

## AGENDA

Date: August 7, 2024  
Time: 7:00 pm  
Location: Virtual Meeting

Live streaming video is available at [oakville.ca/live.html](https://oakville.ca/live.html) or the Town's YouTube channel at [youtube.com/user/townofoakvilleTV](https://youtube.com/user/townofoakvilleTV).

### Making submissions to the Committee of Adjustment

To participate in the electronic hearing or to submit written correspondence regarding an application on the agenda, please email the Secretary-Treasurer at [coarequests@oakville.ca](mailto:coarequests@oakville.ca), or call 905-845-6601 ext. 1829, by noon the day before the hearing date.

---

	Pages
1. Reading of Preamble	
2. Regrets	
3. Declarations of Pecuniary Interest	
4. Requests for Deferrals or Withdrawals of Applications	
5. Consent Application(s)	
None	
6. Minor Variance Application(s)	
6.1 CAV A/104/2024 - 433 Allan Street	3 - 12
6.2 CAV A/106/2024 - 485 Rebecca Street	13 - 22
6.3 CAV A/111/2024 - 252 Tweeddale Crescent	23 - 28
6.4 CAV A/112/2024 - 2501 Saw Whet Boulevard	29 - 33
6.5 CAV A/113/2024 - 28 Crescent Road	34 - 42

6.6	CAV A/114/2024 - 395 Dundas Street West	43 - 49
6.7	CAV A/115/2024 - 564 Lyons Lane	50 - 58
6.8	CAV A/116/2024 - 2220 Lakeshore Road West	59 - 68
6.9	CAV A/084/2024 - 3232 Shoreline Drive - Deferred from May 29, 2024	69 - 81
6.10	CAV A/157/2021 - 74 Stewart Street - Deferred from October 26, 2021	82 - 93

7. Confirmation of Minutes

8. Adjournment

# Notice of Public Hearing Committee of Adjustment Application



File # A/104/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on Wednesday August 07 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Alan Oliver	Tomasz Goral  720 King St W Unit 411 Toronto ON, CANADA M5V 3S5	433 Allan St PLAN 127 LOT 59

**Zoning of property:** RL3-0, sp10, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to to permit a two-storey addition to the existing dwelling and the existing accessory building on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 15.10.1 c)</i> The maximum lot coverage shall be 19% for a dwelling having two storeys.	To increase the maximum lot coverage to 29.23%.

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

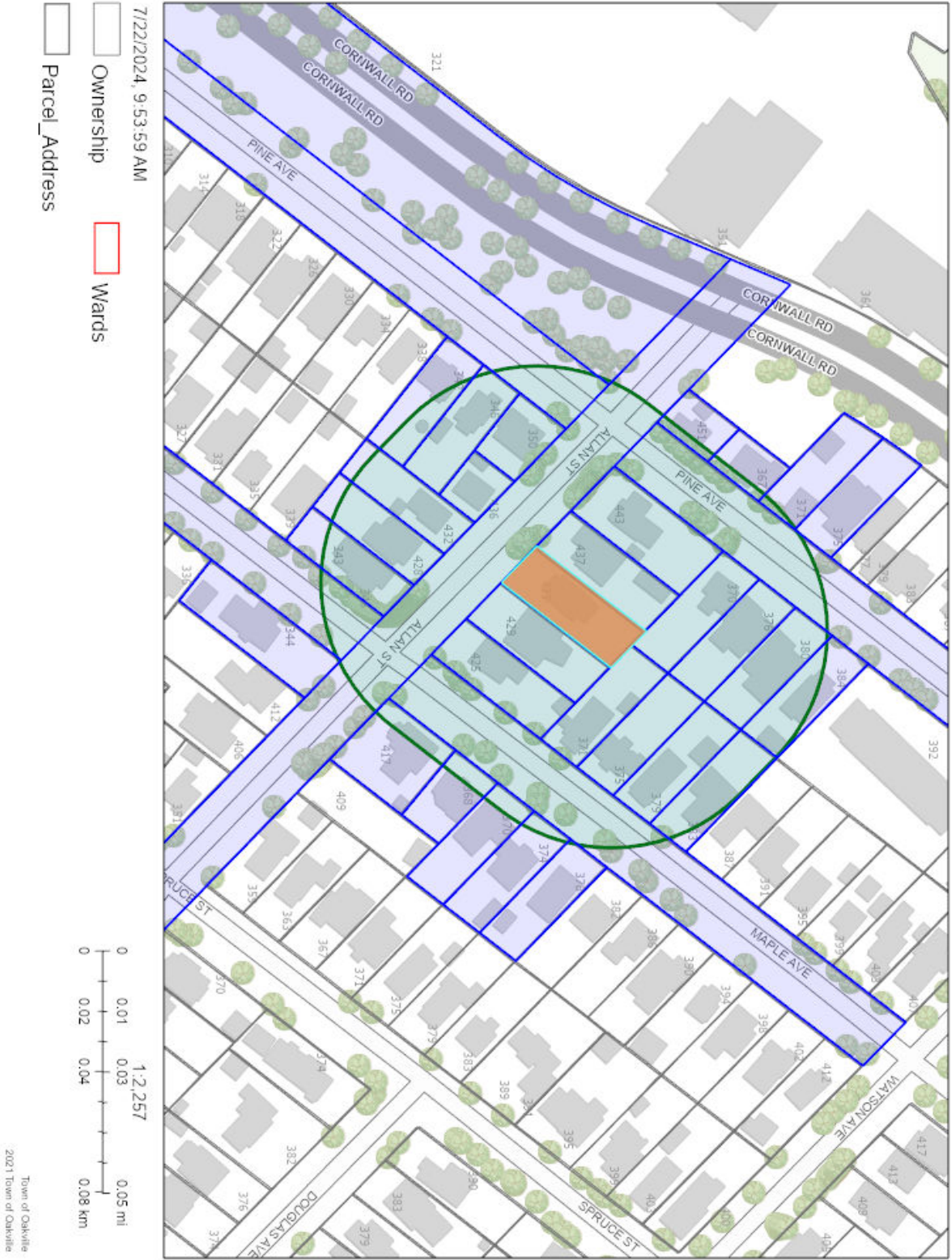
Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

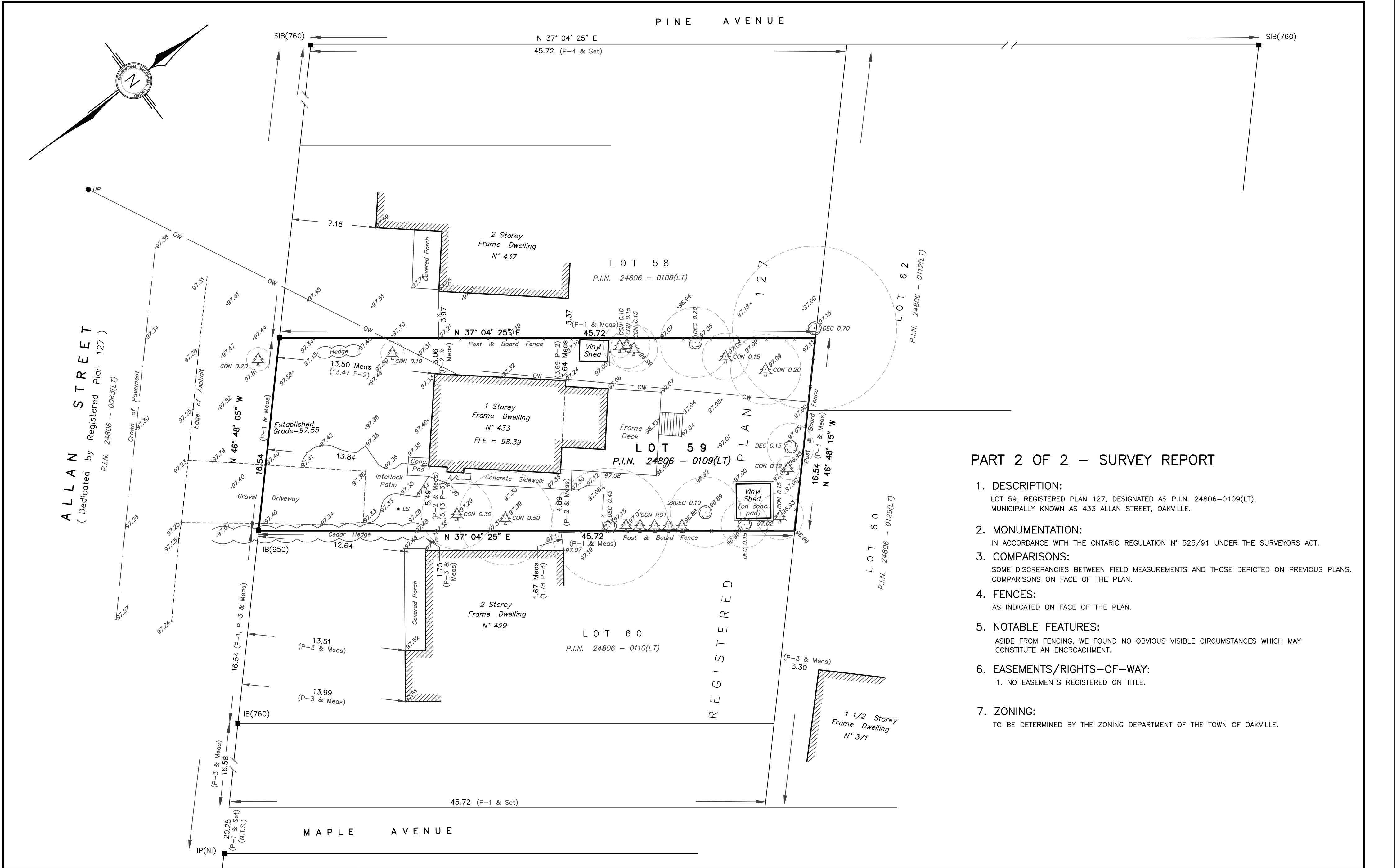
**Date mailed:**

July 23, 2024



CAV A/104/2024 (433 Allan Street)

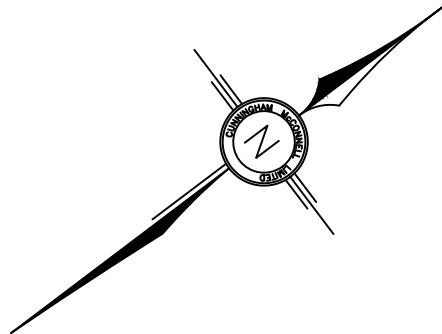




PART 2 OF 2 – SURVEY REPORT

1. DESCRIPTION:  
LOT 59, REGISTERED PLAN 127, DESIGNATED AS P.I.N. 24806-0109(LT), MUNICIPALLY KNOWN AS 433 ALLAN STREET, OAKVILLE.
2. MONUMENTATION:  
IN ACCORDANCE WITH THE ONTARIO REGULATION N° 525/91 UNDER THE SURVEYORS ACT.
3. COMPARISONS:  
SOME DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND THOSE DEPICTED ON PREVIOUS PLANS. COMPARISONS ON FACE OF THE PLAN.
4. FENCES:  
AS INDICATED ON FACE OF THE PLAN.
5. NOTABLE FEATURES:  
ASIDE FROM FENCING, WE FOUND NO OBVIOUS VISIBLE CIRCUMSTANCES WHICH MAY CONSTITUTE AN ENCROACHMENT.
6. EASEMENTS/RIGHTS-OF-WAY:  
1. NO EASEMENTS REGISTERED ON TITLE.
7. ZONING:  
TO BE DETERMINED BY THE ZONING DEPARTMENT OF THE TOWN OF OAKVILLE.

<p><b>SURVEYOR'S REAL PROPERTY REPORT</b> PART 1 OF 2 – PLAN OF <b>LOT 59</b> <b>REGISTERED PLAN 127</b> <b>TOWN OF OAKVILLE</b> REGIONAL MUNICIPALITY OF HALTON</p> <p>4 0 4 8 12 GRAPHIC SCALE – METRES SCALE 1 : 200</p>	<p><b>ASSOCIATION OF ONTARIO LAND SURVEYORS</b> PLAN SUBMISSION FORM</p> <p>x x x x x x x</p> <p></p> <p>THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).</p>	<p><b>KEY PLAN</b> NOT TO SCALE</p>	<p><b>LEGEND:</b></p> <p>SIB DENOTES SURVEY MONUMENT FOUND SIBS DENOTES SURVEY MONUMENT SET IB DENOTES STANDARD IRON BAR IBS DENOTES SHORT STANDARD IRON BAR IP DENOTES IRON PIPE P.I.N. DENOTES PROPERTY IDENTIFICATION NUMBER (NI) DENOTES NO IDENTIFICATION (760) DENOTES MCCONNELL MAUGHAN LTD., O.L.S. (950) DENOTES CUNNINGHAM MCCONNELL LTD., O.L.S. (WIT) DENOTES WITNESS MONUMENT P-1 DENOTES REGISTERED PLAN 127 P-2 DENOTES PLAN BY H.C. SEWELL O.L.S., DATED OCT. 23, 1946 P-3 DENOTES PLAN BY J.H. GELBLOOM SURVEYING LTD., O.L.S., DATED AUG. 14, 2009 P-4 DENOTES PLAN BY F.G. CUNNINGHAM INC., O.L.S., DATED SEPT. 22, 1987 P-5 DENOTES PLAN BY MCCONNELL MAUGHAN LTD., O.L.S., DATED JUNE 1, 1983</p>	<p><b>BEARING NOTE</b> ALL BEARINGS SHOWN HEREON ARE UTM NAD83 (CSRS:2010) AND WERE DERIVED FROM OBSERVED REFERENCE POINTS A &amp; B</p> <p><b>METRIC NOTE</b> ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.</p>	<p><b>CLIENT'S NOTE</b> THIS REPORT WAS PREPARED FOR AND HIS SOLICITOR(S), MORTGAGEE(S) AND (OR) AGENT(S) AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.</p> <p><b>SURVEYOR'S CERTIFICATE</b> I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON THE 14th DAY OF APRIL, 2021.</p> <p>DATE: MAY 29, 2021 ROBERT D. MCCONNELL ONTARIO LAND SURVEYOR</p>	<p><b>CUNNINGHAM MCCONNELL LIMITED</b> ONTARIO LAND SURVEYORS</p> <p>1200 SPEERS ROAD, UNIT 38 OAKVILLE, ONTARIO L6L 2X4 PHONE (905) 845-3497 FAX (905) 845-3519 E-mail: infooak@cmlsurveyors.ca</p> <p>205 MAIN STREET MILTON, ONTARIO L9T 1N7 PHONE (905) 878-7810 FAX (905) 878-6672</p> <p>CLIENT: A. OLIVER O.L.S. FILE N° 21-21UTM PLAN N° 21-21-1</p> <p>© COPYRIGHT NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF CUNNINGHAM MCCONNELL LIMITED</p>
---	--	---	--	---	---	---



VARIANCE REQUIRED FOR COVERAGE  
PERMITTED= 19% =142.76 m2  
PROPOSED= 29.23% =219.70 m2  
VARIANCE= 10.23% =76.94 m2

EXISTING BUILDING - RESIDENTIAL USE  
FRONT SETBACK= 9.8m  
HEIGHT=5.35m  
OVERALL WIDTH=7.9m  
OVERALL LENGTH=14.8m  
SIDE YARD SETBACK=2.9m & 4.89m  
REAR YARD SETBACK=16.8m  
EXISTING FLOOR AREA/ COVERAGE=137.12m2

EXISTING ACCESSORY - RESIDENTIAL USE  
FRONT SETBACK= 38.15m  
HEIGHT=3.9m  
OVERALL WIDTH=7.5m  
OVERALL LENGTH=6.5m  
SIDE YARD SETBACK=0.6m & 4.8.1m  
REAR YARD SETBACK=10.6m  
EXISTING FLOOR AREA/COVERAGE=37.48m2

PROPOSED ADDITION - RESIDENTIAL USE  
FRONT SETBACK= 13.08m  
HEIGHT=8.58m  
OVERALL WIDTH=4.1m  
OVERALL LENGTH=7.0m  
SIDE YARD SETBACK=1.3m  
REAR YARD SETBACK=20.2m  
FLOOR AREA=93.86m2  
COVERAGE=45m2

- PROPOSED:  
SITE STATISTICS – ZONE RL3-0 SP:10  
ZONING BY-LAW 2014-014
1. LOT AREA = 751.40 m2 (557.5 m2 Minimum).
  2. LOT FRONTAGE = 16.53m (18.00m Minimum).
  3. AREAS FOR COVERAGE: = 219.70 m2;  
(A) MAIN DWELLING = 137.12 m2;  
(B) CARPORT/ATTACHED GARAGE =45.10 m2  
(C) ACCESSORY BUILDING =37.48 m2; =4.99% (5% permitted)
  4. LOT COVERAGE = 29.23% (19.0% Maximum 142.76m2)
  5. ESTABLISHED GRADE = 97.55 m.
  6. BUILDING HEIGHTS:  
– ROOF RIDGE = 8.58 m (9.00 m Maximum);
  7. SETBACKS:  
– FRONT = 9.80 m (7.50 m Minimum);  
– REAR = 16.82 m (Dwelling) (7.50 m Minimum);  
– SIDES = 2.90 m AND 1.21 m  
(1.20 m & 1.20 m Minimum);
  8. RESIDENTIAL FLOOR AREA(EXISTING) = 136.54 m2
  9. RESIDENTIAL FLOOR AREA(PROPOSED) = 93.86 m2
  10. TOTAL RFA = 230.40 m2
  11. RFA/LOT RATIO = 30.66% (42% Maximum 317.8m2).

**JRCP**  
**DESIGNS INC.**  
ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
(416) 655-0245  
email: jrpd designs@yahoo.ca  
www.jrpd designs.com

GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

ISSUE DATE AND REVISION LOG

NO.	REVISION	DATE
01	SECOND FLOOR LAYOUT	JUL 5 2023
02	ISSUED FOR CLIENT REVIEW	JUL 14 2023
03	ISSUED FOR CLIENT REVIEW	APR 10 2024
04	ISSUED FOR CLIENT REVIEW	APR 20 2024
05	ISSUED FOR COA APPLICATION	APR 29 2024
06	CORRECTED SITE STATS	JUN 08 2024

SEAL

FOR ARCHITECTURAL & STRUCTURAL

DRAWING STAGE:

**FOR COA**

PROJECT NAME AND ADDRESS:

**PROPOSED  
RESIDENCE AT:  
433 ALLAN STREET  
OAKVILLE**

DRAWINGS TITLE

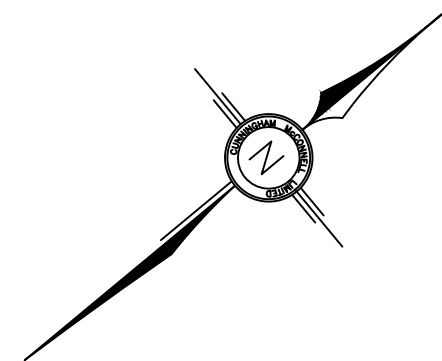
**SITE PLAN**

DATE  
JUNE 27 2023

SCALE  
NOTED

SHEET NO.

**A100**



JRCP  
DESIGNS INC.  
ARCHITECTURAL DESIGN CONSULTANT

BLOOR STREET, MISSISSAUGA, ONTARIO  
(416) 655-0245  
email: jrpedesigns@yahoo.ca  
www.jrpedesigns.com

GENERAL NOTES:

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12

ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

ISSUE DATE AND REVISION LOG		
NO.	REVISION	DATE
01	SECOND FLOOR LAYOUT	JUL 5 2023
02	ISSUED FOR CLIENT REVIEW	JUL 14 2023
03	ISSUED FOR COA APPLICATION	APR 29 2024

SEAL

FOR ARCHITECTURAL & STRUCTURAL

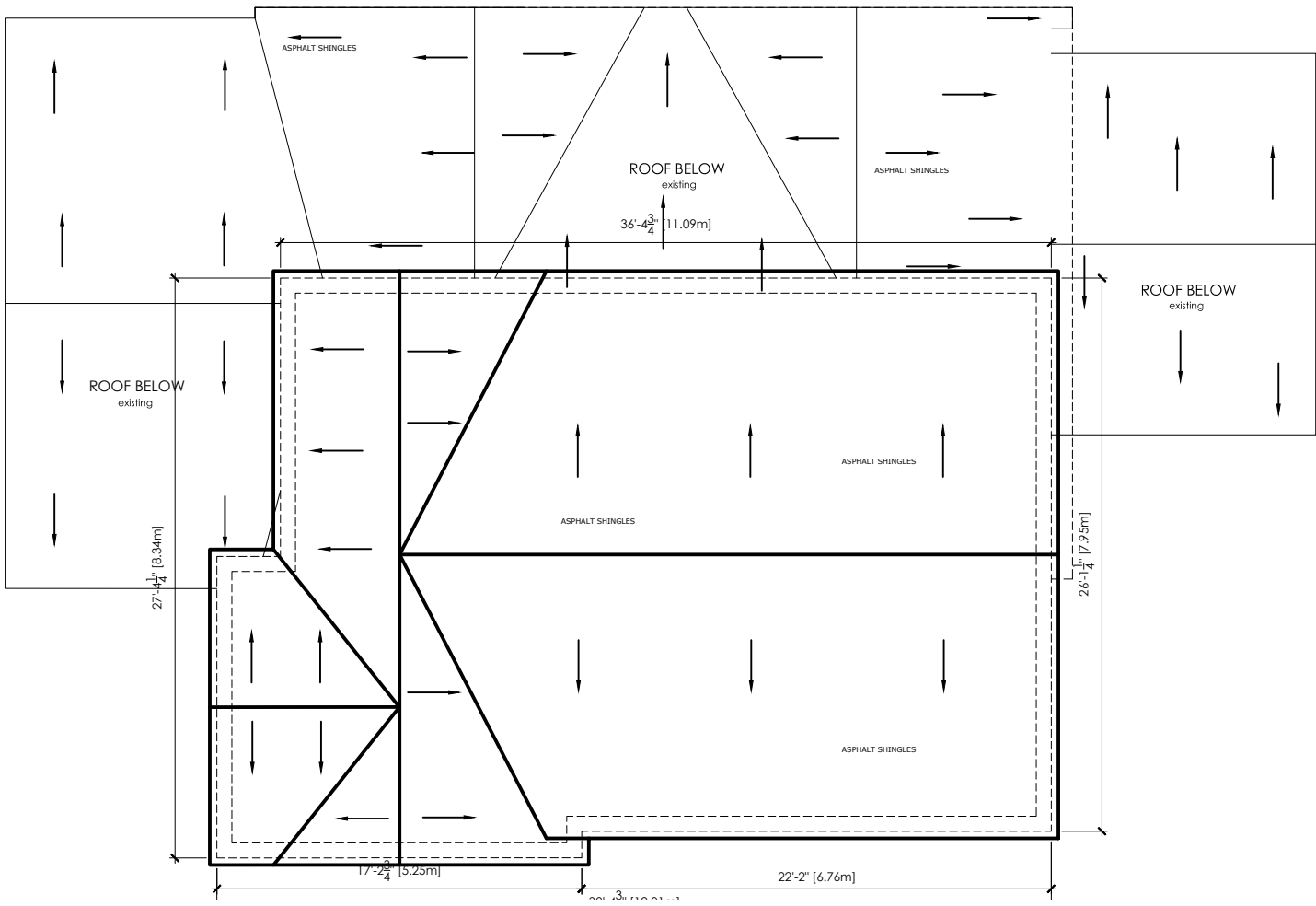
DRAWING STAGE:

**FOR COA**

PROJECT NAME AND ADDRESS:

**PROPOSED  
RESIDENCE AT:  
433 ALLAN STREET  
OAKVILLE**

DRAWINGS TITLE	SHEET NO.
<b>ROOF PLAN</b>	<b>A304</b>
DATE JUNE 27 2023	
SCALE NOTED	



PROPOSED ROOF PLAN

1/8"=1'-0"

1

A304

**PROPOSED RESIDENCE  
AT: 433 ALLAN STREET**

GENERAL NOTES:

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12

ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

ISSUE DATE AND REVISION LOG		
NO.	REVISION	DATE
01	SECOND FLOOR LAYOUT	JUL 5 2023
02	ISSUED FOR CLIENT REVIEW	JUL 14 2023
03	ISSUED FOR CLIENT REVIEW	APR 10 2024
04	ISSUED FOR CLIENT REVIEW	APR 20 2024
05	ISSUED FOR COA APPLICATION	APR 29 2024

SEAL

FOR ARCHITECTURAL & STRUCTURAL

DRAWING STAGE:

**FOR COA**

PROJECT NAME AND ADDRESS:

**PROPOSED  
RESIDENCE AT:  
433 ALLAN STREET  
OAKVILLE**

DRAWINGS TITLE		SHEET NO.  <b>A200</b>
<b>ELEVATIONS</b>		
DATE	JUNE 27 2023	
SCALE	NOTED	



WEST ELEVATION (FRONT)

1/8"=1'-0"

1  
A200

**PROPOSED RESIDENCE  
AT: 433 ALLAN STREET**

GENERAL NOTES:

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12

ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

ISSUE DATE AND REVISION LOG		
NO.	REVISION	DATE
01	SECOND FLOOR LAYOUT	JUL 5 2023
02	ISSUED FOR CLIENT REVIEW	JUL 14 2023
03	ISSUED FOR CLIENT REVIEW	APR 10 2024
04	ISSUED FOR CLIENT REVIEW	APR 20 2024
05	ISSUED FOR COA APPLICATION	APR 29 2024

SEAL

FOR ARCHITECTURAL & STRUCTURAL

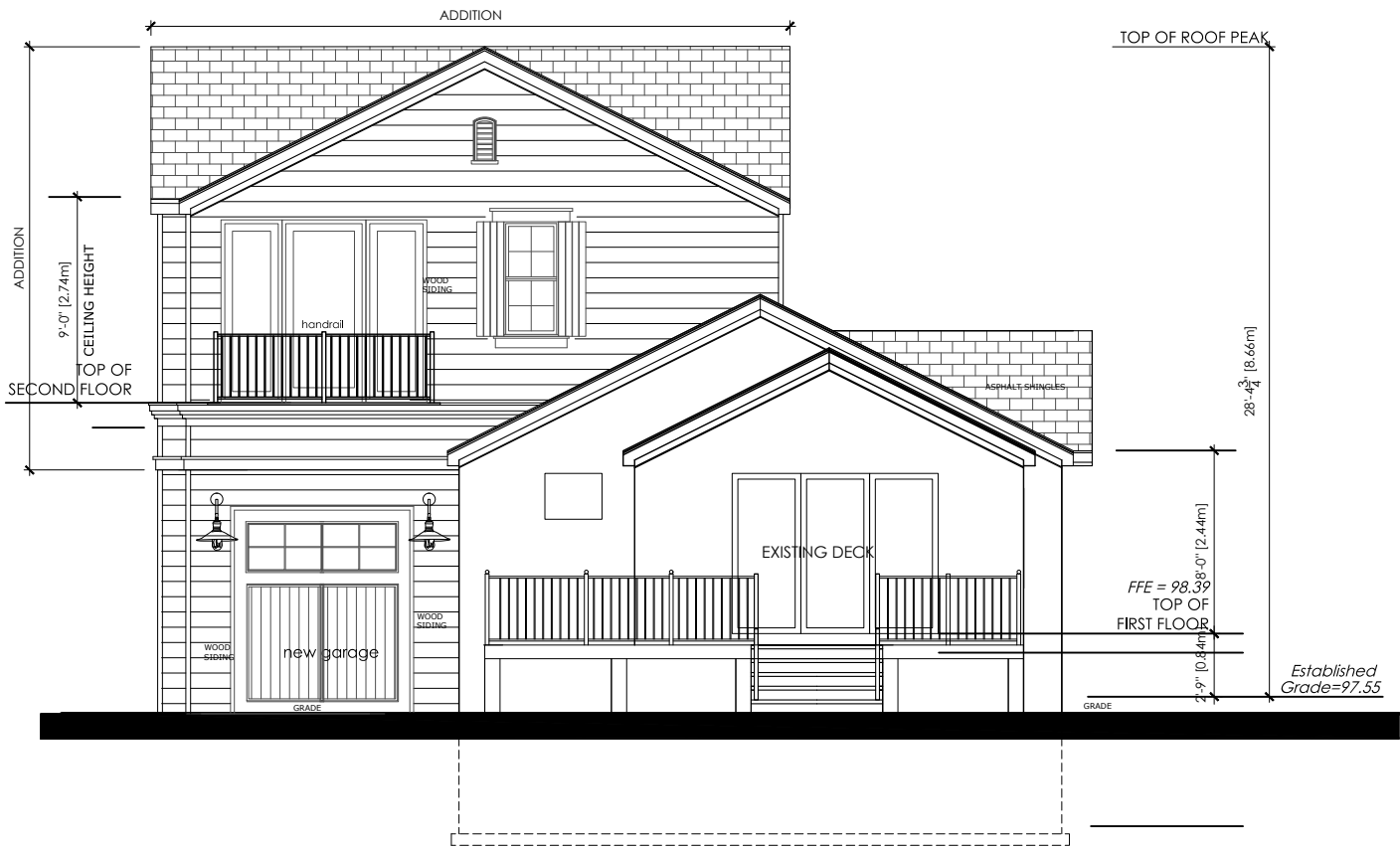
DRAWING STAGE:

FOR COA

PROJECT NAME AND ADDRESS:

PROPOSED  
RESIDENCE AT:  
433 ALLAN STREET  
OAKVILLE

DRAWINGS TITLE	SHEET NO.
ELEVATIONS	A203
DATE	JUNE 27 2023
SCALE	NOTED



EAST ELEVATION (REAR)

1/8"=1'-0"

1  
A203

PROPOSED RESIDENCE  
AT: 433 ALLAN STREET



GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

ISSUE DATE AND REVISION LOG		
NO.	REVISION	DATE
01	SECOND FLOOR LAYOUT	JUL 5 2023
02	ISSUED FOR CLIENT REVIEW	JUL 14 2023
03	ISSUED FOR CLIENT REVIEW	APR 10 2024
04	ISSUED FOR CLIENT REVIEW	APR 20 2024
05	ISSUED FOR COA APPLICATION	APR 29 2024

SEAL

FOR ARCHITECTURAL & STRUCTURAL

DRAWING STAGE:

FOR COA

PROJECT NAME AND ADDRESS:

PROPOSED  
RESIDENCE AT:  
433 ALLAN STREET  
OAKVILLE

DRAWINGS TITLE	SHEET NO.
ELEVATIONS	A202
DATE	JUNE 27 2023
SCALE	NOTED



WEST ELEVATION (FRONT)

1/8"=1'-0"

1  
A202

PROPOSED RESIDENCE  
AT: 433 ALLAN STREET

GENERAL NOTES:  
THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
THIS DRAWING IS NOT TO BE SCALED.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12  
ALL LUMBER SHALL BE SPRUCE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

ISSUE DATE AND REVISION LOG		
NO.	REVISION	DATE
01	SECOND FLOOR LAYOUT	JUL 5 2023
02	ISSUED FOR CLIENT REVIEW	JUL 14 2023
03	ISSUED FOR CLIENT REVIEW	APR 10 2024
04	ISSUED FOR CLIENT REVIEW	APR 20 2024

SEAL

FOR ARCHITECTURAL & STRUCTURAL

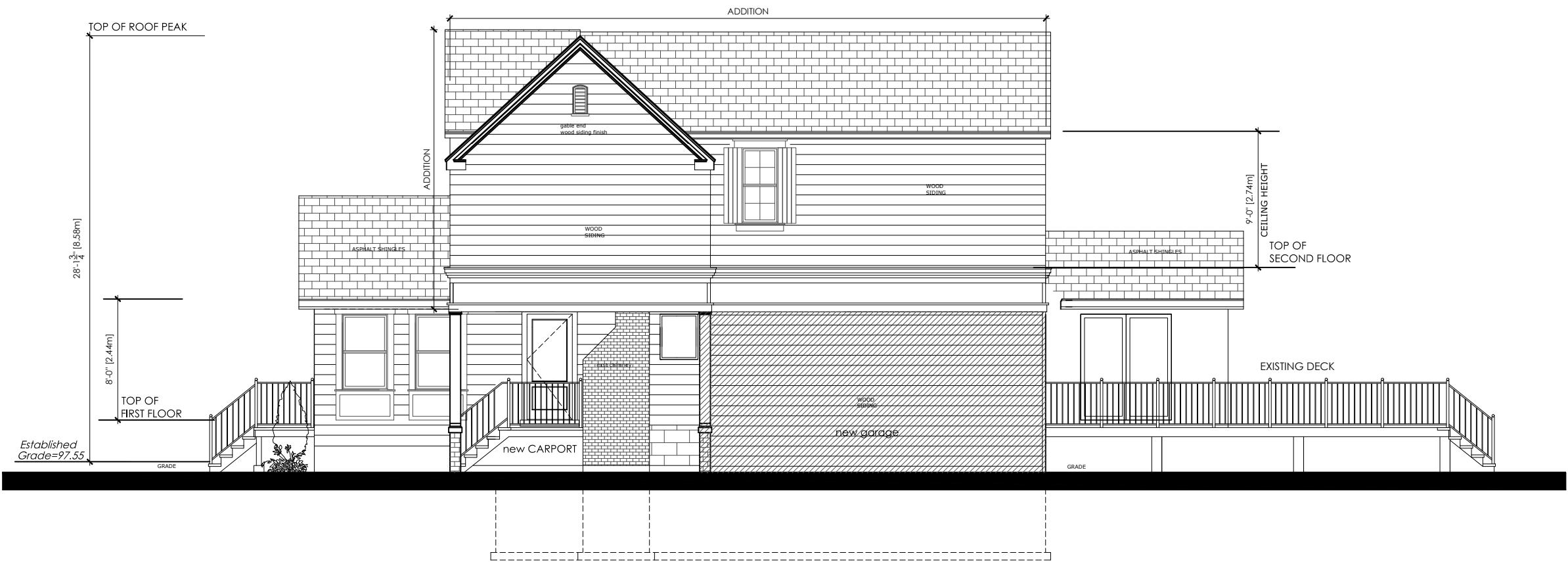
DRAWING STAGE:

FOR COA

PROJECT NAME AND ADDRESS:

PROPOSED  
RESIDENCE AT:  
433 ALLAN STREET  
OAKVILLE

DRAWINGS TITLE	SHEET NO.
ELEVATIONS	A201
DATE	JUNE 27 2023
SCALE	NOTED



SOUTH ELEVATION

1/8"=1'-0"

2  
A201

PROPOSED RESIDENCE  
AT: 433 ALLAN STREET



# Notice of Public Hearing Committee of Adjustment Application



File # A/106/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on Wednesday August 07 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Feroz Khan	Jason Huether HDS Dwell Inc 20 Gilmour Rd Puslinch ON, CANADA N0B 2J0	485 Rebecca St PLAN 622 LOT 1

**Zoning of property:** RL2-0, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 1,022.00 m <sup>2</sup> and 1,114.99 m <sup>2</sup> shall be 37%.	To increase the maximum residential floor area ratio to 39.84%.
2	<i>Section 6.4.2 (Row RL2, Column 3)</i> The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height.	To increase the maximum lot coverage to 27.28%.

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments

regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

**Participate in the electronic hearing by videoconference.**

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

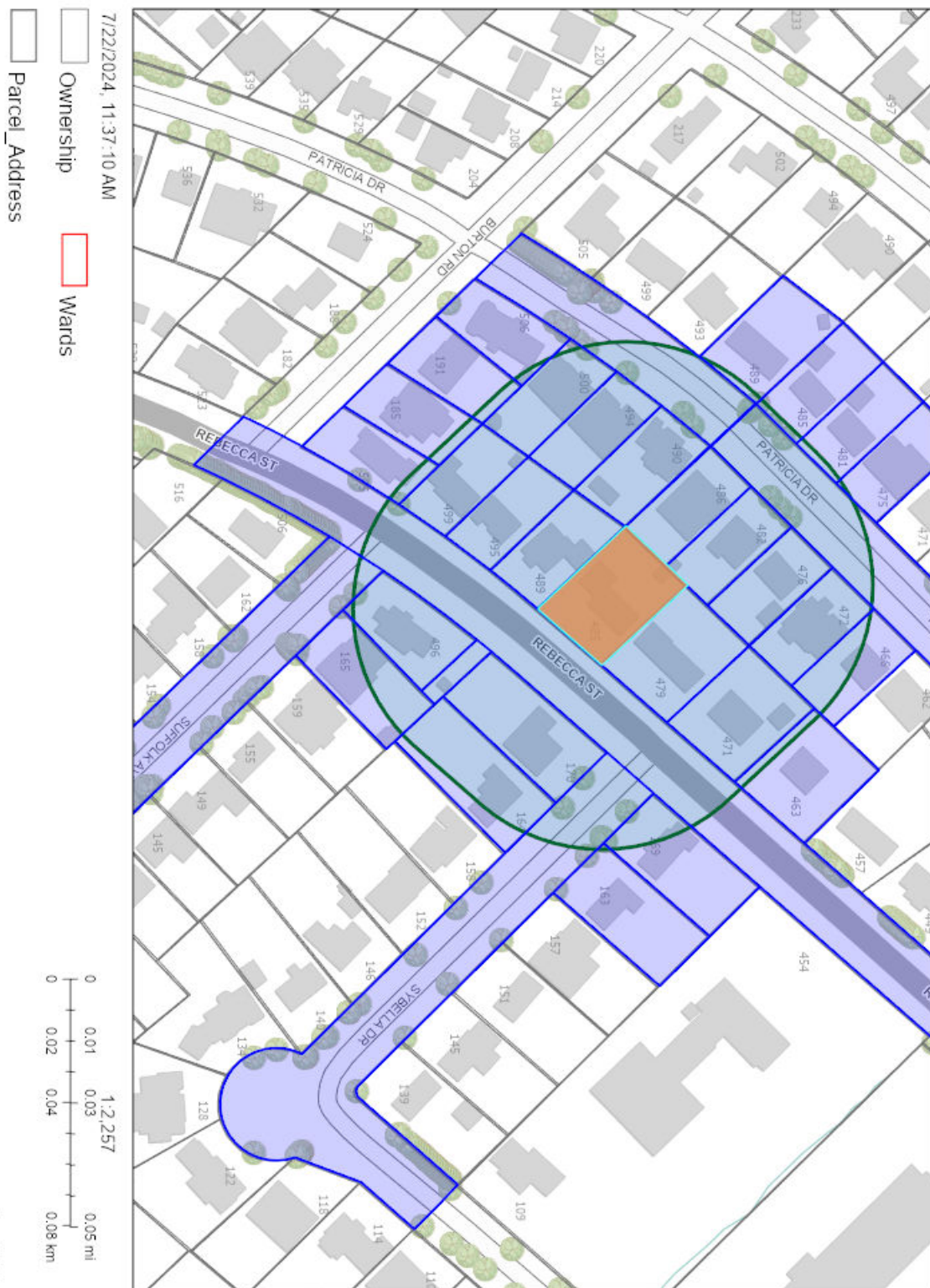
**Contact information:**

Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

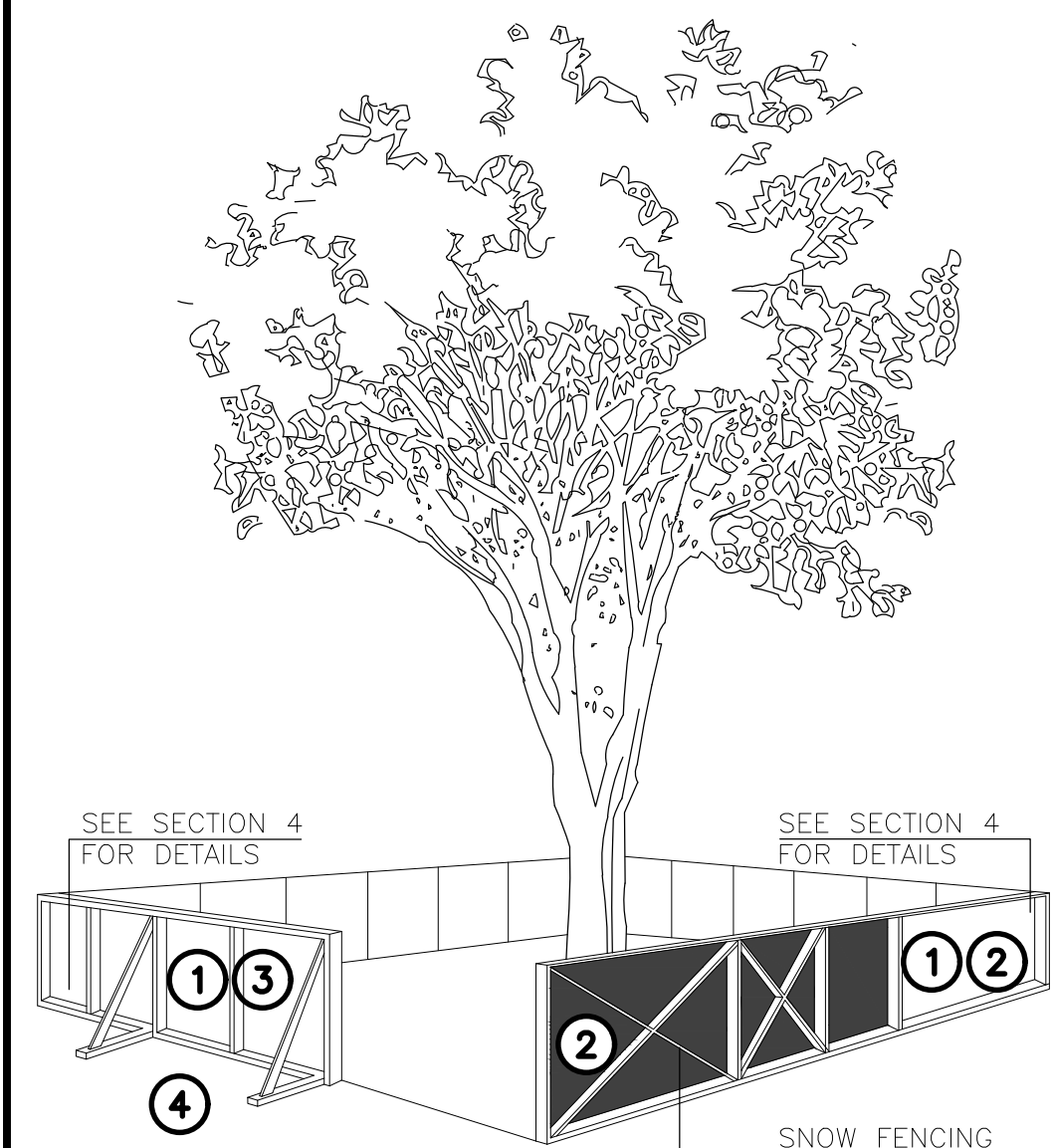
July 23, 2024

# CAV A/106/2024 (485 Rebecca Street)





# TREE PROTECTION



## TREE PROTECTION BARRIERS

- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
- TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
- WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
- ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

## SECTION 4, SIGNAGE

- A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmX60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

# 1 TREE PROTECTION

A1/2 SCALE: NTS

DESIGNER: HDS DWELL INC. 20 GILMOUR ROAD PUSLINC, ON, N0B 2J0 ATTENTION: JASON HUETHER PH: 226-979-4493	APPLICANT: HDS DWELL INC. 20 GILMOUR ROAD PUSLINC, ON, N0B 2J0 ATTENTION: CYNTHIA GIBSON PH: 905-238-1212	OWNER: FEROZ KHAN 485 REBECCA STREET OAKVILLE, ON L6K 1K6
SITE STATISTICS ADDRESS: LEGAL DESCRIPTION: ZONING:	485 REBECCA STREET OAKVILLE, ON L6K 1K6 PART OF LOT 1 REG'D PLAN 622 RL2-0	
DESCRIPTION	REQUIRED METRIC IMPERIAL	EXISTING - DEMO METRIC IMPERIAL
LOT AREA:	836.000 8,999	1,061.360 11,317
LOT FRONTAGE:		
1. AT STREET		27.41 90
2. AS PER DEFINITION (7.5m back from property line)	22.5 74	27.44 90
LOT COVERAGE:		
DWELLING		268.540 2,783
COVERED ENTRY PORCH		4.924 53
COVERED REAR PORCH		23.190 251
TOTAL		286.792 3,087
COVERAGE (%)	28.0%	27.28%
GROSS FLOOR AREA:		
GROUND FLOOR		209.682 2,287
SECOND FLOOR		209.125 2,281
TOTAL		418.807 4,568
RESIDENTIAL FLOOR AREA RATIO (G.F.A (%))	37.3%	418.807 4,568
ON 200' (2)		38.33%
DWELLING DEPTH	0 0	16.850 85
BASEMENT		
FINISHED AREA		186.828 2,041
UNFINISHED AREA		18.302 197
TOTAL BASEMENT		205.130 2,238
PARKING GARAGE: (FLOOR AREA (INC. STORAGE))	46 484.4	43.293 469
DRIVEWAY WIDTH	5.0	16.070 33.0
YARDS:		
MINIMUM FRONT YARD		
FRONT YARD	16.37 27.0	10.37 34.0
REAR YARD	7.4 24.8	11.08 36.4
SIDE YARD WEST	1.2 3.9	2.20 7.2
SIDE YARD EAST	2.4 7.9	2.40 7.9
MAXIMUM HEIGHT 2 STOREY:	9.90 29.53	9.900 29.5
MAXIMUM HEIGHT TO RIDGE:		
GARAGE WALL PROJECTION:	0.00	0.0

# 2 SITE STATISTICS

A1/2 SCALE: NTS

# SURVEYOR'S REAL PROPERTY REPORT OF

## PART 1: PLAN OF LOT 1 REGISTERED PLAN 622 TOWN OF OAKVILLE (REGIONAL MUNICIPALITY OF HALTON)

### PART 2: REPORT

\* THIS REPORT WAS PREPARED FOR FEROZ KHAN, AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

### BOUNDARIES

\* LOT 1, REGISTERED PLAN 622

### TITLE SEARCH INDICATES

\* NO EASEMENTS OR RIGHT OF WAYS REGISTERED ON TITLE.

### ZONING

\* NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE FOR THE SUBJECT PROPERTY (PROPERTIES).

### FENCES

\* PLEASE NOTE THE POSITION OF THE FENCES IN RELATION TO THE SOUTHERLY, NORTHERLY, EASTERLY & WESTERLY BOUNDARIES; THEY ARE LOCATED OVER THE SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN.

### BEARING NOTE

\* BEARING ARE ASTROMONIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF REBECCA STREET HAVING A BEARING OF N41°27'00"E AS SHOWN ON REGISTERED PLAN 622

### GEODETIC:

\* ELEVATIONS SHOWN GEODETIC DRIVEN FROM CITY OF OAKVILLE BENCH MARK # 20, ELEVATION 90.334m

5 0 5 10 metres

SCALE = 1 : 150

A. AZIZ SURVEYORS INC., O.L.S.

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

### LEGEND:

■ DENOTES SURVEY MONUMENT FOUND  
SIB " STANDARD IRON BAR  
N.E.S.W " NORTH, EAST, SOUTH, WEST  
BF " BOARD FENCE  
CLF " CHAIN LINK FENCE  
RP " REGISTERED PLAN 622  
RP1 " REGISTERED PLAN 417  
P " SURVEY BY H. D. SEWELL  
O.L.S., DATED NOVEMBER 10, 1955.  
P1 " SURVEY BY J. H. GELBLOOM SURVEYING LTD.  
O.L.S., DATED OCTOBER 29, 2018  
ASP.DW " ASPHALT DRIVEWAY  
INT.B.WW " INTER LOCKING BRICK WALKWAY

DENOTES IRON BAR  
CC " CUT CROSS  
WT " WITNESS  
PROD'N " PRODUCTION  
CALC " CALCULATION  
OU " ORIGIN UNKNOWN  
MS " MEASURED  
D.T. " DECIDUOUS TREE  
CT. " CONIFEROUS TREE  
MH " MANHOLE  
HP " HYDRO POLE  
DS " DOOR SILL  
UP " UTILITY POLE  
NTS " NOT TO SCALE

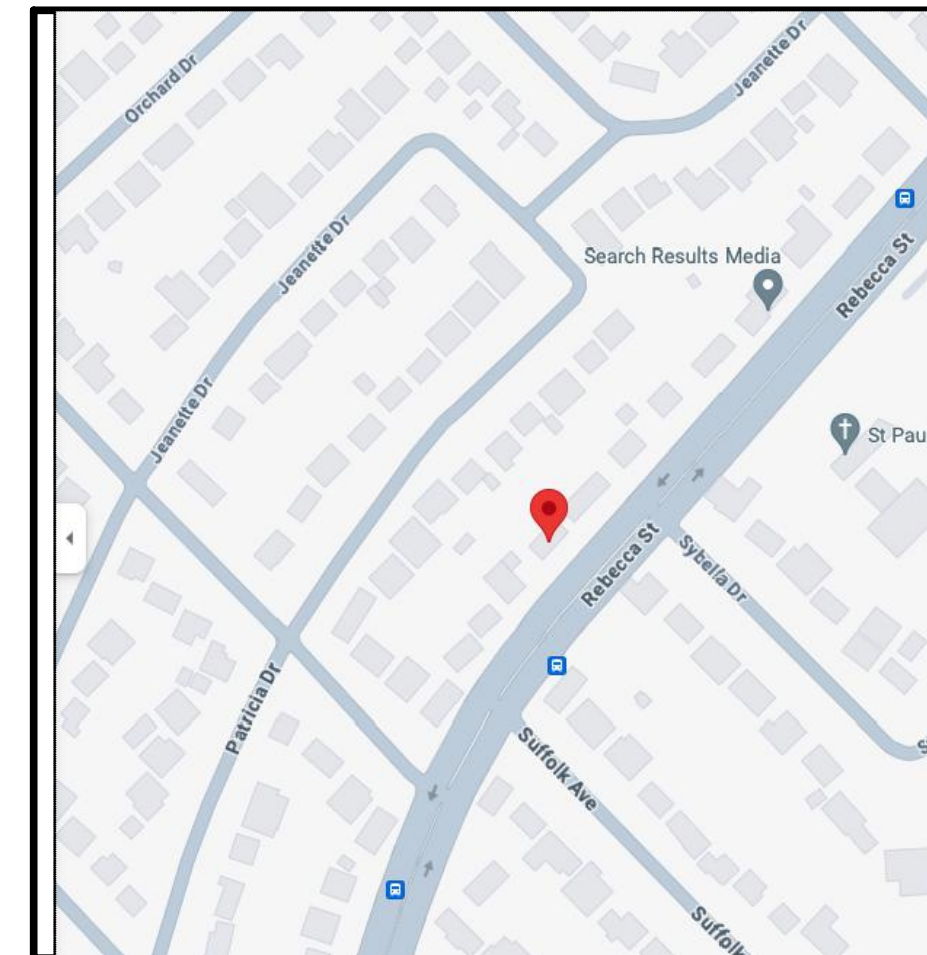
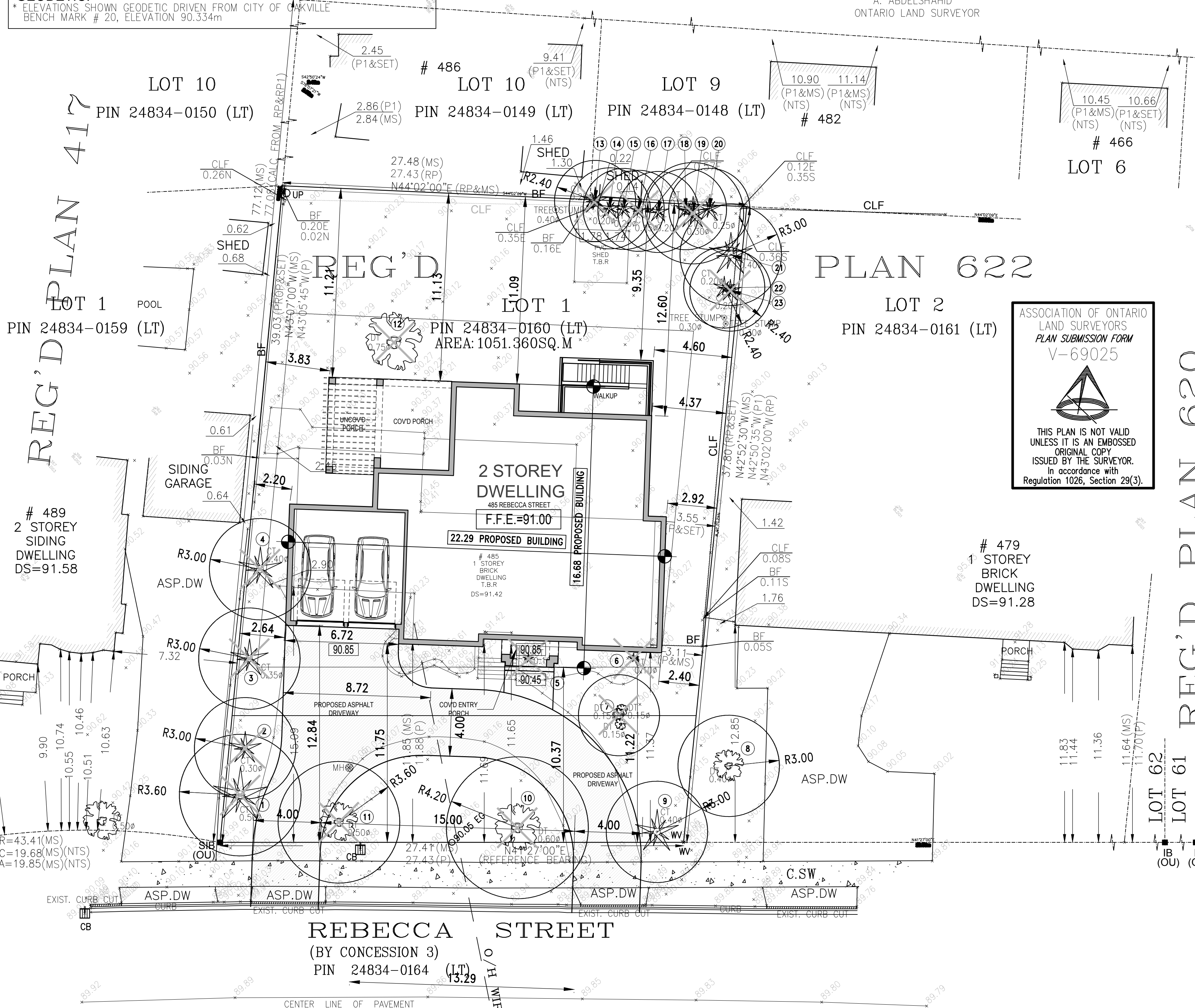
### SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 30th DAY OF APRIL, 2024.

DATE: MAY 3, 2024

A. ABDEL SHAHID  
ONTARIO LAND SURVEYOR



# 4 KEYPLAN

A1/2 SCALE: NTS

Drawings must NOT be scaled.  
Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

## SITE LEGEND:

—	PROPERTY LINE
—	EXISTING GRADE
83.37'	FINISHED GRADE
F.F.E.	FINISHED FLOOR ELEVATION
F.B.E.	FINISHED BASEMENT ELEVATION
F.D.E.	FINISHED DECK ELEVATION
▲	MAIN ENTRANCE
▼	SECONDARY ENTRANCE
—	EXISTING STRUCTURES TO BE REMOVED
●	BORE HOLE LOCATION & No. PER SOILS REPORT
—	ROOF DOWNSPOUT LOCATION: DISCHARGE ON 800X800 CONG. PAVEMENT
12.09'	PROPOSED DIMENSIONS TO NEW STRUCTURES
02 existing	EXISTING DIMENSIONS TO EXISTING STRUCTURES
—	NEW SUMP WITH DISCHARGE DIRECTION
—	TREE HOARDING
TR 7	TREE NUMBER PER ARBOURIST REPORT
○	EXISTING TREE TO REMAIN - DASHED LINE INDICATES TPZ (TREE PROTECTION ZONE PER ARBOURIST REPORT)
✕	EXISTING TREE TO BE REMOVED
○	EXISTING TREE TO BE REMAIN.

## REGION OF HALTON CERTIFICATE

REGIONAL APPROVAL  
REGION DESIGN OF WATER &/OR WASTEWATER SERVICES  
APPROVED SUBJECT TO DETAIL CONSTRUCTION  
CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_  
INFRASTRUCTURE PLANNING & POLICY  
The applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the applicant must ensure that the Region of Halton's standards and specifications are met, (the Water and Wastewater Linear Design Manual may be obtained from Data Management Group at 905-825-6032). Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

1 06.11.24 ISSUED FOR C OF A

REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:



HDS DWELL INC.  
20 GILMOUR ROAD, PUSLINC, ON, CAN N0B 2J0  
WWW.HICKSDSIGNSTUDIO.CA T: (226)979-4493

CLIENT:

THE KHAN  
RESIDENCE

ADDRESS: 485 REBECCA STREET  
CITY: OAKVILLE

DRAWING TITLE:

SITE  
PLAN

DRAWN: J.W.H

DATE: 6.4.2024 SCALE: 1:200

JOB NUMBER: SHEET NUMBER:

24-072

A1.2



8/24/2024 C:\USERS\JASON\HUTHER\LIBRARY\CLOUDS\DRIVE\HDS\DWELL\SHARED\DOCUMENTS\HDS DWELL\HDS\DWELL\PROJECTS\24\07 - FERROZ RESIDENCE - 485 REBECCA - OAK\DRAWINGS\FERROZ DESIGN DRAWINGS 060724.DWG



CITY OF MISSISSAUGA STAMP:

This undersigned has accepted and takes responsibility for the design and shall be responsible and liable for the requirements set out in the Ontario Building Code for a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 2.1.2.1.1 of the building code.	
JASON HUTHER	30381
NAME	OCN
REGISTRATION INFORMATION	
Required unless design is exempt under 2.1.2.1.1 of the building code.	
HDS DWELL INC.	118699
FIRM NAME	OCN

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1	06.11.24	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



**HDS DWELL  
INC.**

HDS DWELL INC.  
20 GILMOUR ROAD, PUSLINCH ON, CAN N0B 2J0  
WWW.HICKSDSIGNSTUDIO.CA T. (226) 879-4483

CLIENT:	
THE KHAN RESIDENCE	
ADDRESS: 485 REBECCA STREET CITY: OAKVILLE	
DRAWING TITLE: EAST ELEVATION	
DRAWN: J.W.H	
DATE: DATE	SCALE: 1/4"=1'-0"
JOB NUMBER:	SHEET NUMBER:
24-063	A4.4

<p>The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p>	
<p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under 2.17.5.1 of the building code</p>	
<p>JASON HUETHER</p> <p>NAME</p>	<p>39381</p> <p>RCIN</p>
<p><b>REGISTRATION INFORMATION</b></p> <p>Required unless design is exempt under 2.17.5.1 of the building code</p>	
<p>HDS Dwell Inc.</p> <p>FIRM NAME</p>	<p>118669</p> <p>RCIN</p>

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

06.11.24		ISSUED FOR C O F A	
REF.	DATE:	DESCRIPTION:	
REVISIONS / ISSUANCE:			
<div><p><b>HDS DWELL INC.</b></p><p>405 DWELL INC. 25 GILMOUR ROAD, PUSLISCH ON CAN N0B 2J0 WWW.HICKSDSIGNSTUDIO.CA T.(226)979-4493</p></div>			
CLIENT:			
THE KHAN RESIDENCE			
ADDRESS:		485 REBECCA STREET	
CITY:		OAKVILLE	
DRAWING TITLE:			
NORTH ELEVATION			
DRAWN: J.W.H			
DATE:		DATE:	
JOB NUMBER:		SCALE: 1/4"=1'-0"	
24-003		SHEET NUMBER:	
		A4.2	

8/21/2024, J:\USERS\JASON\HUTHER\LIBRARY\CLOUDSTORAGE\ONE-DRIVE\HDS\DWELL\SHARED DOCUMENTS\485 REBECCA - 485 REBECCA - OAK\DRAWINGS\FERROZ DESIGN DRAWINGS 060724.DWG



CITY OF MISSISSAUGA STAMP:

This professional has accepted and shall be responsible for the design and shall be the qualified person under the provisions of the City of Mississauga Building Code to be a designer.		
QUALIFICATION INFORMATION		
Required unless design is exempt under 2.17.1.1 of the Building Code		
JASON HUTHER	36361	
NAME	SIGNATURE	SCALE
REGISTRATION INFORMATION		
Required unless design is exempt under 2.17.1.1 of the Building Code		
HDS DWELL INC.	118899	
FIRM NAME	BCIN	

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1	06.11.24	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



**HDS DWELL  
INC.**

HDS DWELL INC.  
26 GILMOUR ROAD, PUSLINCH ON, CAN N0B 2J0  
WWW.HICKSDSIGNSTUDIO.CA T. (226) 979-4483

CLIENT:  
THE KHAN  
RESIDENCE

ADDRESS: 485 REBECCA STREET  
CITY: OAKVILLE

DRAWING TITLE:  
SOUTH  
ELEVATION

DRAWN: J.W.H		
DATE:	DATE:	SCALE: 1/4"=1'-0"
JOB NUMBER:	SHEET NUMBER:	
24-063	A4.1	

8/21/2024, J:\USERS\JASON\JHETHER\L\B\LIBRARY\CLOUDS\STORAGE\ONE DRIVE\HDS\DWELL\SHARED DOCUMENTS\485 REBECCA - 485 REBECCA - OAK\DRAWINGS\FERROZ DESIGN DRAWINGS 860724.DWG



CITY OF MISSISSAUGA STAMP:

This professional has reviewed and taken responsibility for the design and shall be responsible for ensuring the design complies with the City of Mississauga Building Code to the satisfaction of the City of Mississauga Building Code.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 2.1.1.1.1 of the Building Code	
JASON HETHER	36361
NAME	SIGNATURE
REGISTRATION INFORMATION	
Required unless design is exempt under 2.1.1.1.1 of the Building Code	
HDS DWELL INC.	118899
FIRM NAME	BCIN

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1	06.11.24	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



**HDS DWELL  
INC.**

HDS DWELL INC.  
20 GLENOUR ROAD, PUSLINCH ON, CAN N0B 2J0  
WWW.HICKSDSIGNSTUDIO.CA T. (226) 979-4493

CLIENT:  
THE KHAN  
RESIDENCE

ADDRESS: 485 REBECCA STREET  
CITY: OAKVILLE

DRAWING TITLE:  
WEST  
ELEVATION

DRAWN: J.W.H	
DATE:	DATE:
JOB NUMBER:	SHEET NUMBER:
24-063	A4.3





## **VARIANCE RATIONALE FOR 485 REBECCA STREET, OAKVILLE, ON**

We are the Designers assisting the Owner of the property known as 485 Rebecca Street with their new 2 storey dwelling and we are requesting 2 Minor variances connected to the property. The variances requested are listed below along with a brief rationale.

### **VARIANCES REQUIRED - RL2-0 ZONING**

**RESIDENTIAL FLOOR AREA** - Permitted 37% or 389sqm, Proposed 39.83% or 418.81sqm

**LOT COVERAGE** - Permitted 25% or 262.84sqm, Proposed 27.28% or 286.79sqm

### **REASONS FOR VARIANCE:**

**RESIDENTIAL FLOOR AREA** - Permitted 37% or 389sqm, Proposed 39.83% or 418.81sqm

The variance for RFA relates in most part to the additional space above the garage roof. Much of this additional floor area is contained within the roof space itself and for the most part acts as a dormer into a single storey roof line. The roof slopes down towards the western neighbour and conceals the additional GFA. The home complies with all setbacks and height thus sits very nicely on the lot. The additional RFA is well concealed within the home and does not contribute to additional variances or massing.

**LOT COVERAGE** - Permitted 25% or 262.84sqm, Proposed 27.28% or 286.79sqm

The additional lot coverage has to do in most part to the single storey flat roof rear covered porch. This adds approximately 13.38 sqm or the additional 28 being sought. This is a single storey open flat roof porch which does not contribute to the additional RFA request. There is also a slightly enlarged garage to allow for additional storage which contributes to the additional coverage. As noted however the garage does comply with area requirements. The home complies with all setbacks and height thus sits very nicely on the lot.

### **Why this application meets the four tests.**

#### **Are the variances Minor In Nature?**

The variances as requested are minor in nature, there is no cumulative affect to the requested variances and they do not pose impacts on the neighbouring homes.

#### **Is the proposal desirable and appropriate?**

The new home is in keeping with the scale, size and character for the neighbourhood. This house will sit gently on this lakefront property and takes advantage of the odd shaped lot in order to conceal major portions of the home

**Is it in keeping with the general Intent of the Zoning Bylaw?**  
**Is it in keeping with the general Intent of the Official Plan?**

The requested variances are minor in nature and will not pose impacts to surrounding homes. They do not create an overbuild for the site and the home sits comfortably on this lakefront lot.

Thank you very much. If you have any questions at all please feel free to reach out via phone or email below.

**Yours truly,**

**Jason Huether**  
**HDS Dwell Inc.**  
**226 979-4493**  
**[jhuether@hdsdwell.ca](mailto:jhuether@hdsdwell.ca)**

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/111/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on Wednesday August 7, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Black Ink Designs c/o Jeremy Zegers	Black Ink Designs c/o Jeremy Zegers Black Ink Designs 5046 Wellington Rd 125 Erin ON, CANADA L7J 2L9	252 Tweeddale Cres PLAN 709 LOT 68

**Zoning of Property:** RL2-0, Residential, By-law 2014-014, as amended

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance(s):

No.	Zoning By-law Regulation	Variance Request
1	<b>Section 6.4.2 a) (Row RL2, Column 3)</b> The maximum <i>lot coverage</i> shall be 25% (264.10 m <sup>2</sup> ) where the <i>detached dwelling</i> is greater than 7.0 metres in <i>height</i> ; (Lot area is 1056.4 m <sup>2</sup> ).	To permit the maximum <i>lot coverage</i> to be 29.5% (295.8 m <sup>2</sup> ) for the <i>detached dwelling</i> which is greater than 7.0 metres in <i>height</i> .
2	<b>Section 5.8.6 b)</b> For <i>detached dwellings</i> on <i>lots</i> having greater than or equal to 12.0 metres in <i>lot frontage</i> , the maximum total <i>floor area</i> for a <i>private garage</i> shall be 45.0 square metres.	To permit the maximum total <i>floor area</i> for the <i>private garage</i> to be 50.25 square metres on a <i>lot</i> having greater than or equal to 12.0 metres in <i>lot frontage</i> .

## How do I participate if I have comments or concerns?

Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments

regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

**Participate in the electronic hearing by videoconference.**

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

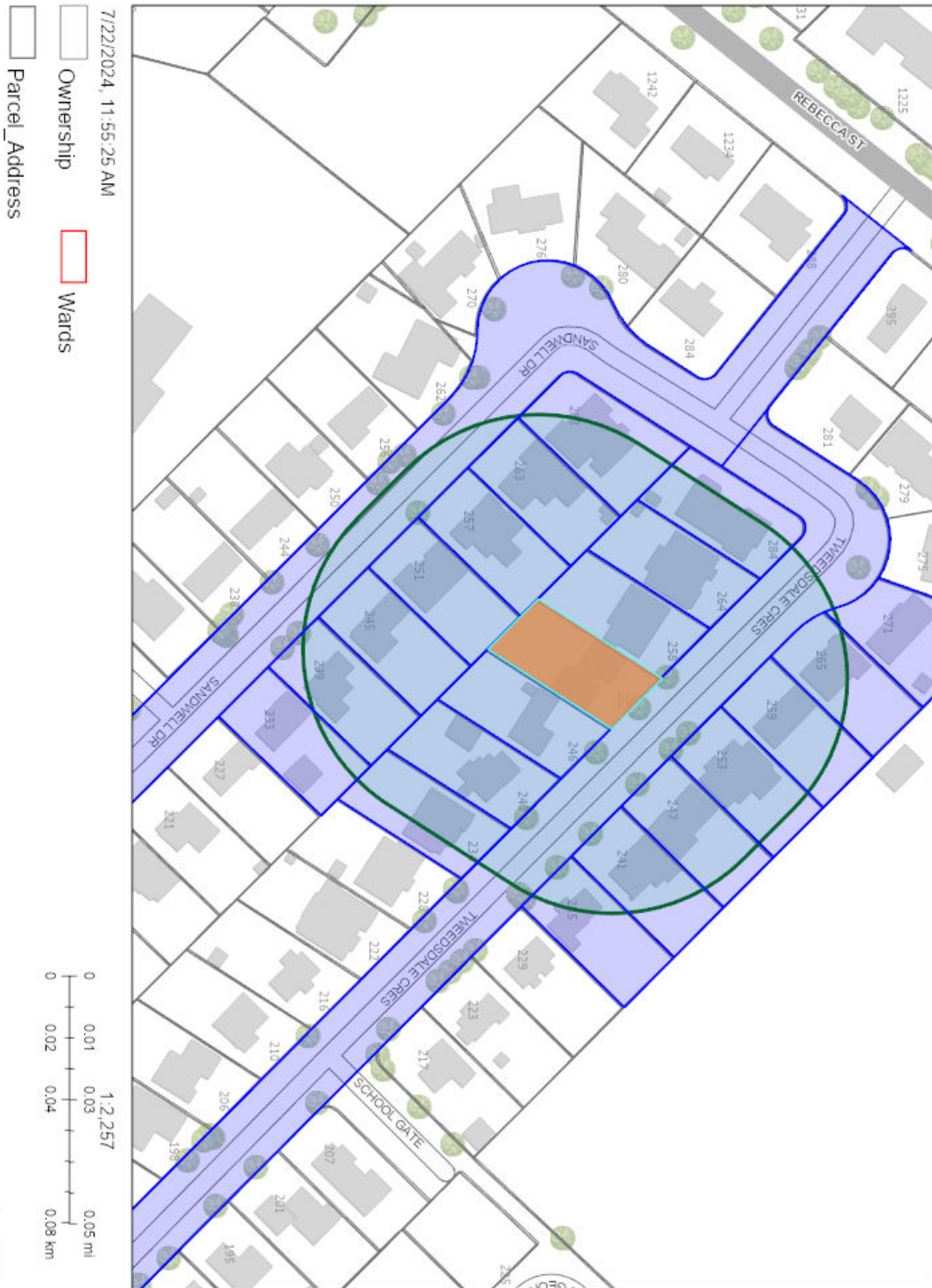
**Contact information:**

Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

July 23, 2024

# CAV A/111/2024 (252 Tweedsdale Crescent)







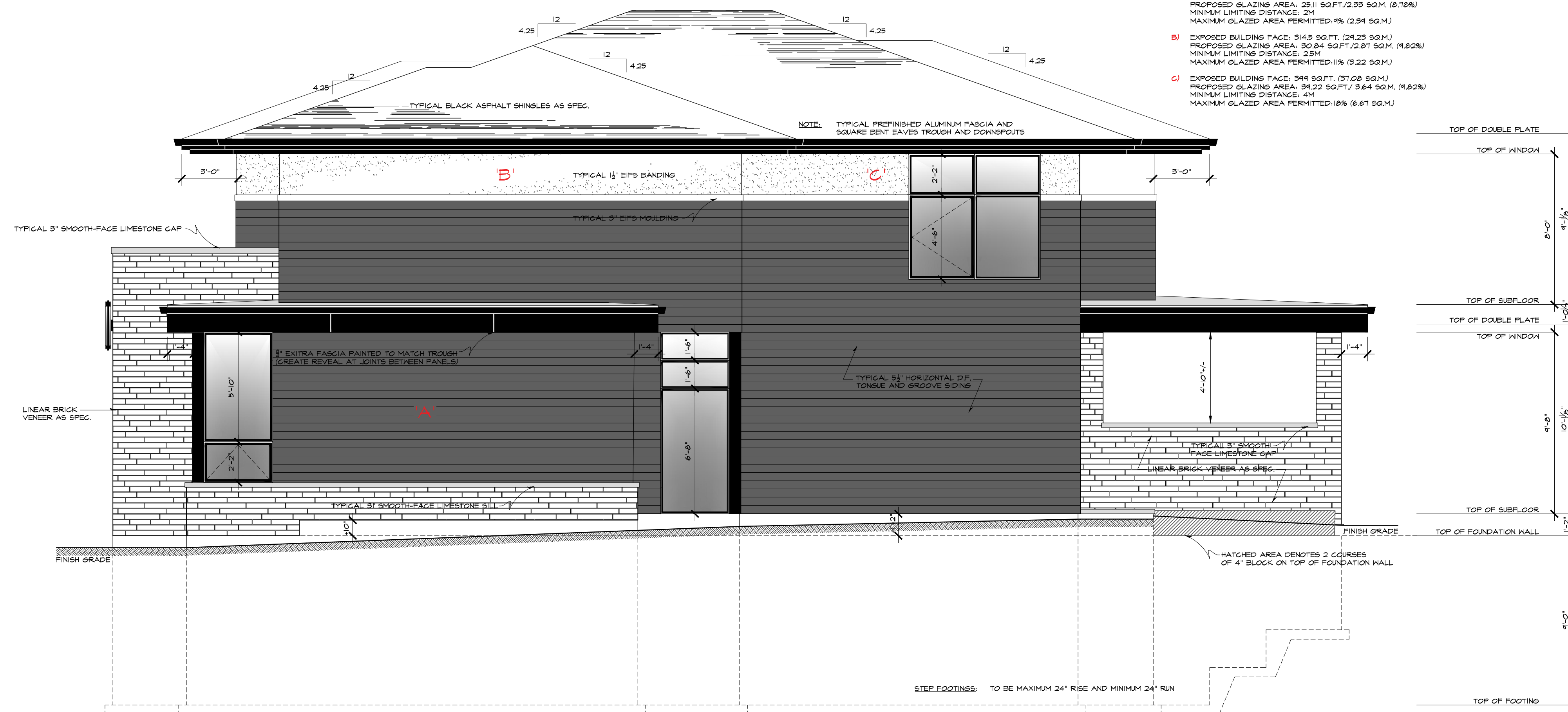




1  
A07  
NORTHEAST ELEVATION  
SCALE: AS NOTED

LIMITING DISTANCE CALCULATIONS:

- A) EXPOSED BUILDING FACE: 255.5 SQ.FT. (26.53 SQ.M.)  
PROPOSED GLAZING AREA: 231.1 SQ.FT. (23.55 SQ.M.) (8.16%)  
MINIMUM LIMITING DISTANCE: 2M  
MAXIMUM GLAZED AREA PERMITTED: 4% (2.94 SQ.M.)
- B) EXPOSED BUILDING FACE: 314.5 SQ.FT. (32.23 SQ.M.)  
PROPOSED GLAZING AREA: 30.84 SQ.FT. (2.87 SQ.M.) (9.82%)  
MINIMUM LIMITING DISTANCE: 2.5M  
MAXIMUM GLAZED AREA PERMITTED: 11% (3.22 SQ.M.)
- C) EXPOSED BUILDING FACE: 398 SQ.FT. (37.08 SQ.M.)  
PROPOSED GLAZING AREA: 34.22 SQ.FT. (3.64 SQ.M.) (9.82%)  
MINIMUM LIMITING DISTANCE: 4M  
MAXIMUM GLAZED AREA PERMITTED: 18% (6.67 SQ.M.)



2  
A07  
NORTHWEST ELEVATION  
SCALE: AS NOTED

CONST. NORTH TRUE NORTH

NOTES:

DISCLAIMER:

-DO NOT SCALE DRAWINGS OR ANY DETAILS ISSUED FOR THIS PROJECT.

-IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, NOTES & DETAILS PRIOR TO STARTING CONSTRUCTION.

-IF ANY DISCREPANCIES ARISE PERTAINING TO THE DRAWINGS, NOTIFICATION OF THESE PROBLEMS MUST BE IMMEDIATELY REPORTED TO THE DESIGNER.

black ink designs  
IT ALL STARTS WITH A PLAN

5046 Wellington Road 125  
Erin, ON  
L7J 2L9

416.768.4939  
info@blackinkdesigns.ca  
www.blackinkdesigns.ca

QUALIFICATION INFORMATION:  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OBC TO BE A DESIGNER

SIGNATURE  
JEREMY ZEGERS BCIN: 28145

REGISTRATION INFORMATION:  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C, 3.2.4.1. OF THE ONTARIO BUILDING CODE  
BLACK INK DESIGNS BCIN: 122103

PROJECT NUMBER:  
23-116

DRAWING TITLE:  
N.E. + S.E. ELEVATIONS

PROJECT TITLE:  
MALAJ RESIDENCE  
252 TWEEDSDALE CRESCENT

DRAWN BY:  
JEREMY ZEGERS

CLIENT NAME:  
KEVIN MALAJ

DATE:  
05-27-2024

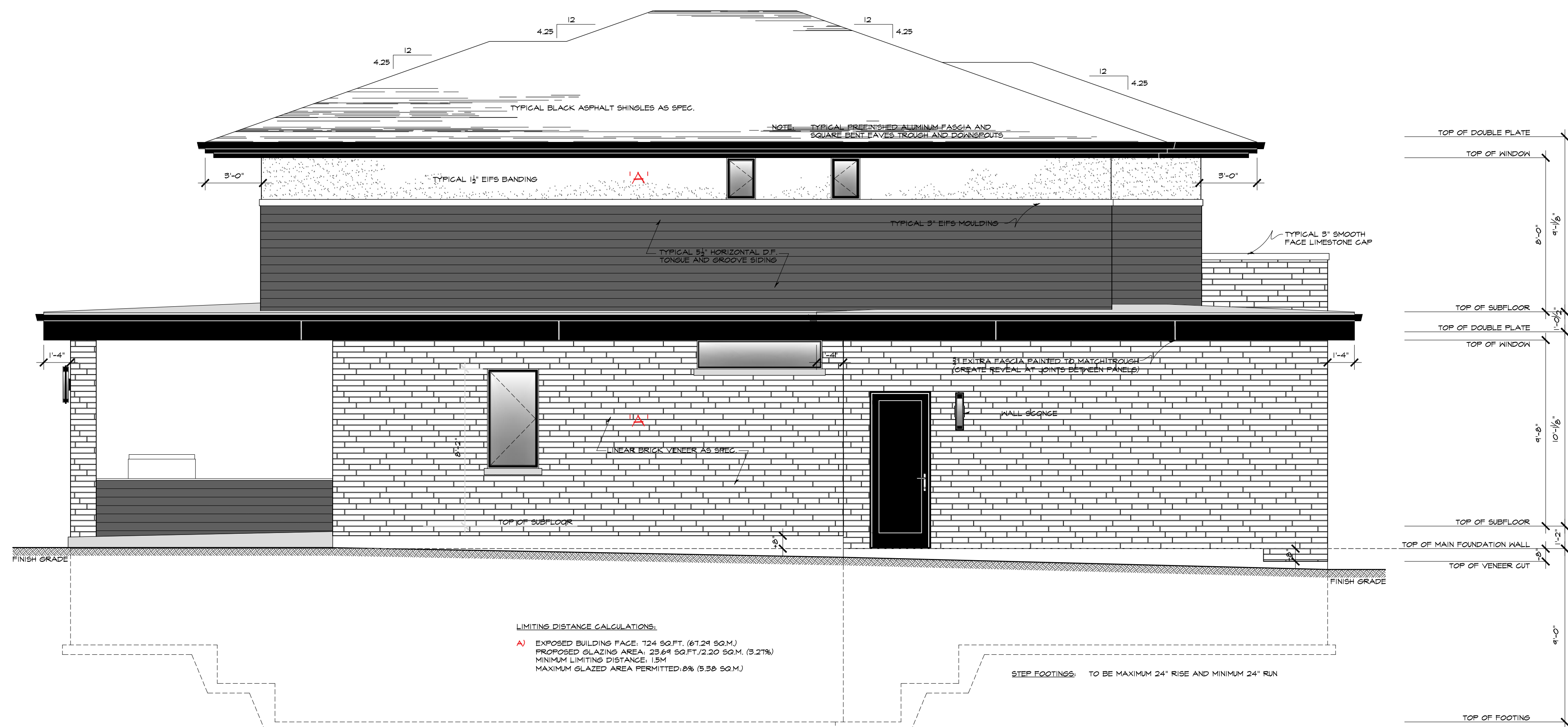
SCALE:  
1/4"=1'-0"

NO.

A07



1  
A08  
SOUTHWEST ELEVATION  
SCALE: AS NOTED



2  
A08  
NORTHEAST ELEVATION  
SCALE: AS NOTED

CONST. NORTH TRUE NORTH

NOTES:

DISCLAIMER:

-DO NOT SCALE DRAWINGS OR ANY DETAILS ISSUED FOR THIS PROJECT.  
-IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, NOTES & DETAILS PRIOR TO STARTING CONSTRUCTION.  
-IF ANY DISCREPANCIES ARISE PERTAINING TO THE DRAWINGS, NOTIFICATION OF THESE PROBLEMS MUST BE IMMEDIATELY REPORTED TO THE DESIGNER.

black ink designs  
IT ALL STARTS WITH A PLAN

5046 Wellington Road 125  
Erin, ON  
L7J 2L9

416.768.4939  
info@blackinkdesigns.ca  
www.blackinkdesigns.ca

QUALIFICATION INFORMATION:  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OBC TO BE A DESIGNER

SIGNATURE  
JEREMY ZEGERS BCIN: 28145

REGISTRATION INFORMATION:  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C, 3.2.4.1. OF THE ONTARIO BUILDING CODE  
BLACK INK DESIGNS BCIN: 122103

PROJECT NUMBER:  
23-116

DRAWING TITLE:  
S.W. + N.W. ELEVATIONS

PROJECT TITLE:  
MALAJ RESIDENCE  
252 TWEEDSDALE CRESCENT

DRAWN BY:  
JEREMY ZEGERS

CLIENT NAME:  
KEVIN MALAJ

DATE:  
05-27-2024

SCALE:  
1/4"=1'-0"

NO.

A08



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/112/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on Wednesday August 07, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Caivan Communities (Bronte) Limited	Bailey Russell Caivan Communities (Bronte) Limited 209 Oak Park Blvd Oakville ON, Canada L6H 7S8	2501 Saw Whet Blvd PLAN M1223 BLK 451

**Zoning of Property:** RM4 sp:376, Residential

## Variance Request:

Under Section 45(1) of the Planning Act, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the reduction of the parking space dimension located in the underground parking for the condominium apartment development on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 5.2.3 d)</i> Where a wall, column, or other obstruction is located abutting or within any parking space, the minimum width of the parking space shall be increased by 0.3 metres for each side that is obstructed. The minimum width is 3.0m in this instance.	To reduce the minimum width of parking space unit #66 to 2.92 metres.

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments

regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

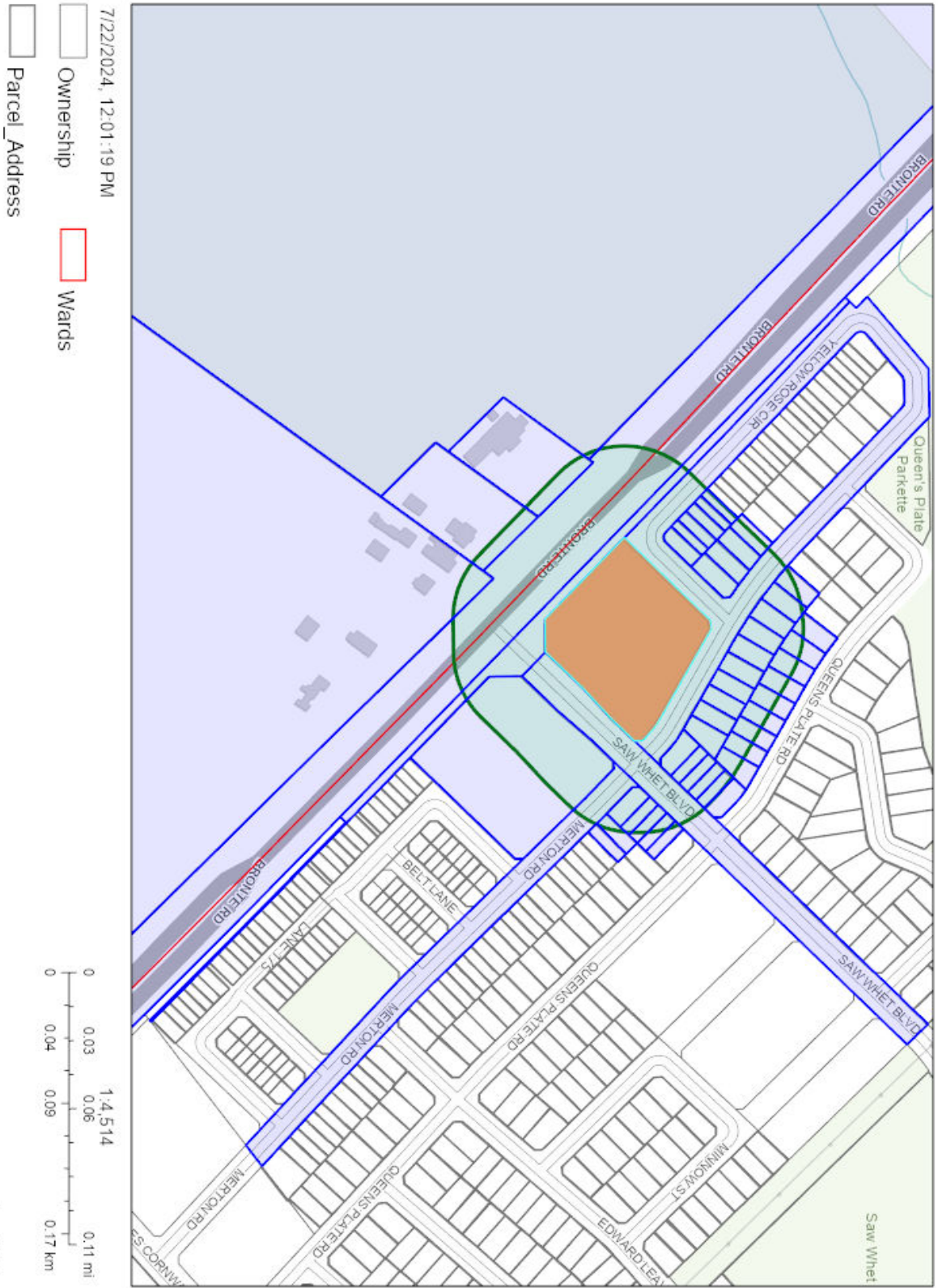
**Contact information:**

Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

July 23, 2024

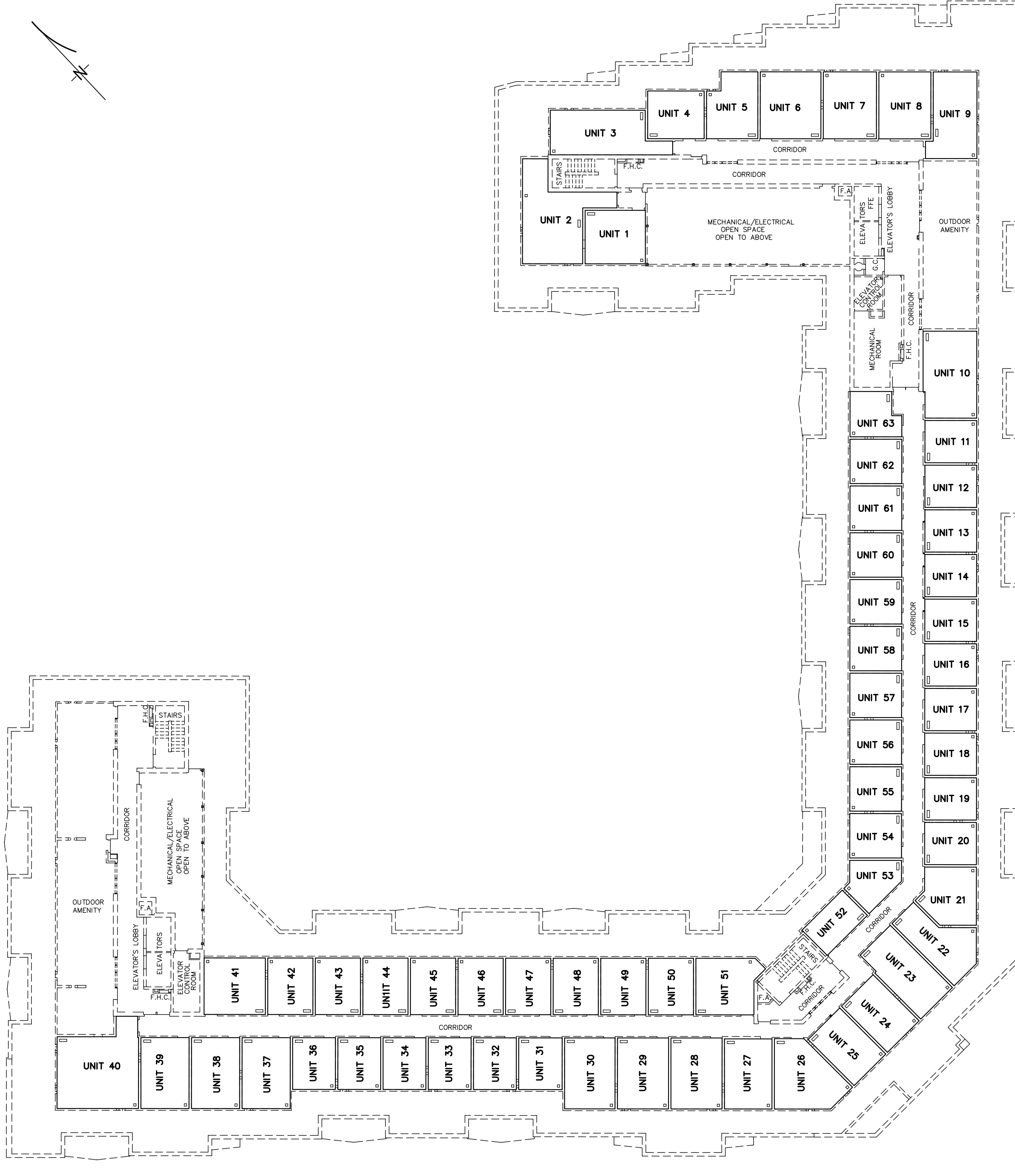
CAV A/112/2024 (2501 Saw Whet Boulevard)



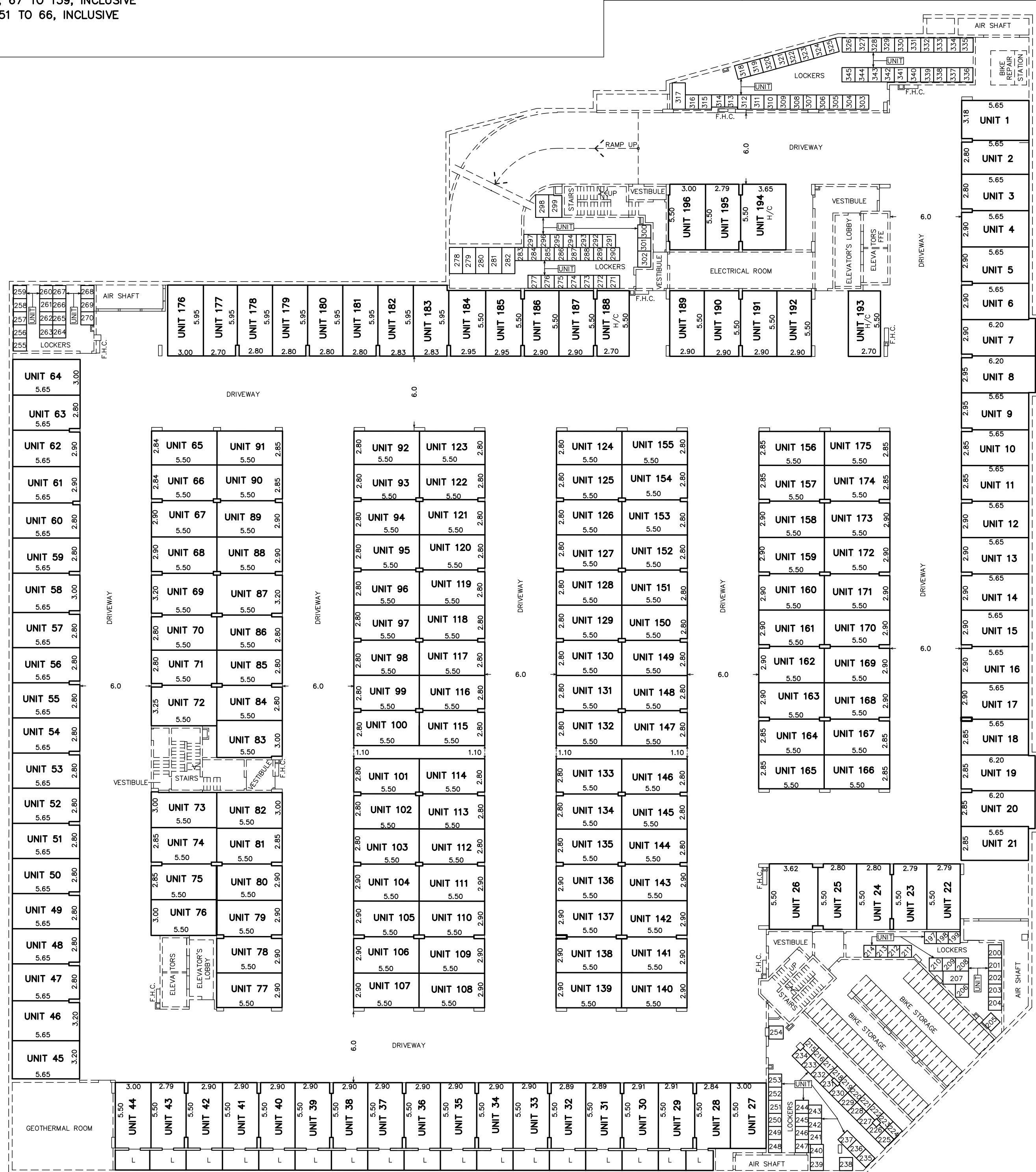




PARKING UNITS 1 TO 50, INCLUSIVE, 67 TO 139, INCLUSIVE  
COMBINED PARKING/LOCKER UNITS 51 TO 66, INCLUSIVE  
ON LEVEL A



ROOFTOP TERRACE UNITS 1 TO 63, INCLUSIVE ON LEVEL 7



PARKING UNITS 1 TO 27, INCLUSIVE, 45 TO 196, INCLUSIVE  
COMBINED PARKING/LOCKER UNITS 28 TO 44, INCLUSIVE  
LOCKER UNITS 197 TO 345, INCLUSIVE  
ON LEVEL B



All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all use of these documents for the intended purpose as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended purpose as noted and agreed below, however the extended permission to the Authorities Having Jurisdiction in no way releases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.  
This Drawing is Not To Be Used For Construction Unit Signed By The Architect.  
Date:

**KIRKOR**  
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

No.	Revision:	Date:
1	Site Instruction #2	05/27/2023
2	Site Instruction #6	05/12/2023
3	Site Instruction #9	06/07/2023
4	Site Instruction #10	06/08/2023
5	Site Instruction #11	06/13/2023
6	Site Instruction #18	06/20/2023
7	Site Instruction #41	02/06/2024
8	Site Instruction #51	03/08/2024

9	Post Tender Addendum#2	April 13, 2023
8	Building Permit Resubmission	April 13, 2023
7	Construction	Dec 21, 2022
6	Post Tender Addendum	Dec 21, 2022
3	Tender	October 21, 2022
1	Building Permit	May 20, 2022

No.: Issued For: Date:

Drawing Title

Overall Floor Plan Level P1

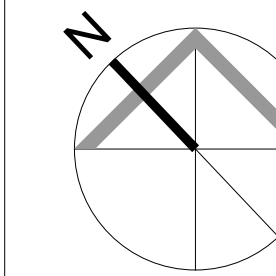
Client:

**CAIVAN**

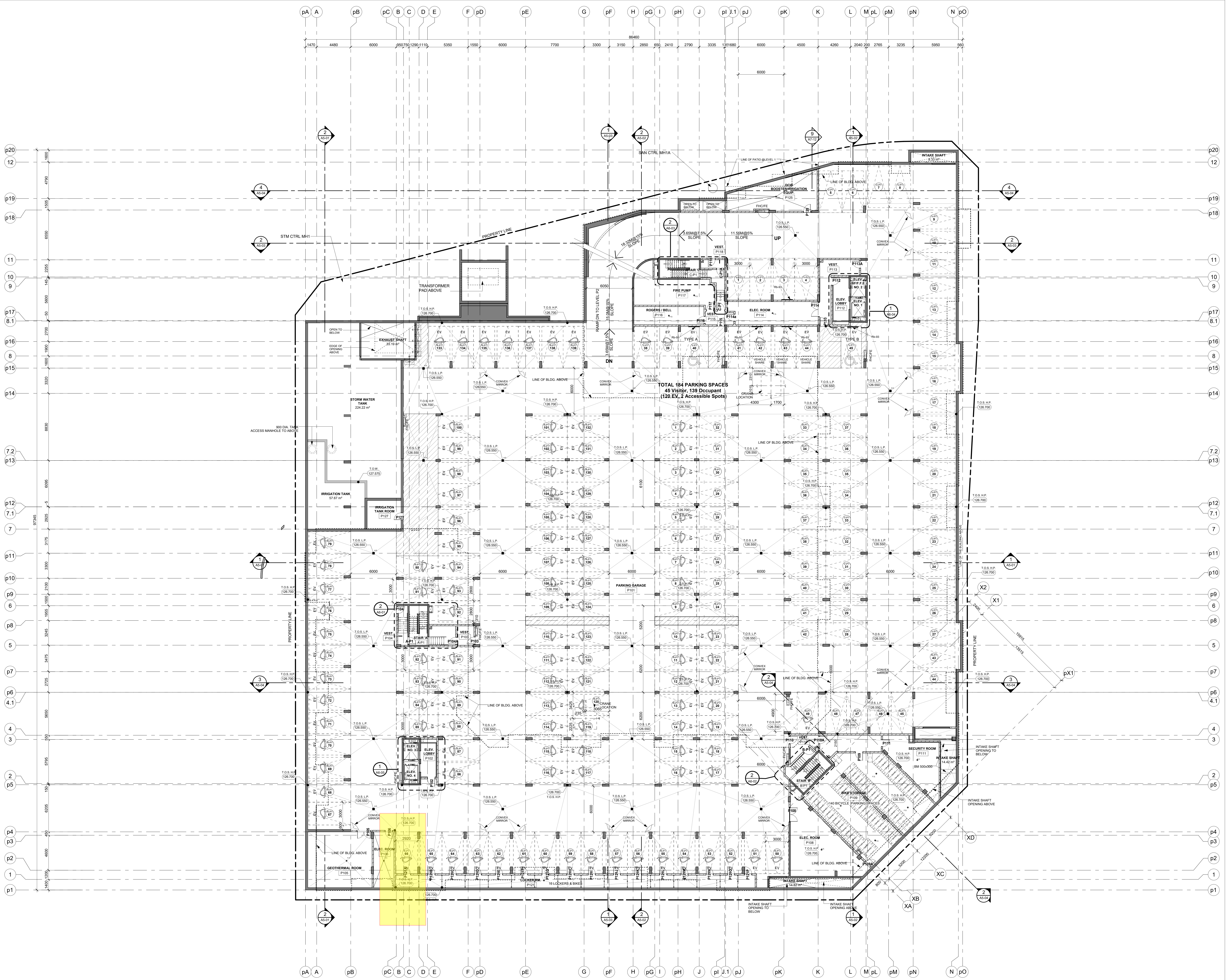
Project:  
**THE SAW WHET**

2501 Saw Whet Blvd., Oakville, ON  
Proposed Residential Development

Scale:  
1 : 150  
Drawn by:  
CN  
Checked by:  
JB  
Project No.:  
20-065  
Date:  
April 05, 2023  
Drawing No.:  
A2-04



**A2-04**



Overall Floor Plan Level P1  
Scale: 1 : 150



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/113/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on Wednesday August 07, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Chile Paul	Pamir Rafiq Lucid Homes Inc 28 Crescent Rd Oakville ON, Canada L6K 1W4	28 Crescent Rd PLAN 347 PT LOTS 136,137

**Zoning of property:** RL4-0, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 5.8.7 c)</i> Attached private garages shall not project more than 1.5 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line.	To increase the attached private garage projection to 7.66 metres from the face of the longest portion of the main wall containing residential floor area that is on the first storey of the dwelling oriented toward the front lot line.
2	<i>Table 6.3.1 (Row 6, Column RL4)</i> The minimum rear yard shall be 7.5 m.	To reduce the minimum rear yard to 5.91 m.
3	<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m <sup>2</sup> and 742.99 m <sup>2</sup> shall be 41%.	To increase the maximum residential floor area ratio to 43.79%.

4	Section 6.4.3 (a) The minimum front yard shall be 8.54 metres in this instance.	To reduce the minimum front yard to 6.99 metres.
---	--	--

### **How do I participate if I have comments or concerns?**

#### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

#### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

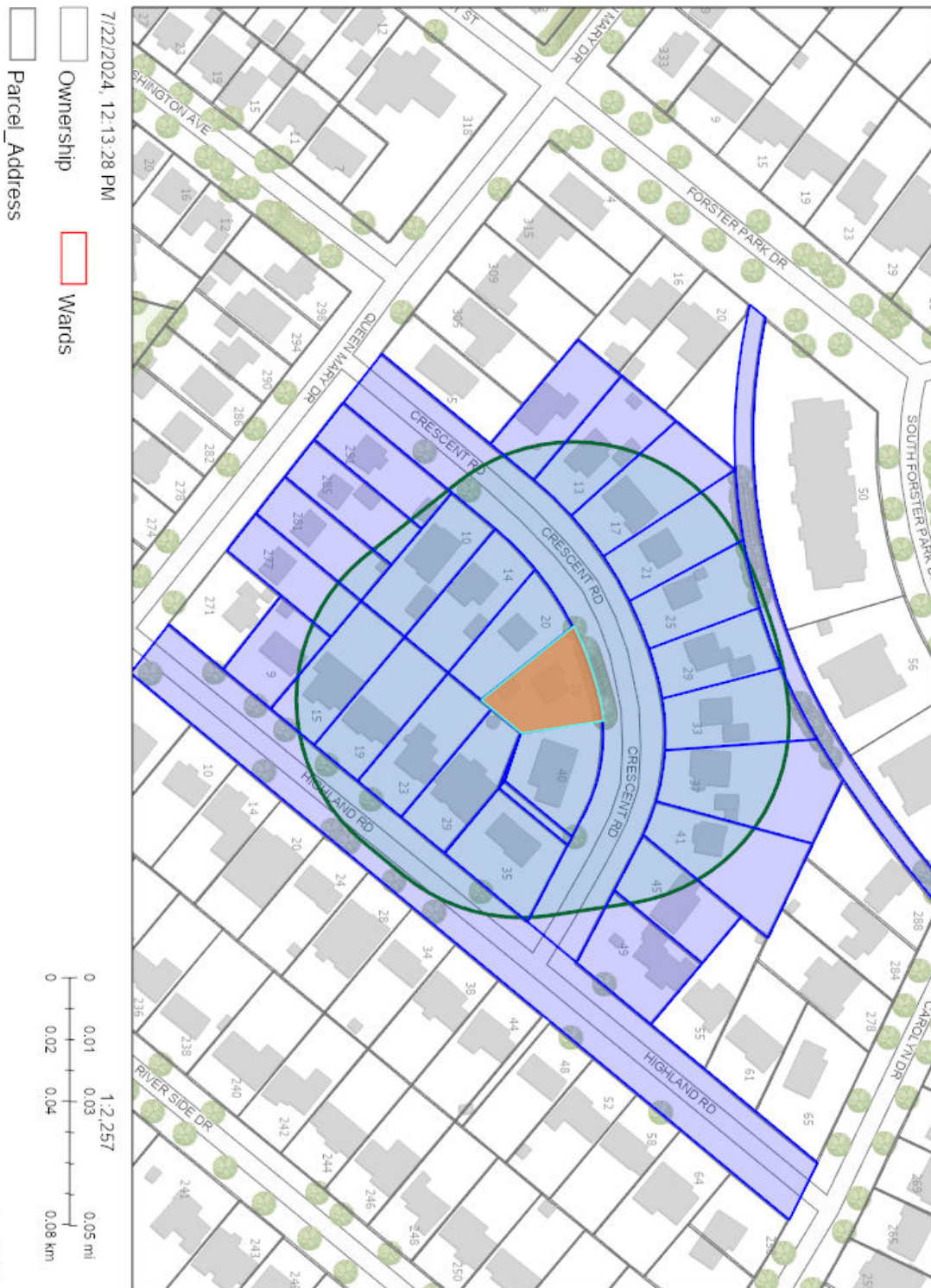
### **Contact information:**

Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

### **Date mailed:**

July 23, 2024

# CAV A/113/2024 (28 Crescent Road)







**LUCID HOMES**  
LUCID HOMES INC.  
CUSTOM HOME AND RENOVATION DESIGN  
1435 CORNWALL RD. - UNIT D2  
OAKVILLE ON - L6J 1T5  
T: 416.566.6588 E: INFO@LUCIDHOMES.CA  
WWW.LUCIDHOMES.CA

**GENERAL NOTES**  
DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST		
1 -	MM.DD.YYYY	
2 -	MM.DD.YYYY	
3 -	MM.DD.YYYY	
4 -	MM.DD.YYYY	
5 -	MM.DD.YYYY	

ISSUE LIST		
1 -	MM.DD.YYYY	
2 -	MM.DD.YYYY	
3 -	MM.DD.YYYY	
4 -	MM.DD.YYYY	
5 -	MM.DD.YYYY	

**L**  
DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
DRAWN BY: PR  
CHECKED BY:  
ADDRESS: 28 CRESCENT ROAD, OAKVILLE  
PROJECT NO: 2024-033  
SHEET NO: SCALE: 1/4" = 1'-0"  
**A201**



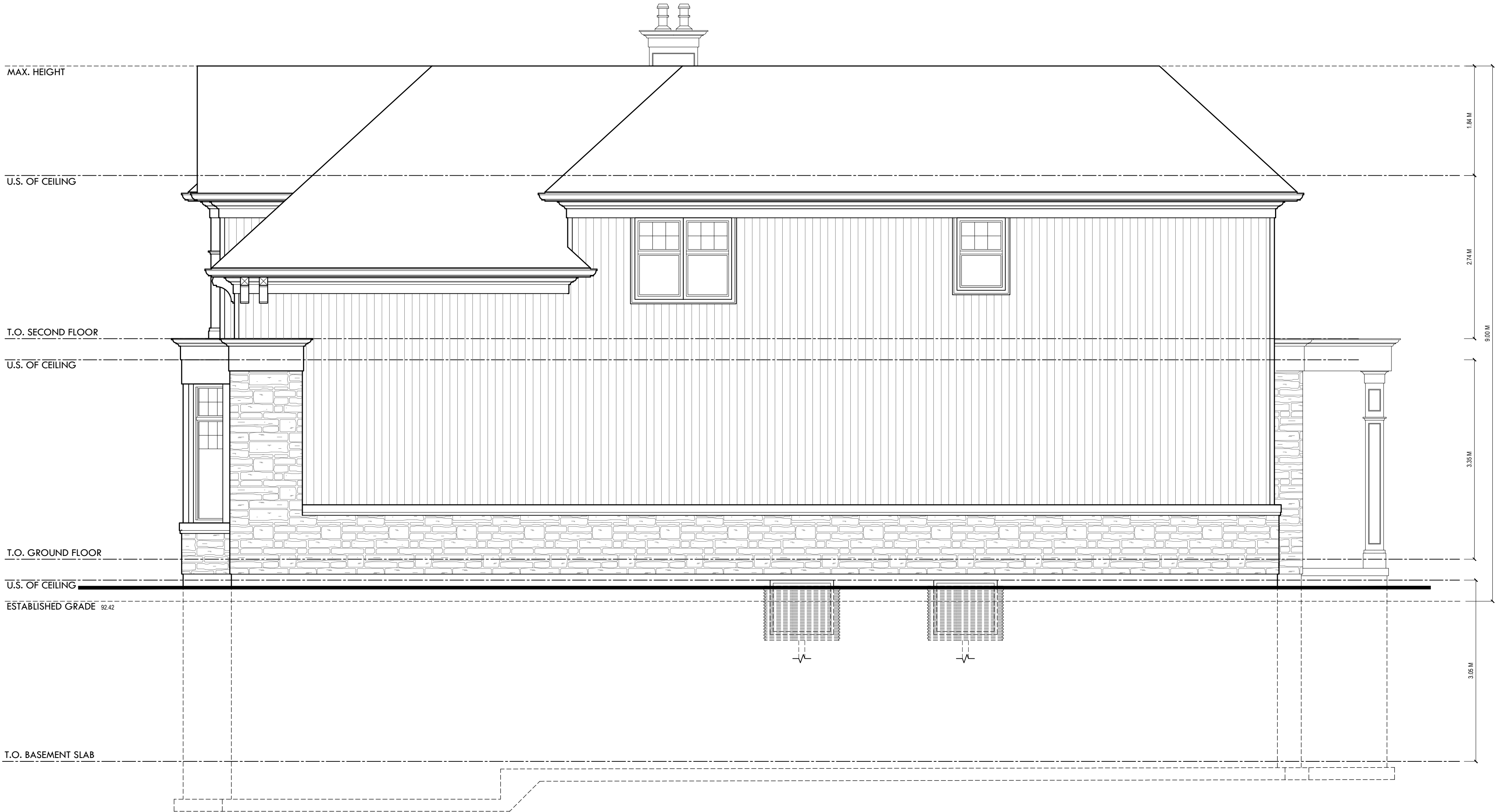
**LUCID HOMES**  
LUCID HOMES INC.  
CUSTOM HOME AND RENOVATION DESIGN  
1435 CORNWALL RD. - UNIT D2  
OAKVILLE ON L6J 1T5  
T: 416.566.6588 E: INFO@LUCIDHOMES.CA  
WWW.LUCIDHOMES.CA

**GENERAL NOTES**  
DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST		
1 -	MM.DD.YYYY	
2 -	MM.DD.YYYY	
3 -	MM.DD.YYYY	
4 -	MM.DD.YYYY	
5 -	MM.DD.YYYY	

ISSUE LIST		
1 -	MM.DD.YYYY	
2 -	MM.DD.YYYY	
3 -	MM.DD.YYYY	
4 -	MM.DD.YYYY	
5 -	MM.DD.YYYY	

**LUCID HOMES**  
DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
DRAWN BY: PR  
CHECKED BY:  
ADDRESS: 28 CRESCENT ROAD, OAKVILLE  
PROJECT NO: 2024-033  
SHEET NO: A201  
SCALE: 1/4" = 1'-0"






**LUCID HOMES INC.**  
CUSTOM HOME AND RENOVATION DESIGN  
1435 CORNWALL RD. - UNIT D2  
OAKVILLE ON - L6J 1T5  
T: 416.566.6588 E: INFO@LUCIDHOMES.CA  
WWW.LUCIDHOMES.CA

**GENERAL NOTES**

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

REVISION LIST	
1 -	MM.DD.YYYY
2 -	MM.DD.YYYY
3 -	MM.DD.YYYY
4 -	MM.DD.YYYY
5 -	MM.DD.YYYY

ISSUE LIST	
1 -	MM.DD.YYYY
2 -	MM.DD.YYYY
3 -	MM.DD.YYYY
4 -	MM.DD.YYYY
5 -	MM.DD.YYYY



**DRAWING TITLE:** ARCHITECTURAL ELEVATIONS  
**DRAWN BY:** PR  
**ADDRESS:** 28 CRESCENT ROAD, OAKVILLE  
**PROJECT NO:** 2024-033  
**SHEET NO:** A202



**LUCID HOMES INC.**  
CUSTOM HOME AND RENOVATION DESIGN  
1435 CORNWALL RD - UNIT D2  
OAKVILLE ON - L6J 7T5  
1.66.566.6588 E: [INFO@LUCIDHOMES.CA](mailto:INFO@LUCIDHOMES.CA)  
[WWW.LUCIDHOMES.CA](http://WWW.LUCIDHOMES.CA)

### GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

## MISSION LIST

-	MM.DD.YYYY
-	MM.DD.YYYY
-	MM.DD.YYYY
-	MM.DD.YYYY
-	MM.DD.YYYY

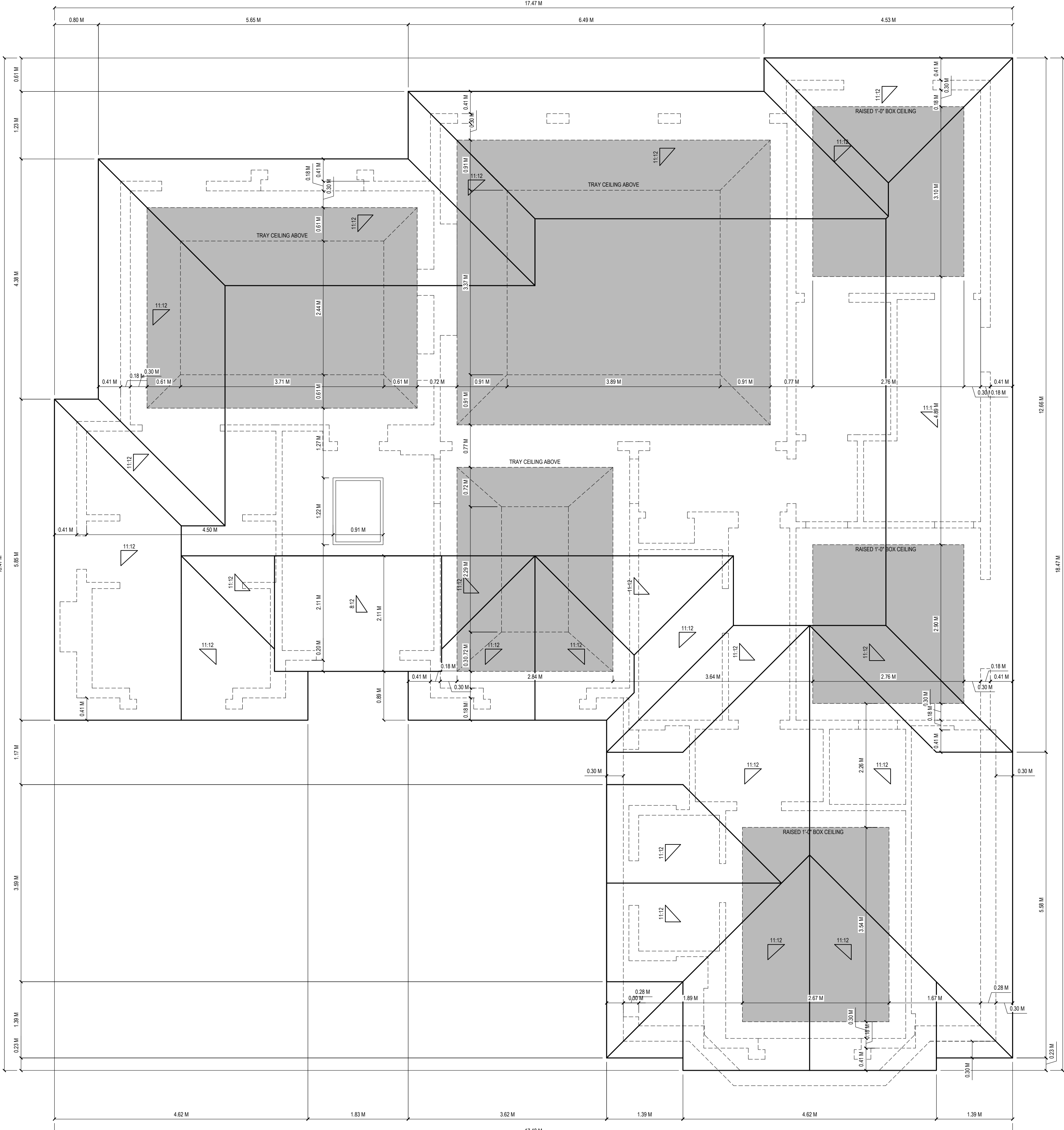
## SUE LIST

-	MM.DD.YYYY
-	MM.DD.YYYY
-	MM.DD.YYYY
-	MM.DD.YYYY
-	MM.DD.YYYY



DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
DRAWN BY: PR CHECKED BY: -  
ADDRESS: 28 CRESCENT ROAD, OAKVILLE  
PROJECT NO: 2024-033 SCALE: 1/4" = 1'-0"  
SHEET NO. **A202**

## 1/4"-1"-0"



**LUCID HOMES INC.**  
CUSTOM HOME AND RENOVATION DESIGN  
1435 CORNWALL RD - UNIT D2  
OAKVILLE ON - L6J 7T5  
T: 416.566.6588 E: INFO@LUCIDHOMES.CA  
WWW.LUCIDHOMES.CA

## GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMITS OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNLESS DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. NO REPRODUCTION OF THE DOCUMENTS PROVIDED HEREIN IS PERMITTED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

## REVISION LIST

1 -	MM.DD.YY
2 -	MM.DD.YY
3 -	MM.DD.YY
4 -	MM.DD.YY
5 -	MM.DD.YY

## ISSUE LIST

1 -	MM.DD.YY
2 -	MM.DD.YY
3 -	MM.DD.YY
4 -	MM.DD.YY
5 -	MM.DD.YY



DRAWING TITLE: ROOF PLAN  
DRAWN BY: PR CHECKED BY:  
ADDRESS: 28 CRESCENT ROAD, OAKVILLE, ONTARIO  
PROJECT NO: 2024-033 SCALE: 1/4" = 1'-0"  
SHEET NO. 1

033 SCALE: 1/4" = 1'-0"



**TREE HOARDING**

NOTES: THE PROTECTION ZONES FOR THE TREE PROTECTION ZONE (TPZ) FOR THE TREE SHALL BE DETERMINED AS FOLLOWS:

TRUNK DIAMETER (CM)	MINIMUM PROTECTION DISTANCES REQUIRED
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

- STANDARD DEVELOPMENT NOTES:

1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.

- (B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
2. THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LOTS.
3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE LOT.
4. ALL ROAD DOWNSPOUTS FROM EASEMENT/LOT TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
5. ROAD DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM THE LOT.
6. MAINTAIN EXISTING GRASSES IN AREA AROUND TREES TO BE PRESERVED.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INTERFERENCE OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
8. THE EXISTING EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
9. CONTRACTORS TO MATCH EXISTING GRASSES AROUND PROPERTY LINES.
10. ALL DISTURBED AREAS WITH EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL, AND SOO TO THE SUFFICIENCY OF THE TOWN OF ORANVILLE.
11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND MARKED PRIOR TO CONSTRUCTION.

- (c) UTILITIES CONNECTION

1. SANITARY: (A) MUNICIPAL SANITARY SEWER ALLOWED ON THE SITE.
2. WATER: (A) SERVICE CONNECTIONS TO BE 25mm (1") DIA. TYPE "K" SOFT COPPER TUBING.
3. WATER: (A) SERVICE CONNECTIONS TO BE 25mm (1") DIA. TYPE "K" SOFT COPPER TUBING.
4. STORM: (A) STORM PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

(A) STORM PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

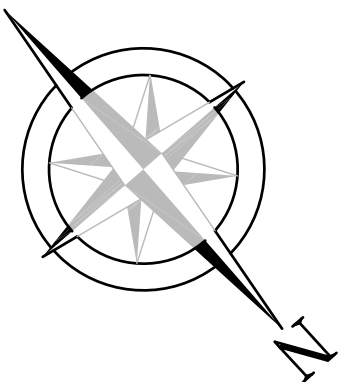
**EROSION AND SILTATION NOTES:**

1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO PREVENT ANY OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.

2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/ENGINEER.

- ### INTERFERENCE ISSUES, ETC

OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

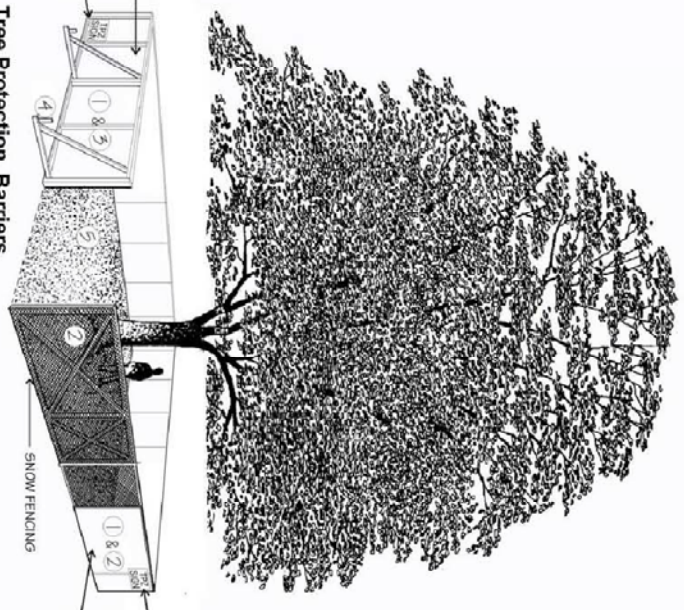


LOCAL APPROVAL FROM AREA MUNICIPALITY:

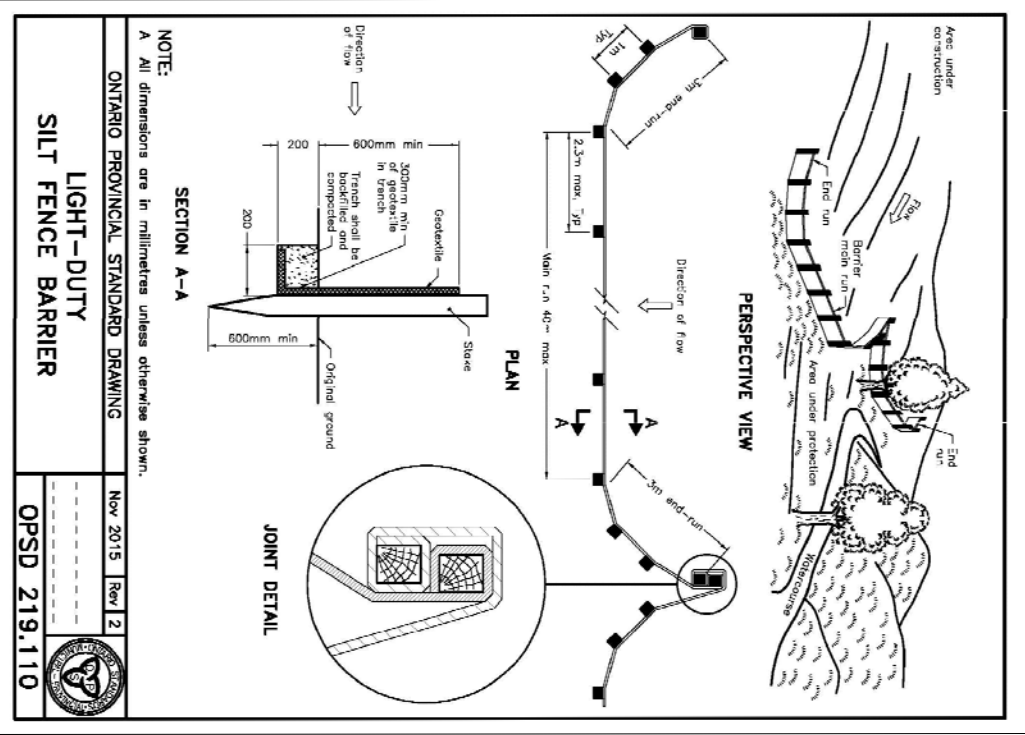
SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_

The approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Haliburton's standards and specifications are met. (The Water and Wastewater Land Use Design Manual may be obtained on Haliburton or by calling 311, all water quality tests must be completed to the Region of Haliburton's satisfaction before the water supply can be turned on.

## OAKVILLE



- 1) The protection barriers for trees situated on the Town road allowance where visibility is impaired by trees or shrubs should be made of 2" x 8" x 5' high and consist of plastic with snow fencing on a wood frame made of 2" x 8" x 5'.
- 2) Tree protection barriers for trees situated on the Town road allowance where visibility is impaired by trees or shrubs should be made of 2" x 8" x 5' high and consist of plastic with snow fencing on a wood frame made of 2" x 8" x 5'.
- 3) Where some excavations or fill have to be temporarily located near a tree protection barrier, physical means shall be used to ensure a minimal distance to the tree protection zone.
- 4) All supports and bracing should be outside the tree protection zone. As such a support should include stabilizing roots outside the tree protection barrier.
- 5) No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the tree protection zone.



SIL FENCE BARRIER	OPSD 219.1
-------------------	------------

"SILT FENCE DETAIL"

APPROXIMATE GROUNDWATER ELEVATION IS TO BE  
CONFIRMED PRIOR TO CONSTRUCTION. IF GROUND WATER  
INTERFERS WITH HOUSE CONSTRUCTION/DESIGN,  
CONTRACTOR TO NOTIFY ENGINEER.

EAVERES DO NOT PROJECT MORE THAN

*All NEW water and sanitary main  
taps are to be performed by  
Region of Halton forces only*

**NOTE**  
DOWN SPOUT DISCHARGE LOCATIONS ARE  
TO BE DISCHARGED ONTO SPLASH PADS.

NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPERS EXPENSE.

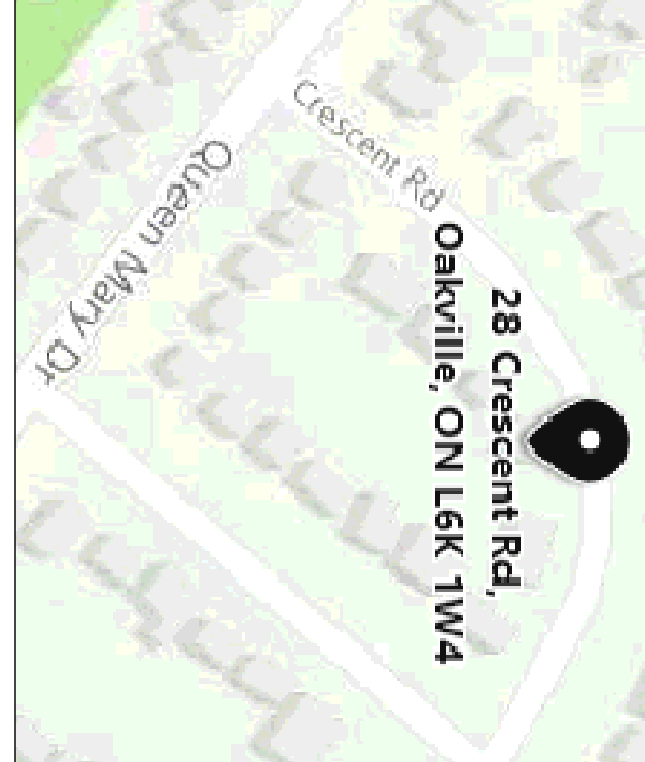

**NOTE**  
Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.  
Contractor to use existing services.

*If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection*

THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE THE DITCH. COMPLETE WITH BACKFLOW PREVENTER.

**NOTE** Section sizes, inverts and types are derived from the Record of Station Engineering Department Dwg. No. C-10289 of the  
The contractor must verify inverts.

**J. H. Gelboom Surveying**  
Ontario Land Survey  
476 Morden Road, Unit 102, Oakville  
Office@jhsurveying  
Phone:(905) 336-6271



KEY PLAN (NOT TO SCALE)

**SITE, SERVICE & GRADING PLAN**

**PART OF LOTS 136 & 137**  
**REGISTERED PLAN 347**  
**TOWN OF OAKVILLE**

REGIONAL MUNICIPALITY OF HALTON

0	5	10	15 Metres
---	---	----	-----------

*J.H. Gelbloom Surveying Limited  
Ontario Land Surveyor  
2024*

Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

[illegible]

OVERALL HEIGHT \_\_\_\_\_

DESP PERMIT No. 22-10088

LEGEND	
CLF	Chain Link Fence
BF	Board Fence
TFW	Top of Foundation Wall
FTF	Finish Top of Foundation
UP	Utility Pole
DEC.	Decision Tree
CON.	Continuous Tree
TCC	Top of Can
BDC	Bottom of Can
▲	Entrance
HP	High Point
HPW	Top of Retaining Wall
BPW	Bottom of Retaining Wall
▲	Artist's Tree Number
X	
NV	Not Visited
RP	Revised Position
DR	To Be Removed
BS	Bottom of Slope
CSP	Completed Steel Pipe
WV	Water Valve
—	Plotting
—	Silt Fence
▲	Existing Elevation
▲	Run Water Leader
▲	Environment
▲	Tree to be Removed

**SITE ADDRESS**  
28 CRESCENT ROAD  
OAKVILLE, ONTARIO

14-3002 PRESERVE DRIVE

No.	Date	Description	By
1	SEP. 23, 2021	SITE & GRADING	M.K.
2	APRIL 18, 2022	TOWN COMMENTS	A.M.
3	MAY 6, 2022	ADDED REPLACEMENT TREE	A.M.
4	JUNE 2, 2022	ADDED REPLACEMENT TREES	A.M.
5	JUNE 14, 2024	REVISED BUILDING PLAN	R.H.

INFORMATION TAKEN FROM A SURVEY PREPARED BY  
J.H. GELBLOOM SURVEYING LTD., O.L.S.  
DATED - MAY 27 2021

Elevations are referred to the town of Oakville Benchmark No. 113 having an Elevation of 94.7578 m.

DWELLING LOCATED AT 28 CRESCENT ROAD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL, WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PROVIDE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

AS PER OBC 914.6.1(i) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

ONTARIO / L'ONTO

JUN 17, 2024  
 DATE  
 Project: 21-088  
 Checked By: A.M.  
 Down By: Party Chief:  
 M.K. L.K.



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/114/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on Wednesday, August 07, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
393 Dundas Gp Inc	Wayne Coutino Korsiak Urban Planning 277 LAKESHORE Rd E Unit 206 Oakville ON, CANADA L6J 1H9	395 Dundas St W CON 1 NDS PT LOT 19 RP 20R21952 PART 1 RP 20R22479 PARTS 1 AND 2

**Zoning of Property:** DUC SP: 73, Dundas Urban Core, By-law 2009-189, as amended

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the reduction of the bicycle parking space dimensions located in the underground parking for the condominium development on the subject property proposing the following variance to Zoning By-law 2009-189:

No.	Current	Proposed
1	<p><i>Section 3.0 - Definitions "bicycle parking space - occupant"</i></p> <p>Where the bicycles are to be parked on a horizontal surface; has horizontal dimensions of at least 0.6 metres by 1.8 metres and a vertical dimension of at least 1.9 metres.</p>	<p>To alter the definition of "bicycle parking space - occupant" where the bicycles are to be parked on a horizontal surface; by reducing the horizontal dimensions to at least 0.46 metres by 1.90 metres and a vertical dimension of 1.20 metres.</p>

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow

all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

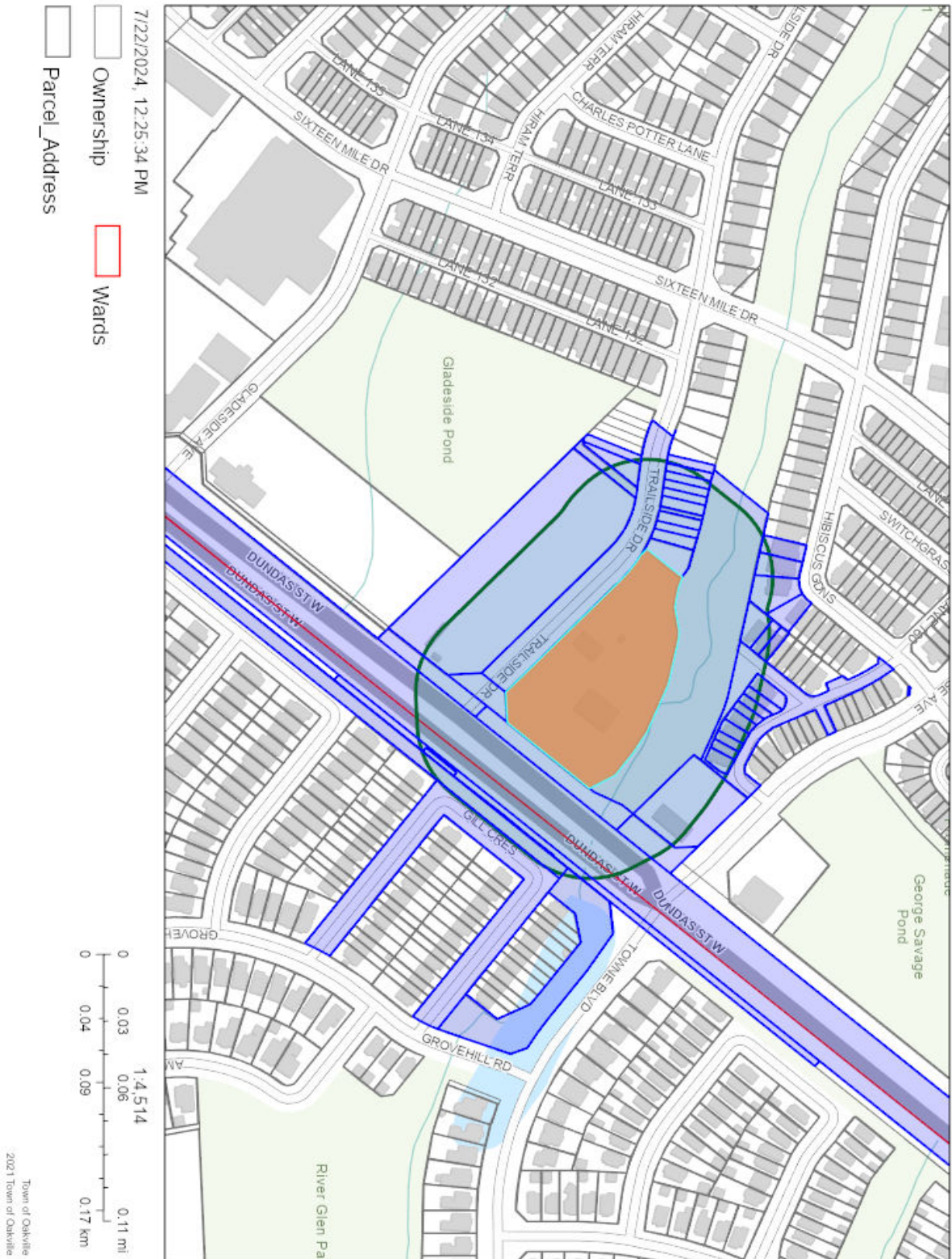
Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

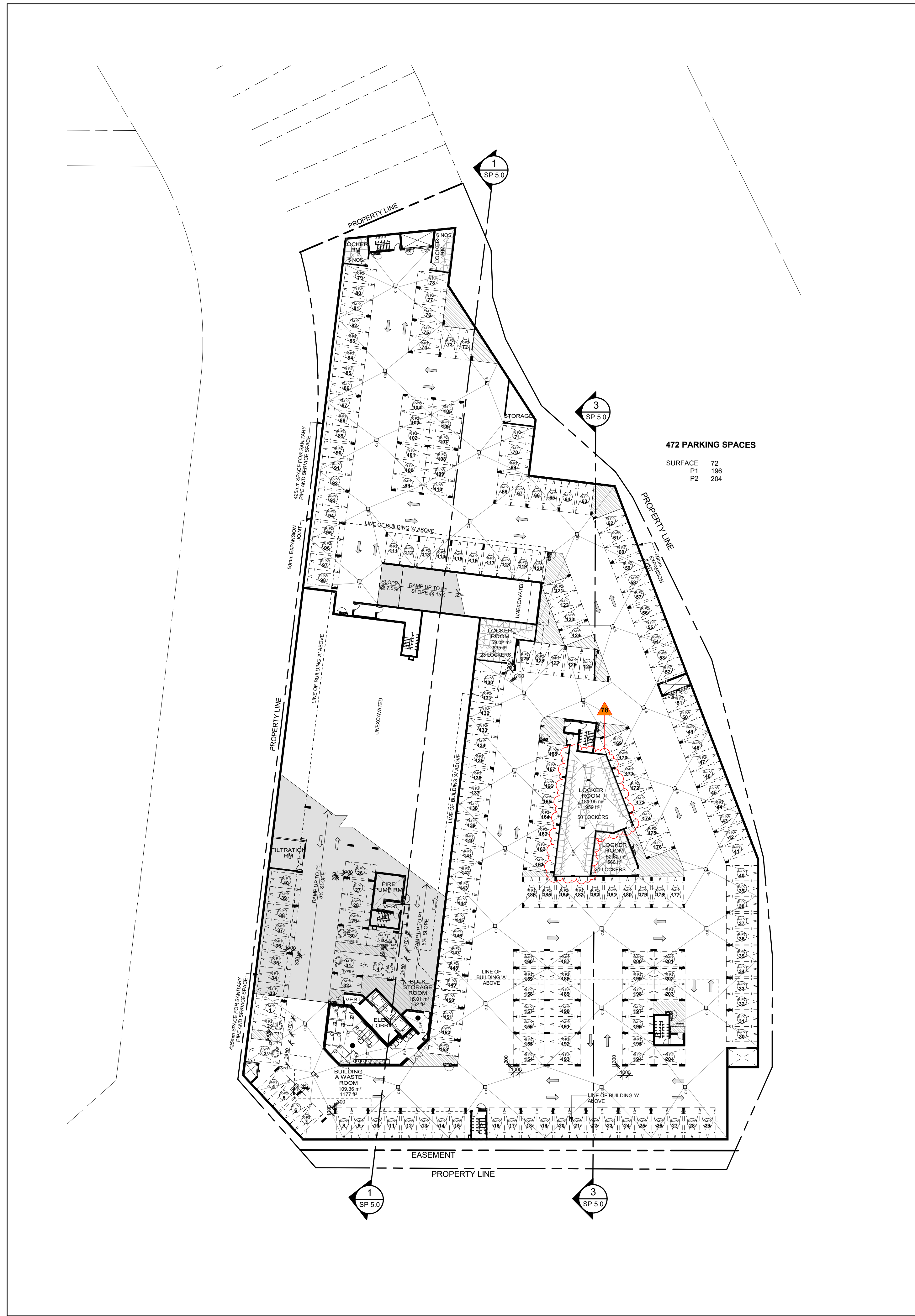
July 23, 2024



# CAV A/114/2024 (395 Dundas Street West)



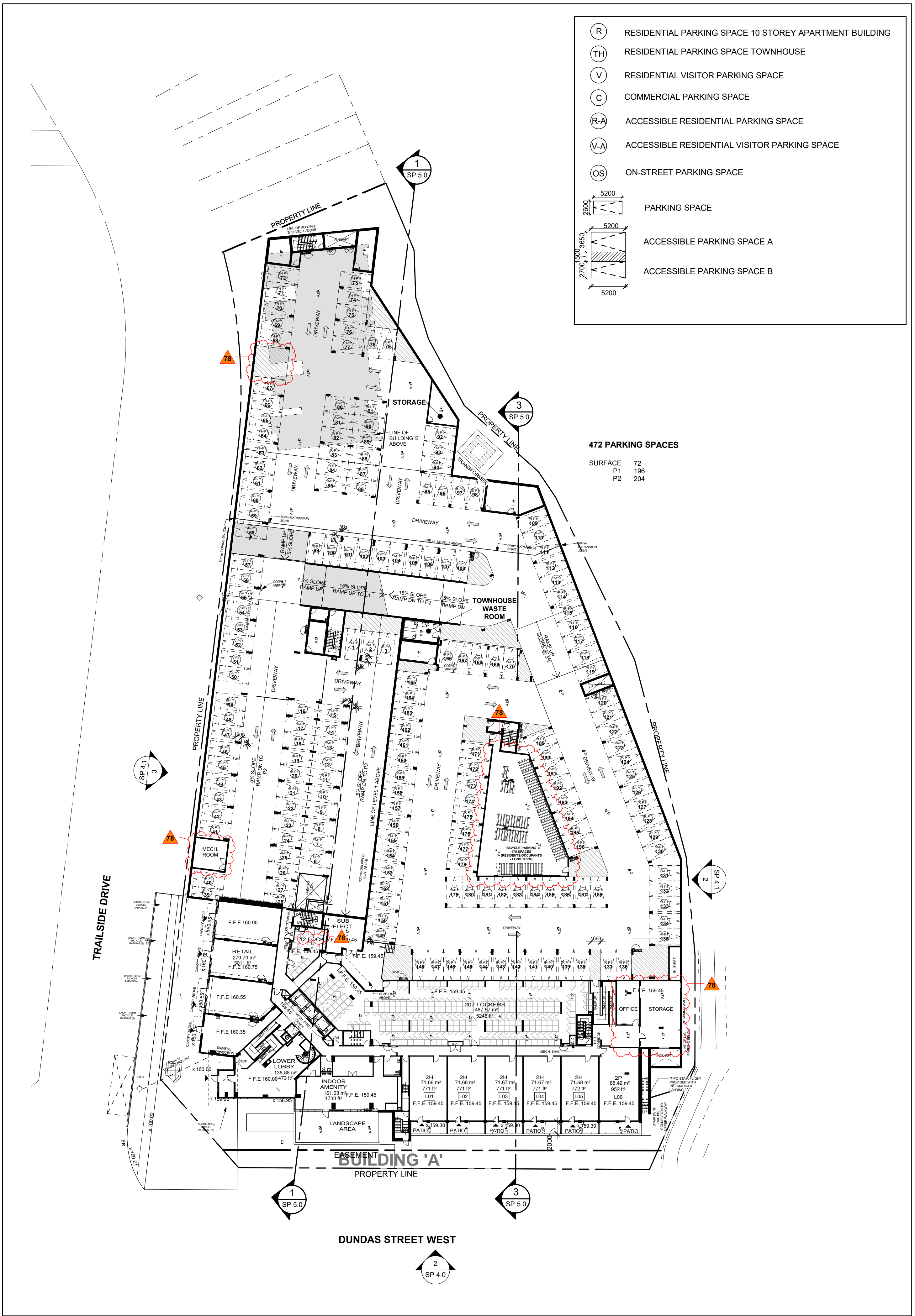




Floor Plan - Level P2 - Overall

Scale: 1 : 400

1  
SP 2.0



Level P1 / Lower L1 Floor Plan

Scale: 1 : 400

2  
SP 2.0

Legend:

- (R) RESIDENTIAL PARKING SPACE 10 STOREY APARTMENT BUILDING
- (TH) RESIDENTIAL PARKING SPACE TOWNHOUSE
- (V) RESIDENTIAL VISITOR PARKING SPACE
- (C) COMMERCIAL PARKING SPACE
- (R-A) ACCESSIBLE RESIDENTIAL PARKING SPACE
- (V-A) ACCESSIBLE RESIDENTIAL VISITOR PARKING SPACE
- (OS) ON-STREET PARKING SPACE

Parking Space Dimensions:

- PARKING SPACE: 5200 x 2700
- ACCESSIBLE PARKING SPACE A: 5200 x 3600
- ACCESSIBLE PARKING SPACE B: 5200 x 3000

Contractor Must Check And Verify All Dimensions On The Job.  
Do Not Scale The Drawings.  
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.  
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.  
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.  
Date:

**KIRKOR ARCHITECTS AND PLANNERS**  
20 De Boers Dr. # 400 Toronto ON M3J 0H1  
TEL 416 665 6060 kirkorarchitects.com

No.:	Revision:	Date:
78	Site Instruction #77	May 13 2024

06	SPA NOTE TO FILE	MAY 23, 2024
05	SPA THIRD SUBMISSION	DEC. 14, 2021
04	SPA SECOND SUBMISSION	SEPT.10, 2021
03	SPA SUBMISSION	NOV. 28, 2019
02	LOPA / ZBA RESUBMISSION	DEC. 21, 2018
01	LOPA / ZBA SUBMISSION	AUG. 10, 2018
No.:	Issued For:	Date:

SITE PLAN FILE NO. SP.1319.002/01  
Drawing Title:  
**Block "5"  
Level P2 & P1 Floor  
Plan**

Project:  
DISTRITK DEVELOPMENTS

395 DUNDAS STREET  
WEST, OAKVILLE, ON

DISTRITK DEVELOPMENTS

Scale:  
As indicated

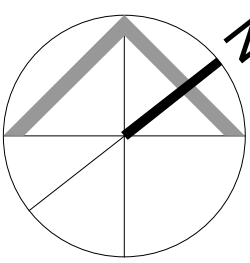
Drawn by:  
R.C.

Checked by:  
M.C.

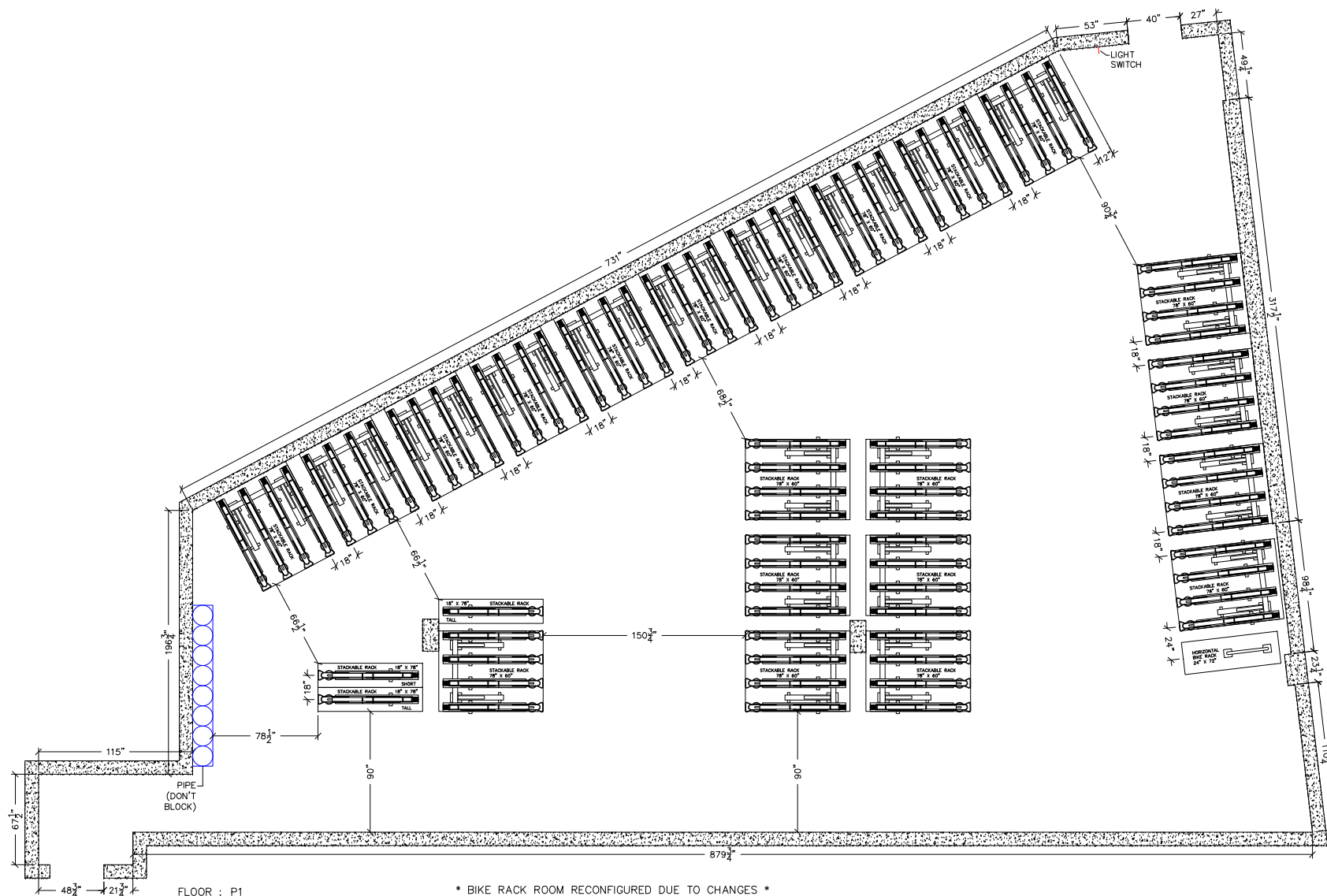
Project No.:  
17097

Date:  
MAY 03, 2024

Drawing No.:  
SP 2.0







FLOOR : P1  
ROOM : P113  
21 - 4+4 STACKABLE BIKE RACKS  
(168 SPACES)  
3 - SINGLE STACKABLE BIKE RACKS  
(6 SPACES)  
1 - HORIZONTAL BIKE RACK  
175 TOTAL BIKE SPACES

\* BIKE RACK ROOM RECONFIGURED DUE TO CHANGES \*  
IN ROOM P111 & P212.  
\* STACKABLE BIKE RACKS ARE PENDING APPROVAL  
OF EXTRA.

#### STACKED BIKE RACK NOTES:

- BIKE RACKS ARE HOT DIPPED GALVANISED
- TOP CHANNEL CONNECTED TO GAS STRUT
- FIXED BOTTOM CHANNEL

#### OVERALL DIMENSIONS:

- (1) H1800 x L1900mm

#### CHANNEL DIMENSIONS:

- (4) 135 x 84 x 3
- (4) 62 x 74 x 2

#### BASE PLATES:

- (2) 178 x 152 x 6mm
- BASE PLATES HAVE 4 x 14mmØ MOUNTING HOLES

#### CONNECTION BOARD:

- 135 x 300 x 8mm
- CONNECTION BOARD HAS (4) 12mmØ CONNECTION HOLES

#### STEEL BOARD:

- (1) 135 x 122/165 x 1500 x 3mm
- (2) 80 x 60 x 1597 x 2.5mm

\*\*ALL DIMENSIONS ARE IN MILLIMETERS\*\*

#### HORIZONTAL BIKE RACK NOTES:

- 6"x6"x1/8" thk. BASE PLATES
- 2Ø TUBE, 16 ga.
- FINISH IS POWDER COATED BLACK

IMPORTANT:  
ANY REVISIONS OR MODIFICATIONS  
DONE TO THE PHYSICAL LAYOUT  
AFTER DRAWINGS HAVE BEEN  
APPROVED, MAY BE SUBJECT TO  
EXTRA COSTS AND DELAYS.



REVISION NO. - BY - DATE - APPD -

APPROVAL: ☐ SIGNATURE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

COLOR: \_\_\_\_\_

BROOKFIELD

395 DUNDAS

DWN BY: C.S. DATE: 06/02/2024 MADE FROM: 9761 SHEET: 5 OF 9

APPD BY: NTS SCALE: CAD FILE: 9761 DWG NO: 9761

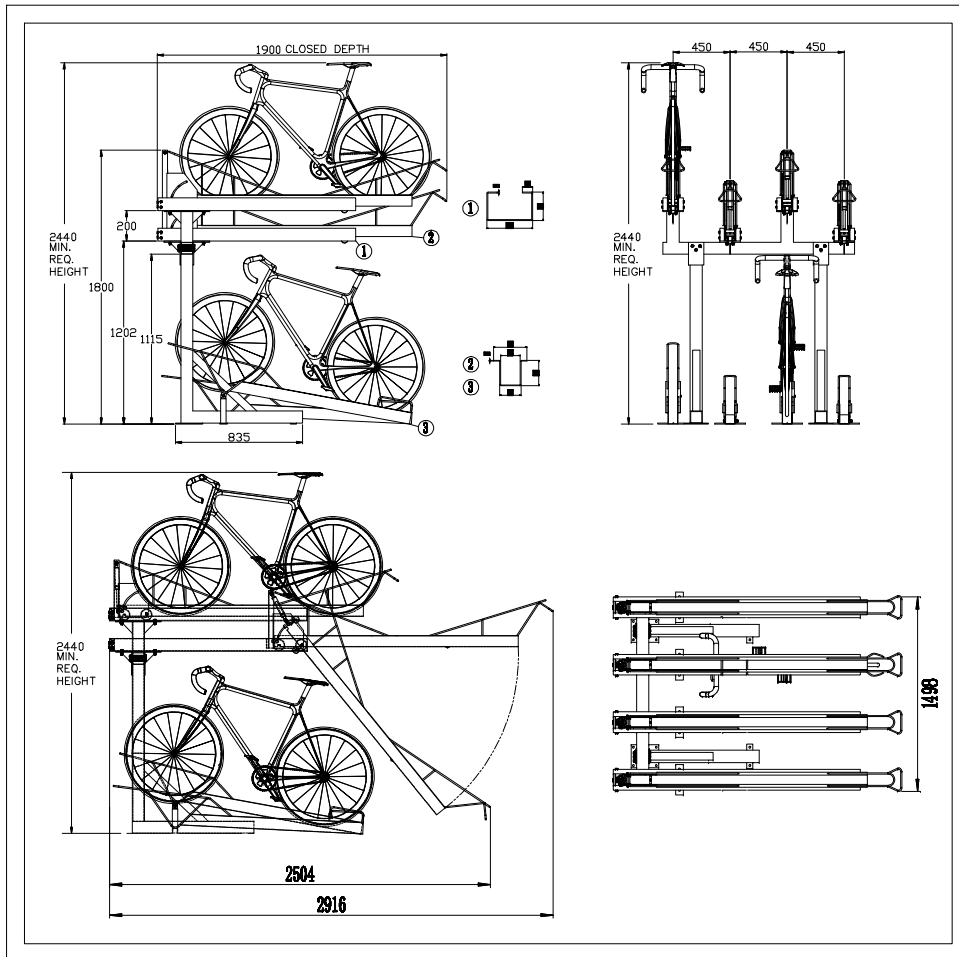
## STACKABLE BIKE RACKS

4+4 STACKABLE BIKE RACKS: 21 (168 SPACES)

SINGLE STACKABLE BIKE RACKS: 3 (6 SPACES)

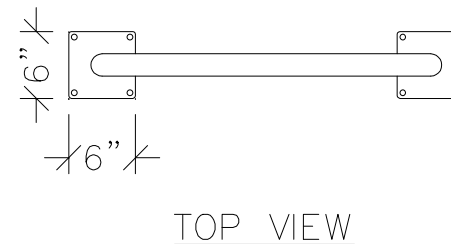
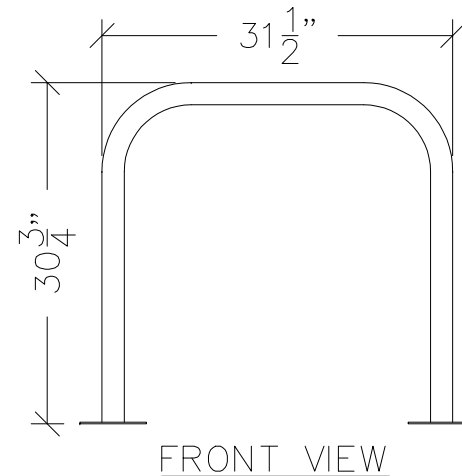
174 TOTAL SPACES

\* STACKABLE BIKE RACKS PENDING APPROVAL OF EXTRA \*



## HORIZONTAL BIKE RACKS

QTY: 51



### STACKED BIKE RACK NOTES:

- BIKE RACKS ARE HOT DIPPED GALVANISED
- TOP CHANNEL CONNECTED TO GAS STRUT
- FIXED BOTTOM CHANNEL

### OVERALL DIMENSIONS:

- (1) H1800 x L1900mm

### CHANNEL DIMENSIONS:

- (4) 135 x 84 x 3
- (4) 62 x 74 x 2

### BASE PLATES:

- (2) 178 x 152 x 6mm
- BASE PLATES HAVE 4 x 14mmØ MOUNTING HOLES

### CONNECTION BOARD:

- 135 x 300 x 8mm
- CONNECTION BOARD HAS (4) 12mmØ CONNECTION HOLES

### STEEL BOARD:

- (1) 135 x 122/165 x 1500 x 3mm
- (2) 80 x 60 x 1597 x 2.5mm

\*\*ALL DIMENSIONS ARE IN MILLIMETERS\*\*

### HORIZONTAL BIKE RACK NOTES:

- 6"x6"x1/8" thk. BASE PLATES
- 2Ø TUBE, 16 ga.
- FINISH IS POWDER COATED BLACK

IMPORTANT:  
ANY REVISIONS OR MODIFICATIONS  
DONE TO THE PHYSICAL LAYOUT  
AFTER DRAWINGS HAVE BEEN  
APPROVED, MAY BE SUBJECT TO  
EXTRA COSTS AND DELAYS.



REVISION NO. - BY - DATE - APPD -

APPROVAL: ☐ SIGNATURE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

COLOR: \_\_\_\_\_

BROOKFIELD

395 DUNDAS

DWN BY: C.S. DATE: 06/02/2024 MADE FROM: 9761 SHEET: 8 OF 9

APPD BY: NTS SCALE: CAD FILE: 9761 DWG NO: 9761

June 10, 2024

Via Digital Submission

Heather McCrae, Secretary-Treasurer to the Committee of Adjustment  
Town of Oakville  
Planning Services Department  
1225 Trafalgar Road  
Oakville, Ontario, L6H 0H3

**Re: Application for a Minor Variance**  
**393 Dundas L.P., (Distrikt Developments)**  
**395 Dundas Street West and 3025 Trailside Drive** *(formerly 393 Dundas Street West)*  
**Part of Lot 19, Concession 1, North of Dundas Street (Trafalgar)**  
**Parts 1, 2, 3 on Ref. Plan 20R-21952 (formerly Block 5, 24T-17007/1319)**  
*Related Files (Approved): S.P.1319.002/01, #Z.1319.07; #Z1319.09*

Dear Ms. McCrae,

We are pleased to submit a minor variance application on behalf of 393 Dundas L.P., (Distrikt Developments) for the aforementioned property. The variance includes an exemption from the length and width dimension requirements (outlined in Section 3 of the Town of Oakville Zoning by-law 2009-189) for bicycle parking spaces. The variance seeks to allow the use of stacked bicycle parking. Adjustments to the Level L2 floor plans at the site plan level necessitate the relocation of the locker room to the P2 bicycle room. Consequently, the bicycle room situated at P1 is now planned to incorporate stacked parking spaces, thereby optimizing the use of space and allowing for the modifications to be implemented.

In support of the application, we are pleased to enclose digital copies of the following items:

- Executed Application for Minor Variance form, dated 2024-06-04;
- Level P2 & P1 Floor Plan (SP-2.0), prepared by Kirkor, dated 2024-05-23; and
- Stacked Bicycle Parking Details, prepared by Major Partitions, dated 2024-02-08.

Confirmation of payment submitted will be provided shortly including: the Town of Oakville fee of \$4,050.00. Payment to the Region of Halton and Conservation Halton will be paid once confirmed. Please contact me directly at 905-257-0227 ext. 23 should you have any questions or require further information.

Sincerely yours,

**Korsiak Urban Planning**

Wayne Coutinho, MPI, BSc (Env)  
Encl.

Copy: Distrikt Developments, c/o Clarence Zichen Qian (via email)



# Notice of Public Hearing Committee of Adjustment Application



File # A/115/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on August 7, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Michael Hohnjec	Russell Cheeseman  277 Lakeshore Road E Suite 211 Oakville ON, CANADA L6J 6J3	564 Lyons Lane CON 3 SDS PT LOT 15 RP 20R5733 PARTS 1,2,3,4

**Zoning of property:** N, Natural Area, By-law 2014-014, as amended

## Variance request:

Under Section 45(2) (a) (ii) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to permit six (6) dwelling units within the existing legal non-conforming residential building containing one (1) dwelling unit on the subject property.

## How do I participate if I have comments or concerns?

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

**Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

**More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

**Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

**Contact information:**

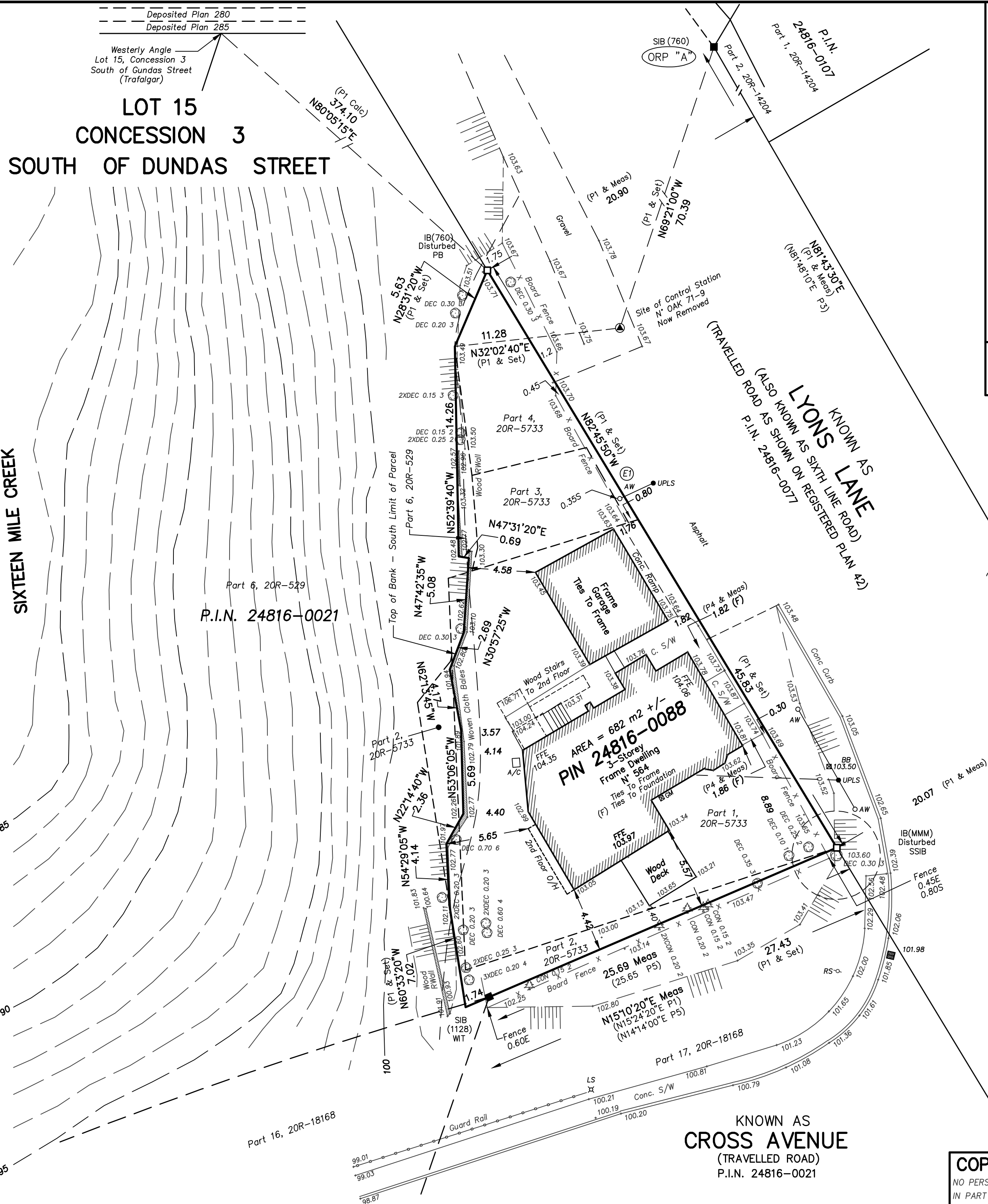
Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

**Date mailed:**

July 23, 2024

# CAV A/115/2024 (564 Lyons Lane)





**PART 2 – SURVEY REPORT**

**1. LEGAL DESCRIPTION:**  
PART OF LOT 15, CONCESSION 3 SOUTH OF DUNDAS STREET (TRAFALGAR) BEING PARTS 1,2,3 AND 4, PLAN 20R-5733 SAVE AND EXCEPT PART 6, PLAN 20R-529. THE DESCRIPTION SETS THE SOUTH LIMIT PARTLY AT THE TOP OF BANK OF THE SIXTEEN MILE CREEK.

**3. FENCES:**  
AS INDICATED ON FACE OF THE PLAN.

**4. NOTABLE FEATURES:**  
ASIDE FROM FENCING, THE FOLLOWING ITEM MAY CONSTITUTE AN ENCROACHMENT:  
(E1) ANCHOR WIRE ASSOCIATED WITH THE UTILITY POLE AT LYONS LANE IS WITHIN THE LIMITS OF THE SUBJECT LANDS.

**5. EASEMENTS/RIGHTS-OF-WAY:**  
NONE REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.

**6. CONSERVATION HALTON:**  
THE SUBJECT LANDS ARE WITHIN THE SIXTEEN MILE CREEK VALLEY AND SUBJECT TO REGULATION BY THE CONSERVATION HALTON AND PROVINCIAL LAWS AND REGULATIONS.

**6. ZONING:**  
TO BE DETERMINED BY THE ZONING DEPARTMENT OF THE TOWN OF OAKVILLE.

**CLIENT'S NOTE**  
THIS REPORT WAS PREPARED FOR MICHAEL HOHNJEC AND HIS SOLICITOR(S), MORTGAGEE(S) AND (OR) AGENT(S) AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**SURVEYOR'S REAL PROPERTY REPORT**  
**PLAN OF SURVEY OF**  
**PART OF LOT 15**  
**CONCESSION 3**  
**South of Dundas Street**  
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
**TOWN OF OAKVILLE**  
**REGIONAL MUNICIPALITY OF HALTON**  
SCALE 1 : 200  
GRAPHIC SCALE – METRES  
**BEARING NOTE**  
ALL BEARINGS SHOWN HEREON ARE UTM GRID, 3° MTM PROJECTION, CENTRAL MERIDIAN 79°30' WEST LONGITUDE, ZONE 10 BEING NAD-83 (CSRS-2010.0) AND WERE DERIVED FROM THE GPS OBSERVATIONS AT POINTS "A" AND "B".  
OBSERVED REFERENCE POINTS (ORPs): MTM ZONE 10, NAD-83 (CSRS-2010.0). CO-ORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.R.G. 216/10.  
POINT N° NORTHING EASTING  
"A" 4,812,672.73 289,536.02  
"B" 4,812,653.56 289,667.78

**DISTANCE NOTE**  
ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED INTO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.9999.

**ELEVATION NOTE**  
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OKVILLE BENCHMARK N° 251 HAVING AN ELEVATION OF 118.729m (CGVD-1928:1978).

**TREE NOTE**  
ONLY TREES OF A DIAMETER GREATER THAN 0.15 m WERELOCATED FOR THIS PLAN.

**METRIC NOTE**  
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

**TOPOGRAPHIC LEGEND**  
AW DENOTES ANCHOR WIRE(S)  
BB DENOTES BELL BOX  
CON-0.20 DENOTES CONIFEROUS TREE 0.20 DIA  
DEC-0.20 DENOTES DECIDUOUS TREE 0.20 DIA  
FH DENOTES FIRE HYDRANT  
GM DENOTES GAS METER  
LS DENOTES LIGHT STANDARD (LAMP)  
MH DENOTES MANHOLE  
-OW- DENOTES OVER HEAD WIRE(S)  
UP DENOTES UTILITY POLE  
UPLS DENOTES UTILITY POLE/LIGHT STANDARD

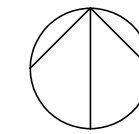
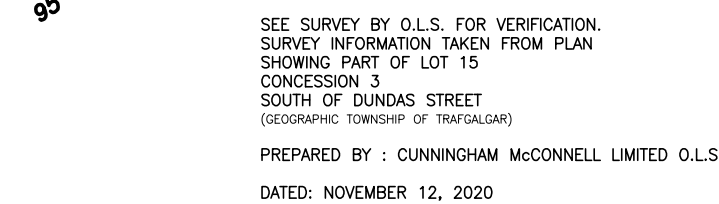
**LEGEND:**  
■ DENOTES SURVEY MONUMENT FOUND  
SIB DENOTES SURVEY MONUMENT SET  
SSIB DENOTES STANDARD IRON BAR  
IB DENOTES SHORT STANDARD IRON BAR  
IB DENOTES PLASTIC BAR  
CC DENOTES IRON CUT CROSS  
P DENOTES PLASTIC BAR  
P.I.N. DENOTES PROPERTY IDENTIFICATION NUMBER  
(E1) DENOTES ENCROACHMENT REFERENCE  
(760) DENOTES NO IDENTIFICATION  
(760) DENOTES MCCONNELL MAUGHAN LTD., O.L.S.  
(950) DENOTES CUNNINGHAM MCCONNELL LIMITED  
(1128) DENOTES D. HORWOOD, O.L.S.  
(MMM) DENOTES MARSHALL MACKLIN MONAGHAN  
WIT DENOTES WITNESS  
P-1 DENOTES PLAN 20R-5733  
P-2 DENOTES PLAN 20R-529  
P-3 DENOTES PLAN 20R-14204  
P-4 DENOTES PLAN BY MCCONNELL MAUGHAN DATED JULY 7, 1981  
P-5 DENOTES PLAN 20R-18168

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON NOVEMBER 10, 2020.  
DATE: NOVEMBER 12, 2020  
JARO A. LEGAT, M.Sc.  
ONTARIO LAND SURVEYOR

**CUNNINGHAM McCONNELL LIMITED**  
ONTARIO LAND SURVEYORS  
1200 SPEERS ROAD, UNIT 38  
OAKVILLE, ONTARIO L6L 2X4  
PHONE (905) 845-3497  
FAX (905) 845-3519  
infooak@cmlsurveyors.ca  
205 MAIN STREET  
MILTON, ONTARIO L9T 1N7  
PHONE (905) 878-7810  
FAX (905) 878-6672  
milton.office@cmlsurveyors.ca  
**PLAN 114-18-3**

**COPYRIGHT**  
NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF CUNNINGHAM MCCONNELL LIMITED.





LOT AREA = 682.00 M<sup>2</sup>

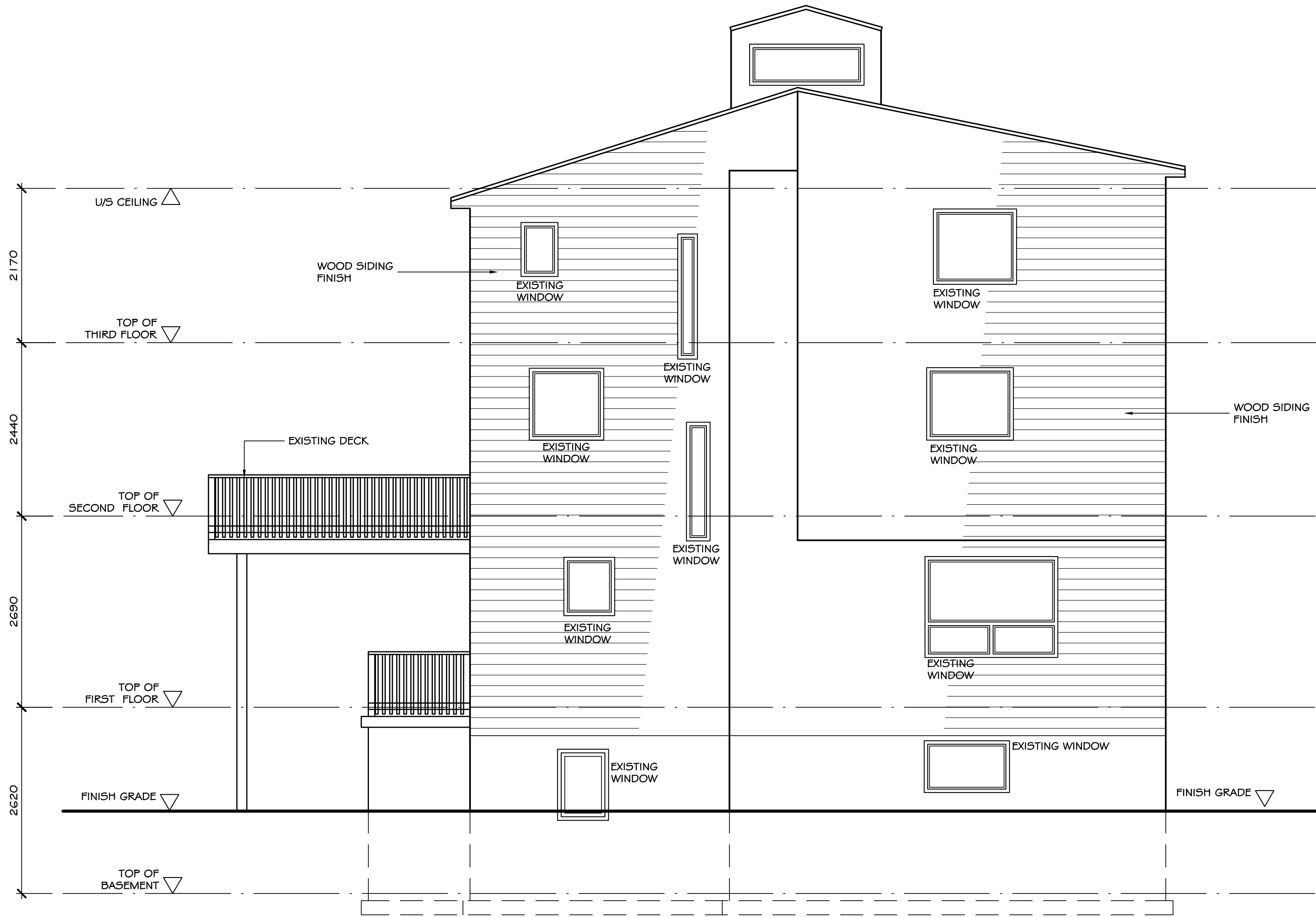
TOTAL NUMBER OF DWELLING UNITS =	6
TOTAL UNIT AREA =	327.19 M <sup>2</sup>

# A1





1 NORTH ELEVATION  
A6 SCALE 1:50 M



2 SOUTH ELEVATION  
A6 SCALE 1:50 M

NOTES

All drawings and specifications is an instrument of service and remain the exclusive property of Ambient Designs Ltd., and are protected under the Copyright Act. They may not be reproduced, distributed, altered or submitted for approvals without written permission of the Designer.

Do not scale drawings, dimensions to take precedent over scale.

Contractor to check and verify all levels and dimensions on drawings and on site and report any discrepancies to Ambient Designs Ltd. and obtain clarification prior to commencing with the work.

The contractor accepts all responsibility for working with drawings, not marked "Issued for Construction" and for any changes to the drawings without the express approval of Ambient Designs Ltd.

All work to conform to all governing codes and By-laws

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.5.1 of the building code	
VICTOR J.T. HROULIO	23327
Name	BCIN#
SIGNATURE INFORMATION	
Required unless design is exempt under 3.2.4.1 of the building code	
AMBIENT DESIGNS LTD.	29659
Firm Name	BCIN#

1	ISSUED FOR C OF A	JUN. 12 '24	F.F.
NO.	ISSUE/REVISIONS	DATE	BY
BCIN: 29659			

AMBIENT DESIGNS LTD.  
DESIGN & BUILDING CONSULTANTS

1115 COLLEGE STREET TORONTO, ONTARIO M6H 1B5  
T: (416) 637-8531 E: ambient@ambientdesigns.ca

PROJECT NAME

EXISTING 6 UNIT  
DWELLING AT  
564 LYONS LANE  
TOWN OF OAKVILLE

CLIENT(S): MBH & ASSOCIATES

SHEET TITLE

NORTH & SOUTH  
ELEVATIONS

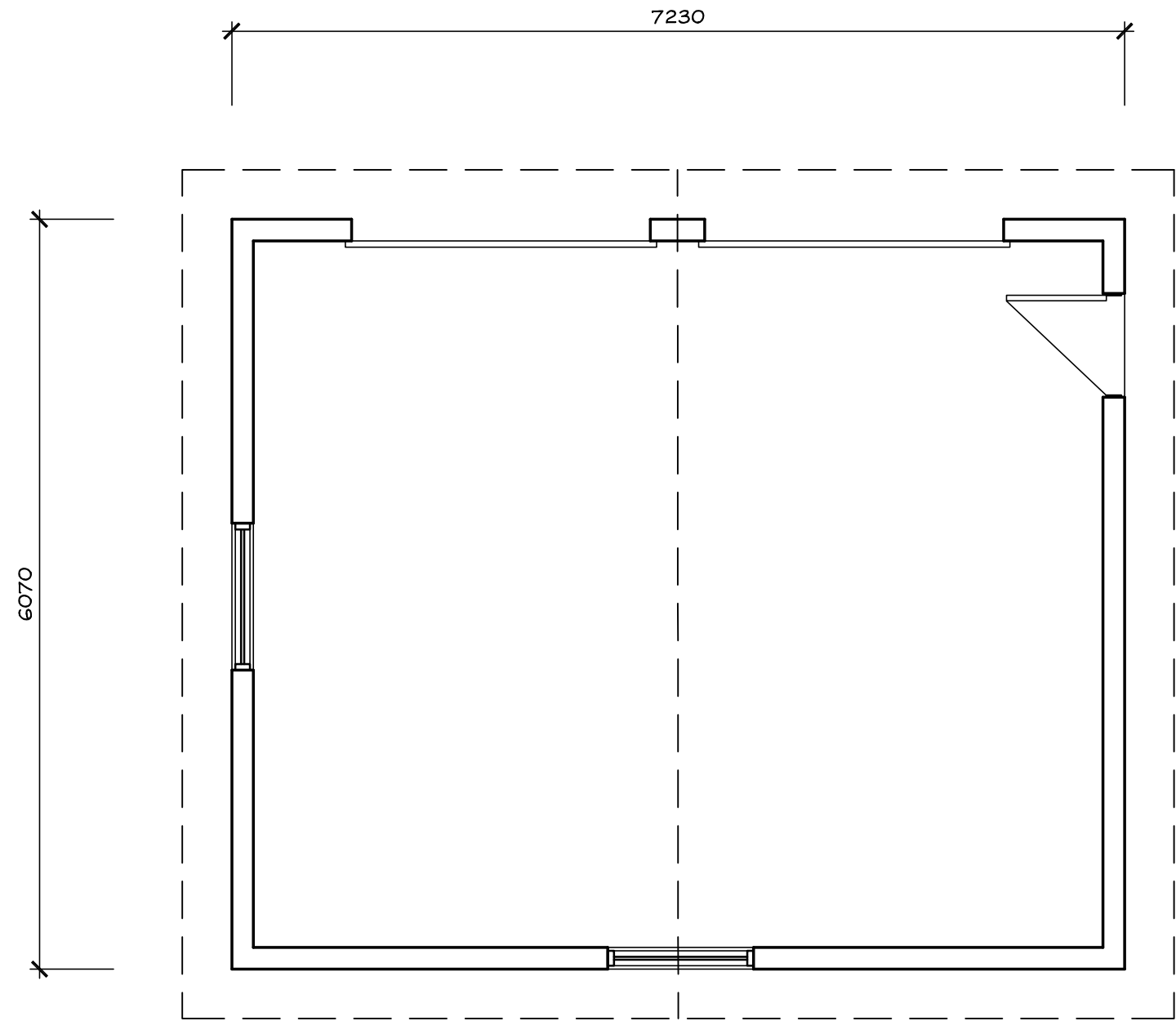
	PROJECT NO.
	A22132
	SHEET NO.
	A6
SCALE:	1:50 M
DATE:	OCT 2022
DRAWN BY:	F.F.
CHECKED BY:	V.H.



# A6



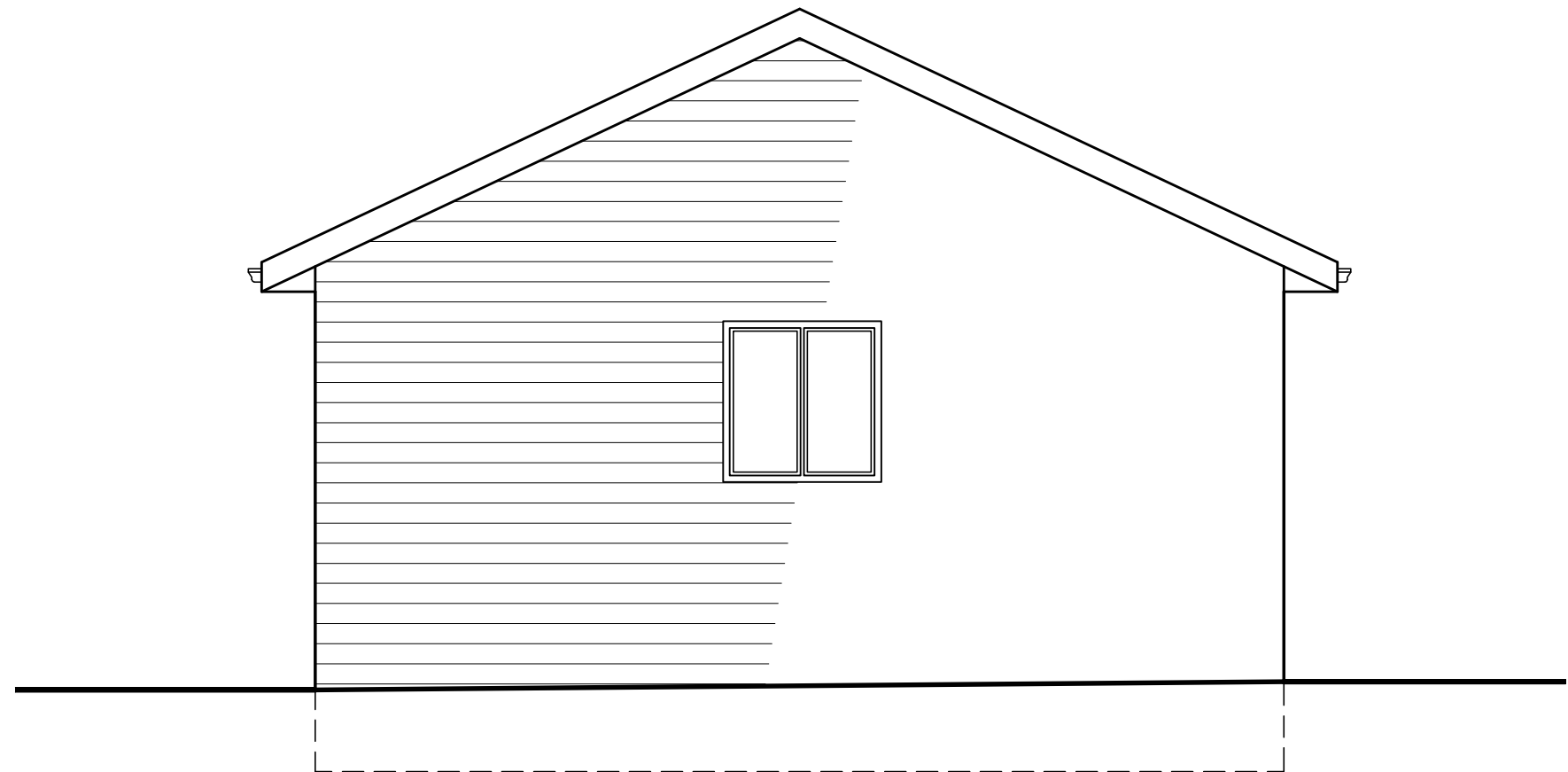




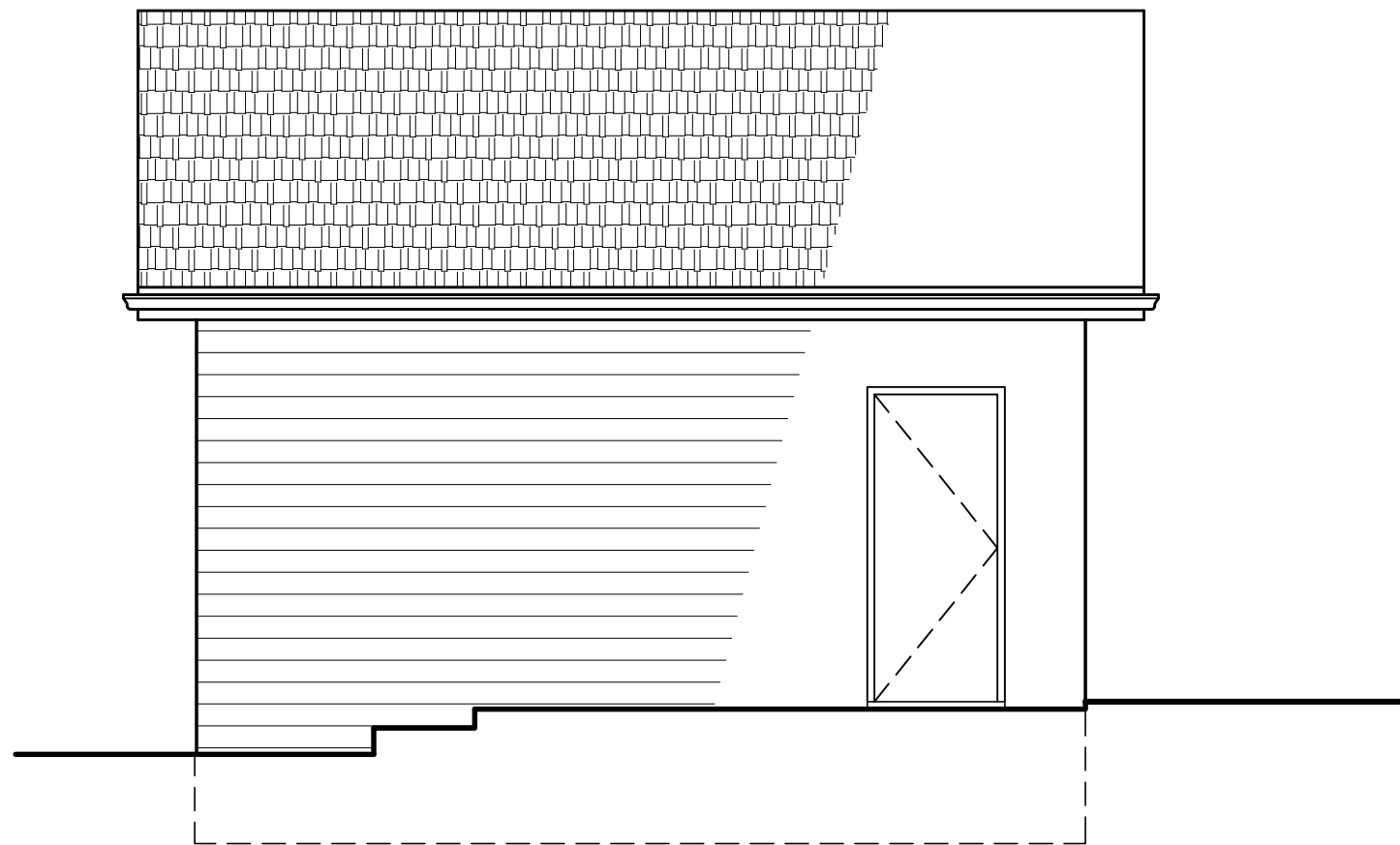
1 GARAGE FLOOR PLAN  
A8 SCALE 1:50 M



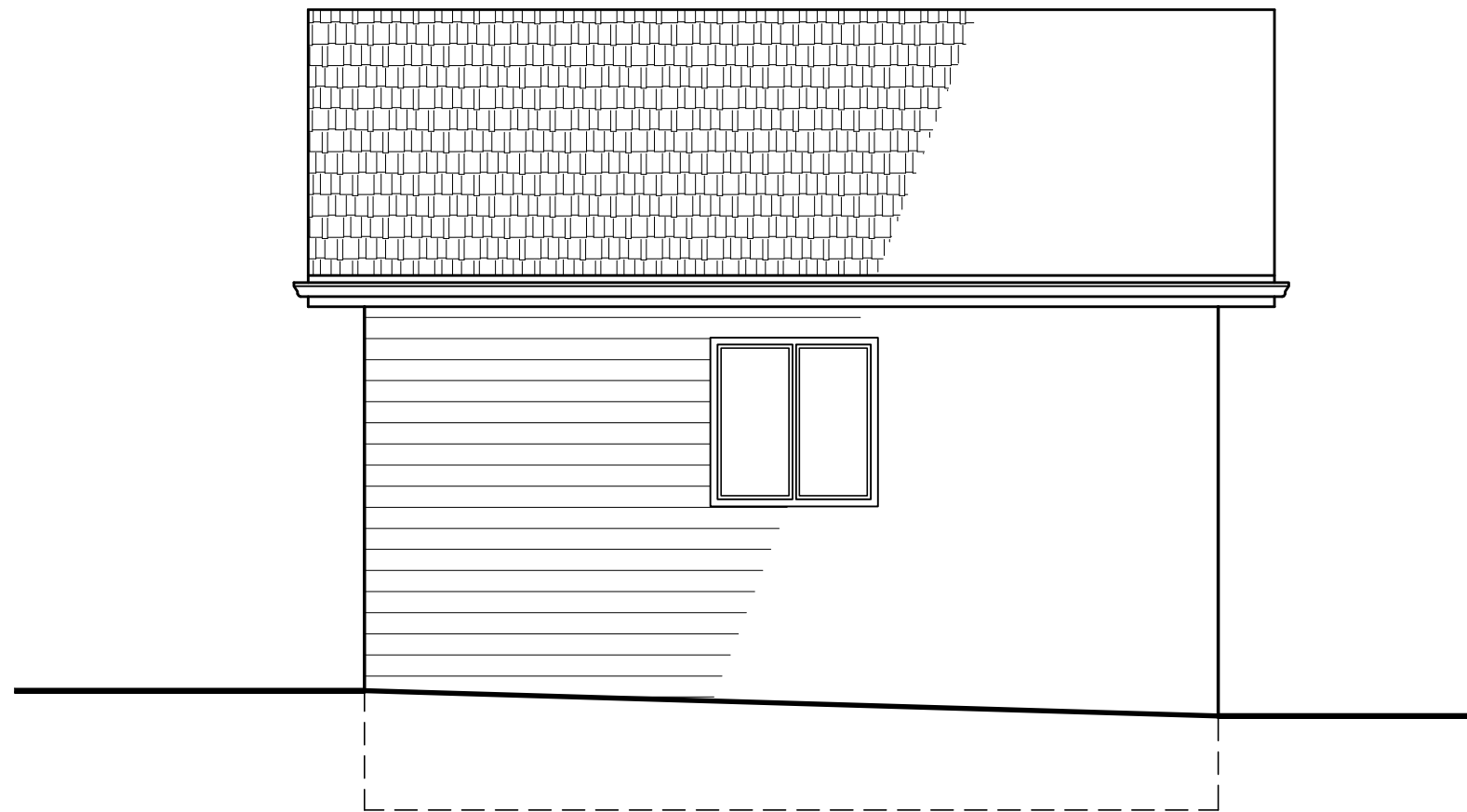
2 NORTH ELEVATION (GARAGE)  
A8 SCALE 1:50 M



3 SOUTH ELEVATION (GARAGE)  
A8 SCALE 1:50 M



4 EAST ELEVATION (GARAGE)  
A8 SCALE 1:50 M



5 WEST ELEVATION (GARAGE)  
A8 SCALE 1:50 M

NOTES

All drawings and specifications is an instrument of service and remain the exclusive property of Ambient Designs Ltd., and are protected under the Copyright Act. They may not be reproduced, distributed, altered or submitted for approvals without written permission of the Designer.

Do not scale drawings, dimensions to take precedent over scale.

Contractor to check and verify all levels and dimensions on drawings and on site and report any discrepancies to Ambient Designs Ltd. and obtain clarification prior to commencing with the work.

The contractor accepts all responsibility for working with drawings, not marked "Issued for Construction" and for any changes to the drawings without the express approval of Ambient Designs Ltd.

All work to conform to all governing codes and By-laws

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.5.1 of the building code	
VICTOR A.T. HROULTO	23327
Name	BCIN#
SIGNATURE INFORMATION	
Required unless design is exempt under 3.2.4.1 of the building code	
AMBIENT DESIGNS LTD.	29659
Firm Name	BCIN#


1	ISSUED FOR C OF A	JUN. 12 '24	F.F.
NO.	ISSUE/REVISIONS	DATE	BY

BCIN: 29659

 **AMBIENT DESIGNS LTD.**  
DESIGN & BUILDING CONSULTANTS

1115 COLLEGE STREET TORONTO, ONTARIO M6H 1B5  
T: (416) 637-8531 E: ambient@ambientdesigns.ca

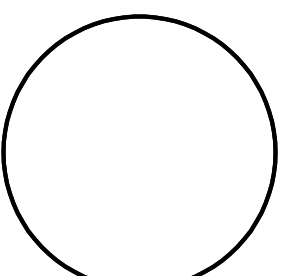
PROJECT NAME

**EXISTING 6 UNIT DWELLING AT 564 LYONS LANE TOWN OF OAKVILLE**

CLIENT(S): MBH & ASSOCIATES

SHEET TITLE

**EXISTING GARAGE PLANS**



SCALE : 1:50 M	PROJECT NO. <b>A22132</b>
DATE : OCT 2022	SHEET NO.
DRAWN BY : F.F.	<b>A8</b>
CHECKED BY : V.H.	

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/116/2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on August 07, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Angela Katunas	Sebastian Arasanz Oakville Senior Citizens Residence 2222 LAKESHORE Rd W Oakville ON, Canada L6L 5G5	2220 Lakeshore Rd W CON 4 SDS PT LOTS 27,28

**Zoning of Property:** RH sp:82, Residential

## Variance Request:

Under Section 45(1) of the Planning Act, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the installation of new rooftop mechanical equipment on the subject property proposing the following variance to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 4.6.4 b)</i> The height and storey provision of the Bylaw shall not apply to a rooftop mechanical equipment, including any appurtenances thereto that do not exceed 2.0 metres above the maximum height.	To increase the height of the rooftop mechanical equipment to 2.2 metres above the roof.
2	<i>Section 4.28 a)</i> Rooftop mechanical equipment shall be set back a minimum of 5.0 metres from all edges of a roof if it is not fully enclosed within a mechanical penthouse.	To permit the rooftop mechanical equipment to be set back less than 5.0 metres from all edges of the roof where it is not fully enclosed within a mechanical penthouse.



## **How do I participate if I have comments or concerns?**

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

## **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca). The live-stream will begin just before 7 p.m.

## **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](#) by noon on the Friday before the hearing date.

## **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

## **Contact information:**

Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

## **Date mailed:**

July 23, 2024

# CAV A/116/2024 (2220 Lakeshore Road West)





THE KING'S HIGHWAY No 2

( LAKESHORE ROAD WEST )

27.0' wide WIDENING

27.0' wide WIDENING

LOT 28

LOT 27

CONCESSION 4 SOUTH OF DUNDAS STREET

( formerly in the TOWNSHIP OF TRAFALGAR )

now in TOWN OF OAKVILLE

COUNTY OF HALTON

CONCRETE AND BRICK TOWER UNDER CONSTRUCTION

BUILDING COMPLEX UNDER CONSTRUCTION

UNDERGROUND GARAGE

CONCRETE AND BRICK TOWER UNDER CONSTRUCTION

UNDERGROUND GARAGE

UNDERGROUND GARAGE

Elevation (Garage Roof 271.5)

PLAN SHOWING

PARTS OF LOTS 27 AND 28 CONCESSION 4  
SOUTH OF DUNDAS STREET

( FORMERLY IN THE TOWNSHIP OF TRAFALGAR )

NOW IN THE TOWN OF OAKVILLE

COUNTY OF HALTON

SCALE 1 INCH = 16 feet  
H. D. SEWELL O.L.S. 1971

MARINE DRIVE

MARINE DRIVE

( E. of Road 269.5 )

Additional information of building under  
construction shown 29th December 1971.

TOWN OF OAKVILLE  
ZONING DEPARTMENT  
Approved by *[Signature]*  
Date: JAN 20 1972

SEWELL AND SEWELL  
ONTARIO LAND SURVEYORS  
TORONTO  
233 ROBINSON STREET, OAKVILLE.  
*[Signature]*  
H. D. SEWELL  
DATE: 30 August 1971. No 71-94

re: Senior Citizens Home.  
Client: Cosmic Construction Ltd.

2220 Lakeshore Rd W.





2024-06-19

Dear City of Oakville Permit Office:

**Subject: 2220 & 2222 Lakeshore Rd. W., Oakville – Make-Up Air Unit Replacement – Structural Letter on the usage of MUA Unit Screens**

WSP's Structural group has been engaged to support the larger team's efforts to replace and upgrade rooftop mechanical units at 2220 & 2222 Lakeshore Rd. West in Oakville. Due to the increased size and weight of the units, it was determined necessary to place the larger units on beams bearing on load-bearing walls extending down below the roof (less than 5m from the perimeter roof edge).

Through the permit application process, the plans examiners indicated retroactive application of bylaw requirements to provide screens around the proposed replacement units is required due to the increased heights and size of the units and placement.

WSP has explored screening options, with the involvement of a 3<sup>rd</sup> party screen designer/engineer. It was determined the only screen solution that would meet the spatial constraints would be to mount and integrate the screens to the mechanical unit's steel framing. However, upon completion of the screen design, it was found that the forces induced on the existing roof structure from the wind loads on the screens created new vertical forces that far exceed the weight of the mechanical units they are meant to conceal. **With that, it has been determined that the existing roof structure cannot withstand the loads from the screens.**

On the basis that that the screening requirement is architectural in nature only providing no functional benefit and given the structural limitations of the existing building, it is our strong recommendation that a variance be granted to permit the mechanical unit installations without complying to the property standards by-law to allow the project to proceed and to achieve the owner's goals of improving the building's efficiency and the quality of air for its senior tenants.

Please reach out should you have any questions,

Regards,

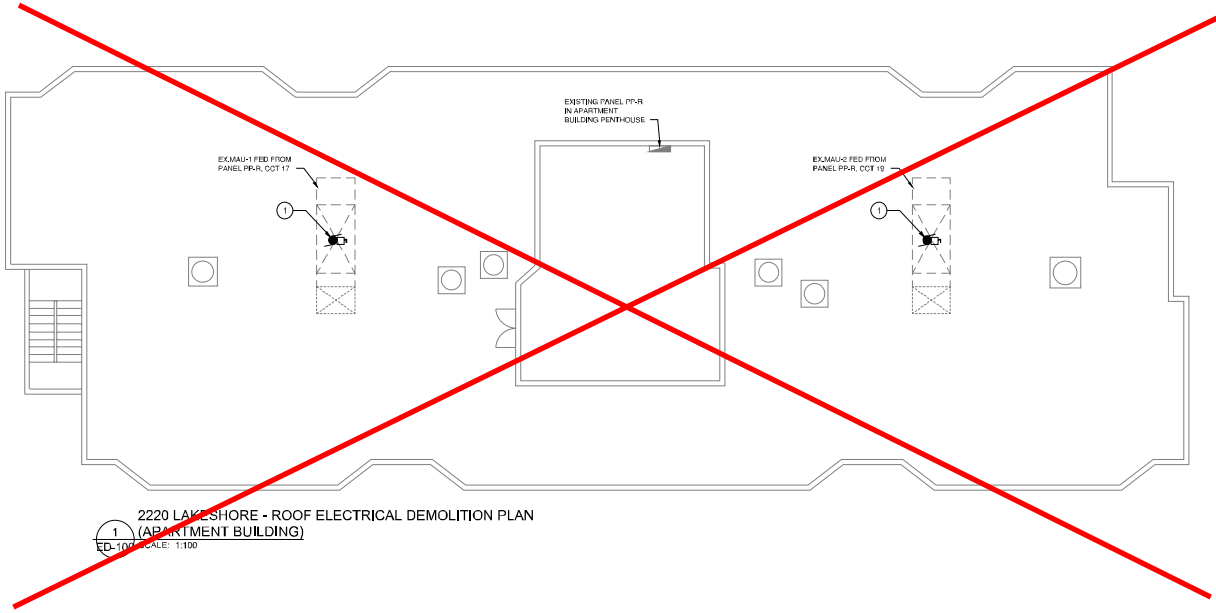
Brant Oldershaw, M.A.Sc., P.Eng  
Director, Structures



Suite 300  
4 Hughson Street South  
Hamilton, ON, Canada L8N 3Z1

T: +1 905 529-4414  
F: +1 905 521-2699  
wsp.com

WSP Canada Inc.



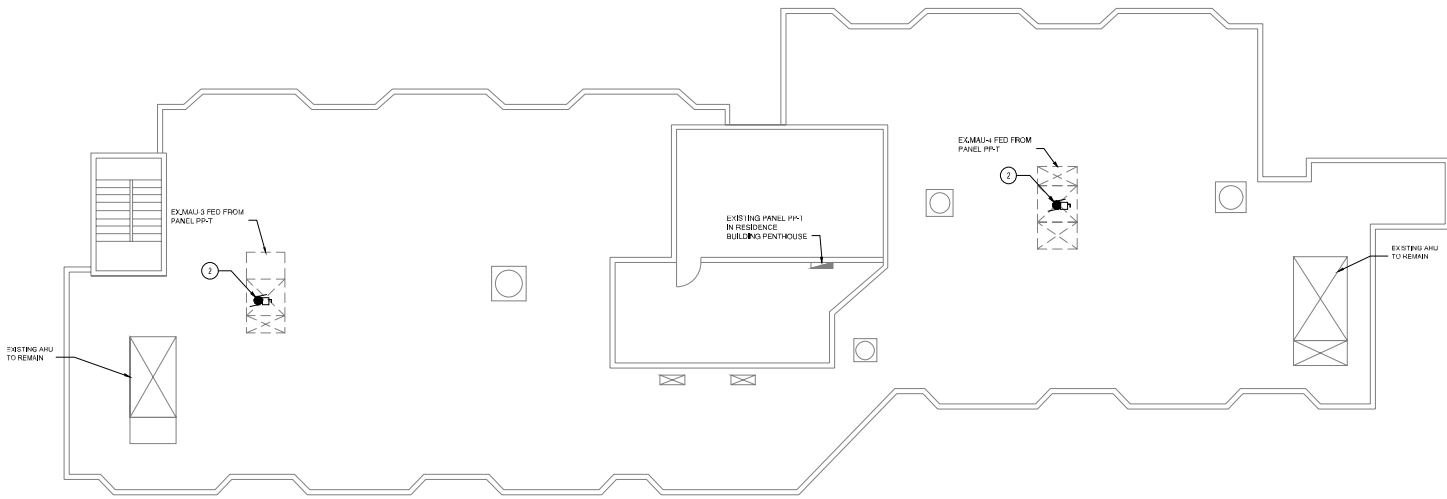
2220 LAKESHORE - ROOF ELECTRICAL DEMOLITION PLAN  
(APARTMENT BUILDING)  
ED-100 SCALE: 1:100

**GENERAL NOTES:**

1. DEMOLITION WORK IS TO BE COMPLETED IN SUCH A MANNER AS TO MINIMIZE DISRUPTIONS TO NORMAL BUILDING OPERATIONS IN OTHER AREAS. CO-ORDINATE WITH OWNER IF ANY SHUTDOWN OF SERVICES IS REQUIRED TO COMPLETE DEMOLITION WORK.
2. ALL OTHER EXISTING ROOF TOP EQUIPMENT EXCEPT EXISTING MAKE-UP AIR UNITS TO REMAIN UNLESS NOTED OTHERWISE.
3. PROVIDE PROTECTION FOR ALL EXISTING EQUIPMENT AND SERVICES THAT WILL REMAIN DURING CONSTRUCTION.
4. ALL WALL, FLOOR OR ROOF OPENINGS CREATED DURING DEMOLITION SHALL BE PATCHED AND REPAIRED WITH SUITABLE SEALS. USE FIRE RATED SEALS TO MAINTAIN FIRE RESISTANCE RATING OF FIRE RATED WALLS, CEILINGS AND WEATHER-PROOF SEALS FOR EXTERIOR WALLS AND ROOF AS REQUIRED.

**DRAWING NOTES:**

- ① DISCONNECT AND REMOVE EXISTING ROOF TOP MAKE-UP AIR UNITS EX-MUA-1 AND EX-MUA-2 C/W WIRING, DISCONNECT SWITCHES AND ALL ASSOCIATED ACCESSORIES BACK TO SOURCE PANEL PP-R IN PENTHOUSE. DISCONNECT AND REMOVE EXISTING 2 x 20A-2P BREAKERS IN PANEL PP-R FEEDING EXISTING MAKE-UP AIR UNITS EX-MUA-1 AND EX-MUA-2.
- ② DISCONNECT AND REMOVE EXISTING ROOF TOP MAKE-UP AIR UNITS EX-MUA-3 AND EX-MUA-4 C/W WIRING, DISCONNECT SWITCHES AND ALL ASSOCIATED ACCESSORIES BACK TO SOURCE PANEL PP-1 IN PENTHOUSE. EXISTING 2 x 15A-2P BREAKERS IN PANEL PP-1 FEEDING EXISTING MAKE-UP AIR UNITS EX-MUA-3 AND EX-MUA-4 SHALL REMAIN AND SHALL BE RE-USED FOR NEW UNITS.



2222 LAKESHORE - ROOF ELECTRICAL DEMOLITION PLAN  
(RESIDENCE BUILDING)  
ED-100 SCALE: 1:100

C:\Users\jagade\OneDrive\Documents\2222 Lakeshore - Roof Electrical Demolition Plan.dwg

REVISION	DATE	DESCRIPTION	BY	CHK
1	2024/03/28	ISSUED FOR PERMIT	AE	
2	2023/09/20	ISSUED FOR PERMIT	AE	
3	2023/03/16	ISSUED FOR CLIENT REVIEW	AE	
4	2023/02/28	ISSUED FOR CLIENT REVIEW	AE	

DISCLAIMER: THIS DRAWING AND DESIGN IS THE PROPERTY OF WSP CANADA INC. AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF WSP CANADA INC. ALL RIGHTS ARE RESERVED.

GRAPHIC SCALE: AS NOTED

DATE: 2023/08/20

IF THE SCALE IS NOT 1:100, PLEASE ADJUST YOUR PLOTTING SCALE.

20mm

WSP Canada Inc.  
1600 Buffalo Place, Winnipeg, Manitoba R2T 6B8  
T20-474-6650 | www.wsp.com

OSCR

ROOF ELECTRICAL DEMOLITION PLAN


OAKVILLE SENIORS RESIDENCE

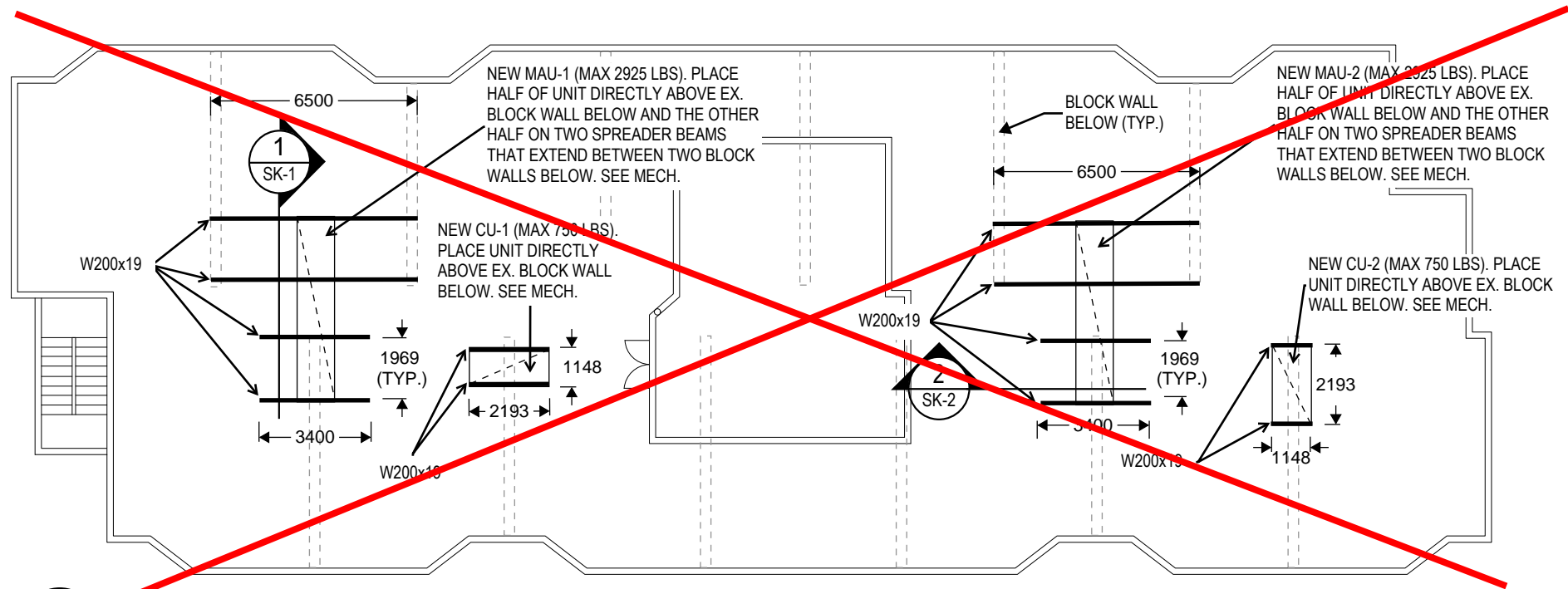
DRAWING NUMBER: ED-100

REV. 4





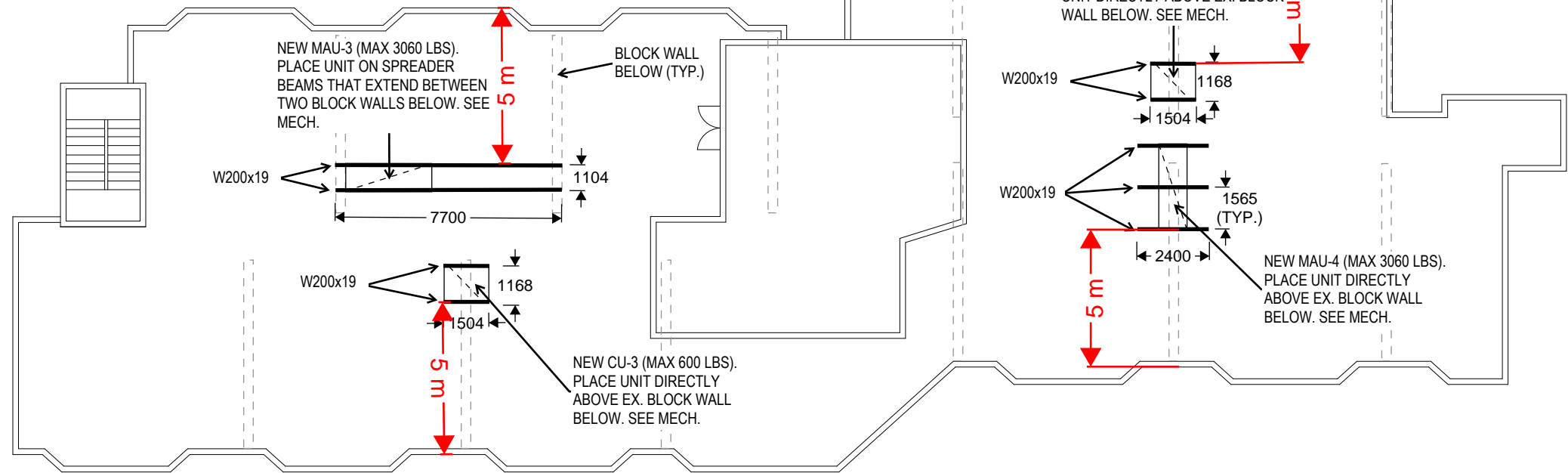
<div>GENERAL</div> <div><p>THIS IS A METRICPROJECT. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS (MM) AND ALL FORCES ARE IN KILONEWTONS (KN).</p><p>1."WSP-S" REFERS TO WSP CANADA STRUCTURAL CONSULTANT.</p><p>2.PROVIDE ALL MATERIAL AND LABOUR REQUIRED FOR COMPLETION OF THE WORK.</p><p>3.PRIOR TO CONSTRUCTION, REVIEW STRUCTURAL DRAWINGS IN CONJUNCTION WITH DRAWINGS PROVIDED BY ALL OTHER CONSULTANTS, AND WITH EXISTING CONDITIONS.</p><p>4.REPORT DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.</p><p>5.VERIFY EXISTING DIMENSIONS AND CONDITIONS ON SITE PRIOR TO CONSTRUCTION.</p><p>6.USE THESE DRAWINGS ONLY FOR THE PURPOSE IDENTIFIED IN THE REVISIONS COLUMN. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION".</p><p>7.DO NOT USE INFORMATION ON THESE DRAWINGS FOR ANY OTHER PROJECT OR WORKS.</p><p>8.DO NOT SCALE THESE DRAWINGS.</p><p>9.ALL SECTIONS, DETAILS, AND STATEMENTS NOTED AS "TYPICAL" APPLY TO LIKE/SIMILAR CONDITIONS IN THE STRUCTURE.</p><p>10.SEE ARCHITECTURAL DRAWINGS FOR FIRE RATING AND FIREPROOFING REQUIREMENTS.</p><p>11.DRAWINGS SHOW COMPLETED STRUCTURE ONLY. THEY DO NOT SHOW TEMPORARY WORKS FOR WHICH THE CONTRACTOR IS RESPONSIBLE AND WHICH MAY BE REQUIRED FOR EXECUTION OF THE PROJECT. THE CONTRACTOR TO ESTABLISH CONSTRUCTION PROCEDURE AND SEQUENCE TO ENSURE SAFETY OF THE WHOLE STRUCTURE AND ALL ITS COMPONENTS DURING ERECTION.</p><p>12.DESIGN AND CONSTRUCTION REVIEW OF ALL TEMPORARY WORKS TO BE CARRIED OUT BY A PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR, LICENSED IN THE PLACE WHERE THE PROJECT IS LOCATED.</p><p>13.DESIGN OF NON-STRUCTURAL AND SECONDARY STRUCTURAL ELEMENTS (SUCH AS MISCELLANEOUS STEEL STAIRS, RAILINGS AND GUARDRAILS, PARTITIONS, CLADDING, BULKHEADS, ETC.) IS THE RESPONSIBILITY OF SPECIALTY PROFESSIONAL ENGINEERS ENGAGED BY THE CONTRACTOR OR THE SUPPLIERS; IT IS NOT WITHIN THE SCOPE OF SERVICES PROVIDED BY WSP-S AND WILL NOT BE REVIEWED BY WSP-S.</p><p>14.CONSTRUCTION LOADS ON COMPLETED STRUCTURE NOT TO EXCEED DESIGN LOADS INDICATED ON DRAWINGS. FULL DESIGN LOADS MAY ONLY BE APPLIED AFTER THE CONCRETE REACHES ITS DESIGN STRENGTH.</p><div>DESIGN CRITERIA</div><p>1.STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2015 ONTARIO BUILDING CODE (OBC), SUPPLEMENTED BY THE USER'S GUIDE – NBC 2020 STRUCTURAL COMMENTARIES.</p><p>2.ALL REFERENCED STANDARDS SHALL BE THE CURRENT EDITION UNLESS DIFFERENT EDITION IS REFERENCED BY THE APPLICABLE BUILDING CODE NOTED ABOVE.</p><p>3.THE VALUES FOR CLIMATIC DATA USED IN THE DETERMINATION OF DESIGN LOADS HAVE BEEN OBTAINED FROM THE 2015 OBC FOR THE SPECIFIC LOCATION OF OAKVILLE.</p><p>4.BASED ON THE USE AND OCCUPANCY, THE BUILDING IS DESIGNED TO THE REQUIREMENTS OF A NORMAL IMPORTANCE CATEGORY.</p><p>5.UNLESS OTHERWISE NOTED, DESIGN LOADS SHOWN ON DRAWINGS ARE SPECIFIED (UNFACTORED) LOADS, TO BE USED FOR ULS DESIGN. FOR SLS DESIGN, THESE LOADS CAN BE REDUCED BY MULTIPLYING WITH THE RATIO OF APPROPRIATE IMPORTANCE FACTORS <math>\alpha(SLS)</math> / <math>\alpha(ULS)</math> GIVEN BELOW.</p><p>6.SNOW: <math>S_s = 1.1 \text{ kPa}</math>; <math>S_r = 0.4 \text{ kPa}</math>; <math>I_s (ULS) = 1.0</math>; <math>I_s (SLS) = 0.9</math> MINIMUM UNFACTORED SNOW LOAD = <math>1.28 \text{ kPa} \times I_s</math></p><p>7.RAIN: 24 HOUR RAINFALL = 97 mm</p><p>8.LATERAL LOADS IN THIS STRUCTURE ARE RESISTED BY BRACED FRAMES, AND ARE DETERMINED BASED ON THE WIND AND SEISMIC DATA BELOW.</p><p>9.WIND : <math>q_{50} = 0.47 \text{ kPa}</math>; <math>I_w (ULS) = 1.0</math>; <math>I_w (SLS) = 0.75</math> TERRAIN TYPE: OPEN INTERNAL PRESSURE CATEGORY: 2</p><p>13.SEISMIC <math>S_a(0.2) = 0.26</math> <math>P_{GA} = 0.134</math> <math>I_e F_a S_a(0.2) = 0.31</math> <math>S_a(0.5) = 0.129</math> <math>R_d = 1.5</math> <math>S_a(1.0) = 0.062</math> <math>R_o = 1.3</math> <math>S_a(2.0) = 0.029</math> <math>I_e = 1.0</math> <math>S_a(5.0) = 0.007</math> SITE CLASSIFICATION = D () <math>S_a(10.0) = 0.0027</math></p><p>SEISMIC FORCE RESISTING SYSTEM (SFRS): CONVENTIONAL CONSTRUCTION (SHEAR WALLS)</p><div>SHOP DRAWINGS</div><p>1.SUBMIT 4 HARD COPIES OR PDF'S OF SHOP DRAWINGS FOR REVIEW BEFORE START OF WORK. PACKAGES TO BE SUBMITTED ARE NOTED IN THE RELEVANT SECTIONS BELOW.</p><p>2.ALL SHOP DRAWINGS ARE TO BE REVIEWED AND STAMPED BY THE CONTRACTOR AND THEIR CONNECTION ENGINEER PRIOR TO DISTRIBUTION TO CONSULTANTS. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.</p></div>		<div><p>3.REVIEW OF SHOP DRAWINGS BY WSP-S IS ON A SAMPLING BASIS, FOR GENERAL CONFORMITY WITH STRUCTURAL CONTRACT DOCUMENTS. IT IS NOT A DETAILED CHECK AND MUST NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE WORK ACCURATE AND IN CONFORMITY WITH ALL THE CONTRACT DOCUMENTS, TO REVIEW SHOP DRAWINGS AND TO COORDINATE WORK OF INTERFACING TRADES AND MANUFACTURE OF INTERFACING PRODUCTS.</p><p>4.REVIEW OF SHOP DRAWINGS DOES NOT IMPLY ANY CHANGE IN ANY OTHER CONSULTANTS' OR PROFESSIONALS' RESPONSIBILITIES RELATED TO DESIGN OF SPECIFIC ITEMS AS OUTLINED BY THESE DRAWINGS.</p><p>5.ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW OF EACH SUBMISSION OF SHOP DRAWINGS IN THE WSP-S OFFICE. ALLOW MORE TIME WHEN LARGE QUANTITIES OF SHOP DRAWINGS ARE SUBMITTED. SUBMIT IN GENERAL CONFORMITY WITH THE SEQUENCE OF CONSTRUCTION INTENDED.</p><p>6.AFTER REVIEW, SHOP DRAWINGS WILL BE STAMPED AND RETURNED. DO NOT COMMENCE FABRICATION UNTIL RETURNED SHOP DRAWINGS HAVE BEEN EXAMINED. IF FABRICATION BEGINS PRIOR TO EXAMINATION OF RETURNED SHOP DRAWINGS, THE COST ASSOCIATED WITH ANY REQUIRED REPLACEMENT OR REWORK OF FABRICATED ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.</p><p>7.SHOP DRAWINGS MARKED "REVIEWED" CAN BE USED FOR FABRICATION. DO NOT MAKE ANY CHANGES OR ADDITIONS TO THESE DRAWINGS WITHOUT NOTIFYING THE CONSULTANT.</p><p>8.SHOP DRAWINGS MARKED "REVIEWED AS NOTED" CAN BE USED FOR FABRICATION AFTER THE REVISIONS NOTED ARE IMPLEMENTED. DO NOT MAKE ANY FURTHER CHANGES OR ADDITIONS TO THESE DRAWINGS WITHOUT NOTIFYING THE CONSULTANT.</p><p>9.SHOP DRAWINGS MARKED "REVISE AND RESUBMIT" REQUIRE SUBSTANTIAL REVISIONS AND MUST BE RESUBMITTED FOR ADDITIONAL REVIEW PRIOR TO FABRICATION. ALL CHANGES AND ADDITIONS TO THE PREVIOUS SUBMISSION TO BE CLEARLY IDENTIFIED ON THE RESUBMITTED DRAWINGS. ONLY THE IDENTIFIED CHANGES WILL BE REVIEWED ON RE-SUBMISSION.</p><p>10.SHOP DRAWINGS MARKED "REVIEWED FOR IMPACT ON BASE STRUCTURE ONLY" SHOW WORKS WHICH ARE NOT WITHIN THE SCOPE OF STRUCTURAL CONSULTING SERVICES BUT AFFECT BEHAVIOUR OF THE BASE STRUCTURE. WSP-S WILL NOT REVIEW THESE WORKS AND ASSUMES THAT THE INDICATED WEIGHTS AND ALL OTHER LOADS IMPOSED ON THE BASE STRUCTURE ARE CORRECTLY IDENTIFIED BY THE DESIGNER / SUPPLIER OF THESE ELEMENTS.</p><p>11.DRAWINGS MARKED "NOT REVIEWED" SHOW WORKS WHICH ARE NOT WITHIN THE SCOPE OF STRUCTURAL CONSULTING SERVICES.</p><p>12.DO NOT USE SHOP DRAWINGS AS A MEANS TO PROPOSE SUBSTITUTIONS OR ALTERNATIVES TO THE MATERIALS, PRODUCTS OR DETAILS INDICATED IN CONTRACT DOCUMENTS. SUCH SHOP DRAWINGS WILL BE MARKED "REVISE AND RESUBMIT".</p><div>FIELD REVIEW</div><p>1.WSP-S WILL PROVIDE PERIODIC FIELD REVIEW OF A REPRESENTATIVE SAMPLE OF THE STRUCTURAL WORKS DETAILED ON THESE DRAWINGS FOR GENERAL CONFORMANCE WITH CONTRACT DOCUMENTS. THESE REVIEWS DO NOT REPLACE THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT AND MAINTAIN A QUALITY CONTROL PROGRAM, AND DO NOT MAKE WSP-S A GUARANTOR OF THE CONTRACTOR'S WORK.</p><p>2.ASSIST WSP-S DURING FIELD REVIEW AND PROVIDE SAFE ACCESS TO WORK AREAS AS REQUIRED.</p><p>3.CHECK THE WORK PRIOR TO FIELD REVIEW TO CONFIRM IT IS COMPLETED AND IN ACCORDANCE WITH CONTRACT DOCUMENTS.</p><p>4.NOTIFY WSP-S 48 HOURS PRIOR TO CONCRETE POURS, BACKFILLING, AND COVERING UP THE STRUCTURE WITH FINISHES.</p><div>EXISTING STRUCTURE</div><p>1.EXISTING STRUCTURAL INFORMATION IS BASED UPON DRAWINGS PREPARED BY DUNLOP WARDELL MATSUI AITKEN, DATED 6/4/1971.</p><p>2.DESIGN OF STRUCTURAL WORKS RELATED TO THE EXISTING BUILDING HAS BEEN CARRIED OUT AS FAR AS PRACTICAL, GIVEN LIMITED AVAILABILITY OF THE EXISTING DRAWINGS AND LIMITED RECORDS OF THE STRUCTURAL MODIFICATIONS LIKELY TO HAVE BEEN MADE THROUGH THE LIFE OF THE BUILDING. MODIFICATIONS TO THE PROPOSED STRUCTURAL FRAMING AND / OR DETAILS MAY BE REQUIRED IF EXISTING CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE ASSUMED AND SHOWN ON DRAWINGS.</p><p>3.EXISTING CONDITIONS ARE ASSUMED. SURVEY THE EXISTING STRUCTURE AFTER REMOVING FINISHES AND REPORT ANY VARIATIONS TO WSP-S BEFORE PROCEEDING WITH THE WORK.</p><p>4.TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE EXISTING STRUCTURE DURING CONSTRUCTION.</p><p>5.SCHEDULE WORK TO MINIMIZE EFFECT ON THE EXISTING BUILDING OPERATION. USE EQUIPMENT AND PROCEDURES TO MINIMIZE NOISE, DUST AND VIBRATIONS. SUBMIT PROPOSED SCHEDULE FOR REVIEW BY THE CONSULTANT AND THE OWNER.</p><p>6.ALL DEMOLITION, SHORING, AND OTHER TEMPORARY WORKS TO BE DESIGNED BY A PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR, LICENSED IN THE PLACE WHERE THE PROJECT IS LOCATED. PREPARE DRAWINGS SIGNED AND SEALED BY THAT ENGINEER SHOWING DEMOLITION PROCEDURE AND SEQUENCE AND ALL THE NECESSARY SHORING.</p><div>STRUCTURAL STEEL</div><p>1.CONFORM TO CSA S16 "DESIGN OF STEEL STRUCTURES".</p><p>2.FABRICATOR TO BE CERTIFIED BY THE CANADIAN WELDING BUREAU UNDER REQUIREMENTS OF CSA W47.1, DIVISION 1 OR 2, AND/OR CSA W55.3.</p><p>3.WELDERS TO BE CWB CERTIFIED. WELDING TO BE IN ACCORDANCE WITH CSA W59.</p><p>4.MATERIALS (TO CSA G40.21 UNLESS NOTED OTHERWISE): -WIDE FLANGE SECTIONS, CHANNELS AND ANGLES: GRADE 350W -PLATES, BARS: GRADE 300W -HOLLOW STRUCTURAL SECTIONS (HSS): 350W CLASS C; OR ASTM A500 GRADE C -GALVANIZED HSS: 350W CLASS H; OTHER GRADES TO BE STRESS RELIEVED PRIOR TO GALVANIZING -BOLTS, NUTS AND WASHERS: ASTM F3125, GRADE A325 -ZINC-RICH PAINT (ZRP) COATING: SSPC PAINT SPECIFICATION NO. 20 -HOT DIP GALVANIZING: ASTM A123/A123M -WELDING MATERIALS: CSA W48 AND CSA W59</p><p>5.SHOP DRAWINGS FOR STRUCTURAL STEEL, STEEL CONNECTIONS, AND STEEL JOISTS TO BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR DESIGN, RETAINED BY THE CONTRACTOR AND REGISTERED IN THE PLACE THE PROJECT IS LOCATED. ENGINEER TO CARRY MINIMUM \$1,000,000 IN LIABILITY INSURANCE.</p><p>6.CONNECT BEAMS FOR THE FORCES SHOWN ON DRAWINGS USING THE CISC "HANDBOOK OF STEEL CONSTRUCTION".</p><p>7.DO NOT SPLICE SECTIONS WITHOUT PRIOR ACCEPTANCE BY THE CONSULTANT AND SUBMISSION OF PERTINENT SHOP DRAWINGS. ACCEPTED SPLICES TO DEVELOP THE FULL MOMENT CAPACITY OF THE SECTION.</p><p>8.DO NOT CUT HOLES OR OTHERWISE MODIFY STRUCTURAL MEMBERS ON SITE.</p><p>9.DO NOT OVERSIZE ANCHOR ROD HOLES FOR SITE TOLERANCES. USE HOLE SIZES SUGGESTED IN THE CISC "HANDBOOK OF STEEL CONSTRUCTION".</p><p>10.PROTECT COMBUSTIBLE MATERIALS AND FINISHES DURING WELDING OPERATIONS.</p><p>11.DO NOT WELD IN AMBIENT TEMPERATURES BELOW -18°C. PREHEAT MATERIAL ADJACENT TO WELDING AREAS WHEN WELDING TEMPERATURE IS BETWEEN -18°C AND 0°C.</p><p>12.UNLESS OTHERWISE NOTED, CLEAN STEEL TO SSPC SP1 (SOLVENT CLEANING) AND APPLY ONE COAT OF SHOP PAINT.</p><p>13.ALL STEEL LOCATED OUTSIDE THE BUILDING ENVELOP'S VAPOUR BARRIER TO BE HOT DIPPED GALVANIZED.</p><p>14.CLEAN SURFACES DOWN TO BARE METAL AND APPLY TWO COATS OF TOUCH-UP ZRP TO ANY GALVANIZED OR ZRP SURFACE THAT HAS BEEN DAMAGED OR FIELD WELDED.</p><p>15.PROVIDE VENT HOLES IN HSS SECTIONS WHERE REQUIRED FOR GALVANIZING PROCESS. MAXIMUM SIZE 16 (5/8") DIAMETER. FILL WITH VENT HOLE PLUGS AFTER GALVANIZING.</p><div>POST-INSTALLED ANCHORS</div><p>1.WHERE DRILLED CONCRETE ANCHORS (DCA) OR DRILLED MASONRY ANCHORS (DMA) ARE NOTED ON DRAWINGS, PROVIDE HILTI KWIK BOLT – TZ2 EXPANSION ANCHORS OR APPROVED EQUIVALENT. TIGHTEN USING THE TORQUE SPECIFIED BY THE MANUFACTURER.</p><p>2.WHERE ADHESIVE CONCRETE ANCHORS (ACA) ARE NOTED ON DRAWINGS, PROVIDE HILTI HIT-HY 200 ADHESIVE ANCHORING SYSTEM WITH HILTI HIT-Z ANCHOR RODS OR APPROVED EQUIVALENT.</p><p>3.ANCHORS LOCATED OUTSIDE THE BUILDING ENVELOPE'S VAPOUR BARRIER TO BE STAINLESS STEEL.</p><p>4.USE DRILLING AND INSTALLATION TOOLS AND PROCEDURES PER MANUFACTURER'S RECOMMENDATIONS. DO NOT CORE DRILL UNLESS SPECIFICALLY NOTED ON DRAWINGS. HOLE DIAMETERS NOT TO EXCEED THOSE REQUIRED BY MANUFACTURER.</p><p>5. EMBEDMENT LENGTH FOR POST-INSTALLED HILTI ANCHORS SHALL BE 83mm (3.25") FOR 12mm (1/2") DIAMETER DRILLED CONCRETE ANCHORS.</p><div>REJECTED WORK</div><p>1.DO NOT DELIVER MATERIALS WHICH ARE KNOWN NOT TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS. IF REJECTED AFTER DELIVERY, REMOVE IMMEDIATELY FROM SITE.</p><p>2.ALL WORK NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.</p></div>	
<div><div><div><div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div></div></div><div>4 Hughson Street South, Suite 300 Hamilton, ON, Canada L8N 3Z1 T 905-529-4414   <a href="http://wsp.com">wsp.com</a></div></div>	<div>SEAL: </div>	<div>PROJECT: <b>2220-2222 LAKESHORE RD, OAKVILLE - SENIORS RESIDENCE MAU REPLACEMENT</b></div> <div>TITLE: <b>GENERAL NOTES</b></div> <div><div>DRAWN BY: JDS/HA/BEO</div><div>CHECKED BY: BEO</div><div>SCALE: NTS</div><div>PROJECT NO: 221-09660-00</div></div>	<div>ISSUED FOR: PERMIT &amp; TENDER</div> <div>REFERENCE DRAWING: 1/S7 (JUNE 1971 STRUC. SET)</div> <div>DATE: 2023 / 03 / 28</div> <div>SKETCH NO: <b>S-1</b></div>



1 2220 LAKESHORE - ROOF PLAN  
SK-2 NTS

ROOF FRAMING PLAN NOTES:

1. SEE GENERAL NOTES AND TYPICAL DETAILS ON S100 SERIES DRAWINGS.
2. ROOF IS LEVEL WITH EXISTING. ASSUMED DATUM ELEVATION IS 0.00.
3. UNLESS NOTED OTHERWISE ON PLAN, DESIGN LOADS ARE:  
LIVE LOAD (SNOW) = 1.28 kN/m<sup>2</sup> MINIMUM + SNOW PILING AREAS NOTED ON PLAN.  
LIVE LOAD (RAIN PONDING) IS INDICATED ON PLAN IF AND WHERE IT EXCEEDS SNOW LOAD.
4. WHERE MECHANICAL LOADS ARE SHOWN ON PLAN, THE VALUES ARE ASSUMED. CONFIRM EXACT MAGNITUDE AND POSITION OF MECHANICAL LOADS WITH MECHANICAL SHOP DRAWINGS AND NOTIFY WSP-S IF ASSUMED VALUES ARE EXCEEDED.
5. WHERE CU-1 & CU-2 ARE NOTED ON PLAN, UNITS SHALL BE SUPPORTED ON FRAMES SIMILAR TO DETAILS 1/SK-3 AND 2/SK-3. LENGTH OF SPREADER BEAMS TO EQUAL UNIT WIDTH + 200MM ON EITHER SIDE.
6. ALL STRUCTURAL STEEL AND THEIR CONNECTIONS EXPOSED TO OUTDOOR CONDITIONS TO BE HOT-DIPPED GALVANIZED.
7. CONFIRM ALL DIMENSIONS ON SITE AND WITH LATEST MECH UNIT SHOP DRAWINGS PRIOR TO FABRICATION OF STRUCTURAL FRAMING.



2 2222 LAKESHORE - ROOF PLAN  
SK-2 NTS

ROOF FRAMING PLAN NOTES:

1. REFER TO NOTES FOR 1/SK-2



4 Hughson Street South, Suite 300  
Hamilton, ON, Canada L8N 3Z4  
T 905-529-4414 | wsp.com

SEAL:



PROJECT:

~~2220~~-2222 LAKESHORE RD, OAKVILLE -  
SENIORS RESIDENCE MAU REPLACEMENT

TITLE:

ROOF PLANS

DRAWN BY:  
JDS/HA/BEO

SCALE:  
NTS

CHECKED BY:  
BEO

PROJECT NO:  
221-09660-00

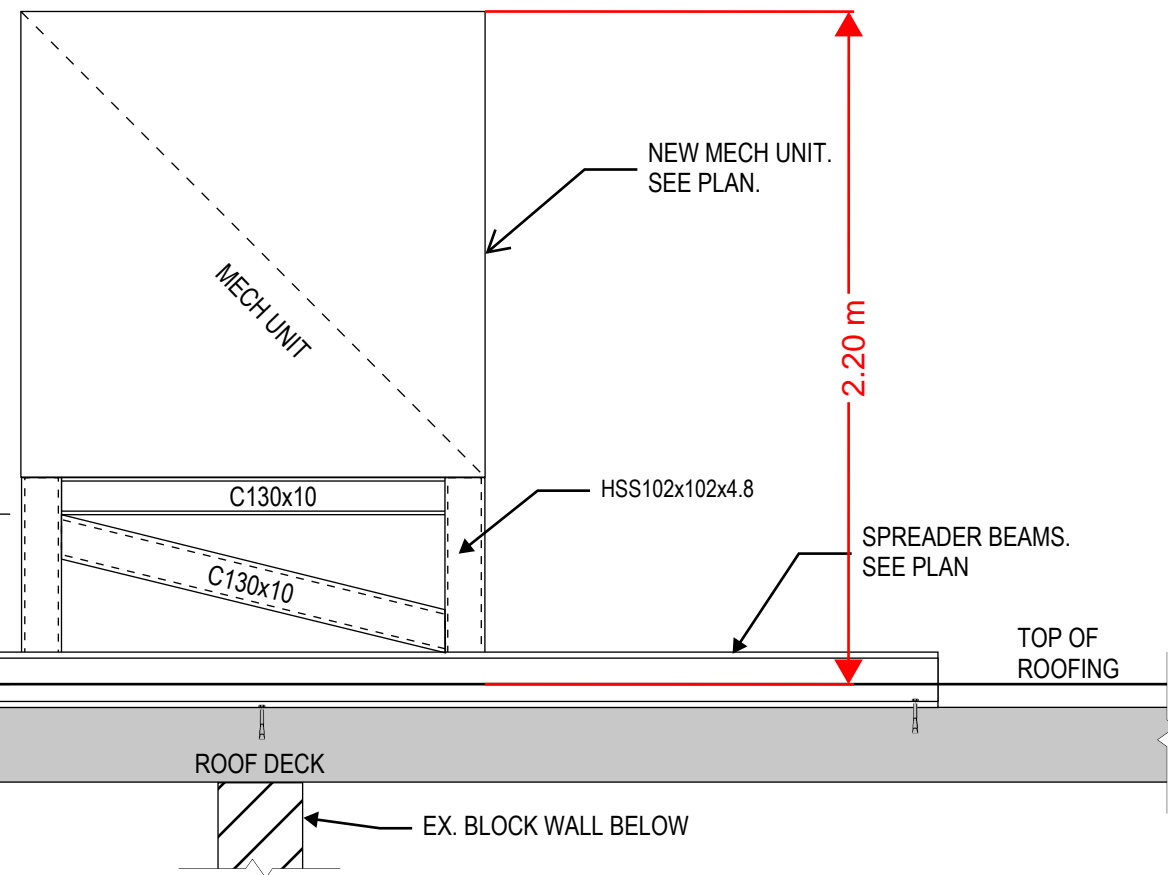
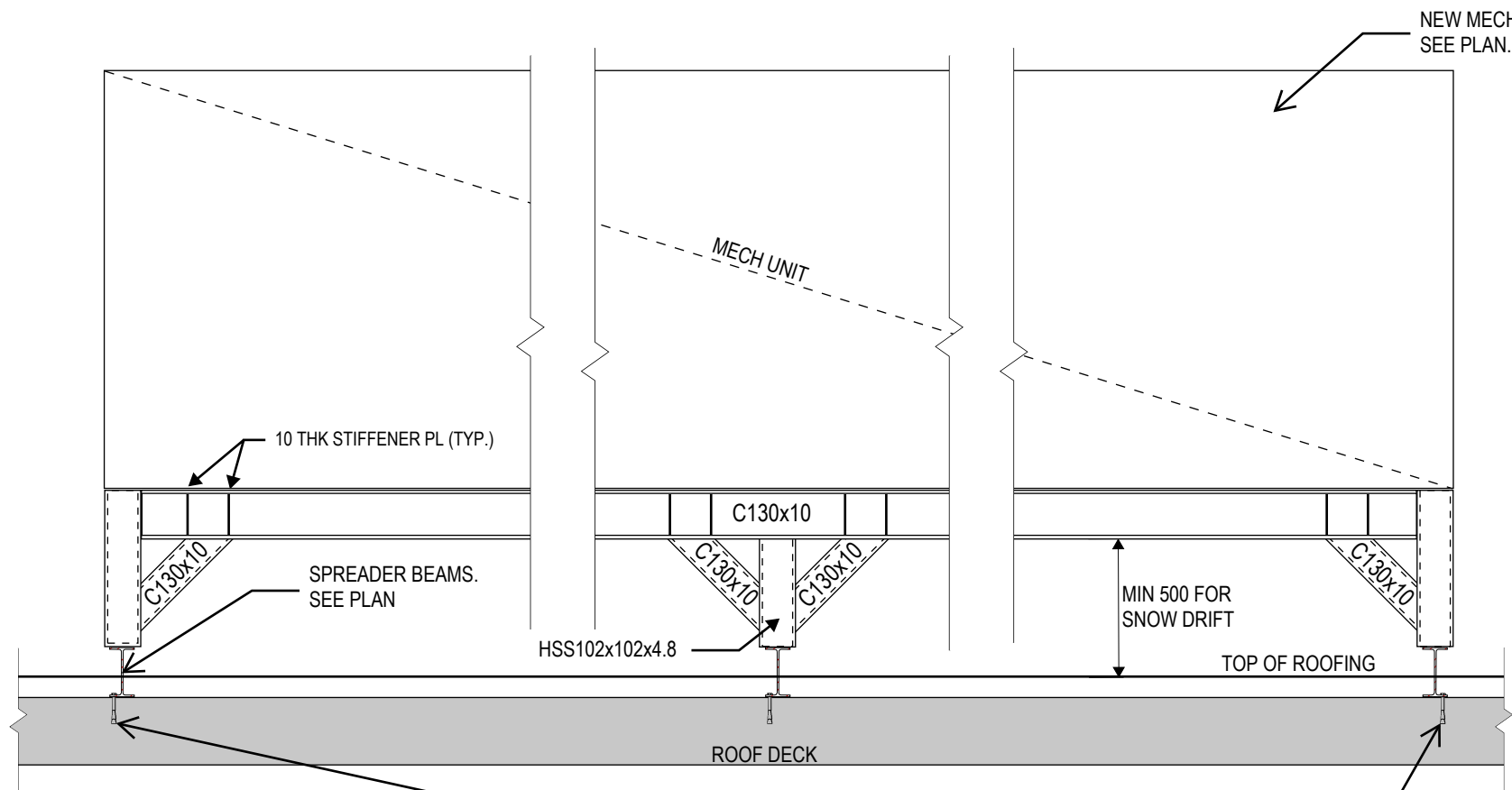
ISSUED FOR:

PERMIT & TENDER

REFERENCE DRAWING:  
1/S7 (JUNE 1971 STRUC. SET)

DATE:  
2023 / 03 / 28

SKETCH NO:  
**S-2**



1 2222 LAKESHORE - ROOF PLAN  
SK-3 NTS

NOTE:

- 1) ALL STRUCTURAL STEEL AND THEIR CONNECTIONS EXPOSED TO OUTDOOR CONDITIONS TO BE **HOT-DIPPED GALVANIZED**
- 2) CONTRACTOR TO SITE-VERIFY MECH UNIT LOCATIONS TO ENSURE THEY ARE PLACED DIRECTLY ABOVE THEIR SHEAR WALLS BELOW.
- 3) DISTANCE BETWEEN TOP OF ROOF AND U/S OF RAISED CURB MUST BE MIN 500 TO ALLOW FOR SNOW DRIFT TO PASS BENEATH.
- 4) PROPOSED METHOD OF RAISING MECH UNIT MAY BE SUPPLEMENTED WITH A MANUFACTURER-SUPPLIED OPTION, PROVIDED IT ALLOWS FOR ADEQUATE PASSAGE OF SNOW DRIFT AND IS REVIEWED AND APPROVED BY WSP-S.
- 5) SHOP DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER FOR CONNECTIONS, ARE REQUIRED FOR ALL STRUCTURAL STEEL ELEMENTS.

PROVIDE 12mm (1/2") DIA DRILLED CONCRETE ANCHORS AT ENDS OF SPREADER BEAMS, AS WELL AS AT MID-SPAN OF BEAMS OVER 3m LONG, CONNECTING OUTSIDE BOTTOM FLANGE OF BEAMS TO ROOF DECK. REFER TO GENERAL NOTES.

2 2222 LAKESHORE - ROOF PLAN  
SK-3 NTS

NOTE:

- 1) REFER TO 1/SK-3 NOTES



4 Hughson Street South, Suite 300  
Hamilton, ON, Canada L8N 3Z1  
T 905-529-4414 | [wsp.com](http://wsp.com)

SEAL:



PROJECT:

~~2220~~ 2222 LAKESHORE RD, OAKVILLE -  
SENIORS RESIDENCE MAU REPLACEMENT

TITLE:

DETAILS

DRAWN BY:  
JDS/HA/BEO

SCALE:  
NTS

CHECKED BY:  
BEO

PROJECT NO:  
221-09660-00

ISSUED FOR:

PERMIT & TENDER

REFERENCE DRAWING:  
1/S7 (JUNE 1971 STRUC. SET)

DATE:  
2023 / 03 / 28

SKETCH NO:  
**S-3**



# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/084/2024- Deferred May 29, 2024

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on August 7, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
Andre Morin Sheri Lynn Morin	Bill Oughtred W.E. Oughtred & Associates Inc. 2140 Winston Park Dr Unit 26 Oakville ON, CANADA L6H 5V5	3232 Shoreline Dr PLAN M302 LOT 10

**Zoning of property:** RL2-0, Residential

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit an accessory building (cabana) on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Section 6.4.2 (Row RL2, Column 3)</i> The maximum lot coverage shall be 25% where the detached dwelling is greater than 7.0 metres in height.	To increase the maximum lot coverage to 30.23%.
2	<i>Section 6.5.2 b)</i> The minimum yard from any lot line for an accessory building or structure located in a flankage or rear yard shall be 0.6 metres, provided that the accessory building or structure has a minimum separation distance of 2.0 metres from the dwelling.	To permit the accessory building located in the rear yard a reduced minimum interior side yard of 0.11 m and reduced minimum rear yard of 0.00 m.

## **How do I participate if I have comments or concerns?**

### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

## **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

## **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

## **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

## **Contact information:**

Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

## **Date mailed:**

July 23, 2024

# 3232 Shoreline Drive CAV A/084/2024-Revised







June 27, 2024

Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3

Dear Committee,

The house, shed, and landscaping at 3232 Shoreline Drive were built in 1986. In 2022, the property was sold to the current owners, Sheri and Andre Morin. The Morins began work on cosmetic updates to the house, including new roofs, windows, siding, deck railings, and repairs made to the existing retaining wall and shed which had been neglected with holes in the roof and a mouse infestation. All structures remain in the same location and footprint.

A by-law officer noticed that the existing shed and retaining wall extend beyond the property line. Additionally, the lot coverage does not comply with the current zoning by-law, which permits a 25% lot coverage. The owners were not informed of this existing encroachment and coverage deficiency until the by-law officer brought it to their attention.

In 1986, when the structures were built, zoning by-law 1984-063 was in effect. The property was designated residential zone R02 under zoning by-law 1984-063, which permitted a 30% lot coverage. With the help of zoning plans examiner Tony Ditella, we determined the following variances:

1. An existing lot coverage of 30.23%, whereas a maximum of 25% is permitted under zoning by-law 2014-014.
2. A rear yard setback to the existing pool shed of 0m, whereas 0.6m is required.
3. A side yard setback to the existing pool shed of 0.11m, whereas 2.4m is required.

The comments provided by the planner from the previously deferred application mention "impact on the neighbours." Many neighbours have provided letters of support regarding the shed and lot coverage, indicating that they have been in place for many years and do not negatively impact them. Arguably, denying the requested variances and forcing the Morins to remove the existing shed and retaining wall to rebuild just inches from where they currently exist would be far more impactful to both the neighbours and the environment than if they stay as established for the last 38 years.

The owners are willing to enter into an encroachment agreement regarding the minor encroachment of the shed and retaining wall onto publicly owned parkland.

With this submission, we have included the following for your consideration:

- Photos of the home and shed at the time of purchase and after the cosmetic upgrades were completed. You can see that the footprint has not changed on any parts of both the home and shed.
- Letters of support from neighbours at 3235 Shoreline Drive, 3230 Shoreline Drive, and 3236 Shoreline Drive.
- A statement from the contractor who completed the work confirming no enlargement.
- Excerpts from zoning by-law 1984-063.
- Correspondence with Tony Ditella regarding how the variances were determined.

Please let me know if you have any questions.

Sincerely,

Kristie Oughtred  
W.E. Oughtred & Associates Inc



*Figure 1 Image of 3232 Shoreline Dr rear yard from the 2022 listing photos. House and shed original to how they were built in the 1980's*



*Figure 2 Image of 3232 Shoreline Dr rear yard 2023 after cosmetic work and repairs*

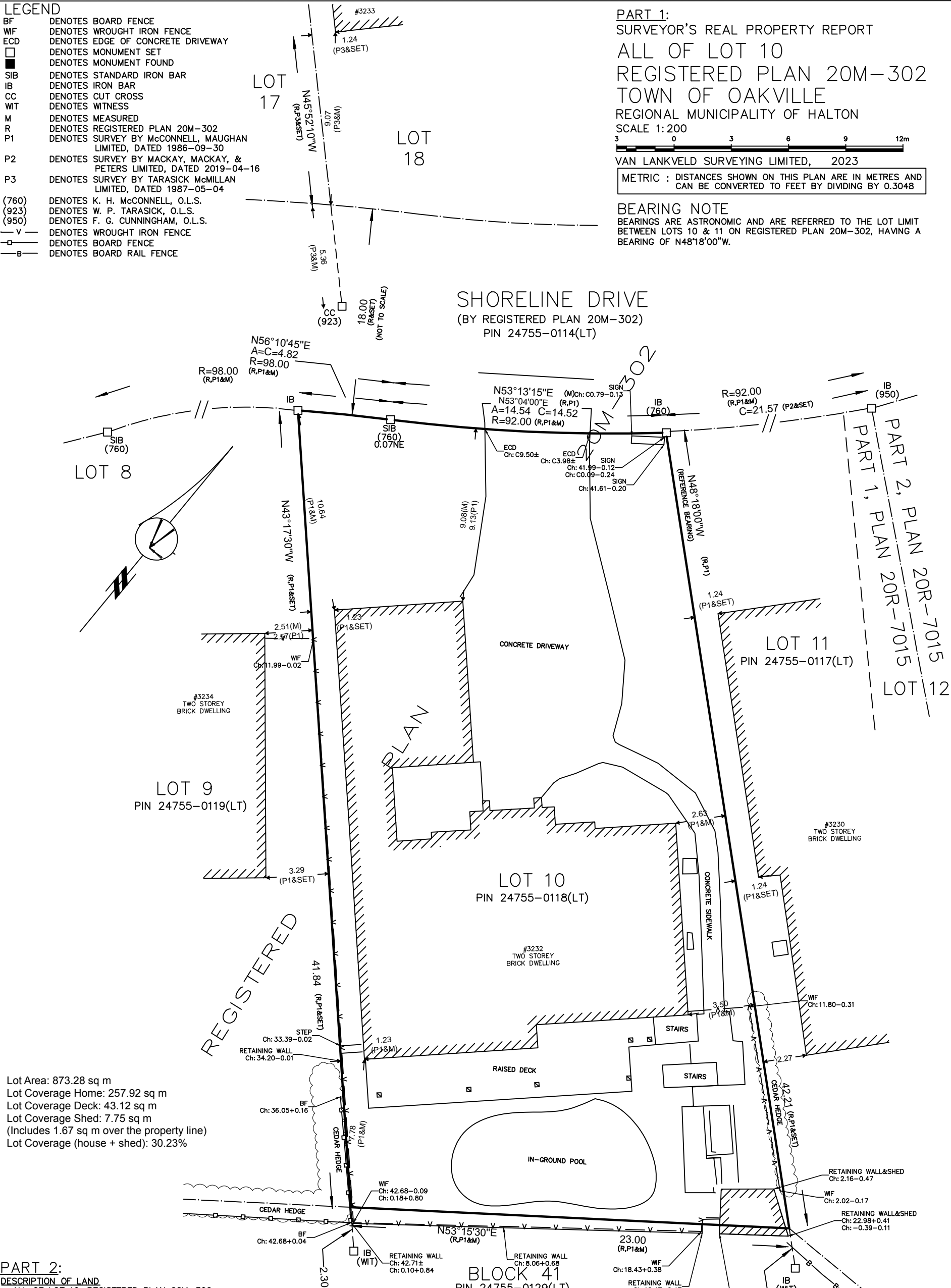
LEGEND

- BF DENOTES BOARD FENCE  
WIF DENOTES WROUGHT IRON FENCE  
ECD DENOTES EDGE OF CONCRETE DRIVEWAY  
□ DENOTES MONUMENT SET  
■ DENOTES MONUMENT FOUND  
SIB DENOTES STANDARD IRON BAR  
IB DENOTES IRON BAR  
CC DENOTES CUT CROSS  
WT DENOTES WITNESS  
M DENOTES MEASURED  
R DENOTES REGISTERED PLAN 20M-302  
P1 DENOTES SURVEY BY McCONNELL, MAUGHAN LIMITED, DATED 1986-09-30  
P2 DENOTES SURVEY BY MACKAY, MACKAY, & PETERS LIMITED, DATED 2019-04-16  
P3 DENOTES SURVEY BY TARASICK McMILLAN LIMITED, DATED 1987-05-04  
(760) DENOTES K. H. McCONNELL, O.L.S.  
(923) DENOTES W. P. TARASICK, O.L.S.  
(950) DENOTES F. G. CUNNINGHAM, O.L.S.  
— v — DENOTES WROUGHT IRON FENCE  
— □ — DENOTES BOARD FENCE  
— B — DENOTES BOARD RAIL FENCE

PART 1:  
SURVEYOR'S REAL PROPERTY REPORT  
ALL OF LOT 10  
REGISTERED PLAN 20M-302  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON  
SCALE 1:200

VAN LANKVELD SURVEYING LIMITED, 2023  
METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE LOT LIMIT BETWEEN LOTS 10 & 11 ON REGISTERED PLAN 20M-302, HAVING A BEARING OF N48°18'00"W.



Lot Area: 873.28 sq m  
Lot Coverage Home: 257.92 sq m  
Lot Coverage Deck: 43.12 sq m  
Lot Coverage Shed: 7.75 sq m  
(Includes 1.67 sq m over the property line)  
Lot Coverage (house + shed): 30.23%

PART 2:

DESCRIPTION OF LAND  
ALL OF LOT 10, REGISTERED PLAN 20M-302  
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS  
THERE ARE NO REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS ON SUBJECT PROPERTY  
BOUNDARY FEATURES (COUNTER-CLOCKWISE)  
N-ERLY CORNER - PLEASE NOTE THE LOCATION OF THE IRON BAR  
N-W-ERLY LIMIT - PLEASE NOTE THE LOCATION OF THE STANDARD IRON BAR  
W-ERLY CORNER - PLEASE NOTE THE LOCATION OF THE IRON BAR  
S-W-ERLY LIMIT - PLEASE NOTE THE CHAINAGE MEASUREMENTS  
S-ERLY CORNER - PLEASE NOTE THE LOCATION OF THE IRON BAR,  
WITNESSING THE CORNER  
S-E-ERLY LIMIT - PLEASE NOTE THE CHAINAGE MEASUREMENTS  
E-ERLY CORNER - PLEASE NOTE THE LOCATION OF THE IRON BAR,  
WITNESSING THE CORNER  
N-E-ERLY LIMIT - PLEASE NOTE THE CHAINAGE MEASUREMENTS  
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS  
COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.  
COMMENTS/REMARKS  
- PLEASE NOTE THAT ALL BUILDING MEASUREMENTS ARE TAKEN TO THE FOUNDATION, UNLESS NOTED OTHERWISE  
- PLEASE NOTE THAT ALL FENCE MEASUREMENTS ARE TAKEN TO THE CENTRE LINE OF SAID FENCE, UNLESS NOTED OTHERWISE  
- PLEASE NOTE THAT ALL RETAINING WALL MEASUREMENTS ARE TAKEN TO THE EXPOSED FACE

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2211520  
THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 7th DAY OF DECEMBER, 2023.

DATE: DECEMBER 15, 2023  
MICHAEL VAN LANKVELD  
ONTARIO LAND SURVEYOR

VAN LANKVELD SURVEYING LIMITED		© COPYRIGHT 2023 VAN LANKVELD SURVEYING LIMITED Unauthorized reproduction, distribution, alteration or use of this plan, in whole or in part, is strictly prohibited.			
110 GOLDCREST ROAD BRAMPTON, ON L6S1H4	41 MONCRIEFF DRIVE ETOBICOKE, ON M9W 2R3	FIELD: M.V.	DRAWN: M.V.	CHECKED: T.V.	JOB NO: 23-2659-SRPR
TEL(905) 792-6641 MAIL: VLG-S@OUTLOOK.COM		DWG NAME: 23-2659-SRPR.DWG		PLOT INFO: 2023-12-15	



## Bill Oughtred

---

**From:** Nic Martins <[REDACTED]>  
**Sent:** Thursday, May 30, 2024 11:58 PM  
**To:** Sheri Morin; Bill Oughtred  
**Subject:** Re: Letter for 3232 Shoreline Drive

-----  
Hello Ms. Heather McCrae  
Secretary-Treasurer, Committee of Adjustment

Re: Minor Variance Application for 3232 Shoreline Drive

I am writing regarding the minor variance application submitted for the property located at 3232 Shoreline Drive.

We are Nic Martins and Karen Janes who live at [REDACTED] [REDACTED] across the road from the subject property. We have lived here for over 15 years.

I can confirm that 3232 Shoreline Drive has had a pre-existing shed on the property the entire time. The shed and the home were rundown when the current owners purchased the property. When we walked in the public park behind their home, we could see that the shed was dilapidated.

Now with the current owners we are thoroughly pleased with how they have renovated their entire property including the shed. The home and the shed are still on the exact same footprint as they were previously but now the shed has been re-sided to greatly improve the look of the shed, which complements their newly renovated home exterior.

I am a home contractor myself and can attest that they kept the shed exactly the same size as it was before and in fact utilized the pre-existing cinder block walls and timber beam walls that make up roughly the bottom half of the shed, and they simply resided the outside.

We are fully supportive of the shed being kept in the style that is fitting to this updated home, and are pleased with how this has improved the look of the neighbourhood and the view of the home from the public park.

Kind Regards,  
Nic Martins / Karen Janes

*Nic Martins*

[REDACTED]

On Thu, May 30, 2024 at 1:19 PM Sheri Morin <[REDACTED]> wrote:  
Hello Nick,

## Bill Oughtred

---

**From:** Sheri Morin <[REDACTED]>  
**Sent:** Thursday, May 30, 2024 2:57 PM  
**To:** Bill Oughtred  
**Subject:** Fw: Letter regarding 3232 Shoreline Drive Minor Variance  
**Attachments:** IMG\_4768.JPG; IMG\_4767.jpg

Here's another letter with photo's that will likely be sent today.

---

**From:** Sheri Morin [REDACTED]  
**Sent:** Wednesday, May 29, 2024 12:21 PM  
**To:** Larysa. Neighbour [REDACTED]  
**Subject:** Letter regarding 3232 Shoreline Drive Minor Variance

To: Heather McCrae, Secretary-Treasurer, Committee of Adjustment  
Re: Minor Variance Application for 3232 Shoreline Drive

Dear Ms. McCrae,

I am writing to you again in relation to the minor variance application submitted for the property located at 3232 Shoreline Drive. As I confirmed in my last letter, I live at [REDACTED] which is the property immediately adjacent to the east of the subject property.

Today I would like to add that I have lived at my current residence for 24 years. During this time, I can attest that there has been a pre-existing shed located at the subject property for as long as I have been a neighbour. To my knowledge, the prior owners of 3232 Shoreline Drive, built the shed and pool when they first moved into the home in 1986.

The subject shed was a wooden structure. Despite its rustic charm, the ravages of the elements had taken their toll – even leaving a hole in the roof. It was clear the shed had reached the end of its serviceable life, making replacement essential for functionality and longevity.

To provide evidence of the pre-existing shed, I am attaching photographs that are screen captures taken from a video recorded during a birthday party on June 13, 2009, from my own property. These images show the shed in question situated on the subject property.

While the adjacent property already possessed an inherent charm and appeal in its prior state, I'm truly impressed in the way the new owners have accentuated its existing strengths, breathing new life into various elements. Particularly noteworthy is the thoughtful replacement of the aging shed structure. It greatly enhanced the aesthetics of the outdoor space. While the shed now has a fresh and modern aesthetic thanks to the re-siding, its fundamental structure remains unchanged.

The revitalized shed occupies the same footprint in that it retains its original size and positioning with portions of the original walls still intact.

I'd like to note that while we are the sole neighbouring property with a view of the shed, our view remains somewhat obscured by the cedar trees strategically planted to provide privacy between our respective properties.

I'd also like to note that the shed serves as an enclosure for the pool equipment, including pumps, heaters and piping, which have been in place, to my knowledge, since the pool's installation circa 1986. We greatly prefer that this utility equipment remains concealed and safely secured within the shed and shielded from visibility from our property and the adjacent public park.

I hope this letter and the accompanying visual evidence are useful to the Committee in evaluating any matters related to the shed on the subject property.

Please let me know if you require any further information or clarification from me.  
Thank you for your time and consideration.

Sincerely,  
Larysa P. Foty





Dear Ms. H. McCrae

Re: Minor Variance Application for 3232 Shoreline Drive

My wife, Shelley, and I reside at [REDACTED] and are neighbours to 3232 Shoreline Drive. Shelley and I are writing this email jointly in support of our neighbours at 3232 Shoreline Dr.

Shelley and I have knowledge of the variance request made to the Town. I am pleased to confirm that we are fully supportive of their variance request. They have greatly improved their home and the shed. The work done is immaculate and has always been respectful of the community in general. Our neighbours at 3232 are welcome addition to the neighborhood.

Specifically, regarding the variance requested, as a lawyer, I can confirm that, to the best of my knowledge, the shed has been in the same location for the entire 9 years that we have lived in our home at [REDACTED] and we have been advised by the homeowner at 3232 that it was constructed when the home was built in 1986. We are advised by the homeowner and do verily believe that the new owners have simply taken the same shed, not changing the size or footprint, and upgraded the outside of the shed by putting on new siding.

The overall look and appearance fits nicely with the home and creates a much better visual appearance when walking through the park on the backside of their lovely home. These homeowners should be commended for their dedication to beautify their own home and the neighbourhood as a result. They are an asset to our close community in Brontë.

Please feel free to contact me at my office anytime if you have any questions.

Best Regards,

Keith M. Elliott  
Barrister and Solicitor  
O'Marra & Elliott, Associates at Law  
125 Lakeshore Rd. E., Suite 203  
Mississauga, Ontario L5G 1E5  
Tel: (905) 278-7277  
Fax: (905) 278-5805

Afternoon,

There is no active application for 3232 Shoreline Drive as it was deferred at the May 29<sup>th</sup> Committee of Adjustment meeting.

If/When the application is re-scheduled you can submit your email in support of the application; or you can provide this email to the home owner/agent who can then submit it if/when the application is re-scheduled.

Regards,  
Heather

**Heather McCrae**  
**Secretary Treasurer - CofAdj**  
**Building Services**

Town of Oakville | 905-845-6601, ext. 3281 | [www.oakville.ca](http://www.oakville.ca)

**Vision: A vibrant and livable community for all**

Please consider the environment before printing this email.

<http://www.oakville.ca/privacy.html>

**From:** Ofer Winkler <oferw@landcon.ca>

**Sent:** Friday, May 31, 2024 1:48 PM

**To:** Heather McCrae <heather.mccrae@oakville.ca>

**Subject:** Re: Variance Request for Shed at 3232 Shoreline Drive

You don't often get email from [oferw@landcon.ca](mailto:oferw@landcon.ca). [Learn why this is important](#)

Dear Ms. McCrae

Secretary-Treasurer,  
Committee of Adjustment

RE: Minor Variance Application for 3232 Shoreline Drive

I am the owner of Land-Con Limited, and we are the contractors that renovated the backyard, pool, patio, deck and shed for 3232 Shoreline Drive in 2023.

I can confirm that the shed in question in the Variance Request, is smaller than 10x10 in size and was pre-existing. We renovated the shed but used the pre-existing cinder block wall on one side that is approximately 5 feet high. We utilized the pre-existing wood beams on the other 3 sides that are approximately 3 feet high. They were all pre-existing to the old shed. The old shed did not appear to have been renovated since it was originally built, and this was apparent as it had greatly deteriorated over the past 30+ years.

We simply resurfaced the outside with new siding to match the design of the home. We did not change the footprint, or size of



the shed, but did lower the height of the shed as the new roof is lower vs. the pre-existing shed.

The overall look of the shed is well in line with the design of the home, and improves the look of the property immensely.

Please feel free to reach out to me should you wish to further discuss,

Thanks,

Ofer Winkler  
Co-Founder, Land-Con Ltd

[oferw@landcon.ca](mailto:oferw@landcon.ca) | 416-504-5263 ext. 4  
Décor Center - 15240 Yonge St, Aurora, ON L4G 1L9  
[www.landcon.ca](http://www.landcon.ca)

# Notice of Public Hearing Committee of Adjustment Application



File # CAV A/157/2021 - deferred from Oct 26, 2021

## Electronic hearing:

By videoconference and live-streaming video on the Town of Oakville's Live Stream webpage at [oakville.ca](https://oakville.ca) on Wednesday August 7, 2024 at 7 p.m.

## Why am I receiving this notice?

You are receiving this notice because the applicant noted below has submitted a minor variance application to the Town of Oakville. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres (200 ft.) of the area to which the application applies. Further details of this application, including drawings, can be viewed online at [Agendas & Meetings \(oakville.ca\)](https://Agendas & Meetings (oakville.ca)).

## Applicant and property information:

Applicant / Owner	Authorized Agent	Subject Property
D Q I Design Quorum Incorporated	N/A	74 Stewart St PLAN 200 LOT 2 RP 20R21988 PART 1

**Zoning of property:** H1 MU2 – Mixed Use

## Variance request:

Under Section 45(1) of the *Planning Act*, the applicant is requesting the Committee of Adjustment to authorize a minor variance to permit the proposed construction of a new multi-unit dwelling on the subject property proposing the following variances to Zoning By-law 2014-014:

No.	Current	Proposed
1	<i>Part 3 (Definitions)</i> Dwelling, Apartment means a dwelling unit within a building containing three or more dwelling units where the units are connected by a common corridor or vestibule.	To alter the definition of Dwelling, Apartment to mean: A dwelling unit within a building containing three or more dwelling units where the units are connected by an uncovered, exterior podium
2	<i>Table 4.3 (row 4)</i> Balconies shall be located in a front or rear yard with a maximum total projection of 1.5m beyond the main wall.	To increase the maximum total projections beyond the main wall to 2.45m on both the second and third floors.
3	<i>Table 5.2.2</i> All other permitted non-residential uses in Kerr Village (Map 19(7a)) shall provide a minimum of 1 parking space per 40.0 m <sup>2</sup> of net floor area.	To reduce the non-residential uses parking to a minimum of 0 parking spaces.

4	<i>Section 8.6 d)</i> The parking of motor vehicles is prohibited in all storeys of an above grade parking structure for the first 9.0m of depth of the building, measured in from the main wall oriented toward the lot line adjacent to Kerr Street.	To permit the parking of motor vehicles within 16.8% of the area within 9.0m of depth of the building on the ground floor, measured in from the main wall oriented toward the lot line adjacent to Kerr Street.
5	<i>Table 8.3.1 (Row 1, Column MU-2)</i> The minimum first storey height shall be 4.5 m.	To reduce the minimum first storey height to 3.04m

### **How do I participate if I have comments or concerns?**

#### Submit written correspondence

Although there are no third-party appeal rights, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Please be advised that any written correspondence submitted to the Town of Oakville regarding this application will be made public pursuant to the *Planning Act* and *Municipal Freedom of Information and Protection Act*.

#### Participate in the electronic hearing by videoconference.

Pre-register as a delegation by contacting the Secretary-Treasurer noted below by email or telephone no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Pre-registered delegates will be provided with access codes and instructions to enter the electronic.

### **Watch the hearing:**

If you do not wish to participate, but would like to follow along, the hearing will be publicly live-streamed on the Town of Oakville's Live Stream webpage at [oakville.ca](http://oakville.ca). The live-stream will begin just before 7 p.m.

### **More information:**

Town departments and agency comments regarding this application will be available online at [Agendas & Meetings \(oakville.ca\)](http://Agendas & Meetings (oakville.ca)) by noon on the Friday before the hearing date.

### **Notice of decision:**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings.

### **Contact information:**

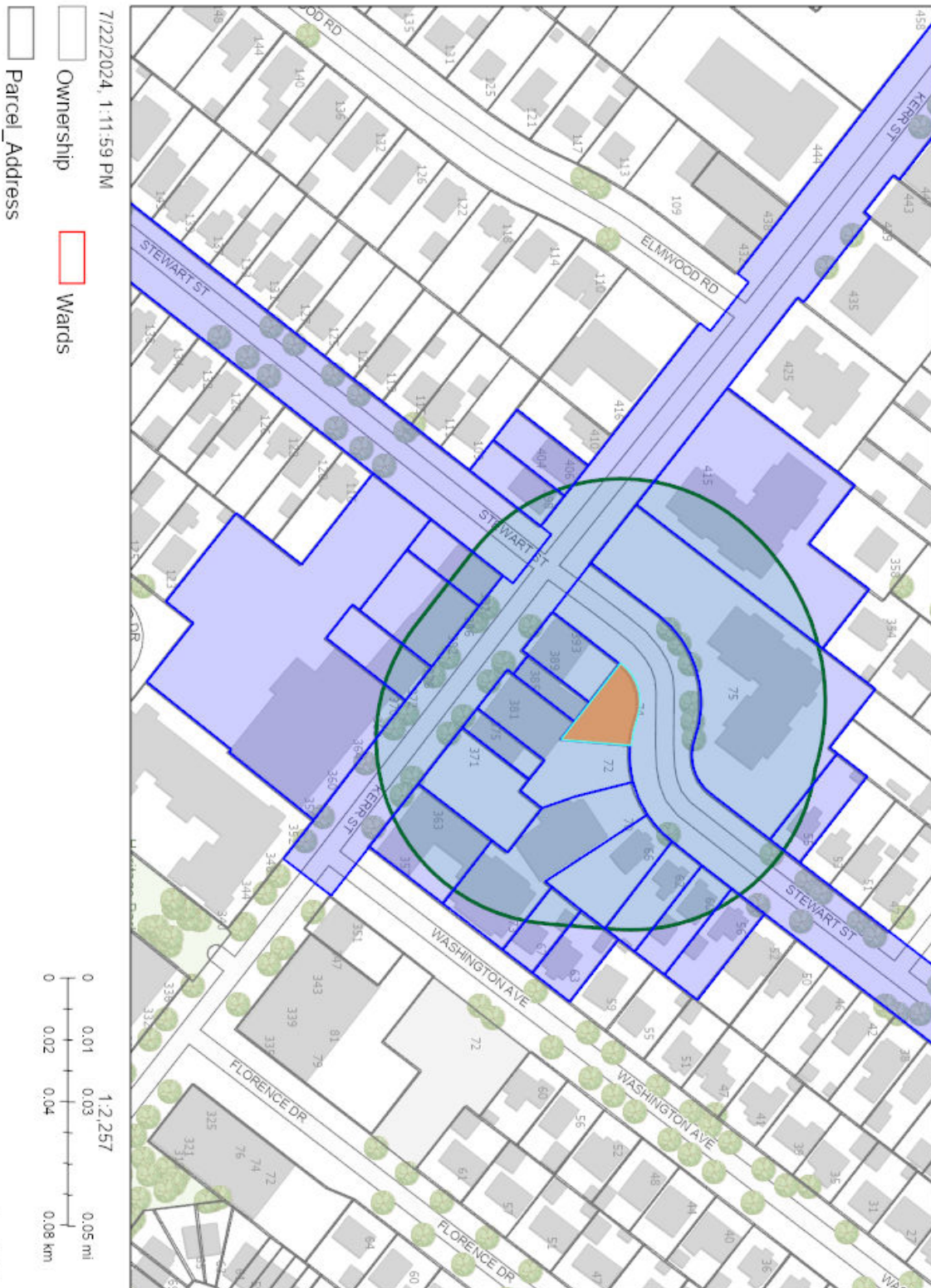
Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON L6H 0H3  
Phone: 905-845-6601 ext. 1829  
Email: [coarequests@oakville.ca](mailto:coarequests@oakville.ca)

### **Date mailed:**

July 23, 2024



# 74 Stewart Street CAV A/157/2021-Revised





MV App\_74 Stewart\_Cover letter REV B  
21 June 2024

Project Ref: CAV A/157/2021  
74 Stewart Street, Oakville, L6K 1X5  
Committee of Adjustment, Minor Variance Application (DEFERRAL)

F.A.O Committee of Adjustment/Treasury Secretary

Please find enclosed documents and drawings prepared in support of a minor variance application for a previously deferred application CAV A/157/2021. We were advised during the Committee of Adjustment Meeting to defer the application, due to further review by Town Staff relating to Driver Sight Lines. This item has since been reviewed and we have included supporting documentation relating to this review by Development Engineering Services.

The Subject Land is an existing vacant lot, municipally addressed as 74 Stewart Street in the Town of Oakville. This lot is currently in review by the Town for Site Plan Approval ( SP.1616.069/01).

Since the previous application, the design has been revised to reduce the number of residential units from 7 Units to 6 Units. Also, the orientation of the residential units has also changed so that the dwellings are in a row, all facing toward Stewart Street.

The minor variances requested are listed below and were previously reviewed and discussed with Peter Kozelj and Kelly Lanaus. This list of variances should be read in conjunction with enclosed drawings A-101, A-102, A-103 and A-201 where each minor variance has been referenced;

447 KERR STREET  
OAKVILLE ON L6K3C2  
T. 905.339.0223

Page 85 of 93  
DQI.CA

**Variance #1**

Part 3 (Definitions) Dwelling, Apartment means:

- a) A Dwelling unit within a building containing three or more dwelling units where the units are connected by a common corridor or vestibule.

**Variance Request:**

To alter the definition of Dwelling, Apartment to mean:

A dwelling unit within a building containing three or more dwelling units where the units are connected by an uncovered, exterior podium.

**Variance #2**

Table 4.3: Allowable Building and Structure Encroachments and Projections

Row 4: Balconies shall be located in a front or rear yard with a maximum total projection of 1.5m beyond the main wall.

**Variance Request:**

To permit balconies to be located in the flankage yard with a maximum total projection of 2.45m beyond the Main Wall on both the Second and Third Floor Levels.

**Variance #3**

Table 5.2.2. Ratios of Minimum Number of Parking Spaces for Mixed Use Zones: All Non-Residential Uses ;

All other permitted non-residential uses in a Mixed Use Zone on Map 19(7a) [Kerr Village]

Minimum Number of Parking Spaces required (commercial) 1.0 per 40.0 sq m net floor area

**Variance Request:**

To permit a minimum of 0.0 Commercial Parking spaces

**Variance #4**

Section 8.6 (d) – The parking of motor vehicles is prohibited in all storeys of an above grade parking structure for the first 9.0m of depth of the building, measured in from the main wall oriented toward the lot line adjacent to Kerr Street.

**Variance Request:**

To permit the parking of motor vehicles within 16.8% of the area within 9.0m of depth of the building on the ground floor, measured in from the main wall oriented toward the lot line adjacent to Kerr Street

**Variance #5**

Table 8.3.1: Regulations in the Mixed Use Zones ; MU2

Minimum First Storey Height of 4.5m

**Variance Request:**

To permit a minimum First Storey Height of 3.04m

(where First Storey Height is the vertical distance between the top of the finished floor level of the first storey and the top of the finished floor level of the storey above)



We have included the following documents and drawings in support of the application;

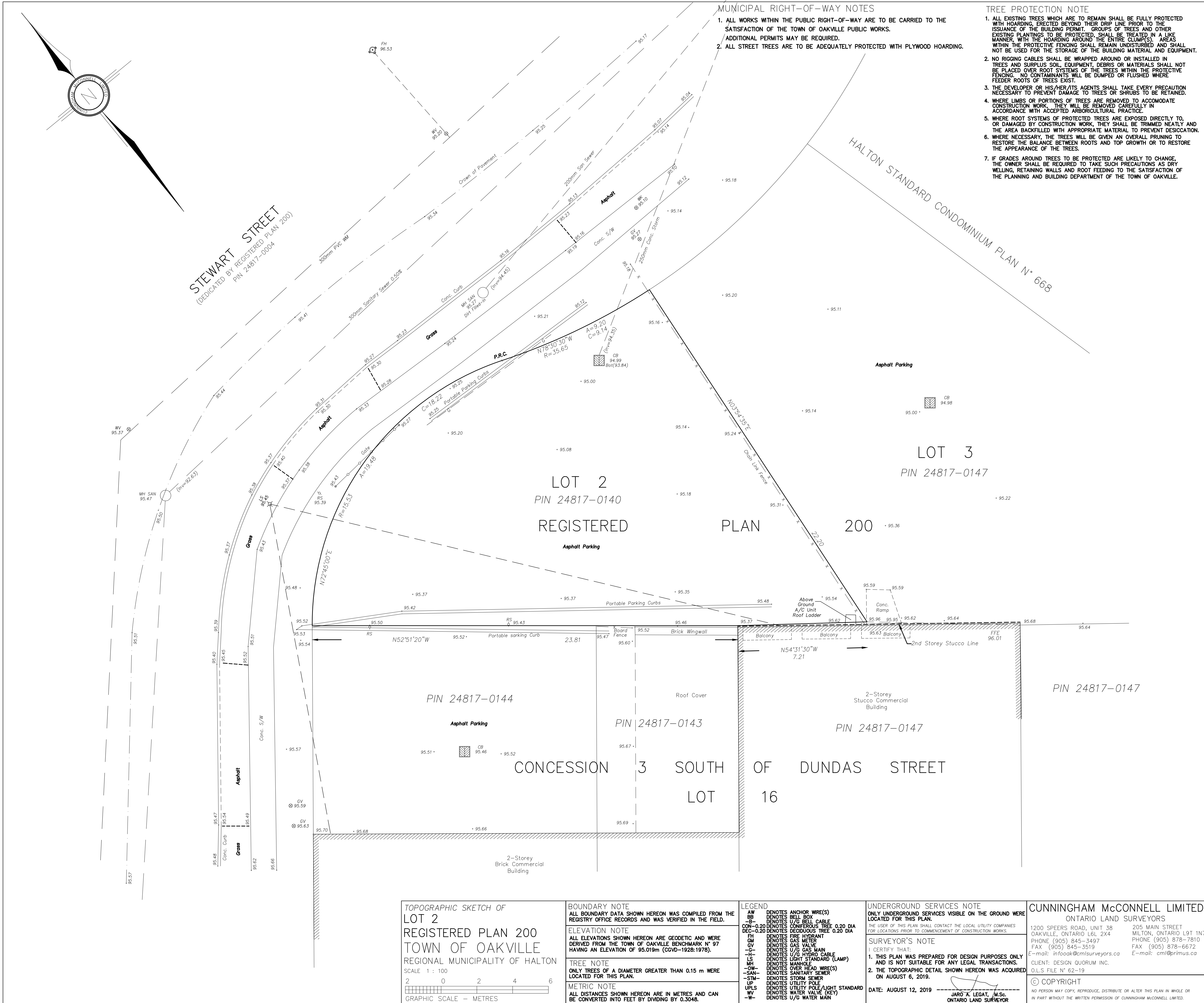
- Revised Application Form
- Existing Site Survey (C-62-19-1 - EXISTING SURVEY PLAN.pdf)
- Proposed Site Plan (A-001 - PROP SITE PLAN.pdf)
- Minor Variance Reference Drawings;
  - A-101 – Parking and Commercial Level Plan
  - A-102 – Second Floor Plan (Residential and Podium)
  - A-103 – Third Floor Plan (Residential)
  - A-201 – Elevation
- Sightline review - Transportation Services, email
- Arborist Letter (ARB - ARBORIST LETTER.pdf)

We trust the enclosed is in order, however please let us know if you require any additional information or if you have any queries regarding the submitted information.

Yours sincerely,

Jonathan Sprawson  
e: jon@dqi.ca

A handwritten signature in black ink, appearing to read 'Jonathan Sprawson', with a large, stylized flourish at the end.



KEY PLAN  
NOT TO SCALE

STANDARD DEVELOPMENT NOTES  
(A) ENGINEERING AND CONSTRUCTION DEPARTMENT  
(B) GENERAL NOTES  
(C) UTILITIES CONNECTION

REGIONAL APPROVAL  
REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.  
SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_  
The approval of the water system on private property is the responsibility of the Local Municipality, regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, (the Water and Wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

ARBORIST'S REPORT NOTE  
TREE NUMBERING SHOWN HEREON WAS DERIVED FROM THE ARBORIST'S REPORT PREPARED BY

FRAMED HOARDING  
NOT TO SCALE

SOLID BOARD HOARDING  
NOT TO SCALE

TREE PROTECTION ZONE  
Diameter of Trunk (DBH)<sup>(2)</sup> in centimeters Tree Protection Zone<sup>(3)</sup> Distances From Trunk Measured in Metres

NOTE:  
1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.  
2. HOARDING TO BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION UNLESS APPROVAL TO REMOVE IS OBTAINED FROM DEVELOPMENT AND DESIGN.  
3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION UNLESS APPROVAL TO REMOVE IS OBTAINED FROM DEVELOPMENT AND DESIGN.  
4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.  
\* T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH THE APPROVAL FROM DEVELOPMENT AND DESIGN.

2019/08/12  
DATE:

ISSUED FOR DESIGN  
REVISIONS

JAL  
INITIAL

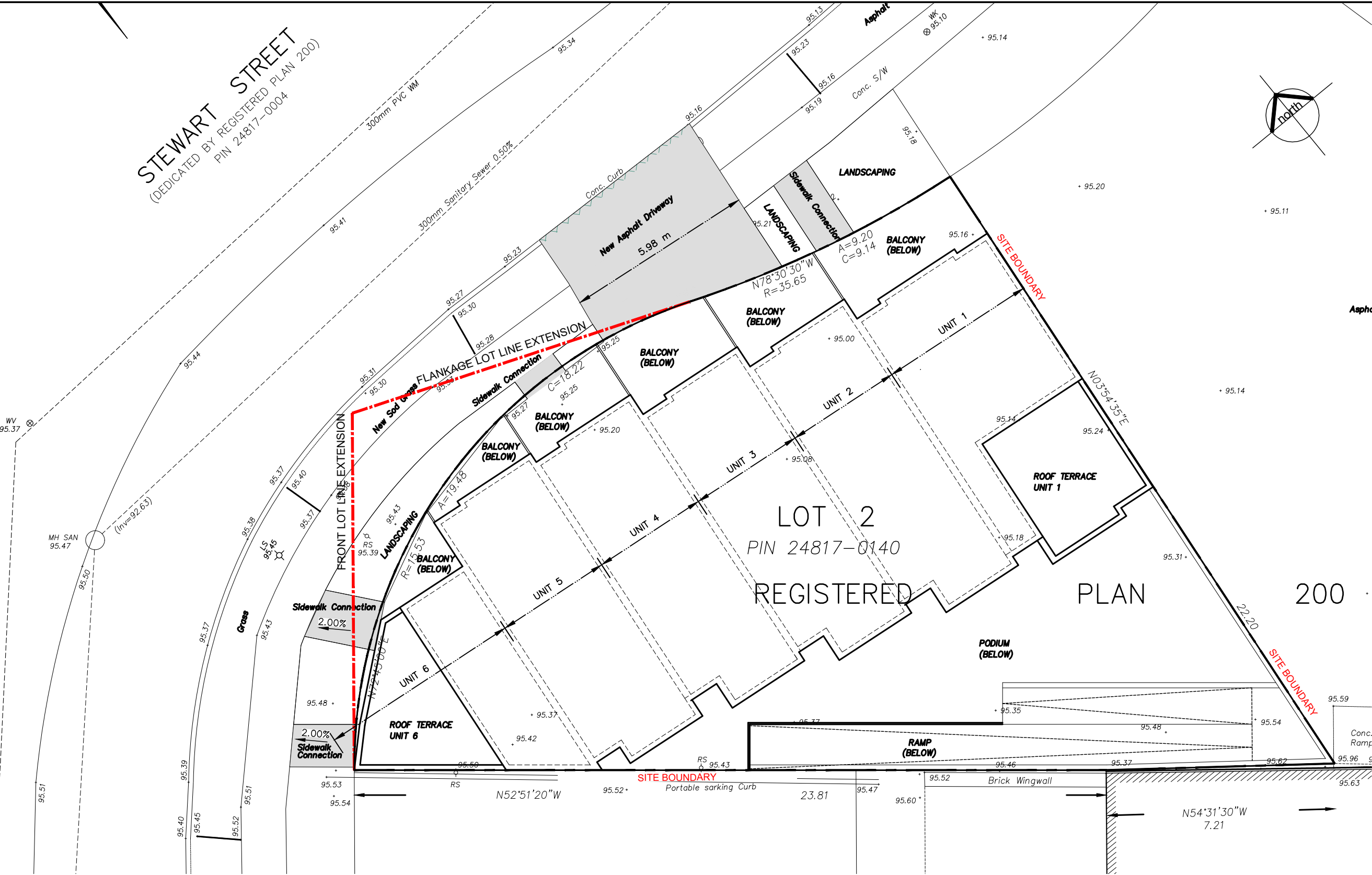
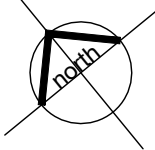
#74 STEWART STREET  
SITE GRADING AND SERVICING PLAN  
DATE: AUGUST 12, 2019  
REGIONAL DRAWING N°

SCALE 1 : 100  
PLAN 62-19-1

Page 88 of 93



STEWART STREET  
(DEDICATED BY REGISTERED PLAN 200)  
PIN 24817-0004



GENERAL NOTES

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS, THE DESIGN OFFICE MUST BE NOTIFIED IMMEDIATELY.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE ON THE DRAWINGS FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESS AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT RESPONSIBILITY FOR ALL SUCH MEASURES. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

DO NOT SCALE DRAWINGS.

REV. NO.	DESCRIPTION	DATE	BY
-	DRAWING ISSUED	21.06.17	SB
A	MINOR VARIANCE APPLICATION	21.07.27	SB
B	MINOR VARIANCE APPLICATION: DIMENSION ADDED RELATING TO VARIANCE #6	21.08.26	SB
C	MINOR VARIANCE APPLICATION: REVISED AS PER TOWN COMMENTS	21.09.23	SB
D	DESIGN REVISIONS INCORPORATED	22.09.11	SB
E	MINOR VARIANCE APPLICATION REVISED: LAYOUT UPDATED	24.04.10	SB
F	ISSUED FOR MINOR VARIANCE APPLICATION	24.05.13	SB
G	REVISIONS FOLLOWING ZONING COMMENTS: ISSUED FOR MINOR VARIANCE APPLICATION	24.06.21	SB

DRAWING TITLE

PROPOSED  
SITE PLAN

CLIENT  
DESIGN QUORUM INC.

PROJECT TITLE  
74 STEWART STREET,  
OAKVILLE, ONTARIO

STATUS  
MINOR VARIANCE  
REFERENCE SKETCH

DRAWN BY  
SB

CHECKED BY  
JS

CLIENT APPROVAL

DATE  
© 21 JUN 2024

SCALE  
AS NOTED

DRAWING NO.  
A - 001

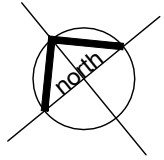
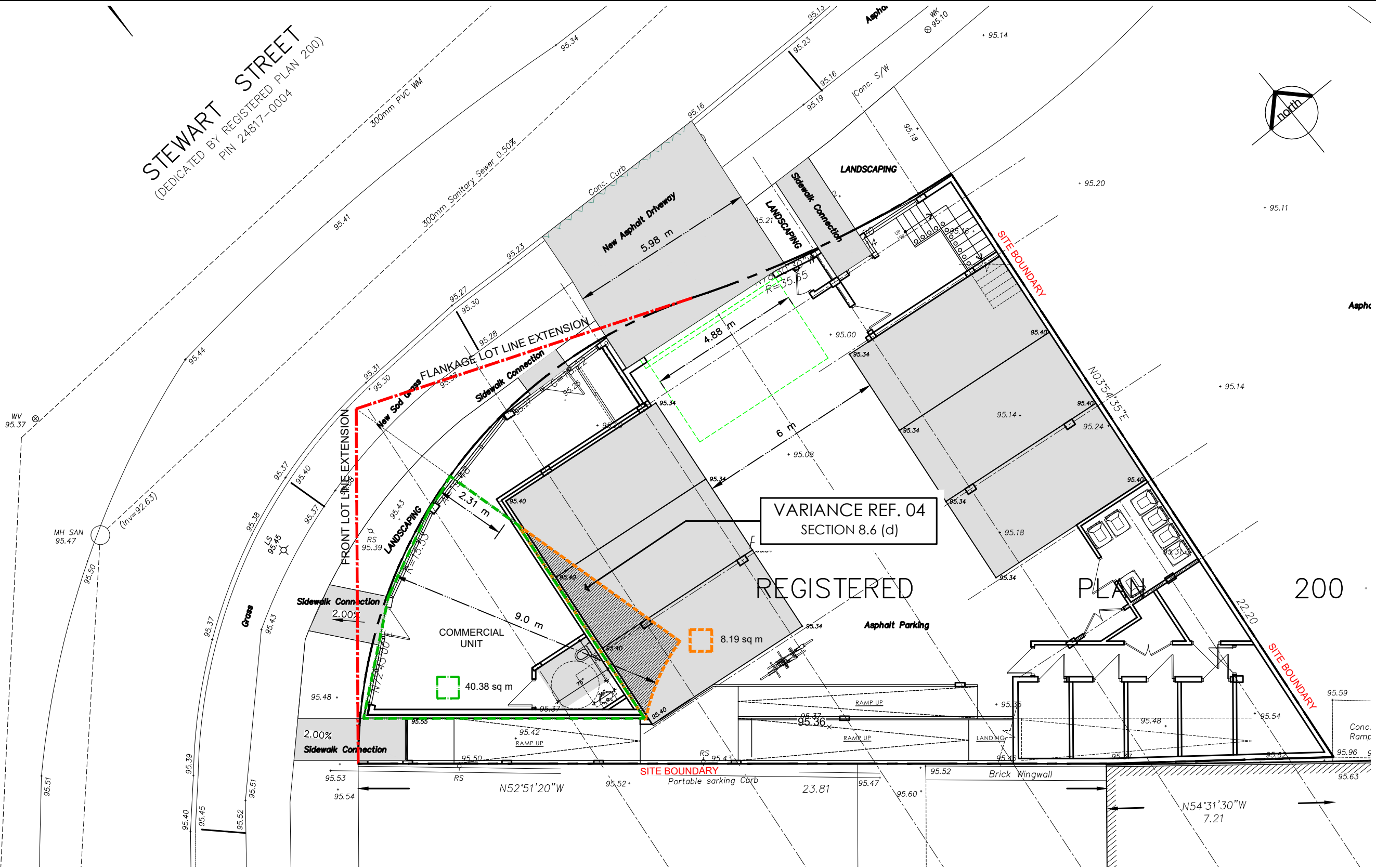
REV  
G

1  
A-001

DESIGN  
QUORUM  
INCORPORATED  
447 KERR STREET  
OAKVILLE ON L6H 6K2  
T. 905.339.0223  
DQI.CA



STEWART STREET  
(DEDICATED BY REGISTERED PLAN 200)  
PIN 24817-0004



VARIANCE REF. 04  
SECTION 8.6 (d)

REGISTERED

PLAN

200

PROPOSED PARKING AND  
COMMERCIAL LEVEL



SCALE 1 : 125

GENERAL NOTES

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS, THE DESIGN OFFICE MUST BE NOTIFIED IMMEDIATELY.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE ON THE DRAWINGS FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESS AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT RESPONSIBILITY FOR ALL SUCH MEASURES. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

DO NOT SCALE DRAWINGS.

REV. NO.	DESCRIPTION	DATE	BY
-	DRAWING ISSUED	21.06.17	SB
A	MINOR VARIANCE APPLICATION	21.07.27	SB
B	MINOR VARIANCE APPLICATION: DIMENSION ADDED RELATING TO VARIANCE #6	21.08.26	SB
C	MINOR VARIANCE APPLICATION: REVISED AS PER TOWN COMMENTS	21.09.23	SB
D	DESIGN REVISIONS INCORPORATED	22.09.11	SB
E	MINOR VARIANCE APPLICATION REVISED: LAYOUT UPDATED	24.04.10	SB
F	ISSUED FOR MINOR VARIANCE APPLICATION	24.05.13	SB
G	REVISIONS FOLLOWING ZONING COMMENTS ISSUED FOR MINOR VARIANCE APPLICATION	24.06.21	SB

DRAWING TITLE

PROPOSED PARKING AND  
COMMERCIAL LEVEL

CLIENT  
DESIGN QUORUM INC.

PROJECT TITLE  
74 STEWART STREET,  
OAKVILLE, ONTARIO

STATUS  
MINOR VARIANCE  
REFERENCE SKETCH

DRAWN BY  
SB

CHECKED BY  
JS

CLIENT APPROVAL

DATE  
© 21 JUN 2024

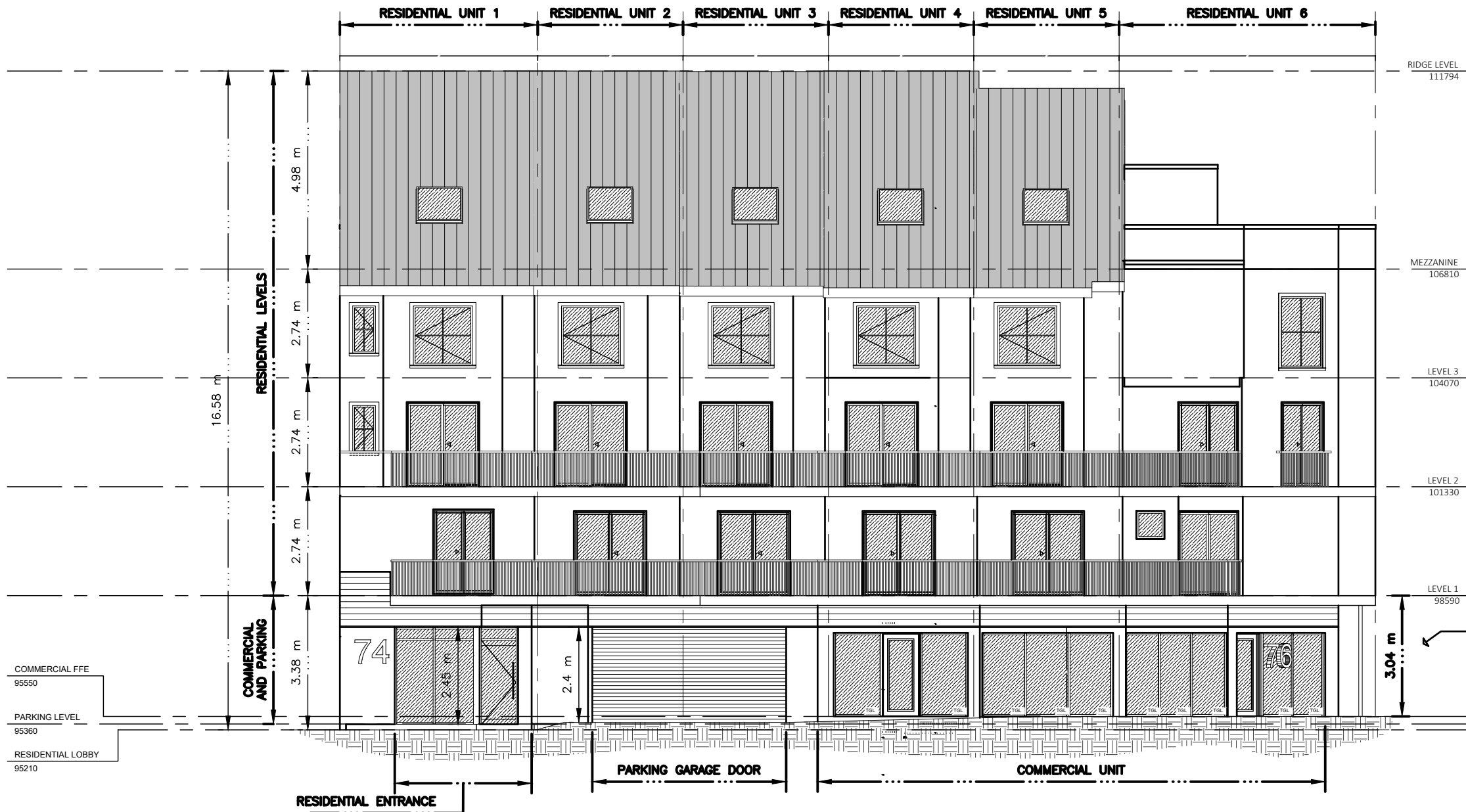
SCALE  
AS NOTED

REV

A - 101

G

DESIGN  
QUORUM  
INCORPORATED  
447 KERR STREET  
OAKVILLE ON L6H 6C2  
T. 905.339.0223  
DQI.CA



GENERAL NOTES

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS, THE DESIGN OFFICE MUST BE NOTIFIED IMMEDIATELY.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE ON THE DRAWINGS FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESS AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT RESPONSIBILITY FOR ALL SUCH MEASURES. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

DO NOT SCALE DRAWINGS.

REV. NO.	DESCRIPTION	DATE	BY
-	DRAWING ISSUED	21.06.17	SB
A	MINOR VARIANCE APPLICATION	21.07.27	SB
B	MINOR VARIANCE APPLICATION: REVISED AS PER TOWN COMMENTS	21.09.23	SB
C	DESIGN REVISIONS INCORPORATED	22.09.11	SB
D	DESIGN REVISED, NOTES ADDED	24.04.15	SB
E	ISSUED FOR MINOR VARIANCE APPLICATION	24.05.13	SB

DRAWING TITLE

STEWART STREET ELEVATION

CLIENT

DESIGN QUORUM INC.

PROJECT TITLE

74 STEWART STREET, OAKVILLE, ONTARIO

STATUS

MINOR VARIANCE REFERENCE SKETCH

DRAWN BY

SB

CHECKED BY

JS

CLIENT APPROVAL

DATE

© 13 MAY 2024

SCALE

AS NOTED

DRAWING NO.

A - 201

REV

E

DESIGN QUORUM INCORPORATED

447 KERR STREET OAKVILLE ON L6K 3G2

T. 905.339.0223

DQI.CA



# GreenPrint

Consulting Arborists

*A division of The Tree Specialists, Inc.*

**Tel: (289) 813-9250**  
**[dcarnevale@greenprintca.com](mailto:dcarnevale@greenprintca.com)**  
111 Walby Drive  
Oakville, ON L6L 4A7

November 4, 2019

**Design Quorum Inc**  
447 Kerr Street  
Oakville, ON L6K 3C2

**ATTENTION: Ms. Sandra Boardman**

[Sandra@dqi.ca](mailto:Sandra@dqi.ca)  
905-844-1656

**RE: 74 Stewart Street**  
**Tree Survey**

---

This letter is to confirm that as per my site visit dated November 4, 2019 there are no regulated trees involved with this project under the Town of Oakville's Street and Private Tree Bylaws, see Appendix 1 for Google Maps image.

I trust this meets your needs. If you have any questions or require further information, please do not hesitate to contact me directly at 289-813-9250.

**GREENPRINT CONSULTING ARBORISTS**

Davide Carnevale  
President/Consulting Arborist  
ASCA Registered #370  
E-mail: [dcarnevale@greenprintca.com](mailto:dcarnevale@greenprintca.com)



## Appendix I: Google Maps Street view

