESSIONAL
 STAMP

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Project No. **23026**
 Scale **3/16" = 1'-0"**
 Drawn By **NS/DS**
 Checked By **PM/KB/NS**

| | | | |
|---|-------------------------------------|------------|----|
| 4 | FINAL SD ISSUED FOR CLIENT APPROVAL | 2024.05.31 | NS |
| 3 | REVISED PER CLIENT COMMENTS | 2024.05.10 | DS |
| 2 | SD ISSUED FOR CLIENT REVIEW | 2024.05.03 | NS |
| 1 | SD ISSUED FOR INTERNAL REVIEW | 2024.05.02 | DS |

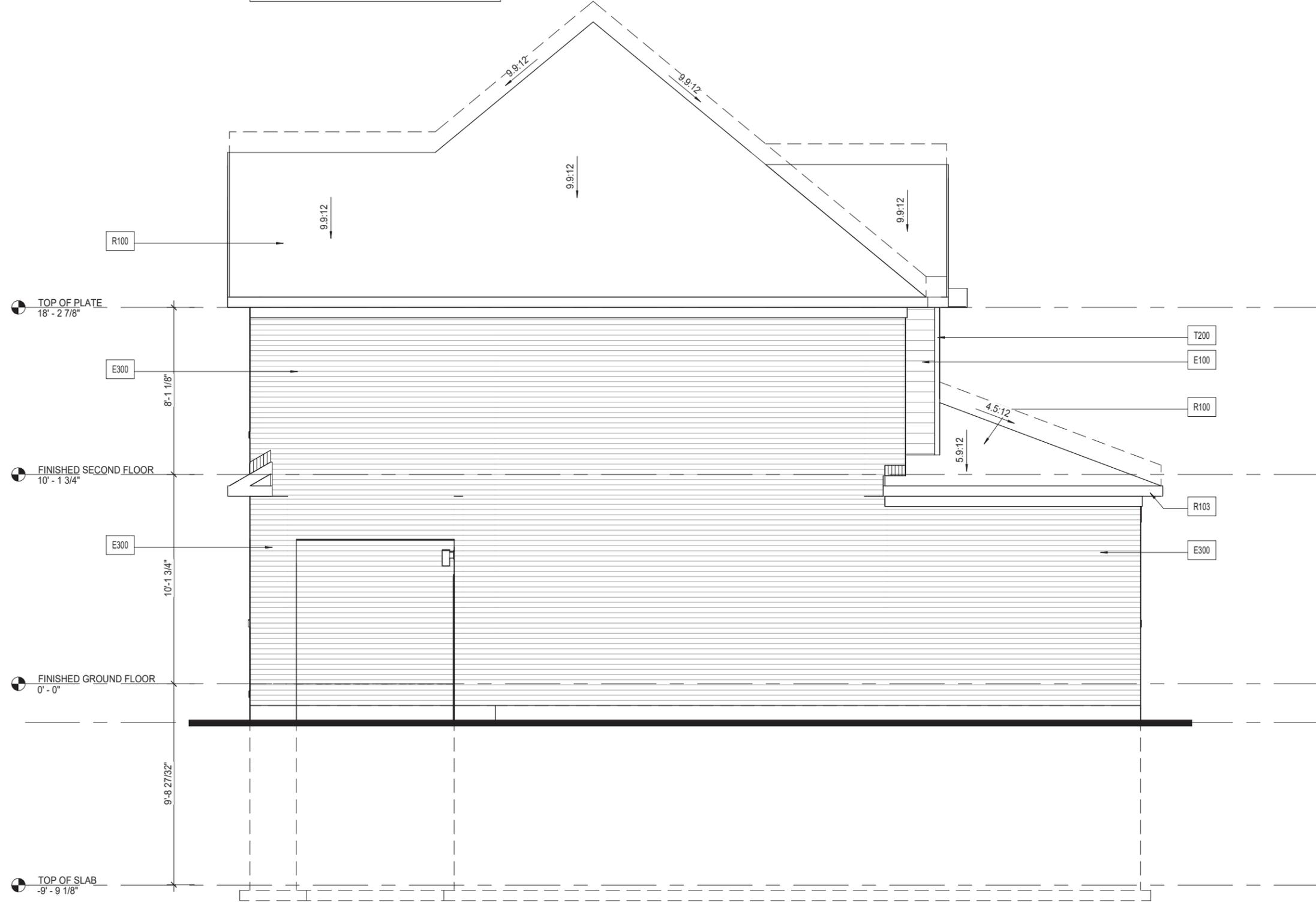
B-4.3

Material Legend

| | |
|------|--|
| E100 | FIBER-CEMENT LAP SIDING |
| E300 | FACE BRICK (TYP.) |
| R100 | ASPHALT SHINGLES (TYP) |
| R103 | PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS |
| T200 | ALUM. CLAD TRIM BOARD |

OPTIONAL 9' SECOND FLOOR:(NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR:(NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



B - RIGHT ELEVATION

Issue / Revision Chart

| | | | |
|---|-------------------------------------|------------|----|
| 4 | FINAL SD ISSUED FOR CLIENT APPROVAL | 2024.05.31 | NS |
| 3 | REVISED PER CLIENT COMMENTS | 2024.05.10 | DS |
| 2 | SD ISSUED FOR CLIENT REVIEW | 2024.05.03 | NS |
| 1 | SD ISSUED FOR INTERNAL REVIEW | 2024.05.02 | DS |

B- RIGHT ELEVATION

TCSD4640C

Project Title
CAVAN - TCSD46' CORNER MODULE

Project No. **23026**
 Scale **3/16" = 1'-0"**
 Drawn By **NS/DS**
 Checked By **PM/KB/NS**

Location
ONTARIO
 Client
CAVAN

G4 ARCHITECTS INC.

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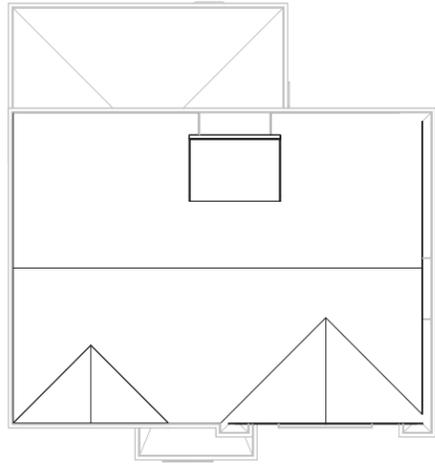
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B-4.4

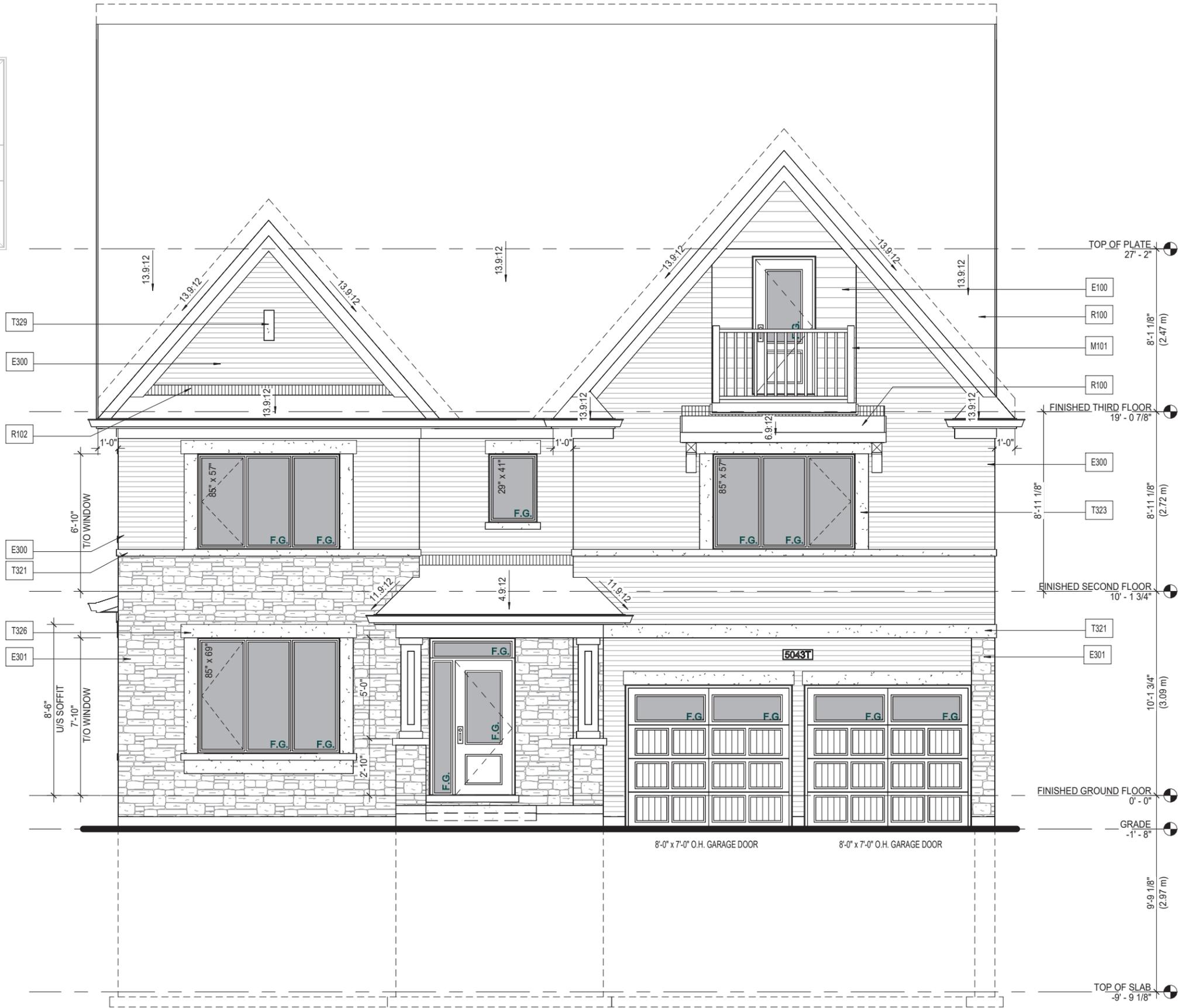


A - ROOF PLAN

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS

| Material Legend | |
|-----------------|--|
| E100 | FIBER-CEMENT LAP SIDING |
| E300 | FACE BRICK (TYP.) |
| E301 | STONE VENEER (TYP.) |
| M101 | ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & SB-7 (REFER TO SCOPE OF WORK) |
| R100 | ASPHALT SHINGLES (TYP) |
| R102 | METAL FLASHING W/ CAULKING TO MATCH |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |
| T323 | SMOOTH PRECAST OR STONE W/ 1/2" PROJECTION |
| T326 | BUILT-UP PRECAST HEADER TRIM (SEE DETAIL) |
| T329 | STONE / PRECAST CONCRETE IMPOST |



A - FRONT ELEVATION

A - FRONT ELEVATION

TCSD5043T

Project Title
CAVAN - TCSD50' MODULE

Location
ONTARIO

Client
CAVAN

PROFESSIONAL
 STAMP

Q4 ARCHITECTS INC.

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Project No. **23026**
 Scale **As indicated**
 Drawn By **MO/TW**
 Checked By **PM/KB/NS**

A-4.1

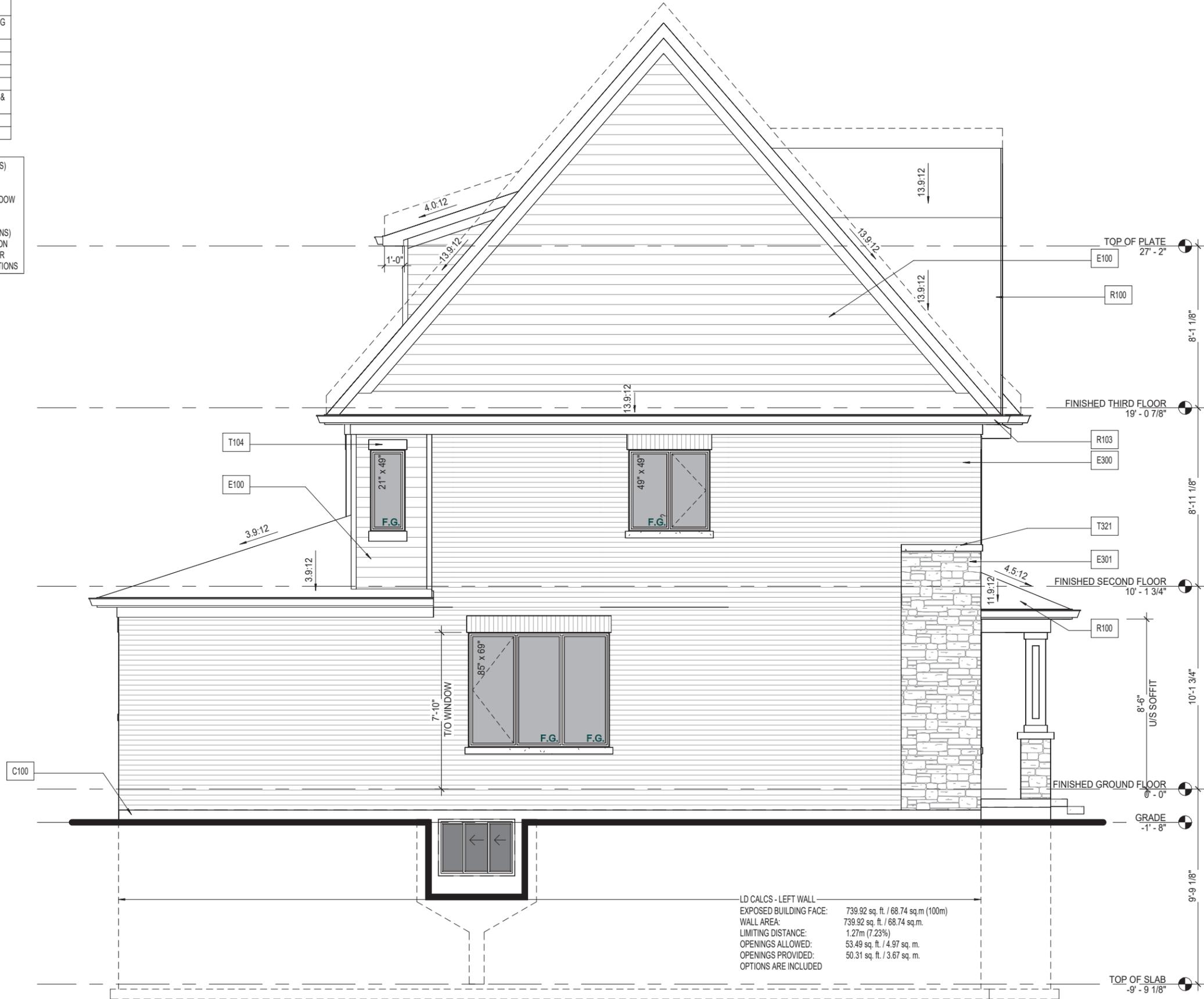
| Issue / Revision Chart | Issue / Revision | Date | By |
|------------------------|-------------------------------------|------------|-------|
| 5 | FINAL SD ISSUED FOR CLIENT APPROVAL | 2024.05.31 | DS |
| 4 | REVISED PER CLIENT COMMENTS | 2024.04.26 | RR/DS |
| 3 | REVISED PER CLIENT REVIEW | 2024.04.19 | NS |
| 2 | SD ISSUED FOR CLIENT REVIEW | 2024.04.12 | NS |
| 1 | SD ISSUED FOR INTERNAL REVIEW | 2024.04.05 | TW |

Material Legend

| | |
|------|--|
| C100 | POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.) |
| E100 | FIBER-CEMENT LAP SIDING |
| E300 | FACE BRICK (TYP.) |
| E301 | STONE VENEER (TYP.) |
| R100 | ASPHALT SHINGLES (TYP.) |
| R103 | PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS |
| T104 | FIBER-CEMENT HEADER TRIM BOARD |
| T321 | PRECAST CONCRETE SILL W/ 1/2" PROJECTION |

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



A - LEFT ELEVATION

TCSD5043T

A - LEFT ELEVATION

Project Title
CAVAN - TCSD50' MODULE

Project No. **23026**
 Scale **3/16" = 1'-0"**
 Drawn By **MO/TW**
 Checked By **PM/KB/NS**

A-4.2

Location
ONTARIO
 Client
CAVAN

| | | | |
|---|---------------------------------------|------------|--------|
| 5 | FINAL SD ISSUED FOR CLIENT APPROVAL | 2024.05.31 | DS |
| 4 | REVISED PER CLIENT COMMENTS | 2024.04.26 | RR/DJS |
| 3 | SD FOR CLIENT REVIEW (ELEV. B) | 2024.04.19 | NS |
| 2 | SD ISSUED FOR CLIENT REVIEW (ELEV. A) | 2024.04.12 | NS |
| 1 | SD ISSUED FOR INTERNAL REVIEW | 2024.04.05 | TW |

Issue / Revision Chart

Q4 ARCHITECTS INC.

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 Suite 602, Toronto ON,
 M2P 2B7

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 F. 416.322.7294
 E. info@q4architects.com

PROFESSIONAL
 STAMP

Q4A
 ARCHITECTS

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 The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. Drawings are NOT to be scaled. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.

| Material Legend | |
|-----------------|--|
| C100 | POURED CONC. FOUNDATION WALLS AND FOOTING (TYP.) |
| E100 | FIBER-CEMENT LAP SIDING |
| E300 | FACE BRICK (TYP.) |
| R100 | ASPHALT SHINGLES (TYP) |
| R103 | PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS |
| T105 | FIBER-CEMENT SILL TRIM BOARD |

OPTIONAL 9' SECOND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - ROOF & LOFT TO BE RAISED 1'-0" FOR 9' CEILING OPTION
 - ALL SECOND FLOOR WINDOWS ARE TO GAIN 12" (UNLESS OTHERWISE NOTED) IN OVERALL WINDOW HEIGHT. TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10".

OPTIONAL 10' GROUND FLOOR: (NOTE APPLIES TO ALL ELEVATIONS)
 - SECOND FLR. & ROOF TO BE RAISED 1'-0" FOR 10' CEILING OPTION
 - TYPICAL WINDOW HEAD HEIGHT TO BE 7'-10" ON GROUND FLOOR
 SEE PLANS FOR ADDITIONAL RISERS FOR CEILING UPGRADE OPTIONS



LD CALCS - RIGHT BUMP OUT

| | |
|------------------------|------------------------------------|
| EXPOSED BUILDING FACE: | 739.92 sq. ft. / 68.74 sq.m (100m) |
| WALL AREA: | 739.92 sq. ft. / 68.74 sq.m. |
| LIMITING DISTANCE: | 1.27m (7.23%) |
| OPENINGS ALLOWED: | 53.49 sq. ft. / 4.97 sq. m. |
| OPENINGS PROVIDED: | 50.31 sq. ft. / 3.67 sq. m. |
| OPTIONS ARE INCLUDED | |

A - REAR ELEVATION

Sheet Title
A - REAR ELEVATION

TCSD5043T

Issue / Revision Chart

Q4 ARCHITECTS INC.

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 ARCHITECTS

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PROFESSIONAL
 STAMP

Project Title
CAVAN - TCSD50' MODULE

Location
ONTARIO
 Client
CAVAN

| | | | |
|---|---------------------------------------|------------|--------|
| 5 | FINAL SD ISSUED FOR CLIENT APPROVAL | 2024.05.31 | DS |
| 4 | REVISED PER CLIENT COMMENTS | 2024.04.26 | RR/D/S |
| 3 | SD FOR CLIENT REVIEW | 2024.04.19 | NS |
| 2 | SD ISSUED FOR CLIENT REVIEW (ELEV. A) | 2024.04.12 | NS |
| 1 | SD ISSUED FOR INTERNAL REVIEW | 2024.04.05 | TW |

Project No. **23026**
 Scale **3/16" = 1'-0"**
 Drawn By **MO/TW**
 Checked By **PM/KB/NS**

A-4.3

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APPENDIX D



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-029

A by-law to amend the Town of Oakville Zoning By-law 2014-014, as amended, to permit the development of a medium and low density residential subdivision, for the lands described as 1300, 1316, 1326, 1342 and 1350 Bronte Road (Bronte River, LP, File No. Z.1531.03)

COUNCIL ENACTS AS FOLLOWS:

1. Map 19(11) of By-law 2014-014, as amended, is further amended by rezoning the lands depicted on Schedule 'A' to this By-law.
2. Section 15, Special Provisions, of By-law 2014-014, as amended, is further amended by adding new Sections 15.429, 15.430 and 15.431 as follows:

| | | |
|----------------------------------|---|---------------------|
| 429 | 1300, 1316, 1326, 1342 and 1350 Bronte Road (Part of Lot 31, Concession 2, S.D.S) | Parent Zone: RL6 |
| Map 19(11) | | (2024-029) |
| 15.429.1 Zone Provisions | | |
| The following regulations apply: | | |
| a) | <i>Minimum lot area</i> | 200 m ² |
| b) | <i>Minimum flankage yard</i> | 2.5 m |
| c) | <i>Minimum rear yard</i> | 4.5 m |
| d) | Notwithstanding subsection 15.429.1 c), the minimum <i>rear yard</i> may be reduced to 1.2 m for a one <i>storey</i> addition for a maximum of 55% of the <i>dwelling</i> width measured at the rear of the main <i>building</i> . The one <i>storey</i> addition shall have a maximum vertical distance of 4.5 m measured between the finished floor level of the <i>first storey</i> and the highest point of the roof of the one <i>storey</i> addition. | |
| e) | <i>Maximum height</i> | 13.0 m |
| f) | <i>Maximum number of storeys</i> | 3 |

PLAN 20M -

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF HALTON AT _____ O'CLOCK ON THE _____ DAY OF _____, 2024 AND ENTERED IN THE PARCEL REGISTER(S) FOR PROPERTY IDENTIFIER(S) _____

AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. _____

REPRESENTATIVE FOR LAND REGISTRAR

PLAN OF SUBDIVISION OF PART OF LOT 31 CONCESSION 2, SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

SCALE 1:1000

R-PE SURVEYING LTD., O.L.S.
METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- NOTES**
- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - PB DENOTES PLASTIC BAR
 - CP DENOTES CONCRETE PIN
 - P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
 - SCP DENOTES SPECIFIED CONTROL POINT
- ALL FOUND MONUMENTS ARE SHORT STANDARD IRON BARS UNLESS NOTED OTHERWISE

INTEGRATION NOTE

BEARINGS ARE GRID, UTM, NAD83(CSRs)(2010.0), DERIVED FROM ORP (A) AND (B). OBSERVED REFERENCE POINTS ARE DERIVED FROM REAL TIME NETWORK STATION 20120110009 (NORTHING 4801633.53, EASTING 597944.44).

COORDINATES ARE UTM ZONE 17, NAD83 (CSRS-CBNV6.2010.0), TO URBAN ACCURACY PER SEC. 14 (2) OF O.R.G. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

| POINT | NORTHING | EASTING |
|---------|------------|-----------|
| ORP (A) | 4807697.30 | 600753.38 |
| ORP (B) | 4807726.19 | 601298.26 |

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999707.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____ 2024.

DATE _____ 2024

R. DENBROEDER
ONTARIO LAND SURVEYOR
THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER _____

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

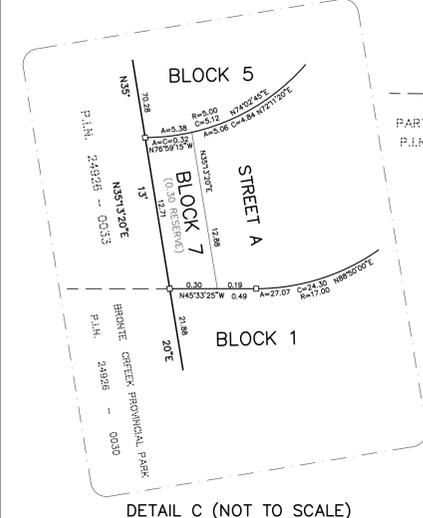
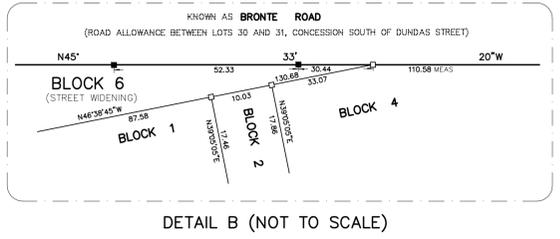
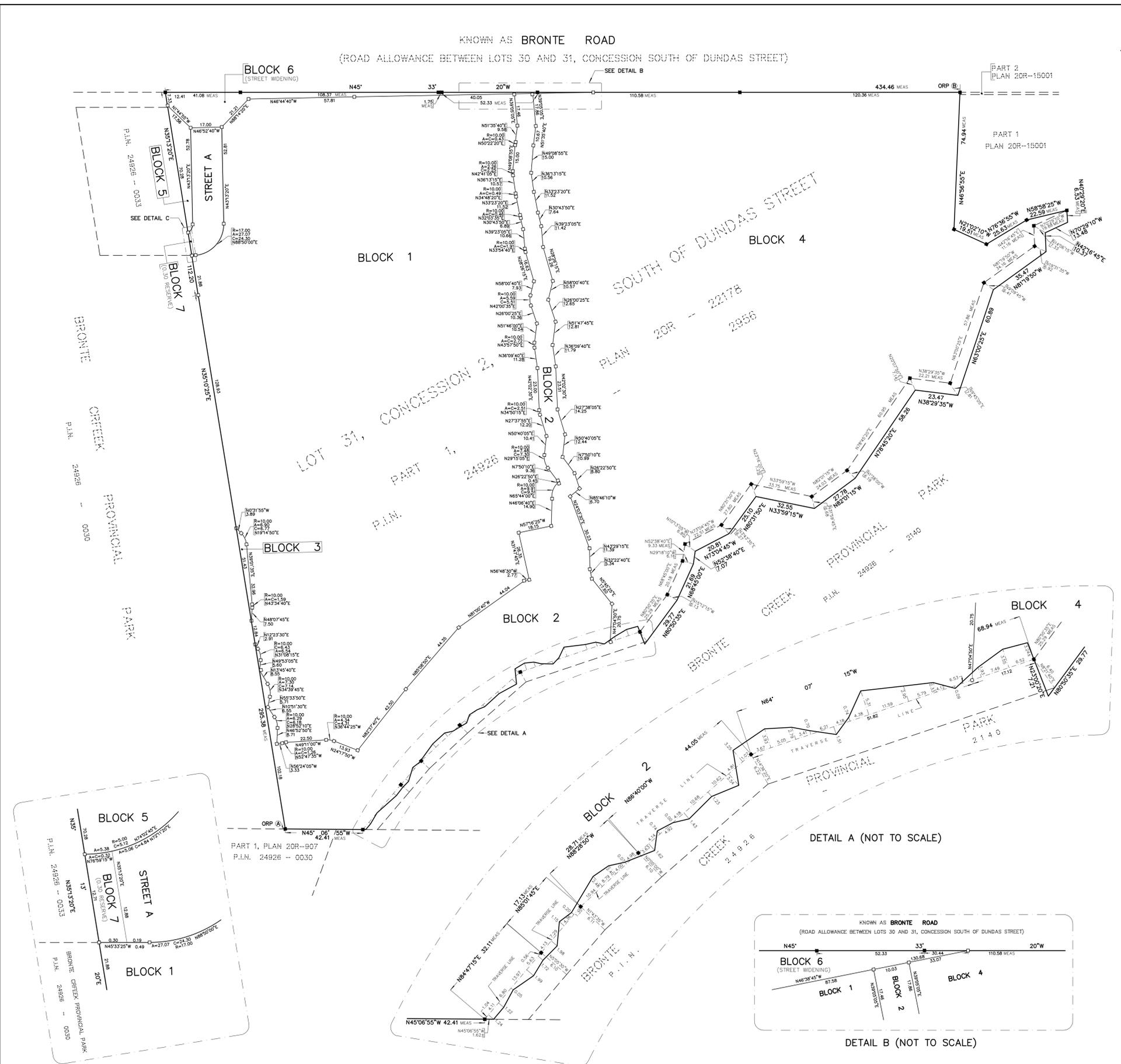
- BLOCKS 1,2,3,4,5 AND BLOCK 6, STREET WIDENING, BLOCK 7, 0.30 RESERVE, STREET NAMED STREET A HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREET IS HEREBY DEDICATED AS PUBLIC HIGHWAYS TO THE CORPORATION OF THE TOWN OF OAKVILLE.
- THE STREET WIDENING, NAMELY, BLOCK 6 IS HEREBY DEDICATED AS A PUBLIC HIGHWAY TO THE REGIONAL MUNICIPALITY OF HALTON.

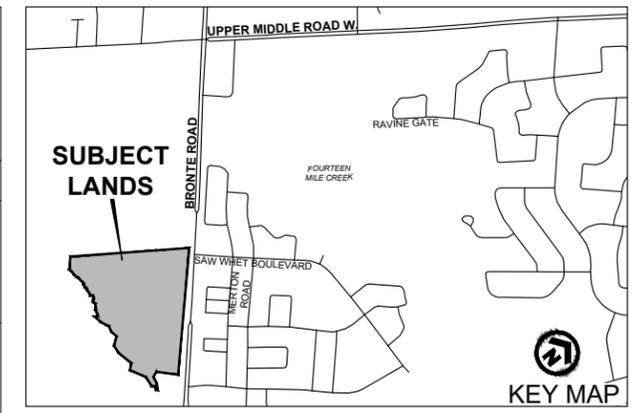
DATE _____, 2024

AUTHORIZED SIGNING OFFICER
I HAVE THE AUTHORITY TO BIND THE CORPORATION

rpe R-PE SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel: (416) 635-5000 Fax: (416) 635-5001
Tel: (905) 264-0851 Fax: (905) 264-2099
Website: www.r-pe.ca
DRAWN: C.D.S./T.C. CHECKED:
JOB No. 23-314 CAD FILE No. 23314S01b

TOTAL AREA OF SUBDIVISION = 12.119 Ha.





MINOR VARIANCE SKETCH
 1300 - 1350 BRONTE ROAD
 TOWN OF OAKVILLE,
 REGIONAL MUNICIPALITY OF HALTON

- SUBJECT LANDS
- # APPLICABLE MINOR VARIANCES

VARIANCES REQUESTED

1. **Section 15.429.1.d),** By-law 2014-014. To permit a minimum rear yard for a one storey addition for a maximum of 65% of the dwelling width, whereas a minimum rear yard for a one storey addition for a maximum of 55% of the dwelling width is required.
2. **Section 15.429.1.d),** By-law 2014-014. To permit a minimum rear yard for a one storey addition for a maximum of 63% of the dwelling width, whereas a minimum rear yard for a one storey addition for a maximum of 55% of the dwelling width is required.
3. **Section 15.429.1.d),** By-law 2014-014. To permit a minimum rear yard for a one storey addition for a maximum of 72% of the dwelling width, whereas a minimum rear yard for a one storey addition for a maximum of 55% of the dwelling width is required;
4. **Section 15.429.1.k),** By-law 2014-014. To permit a maximum encroachment into a minimum yard for uncovered platforms on the second storey having a floor height equal to or greater than 3.0 metres, measured from grade, up to 1.2 m from the rear lot line, whereas a maximum encroachment into a minimum yard for uncovered platforms having a floor height equal less than or equal to 3.0 metres, measured from grade, up to 1.2 m from the rear lot line is required.



SCALE 1:2,000
 August 23, 2024

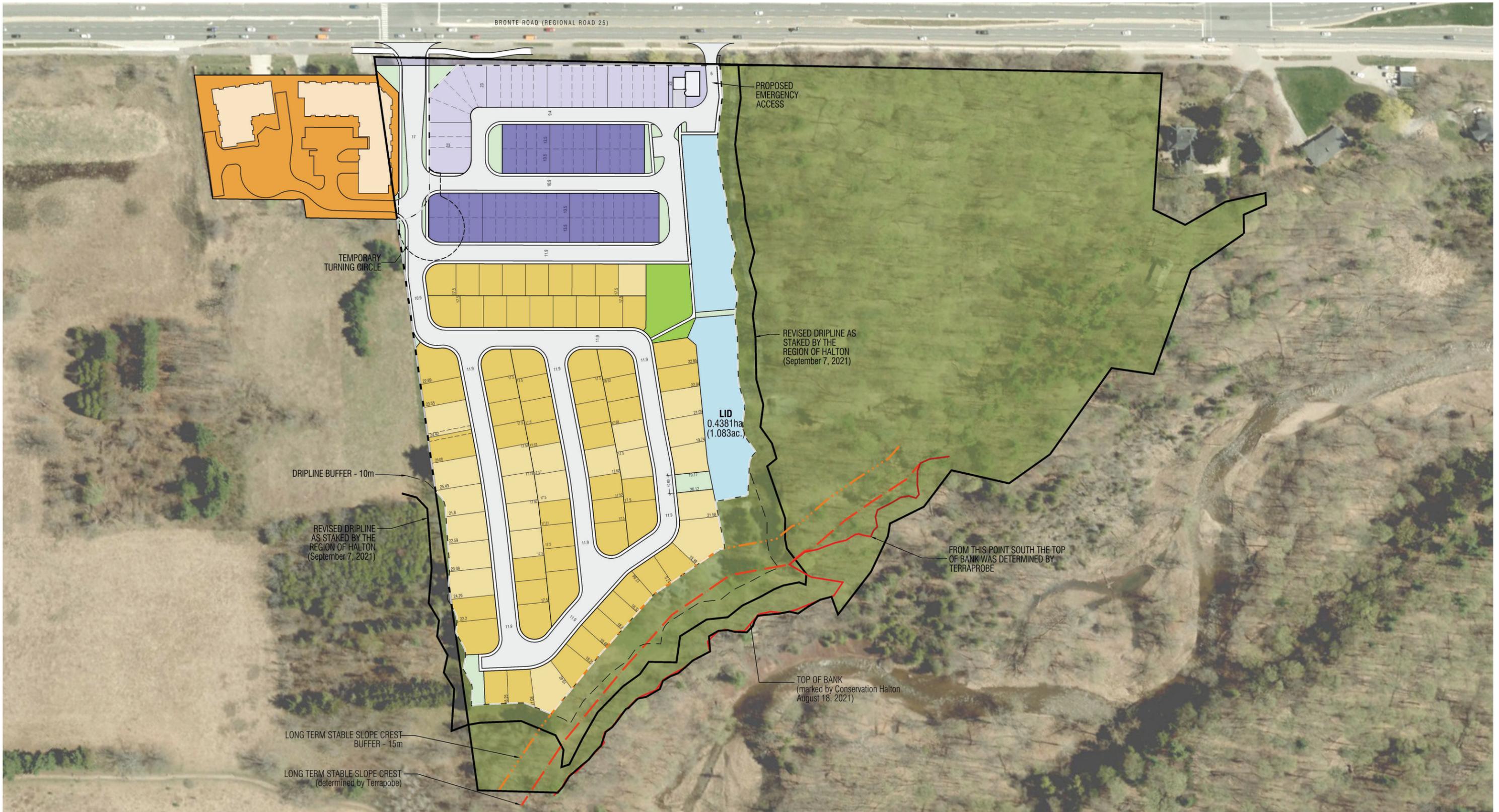




CONFIDENTIAL WITHOUT PREJUDICE

- All Units In Metric Unless Otherwise Noted.
- Base Information Obtained From Various Sources And Is Approximate.
- Schedule / Plan Information Is Conceptual And Requires Verification by Appropriate Agency.
- Aerial Photo: Google





CONFIDENTIAL WITHOUT PREJUDICE

- All Units In Metric Unless Otherwise Noted.
- Base Information Obtained From Various Sources And Is Approximate.
- Schedule / Plan Information Is Conceptual And Requires Verification by Appropriate Agency.
- Aerial Photo: Google Earth



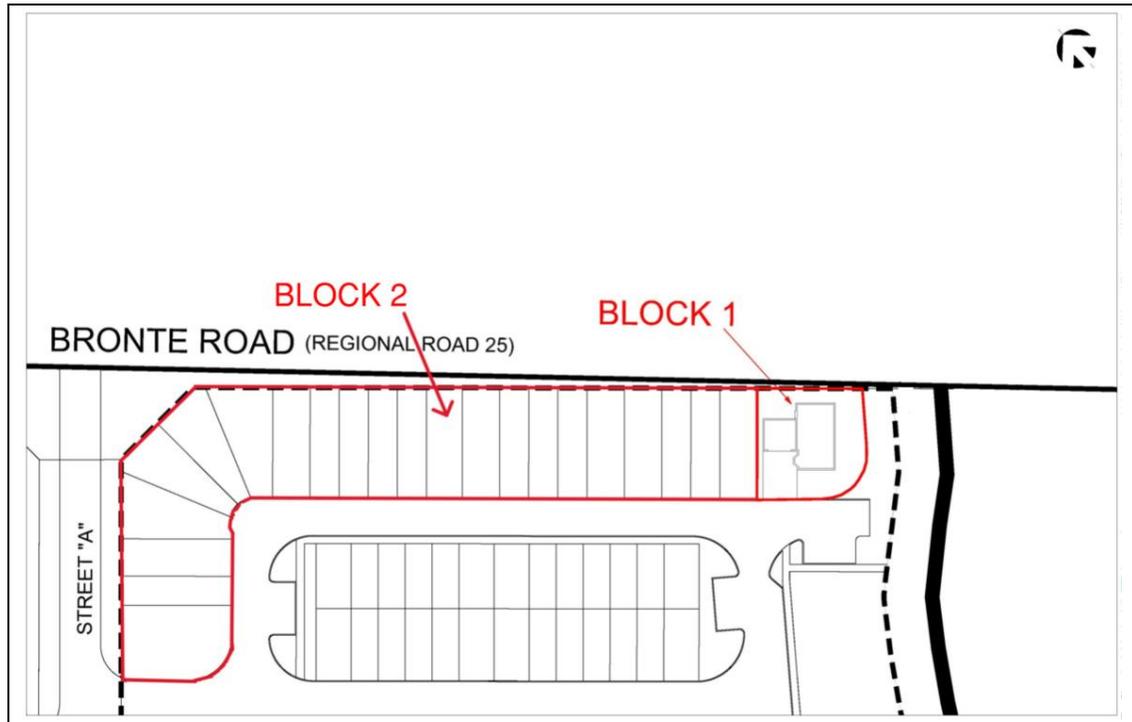
| | | |
|---|---|--|
| g) | Maximum <i>residential floor area ratio</i> | shall not apply |
| h) | Maximum encroachment into a <i>minimum yard</i> for walk in and non-walk-in bay, box out and bow windows, with or without foundations, with a maximum width of 4.0 metres, and a maximum <i>height</i> of 3 <i>storeys</i> | 0.6 m |
| i) | Maximum encroachment into a <i>minimum front or flankage yard</i> for <i>porches</i> with or without a foundation | Up to 1.0 m from the <i>front or flankage lot line</i> |
| j) | Maximum encroachment into a <i>minimum front or flankage yard</i> for a <i>portes-cochere</i> | Up to 1.0 m from the <i>front or flankage lot line</i> |
| k) | Maximum encroachment into a <i>minimum rear yard</i> for <i>uncovered platforms</i> having a floor <i>height</i> less than or equal to 3.0 metres, measured from <i>grade</i> . | Up to 1.2 m from the <i>rear lot line</i> |
| l) | Maximum encroachment into a <i>minimum yard</i> for <i>uncovered platforms</i> having a floor height equal to or greater than 0.6 metres measured from <i>grade</i> on lots abutting the Natural Area (N) or Stormwater Management Facility (SMF) Zones | Up to 0.6 m from the <i>lot line</i> abutting the Natural Area (N) or Stormwater Management Facility (SMF) Zones |
| 15.429.2 Parking Provisions | | |
| a) | The minimum dimensions of a <i>parking space</i> not located in a <i>private garage</i> shall be 2.7 metres in width and 5.5 metres in length | |
| b) | The minimum dimensions of a <i>parking space</i> located in a <i>private garage</i> shall be 5.5 metres in length, and: <ul style="list-style-type: none"> i) Where one parking space is provided in a private garage, 2.9 metres in width; and, ii) Where two <i>parking spaces</i> are provided in a <i>private garage</i>, 5.6 metres in width | |
| c) | Where a <i>private garage</i> has a vehicle entrance facing the <i>front lot line</i> or <i>flankage lot line</i> , the <i>private garage</i> shall be set back a minimum of 5.5 metres from the applicable <i>lot line</i> | |
| d) | The minimum dimensions of a <i>parking space</i> provided with the length parallel to the <i>aisle</i> or <i>driveway</i> shall be 2.5 metres in width and 7.0 metres in length | |
| e) | Section 5.2.3 d) shall not apply | |
| 15.429.3 Special Site Provisions | | |

| | | |
|----|--|-------|
| a) | <i>Corner lots</i> shall be deemed to be <i>interior lots</i> for the purpose of measuring <i>established grade</i> | |
| b) | <i>Private garages</i> shall exclude a <i>portes-cochere</i> | |
| c) | Minimum setback from the arc or curved <i>lot line</i> which connects the <i>front</i> and <i>flankage lot lines</i> for a <i>corner lot</i> . | 0.7 m |
| d) | Air conditioners are permitted in the <i>rear yard</i> and no maximum <i>height</i> shall apply. | |

| | | |
|--|---|--|
| 430 | 1300, 1316, 1326, 1342 and 1350 Bronte Road (Part of Lot 31, Concession 2, S.D.S) | Parent Zone: RM1 |
| Map 19(11) | | (2024-029) |
| 15.430.1 Additional Permitted Use for Block 1 | | |
| The following additional use is permitted on lands identified as Block 1 on Figure 15.430.1: | | |
| a) | One (1) <i>detached dwelling</i> | |
| 15.430.2 Zone Provisions for Block 1 Lands | | |
| The following regulations apply: | | |
| a) | <i>Minimum front yard</i> | 2.5 m |
| b) | <i>Minimum interior side yard</i> | 0.6 m on one side and 1.2 m on the other |
| c) | <i>Minimum rear yard</i> | 5.3 m |
| 15.430.3 Zone Provisions for Block 2 Lands | | |
| The following regulations apply to lands identified as Block 1 on Figure 15.430.1: | | |
| a) | <i>Minimum lot area</i> | 110 m ² per <i>dwelling</i> |
| b) | <i>Minimum lot frontage</i> | 6.0 m per <i>dwelling</i> |
| c) | <i>Minimum front yard</i> | 2.5 m |
| d) | <i>Minimum rear yard</i> | 2.5 m |
| e) | <i>Maximum height</i> | 16.0 m |

| | | |
|------------------------------------|---|---|
| f) | Air conditioners are permitted in the <i>front, flankage</i> or <i>rear yard</i> and no maximum <i>height</i> shall apply. | |
| g) | Maximum encroachment into a <i>minimum front</i> or <i>flankage yard</i> for <i>porches</i> with or without a foundation. | Up to 1.0 m from the <i>front</i> or <i>flankage lot line</i> |
| h) | Maximum encroachment into a minimum <i>rear yard</i> for a <i>portes-cochere</i> | Up to 1.0 m from the <i>rear lot line</i> |
| i) | <i>Balconies</i> shall be permitted in a <i>front, flankage</i> or <i>rear yard</i> . | |
| j) | Maximum projection for <i>balconies</i> located in a <i>front, flankage</i> or <i>rear yard</i> . | Up to 1.0 m from the <i>front, flankage</i> or <i>rear lot line</i> and are not subject to maximum total projection beyond the <i>main wall</i> |
| k) | Maximum encroachment onto a <i>minimum yard</i> for walk in and non-walk-in bay, box out and bow windows, with or without foundations, with a maximum width of 4.0 metres, and a maximum <i>height</i> of 3 <i>storeys</i> | 0.6 m |
| l) | Maximum encroachment into a <i>minimum yard</i> for landscaping features (i.e., ornamental and garden walls, retaining walls, planters, etc.) | Up to 0.3 m from the applicable <i>lot line</i> |
| m) | Minimum setback from the arc or curved <i>lot line</i> which connects the <i>flankage</i> and <i>rear lot lines</i> for a <i>corner lot</i> . | 0.7 m |
| 15.430.4 Parking Provisions | | |
| a) | The minimum dimensions of a <i>parking space</i> not located in a <i>private garage</i> shall be 2.7 metres in width and 5.5 metres in length. | |
| b) | The minimum dimensions of a <i>parking space</i> located in a <i>private garage</i> shall have a length of 5.5 metres, and: <ul style="list-style-type: none"> i) Where one <i>parking space</i> is provided in a <i>private garage</i>, 2.9 metres in width; and, ii) Where two <i>parking spaces</i> are provided in a <i>private garage</i>, 5.6 metres in width | |
| c) | The minimum width of a <i>driveway</i> shall be 2.7 metres. | |

| | |
|---|--|
| d) | Where a <i>private garage</i> has a vehicle entrance facing the <i>front lot line</i> or <i>flankage lot line</i> , the <i>private garage</i> shall be set back a minimum of 5.5 metres from the applicable <i>lot line</i> . |
| e) | The minimum dimensions of a <i>parking space</i> provided with the length parallel to the <i>aisle</i> or <i>driveway</i> shall be 2.5 metres in width and 7.0 metres in length. |
| f) | Section 5.2.3 d) shall not apply. |
| 15.430.5 Special Site Provisions | |
| a) | <i>Corner lots</i> shall be deemed to be <i>interior lots</i> for the purpose of measuring <i>established grade</i> . |
| b) | <i>Established grade</i> to be taken at the centre point of the <i>front lot line</i> of each <i>townhouse dwelling</i> |
| c) | <i>Private garages</i> shall exclude a <i>portes-cochere</i> |
| d) | For the purpose of calculating the required <i>yards</i> , <i>lot area</i> and <i>frontage</i> on a street, a publicly owned 0.3 metre reserve adjoining the <i>lot</i> shall be deemed to be part of the <i>lot</i> |
| e) | The <i>front lot line</i> shall be the <i>lot line</i> abutting Bronte Road or “Street ‘A’” (future Saw Whet Road). |
| f) | To qualify for minimum <i>landscaping coverage</i> an individual area of <i>landscaping</i> provided on a <i>lot</i> shall contain an area with a minimum dimension of 1.5 metres by 1.5 metres and may include additional area of lesser dimensions provided the additional area is contiguous to the 1.5 metres by 1.5 metre area. |
| 15.430.6 Special Site Figure | |
| Figure 15.430.1 | |



| | | |
|----------------------------------|--|--------------------------------|
| 431 | 1300, 1316, 1326, 1342 and 1350 Bronte Road (Part of Lot 31, Concession 2, S.D.S) | Parent Zone: RM2 |
| Map 19(11) | | (2024-029) |
| 15.431.1 Zone Provisions | | |
| The following regulations apply: | | |
| a) | <i>Minimum lot area</i> | 75 m ² per dwelling |
| b) | <i>Minimum lot frontage</i> | 5.6 m per dwelling |
| c) | <i>Minimum front yard</i> | 3.0 m |
| d) | <i>Minimum flankage yard</i> | 2.0 m |
| e) | <i>Maximum height</i> | 14.0 m |
| f) | Maximum encroachment into a <i>minimum yard</i> for walk in and non-walk-in bay, box out and bow windows, with or without foundations, with a maximum width of 4.0 metres, and a maximum <i>height</i> of 3 storeys. | 0.6 m |
| g) | Maximum encroachment into a <i>minimum front yard</i> for porches with or without a foundation. | 1.5 m |

| | | |
|---|---|--|
| h) | Maximum encroachment into a <i>minimum flankage yard</i> for <i>porches</i> with or without a foundation. | 1.0 m |
| i) | Maximum encroachment into a <i>minimum front yard</i> for <i>portes-cochere</i> . | 1.5 m |
| j) | Maximum encroachment into a <i>minimum flankage yard</i> for <i>portes-cochere</i> . | 1.0 m |
| k) | <i>Balconies</i> shall be permitted in a <i>front, flankage or rear yard</i> . | |
| l) | Maximum projection for <i>balconies</i> located in a <i>front or flankage yard</i> | Up to 1.0 m from the <i>front or flankage lot line</i> and are not subject to maximum total projection beyond the <i>main wall</i> |
| m) | Air conditioners are permitted within the <i>front, flankage, or rear yard</i> and no maximum height shall apply. | |
| 15.431.2 Parking Provisions | | |
| a) | Section 5.2.1.3 shall not apply. | |
| b) | The minimum dimensions of a <i>parking space</i> not located in a <i>private garage</i> shall be 2.7 metres in width and 5.5 metres in length. | |
| c) | The minimum dimensions of a <i>parking space</i> located in a <i>private garage</i> shall have a length of 5.5 metres, and: <ul style="list-style-type: none"> i. Where one <i>parking space</i> is provided in a <i>private garage</i>, 2.9 metres in width; and, ii. Where two <i>parking spaces</i> are provided in a <i>private garage</i>, 5.6 metres in width | |
| d) | Where a <i>private garage</i> has a vehicle entrance facing the <i>front lot line</i> or <i>flankage lot line</i> , the <i>private garage</i> shall be set back a minimum of 5.5 metres from the applicable <i>lot line</i> . | |
| e) | The minimum width of a <i>driveway</i> shall be 2.7 metres. | |
| f) | The minimum dimensions of a <i>parking space</i> provided with the length parallel to the <i>aisle</i> or <i>driveway</i> shall be 2.5 metres in width and 7.0 metres in length. | |
| g) | Section 5.2.3 d) shall not apply. | |
| 15.431.3 Special Site Provisions | | |
| a) | <i>Corner lots</i> shall be deemed to be <i>interior lots</i> for the purpose of measuring <i>established grade</i> . | |

| | |
|----|---|
| b) | <i>Established grade</i> to be taken at the centre point of the <i>front lot line</i> of each <i>townhouse dwelling</i> . |
| c) | <i>Private garages</i> shall exclude a <i>portes-cochere</i> . |
| d) | To qualify for minimum <i>landscaping coverage</i> and individual area of <i>landscaping</i> provided on a <i>lot</i> shall contain an area with a minimum dimension of 1.5 metres by 1.5 metres and may include additional area of lesser dimensions provided the additional area is contiguous to the 1.5 metres by 1.5 metre area. |

3. Section 16, Holding Provisions, of By-law 2014-014, as amended, is further amended by adding new Sections 16.3.58 as follows:

| | | |
|--|--|---|
| H58 | 1300, 1316, 1326, 1342 and 1350 Bronte Road (Part of Lot 31, Concession 2, S.D.S) | Parent Zone: N, SMF, O2, RL6, RM1 and RM2 |
| Map 19(11) | | (2024-029) |
| 16.3.58.1 Only Permitted Uses Prior to Removal of the “H” | | |
| For such time as the “H” symbol is in place, these lands shall only be <i>used</i> for the following: | | |
| a) | Legal <i>uses, buildings</i> and <i>structures</i> existing on the <i>lot</i> . | |
| 16.3.58.2 Conditions for Removal of the “H” | | |
| The “H” symbol shall, upon application by the landowner, be removed by <i>Town Council</i> passing a By-law under Section 36 of the <u>Planning Act</u> . The following condition(s) shall first be completed to the satisfaction of the <i>Town of Oakville</i> : | | |
| a) | That the Owner completes and receives approval of an Environmental Impact Assessment to the satisfaction of the Town of Oakville, Region of Halton, and Conservation Halton. | |
| b) | That a new public right of way be constructed in accordance with Town of Oakville standards to provide access to the subject lands and the lands to the north. | |

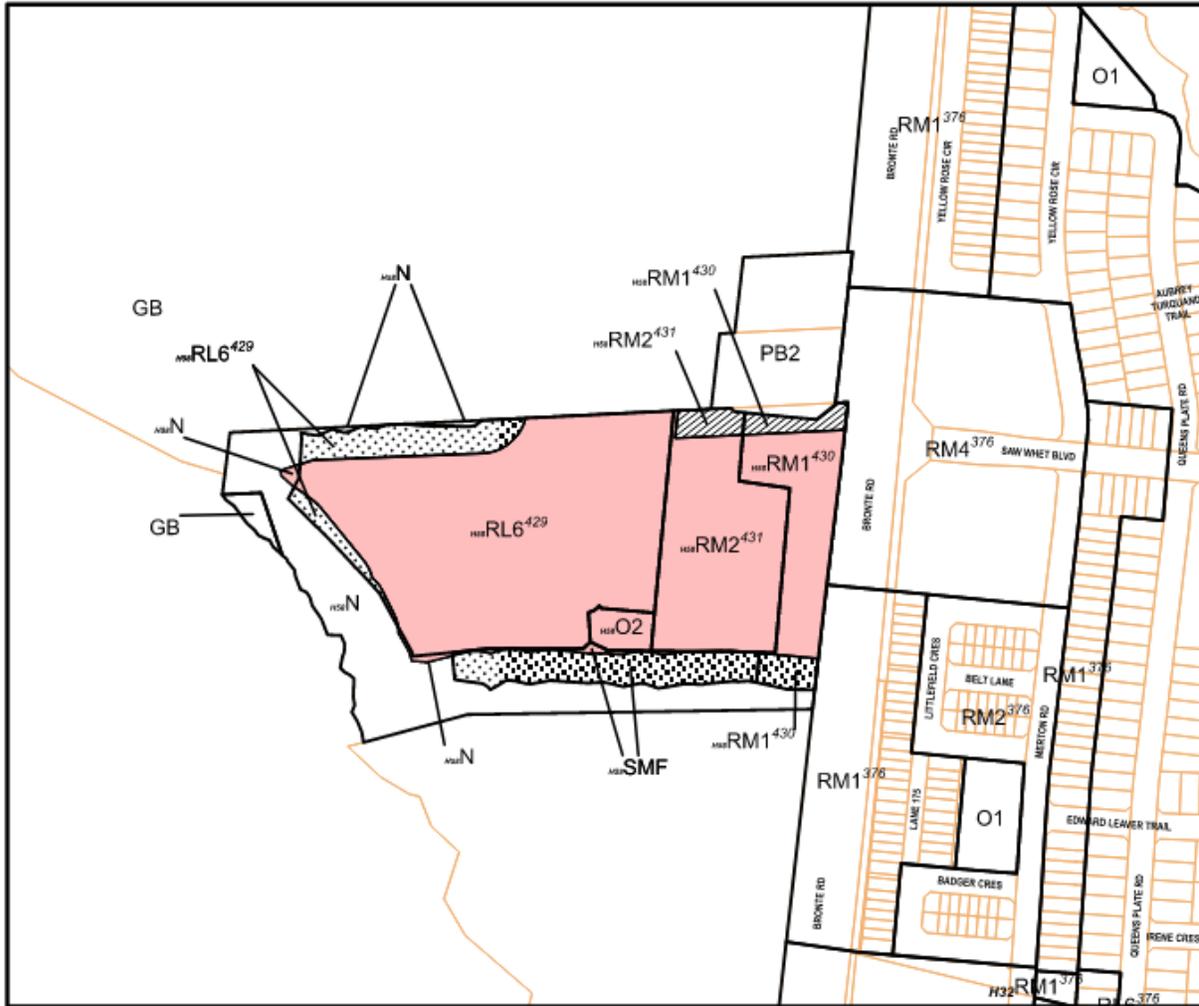
4. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this XXth day of _____, 2024

MAYOR

CLERK

SCHEDULE "A"
To By-law 2024-029



AMENDMENT TO BY-LAW 2014-014

- 

Rezoned from Future Development (FD) to Natural Area (H58-N); Residential Low (H58-RL6 sp:429); Residential Medium (H58-RM2 sp:431); Residential Medium (H58-RM1 sp:430); Stormwater Management Facility (H58-SMF) and; Private Open Space (H58-O2).
- 

Rezoned from Natural Area (N) to Residential Low (H58-RL6 sp:429); Residential Medium (H58-RM1 sp:430); and; Stormwater Management Facility (H58-SMF).
- 

Rezoned from Parkway Belt Complementary Use (PB2) to Residential Medium (H58-RM2 sp:431); and; Residential Medium (H58-RM1 sp:430).
- 

Rezoned from Natural Area (N) to Natural Area (H58-N).

EXCERPT FROM MAP
19 (11)



SCALE: 1:4,000

55980658.2

56079745.3

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/152/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on October 30, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

| Applicant / Owner | Authorized Agent | Subject Property |
|-------------------|---|--|
| Bronte River LP | Stephanie Matveeva Glen Schnarr & Associates Inc. 10 Kingsbridge Garden Cir Suite 700 Mississauga ON, CANADA L5R 3K6 | 1300 - 1350 Bronte Rd CON 2 SDS PT LOT 31 RP 20R15001 PART 3 RP 20R2730 PARTS 1 AND 2 |

Zoning of property: RL6 sp: 429, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit 82 two and three-storey detached dwellings located on the proposed lots noted on the draft 20R plan proposing the following variances to Zoning By-law 2014-014:

| No. | Current | Proposed |
|-----|--|---|
| 1 | <i>Section 15.429.1 d)</i> The minimum rear yard may be reduced to 1.2m for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building. | To permit the minimum rear yard to be reduced to 1.2m for a one storey addition to a maximum of 65% of the dwelling width measured at the rear of the main building for parts 1, 2, 4, 5, 6, 7, 8, 9, 10, 16, 17, 19, 20, 23, 26, 27, 29, 30, 31, 34, 35, 36, 39, 40, 41, 44, 45, 50, 51, 52, 55, 57, 63, 65, 66, 67, 68, 69, 70, 71, 72, 75, 76, 77, 78, 79, 80, 81. |
| 2 | <i>Section 15.429.1 d)</i> The minimum rear yard may be reduced to 1.2m for a one storey addition for a maximum of 55% | To permit the minimum rear yard to be reduced to 1.2m for a one storey addition to a maximum of 63% of the dwelling width measured at the rear of |

| | | |
|---|--|--|
| | of the dwelling width measured at the rear of the main building. | the main building for parts 12, 13, 14, 15, 21, 22, 28, 37, 38, 46, 47, 48, 49, 56, 58, 59, 60, 61, 62, 82. |
| 3 | <i>Section 15.429.1 d)</i> The minimum rear yard may be reduced to 1.2m for a one storey addition for a maximum of 55% of the dwelling width measured at the rear of the main building. | To permit the minimum rear yard to be reduced to 1.2m for a one storey addition to a maximum of 72% of the dwelling width measured at the rear of the main building for parts 3, 11, 18, 24, 25, 32, 33, 42, 43, 53, 54, 64, 73, 74. |
| 4 | <i>Section 15.429.1 k)</i> The maximum encroachment into a minimum rear yard for uncovered platforms having a floor height less than or equal to 3.0m measured from grade shall be up to 1.2m from the rear lot line. | To permit the maximum encroachment into a minimum rear yard for uncovered platforms having a floor height greater than 3.0m measured from grade to be up to 1.2m from the rear lot line for parts 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64. |

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

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More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

Contact information:

Sharon Coyne
Assistant Secretary-Treasurer of Committee of Adjustment

1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

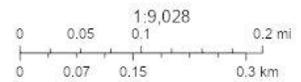
Date mailed:
October 15, 2024

CAV A/152/2024 1300-1350 Bronte Road



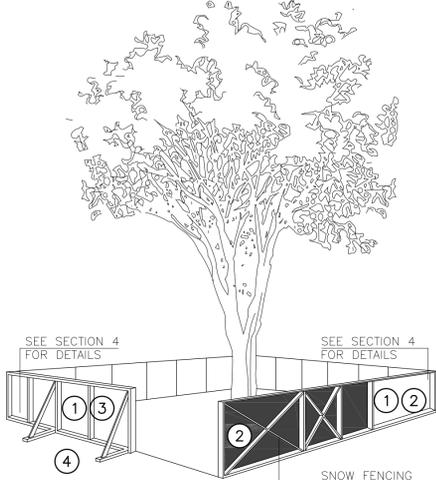
10/9/2024, 10:42:11 AM

-  Ownership
-  Wards
-  Applicant Name Address



Town of Oakville
2021 Town of Oakville

TREE PROTECTION



TREE PROTECTION BARRIERS

- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
- TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
- WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
- ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

SECTION 4, SIGNAGE

- A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmx60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

"TREE PROTECTION ZONE
NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE."

TOWN OF OAKVILLE
PARKS AND RECREATION
DEPARTMENT

NAME: TREE PROTECTION BARRIERS

DATE:

FILE NO.:

A SOLID HOARDING (PLYWOOD BOARDS)

B FRAMED HOARDING (PLASTIC SAFETY FENCING)

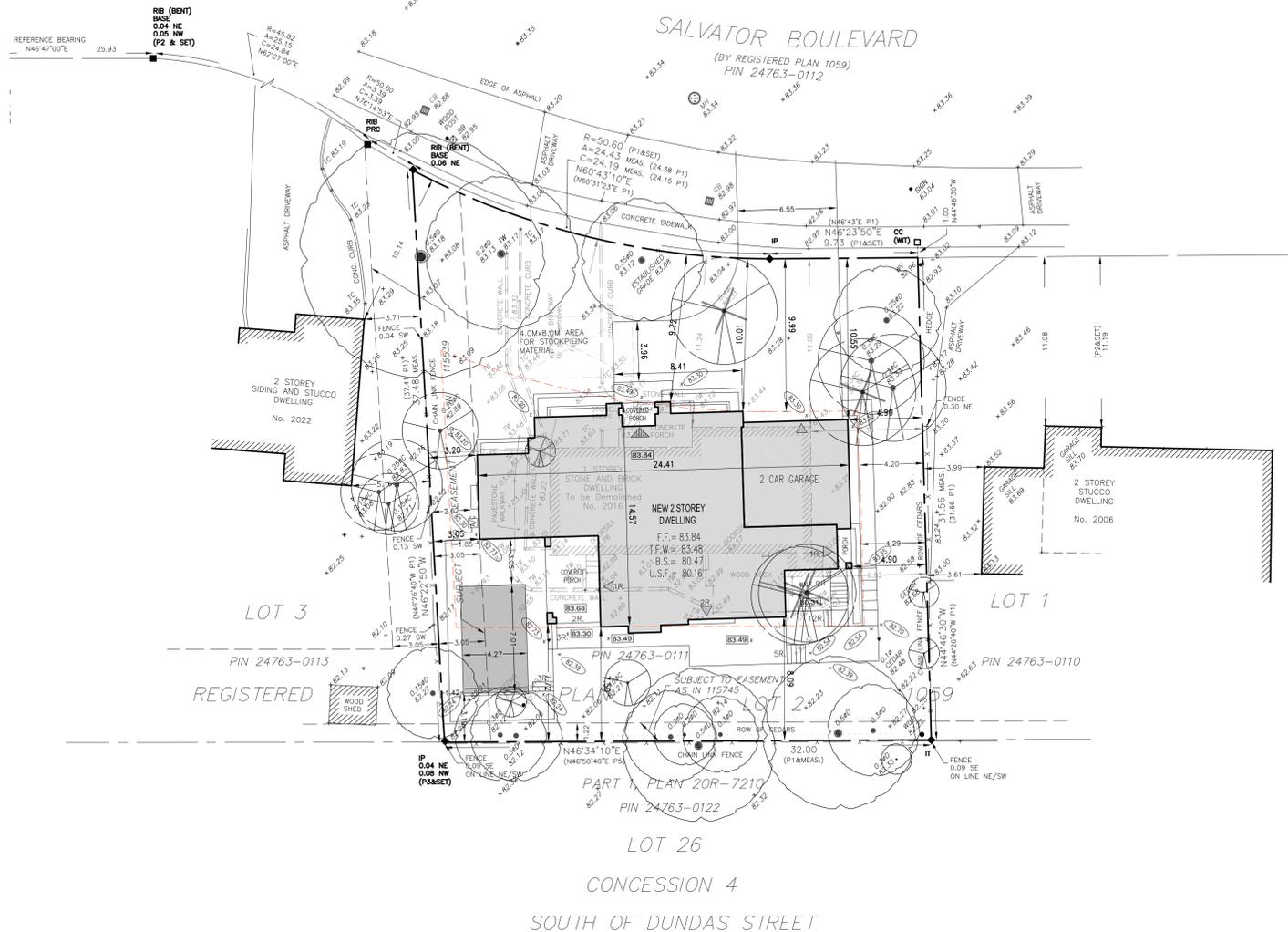
1 OAKVILLE SITE REQUIREMENTS

A2.1 SCALE: DNS

- GENERAL NOTES:
 - SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF SITE GRADING WORKS. TO SATISFACTION OF THE CITY AND HALTON CONSERVATION.
 - IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/ BASE AREAS SHALL BE STABILIZED BY SEEDING.
 - THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/ OR EVERY WEEK.
 - THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/ OR REPLACED IF NECESSARY OR AS DIRECTED BY THE ENGINEER. CONSERVATION AUTHORITY OR THE CITY.
 - ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION, GRADING, TOPSOILING AND SODDING ARE COMPLETE.
 - WHEN ALL CONSTRUCTION, GRADING AND SODDING IS COMPLETED, THE SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS REINSTATED.
- ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.
- THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILED.
- CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

2 EROSION AND SEDIMENT CONTROL

A2.1 SCALE: DNS



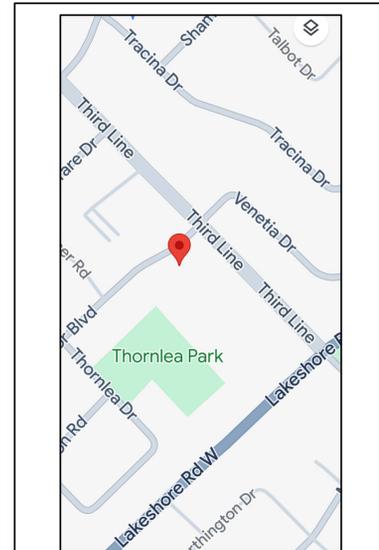
3 SITE PLAN

A2.1 SCALE: 1:200

REPORT SUMMARY

PROPERTY DESCRIPTION: 2016 SALVATOR BOULEVARD, BEING LOT 2, REGISTERED PLAN 1059, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24763-0111.
SUBJECT TO EASEMENT IN FAVOR OF THE CORPORATION OF THE TOWNSHIP OF TRAFALGAR AS IN 115539.
SUBJECT TO EASEMENT IN FAVOR OF THE BELL TELEPHONE COMPANY OF CANADA AS IN 115745.
COMMENTS: NOTE LOCATION OF FENCES.

SCALE 1 : 200



4 KEY PLAN

A2.1 SCALE: DNS

ZONING RL2-0 2016 SALVATOR BLVD.

| | |
|---------------------|--------------------------------------|
| ZONE RL2-0 | |
| LOT AREA: | 1,067.27 m ² (11,488 sf.) |
| LOT FRONTAGE: | 34.15m. |
| MAXIMUM HEIGHT: | 9.0m. |
| MAX. LOT COV. 25% : | 266.81m ² (2,872 s.f.) |
| MAX G.F.A. 37% : | 394.89m ² (4,250 s.f.) |
| MIN FRONT SETBACK: | 10.0 m. |
| MIN SIDE SETBACK: | 2.4m. (& 1.2m) |
| MIN REAR SETBACK: | 7.5 m. |

| | |
|---------------------------------|-----------------------|
| PROPOSED GROUND FLOOR | 2,253s.f. |
| SECOND FLOOR | 2,296s.f. |
| EXT. GARAGE | 518 s.f. |
| INT. GARAGE | 473 s.f. |
| COVERED PORCHES (& COV'D AREAS) | 292 s.f. |
| PROPOSED LOT COV.: | (26.66%) 3,063 s.f. * |
| (GARAGE, & PORCHES INCL'D.) | |
| G.F.A. : | (39.59%) 4,549s.f. * |
| PROPOSED ROOF HEIGHT | 9.00 m |

5 SITE STATISTICS

A2.1 SCALE: DNS

REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE AREA MUNICIPALITY.

DATED..... SIGNED.....
INFRASTRUCTURE PLANNING AND POLICY

THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-825-6032) FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED ON.

6 REGION OF HALTON

A2.1 SCALE: DNS

CERTIFICATION FOR PROPOSED GRADING

7 GRADING CERTIFICATE

A2.1 SCALE: NA

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

SITE LEGEND:

| | |
|--------|-----------------------------|
| --- | PROPERTY LINE |
| --- | EXISTING GRADE |
| --- | FINISHED GRADE |
| F.F.E. | FINISHED FLOOR ELEVATION |
| F.B.E. | FINISHED BASEMENT ELEVATION |
| F.D.E. | FINISHED DECK ELEVATION |
| ▲ | MAIN ENTRANCE |
| ▼ | SECONDARY ENTRANCE |
| --- | PROPOSED ADDITION AREA |
| --- | TREE HOARDING |
| ○ | EXISTING TREE TO REMAIN |
| ⊗ | EXISTING TREE TO BE REMOVED |
| ○ | RAIN WATER DOWNSPOUT |

SITE ACCREDITATION:

PLAN OF TOPOGRAPHY OF
LOT 2
REGISTERED PLAN 1059
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON
INFORMATION TAKEN FROM A SURVEY PREPARED BY:
TARASICK McMILLAN KUBICKI LIMITED 9438-SRPR-T
ONTARIO LAND SURVEYORS
MAY 12, 2022 ©COPYRIGHT, 2022
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY
0.3048.
BENCHMARK
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC
VERTICAL DATUM-1928 (1978 ADJUSTMENT), AND WERE
DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 24,
HAVING A PUBLISHED ELEVATION OF 77.602 metres.

| | | |
|------|----------|---------------------------|
| 1 | 08.13.24 | ISSUED FOR GRADING DESIGN |
| REF. | DATE: | DESCRIPTION: |



www.keystonehomedesigns.com

INFO@KEYSTONEHOMEDESIGNS.COM
905.616.2221

251 NORTH SERVICE RD. ©2024
SUITE 303
OAKVILLE, ON.
L6M 3E7
905-616-2221
info@keystonehomedesigns.com
www.keystonehomedesigns.com

CLIENT:

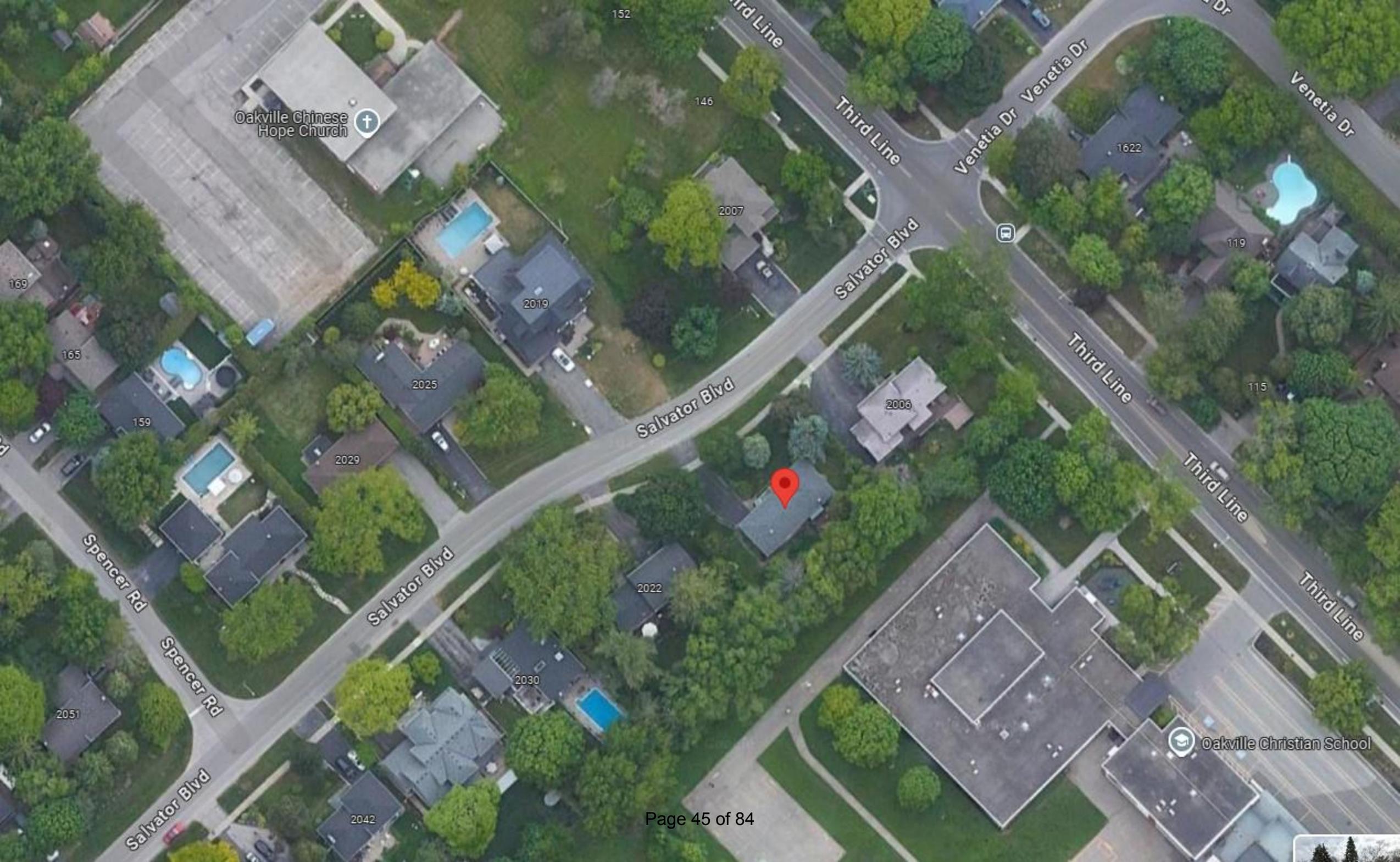
SHAHID
RESIDENCE

ADDRESS: 2016 SALVATOR BLVD.
CITY: OAKVILLE, ON.

DRAWING TITLE:

SITE PLAN

| | |
|----------------------|-----------------|
| DRAWN: G.C. | SCALE: AS SHOWN |
| DATE: 08/13/24 | SHEET NUMBER: |
| JOB NUMBER: 21-05 | A2.1 |



Oakville Chinese Hope Church

Oakville Christian School









DESIGNED APPROVED BY:

DATE:



83.45

83.20

AVERAGE GRADE 83.08

1 NORTH ELEVATION 'C2'
 A4.1 SCALE: 1/4"=1'-0"



KEYSTONE
 HOME DESIGNS

ADDRESS: © 2024
 251 NORTH SERVICE RD.
 SUITE 303
 OAKVILLE, ON.
 L6M 3E7
 905-616-2221
 info@keystonehomedesigns.com
 www.keystonehomedesigns.com

NOT FOR CONSTRUCTION

SHAHID
 RESIDENCE

2016 SALVATOR BLVD.
 OAKVILLE, ON.

ELEVATION

PROJECT: 21-25
 DATE: JULY. 05. 2024
 SCALE: N.T.S.
 DRAWN BY: G. CASTILLO

A4.1

DESIGNED APPROVED BY:

DATE:



SECOND FLOOR

GROUND FLOOR

BASEMENT

9'-1"

11'-1"

10'-0"

28'-6" [9.00]

POOL

1
A4.4

SOUTH ELEVATION 'C2'

SCALE: 1/4"=1'-0"



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L6M 3E7
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www.keystonehomedesigns.com

NOT FOR CONSTRUCTION

SHAHID
RESIDENCE

2016 SALVATOR BLVD.
OAKVILLE, ON.

ELEVATION

PROJECT: 21-25
DATE: JULY. 05. 2024
SCALE: N.T.S.
DRAWN BY: G. CASTILLO

A4.3

DESIGNED APPROVED BY:

DATE:



1 EAST ELEVATION 'C2'
A4.2 SCALE: 1/4"=1'-0"



KEYSTONE
HOME DESIGNS

© 2024
ADDRESS:
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L6M 3E7
905-616-2221
info@keystonehomedesigns.com
www.keystonehomedesigns.com

NOT FOR CONSTRUCTION

SHAHID
RESIDENCE

2016 SALVATOR BLVD.
OAKVILLE, ON.

ELEVATION

PROJECT: 21-25
DATE: JULY.05.24
SCALE: N.T.S.
DRAWN BY: G. CASTILLO

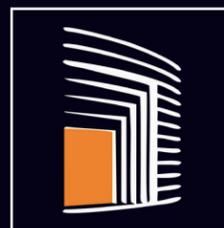
A4.2

DESIGNED APPROVED BY:

DATE:



1 WEST ELEVATION 'C2'
A4.3 SCALE: 1/4"=1'-0"



KEYSTONE
HOME DESIGNS

© 2024
ADDRESS:
251 NORTH SERVICE RD.
SUITE 303
OAKVILLE, ON.
L6M 3E7
905-616-2221
info@keystonehomedesigns.com
www.keystonehomedesigns.com

NOT FOR CONSTRUCTION

SHAHID
RESIDENCE

2016 SALVATOR BLVD.
OAKVILLE, ON.

ELEVATION

PROJECT: 21-25
DATE: JULY. 05. 2024
SCALE: N.T.S.
DRAWN BY: G. CASTILLO

A4.4

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/153/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on October 30, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

| Applicant / Owner | Authorized Agent | Subject Property |
|----------------------|---|---------------------------------------|
| E. Shahid N. Ejaz | GERARDO CASTILLO Keystone Home Designs Inc. 251 North Sevice Rd. West, suite 303 Rd OAKVILLE ON, Canada L6M 3E7 | 2016 Salvator Blvd PLAN 1059 LOT 2 |

Zoning of property: RL2-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit a new two-storey residential dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

| No. | Current | Proposed |
|-----|--|---|
| 1 | <i>Section 6.4.3 a)</i> The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 10.0 metres. | To reduce the minimum front yard to 9.72 metres. |
| 2 | <i>Table 6.4.2 (Row 1, Column 3)</i> The maximum lot coverage where the detached dwelling is greater than 7.0 metres in height shall be 25%. | To increase maximum lot coverage to 26.66%. |
| 3 | <i>Table 6.4.1 (Row 7, Column 2)</i> The maximum residential floor area for a detached dwelling shall be 37%. | To increase the maximum residential floor area to 39.59%. |

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

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More information:

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Notice of decision:

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Contact information:

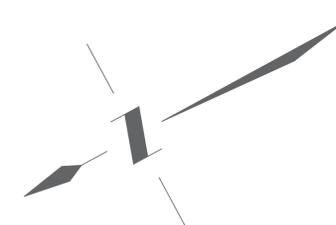
Sharon Coyne
Assistant Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

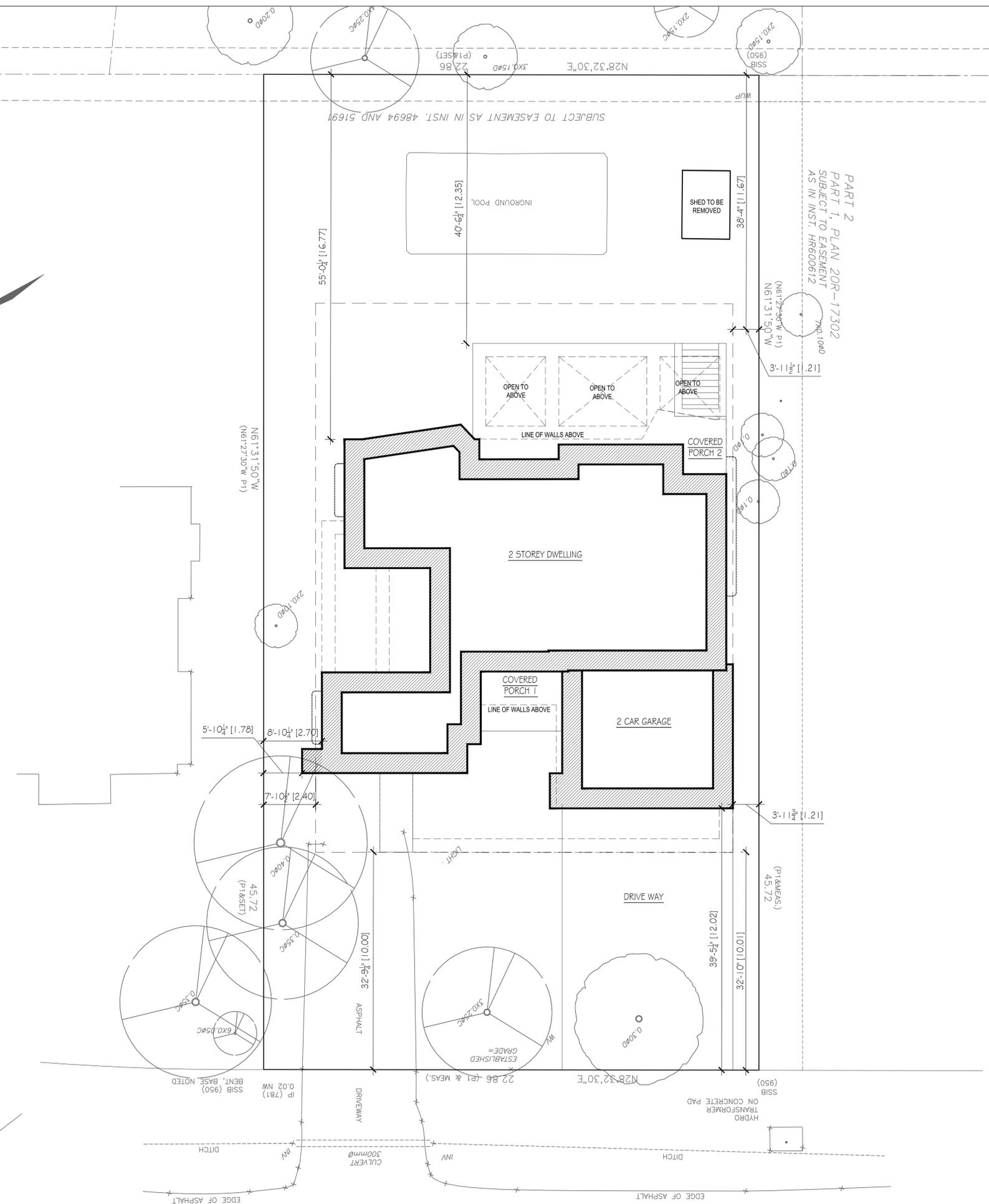
October 15, 2024

CAV A/153/2024 2016 Salviator Boulevard





| SITE STATISTIC CHART | | | |
|---|---------------------------|---------------|----------------|
| PROJECT ADDRESS: | 86 SELGROVE CRESCENT | | |
| MUNICIPALITY: | OAKVILLE | | |
| DESIGNATED ZONE: | RL2-0 | BY LAW #: | BY-LAW 2018-65 |
| DATE OF LAST REVISION: | Wednesday, April 17, 2024 | | |
| VARIANCE | YES | | |
| | AREA (S.F) | AREA (S.M) | PERCENTAGE |
| TOTAL LOT AREA (NEEDS TO BE VERIFIED BY SURVEYOR) | 11248.71 | 1045.04 | |
| LOT COVERAGE | | | |
| MAXIMUM ALLOWABLE | 2812.18 | 261.26 | 25.00% |
| HOUSE LOT COVERAGE | 2992.85 | 278.04 | 26.61% |
| ADDITIONAL ROOF OVERHANG OVER 24" | 108.60 | 10.09 | 0.97% |
| LOT COVERAGE GRAND TOTAL | 3101.45 | 288.13 | 27.57% |
| GROSS FLOOR AREA - RFA | | | |
| MAXIMUM ALLOWABLE | 4162.02 | 386.66 | 37.00% |
| MAIN FLOOR | 2085.53 | 193.75 | |
| SECOND FLOOR | 2075.63 | 192.83 | |
| LOFT | 0.00 | 0.00 | |
| TOTAL PROPOSED GFA | 4161.16 | 386.58 | 36.99% |
| COVERED PORCH #1 | 110.71 | 10.29 | |
| COVERED PORCH #2 | 127.93 | 11.89 | |
| GARAGE (EXTERIOR) | 537.88 | 49.97 | |
| GARAGE (INTERIOR) | 477.00 | 44.31 | |
| ART ROOF | 59.58 | 5.54 | |
| PROJECTIONS | 51.92 | 4.82 | |
| SECOND FLOOR OVERHANGS | 19.30 | 1.79 | |
| | LENGTH (m) | LENGTH (ft) | |
| BUILDING HEIGHT | | | |
| MAXIMUM BUILDING HEIGHT | 9.00 | 29.53 | |
| PROPOSED BUILDING HEIGHT | 9.00 | 29.53 | |
| GARAGE PROJECTION BEYOND MAIN WALL | | | |
| MAXIMUM ALLOWABLE PROJECTION | 1.50 | 4.92 | |
| PROPOSED PROJECTION | 1.61 | 5.28 | |
| REQUIRED SETBACKS | | | |
| FRONT | 10.03 | 32.91 | |
| REAR | 10.50 | 34.45 | |
| LEFT SIDE | 2.40 | 7.87 | |
| RIGHT SIDE | 1.20 | 3.94 | |
| PROVIDED SETBACKS | | | |
| FRONT | 10.00 | 32.81 | |
| REAR | 12.35 | 40.52 | |
| LEFT SIDE HOUSE | 2.70 | 8.86 | |
| LEFT SIDE FEATURE WALL PROJECTION | 1.78 | 5.84 | |
| RIGHT SIDE | 1.21 | 3.97 | |



TRUE NORTH
CONST NORTH

Ministry of Municipal Affairs and Housing

QUALIFICATION INFORMATION
THE UNDERSIGNED HAS RECEIVED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.A. BUILDING CODE TO BE A DESIGNER. REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.1 OF THE O.A.C.

STEVEN HAMELIN 3197
FIRM NAME: HAMELIN ARCH INC 4589

GENERAL NOTES:
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY.
FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF HAMELIN ARCH INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

ARCH. DRAWING INDEX

| | |
|------|------------------------------|
| A0.0 | COVER PAGE |
| SP1 | PROPOSED SITE PLAN |
| A1.1 | PROPOSED BASEMENT FLOOR PLAN |
| A1.2 | PROPOSED MAIN FLOOR PLAN |
| A1.3 | PROPOSED SECOND FLOOR PLAN |
| A1.4 | PROPOSED ROOF PLAN |
| A2.1 | PROPOSED FRONT ELEVATION |
| A2.2 | PROPOSED REAR ELEVATION |
| A2.3 | PROPOSED LEFT ELEVATION |
| A2.4 | PROPOSED RIGHT ELEVATION |

| NO. | DATE | ISSUES/REVISIONS | BY |
|-----|--------------|--------------------------|----|
| 02 | MAY 21, 2024 | ISSUED FOR COA | SH |
| 02 | FEB 23, 2024 | ISSUED FOR COA | SH |
| 01 | SEPT 9, 2023 | ISSUED FOR CLIENT REVIEW | SH |

DRAWING ISSUES/REVISIONS

ENGINEER'S SEAL

COMPANY NAME:
STEVE HAMELIN design studio

COMPANY INFO:
295 ROBINSON STREET, UNIT 100
OAKVILLE, ON L6J 1G7
TEL: (905) 491 6797 FAX: (905) 337 5918
www.stevehamelin.com

PROJECT NAME:
SAMARA CUSTOM RESIDENCE

ADDRESS:
86 SELGROVE CRESCENT

CITY/TOWN: **OAKVILLE** POSTAL CODE: **L6L 1L3**

PROPOSED SITE PLAN & SITE STATS

CLIENT: **SAMARA**

PROJECT NO: **(2022-28)** SCALE: **1/8" = 1'-0"**

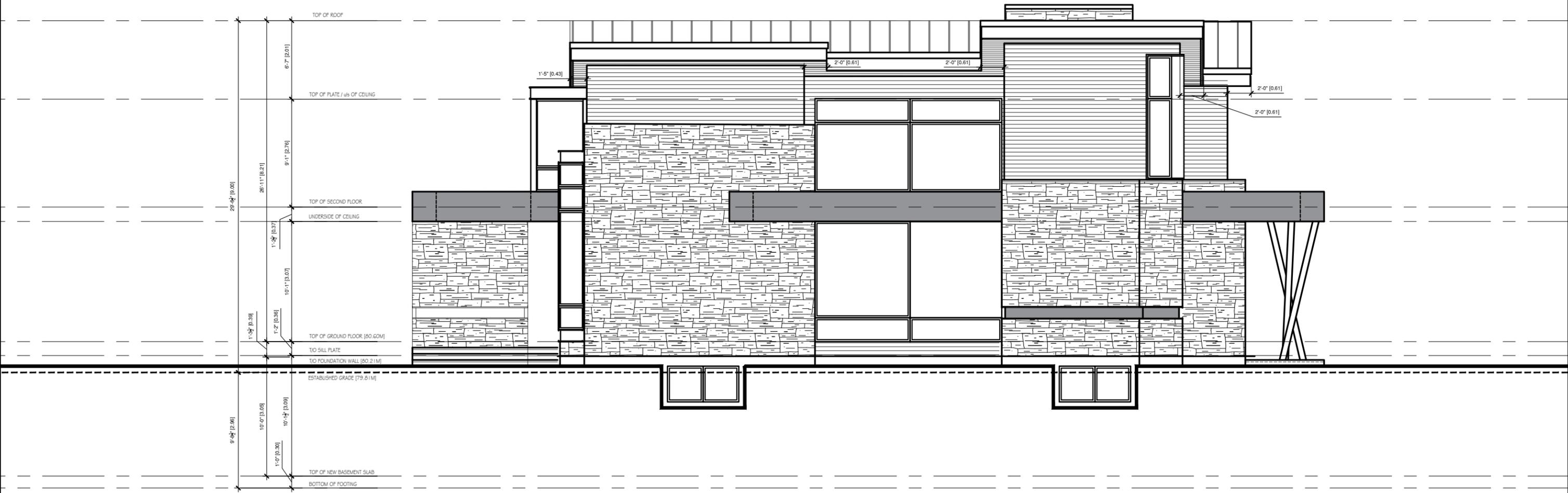
DESIGN BY: **HAMELIN ARCH INC** DATE: **MAY 2024**

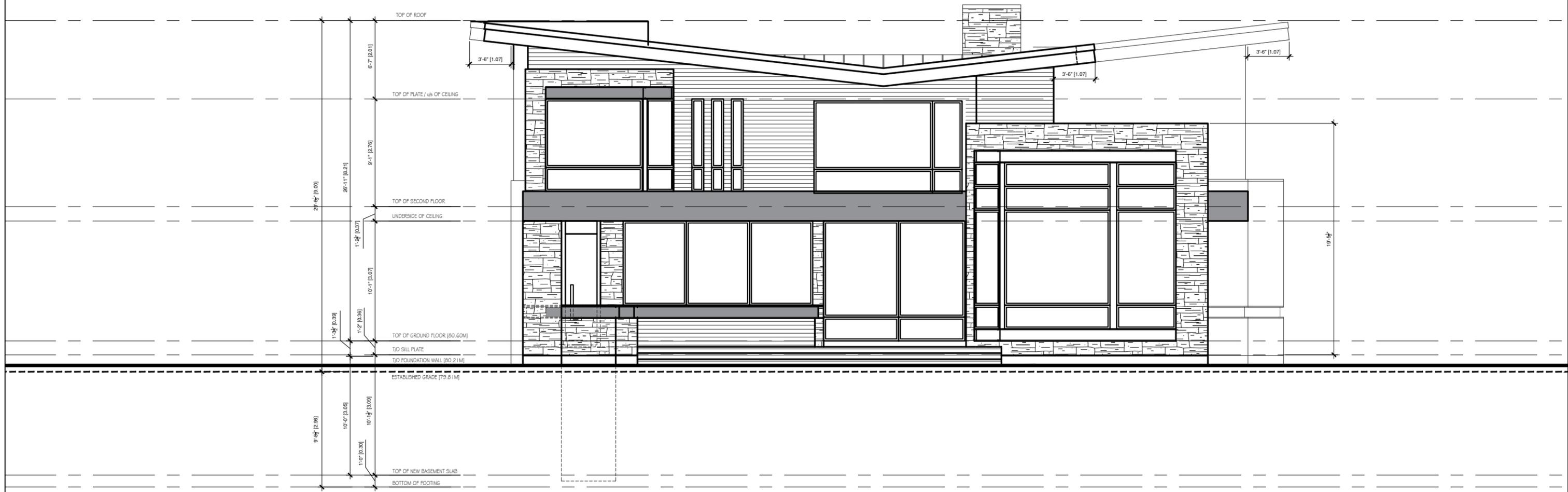
DRAWN BY: **HAMELIN ARCH INC** DWG. NO.: **SP1**

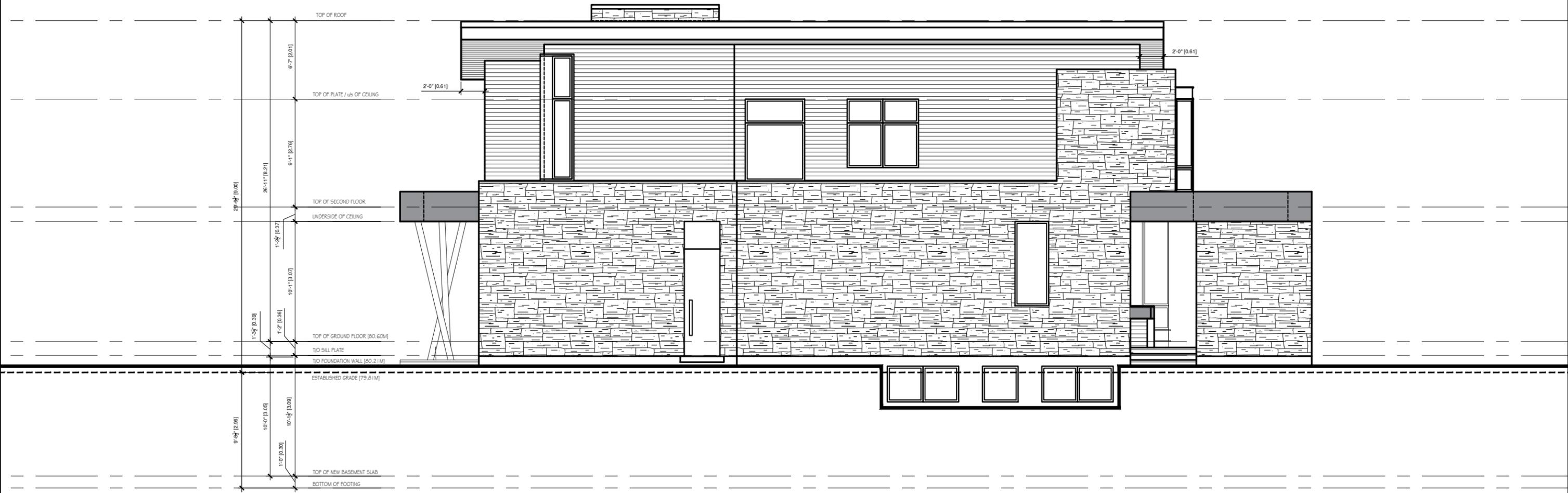
APPROVED BY: **HAMELIN ARCH INC**

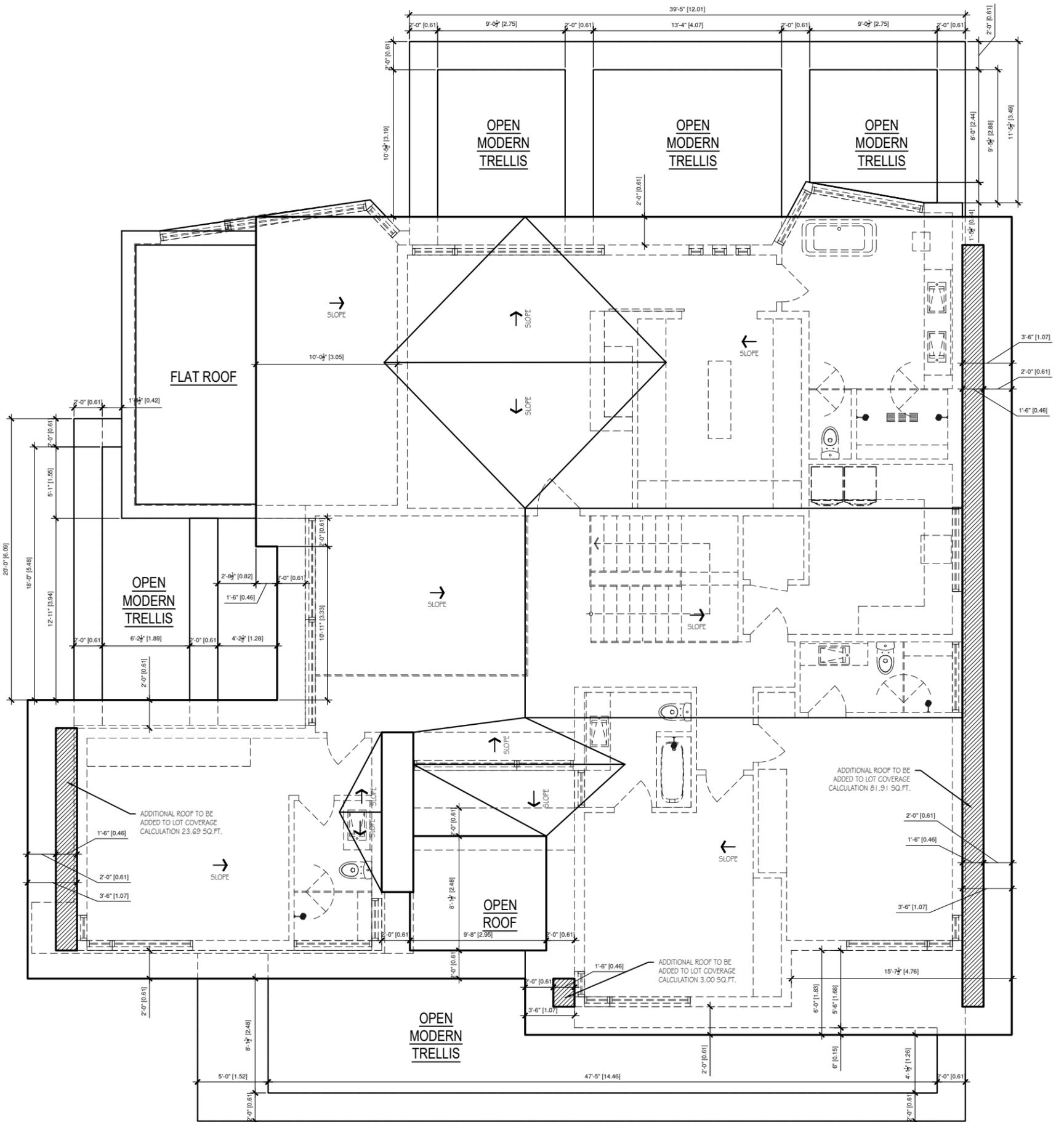
SITE STATISTIC CHART

| | | | |
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| PROJECT ADDRESS: | 86 SELGROVE CRESCENT | | |
| MUNICIPALITY: | OAKVILLE | | |
| DESIGNATED ZONE: | RL2-0 | BY LAW #: | BY-LAW 2018-65 |
| DATE OF LAST REVISION: | Monday, September 23, 2024 | | |
| VARIANCE | YES | | |
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| RIGHT SIDE | 1.21 | 3.97 | |











Notice of Public Hearing Committee of Adjustment Application



File # CAV A/155/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on Wednesday, October 30, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

| Applicant / Owner | Authorized Agent | Subject Property |
|-------------------|--|--------------------------------------|
| S. Samara | Joseph Domb JD COA Consulting 133 Torresdale Ave Unit 207 North York ON, CANADA M2R 3T2 | 86 Selgrove Cres PLAN 669 LOT 221 |

Zoning of Property: RL2-0, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a new two-storey detached dwelling proposing the following variance(s) to Zoning By-law 2014-014:

| No. | Current | Proposed |
|-----|--|---|
| 1 | <i>Section 5.8.7 c)</i> Attached private garages shall not project more than 1.5 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line. | To increase the attached private garage projection to 1.61 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line. |
| 2 | <i>Table 6.3.1 (Row 5, Column RL2)</i> The minimum interior side yard shall be 2.4 m. | To reduce the minimum easterly interior side yard to 1.78m. |
| 3 | <i>Section 6.4.2 (Row RL2, Column 3)</i> The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height. | To increase the maximum lot coverage to 27.57%. |

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

Contact information:

Sharon Coyne
Assistant Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

October 15, 2024

CAV A/155/2024 86 Selgrove Crescent

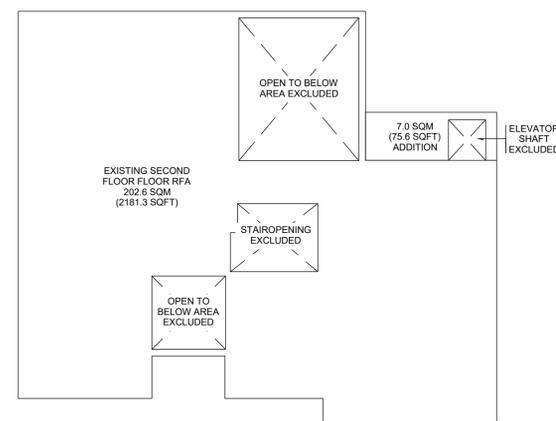
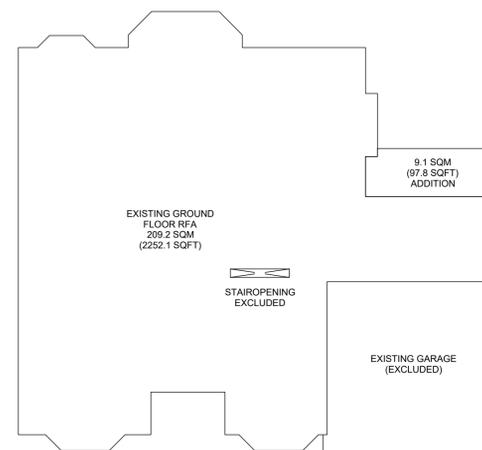
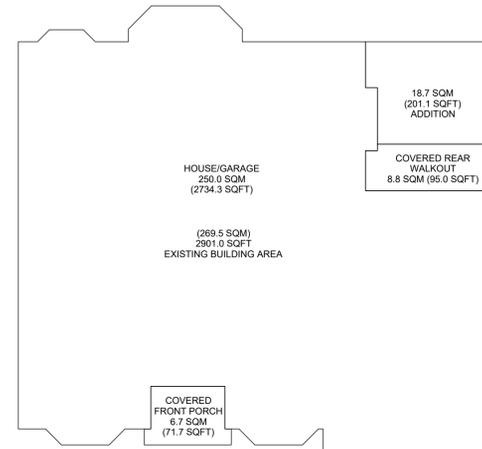
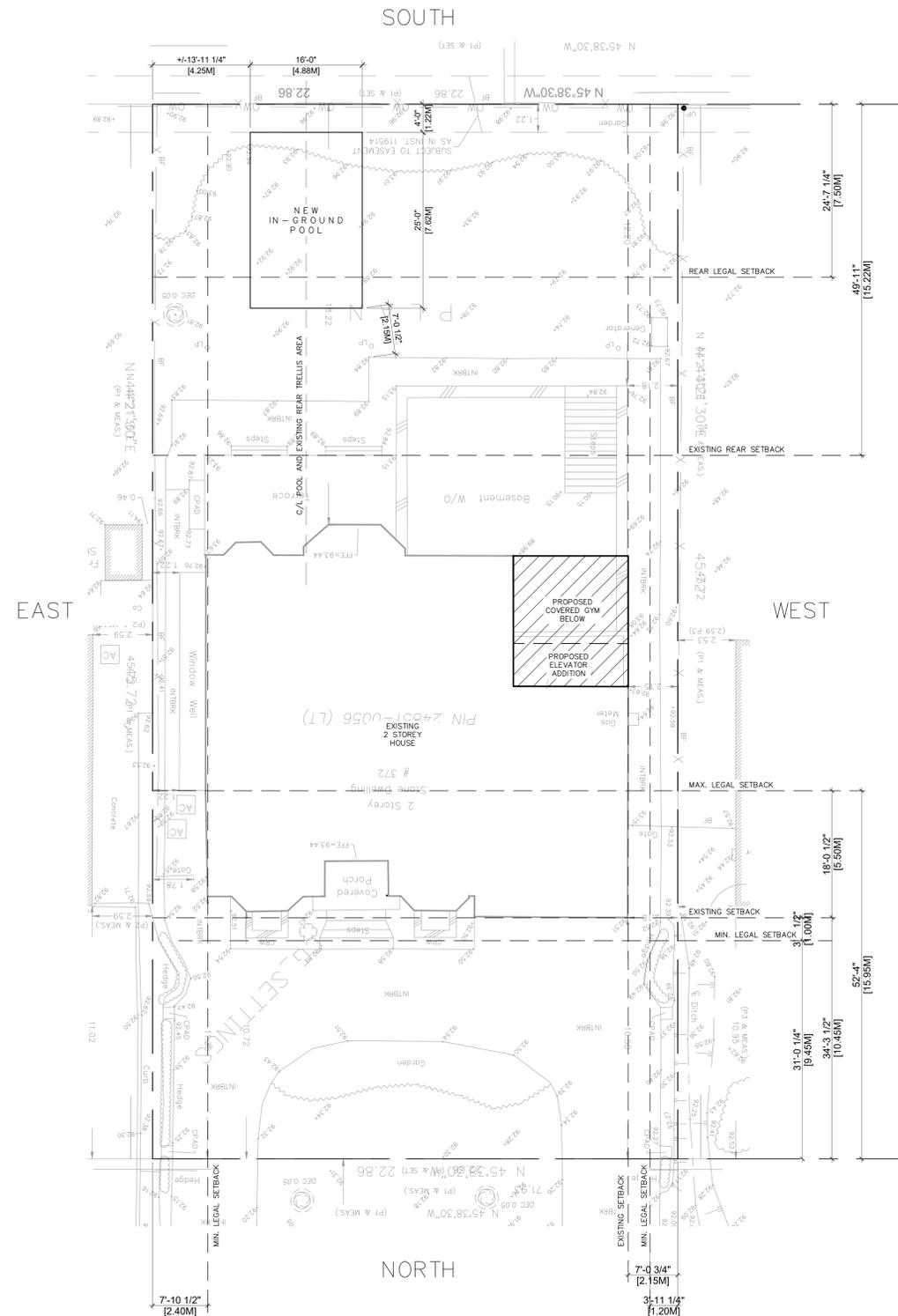


10/9/2024, 11:06:52 AM

- Ownership
- Applicant Name Address
- Wards



Town of Oakville
2021 Town of Oakville



SITE DATA:

ZONING: RL2-0

LOT AREA: 1044.53 SQM (11,243.2 SQFT)

LEGAL SETBACKS:

FRONT YARD SETBACK: 10.45 M

EXISTING SETBACK - MINIMUM = EXISTING - 1.0M = 9.45 M

MAXIMUM = NEW MINIMUM + 5.5M = 15.95 M

WEST SIDE YARD SETBACK: 1.20 M

EAST SIDE YARD SETBACK: 2.40 M

REAR YARD SETBACK: 7.50 M

EXISTING SETBACKS:

REAR (SOUTH) SETBACK: 15.22 M

FRONT (NORTH) SETBACK: 10.45 M

WEST SETBACK: 2.15 M

EAST SETBACK: 1.73 M

BUILDING FOOTPRINT AREA:

HOUSE/GARAGE AREA: 254.0 SQM (2734.3 SQFT)

COVERED FRONT PORCH: 6.7 SQM (71.7 SQFT)

COVERED AREA OF REAR WALKOUT: 8.8 SQM (95.0 SQFT)

TOTAL EXISTING FOOTPRINT: 269.5 SQM (2901.0 SQFT)

PROPOSED BUILDING FOOTPRINT AREA:

EXISTING FOOTPRINT: 269.5 SQM (2901.0 SQFT)

PROPOSED ELEV. & GYM ADDITION: 18.7 SQM (201.1 SQFT)

TOTAL PROPOSED FOOTPRINT: 288.2 SQM (3102.1 SQFT)

LOT COVERAGE:

MAXIMUM PERMISSIBLE = 25%: 1045.16 X 0.25 = 261.29 SQM (2812.5 SQFT)

EXISTING COVERAGE = 25.79%: 269.5 SQM (2901.0 SQFT)

PROPOSED COVERAGE = 27.57%: 288.2 SQM (3102.1 SQFT)

RFA:

EX. GROUND FLOOR: 209.2 SQM (2252.1 SQFT)

GROUND FLOOR ADDITION: 9.1 SQM (97.8 SQFT)

TOTAL GROUND FLOOR: 218.3 SQM (2349.9 SQFT)

EX. SECOND FLOOR: 202.6 SQM (2181.3 SQFT)

SECOND FLOOR ADDITION: 7.0 SQM (75.6 SQFT)

TOTAL GROUND FLOOR: 209.6 SQM (2256.9 SQFT)

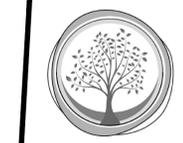
TOTAL RFA: 427.9 SQM (4606.8 SQFT)

MAXIMUM RFA: 1045.16 X 0.394 = 407.61 SQM (4387.5 SQFT)

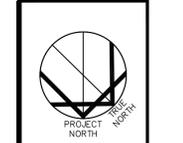
39% AS PER C OF A CAV A-109/2017: 404.9 SQM (4350.7 SQFT)

EXISTING RFA = 38.7%: 404.9 SQM (4350.7 SQFT)

PROPOSED RFA = 40.94%: 427.9 SQM (4606.8 SQFT)



our cool blue architects inc.
 450 Bronte St. S. Suite 213
 MILTON - ON - L9T 8T2
 www.ourcoolblue.com
 e: info@ourcoolblue.com
 p: 905 363 7677
 f: 905 363 7677



general notes:

1. ALL DIMENSIONS IN IMPERIAL.
2. VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DRAWINGS.
4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
5. USE THE LATEST REVISED DRAWINGS ONLY.
6. REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE OWNER BEFORE PROCEEDING.
7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION, AND INFORM OWNER OF ALL DISCREPANCIES. DO NOT SCALE THESE DRAWINGS.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE AND LOCAL BY-LAWS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND BE AQUAINTED GENERALLY WITH PART 9 OF THE BUILDING CODE.

ISSUE

| # | DATE | DESCRIPTION | INITIAL |
|----|----------|-----------------------|---------|
| 1 | 03/09/24 | CLIENT REVIEW | TK |
| 2 | 03/15/24 | CLIENT REVIEW | TK |
| 3 | 03/18/24 | CLIENT REVIEW | TK |
| 4 | 03/22/24 | CLIENT REVIEW | TK |
| 5 | 04/03/24 | CLIENT REVIEW | TK |
| 6 | 05/13/24 | SPA | TK |
| 7 | 05/30/24 | PERMIT & CONSTRUCTION | TK |
| 8 | 07/19/24 | PERMIT | TK |
| 9 | 07/29/24 | PERMIT | TK |
| 10 | 10/01/24 | PERMIT | TK |
| 11 | 10/03/24 | PERMIT | TK |



PERMIT
 Issued for: OCTOBER 3, 2024
 Issue date:

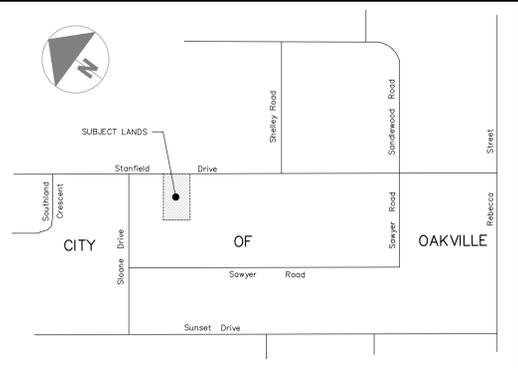
Project No. _____ DRL _____ TK _____
 Drawn by: _____ Checked by: _____

**Single Family Residence
 Renovation & Addition**
 372 Standfield Drive
 Oakville Ontario

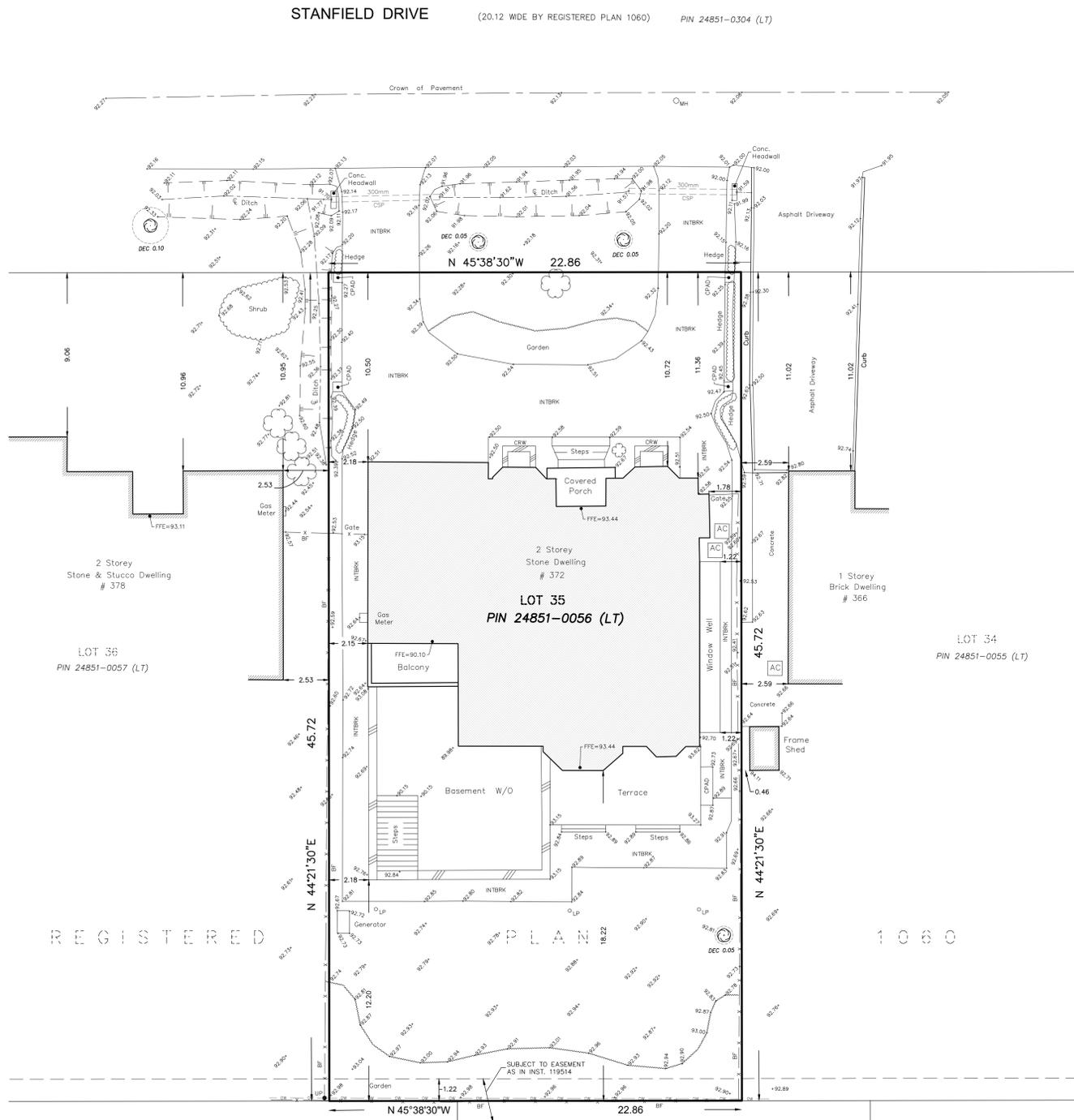
Project: _____
 Site Plan
 Drawing title

A1.1

1 SITE PLAN
 A1.1 3/32" = 1'-0"



KEY PLAN
NOT TO SCALE



TOPOGRAPHIC SKETCH OF
LOT 35
REGISTERED PLAN 1060
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1:150
GRAPHIC SCALE

METRIC NOTE
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

BENCH MARK NOTE:
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK N° 251 HAVING AN ELEVATION OF 118.729m. (CGVD-1928, 1978 Re-adjustment).

- TOPOGRAPHIC LEGEND
- AC DENOTES AIR CONDITIONER
 - CRW DENOTES CONCRETE RETAINING WALL
 - CSF DENOTES CORRUGATED STEEL PIPE
 - CPAD DENOTES CONCRETE SIDEWALK
 - CONC DENOTES CONCRETE PAD
 - CON 0.20 DENOTES CONIFERUS TREE 0.20 DIA
 - DEC 0.20 DENOTES DECIDUOUS TREE 0.20 DIA
 - FTE DENOTES FINISHED FLOOR ELEVATION
 - INTBRK DENOTES INTERLOCKING BRICK
 - LP DENOTES LAMP
 - MH DENOTES MANHOLE
 - UP DENOTES UTILITY POLE
 - OW DENOTES OVERHEAD WIRE
 - AW DENOTES ANCHOR WIRE
 - RS DENOTES ROAD SIGN
 - BT DENOTES TOP OF BANK
 - SR DENOTES SHRUB

UNDERGROUND SERVICES NOTE
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

BOUNDARY NOTE:
THIS SKETCH IS PREPARED FROM COMPILED REGISTRY OFFICE AND CALCULATED INFORMATION, NOT FROM AN ACTUAL SURVEY. DISTANCES SHOWN HAVE NOT BEEN VERIFIED BY AN ACTUAL SURVEY.

BEARING NOTE:
BEARINGS SHOWN HEREON ARE UTM GRID, DERIVED FROM GPS RTK (TOPNET NETWORK) OBSERVATIONS.
FOR BEARING COMPARISONS, A ROTATION OF 00°50'30" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS SHOWN ON REGISTERED PLAN 1060.



ONTARIO LAND SURVEYORS
1200 SPEERS ROAD, UNIT 35 OAKVILLE, ONTARIO L6L 2K4
PHONE: (905) 845-3497
info@omlsurveyors.ca

215 MAIN STREET MILTON, ONTARIO L9T 1N7
PHONE: (905) 878-7810
milton.office@omlsurveyors.ca

CLIENT: SHARED PLAN 9-24-1

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NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF CUNNINGHAM MCCONNELL LIMITED.



our cool blue architects inc.
 450 Bronte St. S. Suite 213
 MILTON - ON - L9T 8T2
 www.ourcoolblue.com
 e: info@ourcoolblue.com
 p: 905 363 7677
 f: 905 363 7677

OCBA

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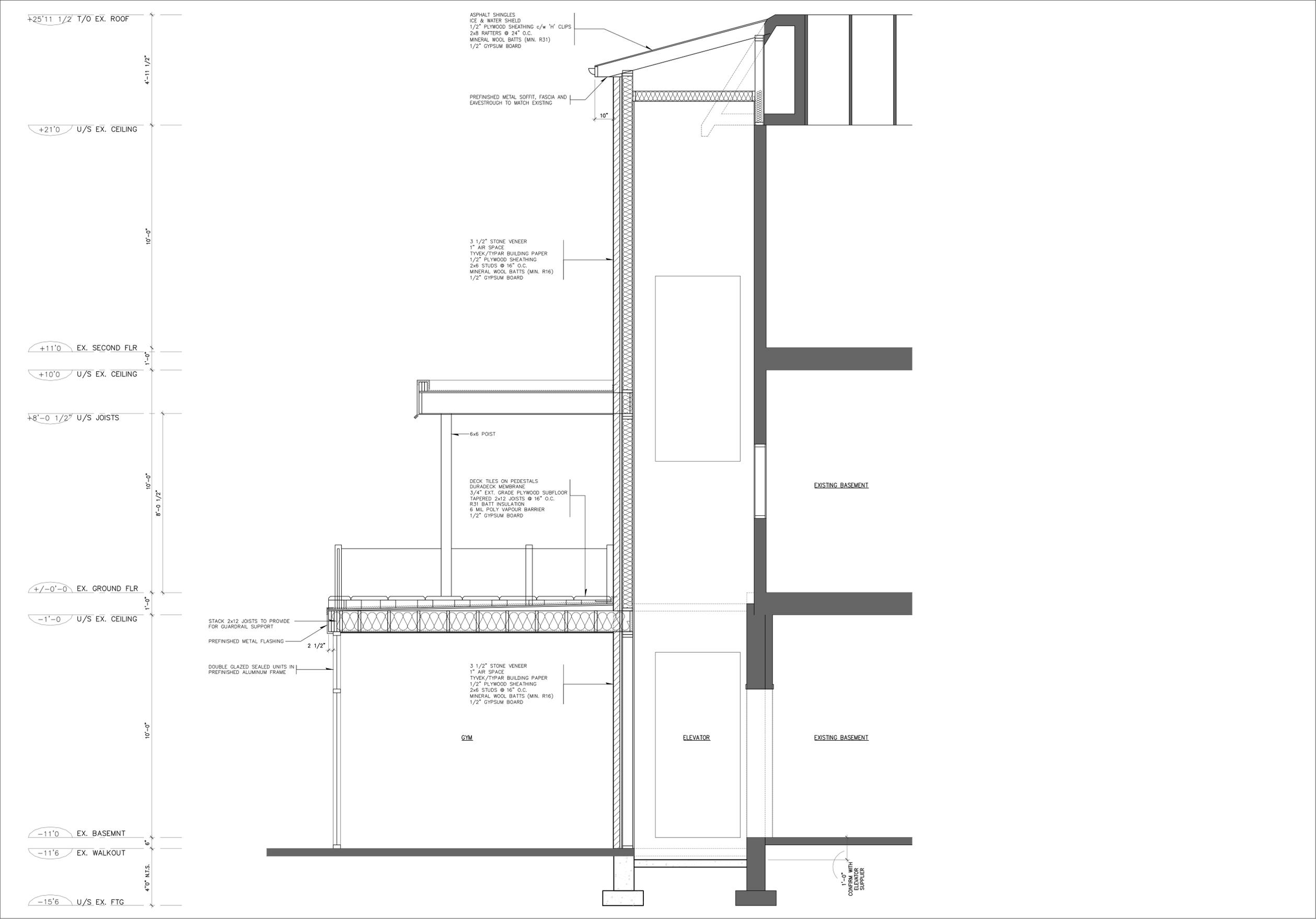


PERMIT
 Issued for:
 OCTOBER 3, 2024
 Issue date

Project No. _____ DRL _____ TK _____
 Drawn by _____ Checked by _____
**Single Family Residence
 Renovation & Addition**
 372 Standfield Drive
 Oakville Ontario

Wall Sections
 Drawing title

A4.1



1
 A4.1 ELEVATOR SECTION
 1/2 = 1'-0"



our cool blue architects inc.
 450 Bronte St. S. Suite 213
 MILTON - ON - L9T 8T2
 www.ourcoolblue.com
 e: info@ourcoolblue.com
 p: 905 363 7677
 f: 905 363 7677

OCBA



general notes:

1. ALL DIMENSIONS IN IMPERIAL.
2. VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DRAWINGS.
4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
5. USE THE LATEST REVISION DRAWING ONLY.
6. REPORT ANY DISCREPANCIES, DISCREPANCIES OR DIMENSIONAL TO THE OWNER BEFORE PROCEEDING.
7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION AND INFORM OWNER OF ALL DISCREPANCIES. DO NOT SCALE THESE DRAWINGS.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE AND LOCAL BYLAWS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS UNLESS APPLICABLE AND BE ACQUAINTED GENERALLY WITH PART 9 OF THE BUILDING CODE.

| #118 | DATE | DESCRIPTION | #118 |
|------|----------|--------------|------|
| 1 | 04/23/24 | CAD FILE REV | 11 |
| 2 | 04/23/24 | CAD FILE REV | 12 |
| 3 | 04/23/24 | CAD FILE REV | 13 |
| 4 | 04/23/24 | CAD FILE REV | 14 |
| 5 | 04/23/24 | CAD FILE REV | 15 |
| 6 | 04/23/24 | CAD FILE REV | 16 |
| 7 | 04/23/24 | CAD FILE REV | 17 |
| 8 | 04/23/24 | CAD FILE REV | 18 |
| 9 | 04/23/24 | CAD FILE REV | 19 |
| 10 | 04/23/24 | CAD FILE REV | 20 |
| 11 | 04/23/24 | CAD FILE REV | 21 |
| 12 | 04/23/24 | CAD FILE REV | 22 |
| 13 | 04/23/24 | CAD FILE REV | 23 |
| 14 | 04/23/24 | CAD FILE REV | 24 |
| 15 | 04/23/24 | CAD FILE REV | 25 |
| 16 | 04/23/24 | CAD FILE REV | 26 |
| 17 | 04/23/24 | CAD FILE REV | 27 |
| 18 | 04/23/24 | CAD FILE REV | 28 |
| 19 | 04/23/24 | CAD FILE REV | 29 |
| 20 | 04/23/24 | CAD FILE REV | 30 |



PERMIT
 Issued for
 OCTOBER 3, 2024
 Issue date

Project No. _____ Drawn by _____
 Check by _____
 Single Family Residence
 Renovation & Addition
 372 Standfield Drive
 Oakville Ontario

Project
 West Elevation

Sheet No. **A3.2**



1
A3.2 Side Elevation
 1/4" = 1'-0"



our cool blue architects inc.
450 Bronte St. S. Suite 213
MILTON - ON - L9T 8T2
www.ourcoolblue.com
e: info@ourcoolblue.com
p: 905 363 7677
f: 905 363 7677

OCBA



general notes:

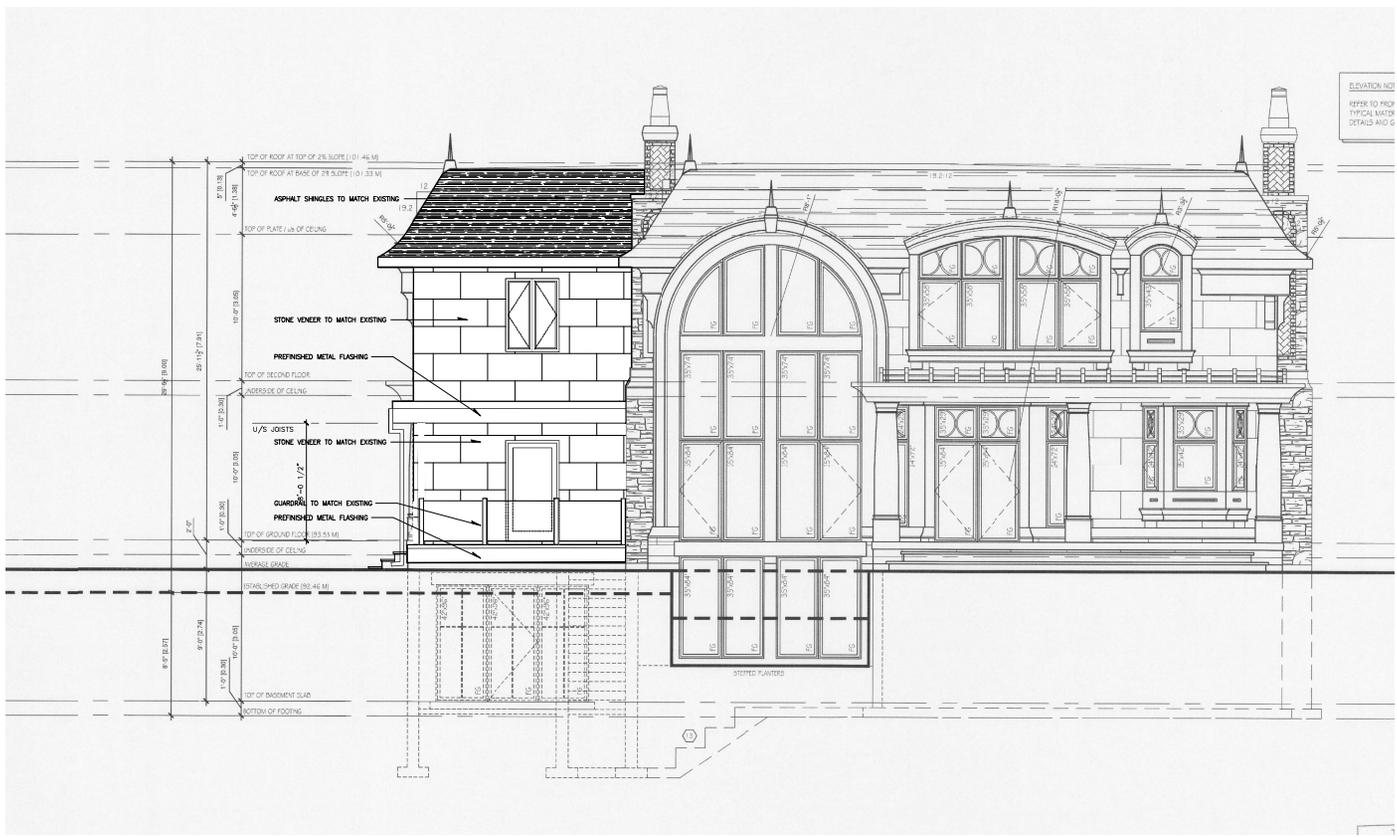
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4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
5. USE THE LATEST REVISED DRAWINGS ONLY.
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7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION - THE OWNER, OWNER OF ALL DISCREPANCIES, DO NOT SCALE THESE DRAWINGS.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE AND LOCAL BY-LAWS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND BE ACQUAINTED GENERALLY WITH PART 9 OF THE BUILDING CODE.

| # | DATE | DESCRIPTION | BY |
|----|---------|---------------------|----|
| 1 | 8/22/24 | CLEAR THE REV | TK |
| 2 | 8/22/24 | CLEAR THE REV | TK |
| 3 | 8/22/24 | CLEAR THE REV | TK |
| 4 | 8/22/24 | CLEAR THE REV | TK |
| 5 | 8/22/24 | CLEAR THE REV | TK |
| 6 | 8/22/24 | FORM & CONTROL PLAN | TK |
| 7 | 8/22/24 | FORM | TK |
| 8 | 8/22/24 | FORM | TK |
| 9 | 8/22/24 | FORM | TK |
| 10 | 8/22/24 | FORM | TK |



PERMIT
Issued for
OCTOBER 3, 2024
Drawn by: []
Checked by: []
Project No. []
Drawn by: []
Checked by: []
Single Family Residence
Renovation & Addition
372 Standfield Drive
Oakville Ontario

Rear (South) Elevation



1 Front Elevation
A3.1 1/4" = 1'-0"

A3.1

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/156/2024 372 Stanfield Drive

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on October 30, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

| Applicant / Owner | Authorized Agent | Subject Property |
|----------------------|------------------|--------------------------------------|
| F.Dankha K. Hanna | Tom Kolbasenko | 372 Stanfield Dr PLAN 1060 LOT 35 |

Zoning of property: RL2-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a rear two-storey addition to the existing detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

| No. | Current | Proposed |
|-----|---|---|
| 1 | <i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 1022.00 m ² and 1114.99 m ² shall be 37%. | To increase the maximum residential floor area ratio to 40.94%. |
| 2 | <i>Table 6.4.2 (Row RL2, Column 3)</i> The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height. | To increase the maximum lot coverage to 27.57%. |

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

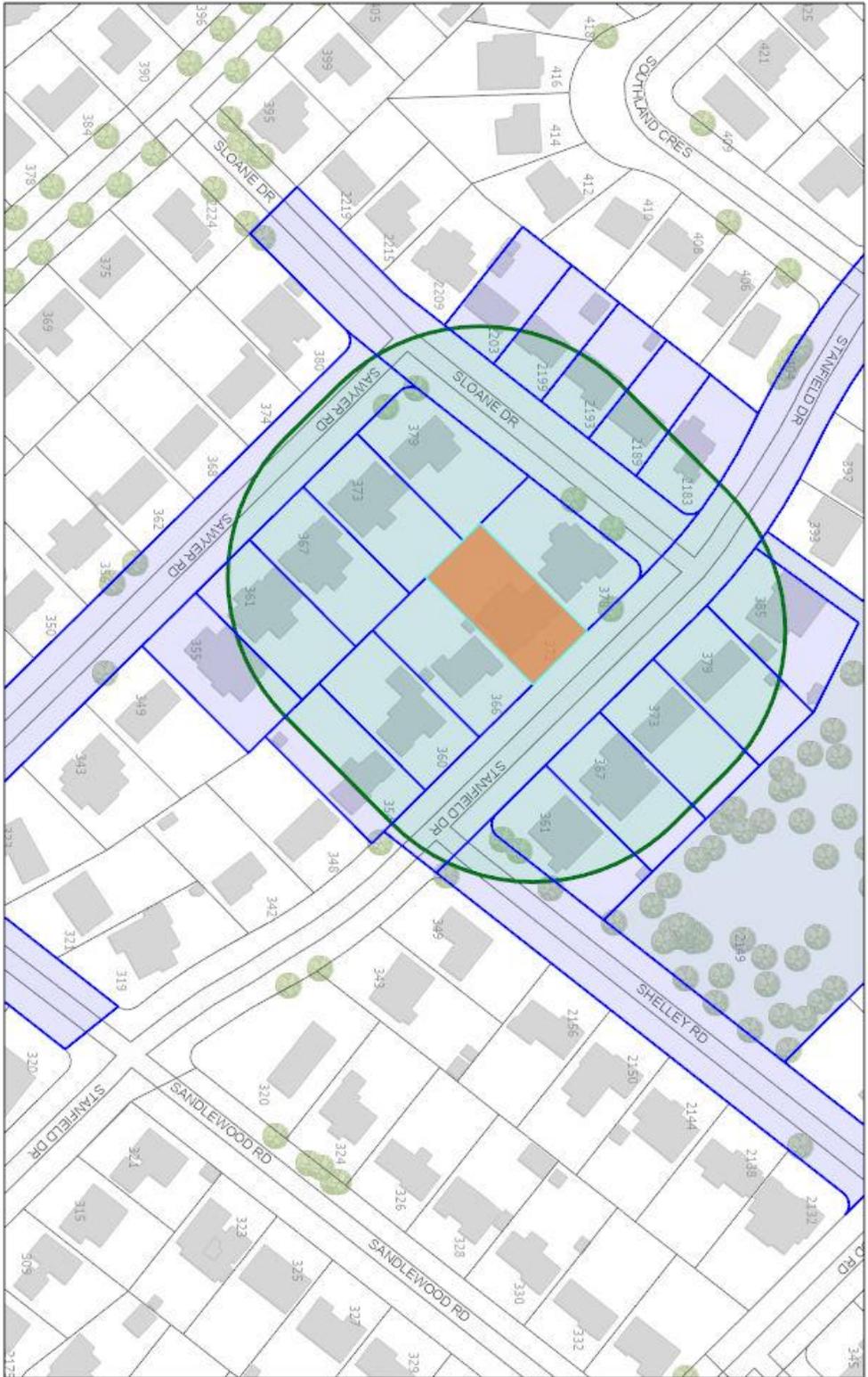
Contact information:

Sharon Coyne
Assistant Secretary-Treasurer
Committee of Adjustment
coarequests@oakville.ca
905-845-6601 x 3863

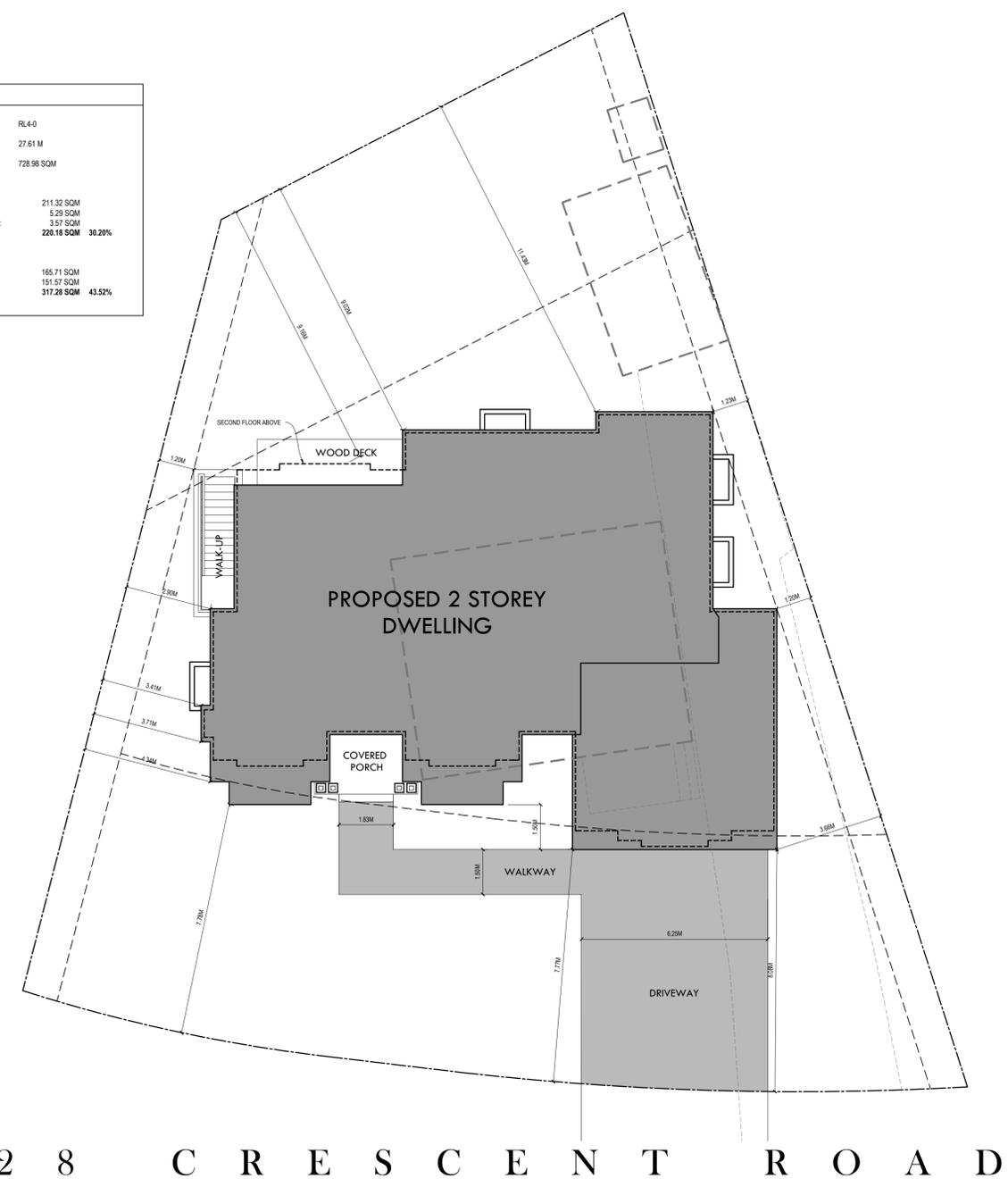
Date mailed:

October 15, 2024

CAV A/156/2024 372 Stanfield Drive



| SITE STATISTICS | |
|--------------------------|-------------------|
| ZONING: | RL-4-0 |
| LOT FRONTAGE: | 27.61 M |
| LOT AREA: | 728.98 SQM |
| LOT COVERAGE | |
| DWELLING: | 211.32 SQM |
| FRONT COVERED PORCH: | 5.29 SQM |
| SECOND FLOOR CANTILEVER: | 3.57 SQM |
| TOTAL: | 220.18 SQM 30.20% |
| GFA CALCULATION | |
| GROUND FLOOR: | 165.71 SQM |
| SECOND FLOOR: | 151.57 SQM |
| TOTAL: | 317.28 SQM 43.52% |



QUALIFICATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION

| | |
|-----------------|--------|
| NAME: | 11378 |
| PROF. REG. NO.: | 114657 |

TL HOMES CO-CREATE & BUILD

TL HOMES INC.
 CO-CREATE & BUILD
 200 LAKESHORE RD E
 ORAVILLE ON - L6J 1J7
 T: 437 889 6155 E: CONTRACT@TLHOMES.COM
 WWW.TLHOMES.COM

GENERAL NOTES

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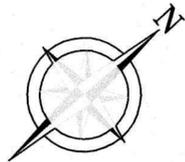
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| 5 - | MM/DD/YYYY |

LUCID DESIGN

| | | | | |
|----------------|----------------------------|--------------|----------|-----------|
| DRAWING TITLE: | PR | CHECKED BY: | PR | SITE PLAN |
| ADDRESS: | 28 CRESCENT ROAD, ORAVILLE | PROJECT NO.: | 2024-033 | SCALE: |
| SHEET NO.: | | | | 1/100 |

SP



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-11219

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3).

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF SURVEY AND TOPOGRAPHY OF
PART OF LOTS 136 & 137
REGISTERED PLAN 347
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

0 5 10 15 20 Metres
SCALE 1 : 200
J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
2021

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The reproduction, alteration, or use of this REPORT in whole or in part, without
the written permission of J. H. Gelbloom Surveying Limited is Strictly Prohibited.

SURVEYOR'S REAL PROPERTY REPORT - PART 2
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY
None

NOTABLES
Note the Location of the Fences around the Subject Property.
Note the Location of the Stone Wall and Garage along the
Southwesterly Limit of the Subject Property.
Note the Location of the Overhead Wires crossing the rear and
connecting to house No. 20

- LEGEND**
- Survey Monument Found
 - Survey Monument Set
 - SIB Standard Iron Bar
 - IB Iron Bar
 - IP Iron Pipe
 - (OU) Origin Unknown
 - (WIT) Witness
 - 760 McConnell Maughan Ltd., O.L.S.
 - 950 Cunningham McConnell Ltd., O.L.S.
 - 1128 David Horwood Ltd., O.L.S.
 - P1 Registered Plan 347
 - P2 Plan of Survey by McConnell Maughan Ltd., O.L.S., dated
May 2, 1985
 - P3 Plan 20R-20088
 - P4 Plan of Survey by H.D. Sewell, O.L.S., dated October 10, 1949
 - P5 Plan of Survey by Tony Stauskas Surveying INC. O.L.S., dated
March 20, 2017
 - P6 Plan of Survey by J.H. Gelbloom Surveying Ltd., O.L.S., dated
November 26, 2018
 - P7 Plan of Survey by Cunningham McConnell Ltd., O.L.S., dated
March 24, 2016
 - D1 Instrument No. 797973
 - EG Established Grade
 - INV Invert
 - GW Guy Wire
 - WV Water Valve
 - FF Finished Floor
 - MH Maintenance Hole
 - BF Board Fence
 - CLF Chain Link Fence
 - WIF Wrought Iron Fence
 - UP Utility Pole
 - DEC. Deciduous
 - CON. Coniferous
 - PROD Denotes Production Distance
 - OHW Overhead Wires
 - N Denotes North
 - S Denotes South
 - E Denotes East
 - W Denotes West

BENCHMARK
Elevations are Referred to the Town of Oakville Benchmark No. 113, having
an Elevation of 94.7578 m.

NOTE
This REPORT can be updated by this office, however NO ADDITIONAL
PRINTS of this ORIGINAL REPORT will be issued, subsequent to the
DATE of CERTIFICATION.
All building ties are from the Foundation and perpendicular to property
lines unless otherwise noted.

This REPORT was prepared for Chile Paul and the undersigned accepts
no responsibility for use by other parties.

NOTE
Distances shown on this plan are in metres and can be converted to
feet by dividing by 0.3048.

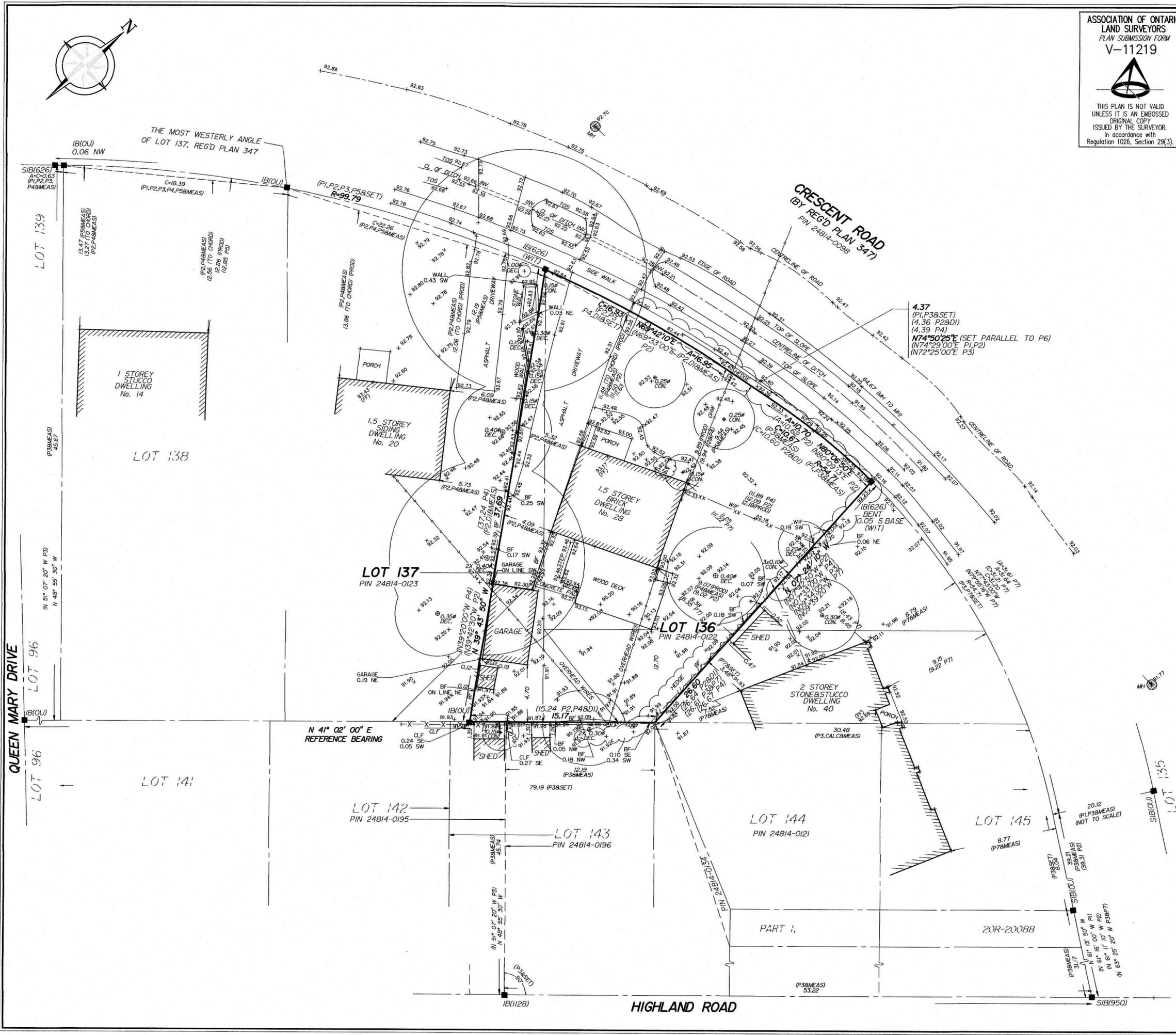
BEARING NOTE
Bearings are Astronomic, and are Referred to the Northeasterly limit of
Lots 136 to 96 as shown on Reg'd Plan 347, having a Bearing
of N 41° 02' 00" E.

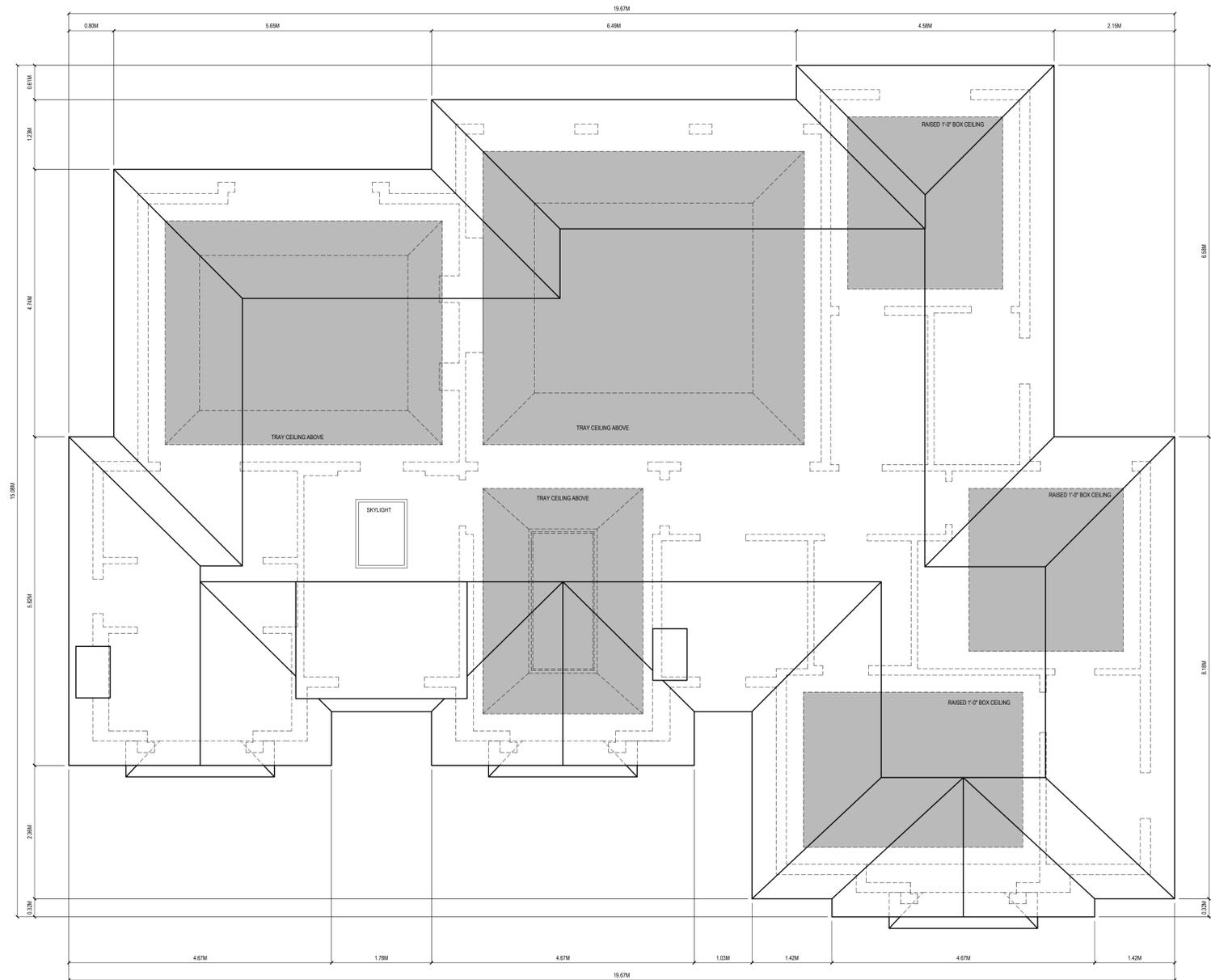
SURVEYOR'S CERTIFICATE
I certify that:
1: This survey and plan are correct and in accordance with the Surveys
Act, the Surveyors Act, and the Regulations made under them.
2: The survey was completed on the 6th day of April, 2021.

May 27, 2021
Date
A. Musil
Andrew Musil, O.L.S.

| | | | |
|--------------|-----------|-------------|----------|
| Party Chief: | Drawn By: | Checked By: | Project: |
| L.K. | M.S. | A.M. | 21-088 |

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4
office@jhgsurveying.ca
Phone: (905) 338-8210 Fax: (905) 338-9446





QUALIFICATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION:

| | | |
|-----------------|------------------|--------|
| NAME: | AAMOU RAFIQ | 11378 |
| PROF. REG. NO.: | | B.C.N. |
| COMPANY: | LUCID HOMES INC. | 114657 |
| PROF. REG. NO.: | | B.C.N. |

LIL HOMES
 CO-CREATE & BUILD

LIL HOMES INC.
 CO-CREATE & BUILD
 200 LAKESHORE RD E
 OAKVILLE ON L6J 1P7
 T: 437 889 6155 E: CONTRACT@LILHOMES.COM
 WWW.LILHOMES.COM

GENERAL NOTES
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| 5 - | | MM/DD/YYYY |

LUCID DESIGN

DRAWING TITLE: PR ROOF PLAN
 DRAWN BY: PR CHECKED BY:
 ADDRESS: 28 CRESCENT ROAD, OAKVILLE
 PROJECT NO: 2024-033 SCALE: 1/4" = 1'-0"
 SHEET NO: **A103**



FRONT ELEVATION

QUALIFICATION
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QUALIFICATION INFORMATION:

| | |
|------------------|----------|
| AAHQ RATIO | 11378 |
| NAME | B.C.I.N. |
| LUCID HOMES INC. | 11467 |
| FIRM NAME | B.C.I.N. |

IL HOMES CO-CREATE & BUILD

IL HOMES INC.
 CO-CREATE & BUILD
 200 LAKESHORE RD E
 ORAVILLE ON - L4J 1J7
 T: 437 889 6155 E: CONTRACT@ILHOMES.COM
 WWW.ILHOMES.COM

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| 5 | | MM/DD/YYYY |

LUCID DESIGN

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
 DRAWN BY: PJ CHECKED BY:
 ADDRESS: 28 CRESCENT ROAD, ORAVILLE
 PROJECT NO: 2024-033 SCALE: 1/4" = 1'-0"
 SHEET NO: **A201**



LEFT ELEVATION

QUALIFICATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION
 AIA/OU RATIO: 11378
 NAME: [Signature] B.C.N.
 LUCID HOMES INC. 11467
 FIRM NO.: E.C.13

LIL HOMES
 CO-CREATE & BUILD

LIL HOMES INC.
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 WWW.LILHOMES.COM

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| 5 - | | MM/DD/YYYY |

LUCID DESIGN

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
 DRAWN BY: [Signature] CHECKED BY: [Signature]
 ADDRESS: 28 CRESCENT ROAD, OKAVILLE
 PROJECT NO: 2024-033 SCALE: 1/8" = 1'-0"
 SHEET NO: **A202**



QUALIFICATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION
 NAME: *[Signature]* 11378 B.C.N.
 LUCID HOMES INC. 11467 E.C.N.

TL HOMES
 CO-CREATE & BUILD
 TL HOMES INC.
 CO-CREATE & BUILD
 200 LAKESHORE RD E
 ORAVILLE ON - L6J 1J7
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| 5 - | | MM/DD/YYYY |

LUCID DESIGN
 DRAWING TITLE: ARCHITECTURAL ELEVATIONS
 DRAWN BY: PJ CHECKED BY:
 ADDRESS: 28 CRESCENT ROAD, ORAVILLE
 PROJECT NO: 2024-033 SCALE: 1/8" = 1'-0"
 SHEET NO: **A204**



REAR ELEVATION

QUALIFICATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AS WELL AS HAVING THE QUALIFICATIONS AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE (O.B.C.) TO BE A DESIGNER.

QUALIFICATION INFORMATION
 NAME: *[Signature]* 11378 B.C.N.
 LUCID HOMES INC. 114657 E.C.N.

TL HOMES
 CO-CREATE & BUILD
 TL HOMES INC.
 CO-CREATE & BUILD
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ISSUE LIST

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| 1 | ISSUED FOR COFA | 08.19.2024 |
| 2 | | MM/DD/YYYY |
| 3 | | MM/DD/YYYY |
| 4 | | MM/DD/YYYY |
| 5 | | MM/DD/YYYY |

LUCID DESIGN
 DRAWING TITLE: ARCHITECTURAL ELEVATIONS
 DRAWN BY: PJ CHECKED BY:
 ADDRESS: 28 CRESCENT ROAD, ORAVILLE
 PROJECT NO: 2024-033 SCALE: 1/8" = 1'-0"
 SHEET NO: **A203**

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/113/2024 Deferred from August 7, 2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on October 30, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

| Applicant / Owner | Authorized Agent | Subject Property |
|-------------------|---|--|
| Chile Paul | Pamir Rafiq Lucid Homes Inc 28 Crescent Rd Oakville ON, Canada L6K 1W4 | 28 Crescent Rd PLAN 347 PT LOTS 136,137 |

Zoning of property: RL4-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a 2 storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

| No. | Current | Proposed |
|-----|---|---|
| 1 | <i>Table 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m ² and 742.99 m ² shall be 41%. | To increase the maximum residential floor area ratio to 43.52%. |
| 2 | <i>Section 6.4.3 (a)</i> The minimum front yard on all lots shall be the yard legally existing on the effective date of this By-law less 1.0 metre. In this instance, the minimum front yard shall be 8.54 metres. | To reduce the minimum front yard to 7.77 metres. |

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic hearing.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

Contact information:

Sharon Coyne
Assistant Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

October 15, 2024

CAV A/133/2024 (deferred from Aug. 7/24) 28 Crescent Road

