



Committee of Adjustment
Town of Oakville

AGENDA

Date: September 18, 2024
Time: 7:00 pm
Location: Virtual Meeting

Live streaming video is available at oakville.ca/live.html or the Town's YouTube channel at youtube.com/user/townofOakvilleTV.

Making submissions to the Committee of Adjustment

To participate in the electronic hearing or to submit written correspondence regarding an application on the agenda, please email the Secretary-Treasurer at coarequests@oakville.ca, or call 905-845-6601 ext. 1829, by noon the day before the hearing date.

	Pages
1. Reading of Preamble	
2. Regrets	
3. Declarations of Pecuniary Interest	
4. Requests for Deferrals or Withdrawals of Applications	
5. Consent Application(s)	
6. Minor Variance Application(s)	
6.1 CAV A/132/2024- 331 Allan Street	3 - 9
6.2 CAV A/135/2024- 891 Progress Court	10 - 13
6.3 CAV A136/2024 - 167 Reynolds Street	14 - 29
6.4 CAVA A/137/2024 - 400 Pinegrove Road	30 - 42
6.5 CAV A/138/2024- 1311 Avon Crescent	43 - 53
7. Confirmation of Minutes	

8. Adjournment

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/132/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, September 18, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
D. Grabke S. Grabke	Rick Mateljan SMDA Design Ltd. 1492 Wallace Rd Unit 9 Oakville ON, Canada L6L 2Y2	331 Allan St PLAN 113 LOT 50

Zoning of property: RL3-0 sp:10, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	15.10.1 c) The maximum lot coverage shall be 19% for a dwelling having two storeys.	To increase the maximum lot coverage to 25.41%.

How do I participate if I have comments or concerns?

Submit written correspondence

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all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

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More information:

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Notice of decision:

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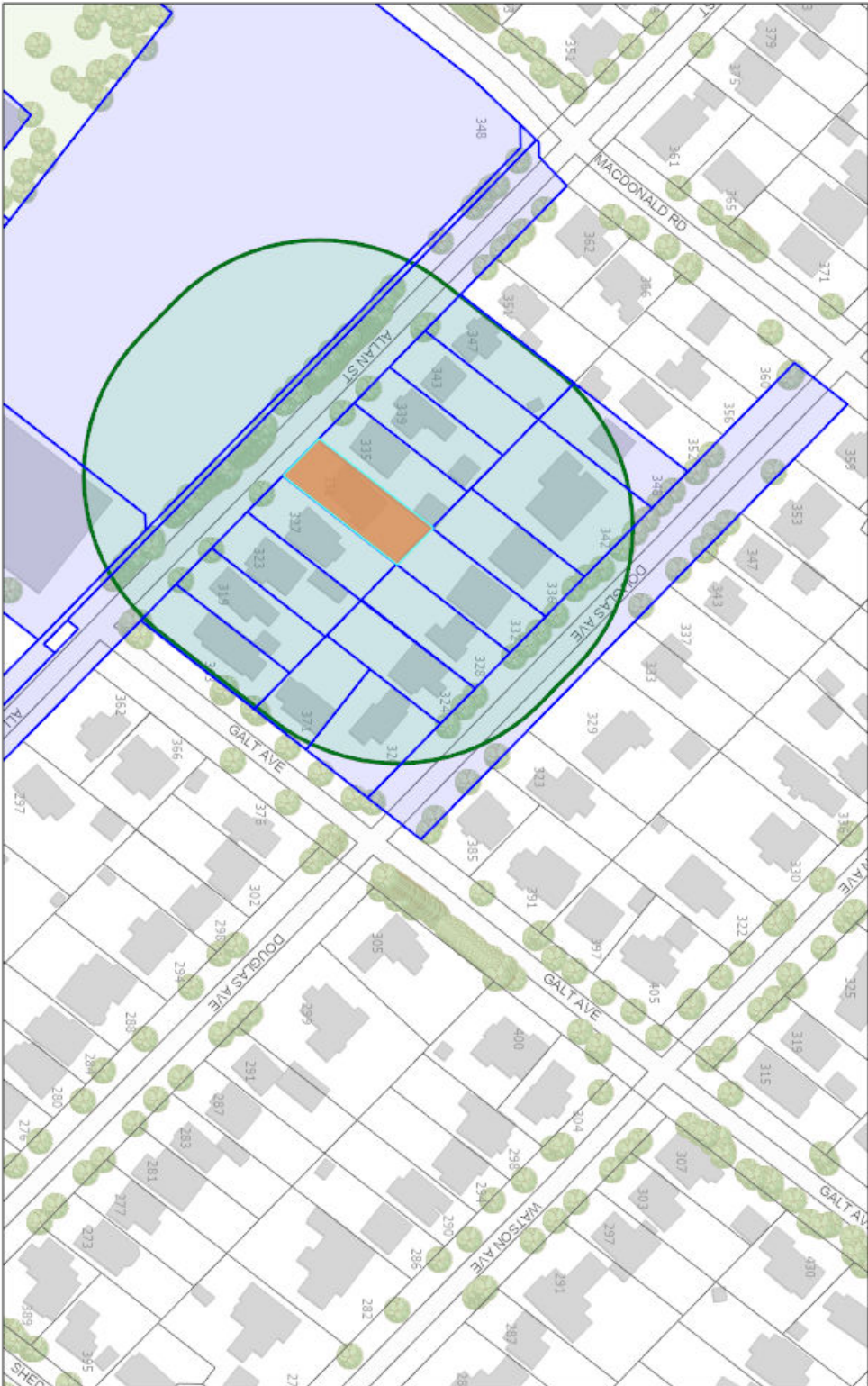
Contact information:

Jennifer Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

September 03, 2024

CAV A/132/2024- 331 ALLAN STREET



8/28/2024, 11:19:41 AM

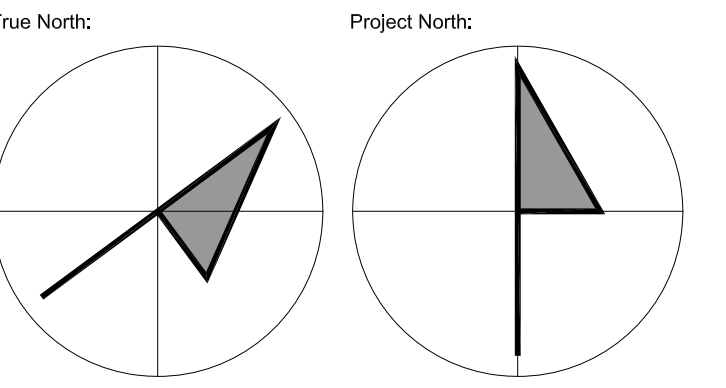
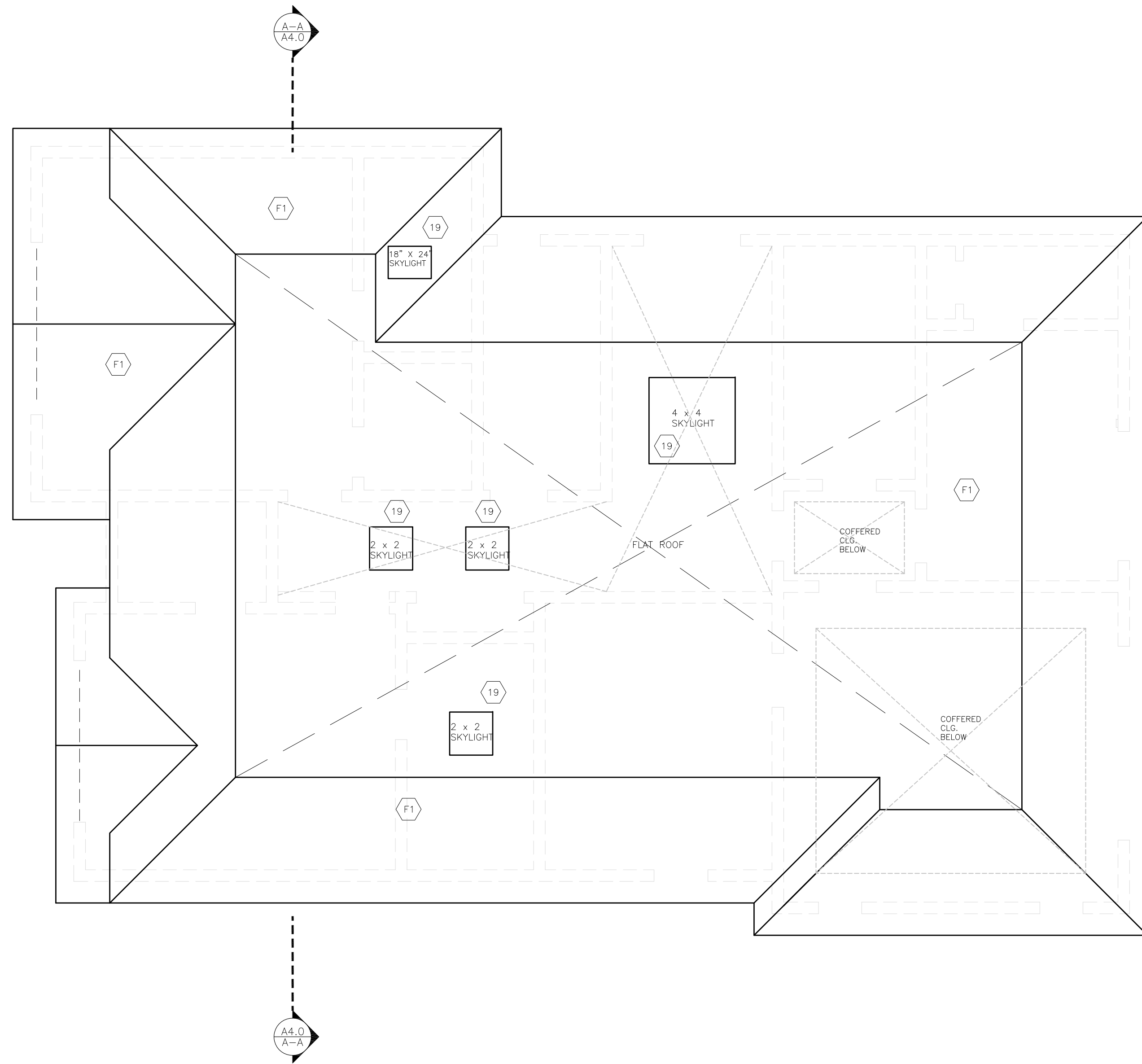
Ownership

Applicant Name Address

Wards



Town of Oakville
2021 Town of Oakville



Key Plan:

No.	Date	Issued/Revision	By:
8	July 14/2024	Changes per client	R.M.
7	June 20/2024	Changes per client	R.M.
6	June 10/2024	Changes per client	R.M.
5	June 5/2024	Changes per client	R.M.
4	May 30/2024	Changes per client	R.M.
3	May 25/2024	Rev elev's	R.M.
2	May 17/2024	Minor changes	R.M.
1	May 15/2024	Prelim review	R.M.



SMDA Design + Architecture
 1492 Wallace Rd., unit 9
 Oakville ON L6L 2Y2
 Tel: 905 842 2848
 smda.ca

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REGISTRATION INFORMATION:
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:
 RICK MATELJAN BCIN 39448 *R. Matelj*
 SMDA DESIGN LTD, BCIN 128915

Project:
Forestwood Homes
 331 Allan St
 Oakville, ON

Sheet Title:
Roof Plan

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: May 2024	Project No:

Drawing No:
A002.3

Engineer:



NOTE REGARDING SIDING AND WINDOW MATERIALS AND INSTALLATION:

Exterior above-grade walls or wall assemblies must be designed and constructed according to rainscreen principles that include both Primary and Secondary Planes of Protection (water barriers), provision for drying of the assembly, and an air space no less than 10mm deep behind the cladding with positive drainage to the exterior to protect the interior of the building from precipitation that penetrates the Primary Plane of Protection.

i) Windows must be designed and constructed according to rainscreen principles, inserted into a wall where they are fully supported at the perimeter, where all the components are specified and used in conformity with the structural and installation parameters of the relevant Canadian Standards Association (CSA) and Canadian Government Specifications Board (COSS) documents, or other standards referenced in the applicable building code.

ii) Solid masonry or concrete walls are permitted where drying of the masonry or concrete is not adversely affected by any other exterior building material.

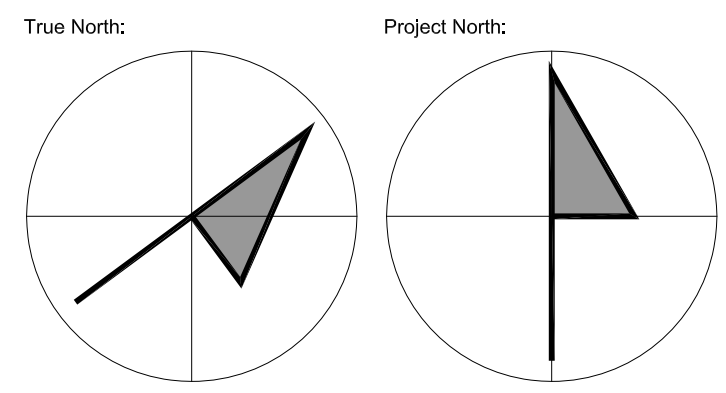
iii) Precast Concrete walls must be designed and constructed as drained systems utilizing two stage drained joints.

iv) Glass and metal Curtain Wall systems must incorporate both Primary and Secondary Planes of Protection (water barriers) with provision for positive drainage to the exterior in a rainscreen design.

v) Window Wall systems may be used on projects classified under Part 9 of the Ontario Building Code that incorporate both Primary and Secondary Planes of Protection (water barriers) and ventilated air spaces with provision for positive drainage to the exterior in a rainscreen design.

vi) Window Wall systems used on projects other than those classified under Part 9 of the Ontario Building Code must comply with the conditions as provided by the most recently issued Window Wall Endorsement issued by the Pro-Demity Insurance Company.

vii) Pre-Engineered buildings or siding systems incorporating both Primary and Secondary Planes of Protection (water barriers) and provision for drainage to the exterior in a rainscreen design are permitted.



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2	May 17/2024	Minor changes	R.M.
1	May 15/2024	Prelim review	R.M.

REFER TO HVAC DESIGN FOR REQUIRED INSULATION AND WINDOW PERFORMANCE DATA



SPATIAL SEPARATIONS CALCULATION PER O.B.C. 9.10.15:

NORTH ELEVATION:

GLAZED OPENINGS CALCULATION PER O.B.C. 9.10.15.4

EXPOSING BUILDING FACE: 1269 SF
 LIMITING DISTANCE: 2.11m
 ALLOWABLE OPENINGS: 8.2% (INTERPOLATED)(104 SF)
 PROPOSED OPENINGS: 8.2% 104 SF

CONSTRUCTION OF EXPOSING BUILDING FACE PER O.B.C. 9.10.15.5 (LIMITING DISTANCE = 2.10M)

CONSTRUCTION: COMBUSTIBLE (COMBUSTIBLE OR NON-COMBUSTIBLE PERMITTED)
 CLADDING: COMBUSTIBLE (COMBUSTIBLE OR NON-COMBUSTIBLE PERMITTED)
 FRR: N/A



SMDA Design + Architecture
 1492 Wallace Rd., unit 9
 Oakville ON L6L 2Y2
 Tel: 905 842 2848
 smda.ca

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REGISTRATION INFORMATION:
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:
 RICK MATELIAN BCIN 39448
 SMDA DESIGN LTD, BCIN 128915

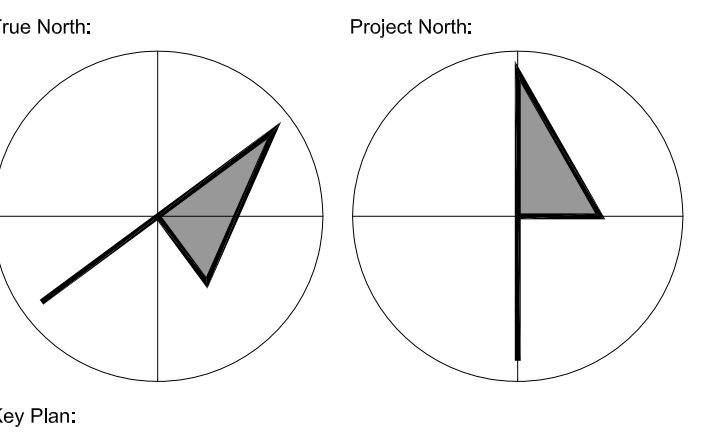
Project:
Forestwood Homes
 331 Allan St
 Oakville, ON

Sheet Title:
**Front Elevation
 North Elevation**

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.

Scale: 1/4"=1'-0"
 Date: May 2024
 Project No:

Drawing No:
A003.0



Key Plan:

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8	July 14/2024	Changes per client	R.M.
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SM DA design + architecture

SMDA Design + Architecture

1492 Wallace Rd., unit 9
Oakville ON L6L 2Y2
Tel: 905 842 2848
smda.ca

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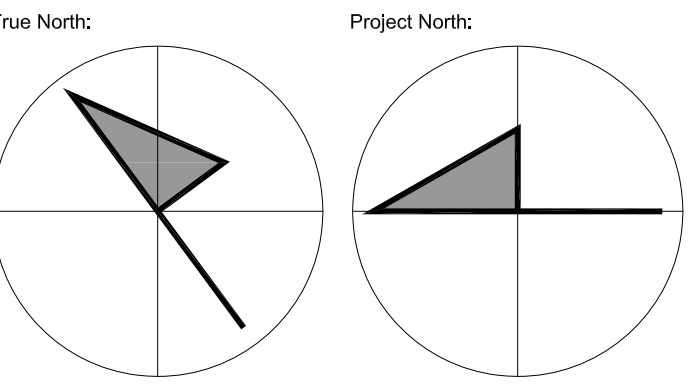
QUALIFICATION INFORMATION:
RICK MATELIAN BCIN 39448 *R. M.*
SMDA DESIGN LTD, BCIN 128915

Project:
Forestwood Homes
331 Allan St
Oakville, ON

Sheet Title:
**East Elevation
South Elevation**

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4"=1'-0"	May 2024	

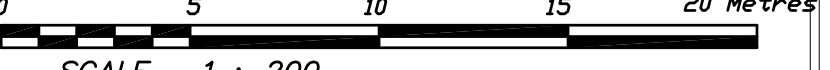
Drawing No: **A003.1**



Key Plan:

THIS SITE PLAN BASED ON:

PLAN OF SURVEY AND TOPOGRAPHY OF LOT 50 REGISTERED PLAN 113 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON



SCALE 1 : 200 J. H. Gelbloom Surveying Limited Ontario Land Surveyor 2 0 2 4

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REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY None

NOTABLES Note the location of the Fences around the Subject Property. Note the location of the Curb along the Northwesternly limit of the Subject Property.

- LEGEND Survey Monument Found N North SIB Standard Iron Bar S South IB Iron Bar E East (950) F.G. Cunningham Inc., O.L.S. W West (OU) Origin Unknown P1 Registered Plan 113 P2 Plan of Survey by Yates & Yates Ltd., O.L.S. dated April 29, 1991 P3 Plan of Survey by McConnell-Jackson, O.L.S., dated April 13, 1967 P4 Plan of Survey by J. H. Gelbloom Surveying Ltd., O.L.S. dated April 18, 2023 P5 Plan of Survey by J. H. Gelbloom Surveying Ltd., O.L.S. dated November 26, 2007 FF Finished Floor Elevation EG Established Grade Elevation BF Board Fence CLF Chain Link Fence RF Rail Fence DEC. Deciduous Tree CON. Coniferous Tree UP Utility Pole MH Maintenance Hole BOS Bottom of Slope TOS Top of Slope WT Witness

BENCHMARK Elevations are Referred to the town of Oakville Benchmark No. 183, having an Elevation of 81.701'

NOTE This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION. All building ties are from the foundation and are perpendicular to property lines, unless otherwise noted.

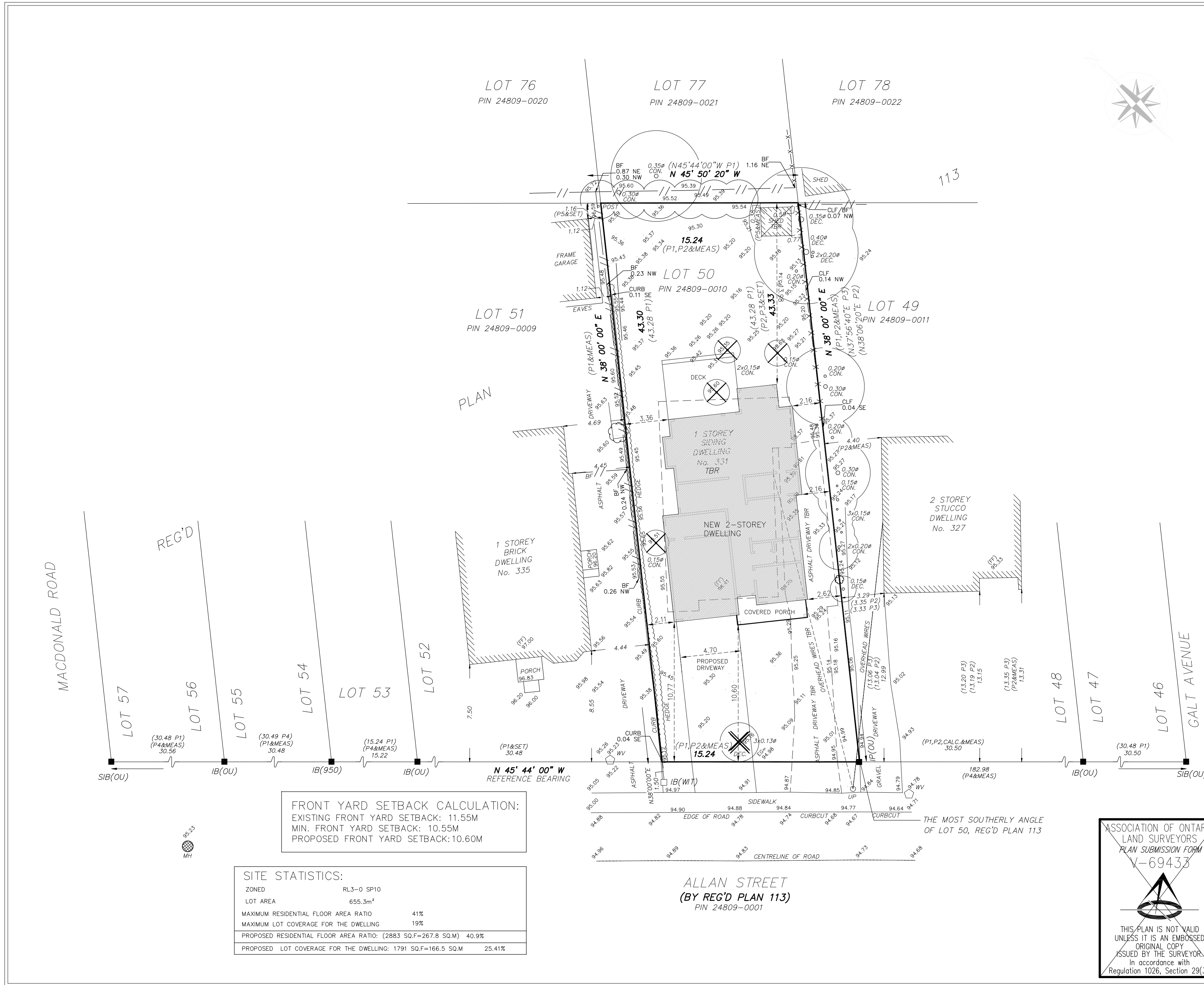
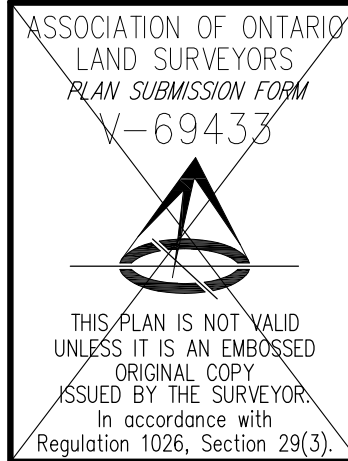
This REPORT was prepared for 62476599 Ontario Inc. and the undersigned accepts no responsibility for use by other parties.

NOTE Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

BEARING NOTE Bearings are Astronomic, and are Referred to the Northeastly limit of Allan Street as shown on Reg'd Plan 113, having a Bearing of N 45° 44' 00" W.

SURVEYOR'S CERTIFICATE I certify that: 1. This survey and plan are correct and in accordance with the Survey Act, the Surveyors Act, and the Regulations made under them. 2. The survey was completed on third day of May, 2024.

May 22, 2024 Date Ashraf Rizk, O.L.S. Party Chief/Drawn By Checked By Project No. RL WC 24-070



FRONT YARD SETBACK CALCULATION: EXISTING FRONT YARD SETBACK: 11.55M MIN. FRONT YARD SETBACK: 10.55M PROPOSED FRONT YARD SETBACK: 10.60M

SITE STATISTICS: ZONED RL3-0 SP10 LOT AREA 655.3m² MAXIMUM RESIDENTIAL FLOOR AREA RATIO 41% MAXIMUM LOT COVERAGE FOR THE DWELLING 19% PROPOSED RESIDENTIAL FLOOR AREA RATIO: (2883 SQ.F=267.8 SQ.M) 40.9% PROPOSED LOT COVERAGE FOR THE DWELLING: 1791 SQ.F=166.5 SQ.M 25.41%

ALLAN STREET (BY REG'D PLAN 113) PIN 24809-0001

Revision table with columns: No., Date, Issued/Revision, By. Includes entries for changes per client, minor changes, and preliminary review.



1492 Wallace Rd., unit 9 Oakville ON L6L 2Y2 Tel: 905 842 2848 smda.ca

2023 Copyright © All Rights Reserved. SMDA Design + Architecture Ltd. and may not be copied, published, reproduced by any means or used on projects except as noted herein without their written consent. All rights reserved. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to SMDA Design + Architecture Ltd. immediately. Construction must conform to all applicable Codes and Requirements of Authority. These drawings will not be used for construction or modification of construction unless marked 'Issued for construction'. Do not scale drawings. Submit shop drawings for review. All setbacks, heights and grades to be verified in the field by an Ontario Land Surveyor. These drawings to be used in conjunction with applicable structural, mechanical, plumbing and civil engineering drawings. Any all claims, whether in contract or in tort, against SMDA Design + Architecture Ltd. for any errors, omissions or omissions in SMDA's plans and specifications pursuant to this project shall be limited to coverage and amount of professional liability insurance carried and available to SMDA Design + Architecture Ltd. for the purposes of this contract. The client and designer will not accept Change Order requests for situations that could reasonably have been inferred from these drawings, other related documentation or the conditions, even if not fully described.

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QUALIFICATION INFORMATION: RICK MATELIAN BCIN 39448 SMDA DESIGN LTD, BCIN 128915

Forestwood Homes 331 Allan St Oakville, ON

Sheet Title: Site Plan

Design By: R.M., Drawn By: R.M., Approved By: R.M. Scale: 1:200, Date: May 2024, Project No:

Drawing No: S001.0

Engineer:

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/135/20

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Applicant / Owner	Authorized Agent	Subject Property
Ruzmarin Holdings Inc.	Tristin Mills Ti Studios Architecture Inc 1902 11 St SE Unit 201 Calgary AB, Canada T2G 3G2	891 Progress Crt CON 3 SDS PT LOTS 23,24 RP 20R8242 PARTS 4,5,6

Zoning of Property: E3 sp: 395, Employment

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the reduction of the width of landscaping required for a motor vehicle storage compound on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Table 4.11.2 (row 7)</i> The minimum width of landscaping required along the edge of a motor vehicle storage compound abutting the interior side lot line shall be 7.5 m in this instance.	To reduce the minimum width of landscaping required along the edge of the motor vehicle storage compound abutting the southerly interior side lot line to be 1.53 m.

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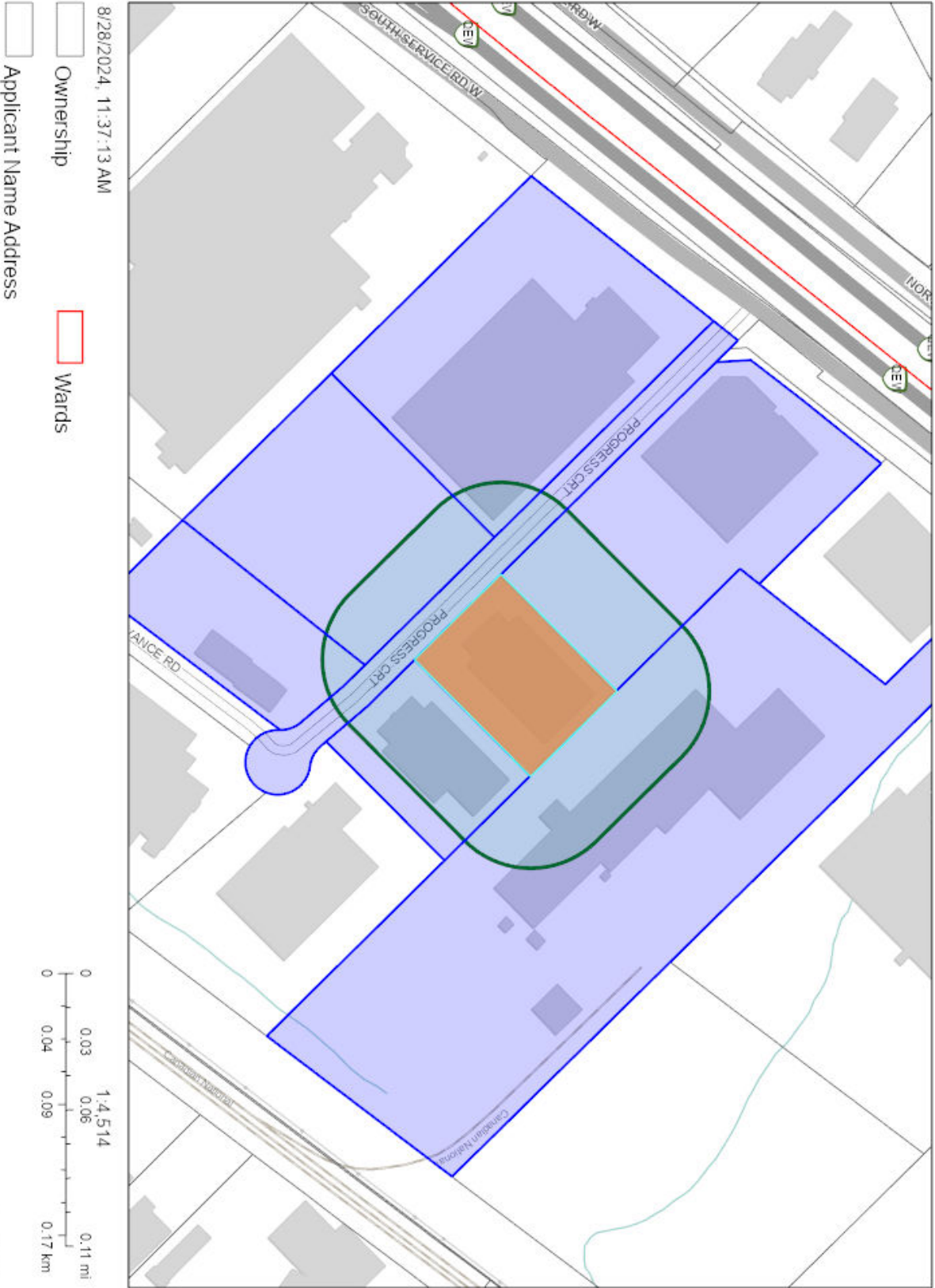
Contact information:

Jennifer Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

September 03, 2024

CAV A/135/2024- 891 Progress Court



SITE INFORMATION

OAKVILLE ZONING BYLAW 2014-014
INDUSTRIAL ZONE (E3):

PARKING STALL CALCULATIONS:

	EXIST.	REQ'D	PROVIDED
OFFICE (E)	28	19	19
ACCESSIBLE (E)	3	3	3
BODY REPAIR (E)	12	12	12
CAR WASH (E)	8	8	8
STORAGE (E)	2	2	2
COLLISION / RENTAL (N)			11
SURPLUS SPOTS (E)			34
BIKE			4
TOTAL PARKING:	52	44	89
TOTAL W/BIKE:			93

SITE STATISTICS
TOTAL LOT AREA: 8,291 SQ M [89,247 SQ FT]
LOT FRONTAGE: 78.08 M [256.16 FT]
LOT DEPTH: 106.19 M [348.39 FT]

FOOTPRINT EXISTING: 3,538 SQ M [38,080 SQ FT]
EXISTING COVERAGE: 42.7%
PROPOSED: NO CHANGE

EX. GROUND FLOOR: 3,538 SQ M [38,080 SQ FT]
EX. MEZZANINE: 91 SQ M [977 SQ FT]
PROPOSED: NO CHANGE

EX. GFA: 3,629 SQ M [39,062 SQ FT]
PROPOSED: NO CHANGE

SITE SETBACKS:
FRONT YARD (WEST) REQ'D: 3M MIN.
ACTUAL: ±14.98M (EXISTING)
SIDE YARD (NORTH) REQ'D: 3M MIN.
ACTUAL: ±11.86M (EXISTING)
REAR YARD (EAST) REQ'D: 3M MIN.
ACTUAL: ±8.26M (EXISTING)
SIDE YARD (SOUTH) REQ'D: 3M MIN.
ACTUAL: ±21.62M (EXISTING)

BUILDING HEIGHT:
ALLOWABLE MAXIMUM: N/A
ACTUAL BUILDING HEIGHT: ±6.55M EXISTING

LANDSCAPING:
LANDSCAPE AREA: MIN. 10%: 829 SQ M
EXIST: 1,354 SQ M [14,578 SQ FT]
PROPOSED: NO CHANGE

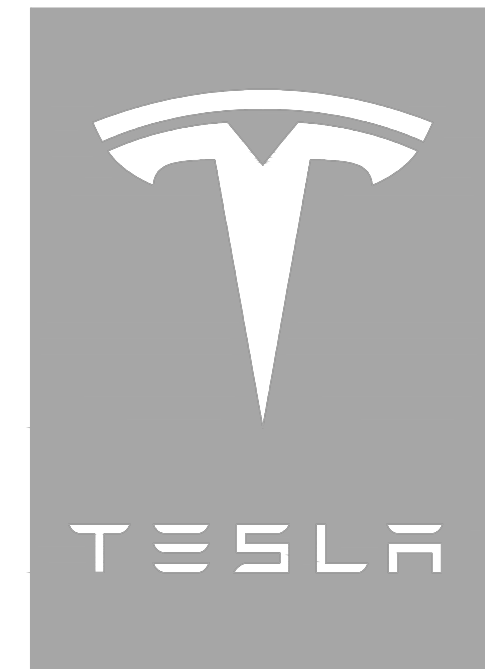
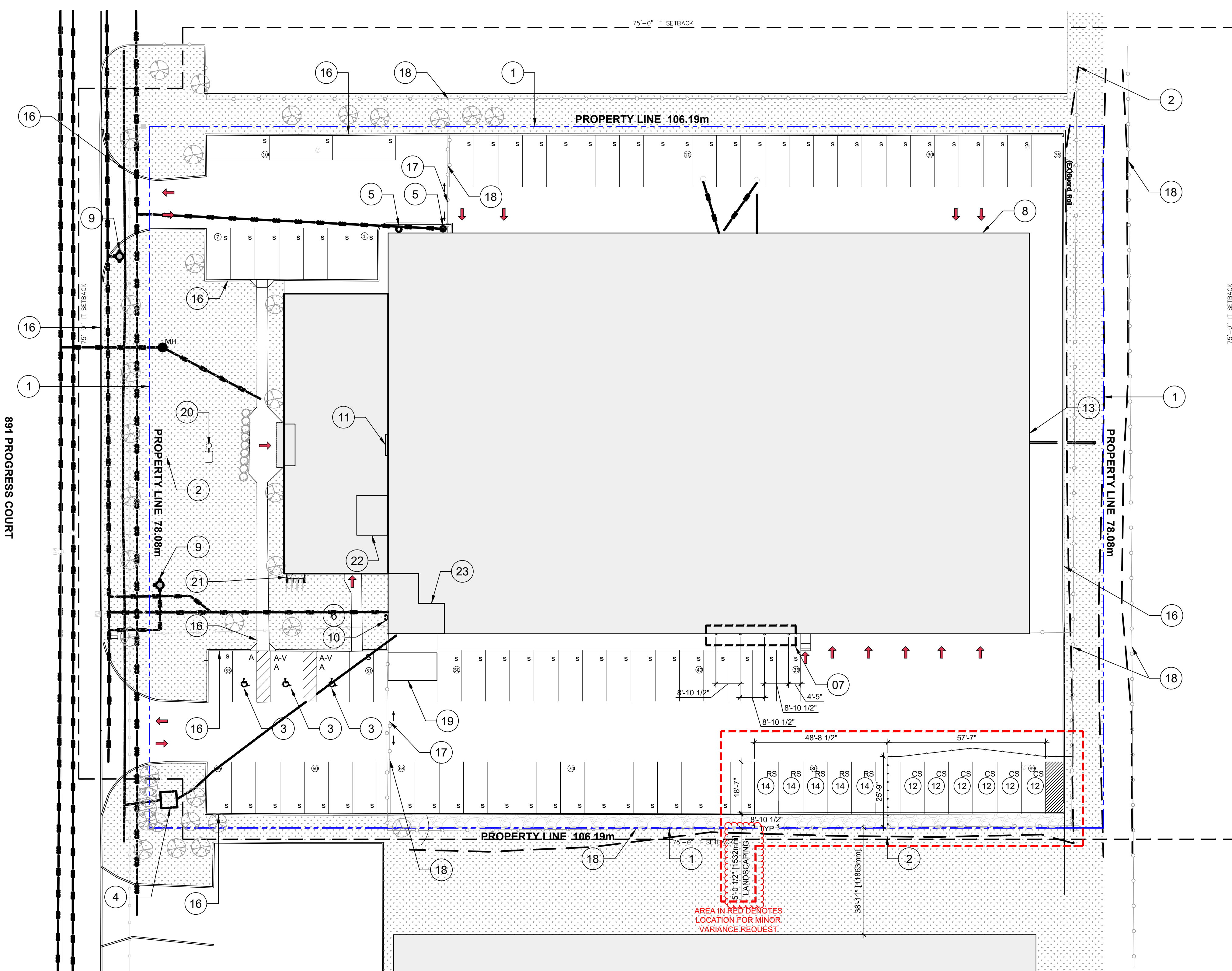
PAVED AREA:
EXIST: 3,399 SQ M [36,589 SQ FT]
PROPOSED: NO CHANGE

LEGEND

- (E) LANDSCAPE AREA
- PROPERTY LINE
- I.T. SET BACK
- ACCESSIBLE PATH OF TRAVEL
- ACCESSIBLE ROUTE. 4'-0" WIDE MINIMUM, 5'-0" WIDE AT DOORWAYS. 4" WHITE PAINTED STRIPING, SPACED AT 3'-0" ON CENTER, AT 30 DEGREE ANGLE.
- HIGH POWER POST MOUNTED WALL CONNECTOR AND DISCONNECT, SEE DETAIL 1/A8.02 & ELECTRICAL DRAWINGS.
- COMPACT STALL
- STANDARD PARKING STALL
- ELECTRIC CAR CHARGING STALL
- ACCESSIBLE PARKING STALL
- ACCESSIBLE VAN PARKING STALL
- COLLISION STORAGE
- RENTAL STORAGE
- EXISTING CONCRETE CURB
- EXISTING MAN HOLE
- EXISTING FIRE HYDRANT
- EXISTING LIGHT STANDARD (LAMP)
- EXISTING LANDSCAPED SURFACE
- EXISTING GRAVEL SURFACE
- EXISTING SIDEWALK
- EXISTING CONCRETE SURFACE

KEY NOTES

- 1 PROPERTY LINE
- 2 (E) EASEMENT
- 3 (E) ACCESSIBLE PARKING SIGNAGE, SEE DETAIL 1/A0.03
- 4 (E) UTILITY TRANSFORMER
- 5 (E) GAS METER
- 6 (E) BELL ON EXTERIOR OF BUILDING
- 7 (E) EXTERIOR POST CHARGERS
- 8 (E) OVERHEAD DOORS
- 9 (E) FIRE HYDRANT
- 10 (E) FIRE DEPARTMENT CONNECTION - SIAMESE
- 11 (E) EXTERIOR ACCESS TO THE ROOF
- 12 (N) PARKING STALLS FOR COLLISION STORAGE (TOTAL 6), BEHIND CHAINLINK FENCE (6' HIGH WITH PRIVACY SLATS), WITH DOUBLE SWING GATE.
- 13 (E) EXTERIOR CONTROLS TO REMAIN
- 14 (N) PARKING STALLS FOR RENTAL STORAGE (TOTAL 5)
- 15 RESERVED
- 16 (E) CONCRETE SIDEWALK AND CURB
- 17 (E) SLIDING GATE
- 18 (E) CHAIN LINK FENCE
- 19 (E) CONCRETE PAD & BOLLARDS
- 20 (E) LIGHT
- 21 (E) BICYCLE RACKS
- 22 (E) IT ROOM
- 23 (E) MAIN ELECTRICAL ROOM



TESLA SERVICE CENTER
TRT ID 16397
891 PROGRESS COURT
OAKVILLE, ONTARIO
CANADA

ISSUE / REVISION
2024-05-10 MINOR VARIANCE
2024-08-14 MINOR VARIANCE R1

BEFORE BID AWARD:

AFTER BID AWARD:

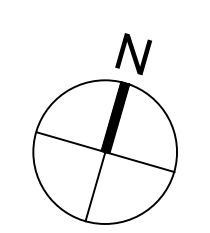
DRAWING TITLE

SITE PLAN

SCALE: AS NOTED
PROJECT NUMBER: 23.291
SHEET SIZE: ARCH D (24X36)

SHEET NUMBER

A100



SITE PLAN SCALE: 3/64" = 1'-0" 1

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/136/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on Wednesday, September 18, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Anthony Pollo	N/A	167 Reynolds St PLAN 1 BLK 91 PT LOT 1

Zoning of property: RL4-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of additional roof area to the detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.2 a) (Row RL4, Column 3)</i> The maximum lot coverage shall be 35% where the detached dwelling is greater than 7.0 metres in height.	To increase the maximum lot coverage to 42.28%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

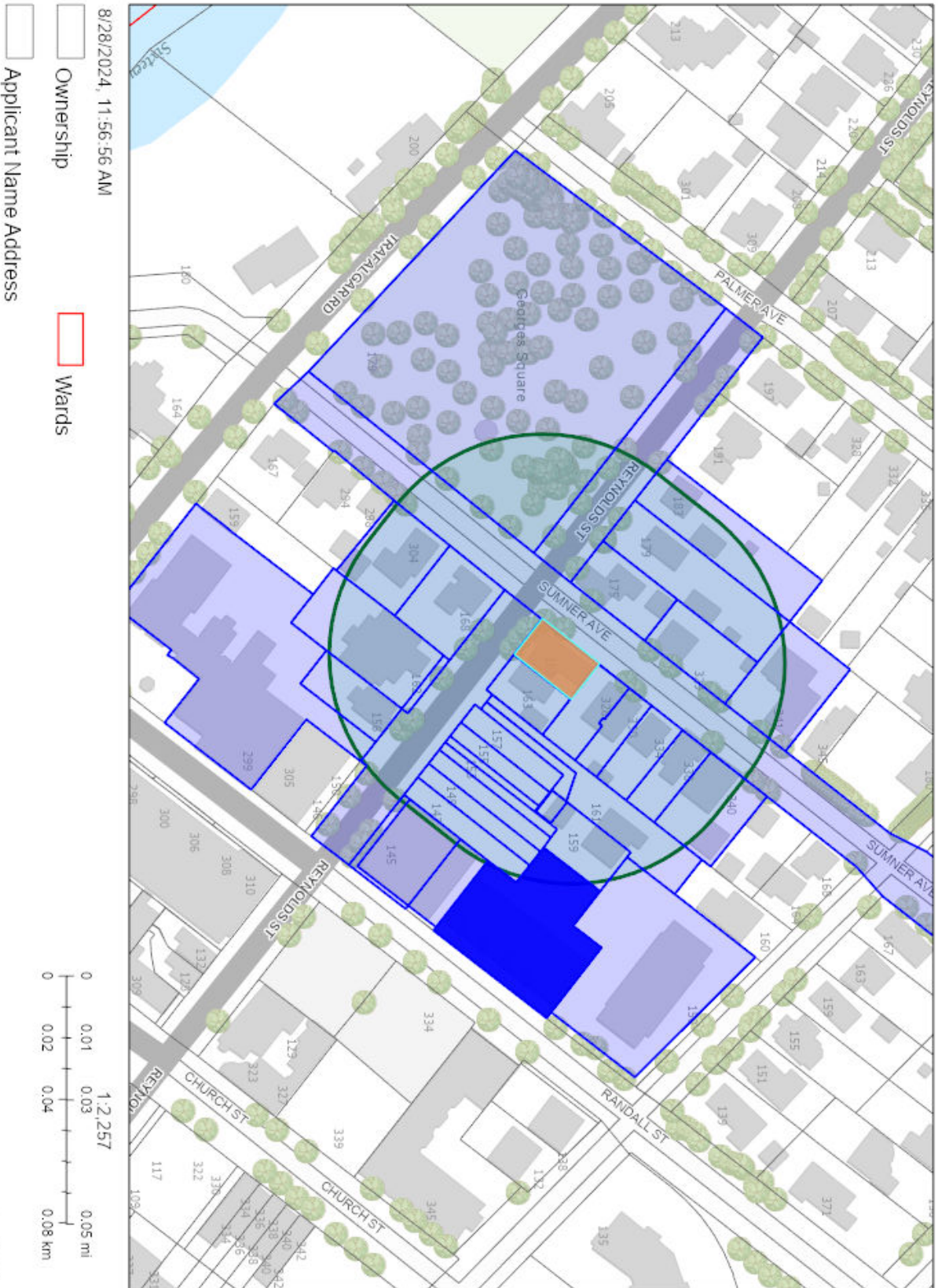
Contact information:

Jennifer Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

September 03, 2024

CAV A/136/2024- 167 Reynolds Street





SHEET LIST	
Sheet Number	Sheet Name
A000	COVER
A001	SURVEY
A002	SITE PLAN
A003	ISOMETRIC
A004	ISOMETRIC 2
A005	NOTES
A006	EXISTING and DEMOLITION
A100	BASEMENT
A101	FIRST FLOOR
A102	SECOND FLOOR
A103	ROOF
A200	NORTH (SUMMER AVENUE)
A201	EAST
A201 B	EAST SECTION
A202	WEST (REYNOLDS AVENUE)
A203	SOUTH (back)
A300	SECTION
A301	SECTION 2
A302	SECTION 2 - CALLOUT 1
A303	SECTION 3

WHOEVER SHALL USE THESE DRAWINGS TO CONSTRUCT AND / OR DEMOLISH THE PROPOSED WORK SHALL CHECK AND VERIFY ALL RELEVANT DIMENSIONS, EXISTING STRUCTURAL ASSUMPTIONS AND SITE CONDITIONS PRIOR TO ENTERING INTO ANY CONTRACTS OR START OF ANY WORK AND SHALL NOTIFY STAMBUK HOMES OF ANY DISCREPANCIES TO THE PLANS.

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 Signature: _____
 Name: CORDEN STAMBUK 46080
 Required unless design is exempt under Div. C-1.2.1.1 of the building code.
 Signature: _____
 Name: STAMBUK HOMES 106172

167 REYNOLDS STREET

SCALE:

**PROPOSED ADDITIONS AND INTERIOR RENOVATIONS AT
 167 REYNOLDS STREET, Oakville, ON L6J 3K8**

COVER - A000



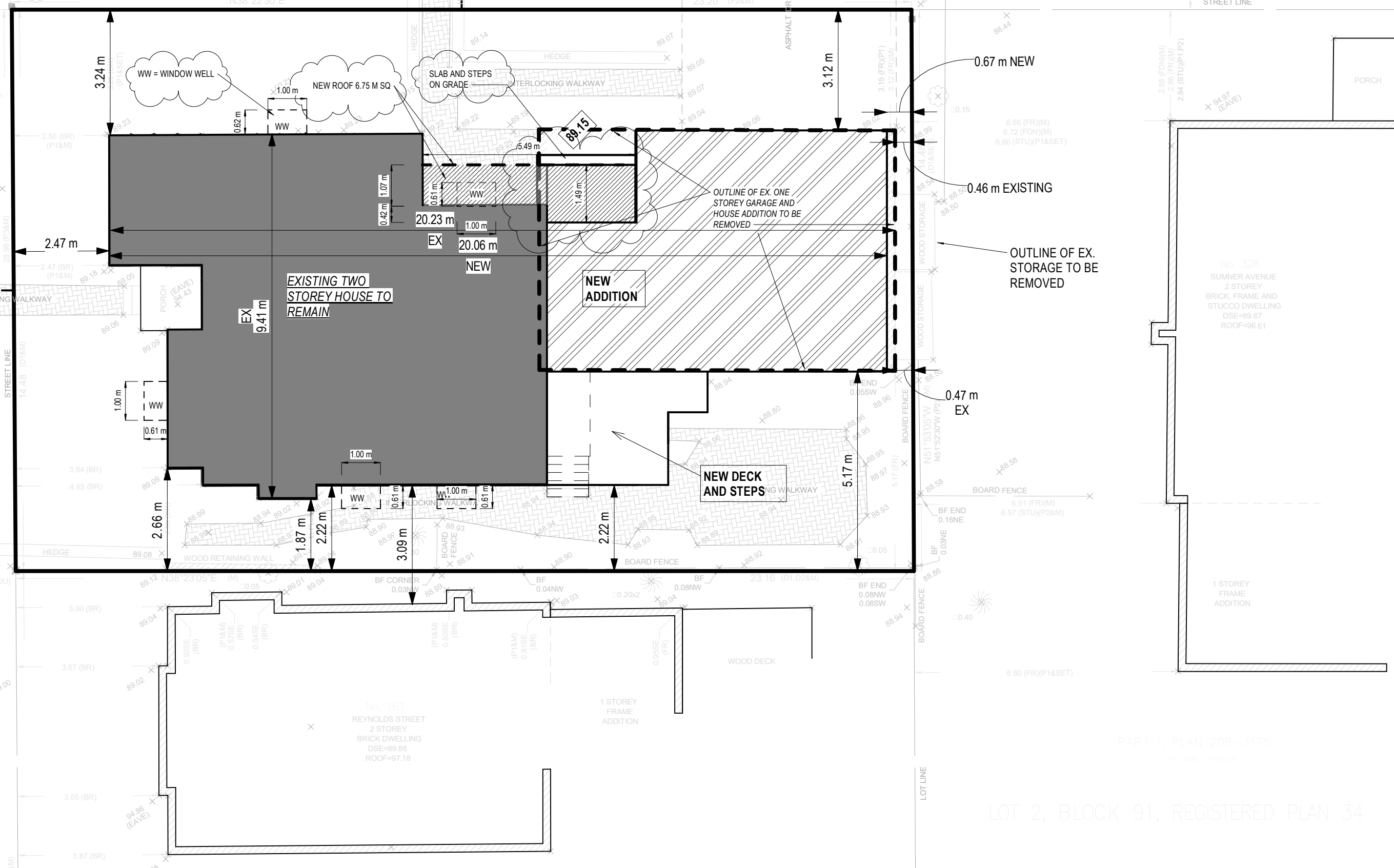
NORTH

SUMNER AVENUE (BY REGISTERED PLAN 34)

SUMNER AVENUE

REYNOLDS STREET

**NEW TOTAL COVERAGE
WITH ADDED PORCH ROOF**



WORK AREAS

Existing one storey garage and addition to be removed = 57 m sq

Existing basement area to renovate = 86.23 m sq
 Existing first floor area to renovate = 86.23 m sq
 Existing second floor area to renovate = 75.5 m sq

New first floor = 9.43 m sq
 New first floor garage = 40 m sq
 New second floor = 49 m sq

Coverage of new additions = 49 m sq

AREA	M2	% OF LOT
LOT	335.67	100
EX. TOTAL COVERAGE:	142.24	42.3
NEW TOTAL COVERAGE:	141.91	42
EX. GARAGE TO BE REMOVED:	56.86	
FIRST FLOOR AREA	95.57	
SECOND FLOOR AREA	117.65	
TOTAL FLOOR AREA	213.22	63

WEST FRONT YARD: 2.47 M (REYNOLDS, EXISTING)
 NORTH SIDE YARD: 3.12 M (SUMNER, EXISTING)
 SOUTH SIDE YARD: 1.87 M EXISTING
 NEW EAST SIDE YARD: 0.67 M

ESTABLISHED GRADE = (89.09 + 89.03) / 2 = 89.06

ROOF PEAK HEIGHT = 8.06 (EXISTING)

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The undersigned has reviewed and takes responsibility for this design, and the specifications and reports the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 OCEAN STAMBUK 46080
 Name: OCEAN STAMBUK
 Registration Information
 STAMBUK HOMES 106172
 Firm Name: STAMBUK HOMES

167 REYNOLDS STREET

SCALE: 1 : 100

SITE PLAN - A002

NEW TWO AND ONE STOREY ADDITION
(TO REPLACE EXISTING VINYL GARAGE)

EXISTING TWO STOREY HOUSE
TO REMAIN

OUTLINE OF PROPERTY
LINE

0.67 m NEW

3.09 NEW

SUMNER AVENUE

REYNOLDS STREET

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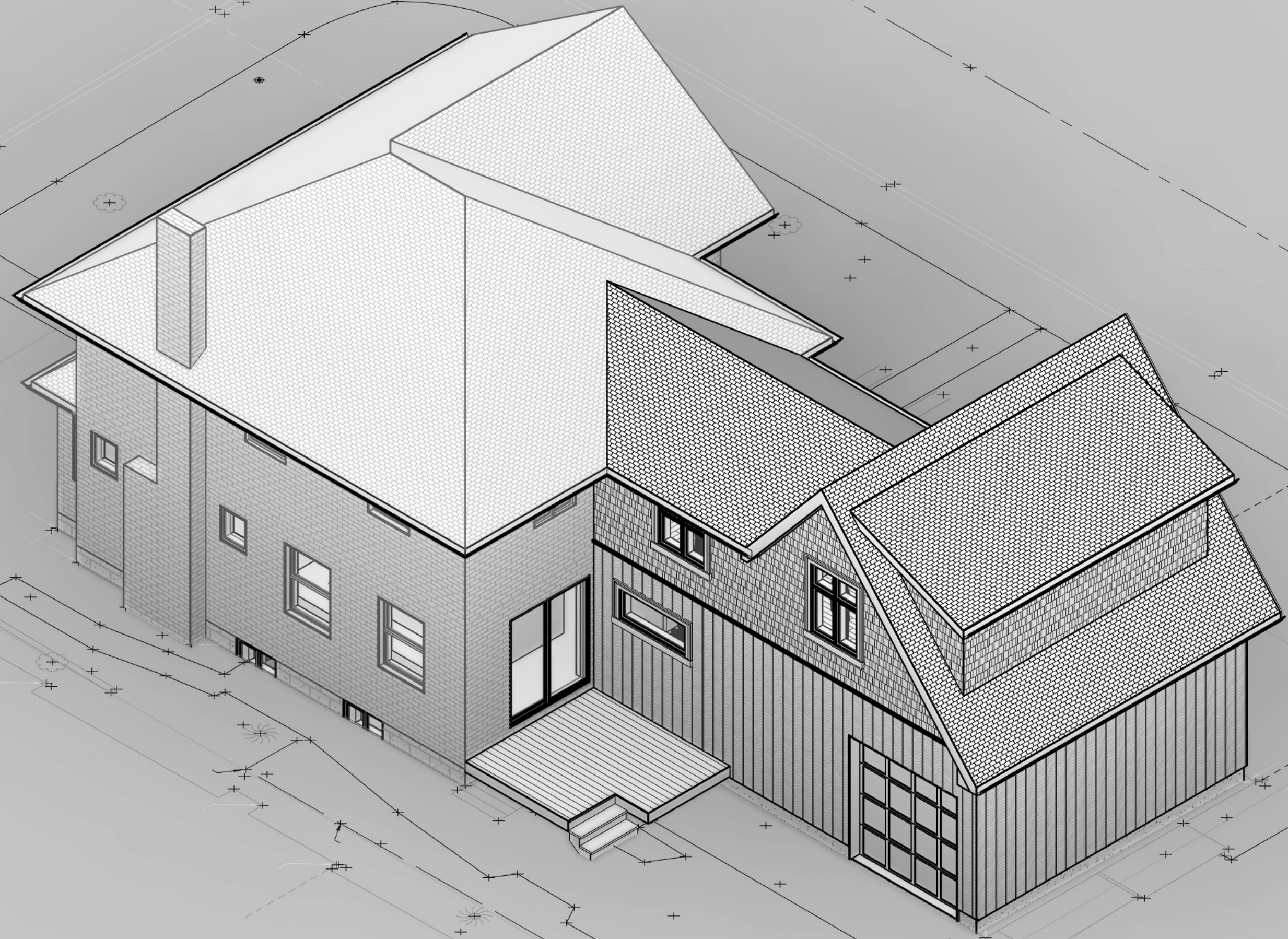
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Qualification Information	
Required unless design is exempt under Div. C-1.2.1.1 of the building code	
NAME: ODEEN STAMBUK	46080
REGISTRATION NUMBER:	
Registration Information	
Required unless design is exempt under Div. C-1.2.1.1 of the building code	
NAME: STAMBUK HOMES	106172
REGISTRATION NUMBER:	

167 REYNOLDS STREET

SCALE:

ISOMETRIC - A003



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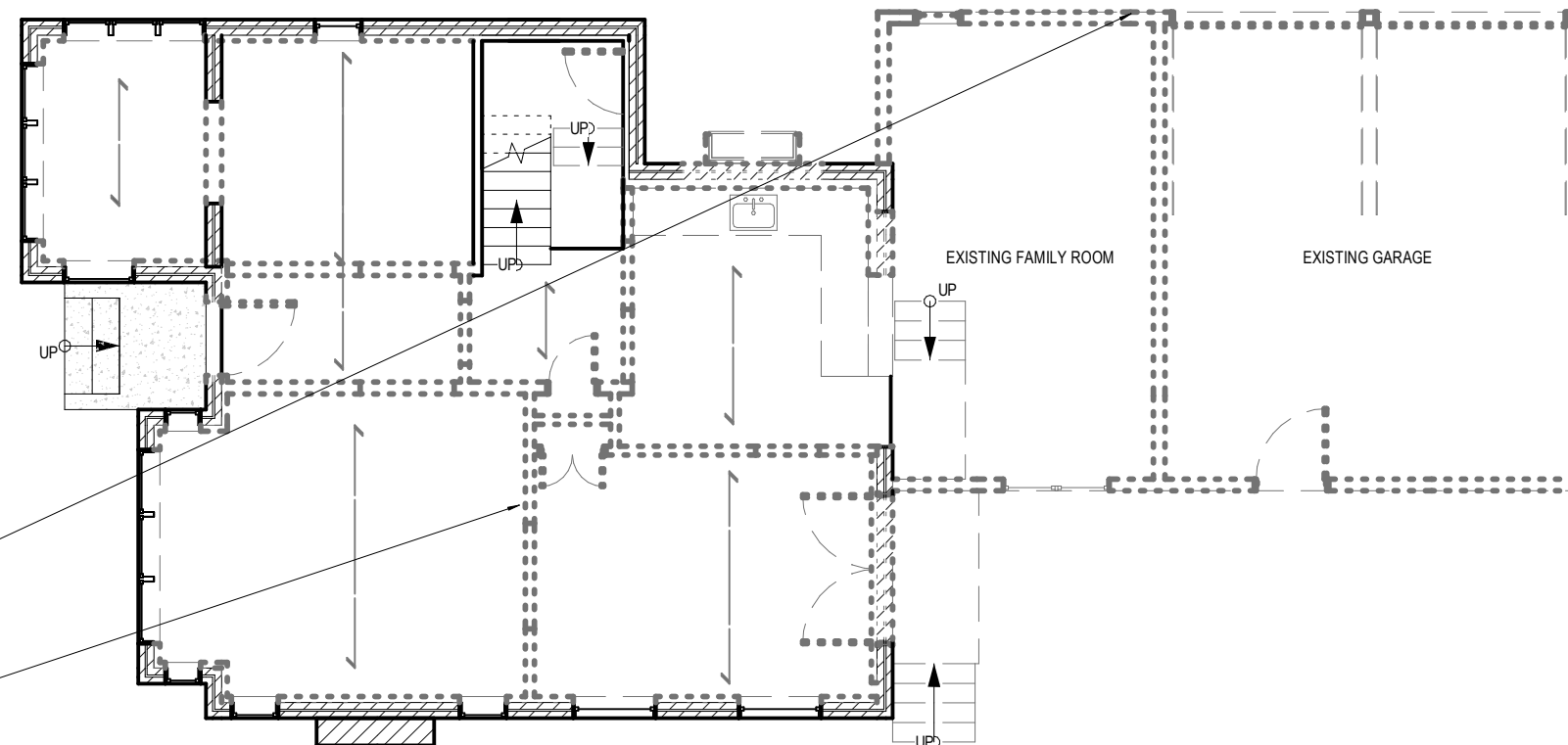
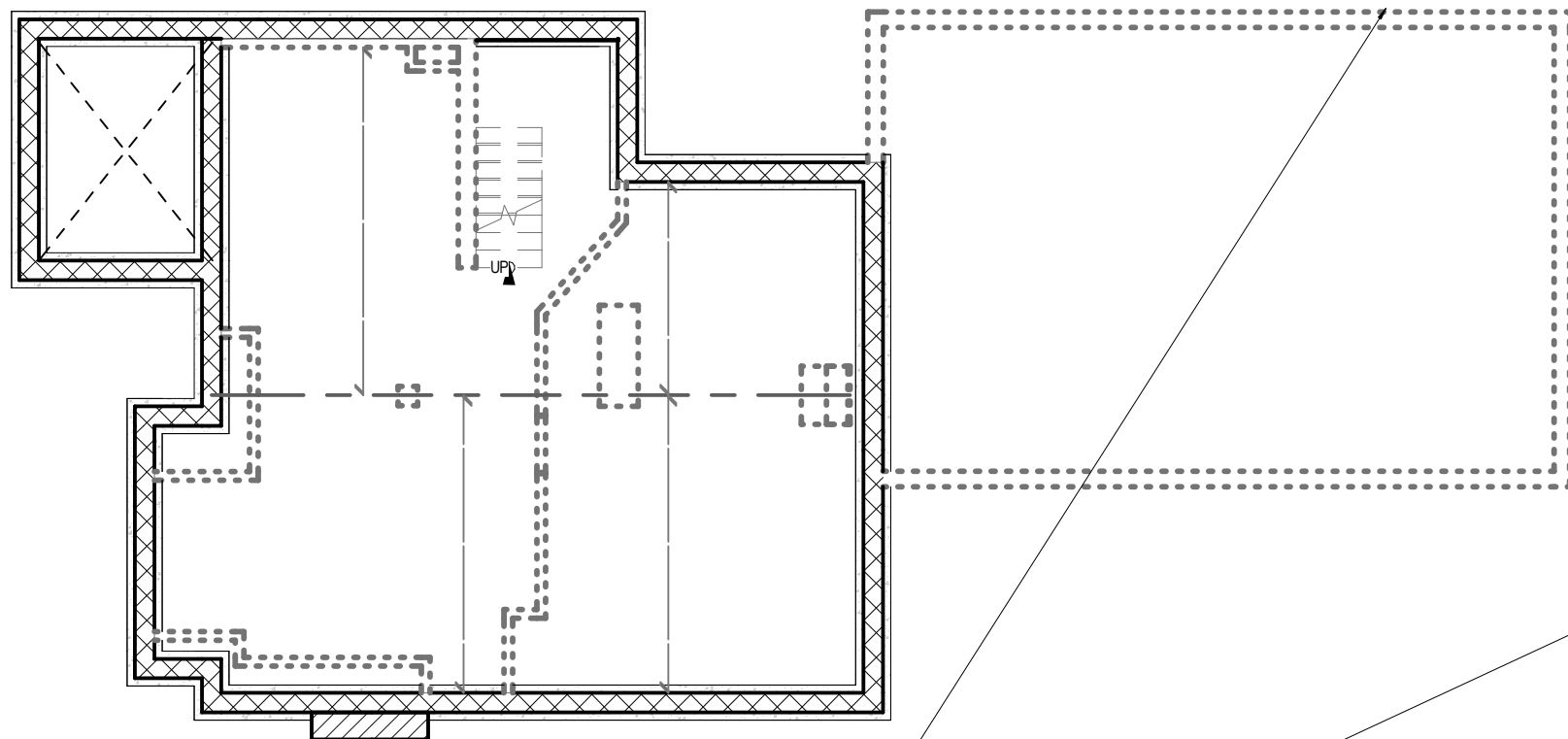
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NAME: CODYEN STAMBUK	46080
REG. NO.:	106172
Registration Information	
Required unless design is exempt under Div. C-1.2.1.1 of the building code	
NAME: STAMBUK HOMES	106172
REG. NO.:	106172

167 REYNOLDS STREET

SCALE:

ISOMETRIC 2 - A004

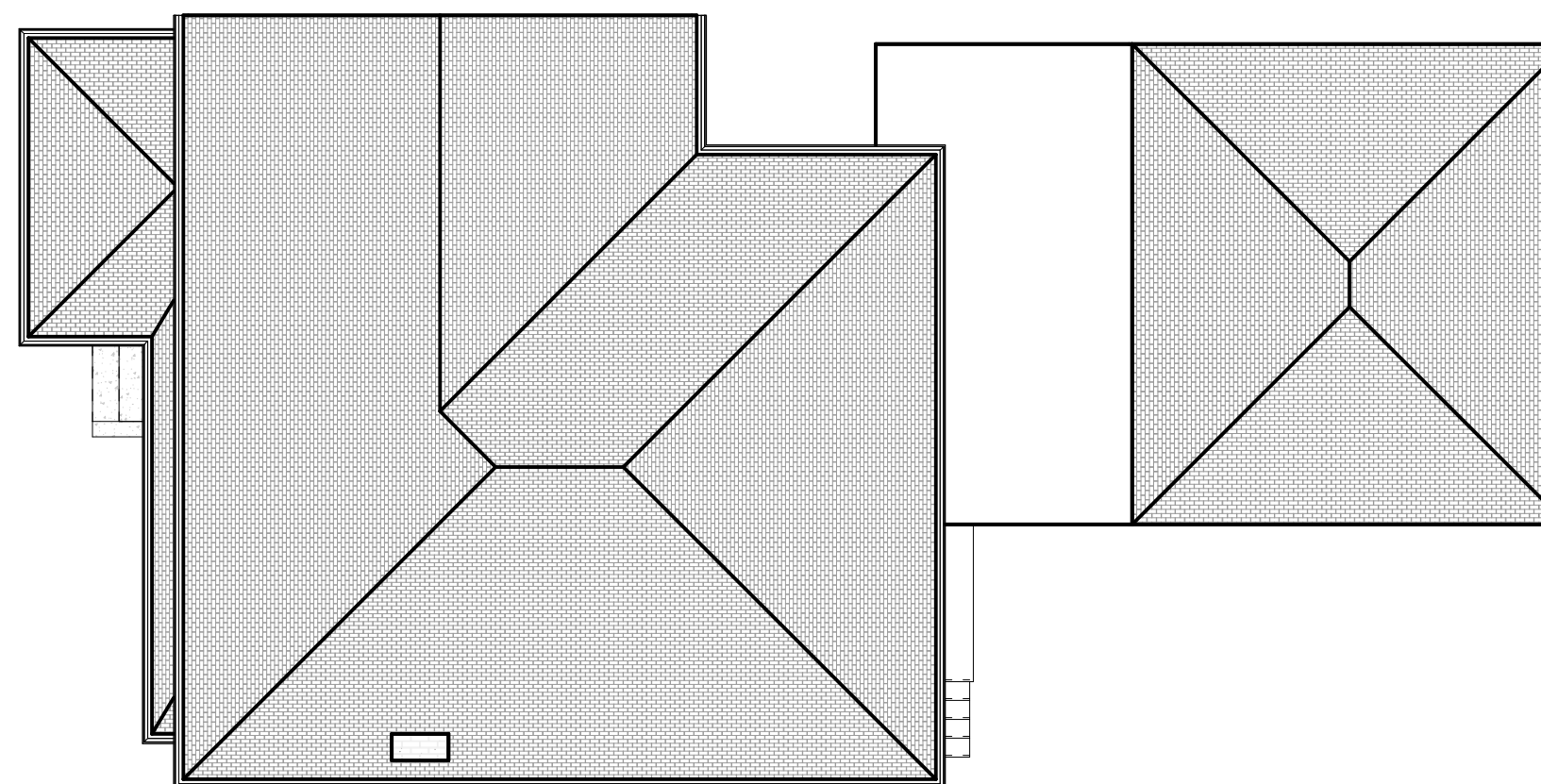
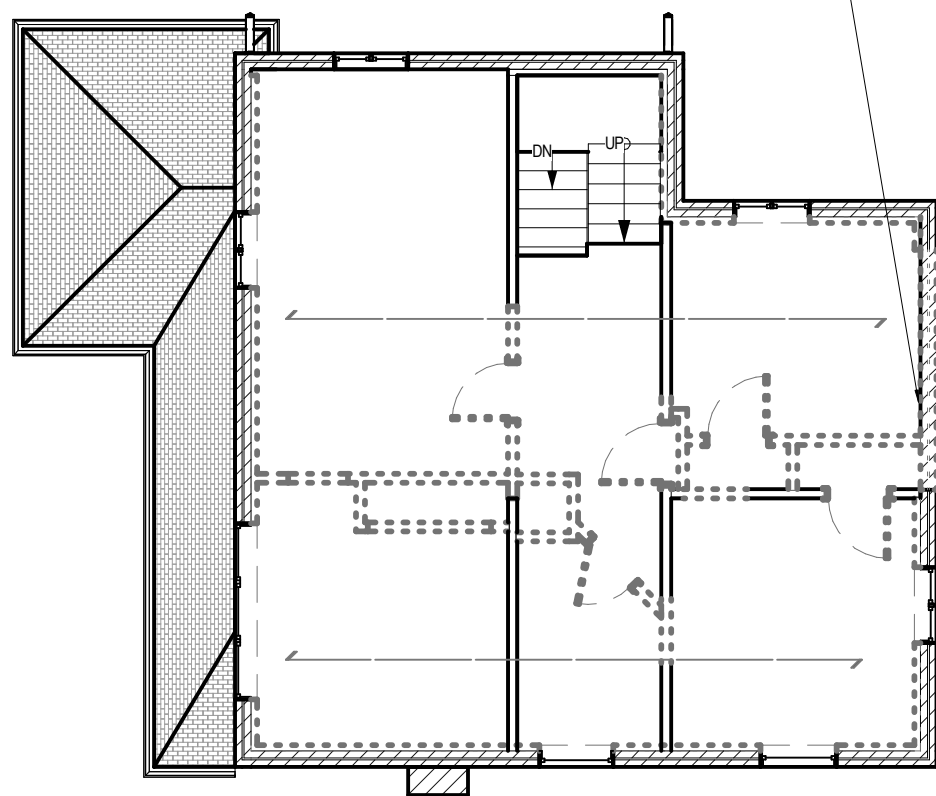


EXISTING FIRST FLOOR AREA (INCLUDING GARAGE) = 135 M SQ
EXISTING GARAGE = 56 M SQ
EXISTING SECOND FLOOR AREA = 74 M SQ

EXISTING TO BE DEMOLISHED TYP

① EX. BASEMENT
 1/8" = 1'-0"

② EXISTING FIRST FLOOR - 108.13 SQ M
 1/8" = 1'-0"



③ EXISTING SECOND FLOOR - 74.65 SQ M
 1/8" = 1'-0"

④ EX. ROOF
 1/8" = 1'-0"

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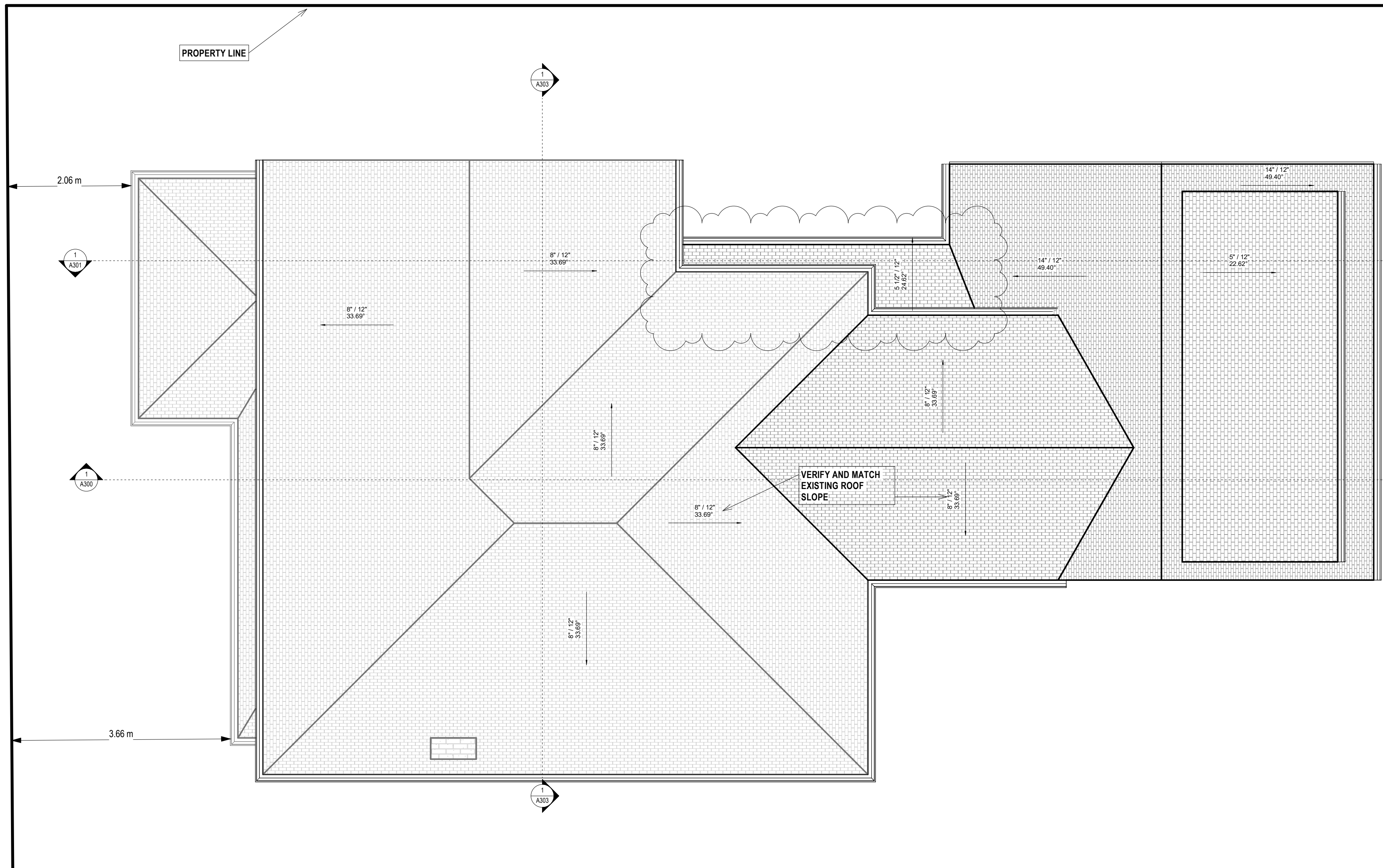
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NAME: STAMBUK	46080
Signature: [Signature]	106172
Registration Information	
Required unless design is exempt under Div. C-2.2.1.1. of the building code	
NAME: STAMBUK HOMES	106172
File Number:	106172

167 REYNOLDS STREET

SCALE: 1/8" = 1'-0"

EXISTING and DEMOLITION - A006



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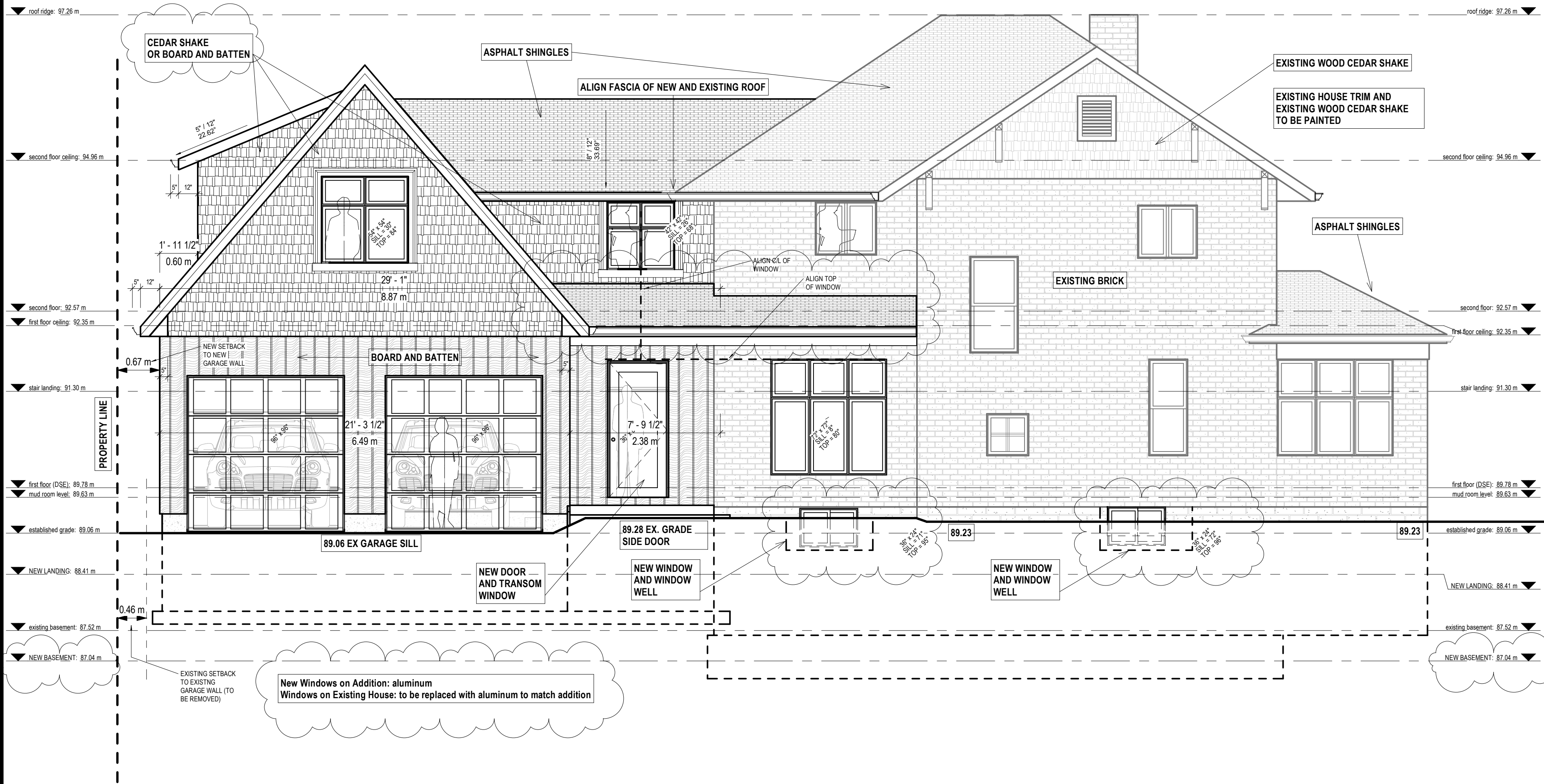
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Qualification Information	
Registered unless design is exempt under Div. C-1.2.1.1 of the building code	
Name: ODEN STAMBUK	46080
Signature: <i>[Signature]</i>	10/20
Registration Information	
Registered unless design is exempt under Div. C-1.2.1.1 of the building code	
Name: STAMBUK HOMES	106172
File Number:	10/20

167 REYNOLDS STREET

SCALE: 1/4" = 1'-0"

ROOF - A103



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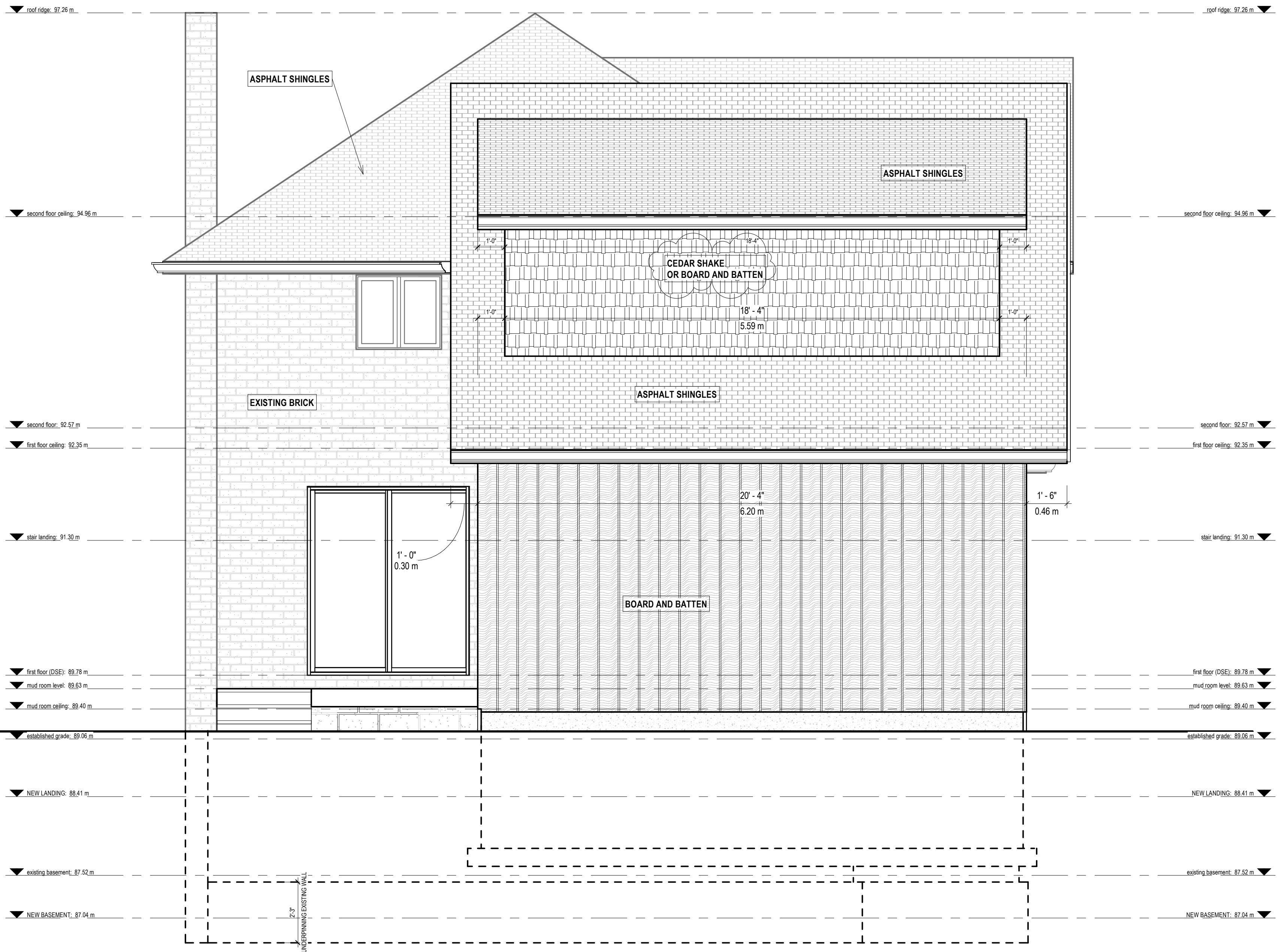
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Registration Information Registered unless design is exempt under Div. C-1.2.1.1 of the building code STAMBUK HOMES Firm Name:	106172 ID#

167 REYNOLDS STREET

SCALE: 1/4" = 1'-0"

NORTH (SUMNER AVENUE) - A200



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167 REYNOLDS STREET

SCALE: 3/8" = 1'-0"

EAST - A201



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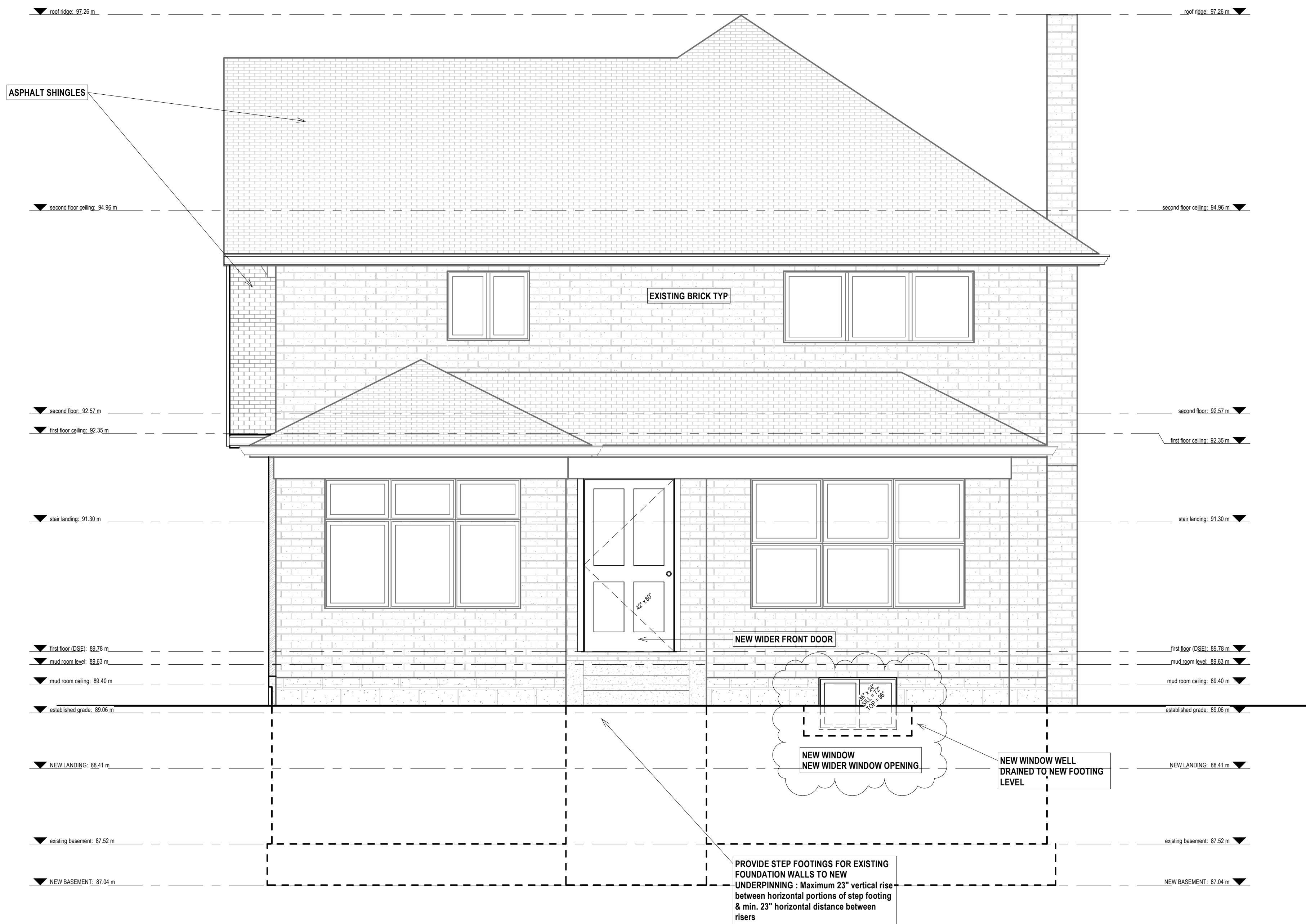
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Qualification Information Required unless design is exempt under Div. C.1.2.1.1. of the building code. OCEAN STAMBUK Name: _____ Registration Information Required unless design is exempt under Div. C.1.2.1.1. of the building code. STAMBUK HOMES Firm Name: _____ 106172 8/18/18	46080 8/18/18

167 REYNOLDS STREET

SCALE: 3/8" = 1'-0"

EAST SECTION - A201 B



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STAMBUK HOMES HAS RELIED ENTIRELY ON THE KNOWLEDGE, CALCULATIONS AND CONFIRMATIONS OF A STRUCTURAL ENGINEER TO PROVIDE THE PROPOSED STRUCTURAL INFORMATION, PLANS AND / OR SPECIFICATIONS.

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ANY SITE AND PROPERTY INFORMATION IS TAKEN FROM THE SURVEY ATTACHED TO THESE DRAWINGS.

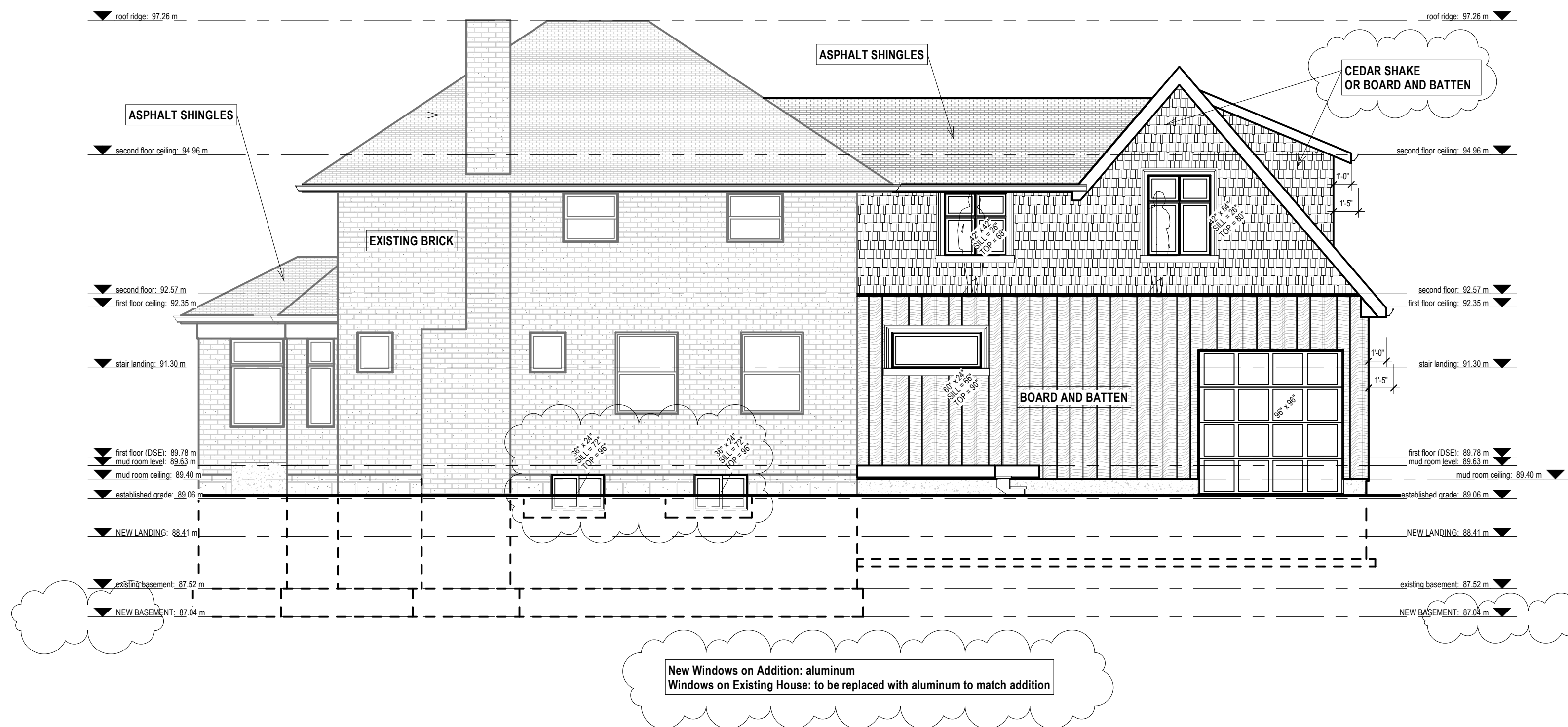
The undersigned has reviewed and takes responsibility for this design, and the specifications and reports the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 Registered unless design is exempt under Div. C-1.2.1.1 of the building code
 OCEAN STAMBUK 46080
 Name Signature
Registration Information
 Registered unless design is exempt under Div. C-1.2.1.1 of the building code
 STAMBUK HOMES 106172
 Firm Name No. of Lic.

167 REYNOLDS STREET

SCALE: 3/8" = 1'-0"

WEST (REYNOLDS AVENUE) - A202



WHOEVER SHALL USE THESE DRAWINGS TO CONSTRUCT AND / OR DEMOLISH THE PROPOSED WORK SHALL CHECK AND VERIFY ALL RELEVANT DIMENSIONS, EXISTING STRUCTURAL ASSUMPTIONS AND SITE CONDITIONS PRIOR TO ENTERING INTO ANY CONTRACTS OR START OF ANY WORK AND SHALL NOTIFY STAMBUK HOMES OF ANY DISCREPANCIES TO THE PLANS.

STAMBUK HOMES HAS RELIED ON THE AUTHORITIES HAVING JURISDICTION TO REVIEW, APPROVE AND ISSUE A BUILDING PERMIT FOR ALL PROPOSED WORK SHOWN ON THESE DRAWINGS

STAMBUK HOMES HAS RELIED ENTIRELY ON THE KNOWLEDGE, CALCULATIONS AND CONFIRMATIONS OF A STRUCTURAL ENGINEER TO PROVIDE THE PROPOSED STRUCTURAL INFORMATION, PLANS AND / OR SPECIFICATIONS.

CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE 2012 AND ALL MINISTRY OF LABOUR SAFETY REQUIREMENTS AND MUNICIPAL ZONING REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.

ANY SITE AND PROPERTY INFORMATION IS TAKEN FROM THE SURVEY ATTACHED TO THESE DRAWINGS.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.	
Qualification Information Registered unless design is exempt under Div. C-1.2.1.1 of the building code OCEAN STAMBUK Name:  Registration Number: 46080 OCE	Registration Information Registered unless design is exempt under Div. C-1.2.1.1 of the building code STAMBUK HOMES Firm Name: _____ Registration Number: 106172 OCE

167 REYNOLDS STREET

SCALE: 3/16" = 1'-0"

SOUTH (back) - A203

ASSOCIATION OF ONTARIO
LAND SURVEYORS
25,49 CUMBERLAND ST. W.
V-26856

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

REYNOLDS STREET
(BY REGISTERED PLAN 34)

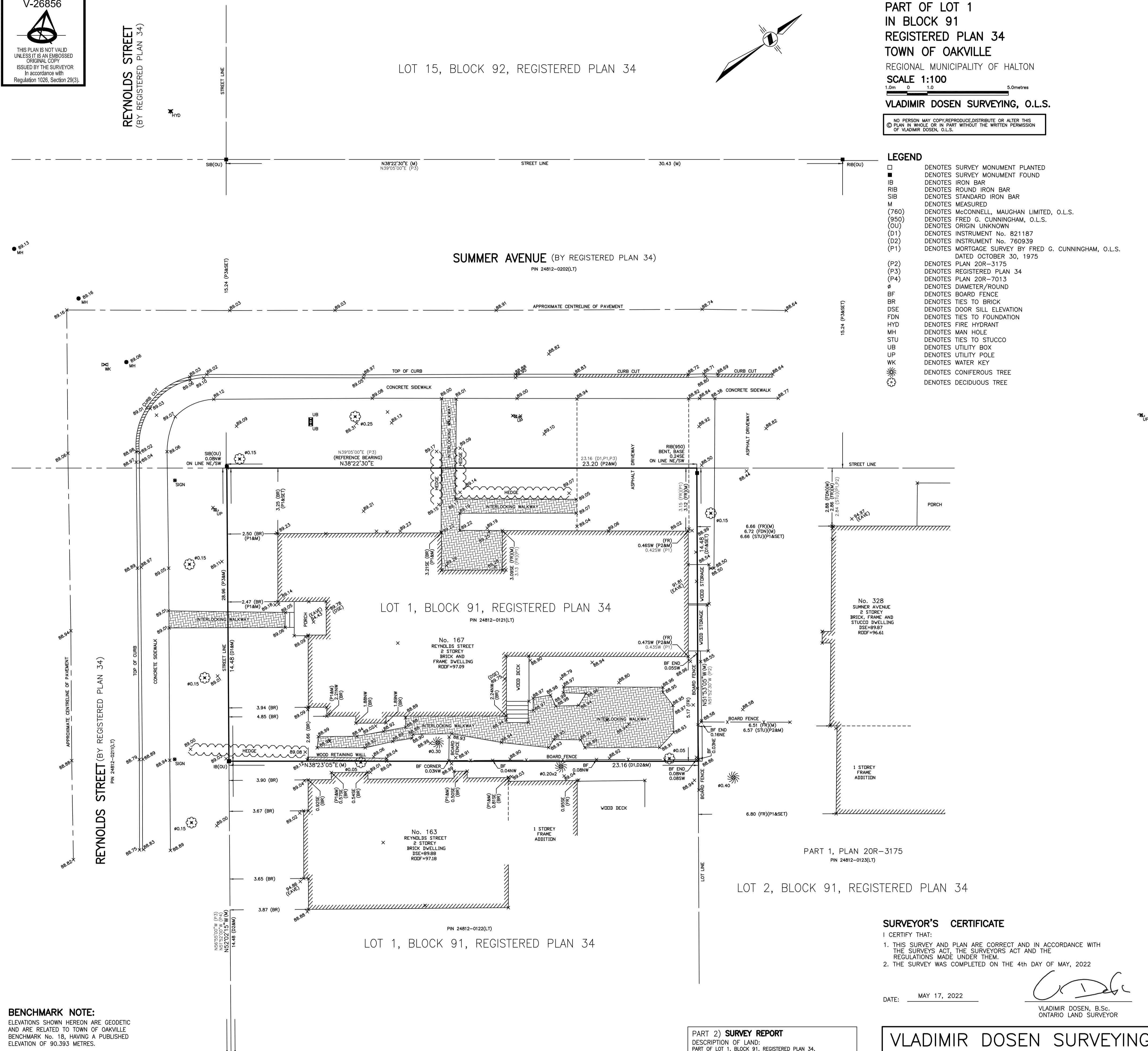
LOT 15, BLOCK 92, REGISTERED PLAN 34

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
PART OF LOT 1
IN BLOCK 91
REGISTERED PLAN 34
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON
SCALE 1:100
1.0m 0 1.0 5.0metres
VLADIMIR DOSEN SURVEYING, O.L.S.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF VLADIMIR DOSEN, O.L.S.

LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- IB DENOTES IRON BAR
- RIB DENOTES ROUND IRON BAR
- SIB DENOTES STANDARD IRON BAR
- M DENOTES MEASURED
- (760) DENOTES MCCONNELL, MAUGHAN LIMITED, O.L.S.
- (950) DENOTES FRED G. CUNNINGHAM, O.L.S.
- (CU) DENOTES ORIGIN UNKNOWN
- (D1) DENOTES INSTRUMENT No. 821187
- (D2) DENOTES INSTRUMENT No. 760939
- (P1) DENOTES MORTGAGE SURVEY BY FRED G. CUNNINGHAM, O.L.S. DATED OCTOBER 30, 1975
- (P2) DENOTES PLAN 20R-3175
- (P3) DENOTES REGISTERED PLAN 34
- (P4) DENOTES PLAN 20R-7013
- ⊙ DENOTES DIAMETER/ROUND
- BF DENOTES BOARD FENCE
- BR DENOTES TIES TO BRICK
- DSE DENOTES DOOR SILL ELEVATION
- FDN DENOTES TIES TO FOUNDATION
- HYD DENOTES FIRE HYDRANT
- MH DENOTES MAN HOLE
- STU DENOTES TIES TO STUCCO
- UB DENOTES UTILITY BOX
- UP DENOTES UTILITY POLE
- WK DENOTES WATER KEY
- ⊙ DENOTES CONIFEROUS TREE
- ⊙ DENOTES DECIDUOUS TREE



BENCHMARK NOTE:
ELEVATIONS SHOWN HEREON ARE GEODETIC
AND ARE RELATED TO TOWN OF OAKVILLE
BENCHMARK No. 18, HAVING A PUBLISHED
ELEVATION OF 90.993 METRES.

BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE
DERIVED FROM THE SOUTHEASTERLY
LIMIT OF SUMMER AVENUE, AS SHOWN
ON PLAN 20R-3175, HAVING
A BEARING OF N38°22'30\"/>

THIS REPORT WAS PREPARED FOR
JOSEPH BROKALAKIS
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES

PART 2) SURVEY REPORT
DESCRIPTION OF LAND:
PART OF LOT 1, BLOCK 91, REGISTERED PLAN 34,
PIN 24812-0121(LT).
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
NONE.
BOUNDARY FEATURES:
POSITION OF FENCES AS SHOWN ON PLAN.
NOTE THE POSITION OF WOOD STORAGE.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS.

SURVEYOR'S CERTIFICATE

1. I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 4th DAY OF MAY, 2022

DATE: MAY 17, 2022

Vladimir Dosen
VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS
555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

JOB No: 22165	FIELD BY: BN
FILE: 22-044	DRAWN BY: AT
CAD FILE: 167 REYNOLDS STREET	CHECKED BY: VD

Committee of Adjustment
Town of Oakville
1225 Trafalgar Road
Oakville, ON
L6H 0H3

RE: Minor Variance Application, 167 Reynolds Street

To Whom It May Concern:

We are the Owners of 167 Reynolds Street, Oakville. This property is zoned RL4-0. This letter outlines the request to add a roof over the mudroom door on Sumner Avenue. Our design proposes to provide a shelter for the door to mitigate rain and snow build up and hazardous conditions at the door. Below is proposed variance and rationale.

Zoning Bylaw 2014-014 Section 6.4.2

The maximum lot coverage shall be 35% of the lot.

The existing coverage is 42.3%

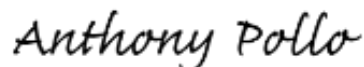
The approved coverage is 40.22% (CAV A/205/2022-Amended)

Proposed: 42%

The existing lot coverage is existing non-conforming. We are seeking to add 1.88% to the previously approved lot coverage but are still under the existing lot coverage. In our previously approved application (CAV A/205/2022-Amended), we worked closely with the Town to ensure the proposed replacement of the addition maintains the coverage of the existing addition and improves the setbacks to the neighboring dwelling, particularly on east and west elevations. The addition has been stepped at both floor levels and includes multiple single storey elements to reduce the impact of additional GAF. We believe that the added roof in this variance request provides shelter to the mudroom door that mitigates hazards caused by snow build up and rain.

As such, the proposed addition does not present any negative impacts to the neighbours nor result in the dwelling appearing larger than other homes in the Neighbourhood.

Thank you for your consideration.



Anthony Pollo
Property Owner
167 Reynolds Street, Oakville Ontario

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/137/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at oakville.ca on September 18, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
A. Henaine	Alex Blanchard Carrothers and Associates 505 YORK Blvd 3 Hamilton ON, CANADA L8R 3K4	400 Pinegrove Rd PLAN 835 LOT 16

Zoning of Property: RL3-0, Residential

Variance Request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a new two-storey detached dwelling proposing the following variance(s) to Zoning By-law 2014-014:

No.	Current	Proposed
1.	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m ² and 742.99 m ² shall be 41%.	To increase the maximum residential floor area ratio to 45.15%.
2.	<i>Section 6.4.2 (Row RL3, Column 3)</i> The maximum lot coverage shall be 35% where the detached dwelling is greater than 7.0 metres in height.	To increase the maximum lot coverage to 36.2%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments

regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

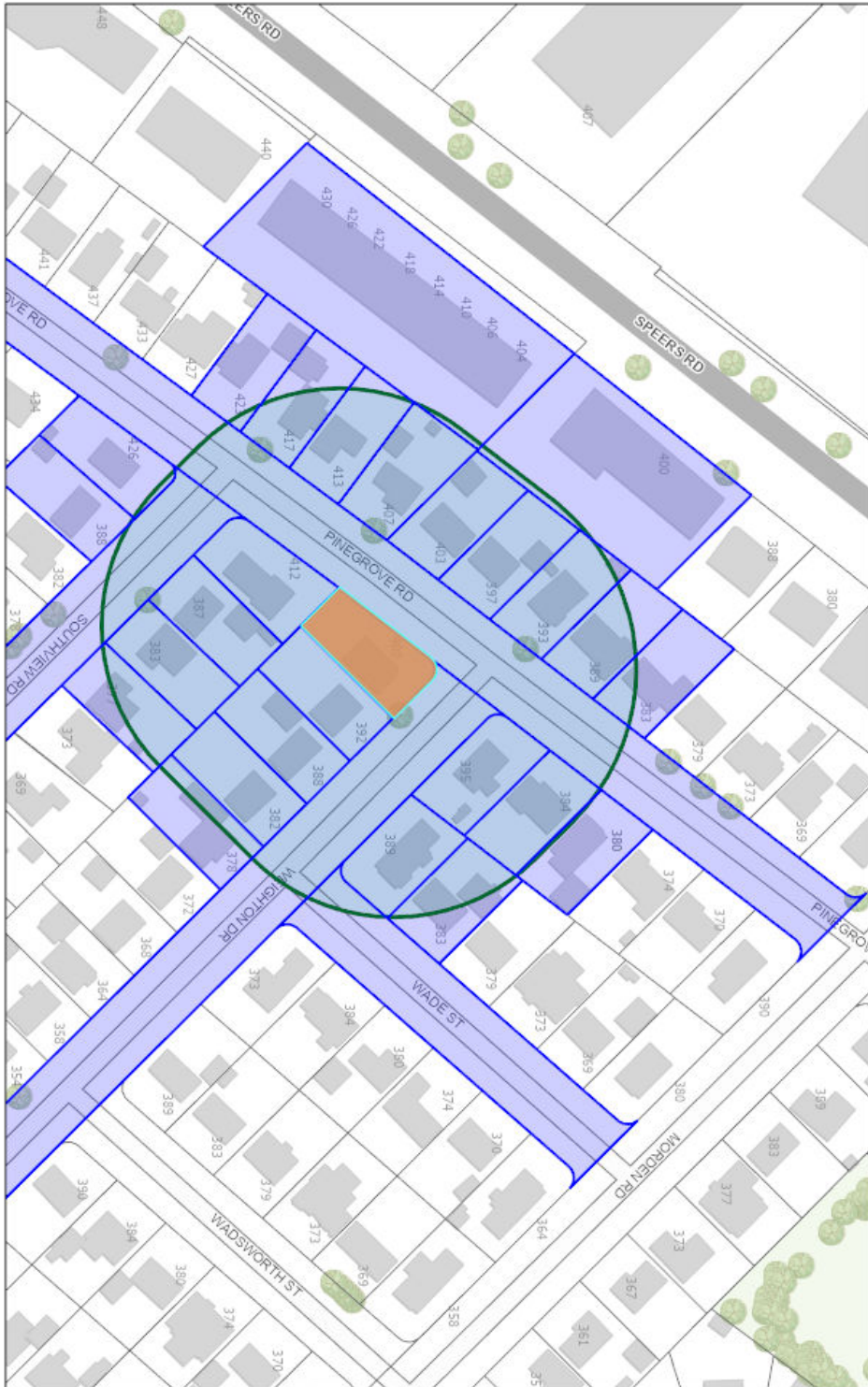
Contact information:

Jennifer Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

September 03, 2024

CAV A/137/2024- 400 Pinegrove Road



8/28/2024, 1:52:01 PM



Ownership



Wards



Applicant Name Address



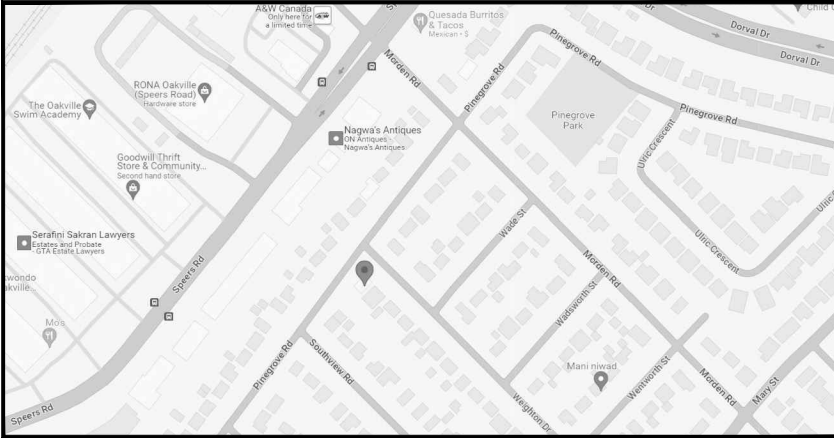
Town of Oakville
2021 Town of Oakville

PRIVATE RESIDENCE

NEW CUSTOM SINGLE FAMILY DWELLING

400 PINEGROVE ROAD, OAKVILLE, ONTARIO, L6K 2B8

ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:

AREA CALCULATIONS	
BASEMENT	= 2206.6 sqft (205.0 m2)
MAIN FLOOR PLAN	= 1872.1 sqft (173.9 m2)
SECOND FLOOR PLAN	= 1676.8 sqft (155.7 m2)
TOTAL GFA	= 3548.9 sqft (329.7 m2)
FOOTPRINT	= 2381.3 sqft (221.2 m2)
GARAGE	= 484.0 sqft (45.0 m2)
FRONT PORCH	= 50.5 sqft (4.7 m2)
REAR PORCH	= 285.4 sqft (26.5 m2)



NEW ELEVATION (FOR REFERENCE ONLY):

ZONING AND PROPERTY STATISTICS		
ADDRESS:	400 PINEGROVE ROAD, OAKVILLE, ON.	
ZONING:	RL3-0	
	BY-LAW:	EXISTING:
MIN. LOT AREA:	557.5 m ²	730.29 m ²
MIN. FRONTAGE:	18.0 m	20.38 m

SETBACKS	BY-LAW:	PROPOSED:
FRONT YARD TO HOUSE	8.13 m	9.00 m
REAR YARD TO HOUSE	7.5 m	8.59 m
FLANKAGE YARD TO HOUSE [MAIN FLOOR]	3.5 m	3.66 m
SIDE YARD HOUSE [MAIN FLOOR]	1.2 m	1.70 m
MAX. BUILDING HEIGHT	9.0 m	8.81 m
GARAGE PROJECTION	1.5 m	1.21 m
PARKING SPACES	2	2

FLOOR AREA RATIO	BY-LAW:	PROPOSED:
BASEMENT FLOOR [NOT INCLUDED]		205.0 m ²
GARAGE [NOT INCLUDED]	45.0 m ²	45.0 m ²
MAIN FLOOR		173.9 m ²
SECOND FLOOR		155.7 m ²
TOTAL GFA :	299.4 m ² 41%	329.7 m² **45.15%
**VARIANCE REQUIRED		

LOT COVERAGE	AREA:	PERCENTAGE:
BUILDING FOOTPRINT [GARAGE INCLUDED]	221.2 m ²	30.3 %
COVERED PORCH	4.7 m ²	0.6 %
COVERED TERRACE	26.5 m ²	3.6 %
PROJECTIONS > 0.6m	11.7 m ²	1.6 %
BASEMENT WALKOUT [NOT INCLUDED]	7.1 m ²	1.0 %
TOTAL PROPOSED COVERAGE:	264.1 m²	36.2%
MAX. COVERAGE ALLOWED:	255.68 m ²	35.0 %
**VARIANCE REQUIRED		

<h1>ISSUED FOR COMMITTEE OF ADJUSTMENT</h1>	Project Name: PRIVATE RESIDENCE NEW CUSTOM SINGLE FAMILY DWELLING 400 PINEGROVE RD OAKVILLE, ON. L6K 2B8	Drawn By: Checked By: Scale: N.T.S. Date: AUGUST 2024 Project No. 2022-93
	Sheet Title: COVER PAGE	<h1>A1</h1>
	1 AUG 09/24 ISSUED FOR MINOR VARIANCE No. Date: Issue/Revision By:	

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

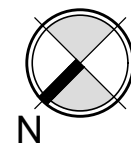
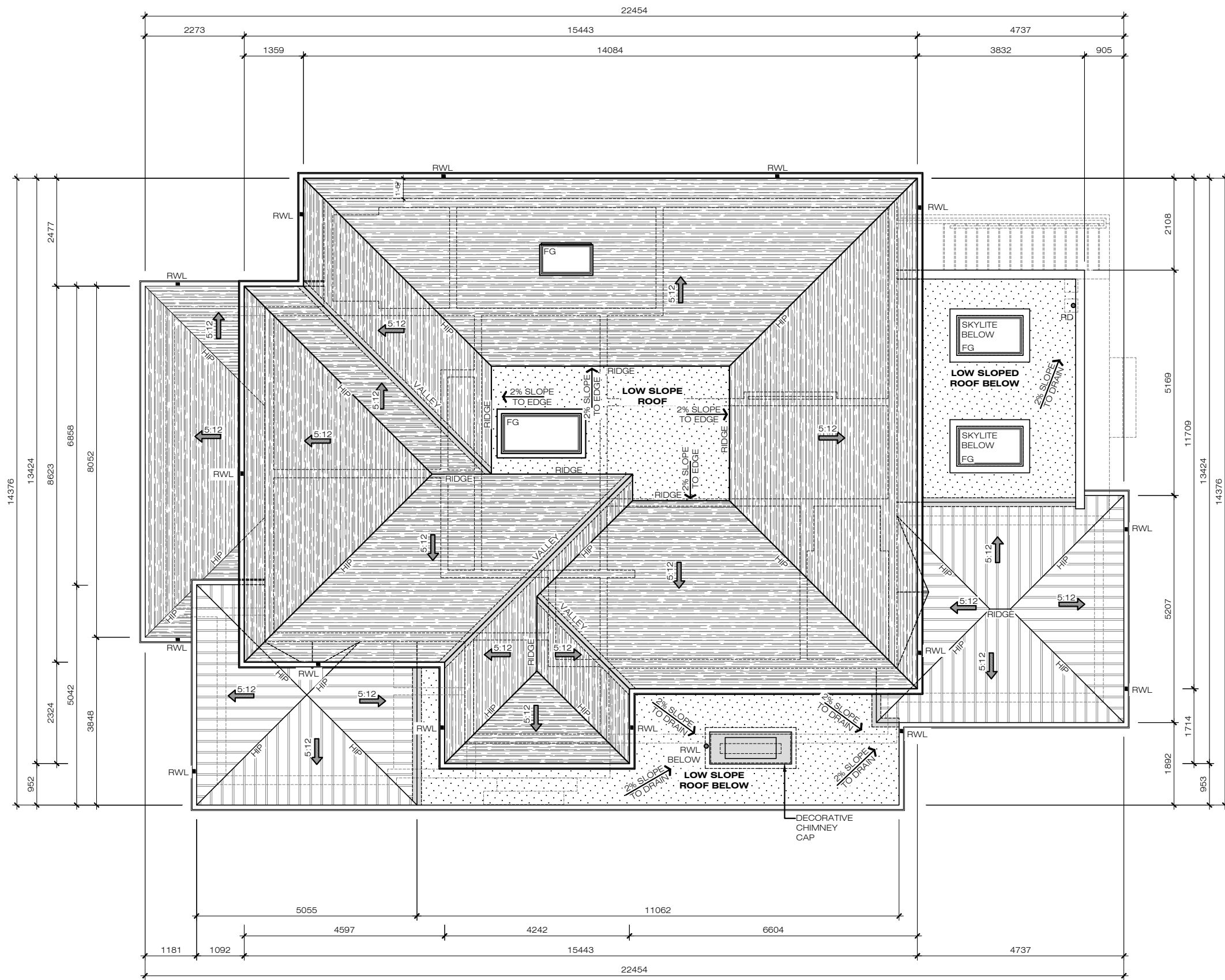
Roof Plan

Project Name
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
400 PINEGROVE RD
OAKVILLE, ON L6K 2B8

No.	Date	Issued For / Revised
1	AUG 09/24	ISSUED FOR MINOR VARIANCE

Drawn By:
Checked By:
Scale: 1:100
Date: AUGUST 2024
Project No: 2022-93

A5



ROOF PLAN

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

FRONT ELEVATION

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
400 PINEGROVE RD
OAKVILLE, ON L6K 2B8

No.	Date	Issued For
1	AUG 09/24	ISSUED FOR MINOR VARIANCE

Drawn By:	Checked By:
Scale:	1:100
Date:	AUGUST 2024
Project No.:	2022-93

A6



FRONT ELEVATION

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

RIGHT SIDE ELEVATION

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
400 PINEGROVE RD
OAKVILLE, ON L6K 2B8

No.	Date	Issued For
1	AUG 09/24	ISSUED FOR MINOR VARIANCE

Drawn By:	Checked By:	Scale:
By:		1:100
		Date:
		AUGUST 2024
		Project No.:
		2022-93

A7



RIGHT SIDE ELEVATION

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

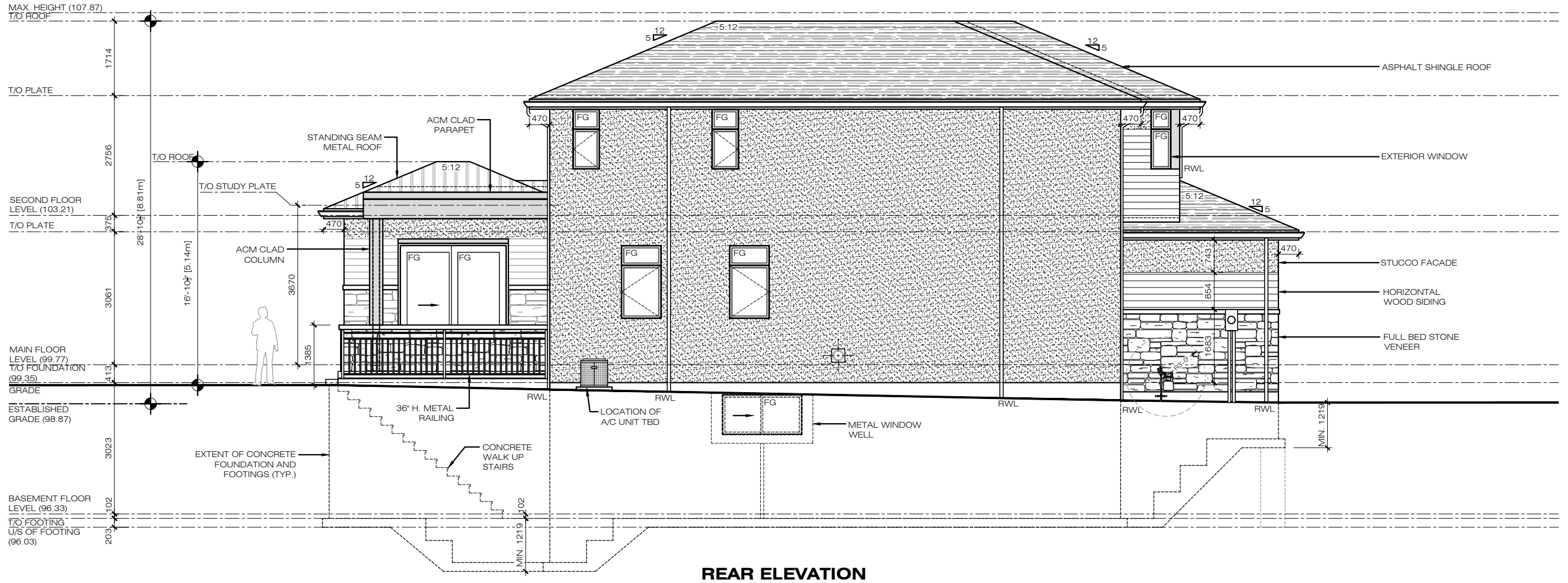
REAR ELEVATION

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
400 PINEGROVE RD
OAKVILLE, ON L6K 2B8

No.	Date	Issued For
1	AUG 09/24	ISSUED FOR MINOR VARIANCE

Drawn By:
Checked By:
Scale: 1:100
Date: AUGUST 2024
Project No.: 2022-93

A8



ISSUED FOR
COMMITTEE OF
ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
400 PINEGROVE RD
OAKVILLE, ON L6K 2B8

Sheet Title:
LEFT SIDE ELEVATION

No.	Date	Issued For
1	AUG 09/24	ISSUED FOR MINOR VARIANCE

Drawn By:	Checked By:
Scale:	1:100
Date:	AUGUST 2024
Project No.:	2022-93

A9



LEFT SIDE ELEVATION

TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERRECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORCULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
- GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ) AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.

TREE HOARDING
NOT TO SCALE

NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW, THE TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCES REQUIRED
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

- DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
- TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT

- MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
- RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND CURB.

(B) GENERAL NOTES

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE ARE NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
- WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

EROSION AND SILTATION NOTES

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
 - WEEKLY
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING-- NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS (REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW AN PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

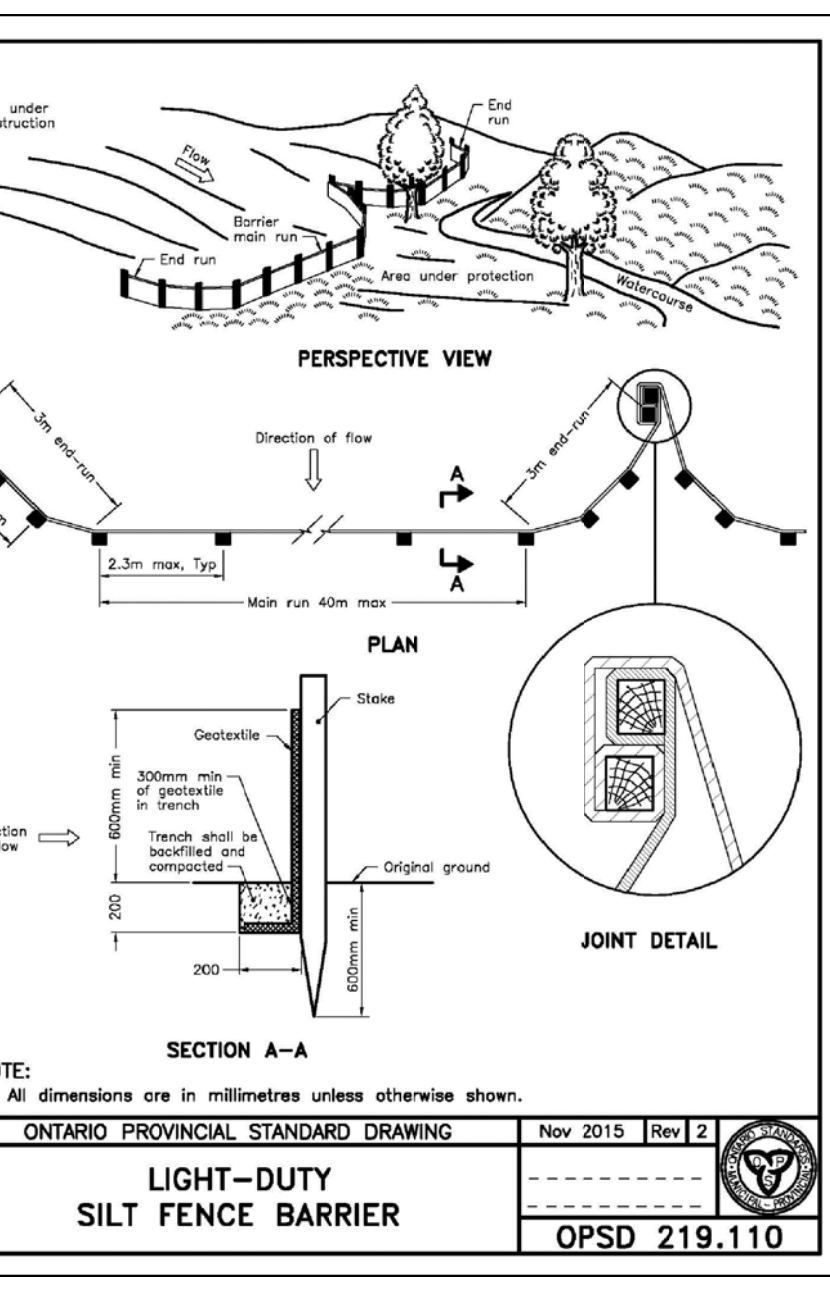
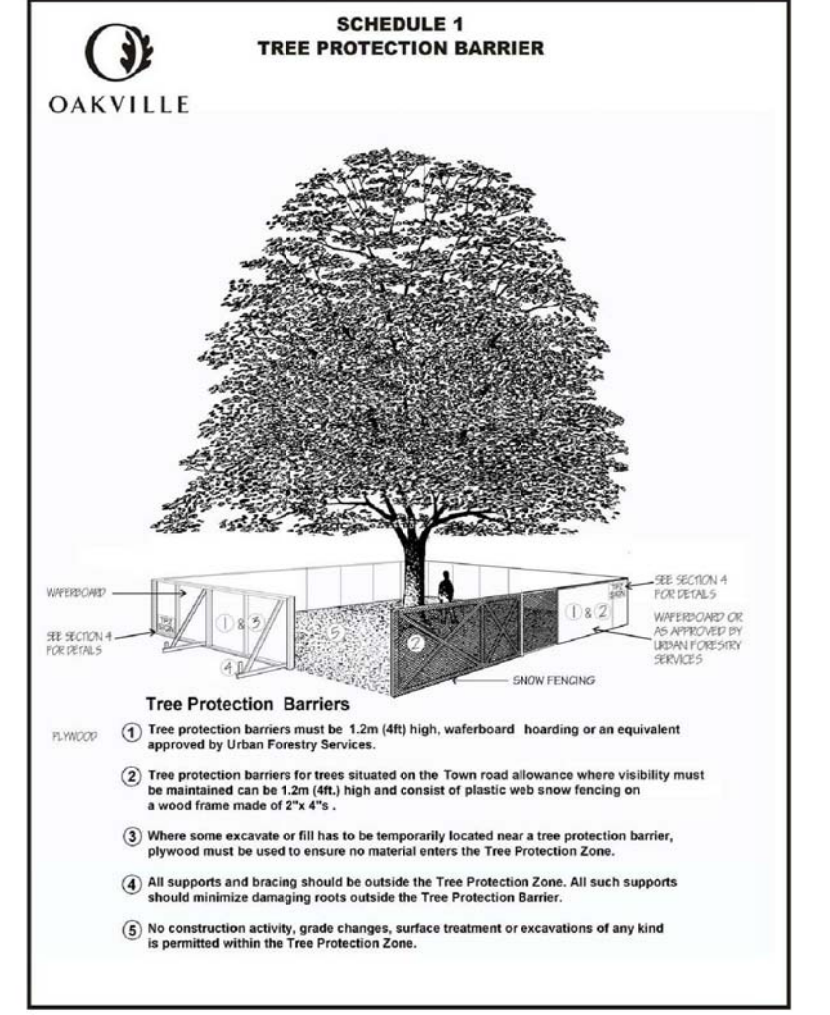
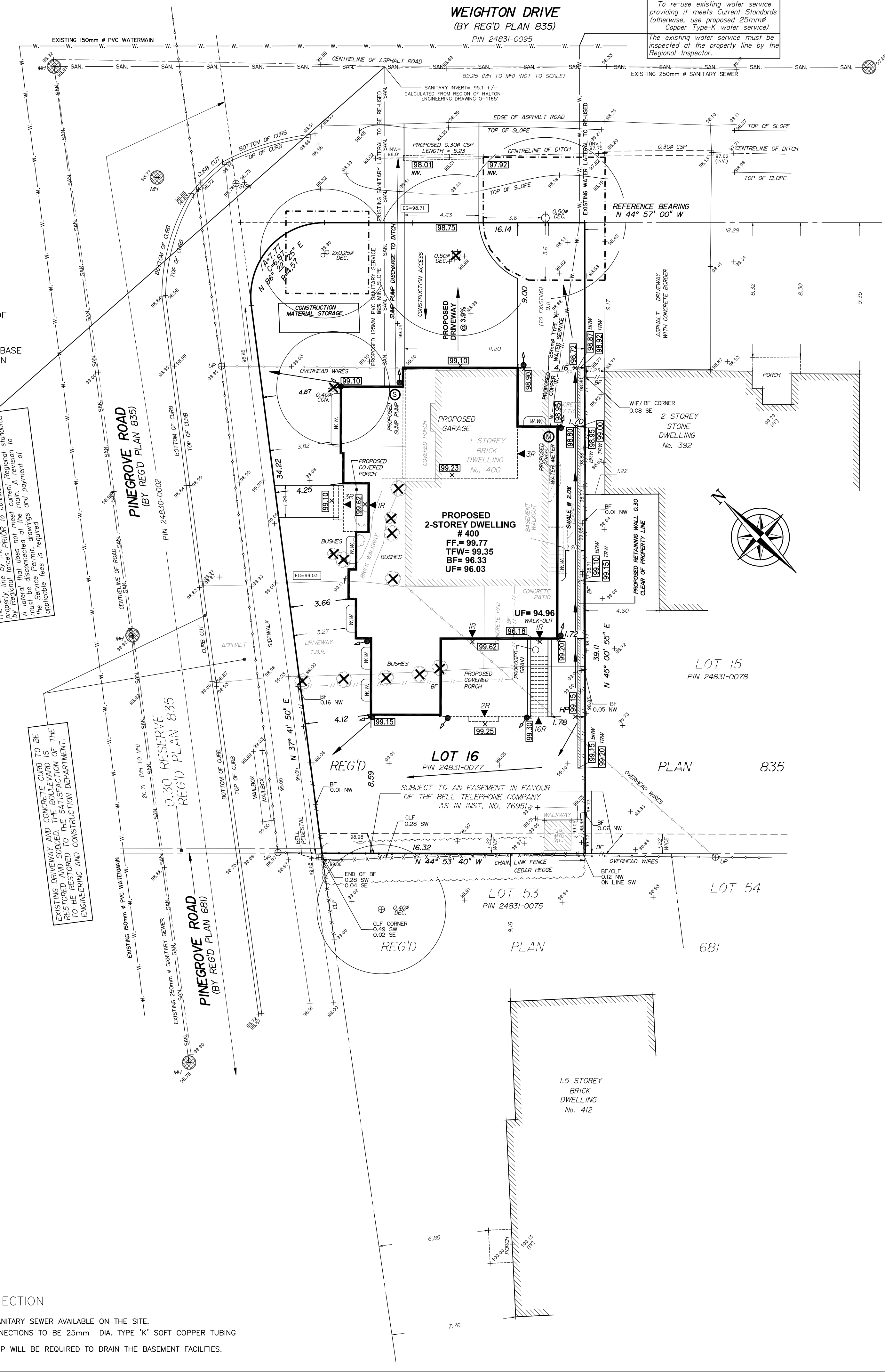
(C) UTILITIES CONNECTION

- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
- WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE "K" SOFT COPPER TUBING
- STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

WEIGHTON DRIVE (BY REG'D PLAN 835)

PIN 24831-0095

To re-use existing water service providing it meets Current Standards (otherwise, use proposed 25mm# Copper Type-K water service)
The existing water service must be inspected at the property line by the Regional Inspector.



NOTE
EAVES DO NOT PROJECT MORE THAN 0.60M INTO PROPOSED SETBACKS.

All NEW water and sanitary main taps are to be performed by Region of Halton forces only

NOTE
DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

NOTE
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 400 PINEGROVE ROAD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADEMENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

AS PER ORC 9.4.6.1(i) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

NOTE
THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE DITCH, COMPLETE WITH BACKFLOW PREVENTER.

NOTE
Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-11651
The contractor must verify inverts.

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102 Oakville, Ont, L6K 3W4
office@jhgsurveying.ca
Phone: (905) 338-8210

Project: 21-338
Checked By: A.M.
Drawn By: M.K.
Party Chief: ----



SITE, GRADING & SERVICING PLAN

**LOT 16
REGISTERED PLAN 835
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON**

SCALE 1:150

J.H. Gelbloom Surveying Limited
Ontario Land Surveyor
2024

METRIC
Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED (METERS)	ACTUAL OR PROPOSED (METERS)
OAKVILLE BY-LAW	2014-014	
ZONING DESIGNATION	R3-3-O	
LOT AREA (MAXIMUM)	537.50 SQ.M.	730.29 SQ.M.
LOT FRONTAGE (MINIMUM)	18.00	20.59
LOT COVERAGE (MAXIMUM)	255.60 SQ.M.	264.06 SQ.M.*
LOT COVERAGE % (MAXIMUM)	35.0%	36.16%*
RFA MAXIMUM	299.42 SQ.M.	329.70 SQ.M.*
RFA/LOT RATIO (MAXIMUM)	41.0%	45.15%*
FRONT YARD SETBACK (MINIMUM)	8.11	9.00
SIDE YARD SETBACK (MINIMUM)	1.20 & 3.50	1.70 & 3.66
REAR YARD SETBACK (MINIMUM)	7.50	8.59
OVERALL HEIGHT	9.00	8.81

SUBJECT TO COMMITTEE OF ADJUSTMENTS FILE NO.

SITE ADDRESS
400 PINEGROVE ROAD
OAKVILLE, ONTARIO

EDDIE HENNAIE
110 CUMBERLAND STREET
TORONTO, ONTARIO

No.	Date	Description	By
1	JUNE 6, 2024	SITE & GRADING	M.K.
2	JULY 22, 2024	REVISED COVERAGE	R.H.
3			

REVISIONS

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S., DATED: JANUARY 6, 2022

BENCHMARK
Elevations are referred to the Town of Oakville Benchmark No. 9 having an Elevation of 91,131.2 m.

SURVEYOR'S CERTIFICATE
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 400 PINEGROVE ROAD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADEMENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

AS PER ORC 9.4.6.1(i) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

OPSD 219.110

August 12, 2024
DATE

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102 Oakville, Ont, L6K 3W4
office@jhgsurveying.ca
Phone: (905) 338-8210

Project: 21-338
Checked By: A.M.
Drawn By: M.K.
Party Chief: ----

August 12, 2024

Committee of Adjustment – Planning Services

Town of Oakville 1225 Trafalgar Road, Oakville. On. L6H 0H3

Attn: Heather McCrae, Secretary Treasurer

Project Address: 400 Pinegrove Road, Oakville, Ontario.

Carrothers and Associates Inc. are the consultants to Abdulhalim Henaine (the owner) of the lands municipally known as 400 Pinegrove Road, Oakville, Ontario. On behalf of the owner, we are pleased to provide this submission letter to provide further information for item #10 on page 5 of the 2024 Minor Variance application.

1. Why is the variance(s) minor in nature:

The minor variances will facilitate a new custom home project that is consistent and compatible with the existing and transitioning community-built form character. The entire development was carefully designed to stay within the building setbacks and overall building height of the Zoning By-Law, these 2 requested variances are required due to the house design/room sizes and are in our opinion a minor departure from what is allowed.

2. Why are the variance(s) desirable for the appropriate use of the land?

It is our opinion that our development proposal will maintain compatibility with the surrounding area and will be in keeping with the current streetscape massing. The variance will facilitate additional living space without creating any excessive additional massing or streetscape impacts on any neighbouring properties. It is a corner lot with a unique design consisting of various roof heights and façade changes so the additional requested area is spread throughout the massing of the house.

3. Do the variance(s) meet the intent and purpose of the Official Plan?

The Subject Property is designated 'Low Density Residential' of the Livable Oakville Official Plan. The intent of the 'Low Density Residential' is to facilitate a range of permitted low density housing types including single detached dwellings. The proposed dwelling has been designed to be complimentary with recent development forms in the neighbourhood including similar features providing a high-quality refined design. Given this, the proposal will provide a built form massing that will integrate with the established neighbourhood and it's transitioning character.

There are no natural heritage features on or adjacent to the subject property that will be adversely impacted by our proposal. Our proposal will stay well within the required building setbacks and the building height is within the Zoning regulations.

The variance relief represents a minor departure from what is currently permitted and meets the general intent of the Official Plan.

4. Do the variance(s) meet the intent and purpose of the Zoning By-law?

The general purpose and intent of the Zoning By-Law is to implement the policies of the Official Plan through specific permissions and regulations.

In our case – RL3-0 ‘Low Density Residential’ regulates the maximum lot coverage and residential floor area to prevent a dwelling from having a mass and scale that appears larger than the dwellings in the surrounding area. Our design with lowered roof lines, single-storey elements and varying step backs from the first to second-storey walls, provide relief and a design that is unique and refined for a corner lot.

In our opinion, the following requests represent a minor departure from what meets the intent of the Zoning By-Law.

The variances seek the following relief:

Variance 1 – Requested lot coverage of 36.2% vs maximum allowable of 35.0%

The Zoning By-Law requires that the floor area of covered porches and walk-out basement areas be included in the calculation of lot coverage. This results in situations where proposed lot coverage is elevated. In the case of the Subject Lands, appropriately 5.2% of the requested lot coverage is contained in the front covered porch, rear covered terrace and basement walk-out area. The front covered porch and rear covered porch design features assist in providing architectural diversity to the proposed design. Furthermore, the front covered porch is a noted design feature of dwellings in the surrounding neighbourhood. I also highlight that the proposed dwelling features a large façade step-back above the rear covered porch, thereby reducing the dwellings visual massing and privacy concerns.

Variance 2 – Requested gross floor area ratio of 45.15% vs maximum allowable of 41.0%

The intent of the maximum residential floor area regulation is to regulate the overall scale and massing of a dwelling so as to ensure that the dwelling is in keeping with the character of the surrounding neighbourhood. The RFA regulation works hand in hand with the zoning regulation for maximum lot coverage to ensure that a reasonable building footprint can be established and that the overall mass within that footprint is further regulated by limiting the amount of floor area that can be accommodated on the subject property. The building has been designed to include a number of articulations in the front and upper façade of the dwelling, therefore effectively breaking up the massing of the dwelling’s streetscapes. Furthermore, the proposed design complies with all the minimum setback and height requirements.

The proposed increase in RFA is compatible with the range of dwelling sizes which exist within the neighbourhood. The proposed increase in residential floor area will result in an increase of 30.03 square metres (323.22 square feet) of floor area beyond that which is permitted under the zoning regulations.

Conclusion

As described above, the requested variances will allow for reinvestment to occur on the Subject lands in a matter that is compatible and in keeping with the transitioning streetscape of the neighbourhood. We believe that the application is minor in nature and appropriate for the development and use of the lands and maintains the general intent and purpose of the Official Plan and Zoning By-Law.

It is in my opinion that the requested variance satisfies the four tests of Section 45(1) of the Planning Act.

Regards,

A handwritten signature in black ink, appearing to read 'D. Carrothers', with a stylized flourish at the end.

David Carrothers
Carrothers and Associates Inc.
905.574.1504 ext. 1

Notice of Public Hearing Committee of Adjustment Application



File # CAV A/138/2024

Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville’s Live Stream webpage at oakville.ca on September 18, 2024 at 7 p.m.

Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)).

Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
G. Sidhu H. Sidhu	Marco Razzolini Sakora Design 94 LAKESHORE Rd Mississauga ON, Canada L5G 1E3	1311 Avon Cres PLAN 592 LOT 88

Zoning of property: RL3-0, Residential

Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two storey detached dwelling on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m ² and 742.99 m ² shall be 41%.	To increase the maximum residential floor area ratio to 44.98%.

How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

Watch the hearing:

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at oakville.ca. The live-stream will begin just before 7 p.m.

More information:

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

Notice of decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

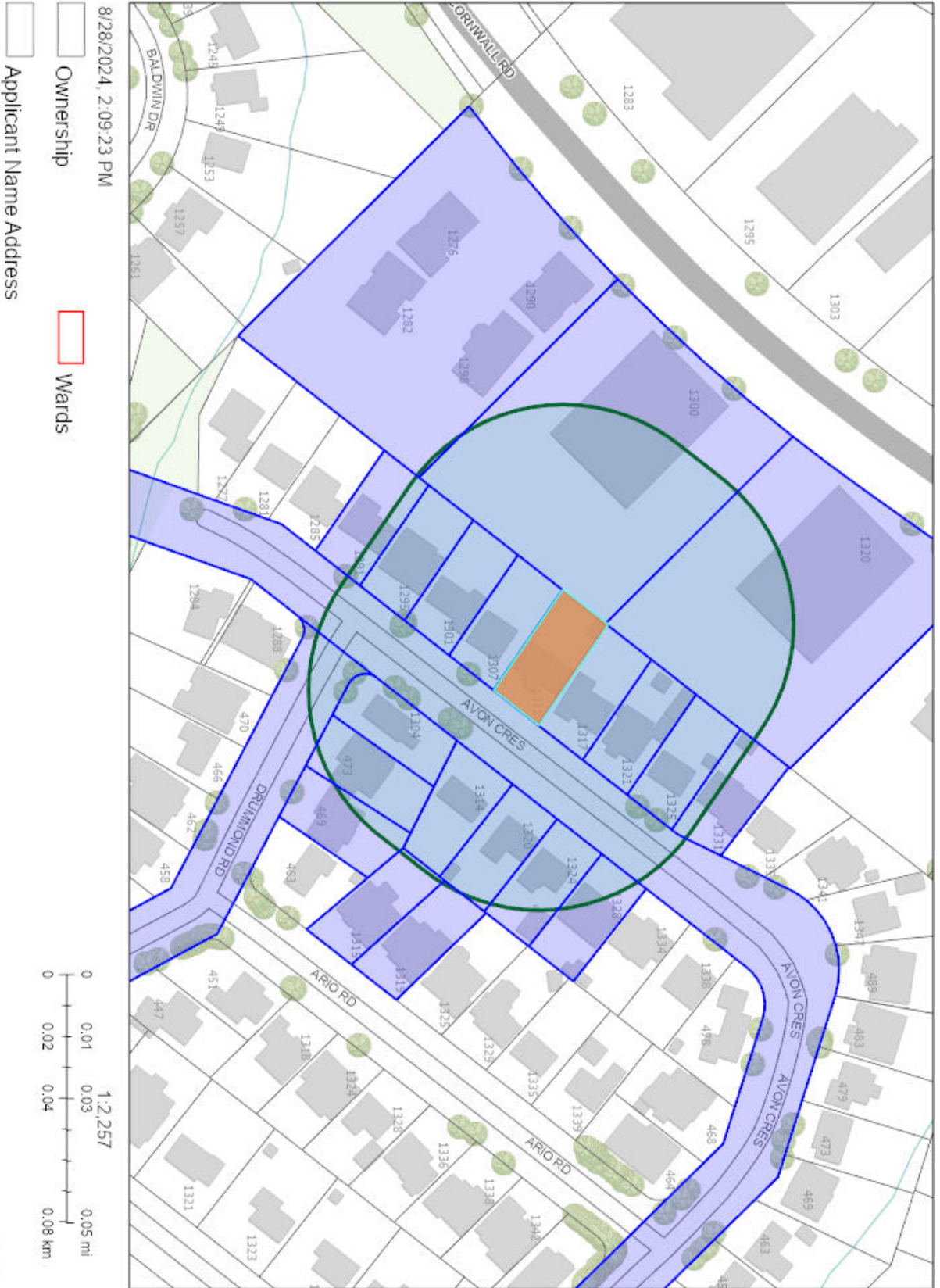
Contact information:

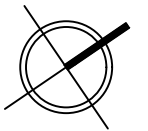
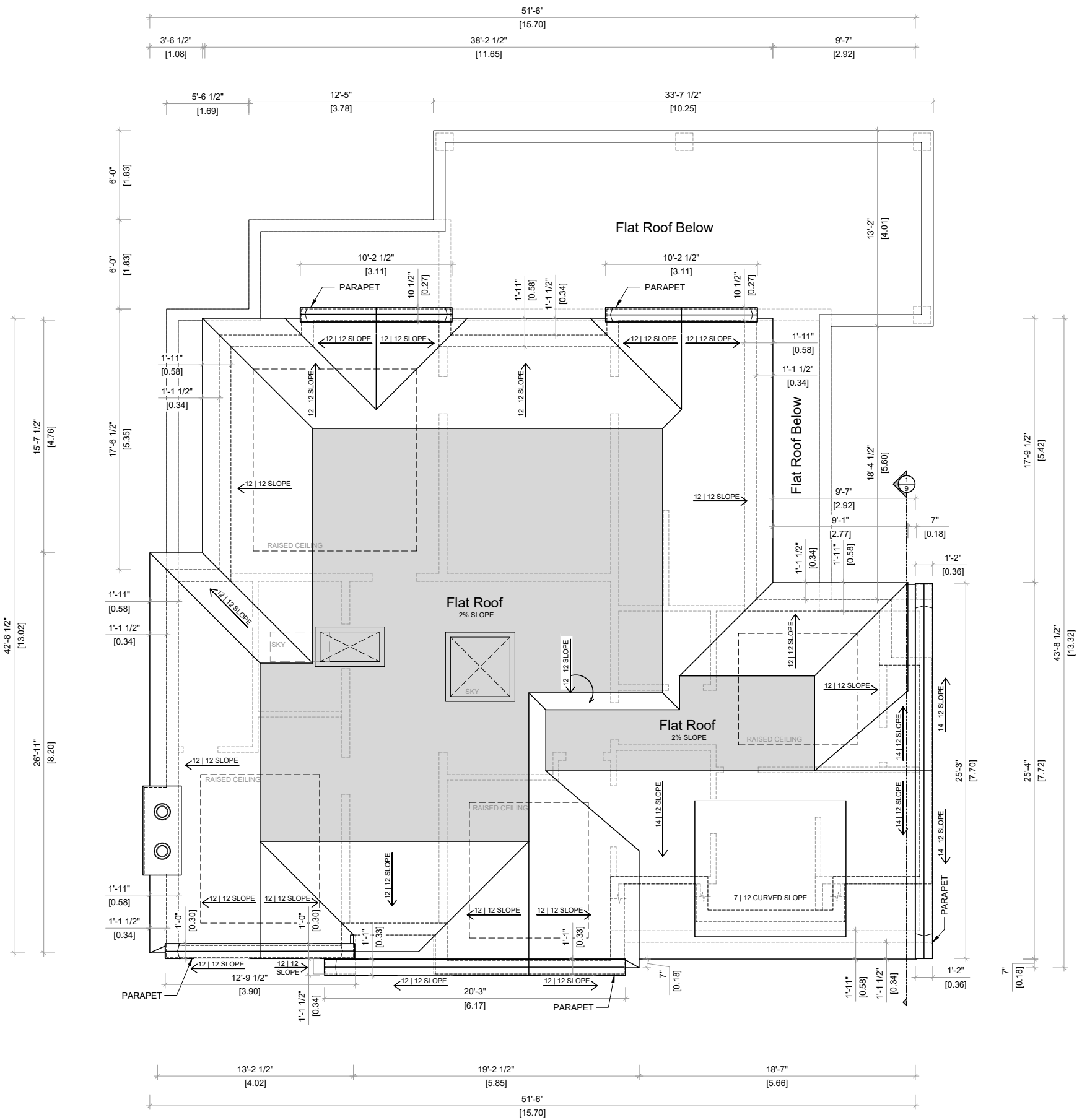
Jennifer Ulcar
Secretary-Treasurer of Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3
Phone: 905-845-6601 ext. 1829
Email: coarequests@oakville.ca

Date mailed:

September 03, 2024

CAV A/138/2024 - 1311 Avon Crescent





LEGEND (NEW HOUSES)	
	PROPOSED
	CEILING FEATURE
	PROPERTY LINE
	SETBACKS

ROOF FLOOR PLAN

SCALE = 1/8" = 1'-0"

1311 AVON CRES
 PROJECT # - 24-15
 ISSUE DATE - 24/08/20

#	DATE	ISSUED FOR/REVISIONS
1	24/08/20	ISSUED FOR ZONING
2		ISSUED FOR REVISIONS

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS:

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 DIVISION C OF THE ONTARIO BUILDING CODE.

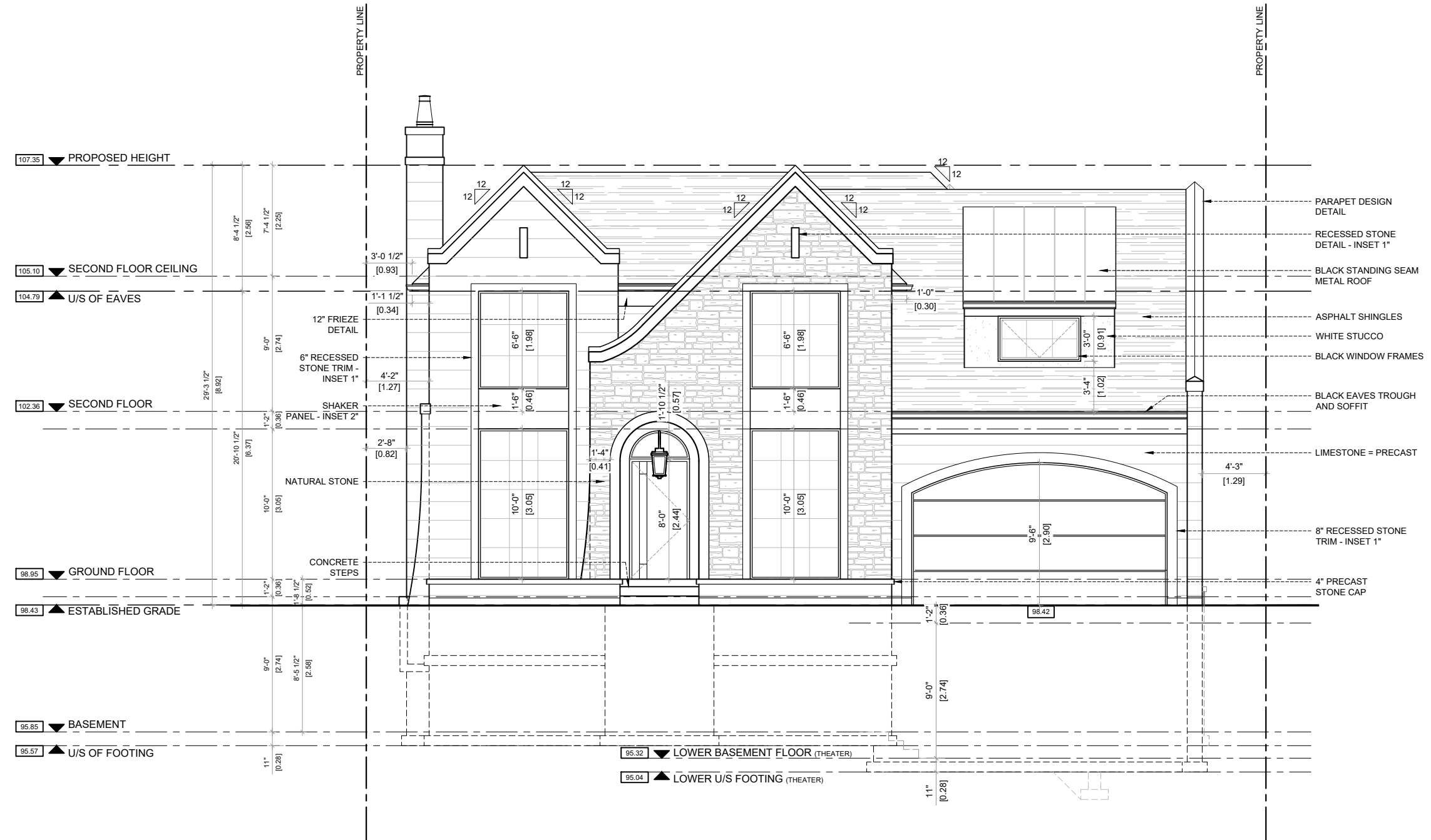
MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



SAKORA
 DESIGN



FRONT ELEVATION (EAST)

SCALE = 1/8" = 1'-0"

1311 AVON CRES
 PROJECT # - 24-15
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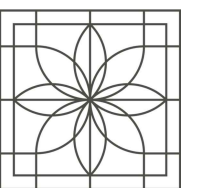
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MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

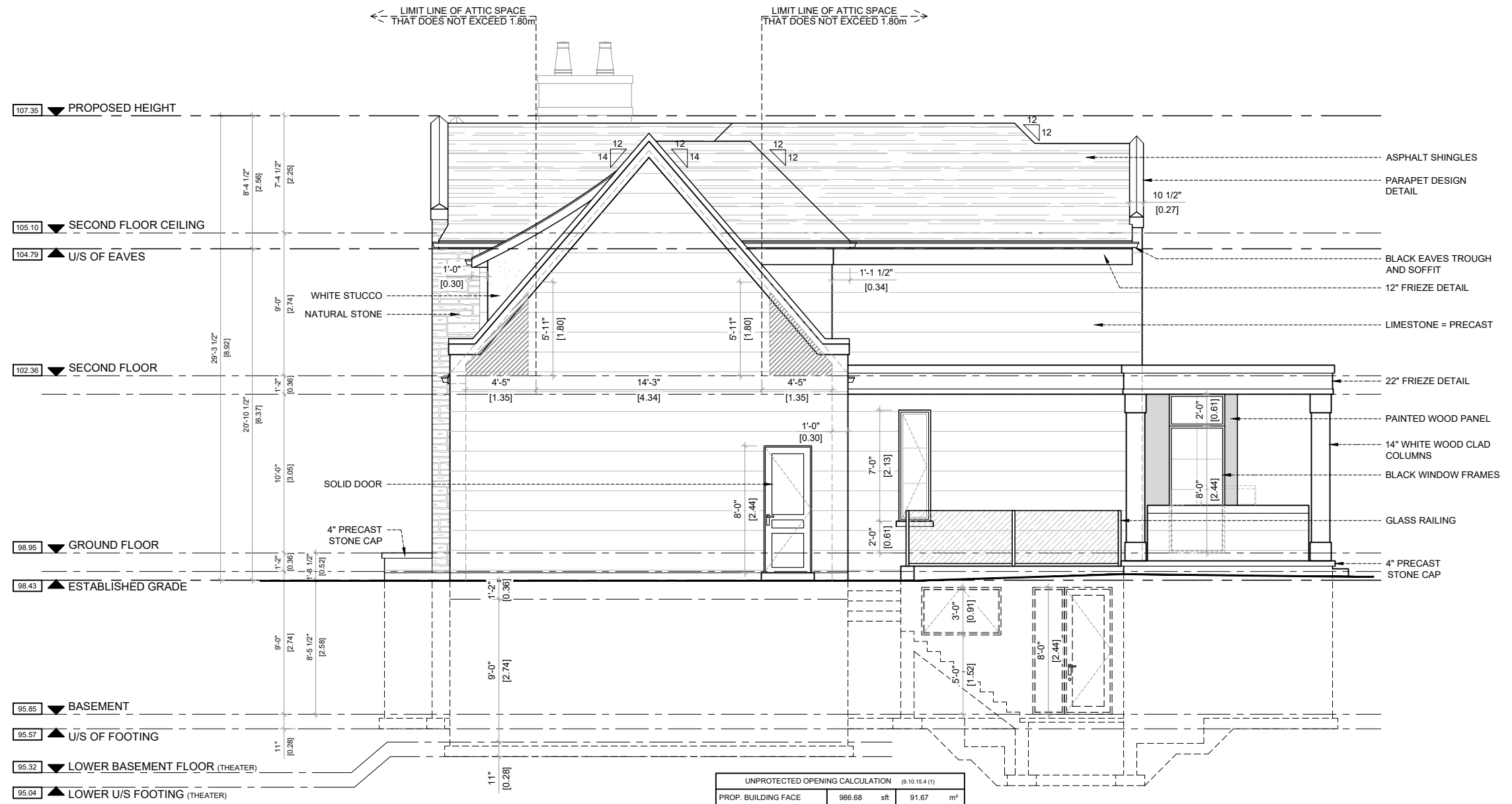
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SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



SAKORA
 DESIGN

A5



SIDE ELEVATION (NORTH)

SCALE = 1/8" = 1'-0"

1311 AVON CRES
 PROJECT # - 24-15
 ISSUE DATE - 24/08/20

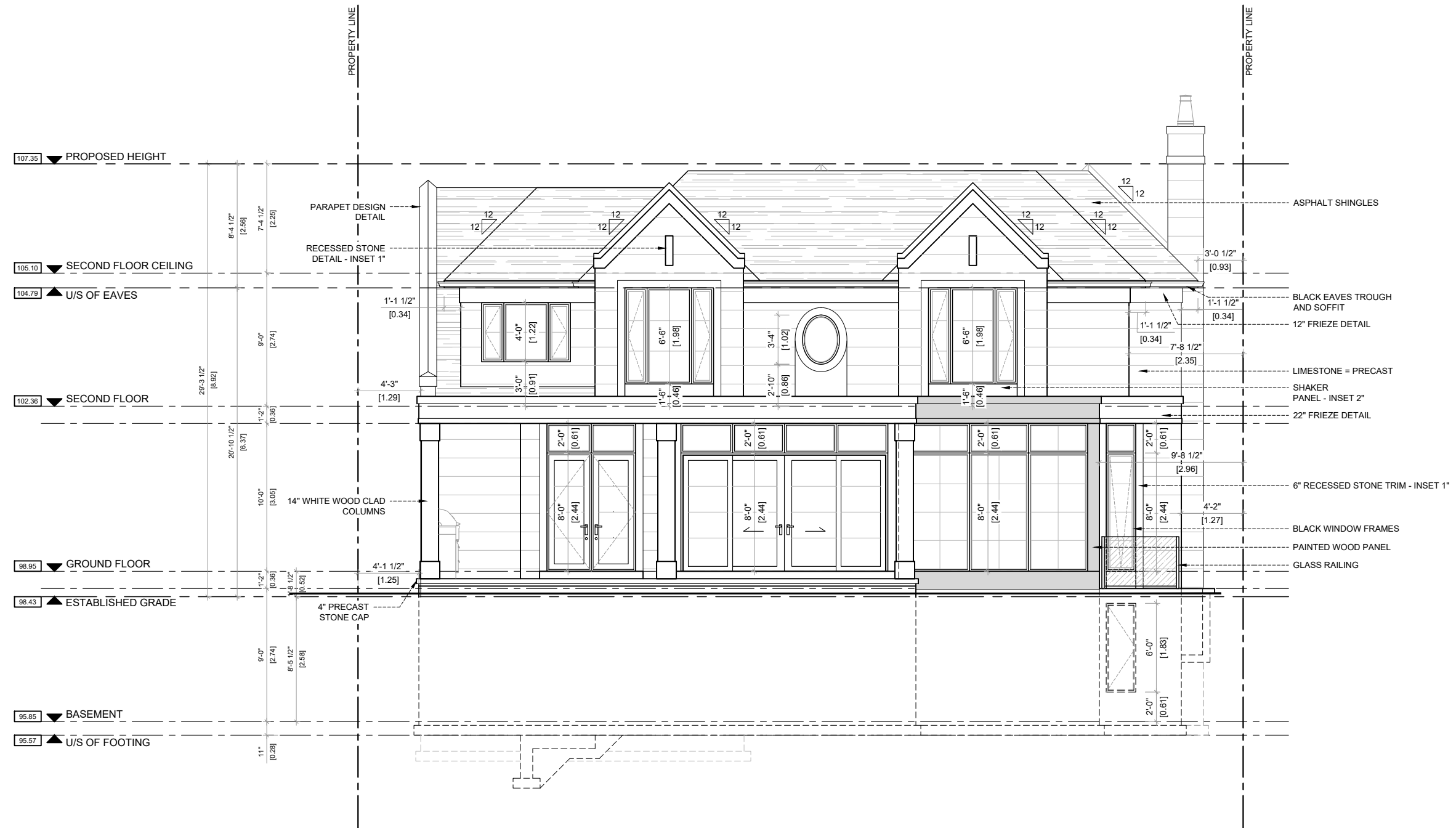
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 MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN
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 SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN





REAR ELEVATION (WEST)

SCALE = 1/8" = 1'-0"

1311 AVON CRES
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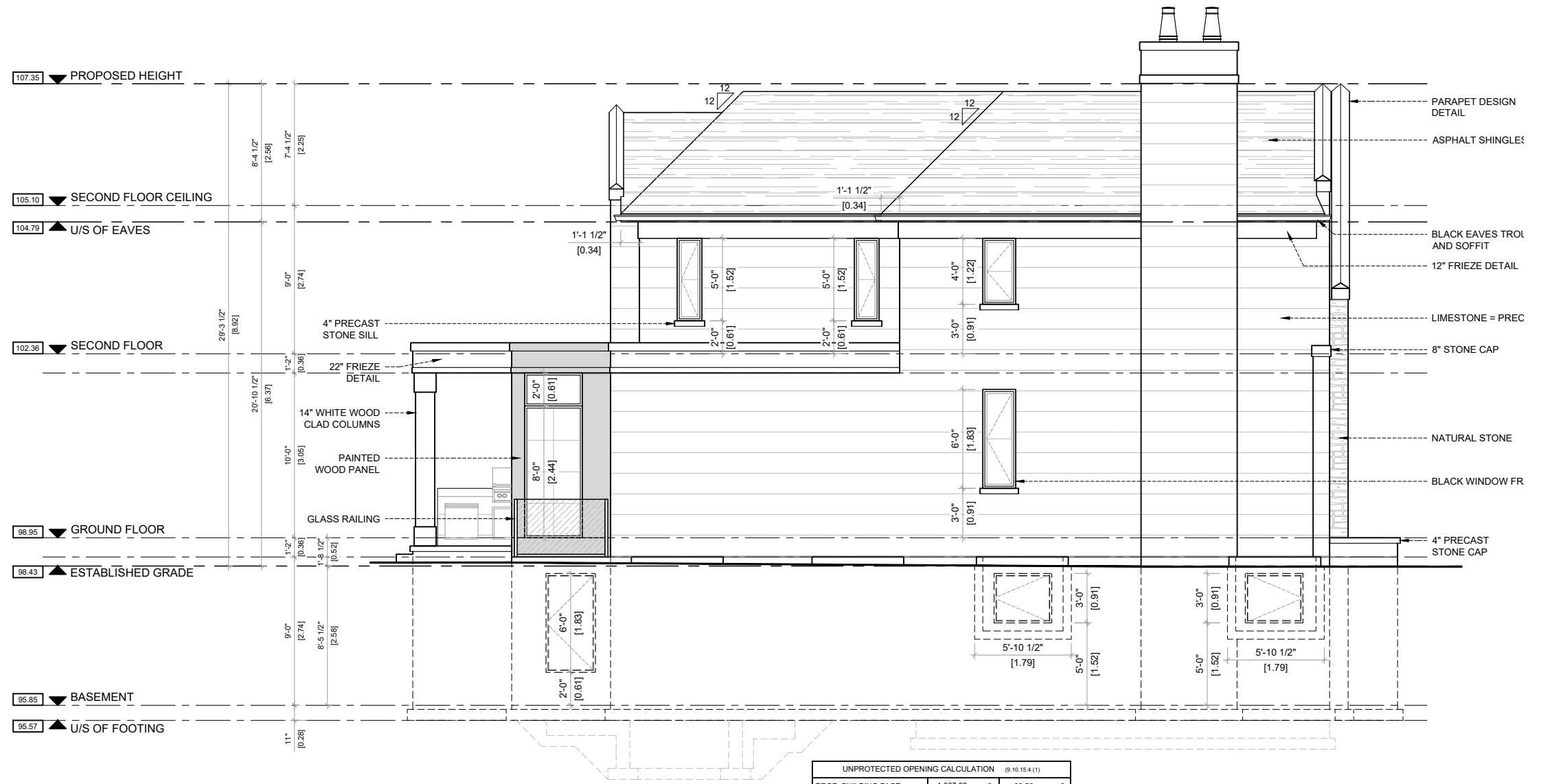
REGISTRATION INFORMATION

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SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



A7



UNPROTECTED OPENING CALCULATION (8.10.15.4 (1))			
PROP. BUILDING FACE	1,007.03	ft	93.56 m ²
LIMITING DISTANCE	1.27m		
PERMITTED PERCENTAGE	7.00%		
PERMITTED GLAZED AREA	70.49	ft	6.55 m ²
PROPOSED GLAZED AREA	70.00	ft	6.50 m ²
PROPOSED PERCENTAGE	6.95%		

SIDE ELEVATION (SOUTH)

SCALE = 1/8" = 1'-0"

1311 AVON CRES
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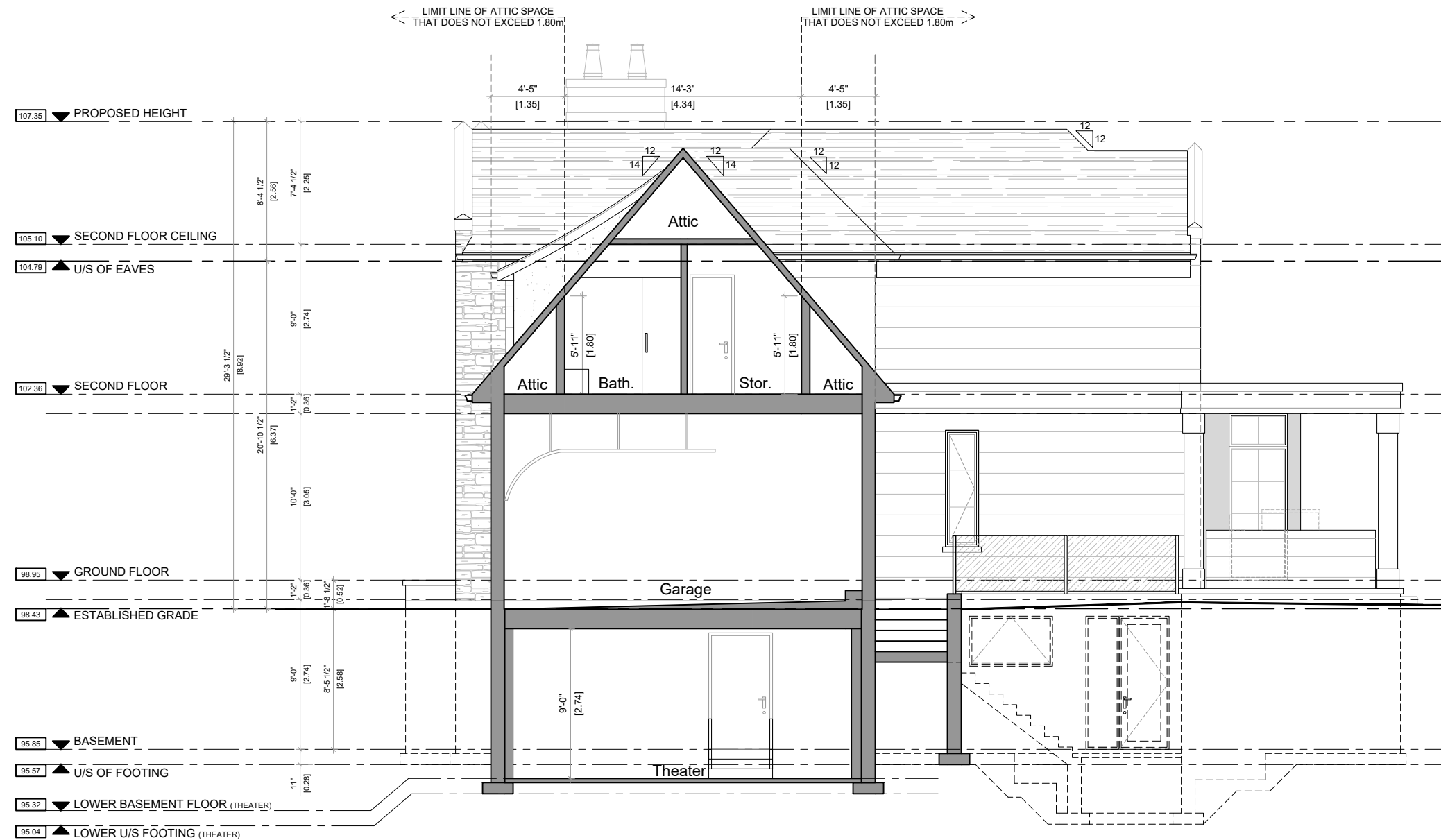
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QUALIFICATION INFORMATION
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 MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 DIVISION C OF THE ONTARIO BUILDING CODE.
 SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



A8



CONCEPT CROSS SECTION

SCALE = 1/8" = 1'-0"

1311 AVON CRES

PROJECT # - 24-15

ISSUE DATE - 24/08/20

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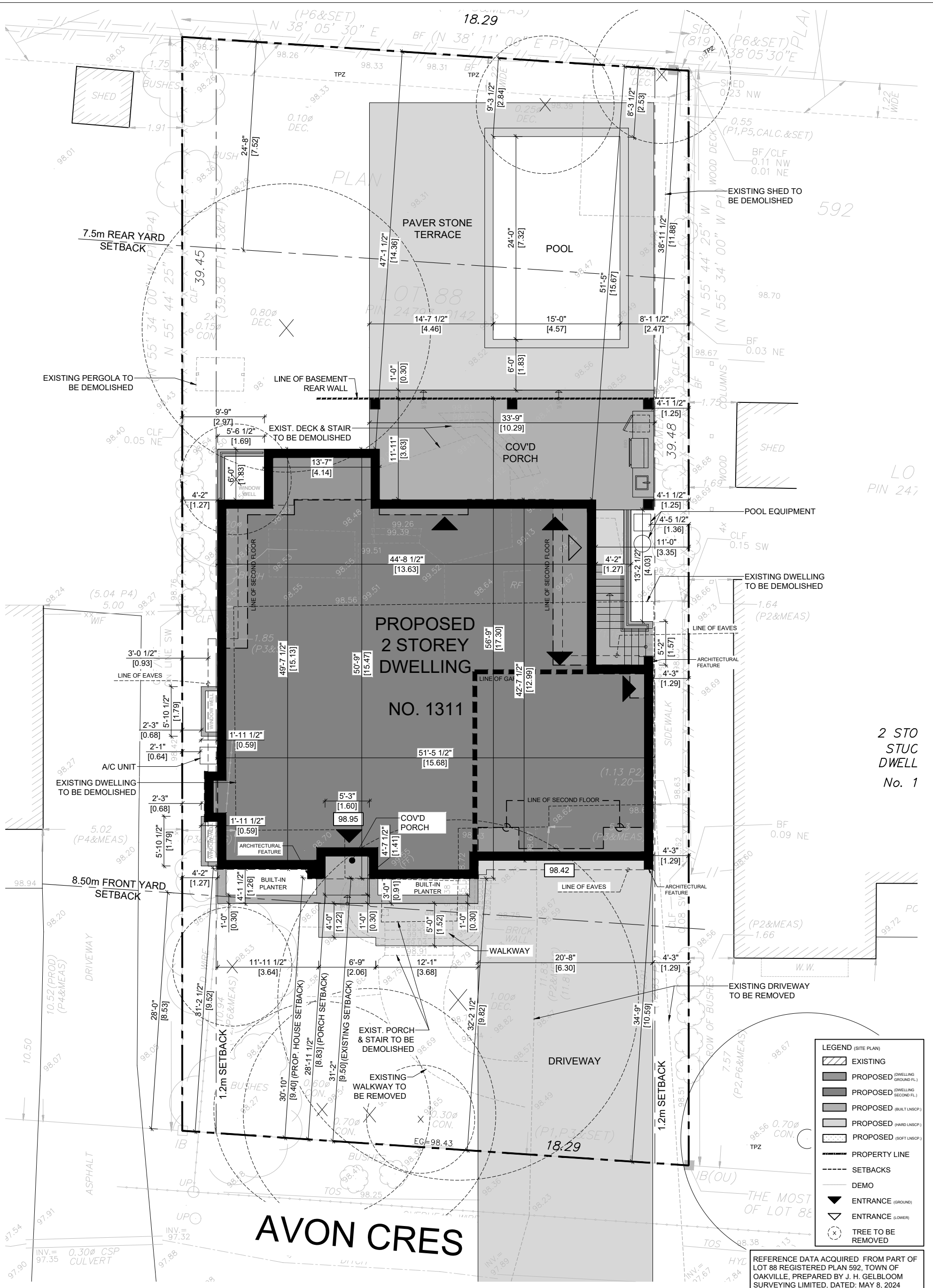
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A9



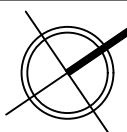
2 STO
STUC
DWELL
No. 1

SITE PLAN
SCALE = 3/32" - 1'-0"

1311 AVON CRES
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SP1

1311 Avon Cres

Oakville, ON

Designation RL3-0

Lot Area	720.18	m2	7,751.95	sft
Lot Frontage	18.29	m	60.01	ft
Lot Depth	39.48	m	129.53	ft

Residential Floor Area				
	Existing	Proposed		
Ground Floor	sft	163.32	m2	1,757.98 sft
Second Floor	sft	160.61	m2	1,728.74 sft
Total RFA	0.00 sft	323.93	m2	3,486.72 sft

	Maximum	Proposed		
Max RFA	295.27 m2	323.93	m2	3,486.72 sft
Ratio*	41%	44.98%		

Notes: does not include garage area, Stairs @ second & OTB @ second

Coverage				
	Existing	Proposed		
House Footprint	sft	203.77	m2	2,193.36 sft
Rear Porch	sft	40.71	m2	438.15 sft
Front Porch	sft	2.74	m2	29.53 sft
Total Coverage	0.00 sft	247.22	m2	2,661.04 sft

	Maximum	Proposed		
Max Coverage	252.06 m2	247.22	m2	2,661.04 sft
Percentage	35%	34.33%		

Notes:

Building Depth				
	Maximum	Proposed		
Building Depth	N/A m	17.30	m	56.76 ft

Notes: Measured from Front Main Wall

Garage				
	Maximum	Proposed		
Garage Projection	1.50 m	N/A	m	N/A
Garage Size	45.00 m2	40.45	m2	435.38 sft

General Information

Conservation	No
Arborist	Yes
Heritage	No

Height Requirements			
	Maximum	Proposed	
Building Height	9.00 m	8.92 m	29.27 ft
Flat Roof	N/A m	N/A m	N ft
Eaves	N/A m	6.37 m	20.90 ft
Storeys	2.00 sty	2 sty	

Notes: Height measured to highest ridge

Setbacks			
	Minimum	Proposed	
Front Min (9.5-1m)	8.50 m	9.40 m	30.84 ft
Maximum Front (Min.+5.5)	15.00 m	9.40 m	30.84 ft
Int Side L	1.20 m	1.27 m	4.17 ft
Int Side R	1.20 m	1.25 m	4.10 ft
Rear	7.50 m	11.88 m	38.98 ft

Notes: Combined = 27% of frontage

Encroachments & Exterior			
	Maximum	Proposed	
F. Porch	0.60 m	N/A m	N/A ft
R. Porch	0.60 m	N/A m	N/A ft
Arch Elements	0.60 m	N/A m	N/A ft
Eaves	0.60 m	0.34 m	1.12 ft

Window Well			
Maximum Width	1.80 m	1.79 m	5.87 ft
Minimum Setback	0.60 m	0.68 m	2.23 ft

Driveway Width	9.00 m	6.30 m	20.67 ft
Walkway Width	1.80 m	1.50 m	4.92 ft

Established Grade	
Established Grade	98.43

Notes: Centre of the front lot line or average of centre for each lot line shared with a street

Landscaping Stats

Front Yard Landscaping Calculations				
Total Front Yard	1,996.85	sft	185.51	m2
Permitted Encroachments				
Driveway	725.53	sft	67.40	m2
Porch & Step	29.53	sft	2.74	m2
Walkway	87.42	sft	8.12	m2
Planter Walls	34.67	sft	3.22	m2
Arch. Feature	3.25	sft	0.30	m2
	0.00	sft	0.00	m2
Total Removed	880.40	sft	81.79	m2
Soft Landscape Area	1,116.45	sft	103.72	m2
56%				

SITE PLAN - STATS

SCALE = N.T.S.

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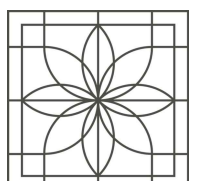
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SAKORA
DESIGN

SP2