



**Town of Oakville
Planning and Development Council**

REVISED AGENDA

Date: Monday, March 4, 2024
Time: 6:30 p.m.
Location: Virtual Meeting

Live streaming video is available on <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/live-stream> or at the town's YouTube channel at <https://www.youtube.com/user/TownofOakvilleTV>. Information regarding written submissions and requests to delegate can be found at <https://www.oakville.ca/town-hall/mayor-council-administration/agendas-meetings/delegations-presentations>.

	Pages
1. Regrets	
2. Declarations of Pecuniary Interest	
3. Committee of the Whole	
4. Consent Items(s)	
4.1 Notice of intention to designate – 2366 Carrington Place – March 4, 2024	6 - 40
Recommendation: That a notice of intention to designate be issued under section 29, Part IV of the <i>Ontario Heritage Act</i> for the Daymond House at 2366 Carrington Place.	
4.2 Notice of intention to designate – 149 Dunn Street – March 4, 2024	41 - 84
Recommendation: That a notice of intention to designate be issued under section 29, Part IV of the <i>Ontario Heritage Act</i> for the Cedar Lodge at 149 Dunn Street.	

- 4.3 Notice of intention to designate – 2038 Lakeshore Road East – March 4, 2024** 85 - 128

Recommendation:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the MacKendrick House at 2038 Lakeshore Road East.

- 4.4 Notice of intention to designate – 115 Morrison Road – March 4, 2024** 129 - 163

Recommendation:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the Graham House at 115 Morrison Road.

- 4.5 Recommendation Report, Draft Plan of Condominium, Biddington Homes Lakeshore Inc. – 95 Brookfield Road, File No.: 24CDM-23007/1716** 164 - 175

Recommendation:

That the Director of Planning Services be authorized to grant draft plan approval to the Draft Plan of Condominium (24CDM-23007/1716) submitted by Biddington Homes Lakeshore Inc., and prepared by J.H. Gelbloom Surveying Ltd., dated February 12, 2024, subject to the conditions contained in Appendix 'A' of the Planning Services report dated February 20, 2024.

5. Confidential Consent Item(s)

There are no Confidential Consent Items listed for this agenda.

6. Public Hearing Item(s)

- 6.1 **Public Meeting & Recommendation Report, Draft Plan of Subdivision and Zoning By-law Amendment, MacDonald Rose Inc., 358 Reynolds Street - File Nos. 24T-23003/1613 and Z.1613.65** 176 - 235

Recommendation:

1. That the Draft Plan of Subdivision and Zoning By-law Amendment applications by MacDonald Rose Inc. for 358 Reynolds Street (File Nos. 24T-23003/1613 and Z.1613.65) be refused as proposed;
2. That if the application is appealed to the Ontario Land Tribunal, town staff be authorized to negotiate and finalize a settlement of the appeal, if possible addressing the concerns outlined in this report affecting zoning regulations and development standards to the satisfaction of the Commissioner of Community Development and Town Solicitor or designates; and
3. That the notice of Council's decision reflect that Council has fully considered all of the written and oral submissions relating to these matters and that those comments have been appropriately addressed.

- 6.2 **Statutory Public Meeting – Town-initiated Official Plan and Zoning By-law Amendments – Four Dwelling Units Per Property and Sheridan College Housing Area (File No. 42.15.62 and 42.15.63)** 236 - 545

Recommendation:

1. That comments from the public with respect to the proposed town-initiated Official Plan Amendments and Zoning By-law Amendments (File No. 42.15.62 and 42.15.63), be received.
2. That staff considers such comments as may be provided by Council and the public.

*7. Discussion Item(s)

- *7.1 **Notice of Intention to Demolish – 530 Carson Lane** 546 - 585

Recommendation:

1. That the property at 530 Carson Lane be removed from the Oakville Register of Properties of Cultural Heritage Value or Interest; and,
2. That, prior to demolition, the property owners allow for the salvage of materials from the house.

8. Confidential Discussion Item(s)

There are no Confidential Discussion Items listed for this agenda.

***9. Advisory Committee Minutes**

***9.1 Heritage Oakville Advisory Committee Minutes February 27, 2024**

586 - 589

Recommendation:

That the following recommendation pertaining to Item 4.1 of the Heritage Oakville Advisory Committee minutes from its meeting on February 27, 2024 be approved and the remainder of the minutes be received:

4.1 Heritage permit application HP005/24-42.20R 27 Reynolds Street – construction of a new second storey rear addition and ground floor staircase

1. That Heritage Permit Application HP005/24-42.20R for the construction of a new second storey rear addition with ground floor staircase at 27 Reynolds Street, as attached in Appendix B to the report dated February 13, 2024 from Planning Services, be approved subject to the following:
 - a. That final details on the windows, doors, trim, cladding materials and paint colours be submitted to Heritage Planning staff for final approval;
2. That this heritage permit expire two years from the date of final approval by Council.

10. Rise and Report to Council

11. New Business

(Emergency, Congratulatory or Condolence)

***12. Consideration and Reading of By-laws**

Item 12.1 - By-law 2024-005, as revised February 29, 2024.

That the following by-law(s) be passed:

***12.1 By-law 2024-005, as revised**

590 - 595

Memorandum from Planning Services February 29, 2024

A by-law to designate the Miller House at 361 Macdonald Road as a property of cultural heritage value or interest, as revised.

12.2 By-law 2024-035

596 - 597

A by-law to declare that certain land is not subject to part lot control (Blocks 2, 8, 9, 10 and 11, Plan 20M-1258 – Martillac Estates Inc.).

12.3 By-law 2024-036 598 - 599

A by-law to declare that certain land is not subject to part lot control (Blocks 149 to 161, 166, 167, 173, 174, 181, Plan 20M-1255 – Graydon Banning Ltd.).

12.4 By-law 2024-043 600 - 600

A by-law to confirm the proceedings of a meeting of Council.

13. Adjournment

REPORT

Planning and Development Council

Meeting Date: March 4, 2024

FROM: Planning Services Department

DATE: February 20, 2024

SUBJECT: Notice of intention to designate – 2366 Carrington Place – March 4, 2024

LOCATION: 2366 Carrington Place

WARD: Ward 3

Page 1

RECOMMENDATION:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the Daymond House at 2366 Carrington Place.

KEY FACTS:

The following are key points for consideration with respect to this report:

- As part of the Heritage Designation Project 2023-2025, Heritage Planning staff has evaluated the subject property and consider it worthy of conservation and heritage designation.
- Staff is recommending that the subject property be designated under section 29, Part IV of the *Ontario Heritage Act* and that a notice of intention to designate be issued by Council for the property.

BACKGROUND:

In October 2022, Ontario's Ministry of Municipal Affairs and Housing introduced Bill 23, *More Homes Built Faster Act, 2022*. The bill included several amendments to the *Ontario Heritage Act*, including a two-year time limit for listed properties to remain on municipal heritage registers. In early 2023, Policy Planning & Heritage initiated the Heritage Designation Project 2023-2025 to designate approximately 80 listed properties prior to their required removal from Oakville's Heritage Register on January 1, 2025. The subject property of this report was included as a priority within that list.

A location map for the subject property is attached as Appendix A. A Cultural Heritage Evaluation Report (CHER) has been prepared by staff for the property and

is attached as Appendix B. A draft Notice of Intention to Designate has also been prepared by staff and is attached as Appendix C.

COMMENT/OPTIONS:

The Province of Ontario has made a clear commitment to the conservation of significant cultural heritage resources through its legislation and policies, including the *Ontario Heritage Act* (2021), *Planning Act* (1990, as amended) *Provincial Policy Statement* (2020), the Growth Plan for the Greater Golden Horseshoe (2019).

The *PPS* (2020) and Growth Plan (2019) function together with the *Ontario Heritage Act* (OHA) by the shared principle that cultural heritage resources shall be conserved. The OHA sets out the procedures for evaluating and protecting heritage resources at the provincial and municipal levels. This includes the use of Ontario Regulation 9/06 as the means for determining if a property has cultural heritage value.

This commitment to heritage conservation continues at the regional and municipal level through supportive objectives and directions outlined in the Region of Halton Official Plan and the town's Livable Oakville Plan and North Oakville East and West Secondary Plans.

In accordance with the OHA, a property must meet at least two criteria of Ontario Regulation 9/06. The property at 2366 Carrington Place has been evaluated using these criteria. Staff considers the property to meet at least two or more of these criteria, and it therefore merits designation under section 29, Part IV of the OHA. The attached Cultural Heritage Evaluation Report provides more details on the cultural heritage value of the property.

Also attached is a draft Notice of Intention to Designate. This provides a clear outline of the property's cultural heritage value and the heritage attributes recommended for protection and conservation through a future designation by-law.

A separate staff report recommending designation of the property at 2366 Carrington Place was presented to the Heritage Oakville Advisory Committee on January 30, 2024. The Committee supported the designation of the property.

CONSIDERATIONS:

(A) PUBLIC

If notice is to be issued for the designation of the property, notice will be given in accordance with the town's *Ontario Heritage Act* Alternative Notice Policy.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The Legal department will be consulted on the designation as necessary.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing carbon footprints. The retention and conservation of this building through heritage designation contributes to the town's initiatives to reduce carbon footprints.

APPENDICES:

Appendix A – Location Map

Appendix B – Cultural Heritage Evaluation Report

Appendix C – Draft Notice of Intention to Designate

Prepared by:

Carolyn Van Sligtenhorst, CAHP, MCIP, RPP
Supervisor, Heritage Conservation

Recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning Services

APPENDIX A



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Meters

2366 Carrington Place

LOCATION



SUBJECT LANDS

Community Development Commission

Cultural Heritage Evaluation Report
Daymond House
2366 Carrington Place Oakville, Ontario



North elevation of the property, 2009. Source: *Town of Oakville Planning Services Staff*

Town of Oakville
Heritage Planning
Authors: Kristen McLaughlin, Carolyn Van Sligtenhorst
November 2023

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The home at 2366 Carrington Place is located on the south side of Carrington Place, south of Lakeshore Road East and between Stones Lane and Ryland Terrace. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. The property was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* for its potential cultural heritage value for its "potential cultural heritage value for its c.1975 Modernist style house."

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets five of the criteria of Regulation 9/06. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

2. Subject Property

The property at 2366 Carrington Place is located on the south side of Carrington Place, south of Lakeshore Road East and between Stones Lane and Ryland Terrace, on Lot 35 of Plan 1522, along the shores of Lake Ontario. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. It was historically a part of the Fourth Concession South of Dundas Street, also known as the Broken Front, Lot 2. The house was originally built for Stewart Daymond by the Modern architect Joseph Storey in 1974.¹



Location map: Subject property is outlined blue. October 2023. Source: Town of Oakville GIS

Legal description: LOT 36, PLAN 1522; TOWN OF OAKVILLE

¹ Town of Oakville planning files; *The Globe and Mail*, "Modernism on the shores of Oakville", October 9, 2009, pg. G4

3. Background Research

Design and Physical Value

Modern residential architecture in Oakville is not common, especially homes designed by a well-known Ontario architect. The house at 2366 Carrington Place is rare in Oakville as an example of a house designed in the Modern style.

Modern Architecture (1945-1980)

Modern architecture is an umbrella term for an architectural movement after the Second World War based on new and innovative technologies of construction, particularly: the use of glass, steel, and reinforced concrete; the idea that form should follow function; an embrace of minimalism; and rejection of ornament.² It has its origins in architectural movements from the early 1900s, such as the Prairie architectural style, most popularized by Frank Lloyd Wright's architectural designs, which were an attempt to avoid all elements of earlier European styles and focus on a more horizontal form.³ The other earlier influence was Bauhaus, or International architecture, which began in Germany in the interwar period. It focused heavily on function over form and asymmetrical facades, a structural skeleton with non-structural "skin", stripping away of ornamentation, and a focus on functionalism and efficiency.⁴

Some features of Modern architecture during this time period are: a long, linear roof with a low horizontal pitch, which often continues past the wall to create covers for carports, decks, or patios; a variety of textural materials and finishes, such as brick and stone with wood or metal siding; large expanses of transparent glass often juxtaposed against solid wall surfaces; entrances that are often flanked with a large window to one side and transom window above; and an overall asymmetrical design.⁵

Modern Architecture in Ontario

The minimalist aesthetic of the Modern movement was prevalent in Canada from the 1950s until the 1970s.⁶ The Modern architecture movement in Canada was popularized through the Canada Mortgage and Housing Corporation (CMHC), which was established in 1946 by the Canadian government to address Canada's postwar housing shortage.⁷ The CMHC launched the Canadian Small House Competition after the Second World War to look for quality plans available to low and middle-income families with an attainable price range.⁸

CMHC set the price for each design at \$6,000 with a client who would want the "maximum of living space for their money" and was interested in a contemporary design that provided utility and convenience.⁹ This was the beginning of the Small House Design Scheme, which popularized Modern residential architecture. Because of this, a shift from building basic, standard bungalows to experimentation and innovation in design and

² Royal Institute of British Architects, "Modernism in architecture", <https://www.architecture.com/explore-architecture/modernism>

³ City of Ottawa, *Briarcliffe Heritage Conservation District Study and Plan*, 2012, pg. 24
https://documents.ottawa.ca/sites/documents/files/briarcliffe_hcd_en.pdf

⁴ *Ibid.*, pg. 25

⁵ Blumenson, John, *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*. Toronto: Fitzhenry & Whiteside, 1990, pg. 224-225

⁶ City of Ottawa, *Briarcliffe Heritage Conservation District Study and Plan*, 2012, pg. 98
https://documents.ottawa.ca/sites/documents/files/briarcliffe_hcd_en.pdf

⁷ *Ibid.*, pg. 27

⁸ *Ibid.*

⁹ Central Housing and Mortgage Corporation, "67 Homes for Canadians", 1947

construction began.¹⁰ There were changes in the uses of space in houses; for example, the basement began to be incorporated as a living space, people expected their houses to be designed for appliances, and split-level designs grew in popularity.¹¹

This Modern residential home style is rare in Oakville and makes this building unique. Not only because it is one of the few in the Town, but because of its well-crafted design. It has a flat roof and asymmetrical façade. Its cladding is a mixture of materials: glass; warm and natural unstained vertical wood; and stone, with small pieces cut into horizontal shapes to accentuate the horizontal form of the house. The north elevation (front façade) also has a low stone knee wall beside the path, made of the same stone material as the house. The garage, with its door facing east, is uniquely set at the front of the home, with a walking path that goes around the garage to the front door half-hidden behind the garage structure. The use of horizontal lines is obvious in the front yard, with the hedge, the low stone wall, and the roofline all creating various levels of horizontal lines.

The front door is made of the same wood that clads portions of the house and has glass windows along the side and above the door. On the driveway side of the house, a stone chimney with three stacks on the top is visible.



North elevation (front façade) of the house, showing the door half-hidden behind the garage structure, and the different cladding materials. Source: *Phinney Real Estate/Oakville, Milton and District Real Estate Board*

¹⁰ City of Ottawa, *Briarcliffe Heritage Conservation District Study and Plan*, 2012, pg. 98
https://documents.ottawa.ca/sites/documents/files/briarcliffe_hcd_en.pdf

¹¹ *Ibid.*, pg. 29



Front façade showing the different horizontal lines used in the design, along with the greenery that balances the built materials. *Source: Phinney Real Estate/Oakville, Milton and District Real Estate Board*



View of the path leading to the front door from several steps below grade, where the garage and driveway are. *Source: Phinney Real Estate/Oakville, Milton and District Real Estate Board*



View of the garage, driveway, and chimney, with steps to the front door path. *Source: Google Street View*

The house is built into the hillside, as it is situated on the shoreline of Lake Ontario. This position was integral to the home's layout, and the views of Lake Ontario are important in all aspects of the house's interior and exterior design. Below, we can see that what appears to be a single storey building from the street is actually two from the backyard.

The cladding on the front of the house follows around to the back, with the bottom storey clad in stone and the upper storey in vertical wood. The rear elevation faces Lake Ontario, and so large ceiling-to-floor windows line several of the walls for views. This is a common Modern architectural feature, to combine large transparent glass windows with other materials such as concrete, wood, and stone. This allows for an indoor-outdoor feel fundamental to Modern design. An iron spiral staircase, a unique feature, connects the upper storey deck to the ground floor. Once again, we can see how the house was designed with careful thought for its surrounding landscape, as the horizontal lines of the house fit seamlessly into the shoreline.



View of the southern elevation of the house. *Source: Phinney Real Estate/Oakville, Milton and District Real Estate Board*



View of the southern elevation along the lakeshore. *Source: Phinney Real Estate/Oakville, Milton and District Real Estate Board*

The craftsmanship of the house can also be seen in photographs of the interior space. Like other Modern buildings, the subject property was designed for indoor-outdoor living, and the large glass walls are juxtaposed with the warm wood used throughout. Many of the exterior materials—stone, warm wood, and glass—are also utilized inside to provide a seamless experience. The lack of ornamentation is another element of Modern architecture.



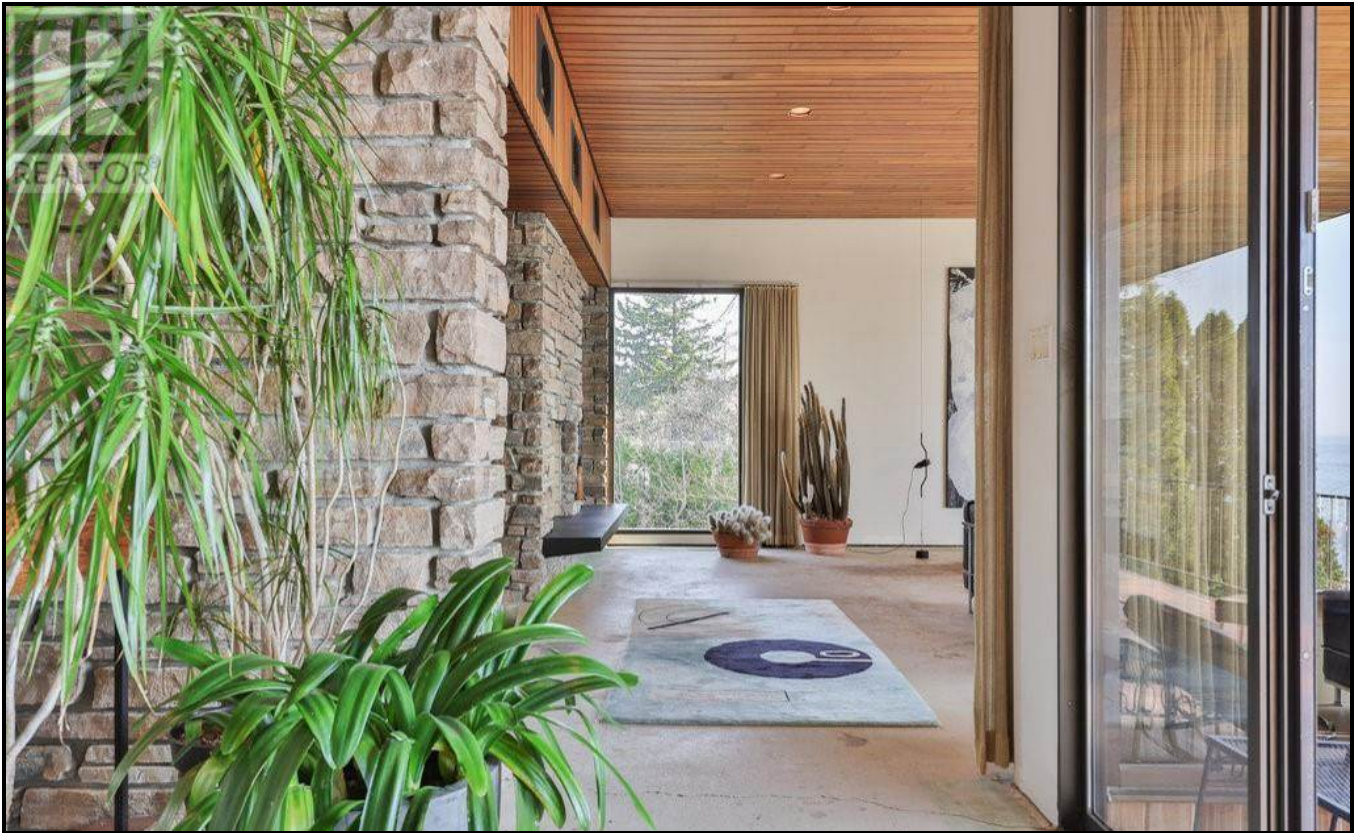
Foyer of the interior, with floating stairs, tile floors, and warm vertical wood and stone mixed with large transparent glass walls. *Source: Phinney Real Estate/Oakville, Milton and District Real Estate Board*



A view of the upper balcony from inside, showcasing the wooden ceiling and the floor-to-ceiling glass walls. The view of Lake Ontario influenced the design of the house. *Source: Phinney Real Estate/Oakville, Milton and District Real Estate Board*



Study of the house, with stone and wood cladding all mixed with large windows to invite in sunlight and outdoor foliage. Source: *Phinney Real Estate/Oakville, Milton and District Real Estate Board*



Interior view. Source: *Phinney Real Estate/Oakville, Milton and District Real Estate Board*



The glass window wall in the living room extends past the curtains and shows off the Lake Ontario view. Source: *Phinney Real Estate/Oakville, Milton and District Real Estate Board*



Wider view of the living room. Source: *Phinney Real Estate/Oakville, Milton and District Real Estate Board*



Dining room showing the glass wall and warm wooden ceiling, balanced by the stone. *Source: Phinney Real Estate/Oakville, Milton and District Real Estate Board*



Modern house design also utilized open floor plans, as seen above in a photo of the dining room and kitchen, with more of the house to the right in an open design. *Source: Phinney Real Estate/Oakville, Milton and District Real Estate Board*



Kitchen. Source: *Phinney Real Estate/Oakville, Milton and District Real Estate Board*



View of the lake from the upper balcony. Note again the use of horizontal lines in designing the house, from the placement of the railing, to the hedge, to the lake horizon line. Source: *Phinney Real Estate/Oakville, Milton and District Real Estate Board*



Ground floor den with long glass window wall. Source: *Phinney Real Estate/Oakville, Milton and District Real Estate Board*

Not only is it a well-crafted house, but it was designed by the internationally respected Ontario architect Joseph Storey, who was friends with the homeowner, Stewart Daymond. Joseph Storey's architectural firm, based in Chatham, designed over 1,000 Modern buildings in Ontario over 30 years.¹²

Daymond gave Storey free reign of the house design in 1974, if the views of Lake Ontario were worked into the design, and his love of listening to jazz music on vinyl records was not inhibited. This led to the open floor plan and the innovative floor design that would limit the shaking of a floor, which in turn would make the needle on a record player jump: the floors are long, pre-stressed, prefabricated concrete units that were crane-lifted into the house, and the use of a steel frame solidified the house and keeps bouncing to a minimum.¹³ This is an example of the technological innovation used in the design of the house.

Recognition of Modern buildings as heritage resources is an emerging theme in municipal heritage conservation policy. The house displays a high degree of craftsmanship/artistic merit, designed by the skilled Modern architect Joseph Storey. As seen in the photographs of the exterior and interior, the house was designed with close attention paid to the landscape of the lot, particularly Lake Ontario and its views. Materials used on the exterior of the house, such as vertical wooden planks, stone, and glass, translate into the interior space as well, creating a seamless flow. The house possesses many recognizable Modern architectural features: a horizontal roof; asymmetrical façade; mixture of textures and materials for cladding and flooring/ceiling; lack of ornamentation; open floor plan; use of glass window walls; an indoor-outdoor living experience; and the strong use of lines. It is a rare mid-century Modern residential home in Oakville.

¹² *The Globe and Mail*, "An architect named Joe", June 16, 2006, pg. G13

¹³ *The Globe and Mail*, "Modernism on shoes of Oakville", October 9, 2009, pg. G4; *BlogTO*, "This 8.5 million home in Oakville is last one built by famous Canadian architect", <https://www.blogto.com/real-estate-toronto/2023/10/2366-carrington-place-oakville/>

Historical and Associative Value

The home at 2366 Carrington Place is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and a strip of land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.¹⁴ The subject property is in the territory of Treaty No. 14.¹⁵

The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding “about 20,000” acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.¹⁶



1877 map of Trafalgar Township, showing Oakville and the historic lot the subject house sits on, at this point owned by H.J. Baker. A house and orchard/gardens are visible on the map. The Baker house was demolished in the 1990s. Source: Town of Oakville Planning files

Below is a summary of the owners of the property from the Crown patent to the current owners. Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property’s building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period. The owner of the subject house was the owner since its build date in 1974 until his passing in 2022.

¹⁴ Debwevin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

¹⁵ 1806 Wilmot Survey; Mississaugas of the Credit GIS Treaty Map

¹⁶ Debwevin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	Lot 2 (46 acres)	1806-1839
Timothy Cooper	46 acres (all)	1839-1845
William Baker	46 acres (all)	1845-1864
Henry John Baker	46 acres (all)	1864-1902
William C. Baker	46 acres (all)	1902-1905
Isaac Cort Wilson	46 acres (all)	1905-1906
James Ryrie	24 acres	1906
William Stone and wife Ellen	24 acres	1906-1929
William Ridout Wadsworth	21 56/100 acres	1929
Lillian May Beatty, wife of Charles William Beatty	21 56/100 acres	1929-1967
Charles Gooderham Beatty	21.56 acres	1967-1969
Wetaska Developments	21.56 acres	1969-1971
A.B. Cairns	21.56 acres	1971-1973
Stewart Daymond	Lot 36, Plan 1522	1973-2022

The Crown sold Lot 2, consisting of 46 acres, to Timothy Cooper in 1839.¹⁷ William Baker owned the lot by 1845¹⁸ and was the first long-term owner of the property.



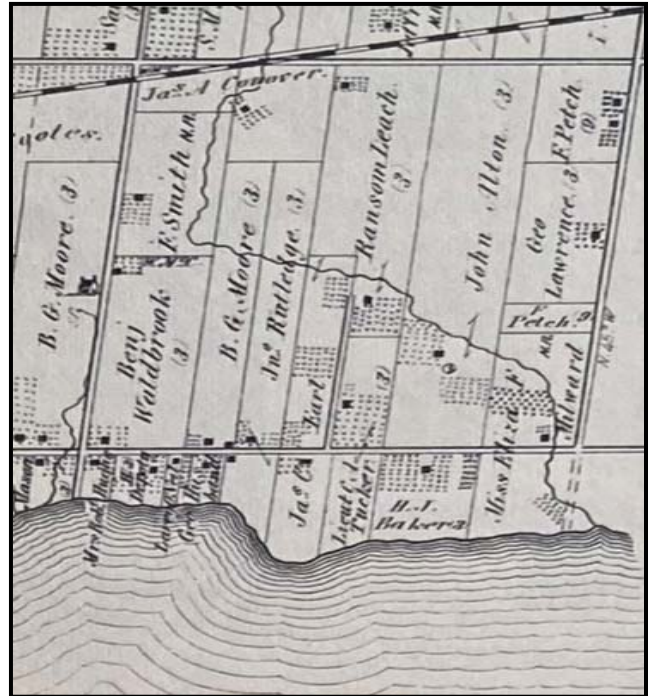
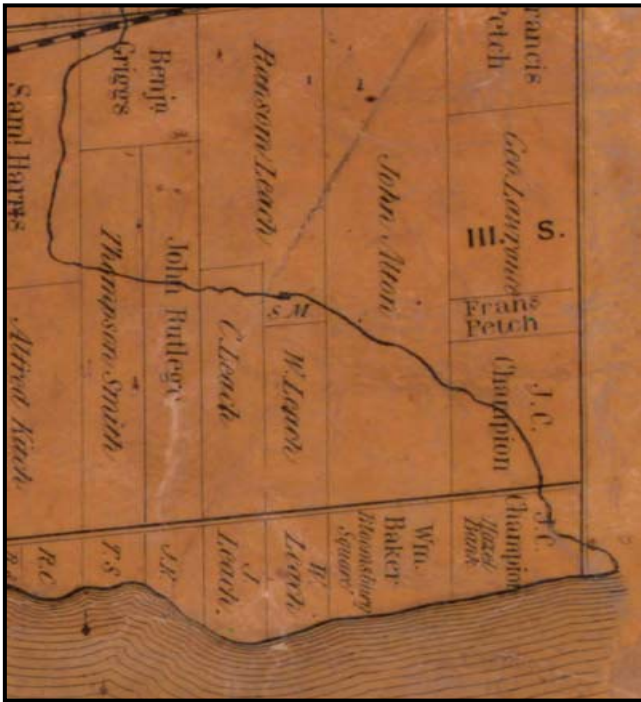
Family photo of William and Phoebe Baker (centre, yellow circle), with their children and spouses. Their son, Henry, who took over the farm after William's passing is circled in orange. Source: Ancestry.ca, upload by user Ian Wilson in the Wilson family tree

The Bakers first lived in Oakville when they emigrated from the UK, at 55 Navy Street (now demolished).¹⁹ William was first a butcher, but upon buying Lot 2 in 1845 became a fruit farmer.²⁰ The plot was the Baker family

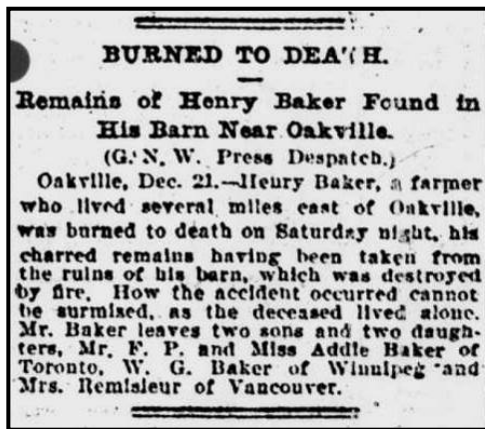
¹⁷ LRO Abstract, Lot 2, Patent, dating November 2, 1839, between the Crown and Timothy Cooper [sp].

¹⁸ LRO Instrument 233, Bill of Sale, dated August 13, 1845, between George Auldjo [sp] and William Baker (previously he had granted to Auldjo, so this is unclear)

farm, and William is listed in the 1858 Tremaine Survey on the plot, with his son Henry John listed in the 1877 map as the owner, after his father's death in 1864.²¹ Their farmhouse stood on historic Lot 2 until it was demolished around 1998.²²



The 1858 Tremaine map on the left showing William Baker as the owner of Lot 2, and 1877 map, showing his son, H.J. (Henry John) Baker as the owner. At that time an orchard was drawn on the lot, as well as a house. Source: *Town of Oakville Planning files*



Henry John owned the lot until his own passing in 1902, after dying in a fire in his barn. He lived alone at the time and was 66 years old.²³ His son, William Charles Baker, promptly sold the land to Isaac Cort Wilson.²⁴

Newspaper article discussing the fire. It incorrectly notes W.C. Baker as W.G. Source: *The Globe and Mail*

The next long-term owners of approximately 24 acres of Lot 2 were William and Ellen Stone. They were listed as living on the land in the 1921 Census of Canada—William as a farmer—and that they lived in a brick house with

¹⁹ Oakville Historical Society “Photo Record: 55 Navy Street – House of William Baker”, <https://oakvillehistory.pastperfectonline.com/photo/9B1881D4-B22A-46A8-8C15-815140423161>

²⁰ Ibid.

²¹ LRO Instrument 1158 II, being a Probate of Will, dated April 28, 1964, between William Baker and Henry John Baker and wife

²² Town of Oakville planning files; Oakville Historical Society, “Plaqued Houses and Buildings – 76 Chancery Lane”, <http://ohsplaqued.online/7F50E8BB-1039-487C-8449-321418362559.htm>

²³ *The Globe*, “Burned to Death”, December 22, 1902

²⁴ LRO Instrument 8626, being a Release, dated May 15, 1905, between William C. Baker and Isaac Cort Wilson.

seven rooms.²⁵ They lived on the property for 23 years. After Ellen died in 1926, William sold their land in 1929.²⁶

Lillian Beatty and her husband, Charles Beatty, purchased the Stone acres in 1929, when she was 55 and her husband was 58.²⁷ Lillian Beatty was the granddaughter of William Gooderham, the co-founder of the Gooderham and Worts Distillery in Toronto, now the well-known Distillery District and a National Historic Site of Canada.²⁸ Lillian married Charles Beatty, a lawyer, in 1896 when she was 22 years old.²⁹ Despite purchasing part of Lot 2 outside of Oakville, Charles continued to be listed as a resident in Toronto through the 1930s, 1940s, and 1950s. It is possible they rented the land out to farmers or used the land as a secondary or summer home. Charles passed away in 1958, and Lillian owned the land until her death in 1967.³⁰ It then went to her son, Clifford Gooderham Beatty, who sold it to Wetaska Developments in 1969 and A.B. Cairns in 1971. They planned a new subdivision with Clifford Gooderham Beatty listed as a third party.³¹



Aerial photo from 1959 showing approximate location of house today. Source: McMaster

²⁵ Library and Archives Canada, "1921 Census of Canada", William Stone

²⁶ Ancestry.ca, "Ellen Maria Bungay", <https://www.ancestry.ca/family-tree/person/tree/8255255/person/6047298156/facts>; LRO Instrument 16597H, being a Grant, dated January 18, 1929, between William Stone, widower, and William Ridout Wadsworth, for 21.56 acres

²⁷ LRO Instrument 16723, being a Grant, dated January 21, 1929, between William Ridout Wadsworth and wife and Lillian May Beatty and Charles William Beatty; Ancestry.ca, "Lillian May Gooderham Beatty", <https://www.ancestry.ca/family-tree/person/tree/29729844/person/12285829292/story>; Ancestry.ca, "Charles William Beatty", <https://www.ancestry.ca/family-tree/person/tree/29729844/person/12517379703/story>

²⁸ Canadian Encyclopedia, "William Gooderham", <https://www.thecanadianencyclopedia.ca/en/article/william-gooderham>

²⁹ Ancestry.ca, "Ontario, Canada, Marriages, 1826-1939 for Lillian May Gooderham, York - 1896"

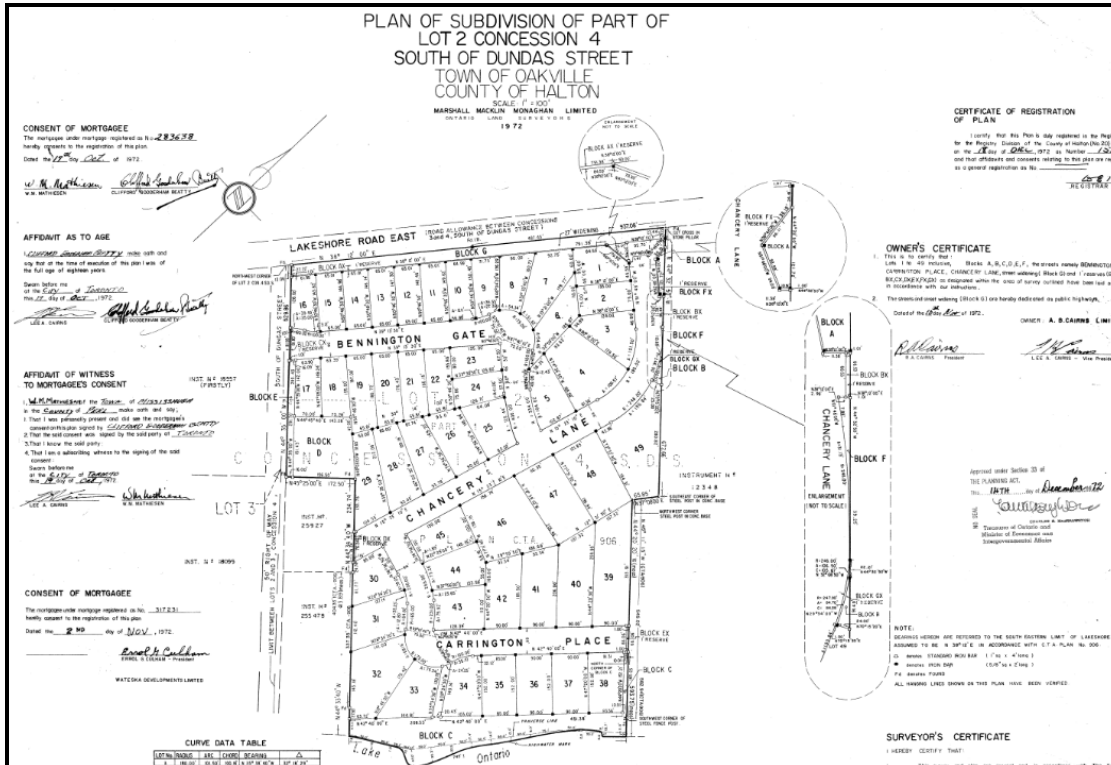
³⁰ "Lillian May Gooderham Beatty", <https://www.ancestry.ca/family-tree/person/tree/29729844/person/12285829292/story>

³¹ LRO Instrument 259116, being a Grant, dated December 28, 1968, between Executors of Lillian Beatty's Estate, and Clifford Gooderham Beatty; LRO Instrument 283637, being a Grant, dated August 26, 1969, between Clifford Gooderham Beatty and wife and Wateska Developments Limited; LRO Instrument 317230, being a Grant, dated June 30, 1971, between Wateska Developments Limited and A.B. Cairns Limited; LRO Instrument 522, being a Plan, dated November 15, 1972, A.B. Cairns Limited.



A 1962 photo of the area south of Lakeshore Road East where the subject property currently sits in a subdivision. The house in the center still stands at 61 Chancery Lane. Source: McMaster

Lot 36 in the new subdivision, registered in 1972, was purchased by Stewart Daymond that same year.³² He commissioned his longtime friend and renowned architect, Joseph Storey, to design the house.



Subdivision map of Plan 1522, registered by A.B. Cairns in 1973. Source: OnLand

³² LRO Instrument 369270, being a Grant, dated June 20, 1973, between A.B. Cairns Limited and Stewart Francis Daymond.



The new Lot 36, part of Plan 1522, and where the subject house now sits. *Source: OnLand*

Joseph Storey (1923-1975) was an internationally respected Modern architect based out of Chatham-Kent in Ontario, whose architectural firm designed over 1,000 structures over 30 years until his untimely death in 1975, one year after designing 2366 Carrington Place.³³ He was singularly responsible for the introduction of a progressive Modernist style in commercial, ecclesiastical, and residential design in southwestern Ontario.³⁴

He designed hundreds of unique homes, stores, offices, and public buildings, and many of his buildings from the 1950s and 1960s were so forward-thinking they still stand out today.³⁵ He was also a popular member of Chatham city council and dedicated to the profession of architecture being tied with civic leadership and public service.

Joseph Storey was born in Windsor in 1923 and grew up in Chatham. He graduated in 1946 from the University of Toronto School of Architecture. While attending school, he collaborated with Gordon R. Burniston and submitted a design for a CMHC Canadian Small House design. He was one of five regional winners from across Canada and the Jury commended his design, noting "the exterior design was considered to be of the utmost simplicity and of a very fine appearance" and was thought by many of the judges as "amongst the best submitted."³⁶



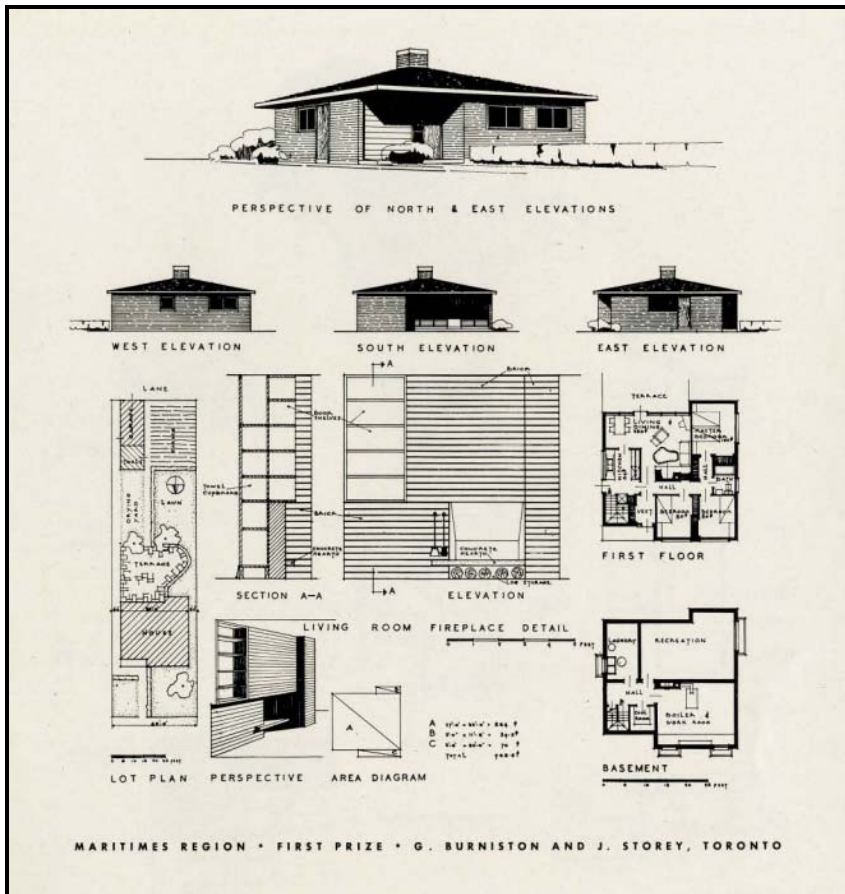
An undated photo of Joseph Storey. *Source: AppleBman, Wikipedia, 2007*

³³ *The Globe and Mail*, "An architect named Joe", June 6, 2006, pg. G13

³⁴ Biographical Dictionary of Architects in Canada, "Storey, Joseph William", <http://dictionaryofarchitectsincanada.org/node/2428>

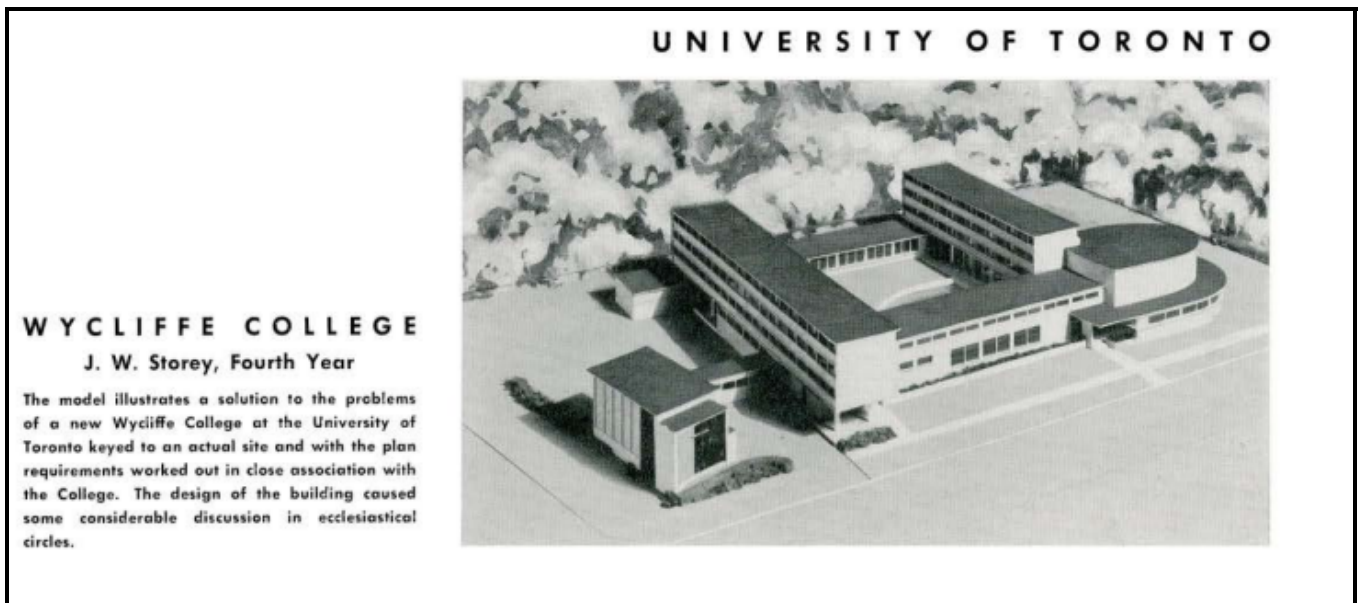
³⁵ Wikipedia, "Joseph Storey", https://en.wikipedia.org/wiki/Joseph_Storey

³⁶ *Royal Architectural Institute of Canada Journal*, Volume 24, January 1947, pg. 19



Storey's award-winning design in the CMHC Small House Design 1947 competition. Source: *Dalhousie University Archives, Royal Architectural Institute of Canada Magazine*

He was also highlighted in a later edition of the *Royal Architectural Institute of Canada (RAIC) Journal* for his design of a future Wycliffe College at the University of Toronto.³⁷



Storey's design that was also featured in *RAIC Journal* in 1947. Source: *Dalhousie Univer, may edition of RAIC*

³⁷ *Royal Architectural Institute of Canada Journal*, Volume 24, May 1947, pg. 155

After graduating university, Storey worked for one year in Toronto in the office of John Land Architect. After winning the CMHC housing plan competition, he returned to Chatham and at the age of 24 established his practice of Joseph W. Storey, Architect, in 1947.³⁸ The firm's reputation was quickly established through Storey's translation of functional clarity, simplicity, and elegant forms of modernism to the urban form of smaller locales such as Chatham. Many buildings in Chatham are Storey designs, particularly the Ursuline Convent, Ursuline Motherhouse Chapel and Ursuline College (1958-1962); the head office of Union Gas (1965); the Federal Post Office Building (1955); Kent County Municipal Building (1967); and the Chatham Civic Centre (1975).³⁹ He also designed residential homes. Other examples of his work can be found in Windsor, London, Sarnia, and other locations in southwestern Ontario. The subject property of 2366 Carrington Place was his last residential design and one of his overall last designs.

Storey brought a level of design and technical excellence to his landmark buildings, schools, churches, industrial buildings, and his favourite challenge, the single-family home.⁴⁰ Although Storey practiced architecture out of the Toronto spotlight, his work was innovative and progressive.⁴¹ His design for the Federal Post Office building (1955) featured the first use of the curtain wall in Ontario.⁴² One of his more interesting unbuilt projects was his design to convert four abandoned sugar beet silos on industrial lands into apartments. The value of recycling industrial heritage is better recognized today, but perhaps underappreciated at the time of Storey's designs. The silos were demolished after his death.⁴³



Ursuline College Chapel, no date. Source: *AppleBman*, *Wikimedia*, 2007

The Ursuline College Chapel, otherwise known as The Pines, was featured in both the *RAIC Journal* and *Progressive Architecture Magazine*. The building was sensitively sited with the 19th century convent structures

³⁸ Ontario Association of Architects, "STOREY, Joseph William, 1923-1975", https://oaa.on.ca/Assets/Common/Shared_Documents/Awards/Honour%20Roll/STOREY,%20Joseph%20William.pdf

³⁹ Wikipedia, "Joseph Storey", https://en.wikipedia.org/wiki/Joseph_Storey

⁴⁰ Ibid.

⁴¹ Ibid.

⁴² *The Globe and Mail*, "An architect named Joe", June 6, 2006, pg. G13

⁴³ Wikipedia, "Joseph Storey", https://en.wikipedia.org/wiki/Joseph_Storey

by making a series of connecting cloisters formed by both buildings and covered walkways. This project has been identified by the Ontario branch of the international group for the Documentation and Conservation of the Modern Movement (Docomomo), to be included on a list of 25 examples of significant Modern architecture in Ontario.⁴⁴

According to his daughter, architect Kim Storey, his favourite buildings to design were the single-family houses. It was where architects could really show how they felt about architecture, where they “talked about space, the relationship between interiors and exteriors, and even though these were relatively small projects . . . they’re all very, very important in determining how an architect practices.”⁴⁵

Some of Joseph Storey’s well-known architectural themes were extending planes by borrowing space from other areas and the use of the same materials inside and out, demonstrating his mastery of Modern principles.⁴⁶ These ideas are evident in his design of 2366 Carrington Place.

Storey and property owner Stewart Daymond had been neighbours in Chatham when Daymond’s aluminum and plastics business moved him to an Oakville rental in the late 1960s. He began looking for a lot with the thought of hiring Storey to design a home.⁴⁷ Joseph Storey had already designed a house for Daymond’s parents, as well as an addition on Daymond’s previous home.⁴⁸ The house at 2366 Carrington Place is a rare Storey design; it is the largest home he ever designed, the last residence he designed, and the only one in the Greater Toronto Area.⁴⁹

Joseph Storey died suddenly driving from his cottage to work in 1975, during what some called the height of his architectural work.⁵⁰

⁴⁴ Ontario Association of Architects, “STOREY, Joseph William, 1923-1975”, https://oaa.on.ca/Assets/Common/Shared_Documents/Awards/Honour%20Roll/STOREY,%20Joseph%20William.pdf

⁴⁵ *The Globe and Mail*, “An architect named Joe”, June 6, 2006, pg. G13

⁴⁶ *Ibid.*

⁴⁷ *The Globe and Mail*, “Modernism on the shores of Oakville”, October 9, 2009, pg. G4

⁴⁸ *Ibid.*

⁴⁹ *Ibid.*

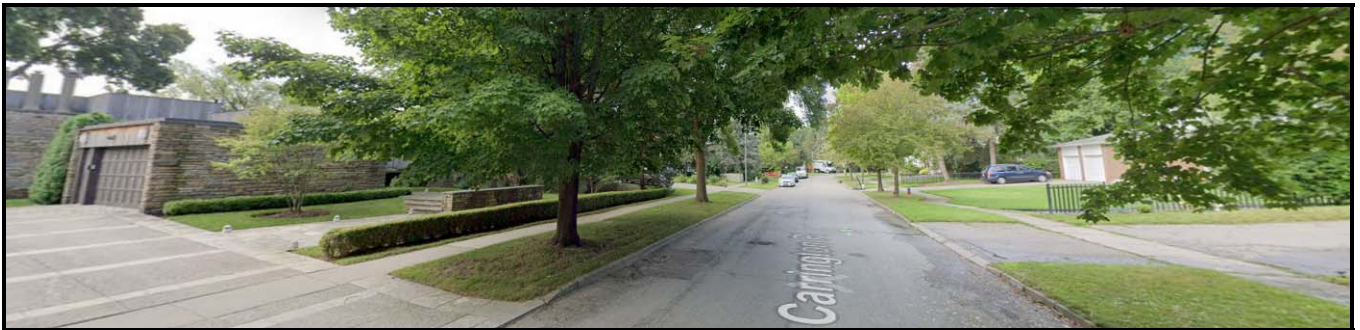
⁵⁰ *Ibid.*

Contextual Value

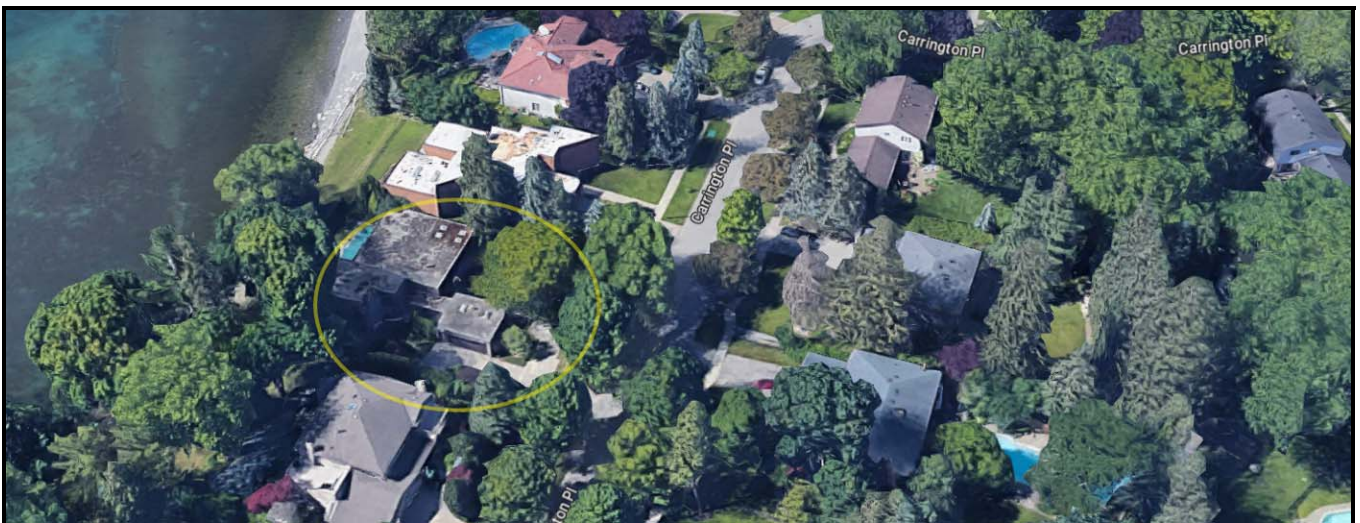
The subject house has contextual value as it is physically, functionally, visually, and historically linked to its surroundings. The house was designed for this piece of land, and utilizes the varying heights, the surrounding landscape, and most importantly, Lake Ontario and its shoreline, in its design. As a house designed in the Modern style, and one of the first lots purchased in the new subdivision, its presence places the neighbourhood in a specific timeframe.



Carrington Place looking east, with subject property on the right. Source: Google Street View



Carrington Place looking west, with subject property on the left. Source: Google Street View



Aerial view of the subject house circled in yellow and its contextual placement in the neighbourhood and beside the lake. Source: Google Street View

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative, or early example of a style, type, expression, material or construction method;	The property is a representative example of Modern residential architecture style and a rare example of its kind in Oakville.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property displays a high degree of craftsmanship or artistic merit, designed by the internationally recognized Modern architect Joseph Storey.	Y
iii. demonstrates a high degree of technical or scientific achievement.	The property demonstrates a high degree of technical achievement, particularly in its technologically advanced concrete floor design.	Y
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;	The property is not directly associated with a theme, event, belief, person, activity, organization, or institution that is significant to a community.	N
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	The house demonstrates and reflects the work of architect, Joseph Storey, who was a significant Modern architect in Ontario and internationally.	Y
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The subject house is not important in defining, maintaining, or supporting the character of an area.	N
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is physically, visually, and historically linked to its surroundings. It was designed for the specific piece of land and utilizes the landscape in its design.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 2366 Carrington Place is located on the south side of Carrington Place, south of Lakeshore Road East. The property contains a 1974 Modern house known as the Daymond House.

Design Value or Physical Value:

The Daymond House is a representative example of Modern residential architecture and is a rare example in Oakville as one of the few from this design and period. It is representative of the style and philosophy of Modern architectural design through many of its built elements such as its: flat roof; asymmetrical façade; use of various cladding materials on the exterior and interior such as glass, stone, and cedar wood; the split-level design; use of large glass window walls for an indoor-outdoor living space; open floor plan; minimal decoration; strong use of horizontal lines; and the integration of the landscape into the design. The house displays a high degree of craftsmanship, designed thoughtfully by internationally renowned architect Joseph Storey, and the house displays thoughtful details about how the house integrates with the views of Lake Ontario and the use of the same materials inside and outside. The house demonstrates a high degree of technical achievement, particularly its use of long, pre-stressed concrete slabs for the floor, reinforced with steel, to create a floor with little vibration as asked for by the homeowner.

Historical Value or Associative Value:

The Daymond House demonstrates and reflects the work of architect Joseph Storey, a significant Modern architect in Ontario whose work has been recognized across Canada and internationally. Storey is thought to be the architect who brought progressive, minimalist, Modern design to southwestern Ontario. His public buildings are recognizable across the southern part of the province, particularly in Chatham-Kent. Joseph Storey's architectural firm designed over 1,000 buildings over its 30 years, many of which are still architecturally significant. The house at 2366 is a rare Storey design; it is the largest home he ever designed, the last residence he designed, and the only one in the Greater Toronto Area.

Contextual Value:

The Daymond House has contextual value because it is physically, functionally, visually, and historically linked to its surroundings. The house was designed for the specific piece of land, and utilizes the varying heights, the surrounding foliage, and Lake Ontario and its shoreline in its design. As a house designed in the Modern style, and one of the first lots purchased in the new subdivision, its presence places the neighbourhood in a specific timeframe.

Description of Heritage Attributes

Key heritage attributes of the property at 2366 Carrington Place that exemplify its cultural heritage value as a representative example of a Modern home, as they relate to the one-storey house with walkout basement, include:

- The footprint, massing and asymmetrical form of the house with flat roof and deep overhangs at the rear on both the first and second storey;
- Exterior and interior horizontally-laid stone cladding;
- Exterior natural, unstained vertical wooden cladding;

- Exterior and interior stained wooden ceiling panelling;
- Metal balcony railings and spiral staircase on the rear elevation;
- Fenestration of all four elevations;
- The presence of large glass window walls for indoor-outdoor experience in the Modern style;
- The presence of a flat wooden front door in the Modern style; and
- The location and siting of the house with its rear wall and views oriented towards Lake Ontario.

6. Conclusion

This property meets five of the criteria of Ontario Regulation 9/06, including historical/associative value and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

7. Sources

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- University of Toronto, Centre for Industrial Relations and Human Resources
- Wikipedia.org

On March 4, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Daymond House
2366 Carrington Place
LOT 36, PLAN 1522; TOWN OF OAKVILLE

Description of Property

The property at 2366 Carrington Place is located on the south side of Carrington Place, south of Lakeshore Road East. The property contains a 1974 Modern house known as the Daymond House.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Daymond House is a representative example of Modern residential architecture and is a rare example in Oakville as one of the few from this design and period. It is representative of the style and philosophy of Modern architectural design through many of its built elements such as its: flat roof; asymmetrical façade; use of various cladding materials on the exterior and interior such as glass, stone, and cedar wood; the split-level design; use of large glass window walls for an indoor-outdoor living space; open floor plan; minimal decoration; strong use of horizontal lines; and the integration of the landscape into the design. The house displays a high degree of craftsmanship, designed thoughtfully by internationally renowned architect Joseph Storey, and the house displays thoughtful details about how the house integrates with the views of Lake Ontario and the use of the same materials inside and outside. The house demonstrates a high degree of technical achievement, particularly its use of long, pre-stressed concrete slabs for the floor, reinforced with steel, to create a floor with little vibration as asked for by the homeowner.

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Key heritage attributes of the property at 2366 Carrington Place that exemplify its cultural heritage value as a representative example of a Modern home, as they relate to the one-storey house with walkout basement, include:

- The footprint, massing and asymmetrical form of the house with flat roof and deep overhangs at the rear on both the first and second storey;
- Exterior and interior horizontally-laid stone cladding;
- Exterior natural, unstained vertical wooden cladding;
- Exterior and interior stained wooden ceiling panelling;
- Metal balcony railings and spiral staircase on the rear elevation;
- Fenestration of all four elevations;
- The presence of large glass window walls for indoor-outdoor experience in the Modern style;
- The presence of a flat wooden front door in the Modern style; and
- The location and siting of the house with its rear wall and views oriented towards Lake Ontario.

Any objection to this designation must be filed no later than April **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on March **, 2024.

REPORT

Planning and Development Council

Meeting Date: March 4, 2024

FROM: Planning Services Department

DATE: February 20, 2024

SUBJECT: Notice of intention to designate – 149 Dunn Street – March 4, 2024

LOCATION: 149 Dunn Street

WARD: Ward 3

Page 1

RECOMMENDATION:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the Cedar Lodge at 149 Dunn Street.

KEY FACTS:

The following are key points for consideration with respect to this report:

- As part of the Heritage Designation Project 2023-2025, Heritage Planning staff has evaluated the subject property and consider it worthy of conservation and heritage designation.
- Staff is recommending that the subject property be designated under section 29, Part IV of the *Ontario Heritage Act* and that a notice of intention to designate be issued by Council for the property.

BACKGROUND:

In October 2022, Ontario's Ministry of Municipal Affairs and Housing introduced Bill 23, *More Homes Built Faster Act, 2022*. The bill included several amendments to the *Ontario Heritage Act*, including a two-year time limit for listed properties to remain on municipal heritage registers. In early 2023, Policy Planning & Heritage initiated the Heritage Designation Project 2023-2025 to designate approximately 80 listed properties prior to their required removal from Oakville's Heritage Register on January 1, 2025. The subject property of this report was included as a priority within that list.

A location map for the subject property is attached as Appendix A. A Cultural Heritage Evaluation Report (CHER) has been prepared by staff for the property and

is attached as Appendix B. A draft Notice of Intention to Designate has also been prepared by staff and is attached as Appendix C.

COMMENT/OPTIONS:

The Province of Ontario has made a clear commitment to the conservation of significant cultural heritage resources through its legislation and policies, including the *Ontario Heritage Act* (2021), *Planning Act* (1990, as amended) *Provincial Policy Statement* (2020), the Growth Plan for the Greater Golden Horseshoe (2019).

The *PPS* (2020) and Growth Plan (2019) function together with the *Ontario Heritage Act* (OHA) by the shared principle that cultural heritage resources shall be conserved. The OHA sets out the procedures for evaluating and protecting heritage resources at the provincial and municipal levels. This includes the use of Ontario Regulation 9/06 as the means for determining if a property has cultural heritage value.

This commitment to heritage conservation continues at the regional and municipal level through supportive objectives and directions outlined in the Region of Halton Official Plan and the town's Livable Oakville Plan and North Oakville East and West Secondary Plans.

In accordance with the OHA, a property must meet at least two criteria of Ontario Regulation 9/06. The property at 149 Dunn Street has been evaluated using these criteria. Staff considers the property to meet at least two or more of these criteria, and it therefore merits designation under section 29, Part IV of the OHA. The attached Cultural Heritage Evaluation Report provides more details on the cultural heritage value of the property.

Also attached is a draft Notice of Intention to Designate. This provides a clear outline of the property's cultural heritage value and the heritage attributes recommended for protection and conservation through a future designation by-law.

A separate staff report recommending designation of the property at 149 Dunn Street was presented to the Heritage Oakville Advisory Committee on January 30, 2024. The Committee supported the designation of the property.

CONSIDERATIONS:**(A) PUBLIC**

If notice is to be issued for the designation of the property, notice will be given in accordance with the town's *Ontario Heritage Act* Alternative Notice Policy.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The Legal department will be consulted on the designation as necessary.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing carbon footprints. The retention and conservation of this historic building through heritage designation contributes to the town's initiatives to reduce carbon footprints.

APPENDICES:

Appendix A – Location Map

Appendix B – Cultural Heritage Evaluation Report

Appendix C – Draft Notice of Intention to Designate

Prepared by:

Carolyn Van Sligtenhorst, CAHP, MCIP, RPP
Supervisor, Heritage Conservation

Recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning Services

APPENDIX A



149 Dunn Street

LOCATION

Community Development Commission



SUBJECT LANDS

Cultural Heritage Evaluation Report
Cedar Lodge
149 Dunn Street, Oakville, Ontario



West elevation of 149 Dunn Street, pre-1976 but exact date unknown. *Source: Oakville Historical Society*

Town of Oakville
Heritage Planning
Authors: Kristen McLaughlin, Carolyn Van Sligtenhorst
December 2023

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

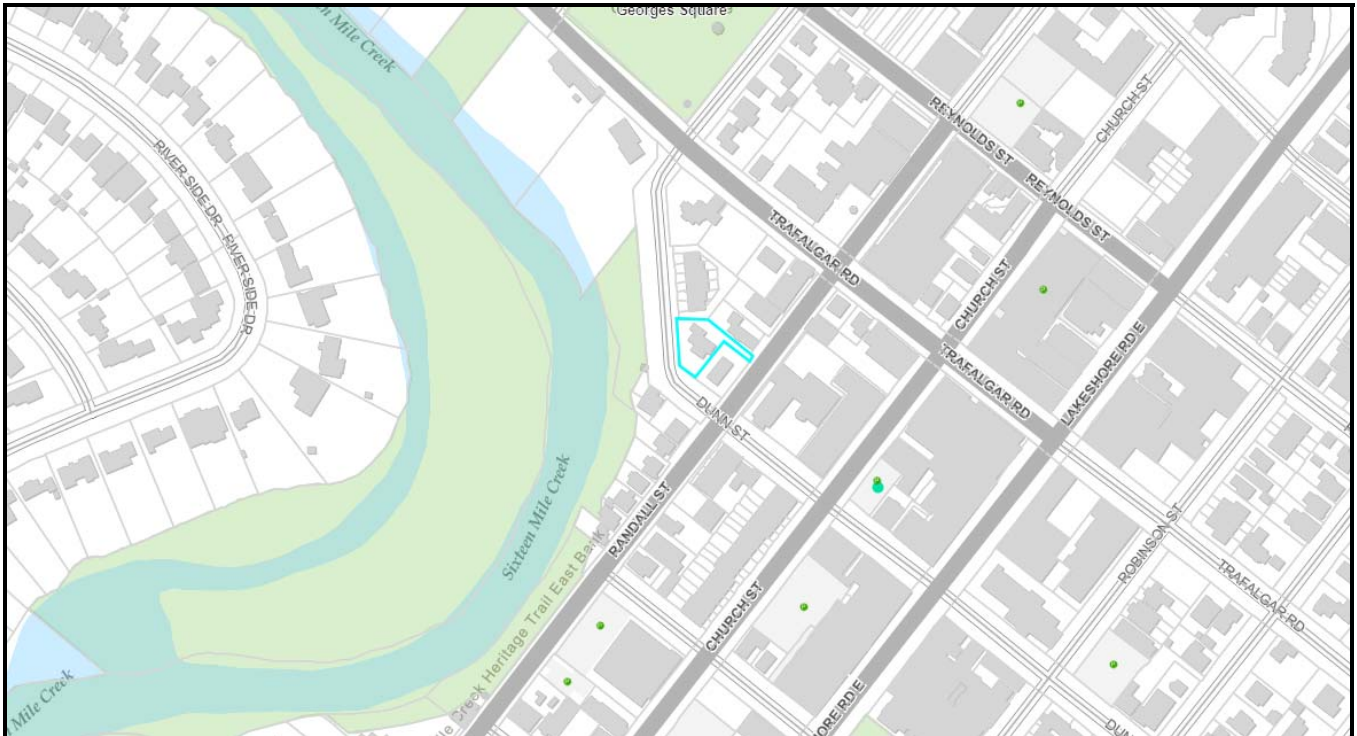
The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The property at 149 Dunn Street is located on the curve of Dunn Street between Randall Street and Sumner Avenue. The property is located within the territory covered by Treaty 22, which was signed in 1820 between the Mississaugas and the British Crown. The property was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* for its potential cultural heritage value for its "its c.1849 frame house."

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets four of the criteria of Regulation 9/06. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

2. Subject Property

The property at 149 Dunn Street is located on Dunn Street, between Randall Street and Sumner Avenue, on Part Lot 3 of Block 89, Plan 1. The property is located within the territory covered by Treaty 22, which was signed in 1820 between the Mississaugas and the British Crown. After being purchased by William Chisholm in 1831, the subject property became part of Lot 3, Block 89, in Edward Palmer's 1835 "Plan of Oakville". The property contains a detached two-storey frame house most likely built circa 1877.¹



Location map: Subject property is outlined blue. November 2023. Source: Town of Oakville GIS

Legal description: PLAN 1 BLOCK 89 PT LOT 3; TOWN OF OAKVILLE

¹ Based on the construction, assessment rolls/censuses, and similar buildings in Oakville; Oakville Public Library, *Town of Oakville collector's rolls, 1876 and 1877*

3. Background Research

Design and Physical Value

The subject building at 149 Dunn Street is a two-storey stucco-clad frame house. The building has architectural value as a representative example of an Oakville vernacular house originally built with influences from the Regency and Gothic Revival styles, most likely built between 1876 and 1877.

The original portion of the house appears to be an L-shape, which was a construction design popular from the 1850s to the 1870s. Town of Oakville records note a construction date of 1849, but the historic plaque on the house dates it to 1877. The closest confirmation to a date is in the 1876 and 1877 collector's rolls. The collector's rolls of 1876 show Justus Williams as the owner of Lot 3, alongside Lot 5 and Part Lot 4 at the total value of \$300; the next year, under the owner of Charles Coote, Lot 3 alone rises in value to \$550, indicating a building that was not there previously, given the value of combined lots before was less than Lot 3 on its own under the new owner. The earliest the house is specifically recorded is the 1881 census, but if it was built by the owners at that time (the Cootes) it would have likely happened closer to their purchase date of 1876.



Historical photo of the south elevation of the subject property, circa 1980s. Source: *Town of Oakville Planning Services Staff*

Regency Architecture (1830-1860)

Regency architecture styles began in 1815 in England, when the Prince Regent asked architect John Nash to build the Royal Pavilion in Brighton as a version of a temple from India.² This style came to Canada several years later, when retiring officers came to Canada and wished to emulate places they had served. During this time, Regency architecture was the latest fashion in England and was readily adopted by settlers in Canada. Long verandahs with canopylike roofs that extended the length of walls, French doors that opened onto garden patios, and porches with trellis-like supports, are characteristics of the Regency style in Canada. It was often used for one-storey cottages but was also adapted for more storeys. Smaller windows than the main storey were common on upper storeys.³

The view and location of the house near nature was of utmost importance. Landscape improvements and large properties were integral to the natural romance of the home. The house can be symmetrical in the Georgian style. The Regency style can mix various elements from different architectural periods, making for a more whimsical appearance.

Gothic Revival Architecture (1830-1900)

In Ontario, Gothic Revival style reflects a renewed interest in the building forms and styles of various English Gothic medieval periods, as well as the years preceding the English Renaissance, so a variety of features, forms, and elements from differing Gothic periods are often used simultaneously on one building. Common elements are: decorative vergeboard and a roof trim decorated with curvilinear patterns; numerous dormers and gables, finials, and pinnacles; bay windows; oriel windows on the second floor; verandahs; and tall chimneys. Gothic Revival houses could also be plainer houses with decorative Gothic elements. Gothic cottages, which could be two storeys, were promoted as a cheap country dwelling house in the *Canada Farmer* in 1865, and variations on this, such as the centre-gable and L-shaped design, are common in Ontario.⁴

Subject Property Design

The property at 149 Dunn Street is a vernacular residential single detached dwelling with stucco cladding influenced by the Regency and Gothic Revival styles. The house does not fit into one architectural style, but rather, has been constructed with unique features of various styles, such as Gothic gable shapes and segmental windows, and original Regency verandah columns. This variety may also be because the house most likely underwent several additions and changes over time.

The original portion of the L-shaped home has the main door on the south elevation, with a bay window on the west elevation. The north wing was likely a later addition, with the roof extended onto the one-storey portion for further square footage. The one-storey portion is said to have originally been a garage and could have been added from a previously separate building, like a shed or carriage house, and it was then the roof was extended to a saltbox shape on that half of the house. However, it is not clear that this is the case, but the roof shape is quite unique and indicates a history of additions.⁵

² Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms, 1784 to the present*, Toronto: Fitzhenry & Whiteside, 1990, pg. 20

³ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms, 1784 to the present*, Toronto: Fitzhenry & Whiteside, 1990, pg. 21

⁴ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, Toronto: James Lorimer & Co., pg. 61

⁵ Based on research and conversations with heritage staff.



South elevation. Source: Town of Oakville Planning Services Staff



East elevation, showing one-storey addition and saltbox roof to the right. Source: Town of Oakville Planning Services Staff



North elevation, showing the one-storey portion, the slope of the roof, and the north entrance. *Source: Town of Oakville Planning Services Staff*



Showing the west façade from the north elevation. *Source: Town of Oakville Planning Services Staff*

The aerial image below shows the original L-shaped storey highlighted in yellow to the south with the later two-storey and one-storey wings to the north.



Aerial view showing the shape of the house and its unique roof. The highlighted portion is the potential original layout. Source: Google Maps

The one-storey wooden addition on the northeast corner, if added on, was added early as it appears in the 1910 fire insurance map.



The subject house in the bottom right corner shows the wooden one-storey section already connected to the house, circa 1910. If the north wing was an addition it was done pre-1897 based on photography. Source: Underwriters' Survey Bureau, Insurance Plan of the Town of Oakville. Toronto: Underwriters' Survey Bureau, 1910



North elevation of the house, circa 1980s, showing the roof shape. There are no shutters on the upper window at this time. *Source: Town of Oakville Planning Files*



Photo from the 1980s of the east façade, showing the sloped roof to the one-storey portion, and the south gable wing connecting to the east-west portion of the house. *Source: George Chisholm, Town of Oakville Planning files*



1897 photo, west façade, showing the south and west gables, as well as the verandah. The photo does not show the one-storey portion behind. *Source: Oakville Historical Society*



View of the west elevation circa 1957. The house had a lychgate as seen in the photo with the words 'Charnwood' on it. *Source: Oakville Historical Society*

The house is clad in stucco, applied in two different ways on the south and north elevations. On the north, the stucco is a traditional heavily-textured material and on the south, a trowelled technique has been used, something that is more common from the mid to late 20th century. Stucco was not meant to be a long-term cladding, and it could have been resurfaced throughout its lifetime, explaining the differences in application. This difference may also be if the north gable and one-storey addition were later additions to the house and plastered by a different person.



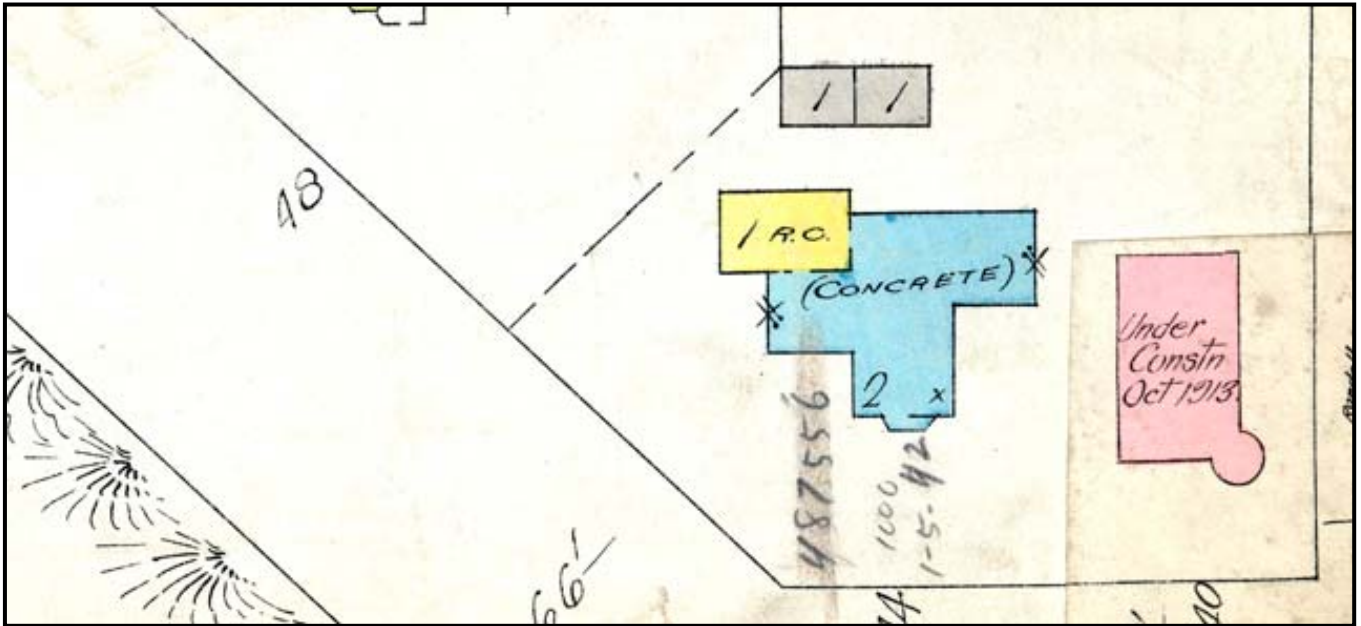
North elevation stucco, showing a pebbled appearance. It is similar to the stucco on the one-storey portion. *Source: Town of Oakville Planning Services Staff*



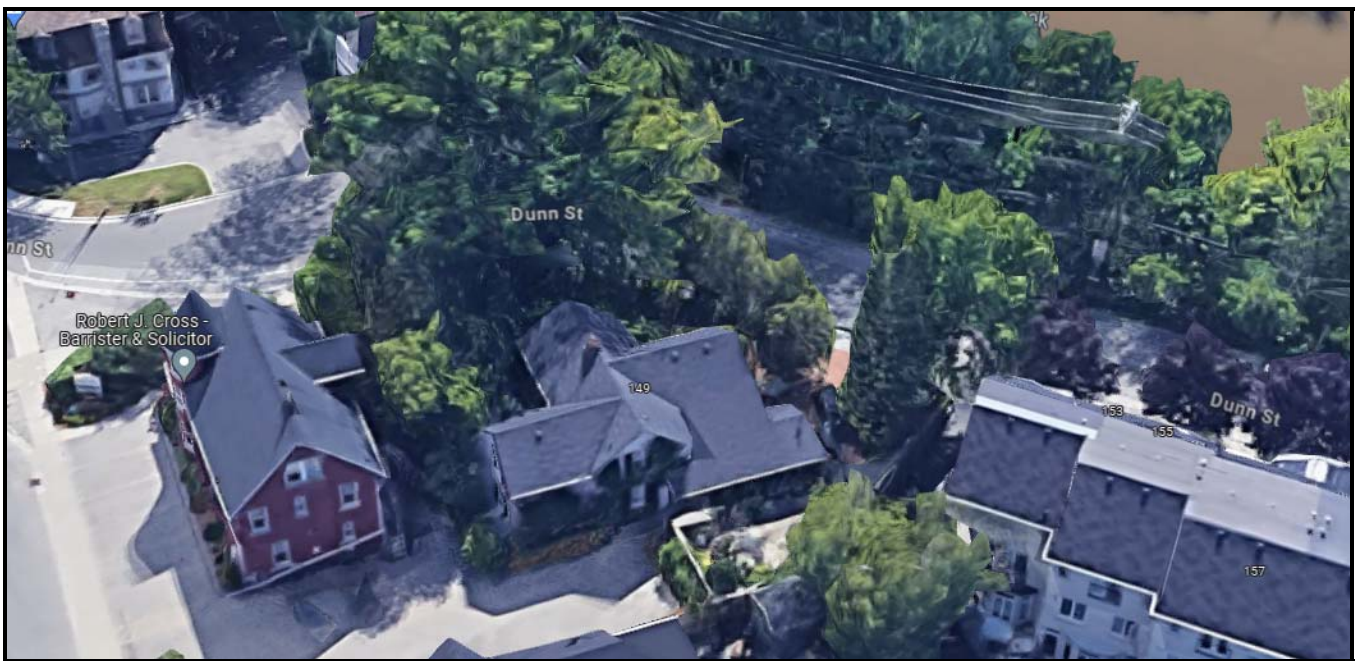
South elevation, showing a more trowelled texture for the stucco. *Source: Town of Oakville Planning Services Staff*

The fire insurance maps indicate that the two-storey portions were constructed of concrete and the one-storey wing was frame clad in stucco. The concrete construction could be referring to stucco cladding on a wooden frame, which, post-1870, was made more commonly with Portland cement after its invention in the US in 1870.⁶ It is also possible it could be referring to a house made of stone aggregate and mortar, which would not have fit under a standard fire insurance cladding category. Given the age of the house, and that the house has a lakestone foundation, it is unlikely that the walls were built of concrete block. Fire insurance maps are not necessarily very detailed and can be general when referring to materials.

⁶ Prestige Stucco, "History of Stucco", <http://prestigestucco.com/history.htm>



1913 fire insurance map, showing the overall shape of the house is the same as today. The main house is listed as 'concrete' (blue) and two storeys; the yellow portion is the one-storey level "R.C." or roughcast (stucco). There are small frame sheds on the property. The lot was divided by this time. *Source: Underwriters' Survey Bureau, Insurance Plan of the Town of Oakville. Toronto: Underwriters' Survey Bureau, 1913*



A 3D aerial view of the house, showing its shape, looking west. Notice the large amount of vegetation. *Source: Google Maps*

A lakestone foundation was common in historic houses and structures in Oakville in the early to mid-1800s and is present in the subject house as well.⁷ The height of the lakestone foundation is not the same on the north wing and the one-storey wing, further indicating they are likely additions.

⁷ Peacock, David and Suzanne. *Old Oakville: A Character Study of the Town's Early Buildings and of the Men Who Built Them*. Toronto, ON: Hounslow, 1979.



Close up of the foundation on the west elevation. *Source: Town of Oakville Planning Services Staff*

Historically, there were three tall brick chimneys, as seen in the 1897 photograph below. Two have been removed and the last altered, as it is now shorter. This photo indicates, if the north wing was added, it was done by this time as that is likely where the third chimney sits in the photo. The photo also shows the decorative wooden bargeboard that is on longer present in the gabled eaves.

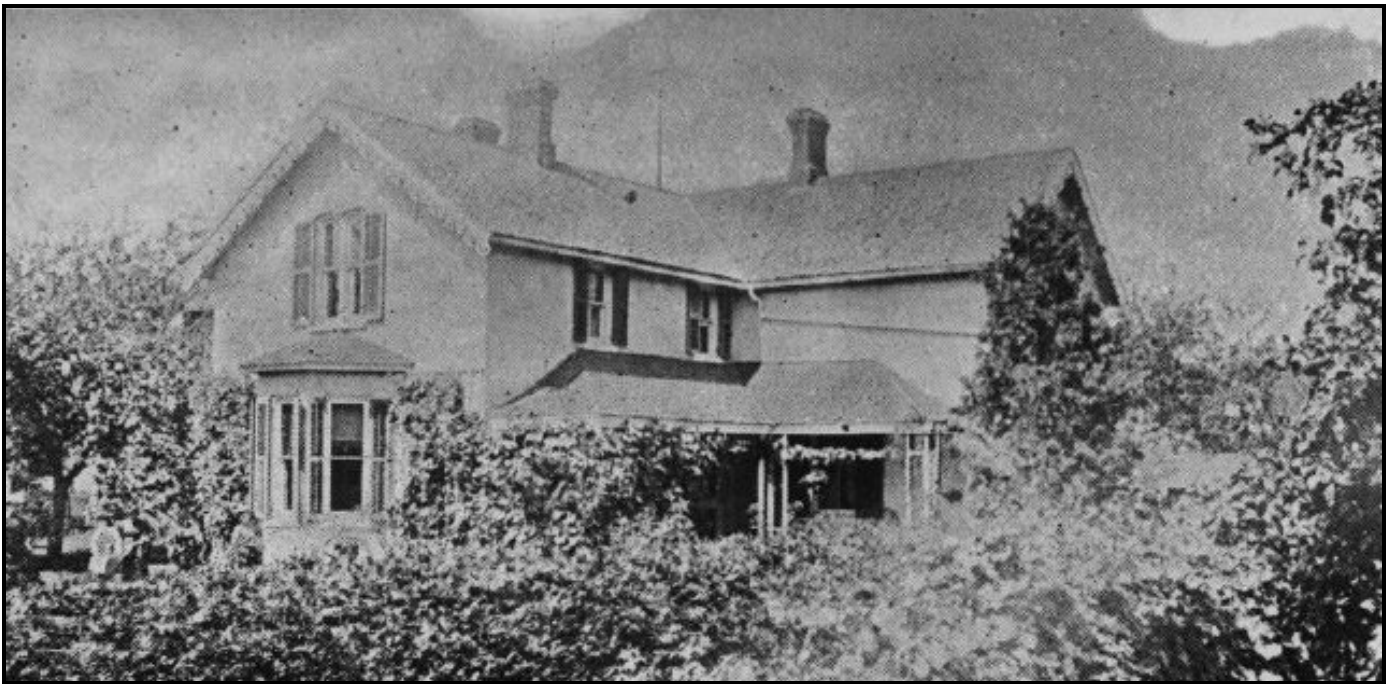


Photo of the house, looking northeast, circa 1897, showing the three chimneys. A Regency-style porch can be seen in this photograph. *Source: Oakville Historical Society*



Current chimney. *Source: Google Street View*

Covered verandahs are a main element of Regency-style and Gothic Revival houses in Oakville.⁸ This house's main door is on its south elevation, under a covered verandah that extends across two elevations.



Verandah on south elevation, looking northeast. *Source: Town of Oakville Planning Services Staff*

⁸ Peacock, David and Suzanne. *Old Oakville: A Character Study of the Town's Early Buildings and of the Men Who Built Them*. Toronto, ON: Hounslow, 1979, pgs. 30, 42, and 50.



Verandah on the south elevation looking northwest. Historically, a path through the gate on the west elevation would have led here. Source: Town of Oakville Planning Services Staff

The verandah has wooden detailing, such as the pilasters on the wall edges and decorative wooden detailing along the roofline. The design is similar to Gothic Revival and Queen Anne houses that were built in the late 1800s. It appears these features are replacements from the early 20th century; if we look to the 1897 photo the porch columns appear different and more in the traditional Regency style, when verandah columns were more akin to treillage to allow vines to grow. This same style can be seen on other Regency houses in Oakville from around the 1850s.⁹ The Regency style was prevalent in Ontario from 1830 to 1880. The current columns can be seen in the 1950s photo but were likely installed in the early 1900s.



Close-up of the columns from 1897 showing a different column design. Source: Oakville Historical Society

⁹ Peacock, David and Suzanne. *Old Oakville: A Character Study of the Town's Early Buildings and of the Men Who Built Them*. Toronto, ON: Hounslow, 1979, pgs. 30, 42, and 50. These houses demonstrate similar verandahs, windows, and original treillage as this house.



Examples of wooden detailing on the verandah. *Source: Town of Oakville Planning Services Staff*

The porch has projecting wooden eaves. The soffit in the rest of the house has been updated. Historically, the house had decorative wooden bargeboard on the gable edges, as seen in the historical photos.



Projecting eaves above the porch. *Source: Town of Oakville Planning Services Staff*



Bargeboard on the west elevation. The three chimneys are also visible. *Source: Town of Oakville Planning Services Staff*

The door under the south elevation porch is the original main entrance door. The gate from the west elevation (as seen on the cover photo) most likely led to a path that went to the verandah.¹⁰ The front entrance has sidelights and a transom window with three horizontal panes of glass. The sidelights have two panes each with wooden panels below. The wooden screen door and main panelled wooden door appear to be historic.



Front door showing the windows, the two-panel wooden door, and Victorian-style screen door. *Source: Town of Oakville Planning Services Staff*

¹⁰ This gate, as seen in previous photos, was removed by the Chisholm family upon the 1976 sale of the property and still stands at a family member’s home.



The east elevation of the house currently has two doors; one was added when the second storey of the house was used as an apartment from 1950 until at least 2000.¹¹ The interior has since been re-opened to the historical layout.¹²

The two entrances on the east elevation that used to lead to the separate living spaces. *Source: Town of Oakville Planning Services Staff*

The north elevation has another entrance, but with no sidelights or transom, typical of a more modest rear entrance. The one-storey portion also has a non-functioning door on this elevation, though it is likely that this door and the window above were salvaged from elsewhere as this portion was at one time used as a garage.



North elevation showing the two entrances. *Source: Town of Oakville Planning Services Staff*

¹¹ Town of Oakville planning files

¹² Staff site visit

There is a variety of heritage windows on this house. The majority of the windows are flat with no trim and plain sills, with the exception of the windows on the second storey of the original south portion of the house, which are segmentally arched. The historic wooden windows on the house are either 1/1 or 2/2 hung sash windows. Many of them have shutters, which may be historical, as they are hinged on the inside and could fit inside the windows frame.¹³ The exception may be the north and south gables, as there are photos of these without shutters. It is possible they were all replaced at one time, but they all utilize the historic-type hardware to actually swing into the inset windows and cover them.



Windows above the verandah. The double window on the right replaced the original segmentally arched window that appears in earlier photographs. *Source: Town of Oakville Planning Services Staff*



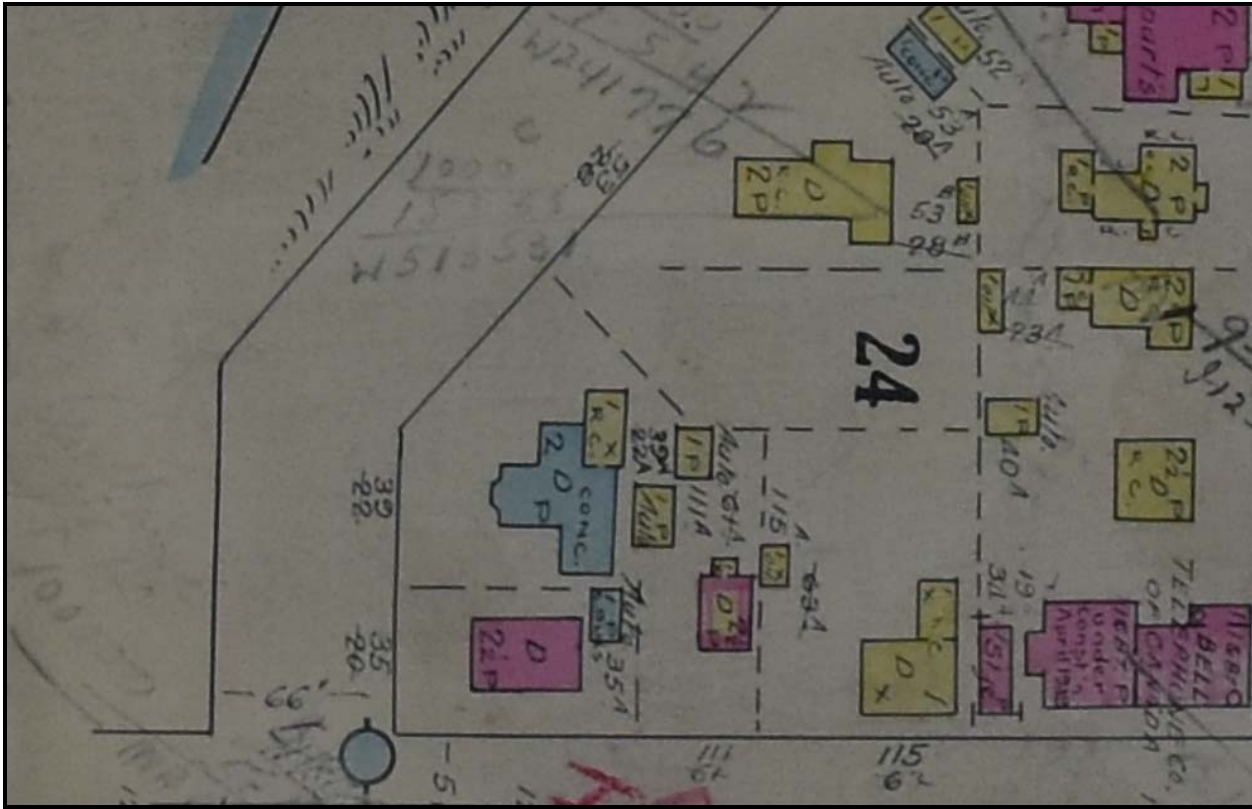
The window to the west of the entrance still has its wavy glass, an indication of an older house as this hand-blown method of making windows was used until the early 1900s.¹⁴

The front entrance window's wavy glass. *Source: Town of Oakville Planning Services Staff*

¹³ The one-storey portion has no shutters, which may indicate it was added later but pre-1897.

¹⁴ Architectural Glass, <https://architecturalglass.com/uncategorized/what-is-wavy-glass/>

The house is situated on a corner lot with plenty of garden space. Historically, it had a view of the Sixteen Mile Creek and the rest of Lot 3 (and later, also Lot 5) for a yard, which would have been quite substantial. The house still has garden space, one fenced off portion to the east and one that acts as a secondary driveway on the north elevation, with a garden to the west. A more modern driveway to the house comes from Randall Street, which is also the parking lot for 145 Dunn Street, which was installed when the house was divided into apartments. According to the 1949 fire insurance map, there was a garage on the east elevation that was likely related to the driveway to the south.



1949 fire insurance map showing the detached garage on the east elevation of the house, which could indicate the driveway coming in from Randall Street to the south. Source: Underwriters' Survey Bureau, Insurance Plan of the Town of Oakville. Toronto: Underwriters' Survey Bureau, 1913

The lot was subdivided around 1912, and the house to the south was under construction in 1913.¹⁵ This changed the shape of the yard considerably. The owners of the house also owned Lot 5 to the northeast from 1855 until 1904, with the southern part until 1911, extending the yard even more.¹⁶

In summary, the subject house has design value as a representative example of a 19th century vernacular house with influences from the Regency and Gothic Revival styles of architecture. Elements of this era and these styles include: the lakestone foundation; stucco cladding; the main entrance on the south façade including sidelights and transom window; the bay window and upper storey windows on the west elevation; the massing, roof shape, and orientation; the south elevation verandah and wooden decorative elements; various 2/2 sash windows; and a remaining historic brick chimney.

¹⁵ Updated 1913 fire insurance map

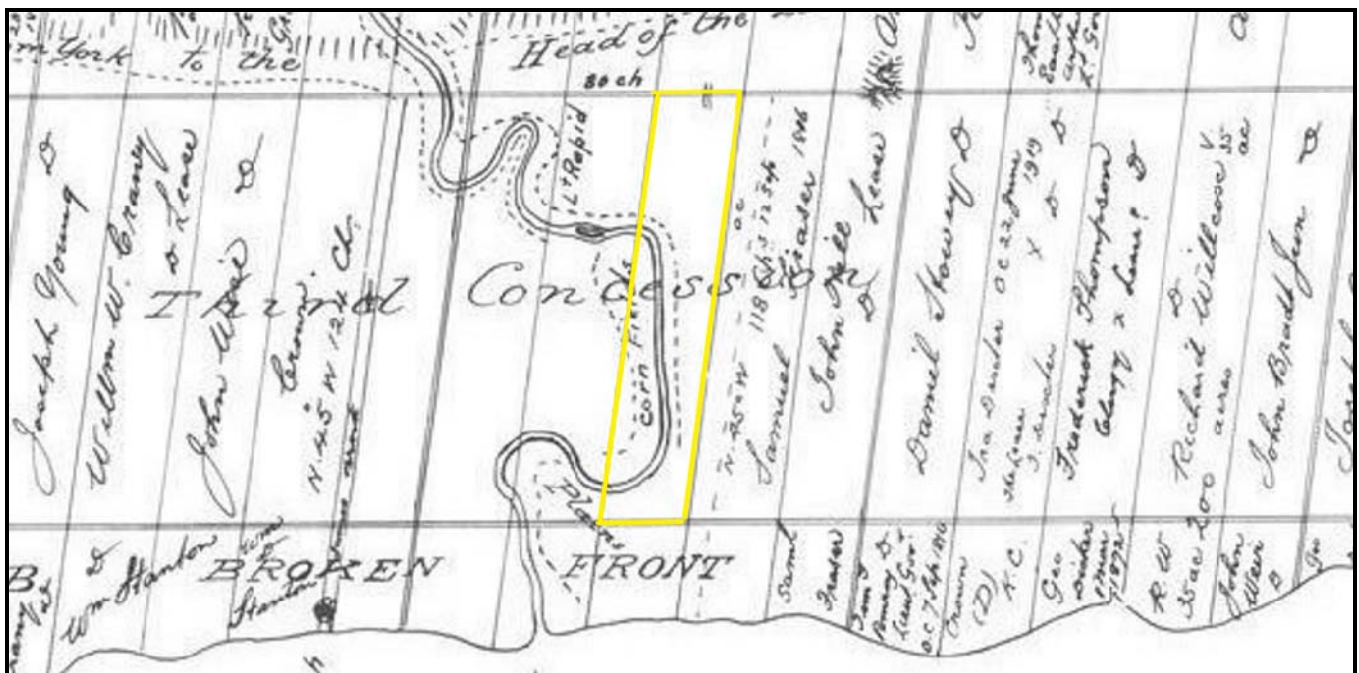
¹⁶ LRO Instrument 374 a, being a Bill and Sale, dated July 19, 1855, between Thomas Kirkpatrick and Justus W. Williams for all of Lot 5; and LRO Instrument 2381 a, being a Bill and Sale, dated November 12, 1890, between John Heatty and C.W. Coote for part of Lot 5; and LRO Instrument 2605, being a Bill and Sale, dated December (?) 30, 1892, between John Heatty and Mary Coote, for part of Lot 5 excepting CW Coote's portion.

Historical and Associative Value

The property at 149 Dunn Street is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and a strip of land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.¹⁷

The land outside of the waterway reserves kept by the Mississauga was divided up by the Crown. The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding “about 20,000” acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.¹⁸ The subject property is in the territory of Treaty No. 22.¹⁹

The subject area was known as the Third Concession South of Dundas Street, Lot 9. It was granted to William Chisholm in 1831. In 1831, William Chisholm, a farmer, businessman, and political figure from Nelson Township, now part of Burlington, Ontario, purchased 1,000 acres of land at the mouth of Sixteen Mile Creek from the Crown.²⁰ Chisholm is widely recognized as the founder of the Village of Oakville.



Wilmot's Trafalgar Township Survey, 1806, with Lot 9, 3rd Concession South of Dundas Street highlighted in yellow. Source: Archives of Ontario

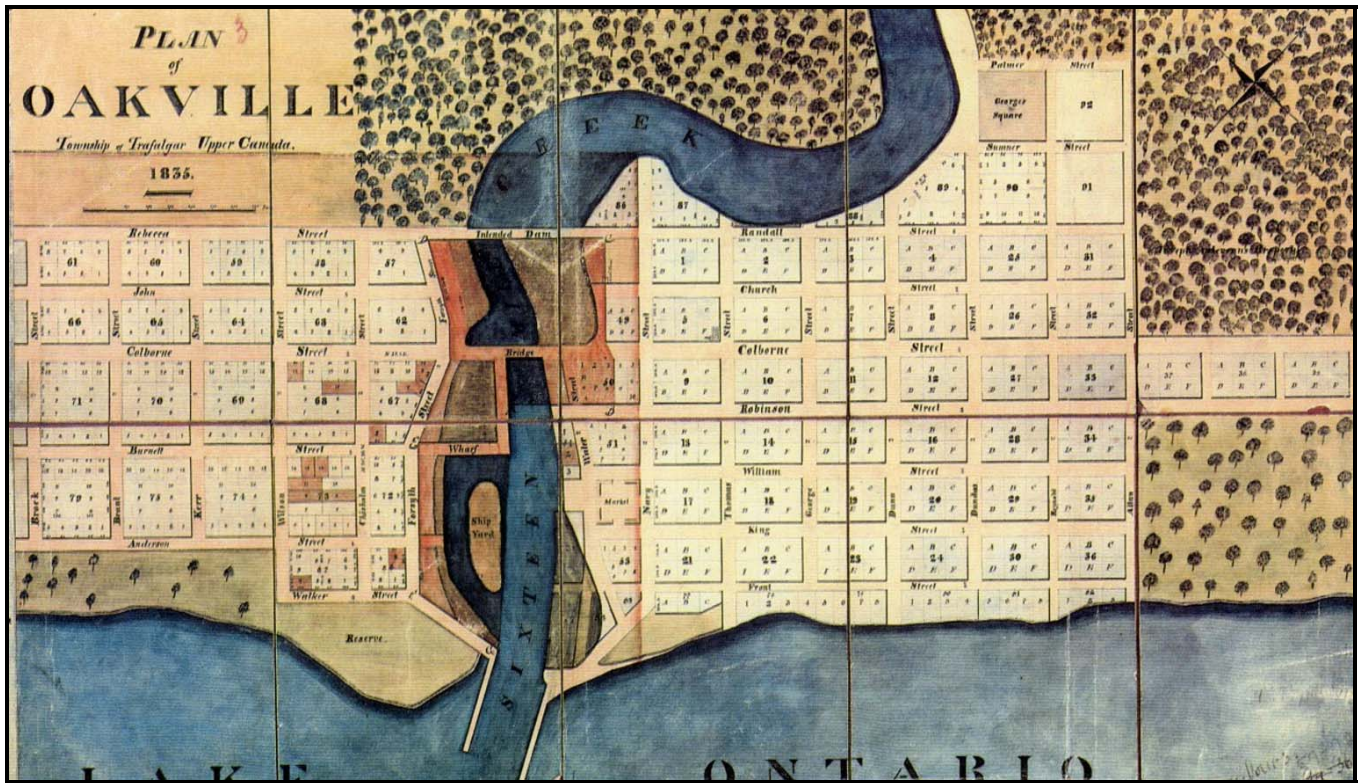
¹⁷ Debwewin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

¹⁸ Debwewin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10

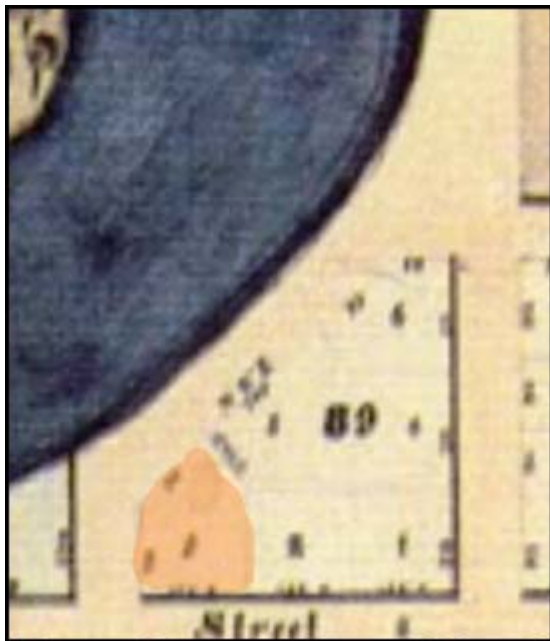
¹⁹ 1806 Wilmot Survey; Mississaugas of the Credit GIS Treaty Map

²⁰ Ministry of Natural Resources, Crown Grant, wherein William Chisholm of Nelson Township purchased 1,000 acres of Crown land for £1,020, on the 25th of March 1831

Four years after Chisholm’s purchase, the area was resurveyed. Edward Palmer’s 1835 “Plan of Oakville” divided large swaths of land on both sides of Sixteen Mile Creek, including the land upon which 149 Dunn Street sits. Chisholm still owned the property, until he sold this lot in 1838 to James Hopkirk.²¹

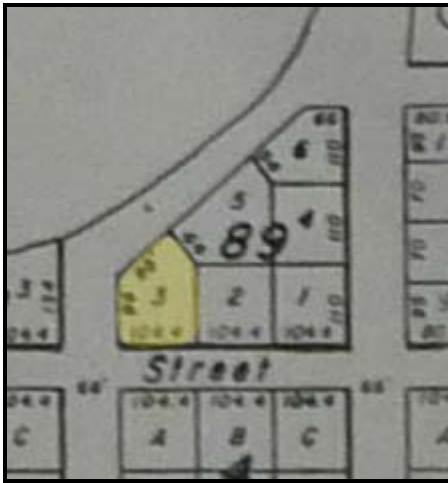


Edward B. Palmer’s, “Plan of Oakville, Township of Trafalgar Upper Canada 1835”. Source: Oakville Historical Society



Left: A close-up of Block 89. Lot 3 is the angled lot on the far left of the block. The overall block shape is cut off by the creek.

²¹ LRO Instrument 585M, being a Bill and Sale, dated July 14, 1838, between William Chisholm and wife, and James Hopkirk, for Lot 3.



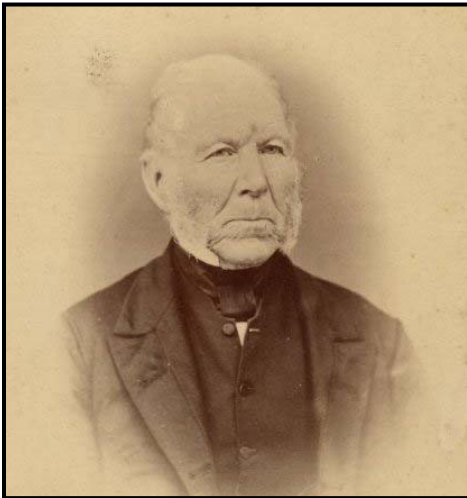
A clearer view of the lots in Block 89. Source: *Map of the Town of Oakville, 1837*

Below is a summary of the owners of the property from the Crown patent to the current owners. Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property's building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period. Because of the size of a historical lot, not all transactions are followed in the chart below, only those pertaining to what ends up as the subject property.

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	Concession 3 SDS, Lot 9	1806-1831
William Chisholm	Concession 3 SDS, Lot 9	1831-?
James Hopkirk	Plan 1, Block 89, Lot 3	1838-1843
James Sampson	Plan 1, Block 89, Lot 3	1843-1855
Justus W. Williams	Plan 1, Block 89, Lot 3 and Lot 5	1855-1876
Mary Coote	Plan 1, Block 89, Lot 3 and Part Lot 5	1876-1909
Louis Philip Snyder	Plan 1, Block 89, Lot 3	1909-1910
Jonathan H. Shields	Plan 1, Block 89, Part Lot 3	1910-1912, 1913
Ada Crosby Kendall	Plan 1, Block 89, Part Lot 3 (included because she sold a portion to the homeowners and owned some of the lot, it appears purchases were made between she and various homeowners overtime)	1912-?
Margaret Helen Murray	Plan 1, Block 89, Part Lot 3	1913-1919
Minerva Swann Castle	Plan 1, Block 89, Part Lot 3	1919-1924
Frank Herbert Chisholm and Lizzie Chisholm	Plan 1, Block 89, Part Lot 3 (bought some from Ada Kendall)	1924-1942
Faith Robinson Fell	Plan 1, Block 89, Part Lot 3	1942-1959 (exchanged a

		portion in 1955 to south property)
Faith Robinson Fell and Margaret Chisholm Fell	Plan 1, Block 89, Part Lot 3	1959-1976 (sold a portion in 1968 to person who bought house in 1976)
Thomas Samuel Decker	Plan 1, Block 89, Part Lot 3	1967-1968 (unclear which portion so including)
Helen Hatton	Plan 1, Block 89, Part Lot 3	1968 and then 1976
Helmuth Steinlin	Plan 1, Block 89, Part Lot 3	1976-1979
Ulo and Maret Sirotkin	Plan 1, Block 89, Part Lot 3	1979-1986
James and Joan Dimitriw	Plan 1, Block 89, Part Lot 3	1986-1997
Simon and Marcelle Cooper	Plan 1, Block 89, Part Lot 3	1997-2000
Andrew John Luke	Plan 1, Block 89, Part Lot 3	2000-2002
Current owners	Plan 1, Block 89, Part Lot 3	2002-current

The build date of the house is likely around 1877. Town of Oakville planning files indicate a potential build date of circa 1849, however, Lot 3 is not listed in the available 1850s assessment rolls, despite other lots in Block 89 appearing in the rolls.²² This may indicate that the lot was not built on and that it may have been owned by a non-resident, which were listed in a different section of the assessment rolls and do not indicate if they own a different empty lot, or which one. Therefore, the date of around 1876-1877 using the collector's rolls is the closest staff could get to a confirmation of build date. Collector's rolls do not indicate if a building is present, so assumptions are made based on total property value.



Justus Wright Williams, date unknown.
Source: Oakville Historical Society

James Hopkirk, part owner of the Oakville Brewing and Distilling Company, purchased the lot from William Chisholm and owned it from 1838-1843.²³ However, he lived on the foot of Wilson Street in Park Lot K, where he lived until he got a job in Toronto in 1839.²⁴ A James Sampson (or Simpson) purchased it after Hopkirk, and would have been the owner if it was built in 1849, however, there is no information on this name.²⁵ A James Simpson is listed in the 1851 census as a sailor, but no other information could be found.²⁶ The Simpsons were well-known shipwrights and sailors in Oakville at the time. He then sold the lot to Justus Wright Williams, a prominent early citizen of Oakville.²⁷

Justus Williams (1798-1875) came from Vermont and settled in Oakville at a young age. He worked as a contractor, building houses and bridges. He later became a merchant and built a general store on Colborne Street around 1833, becoming one of the village's earliest merchants.²⁸

²² Researcher experience, 2023

²³ LRO abstract

²⁴ Mathews, Hazel C., *Oakville and the Sixteen: The History of an Ontario Port*. Toronto: University of Toronto Press Inc., 1953, pg. 76-77

²⁵ LRO Instrument 1880, being a Bill and Sale, dated September 15, 1843, between James Hopkirk and wife and James Sampson (?), for Lot 3

²⁶ 1851 Census of Canada

²⁷ LRO Instrument 279a, being a Bill and Sale, dated August 7, 1855, between James Sampson (?) and Justus W. Williams for Lot 3.

²⁸ Oakville Historical Society, <https://oakvillehistory.pastperfectonline.com/Photo/B7850E61-1227-46D6-B947-100747128821>

In the 1861 census, he is listed as living in a wooden two-storey building, however, it also indicates a shop; the 1870 directory lists his location as Colborne Street, where he had built a home with his shop next door, on the south side of Colborne Street between Dunn Street and Dundas Street (now Trafalgar Road).²⁹ Aside from Lot 3, Wright also owned Lot 5 and part of Lot 4.³⁰

In 1876, a year after Williams' death, Lot 3 was sold by Williams' son to Mary Coote, the wife of Charles Wesley Coote, Lot 5 was sold to John Heatty in 1885, who then most likely built the house that would become 157 Dunn (now demolished).³¹ Heatty sold Lot 5 to the Coote couple in 1890 and 92, selling part of it to C.W. Coote and the other part to Mary.³² He also sold the north half of Lot 4 to Mary that same year.³³ This meant the Cootes owned Lot 3 and 5 and part of Lot 4 in the 1890s. An Oakville Historical Society (OHS) plaque on the house dates the house build date to these owners in 1877, the year after Lot 3 was purchased by the Cootes.³⁴ This date aligns with the change in property value in the collector's rolls. The OHS no longer has information used when plaque research was conducted so it is unclear where this date came from.

The Cootes owned the house until 1911 and rented out their other lots on the block. They built a house on their portion of Lot 4 a year after purchasing it, and rented it to Hannah Wright, a widow, until they sold it to her in 1900.³⁵ They likely sold the north portion of Lot 5 around 1904 or 1905 to Coote's business partner, W.H. Tuck, which they had rented to him.³⁶

Charles Wesley Coote was born in Trafalgar, Ontario in 1831.³⁷ He married Mary Marcus, born in Scotland in 1846, in 1871.³⁸ Coote was also a merchant, and owned a general store on Colborne Street, at what is now 215 Lakeshore Road East. The property remains an important designated heritage building within Oakville's downtown. Coote's shop was taken over by Thomas Harker in 1905, when Coote retired.³⁹

Charles Coote also served on the Oakville Board of Education in the 1890s and worked on the Board of Trustees for St. John's United Church from 1842 until his death in 1907.



Charles Coote. Source: Oakville Historical Society

²⁹ Ibid.

³⁰ LRO abstracts for Lots 3, 4, and 5 of Block 89, Plan 1.

³¹ Oakville Public Library, *Town of Oakville Collector's Rolls, 1885-1887*, shows a jump in value around 1 year after Heatty purchases it, from \$300 under the Williams' to \$600, indicating a house was likely built under his ownership.

³² LRO Instrument 2381 a, being a Bill and Sale, dated November 12, 1890, between John Heatty and C.W. Coote for part of Lot 5; and LRO Instrument 2605, being a Bill and Sale, dated December (?) 30, 1892, between John Heatty and Mary Coote, for part of Lot 5 excepting CW Coote's portion.

³³ LRO Instrument 2605G, being a Bill and Sale, dated 1892, between John Heatty and Mary Coote.

³⁴ Lot 3 was in Mary Coote's name: LRO Instrument 1001C, being a Bill and Sale, dated June 1, 1876, between Mary H. Chisholm for Justus W. Williams, deceased, and Mary Coote, wife of Charles W. Coote, for Lot 3 (2/5 of an acre)

³⁵ Oakville Public library, *Town of Oakville Assessment Rolls, 1890-1900*; LRO Instrument 3147H, being a Bill and Sale, dated May 13, 1900, between Mary Coote and Hannah Wright.

³⁶ Assessment rolls from 1900-1911; Tuck does not appear in the LRO registry for Lot 5, so it is not known by what mechanism he obtained the land, but assessment rolls from 1900 show Coote as the owner of the land and Robert Tuck as the tenant, and then he is a freeholder starting in 1904.

³⁷ Ancestry.ca, "Charles Wesley Coote", <https://www.ancestry.ca/family-tree/person/tree/43735386/person/402472817662/facts>

³⁸ Ancestry.ca, "Ontario, Canada, Marriages 1829-1939 for Chas Wesley Coote", https://www.ancestry.ca/imageviewer/collections/7921/images/ONMS932_5-0827?pld=2713274

³⁹ Oakville Historical Society, <https://oakvillehistory.pastperfectonline.com/photo/C849F97D-036D-4ADB-9B2F-813513063422>

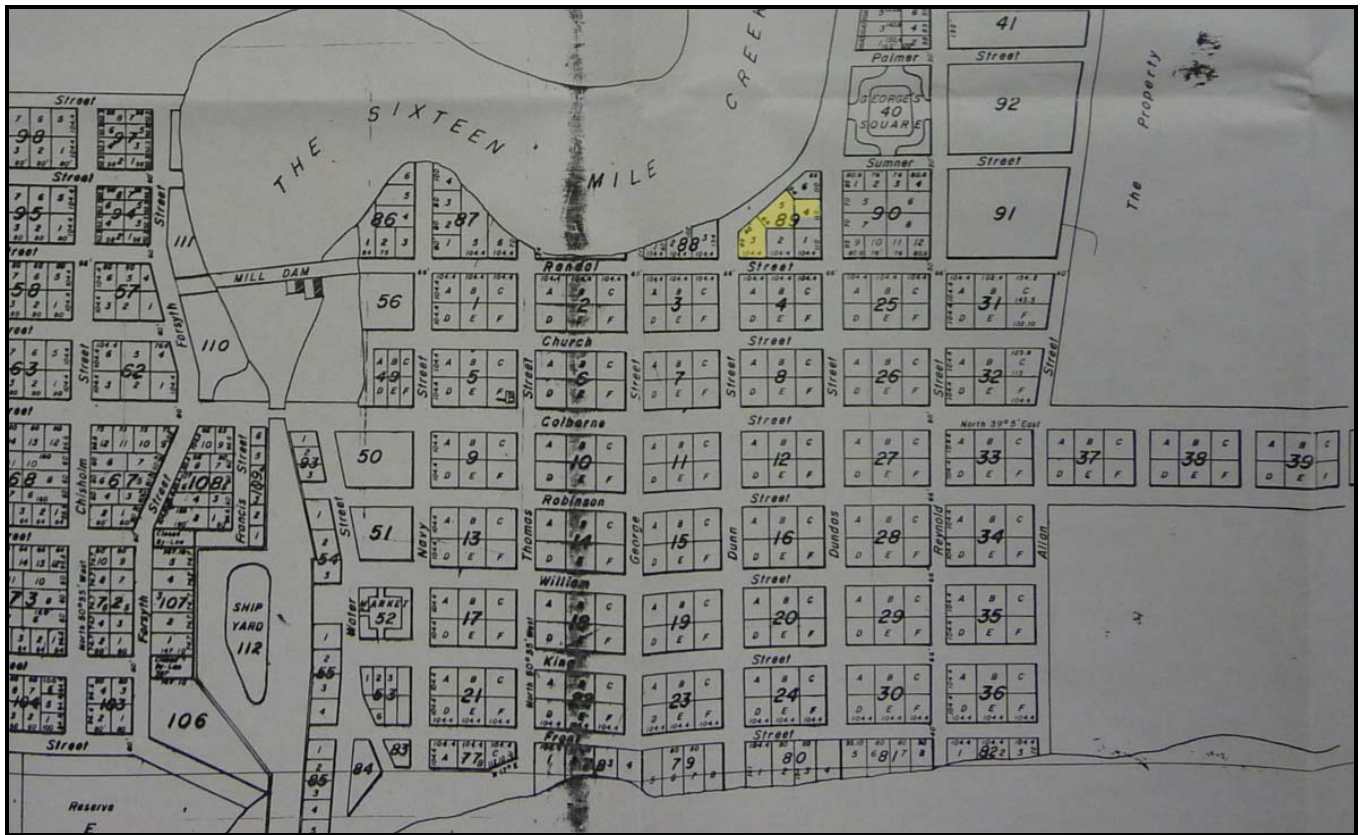


A photo of the Coote shop in 1929, when it was owned by Thomas Harker. *Source: Oakville Historical Society*



2023 view of the former general store owned by Charles Coote. *Source: Google Street View*

The Cootes would have then had a sizeable yard when they lived in the house, on the banks of Sixteen Mile Creek, given that they used part of Lot 5 after 1890 and the southern portion of Lot 3 as their yard. The other lots they owned, Lot 5 and Part Lot 4, were rented out to various townspeople over the decades they owned them.



1937 map of Oakville, with the lots owned by the Cootes highlighted in yellow, showing their contextual location. Source: Town of Oakville Planning Files

It appears in 1905, Charles Coote sold the “south part of Lot 5” to Mary, his wife.⁴⁰ Although it does not appear in the land registry files, it is likely the northern half was sold to the Tucks around the same time, as they continue to be listed as the owners of the “northern part” of Lot 5 in the assessment rolls.⁴¹ After Charles’ death in 1907, Mary Coote sold her remaining land; Lot 5 was sold to the Tucks in 1911, and Lot 3 was sold to Louis Philip Snyder in 1909, and then to Jonathan H. Shields in 1910.⁴² Shields split Lot 3, and sold a southern portion to Ada Kendall in 1912.⁴³ By 1913 we know Ada and her husband, James Kendall, had started building the brick house that now stands at 145 Dunn Street, as it is noted as under construction in the 1913 fire insurance map. Interestingly, James Kendall was the owner of the Kendall Tannery, which burned to the ground in 1948.⁴⁴

⁴⁰ LRO Instrument 3588, being a Bill and Sale, dated April 10, 1905, between Charles Wesley Coote and Mary Coote, his wife.

⁴¹ Assessment rolls 1909-1911, when Mary sold Lot 3 but before she sold Lot 5 officially in 1911 to Margaret Elizabeth Tuck.

⁴² LRO Instrument 4565 K, being a Bill and Sale, dated February 17, 1911, between Mary Coote, widow, and Margaret Elizabeth Tuck, wife of William Henry Tuck, for Lot 5; LRO Instrument 4205, being a Bill and Sale, dated June 23, 1909, between Mary Coote, widow, and Louis Philip Snyder, for Lot 3; and LRO Instrument 4486K, being a Bill and Sale, dated October 5, 1910, between LP Snyder and wife and Jonathan H Shields for Lot 3. Interestingly, in the assessment rolls, the value of the property goes from \$900 under Mary Coote to \$2000 the following year under Snyder, but it is not clear why.

⁴³ LRO Instrument 5076L, being a Bill and Sale, dated August 1, 1912, between Jonathan H. Shields and Ada Kendall, wife of James Kendall, for “southerly 54’ part” (?)

⁴⁴ Ahern, Frances. *Oakville: A Small Town 1900-1930*. Oakville, ON: Oakville Historical Society, 1981, pg.45



The orange line indicates the original property owned by the Cootes. The yellow lines indicate their subdivisions of the lots. We can see the house Coote built on Lot 4 along Trafalar Road (address number 12).

The house went through several more sales until it was purchased by Frank Herbert Chisholm, a well-known town citizen.⁴⁵ He and Lizzie Annette McCraney were married in 1889.⁴⁶ He was a Major in the forces during the First World War and “one of Oakville’s most prominent citizens”.⁴⁷ He was a farmer, lumber industry spectator, sailor, real estate agent, and then started his own business, the Chisholm Fuel Company, which he sold in 1923.⁴⁸ He purchased the house in 1924, but then died suddenly one year later and the house transferred to his wife, Lizzie.⁴⁹ She kept it until 1937, when she died, and it was passed onto their eldest daughter, Faith Robinson Fell.⁵⁰ George Chisholm, the grandson of Frank and Lizzie, remembers:

“When I was a child, my Aunt Faith lived in it as did my father before he was married. Another brother lived there as well. After my father and his brother moved out my aunt had the upstairs turned into two flats. . . In 1959 my aunt granted the property to herself and her younger daughter as joint tenants. The younger daughter sold it in 1976 after my aunt died . . . 149 Dunn was the site of many Chisholm family Christmas dinners. My Aunt's

⁴⁵ LRO Instrument 9176, being a Grant, dated April 26, 1924, between Minerva Castle and Frank Herbert Chisholm, “Lot 3 except SE 54”.

⁴⁶ Ancestry.ca, “Lizzie Annette McCraney”, <https://www.ancestry.ca/family-tree/person/tree/114468532/person/280132178331/facts>

⁴⁷ *The Globe*, “An active career brought to close”, May 18, 1925, pg. 11

⁴⁸ *Ibid.*

⁴⁹ *Ibid.*

⁵⁰ LRO Instrument 12967, being a Grant, dated December 3, 1942, between executors of Lizzie Annette Chisholm, and Faith Robinson Fell, married woman, for Lot 3 with exceptions.

parrot, Bill, lived in his cage in the back of the house. Bill is now stuffed and owned by the museum.”⁵¹



A photo of Lizzie and Frank Chisholm, circa 1900-1909. *Source: Oakville Historical Society*



Faith and Jim Chisholm, taken around 1895-1896. *Source: Oakville Historical Society*

⁵¹ Oakville Historical Society communication

According to land registry documents, Faith Robinson Fell and Margaret Chisholm George (nee Fell), her daughter from her second marriage to Irven Fell, were joint tenants of the property from 1959 until 1976. Various portions of the land were sold, as well as different ones sold back to them during these ownerships.⁵²

After 1976, the house was sold to various owners over the next several decades, until the current owners purchased it in 2000.

The house has historical and associative value for its connection to various well-known Oakville citizens, such as Justus Williams, Charles Coote, and Frank and Lizzie Chisholm, amongst others. Many of the property or lot owners were prominent early Oakville citizens, who often owned local businesses. The house has associative value for being a pronounced residence on a significant corner lot in the heart of downtown Oakville as the town grew from a small village to the present. It recalls Oakville's early history and evolution over time.

A photo from the 1950s shows the gate with the name "Charnwood" on it. However, no other records could be found indicating when this name started to be used for the house, or by whom. The Oakville Historical Society plaque indicates it may have been used by the Cootes. Before this, it is noted as "Cedar Lodge" in the book *Beautiful Oakville* from 1897, when it was still owned by the Coote family.

⁵² Based on LRO abstract transactions.

Contextual Value

The subject house is important in defining, supporting, and maintaining the character of the downtown Oakville neighbourhood. The house is located close to two heritage conservation districts: Trafalgar Road Heritage Conservation District to the northeast, and Downtown Oakville Heritage Conservation District to the west. The house is surrounded by other heritage buildings in these districts and its presence maintains and supports the surrounding character neighbourhoods.



Downtown Oakville HCD (purple) and Trafalgar Road HCD (red), with the subject property in between the two (in green).

The property is physically, visually, and historically linked to its surroundings. The house is located on a significant rounded corner lot between the Sixteen Mile Creek and downtown Oakville. It is an entry point to downtown and remains in its original location. The building is an early residential building once associated with Oakville's 19th and early 20th century families and local businesses, many of which existed in buildings that have since been demolished or altered. It has many historical house elements that are visible from the street. It contributes to the understanding of the local community, and its growth from a small village to a bustling town.

Because of the house's location on the corner lot, it is a visual anchor point of the neighbourhood and its history. The house is one of the few in the area that has a large tree canopy due to the age of the property and because it has not undergone significant development like some other areas of downtown Oakville.



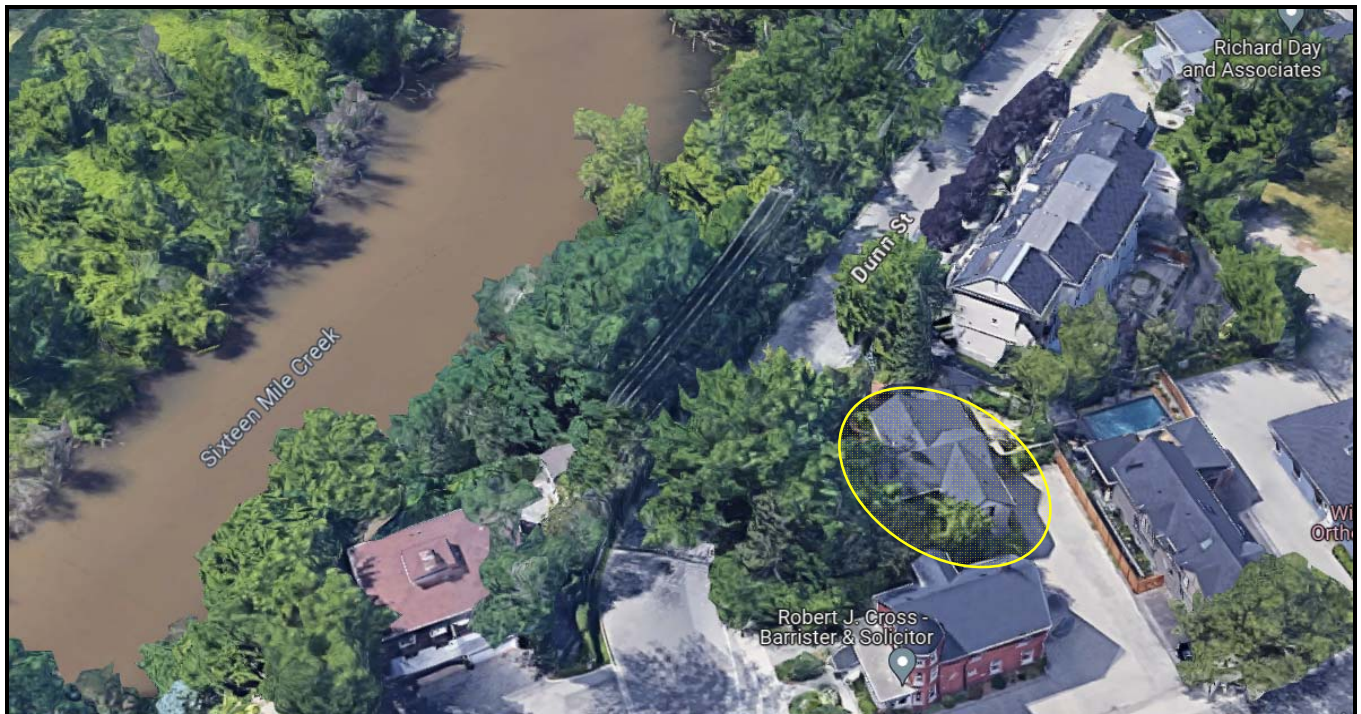
Dunn Street looking north, with the subject property on the right. It is set back from the road and its location across from the creek. Source: Google Street View, 2021



Dunn Street looking west (before the curve) with subject property on the left. Source: Google Street View, 2021



View of the property from where Dunn Street curves. Source: Google Street View, 2021



Aerial view of the property (circled in yellow) showing its proximity to the creek, as well as its large tree shade. Source: Google Maps

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative, or early example of a style, type, expression, material or construction method;	The property is a representative example of a 19th century vernacular house with Regency- and Gothic Revival-style influences.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship or artistic merit.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;	The property is directly associated with Charles and Mary Coote, local business owners who operated a general store in downtown Oakville.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	The house does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist significant to the community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The subject house is important in defining, supporting, and maintaining the character of the historic Downtown Oakville neighbourhood.	Y
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is physically, visually, and historically linked to its surroundings. It still stands in its original location and contributes to the history of the local area and functions as its original purpose as a residential home. It is visible from the street and is tied to the history of Oakville's downtown.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 149 Dunn Street is located on the south side of Dunn Street, on the curve of the road between Sumner Avenue and Randall Street. The property contains a circa 1877 two-storey vernacular house built with influences from the Regency and Gothic Revival styles.

Design Value or Physical Value:

Cedar Lodge has design and physical value as a representative example of an Oakville vernacular house with influences from the Regency and Gothic Revival styles. Prevalent in Ontario from 1830 to 1860, the Regency style was influenced by Indian temples and palaces and was adapted to meet the Ontario climate. The subject house originally included one of the more iconic details of this style, the front verandah with trellis-like supports which referenced the tropical villas of countries like India. The house also has influences from the Gothic Revival style, a style that incorporated different elements of the Gothic and medieval periods in England. Notable elements from the Ontario version of this style include the L-shaped form and massing of the original portion of the house, the simple gable roof design, the segmentally-arched 1/1 and 2/2 wood windows, the wide front porch, the bay window, and the front entrance with sidelights and transom window. The house exhibits design and features found on other vernacular homes in old Oakville and is a good representative example of a home built with influences from formal styles, but designed to fit the local climate and the needs of the homeowner.

Historical Value or Associative Value:

Cedar Lodge has cultural heritage value for its connection to various well-known Oakville citizens, such as Charles and Mary Coote who built the house and owned the property for over 30 years. The Cootes owned and operated a general store, which still stands today on Lakeshore Road in downtown Oakville. The Cootes were well-known and involved citizens in late 19th and early 20th century Oakville and contributed to the early development of the town and its local commerce as businesspeople.

Contextual Value:

Cedar Lodge has contextual value because it defines, supports, and maintains the character of Dunn Street and neighbouring streets. The house is located near two heritage conservation districts: Trafalgar Road Heritage Conservation District to the northeast, and Downtown Oakville Heritage Conservation District to the west. The house is surrounded by other heritage buildings and its presence maintains and supports the surrounding character neighbourhoods like downtown Oakville. The property is physically, visually, and historically linked to its surroundings. It is an entry point to downtown and remains in its original location, and contributes to the local streetscape. Because of the house's location on the corner lot, it is a visual anchor point of the neighbourhood and its history.

Description of Heritage Attributes

Key heritage attributes of Cedar Lodge at 149 Dunn Street that exemplify its cultural heritage value as an example of an Oakville vernacular house with influences from the Regency and Gothic Revival styles, as they relate to the historic two-half storey house, include:

- Footprint and form of the house with gable roofs, one-storey porch and bay window on west elevation;
- Lakestone foundation above grade;

- Heavily textured traditional stucco cladding;
- Remaining wooden soffits and fascia;
- One-storey front verandah with decorative square wooden columns and wooden bargeboard;
- Fenestration of windows on all elevations;
- Historic wooden windows, wooden window trim and wooden louvered shutters;
- Front entrance with wooden panelled door, sidelights with wooden panels and windows, wooden transom window and wooden trim; and
- Brick chimney.

6. Conclusion

This property meets four of the criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

7. Sources

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- Town of Oakville, “North Oakville East Secondary Plan”, 2023
- Town of Oakville, “North Oakville West Secondary Plan”, 2023
- Town of Oakville, Old Oakville Heritage Conservation District Study, 2023
- Town of Oakville, various departmental files including the Town’s Heritage Register, building files, policies, reports, imagery, and mapping
- Underwriters’ Survey Bureau. *Insurance Plans of the Town of Oakville*. Toronto: Underwriters’ Survey Bureau, 1924, 1932

On March 4, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Cedar Lodge
149 Dunn Street
PLAN 1 BLOCK 89 PT LOT 3; TOWN OF OAKVILLE

Description of Property

The property at 149 Dunn Street is located on the south side of Dunn Street, on the curve of the road between Sumner Avenue and Randall Street. The property contains a circa 1877 two-storey vernacular house built with influences from the Regency and Gothic Revival styles, known as Cedar Lodge.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

Cedar Lodge has design and physical value as a representative example of an Oakville vernacular house with influences from the Regency and Gothic Revival styles. Prevalent in Ontario from 1830 to 1860, the Regency style was influenced by Indian temples and palaces and was adapted to meet the Ontario climate. The subject house originally included one of the more iconic details of this style, the front verandah with trellis-like supports which referenced the tropical villas of countries like India. The house also has influences from the Gothic Revival style, a style that incorporated different elements of the Gothic and medieval periods in England. Notable elements from the Ontario version of this style include the L-shaped form and massing of the original portion of the house, the simple gable roof design, the segmentally-arched 1/1 and 2/2 wood windows, the wide front porch, the bay window, and the front entrance with sidelights and transom window. The house exhibits design and features found on other vernacular homes in old Oakville and is a good representative example of a home built with influences from formal styles, but designed to fit the local climate and the needs of the homeowner.

Historical and Associative Value

Cedar Lodge has cultural heritage value for its connection to various well-known Oakville citizens, such as Charles and Mary Coote who built the house and owned the property for over 30 years. The Cootes owned and operated a general store, which still stands today on Lakeshore Road in downtown Oakville. The Cootes were well-known and involved citizens in late 19th and early 20th century Oakville and contributed to the early development of the town and its local commerce as businesspeople.

Contextual Value

Cedar Lodge has contextual value because it defines, supports, and maintains the character of Dunn Street and neighbouring streets. The house is located near two heritage conservation districts: Trafalgar Road Heritage Conservation District to the northeast, and Downtown Oakville Heritage Conservation District to the west. The house is surrounded by other heritage buildings and its presence maintains and supports the surrounding character neighbourhoods like downtown Oakville. The property is physically, visually, and historically linked to its surroundings. It is an entry point to downtown and remains in its original location, and contributes to the local streetscape. Because of the house's location on the corner lot, it is a visual anchor point of the neighbourhood and its history.

Description of Heritage Attributes

Key heritage attributes of Cedar Lodge at 149 Dunn Street that exemplify its cultural heritage value as an example of an Oakville vernacular house with influences from the

Town of Oakville | 1225 Trafalgar Road, Oakville L6H 0H3 | 905-845-6601 | oakville.ca

Regency and Gothic Revival styles, as they relate to the historic two-half storey house, include:

- Footprint and form of the house with gable roofs, one-storey porch and bay window on west elevation;
- Lakestone foundation above grade;
- Heavily textured traditional stucco cladding;
- Remaining wooden soffits and fascia;
- One-storey front verandah with decorative square wooden columns and wooden bargeboard;
- Fenestration of windows on all elevations;
- Historic wooden windows, wooden window trim and wooden louvered shutters;
- Front entrance with wooden panelled door, sidelights with wooden panels and windows, wooden transom window and wooden trim; and
- Brick chimney.

Any objection to this designation must be filed no later than April **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on March **, 2024.

REPORT

Planning and Development Council

Meeting Date: March 4, 2024

FROM: Planning Services Department

DATE: February 20, 2024

SUBJECT: Notice of intention to designate – 2038 Lakeshore Road East –
March 4, 2024

LOCATION: 2038 Lakeshore Road East

WARD: Ward 3

Page 1

RECOMMENDATION:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the MacKendrick House at 2038 Lakeshore Road East.

KEY FACTS:

The following are key points for consideration with respect to this report:

- As part of the Heritage Designation Project 2023-2025, Heritage Planning staff has evaluated the subject property and consider it worthy of conservation and heritage designation.
- Staff is recommending that the subject property be designated under section 29, Part IV of the *Ontario Heritage Act* and that a notice of intention to designate be issued by Council for the property.

BACKGROUND:

In October 2022, Ontario's Ministry of Municipal Affairs and Housing introduced Bill 23, *More Homes Built Faster Act, 2022*. The bill included several amendments to the *Ontario Heritage Act*, including a two-year time limit for listed properties to remain on municipal heritage registers. In early 2023, Policy Planning & Heritage initiated the Heritage Designation Project 2023-2025 to designate approximately 80 listed properties prior to their required removal from Oakville's Heritage Register on January 1, 2025. The subject property of this report was included as a priority within that list.

A location map for the subject property is attached as Appendix A. A Cultural Heritage Evaluation Report (CHER) has been prepared by staff for the property and

is attached as Appendix B. A draft Notice of Intention to Designate has also been prepared by staff and is attached as Appendix C.

COMMENT/OPTIONS:

The Province of Ontario has made a clear commitment to the conservation of significant cultural heritage resources through its legislation and policies, including the *Ontario Heritage Act* (2021), *Planning Act* (1990, as amended) *Provincial Policy Statement* (2020), the Growth Plan for the Greater Golden Horseshoe (2019).

The *PPS* (2020) and Growth Plan (2019) function together with the *Ontario Heritage Act* (OHA) by the shared principle that cultural heritage resources shall be conserved. The OHA sets out the procedures for evaluating and protecting heritage resources at the provincial and municipal levels. This includes the use of Ontario Regulation 9/06 as the means for determining if a property has cultural heritage value.

This commitment to heritage conservation continues at the regional and municipal level through supportive objectives and directions outlined in the Region of Halton Official Plan and the town's Livable Oakville Plan and North Oakville East and West Secondary Plans.

In accordance with the OHA, a property must meet at least two criteria of Ontario Regulation 9/06. The property at 2038 Lakeshore Road East has been evaluated using these criteria. Staff considers the property to meet at least two or more of these criteria, and it therefore merits designation under section 29, Part IV of the OHA. The attached Cultural Heritage Evaluation Report provides more details on the cultural heritage value of the property.

Also attached is a draft Notice of Intention to Designate. This provides a clear outline of the property's cultural heritage value and the heritage attributes recommended for protection and conservation through a future designation by-law.

A separate staff report recommending designation of the property at 2038 Lakeshore Road East was presented to the Heritage Oakville Advisory Committee on January 30, 2024. The Committee supported the designation of the property.

CONSIDERATIONS:

(A) PUBLIC

If notice is to be issued for the designation of the property, notice will be given in accordance with the town's *Ontario Heritage Act* Alternative Notice Policy.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The Legal department will be consulted on the designation as necessary.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing carbon footprints. The retention and conservation of this historic building through heritage designation contributes to the town's initiatives to reduce carbon footprints.

APPENDICES:

Appendix A – Location Map

Appendix B – Cultural Heritage Evaluation Report

Appendix C – Draft Notice of Intention to Designate

Prepared by:

Carolyn Van Sligtenhorst, CAHP, MCIP, RPP
Supervisor, Heritage Conservation

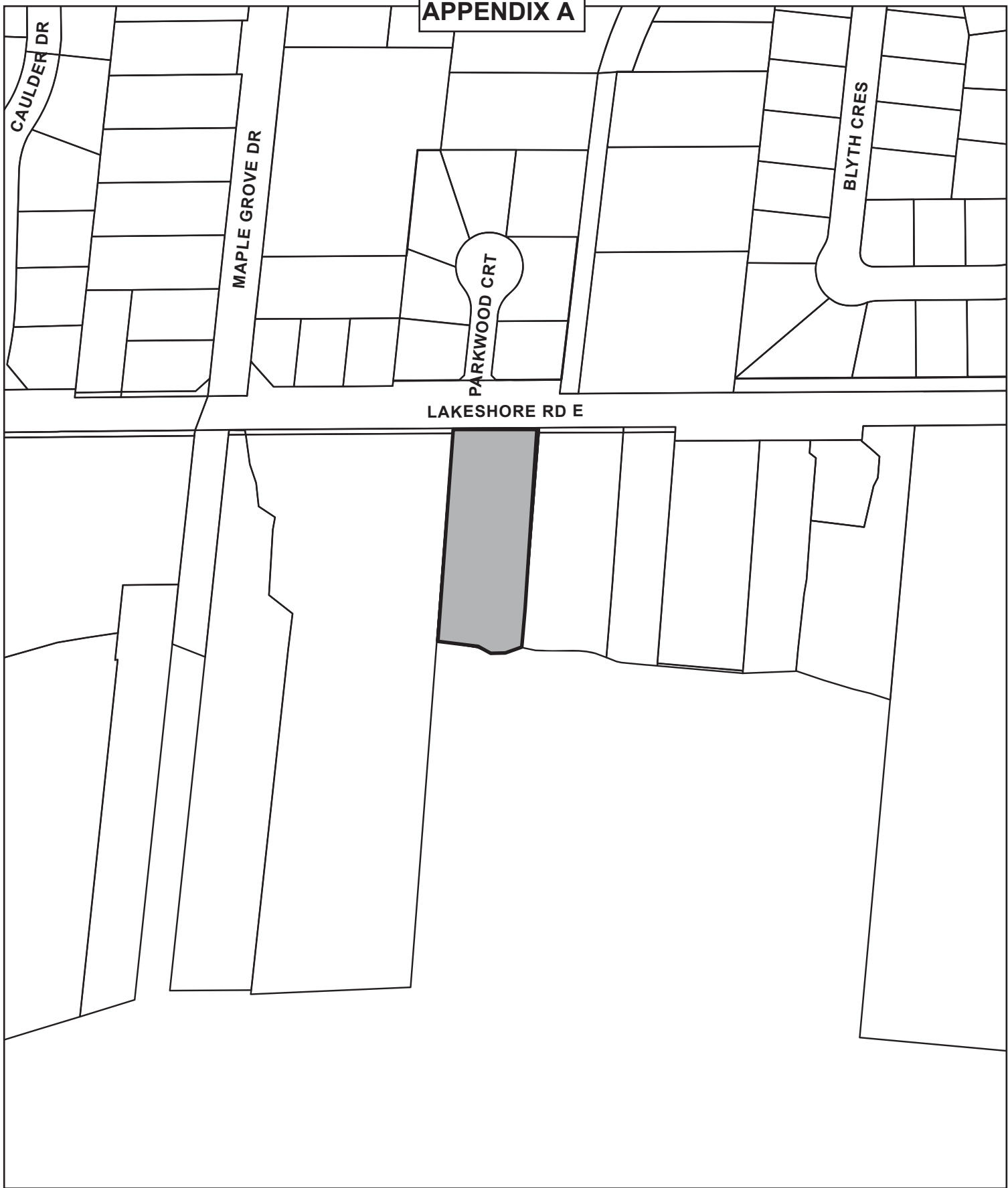
Recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning Services

APPENDIX A



0 20 40 80
Meters

2038 Lakeshore Road East

LOCATION



SUBJECT LANDS

Community Development Commission

Cultural Heritage Evaluation Report
MacKendrick House
2038 Lakeshore Road East, Oakville, Ontario



North elevation of the property, 2023. Source: *Town of Oakville Planning Services Staff*

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

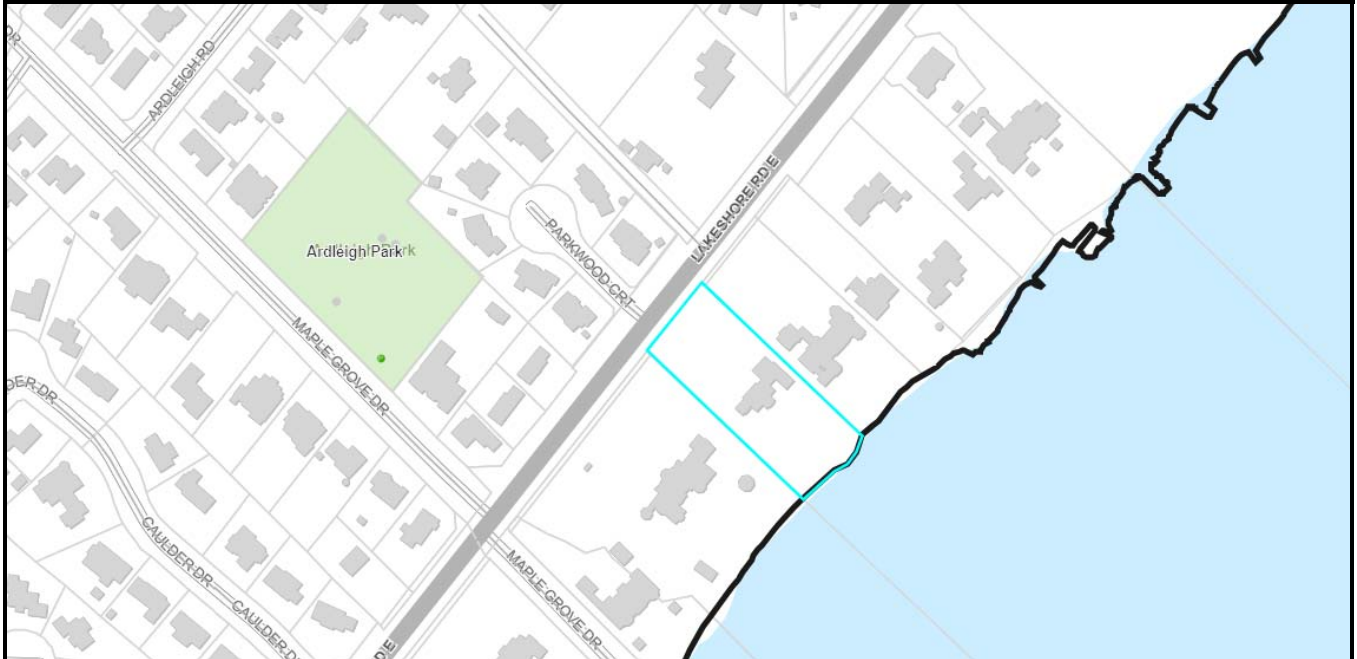
The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The home at 2038 Lakeshore Road East is located on the south side of Lakeshore Road East, between Maple Grove Drive and Charnwood Drive. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. The property was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* for its potential cultural heritage value for its "1930s estate house built in the Colonial Revival style."

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets four of the criteria of Regulation 9/06. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

2. Subject Property

The property at 2038 Lakeshore Road East is located on the south side of Lakeshore Road East, between Maple Grove Drive and Charnwood Drive, on Part Lot 5 of Concession 4 South of Dundas Street (SDS). The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. It was historically a part of the Fourth Concession South of Dundas Street, also known as the Broken Front, Lot 5. A farmhouse originally stood in the original larger estate by at least 1891, with the current house being built circa 1936. The property contains a detached two-storey house in the Colonial Revival architectural style with Arts and Crafts influences.



Location map: Subject property is outlined blue. December 2023. Source: Town of Oakville GIS

Legal description: PT LOT 5, CONCESSION 4 SDS; TOWN OF OAKVILLE

3. Background Research

Design and Physical Value

The MacKendrick house is a detached two-storey house built between 1936 and 1937 and has design value as a representative vernacular example of the Colonial Revival style with Arts and Crafts influences.¹



Colonial Revival Style (1900-1960)

North American Colonial Revival architecture became popular with the American Centennial Exhibition of 1876 and its examples of early Northeast American architecture, which filtered into common building styles in Canada.² These homes were built with features inspired by the classical elements of colonial buildings. Designs could be easily modified to suit the builder's ideas and the different local materials available. The average Colonial Revival style home often has a single central dormer at the front of the home and a porch with Classical columns. Doors are often centered, and the façade of the home is symmetrical, with little ornamentation. Two-tiered porticos on the sides of the home can also be popular in this style.³ The interpretation of this style in Ontario is often broad.⁴

¹ Town of Oakville assessment rolls

² Vancouver Heritage Foundation, "Colonial Revivals", <https://www.vancouverheritagefoundation.org/house-styles/colonial-revivals/>; Mikel, Robert. *Ontario House Styles: The Distinctive Architecture of the Province's 18th and 19th Century Homes*, pg. 142

³ Mikel, Robert. *Ontario House Styles: The Distinctive Architecture of the Province's 18th and 19th Century Homes*, pg. 145

⁴ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 143

Arts and Crafts Movement and Craftsman Style (1890-1940)

The Arts and Crafts movement, which inspired Craftsman architecture, began in Britain as a reaction to the rapid growth of industry and the dehumanization of society that resulted from the sudden restructuring of the population to accommodate large factories.⁵ The movement spread to North America and many structures built between 1890 and 1940 demonstrate Arts and Crafts influenced architectural details.⁶ Generally, the goal of the residential Arts and Crafts movement was to portray the home as a place of serenity, with a focus on the home as part of the natural environment.⁷

Characteristics of Arts and Crafts inspired residences can include: a combination of cladding materials ranging from brick, stone, stucco, shingles, and horizontal wood cladding; wide verandahs or porches sometimes created through an extension of the main roof; dormer windows and wall gables; small paned casement windows, recessed entrances typically under porches, exposed rafter tails or brackets, and asymmetrical façades.

Subject Property Design

The property at 2038 Lakeshore Road East is a vernacular Colonial Revival style house with Arts and Crafts influences. The historic portion of the house is a typical side-gabled two-storey Colonial Revival style house but the structure has one and one-and-a-half storey additions which give the house a unique rambling quality. Typical of the Arts and Crafts era, the house exhibits many examples of high-quality craftsmanship and materials. And while it was an estate built by wealthy owners, the house was designed with restraint, also reflecting the era and financial times in which it was built. After the lavish spending of the 1920s, estate homes built in the 1930s were often more modest and less grand, as can be seen in the subject house.



North elevation of the house. Source: *Town of Oakville Planning Services Staff, 2023*

⁵ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 101

⁶ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

⁷ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 105

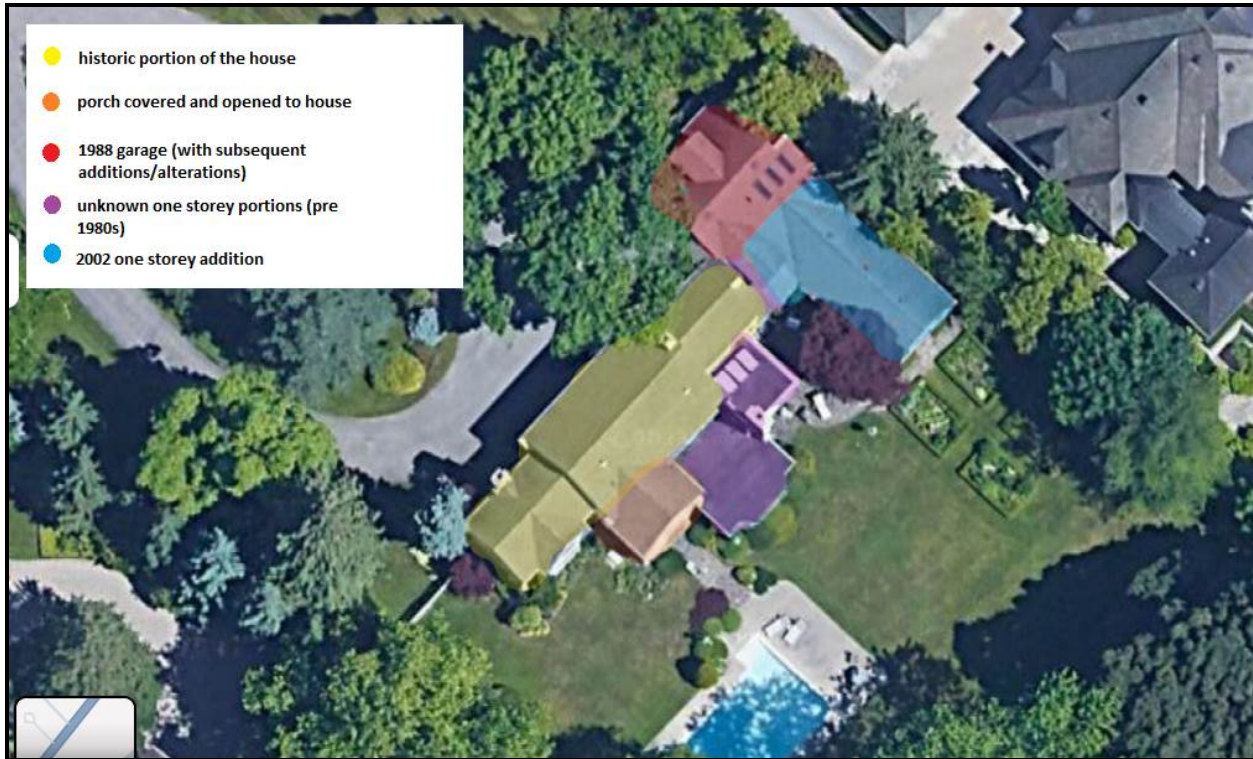


East and west elevations of the house. Source: *Town of Oakville Planning Services Staff, 2023*

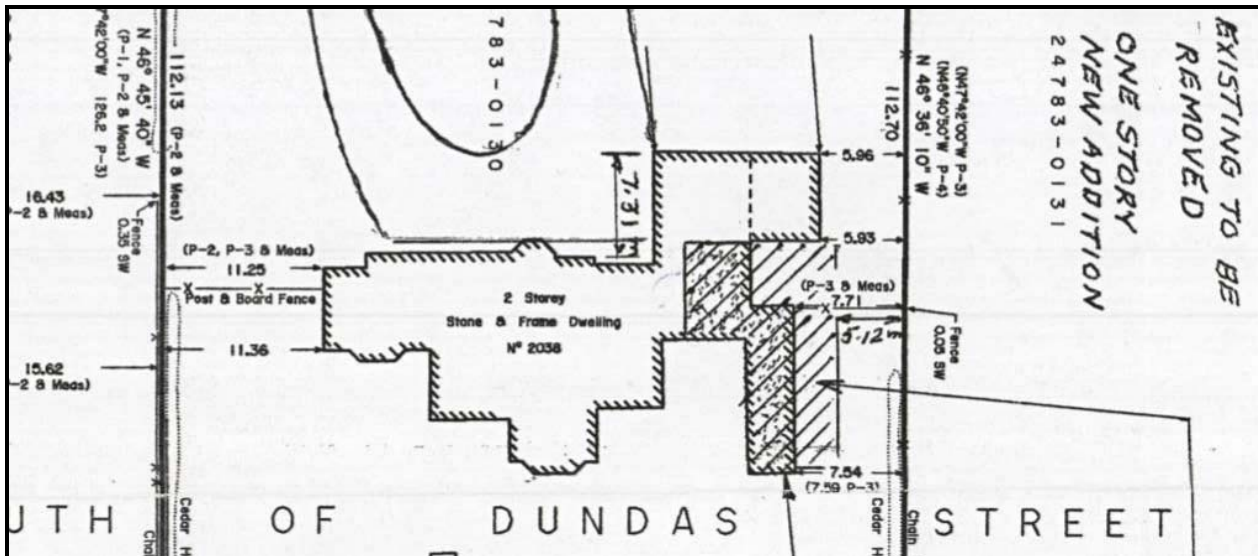


South elevation of the house with its four square kitchen garden. Source: *Town of Oakville Planning Services Staff, 2023*

Below is an image showing the likely changes to the house over time. The yellow highlighted portion is likely the 1927-1929 house. The orange southern portion was once likely an exterior covered porch that was walled in. The purple one storey additions are unknown, but do not seem to appear in a 1960s aerial map (however, it is far away) and they are certainly pre-1980s; the red portion is the 1988 garage that had subsequent alterations; and the blue is the 2002 one storey addition, which also included the demolition of an earlier narrow wing (date unknown). These additions were designed with the Colonial Revival style of the house in mind and do not take away from the heritage appearance of the house, particularly from the north elevation.



A diagram showing the growth of the subject house. Source: Google Maps with staff markups



1997 survey showing the existing to be removed (dark) and the new addition (hatched), as well as the dotted line in the garage that likely showed the 300 square feet that were added to the east side in 1999. Source: Town of Oakville Planning Files



2002 aerial photo of the house showing the earlier narrow portion that was replaced by the one storey addition. *Source: Town of Oakville GIS*

Because of this growth of the house, this report will be focused on the 1936 portion of the house (yellow in the above figure). The historic portion of the house is two storeys and the house plan was originally rectangular. There are smaller wings on both the east and west sides which are likely original.⁸ The roof shape is a medium side gable. The historic portion has two large stone chimneys; one is offset left, and the other is on the exterior of the north elevation, making for an asymmetrical appearance more in line with Arts and Crafts homes. Interestingly, there are no dormers on the original portion of the house. This was sometimes found in Ontario, despite the standard Colonial Revival style having dormers.⁹ The chimney on the north elevation has an inset design.

⁸ It was a common feature of Colonial Revival homes to have these wings, often with windows, like sunrooms that acted as sitting rooms. In this case, they appear to be standard rooms.

⁹ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*.



North elevation showing two chimneys. *Source: Town of Oakville Planning Services Staff*



Chimney on north elevation. Note the possible change of stones halfway up, or perhaps the cleaning of the stones below. *Source: Town of Oakville Planning Services Staff*

The house has a mix of cladding material. The first storey of the house is partially clad in stone veneer on the north elevation; the eastern portion on the north elevation, however, is clad in horizontal aluminum siding the same as the upper storey. The stone appears to be similar to the north facing chimney but appears to be a slightly different colour. There is also a slight bump out on the wing clad in stone veneer with a shingled roof that does not exist on the other wing. Inside the house, it corresponds with a small reading nook. The stone appears to be Credit Valley stone, taken from the nearby Credit Valley. On the south elevation there is a third stone chimney, which would have been a later addition, included as part of the later one storey additions.

The portions of the original house that are clad in aluminum siding may have original wooden horizontal cladding or shingles underneath. The house is noted in the 1997 survey as a stone and frame structure.



North elevation showing stone veneer on one side and not the other. Also note the small stone-clad bump out beside the chimney.
Source: Town of Oakville Planning Services Staff

There is also stone veneer made from Credit Valley stone on the south elevation on what was likely an open-air porch at one point, which will be looked at in more detail later in the report.



Back porch that was likely closed in. The stone here is similar to that at the front of the house. *Source: Town of Oakville Planning Services Staff*

The front entry on the north elevation is a unique element of the house. The front door has a small wooden roof overhang with elaborate wooden detailing. Wooden brackets designed like leaves support the roof and underneath is a carved wreath with an interesting metal beaver above the door. The main door surround is moulded trim and the door itself is uniquely a Dutch door (a door where the top half separately swings out from the bottom) but has been attached back together to form one door. It is an eight-panel door with a repeat pattern of four panels, two being leaded glass windows with semi-circular designs. The door panels line up with panelled wood trim on the inside of the doorway. Two wooden fluted pilasters on either side of the door call back to more elaborate Colonial Revival entrances, which had full pillars often holding up a front porch. This front entry is unique and more subtle than some other Colonial Revival styles and still lends the entrance a grand feeling.



Front entry with two stained glass windows on either side of the front door. The small, covered porch is unique to estate homes in the area. *Source: Town of Oakville Planning Services Staff*



Close up of intricate wooden detailing on the porch roof, as well as the pilasters on either side of the front door and the wooden detailing above the door. *Source: Town of Oakville Planning Services Staff*



Left: Another view of the wooden detailing surrounding the door. Note the metal beaver above the door. The current homeowner said it has been there before they moved in. The semi-circular window design is repeated at the back of the house on what was originally a covered porch. Right: Close-up of the stained glass windows flanking the front door. *Source: Town of Oakville Planning Services Staff*

On either side of the front door are two narrow stained-glass windows. There are one-pane awning windows behind the stained-glass windows on the inside.



Fenestration on the north elevation.

The house's fenestration consists mostly of multipaned sash windows, which are common in Colonial Revival and Arts and Crafts houses. They are mostly 6/6 and 8/8 sash windows and appear to be vinyl replacements. On the north elevation, there is a bay window on the first storey made of three separate windows. The stone veneer extends underneath the window from the west side of the elevation, and the window has a stone sill.



Close up of bay window with stone foundation and stone sill. The windows are vinyl replacements. *Source: Town of Oakville Planning Services Staff*

The three upper windows and one set on the main historic portion have wooden shutters with cut-out shapes of horses on them (upper storey) and horseshoes (lower storey). The builders of the house, Harry and VeNorma MacKendrick, were well-known horse lovers, farmers, and breeders.



Left: Shutters on the first storey with horseshoe cut-out. Right: Shutters on the upper storey with horse head cut-out. *Source: Town of Oakville Planning Services Staff*

The west elevation has a large window with sidelights and elegant wooden moulded trim encasing the window with a decorated entablature. The frieze has unique fan decorations and mini pilasters.



Large window on first storey of west elevation. *Source: Town of Oakville Planning Services Staff*



Close up of the large window's decoration on the west elevation. *Source: Town of Oakville Planning Services Staff*

The south elevation, facing Lake Ontario, has a mixture of window styles and sizes based on the various additions.



South elevation. *Source: Town of Oakville Planning Services Staff*

An interesting feature of the house is two-storey extension on the south elevation. It appears that it may have been a one-storey open covered porch with columns and rounded decorative arches that would have been open to the air. The floor inside is flagstone and the rear entrance doors and windows remain on the inside, with leaded glass windows with semicircular shapes, the same as those in the front door. The ceiling is made of wood, like other exterior covered porches. The upper storey is possibly original or may have been constructed over the porch. It is not known when it was closed in, but no permit exists for it after the 1980s.



View of the closed in porch exterior stone. *Source: Town of Oakville Planning Services Staff*



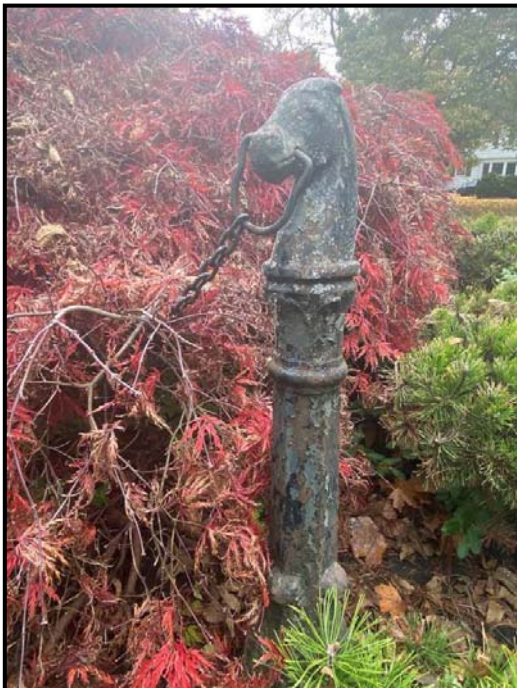
Southern entrance on what was likely an open air covered porch, with a flagstone path and step. *Source: Town of Oakville Planning Services Staff*



Interior view of the covered porch. Note the double doors and windows with the same window design as the front door and the flagstone floor. The current owner said the swing was there since they moved in in 1998 and resembles an exterior swing. *Source: Town of Oakville Planning Services Staff*



A photo showing the columns from the inside, which are also stone, similar to the front of the house and the exterior of this section. This is a likely indicator that it used to be outside of the house. *Source: Town of Oakville Planning Services Staff*



The large southeast corner of the home is a 2002 addition. A portion of the home was demolished, as previously noted in the 1997 survey, but it is not clear if that portion—a narrow section—was original or, more likely, an earlier addition, perhaps for storage.

Another unique element of the property is at the front of the yard when you enter the property. Centered in the circular driveway are metal pillars with horse heads on the top and a chain running through them as a decorative entry element. Considering the shutters also have horses on them, it may be possible that these posts were added by the MacKendricks when they owned it, but again, it is unknown.

Close-up of one of the metal horse pillars. *Source: Town of Oakville Planning Services Staff*



Images showing the small horse fence. Other posts are hidden underneath. *Source: Town of Oakville Planning Services Staff*



Circular driveway with the horse pillars/gate in the centre. *Source: Town of Oakville Planning Services Staff*

Another interesting element of the property at large is the fence, with stone footing and columns, and wooden boards. It runs the length of the property as it was configured starting in approximately 1950 and may be from that time period. The house also has a circular driveway, which is likely from the construction of the house in this location in 1936.



Images showing the fence along Lakeshore Road East. *Source: Town of Oakville Planning Services Staff*



View of the lake from the backyard. *Source: Town of Oakville Planning Services Staff*

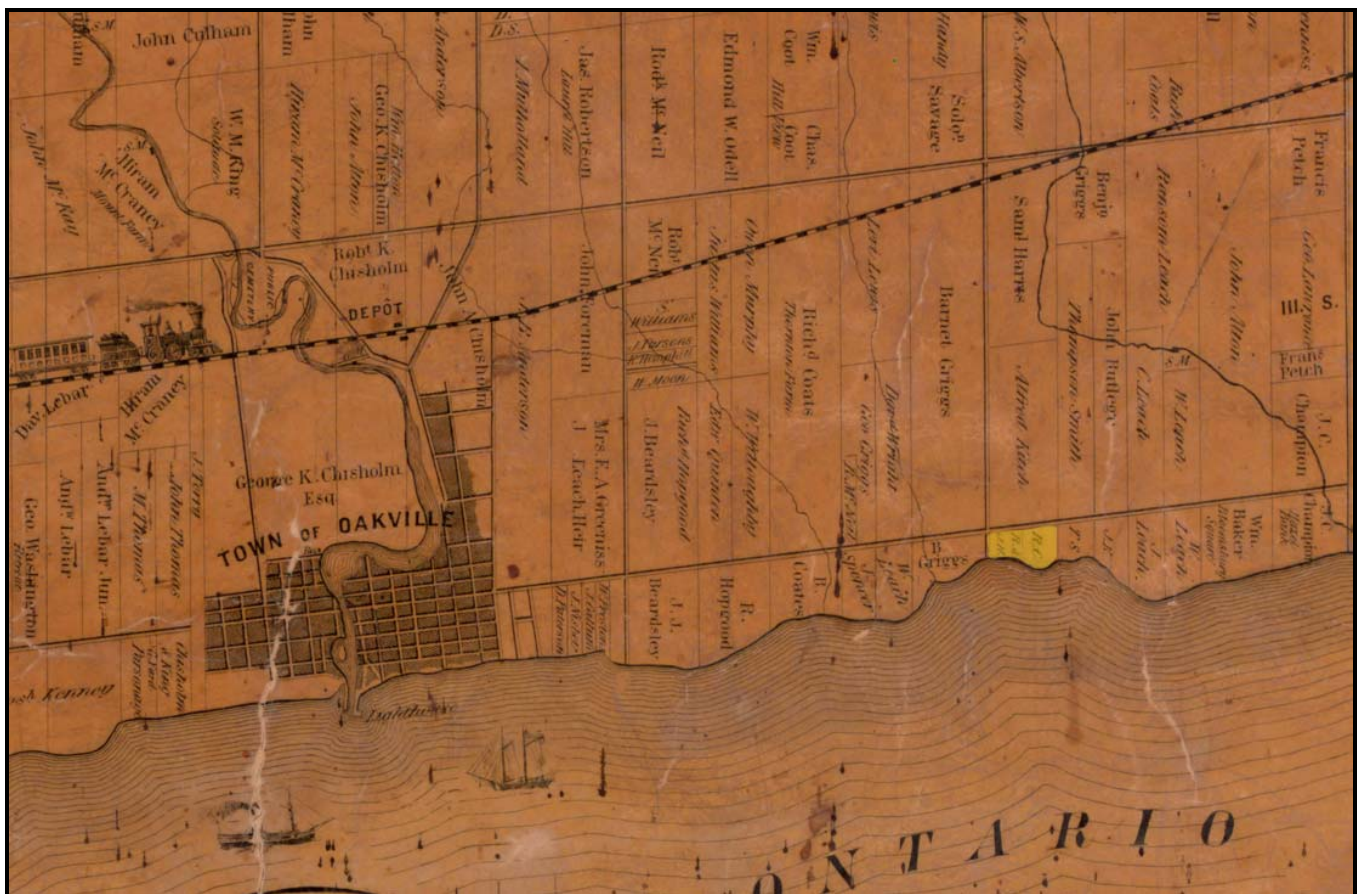
In summary, the subject property has design value as a representative vernacular house in the Colonial Revival style with Arts and Crafts influences. While the house has had some additions, it still retains its historic form and details, particularly from the street, adding to the streetscape. The historic portion of the house has the rectangular shape of most Colonial Revival style homes with large chimneys. Interestingly, the door is not centered. This may be more of an Arts and Crafts influence, along with the mix of cladding using some natural elements such as stone, and the wooden porch with wooden brackets. However, its intricate wooden detailing and pilasters calls back to a Colonial Revival style.

This mix of styles and elements together form an estate house that is elegant with well-made craftsmanship details that convey the owners' wealth, while also remaining modest and reflective of the more restrained era of the 1930s.

Historical and Associative Value

The home at 2038 Lakeshore Road East is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and a strip of land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.¹⁰ The subject property is in the territory of Treaty No. 14.¹¹

The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding “about 20,000” acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.¹²



George Tremaine’s “County of Halton” survey, 1858, with Lot 5, Concession 4 SDS highlighted in yellow. Note that the lot was split roughly in half (and then again into thirds) fairly early on. *Source: University of Toronto*

Below is a summary of the owners of the property from the Crown patent to the current owners. Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be

¹⁰ Debwevin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

¹¹ 1806 Wilmot Survey; Mississaugas of the Credit GIS Treaty Map

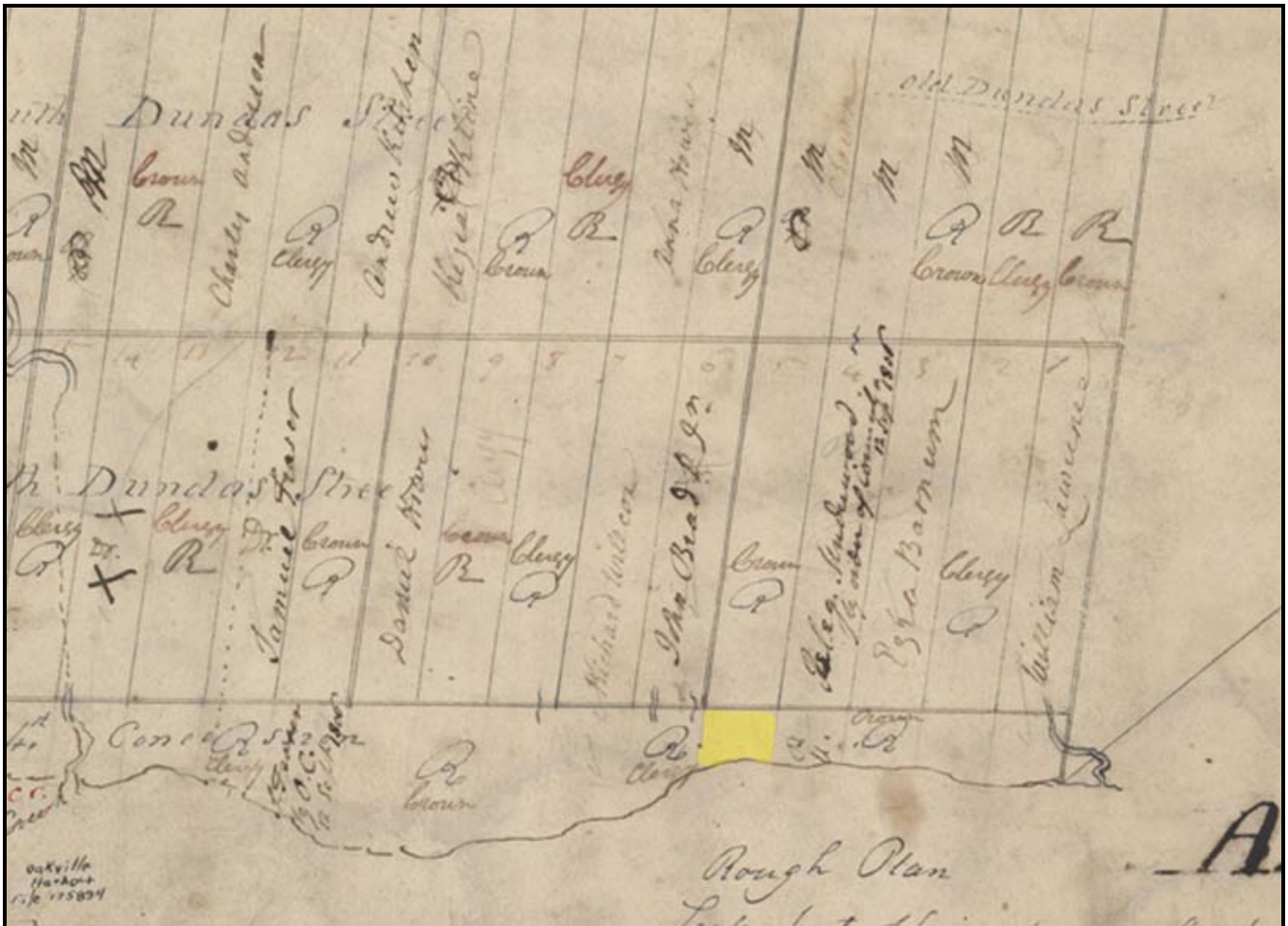
¹² Debwevin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10

discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property's building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period.

Name of Owner(s)	Acreage or Lot	Years of Ownership
Crown	Lot 5	1806-1839
Richard Coates Sr.	All	1839-1854 and 1856 (splits)
Elizabeth Coates Lusty	"10 acres in westerly ½"	1856
Robert Hughes	"Westerly ½"	1856-1868
Alfred Kitchen and wife	"East ½ of Westerly ½"	1868-1869
Lawrence O'Neil	"East ½ of Westerly ½"	1869-1870
Rober L. Paterson and wife	"East ½ of Westerly ½"	1870
James B. Morrison	"East ½ of Westerly ½"	1870-1875
William A. Orr	"East ½ of Westerly ½"	1875-1880
Mary Anne Caroline Lewis and Isaac Lewis	"East ½ of Westerly ½"	1880-1882
David Robinson Kennedy	Ibid	1882-1884
George Hallen (sp)	Ibid	1884-1888
William E. Allen	Ibid	1888-1890
Catherine Milligard (sp)	Ibid	1890
Elizabeth Rogers, wife of John Rogers	Ibid	1890-1893
William R. Parker	Ibid	1893-1894
Thomas O'Brian	Ibid	1894-1896
James Henry Mitcheson	Ibid	1896-1905
James Alexander Carstairs	Ibid	1905-1906
William Sinclair Davis	Ibid	1906
Harry Ryrie	9 1/9 acres (part of lot 5)	1906-1908
Donald Henry McLean	Ibid	1908-1915
John James Vaughan	"Part of lot 5"	1915-1929
James H. Winnett (Wynnett)	"Part of lot 5, water lot"	1929-1934
VeNorma MacKendrick, married woman, and Louis De Graff (father)	"Part of lot 5. Also all right to land in front now covered with water. To hold as joint tenants."	1934-1943
VeNorma MacKendrick	Part of lot 5	1943-1950
VeNorma MacKendrick and husband William Harry MacKendrick	Part lot 5, concession 4 SDS	1950-1971
Wanita Smyth to the MacKendricks	Part of lot 5	1950-1971—purchased together by MacKendricks in 1950, making the present day lot.
Constance Dorian	Part lot 5, concession 4 SDS	1971-1998
Current owners	Part lot 5, concession 4 SDS	1998-present

The house is situated on what was historically Lot 5, Concession 4 South of Dundas Street. In 1839, the Crown granted Lot 5 to Richard Coates Senior. Coates was a well-known musician, painter, organ builder, and sawmill owner in the Oakville area. In 1831 he moved from Toronto to east of Oakville, where he set up a water-powered sawmill and threshing mill (Lots 8 in Concession 3 and 4 SDS).¹³ He and his sons operated the business until he had to move due to the economic depression in the 1860s.¹⁴

He split Lot 5 in half by selling the east half to his son, Richard Coates Jr., and the west half to his daughter, Elizabeth (Coates) Lusty. The west half was further divided by her when she sold it and it remained generally the same into the 1900s.¹⁵



1806 Wilmot Survey map, showing the historic lot highlighted in yellow. It was owned by the Crown at this time. Source: 1806 Wilmot Survey

¹³ Kallman, Helmut, Dictionary of Canadian Biography, "Richard Coates", http://www.biographi.ca/en/bio/coates_richard_9E.html

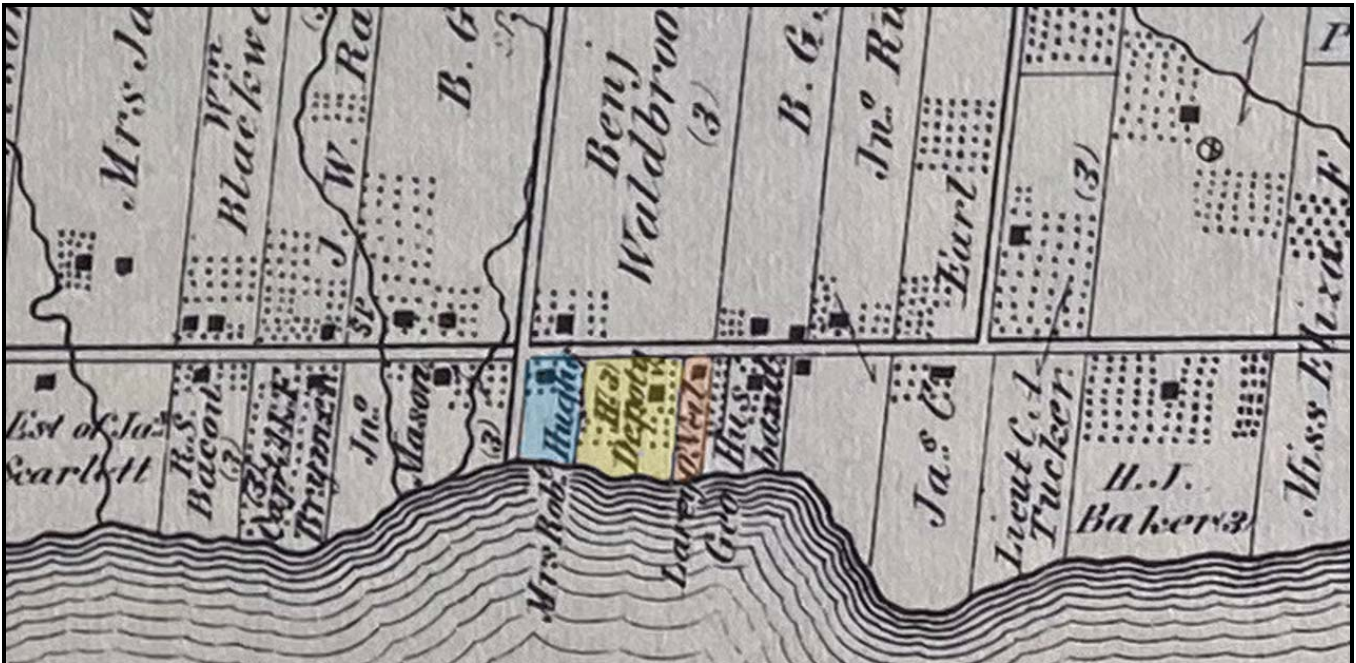
¹⁴ Ibid.

¹⁵ According to land registry abstract, in the 1900s various sales were made between Follett and McLean between the two western halves, and later on in the 1940s and 1950s with James Winnett and Wanita Smyth. It is unclear where the boundaries were and instruments have not come in.



1858 Tremaine Survey highlighting the western half of Lot 5, Concession 4 SDS, owned by Robert Hughes at the time. The subject property is in the eastern half of the western half. Source: 1858 Tremaine Survey

Based on land registry documents, the lot kept to the same general boundaries mentioned above. There was a small sale of two acres on the eastern portion, originally to Alfred Kitchen (who owned land north of the highway in Concession 3),¹⁶ but otherwise it appears the property boundaries remained generally the shape below.



1877 map showing the divide of lot 5 that stayed generally the same into the 1900s. Source: 1977 Township of Trafalgar Map, Town of Oakville

¹⁶ LRO Instrument 694E, being a Bill and Sale, dated December 1, 1863, between Samuel Kirkoff and wife and Alfred Kitchen for 2 acres, "part of easterly ½"

The western portion (blue) was owned by Robert Hughes at this time; the orange portion (eastern “half”) was owned by Lawrence O’Neil, who had previously owned all the yellow land as well (the orange is approximately two acres).¹⁷ The yellow land, consisting of the “easterly ½ of the westerly ½” and “10 acres” in the eastern half was owned by William A. Orr at the time but appeared to be rented out to an H. Depoty, likely for farming.¹⁸

We can see that there were three structures (likely houses) in 1877; this stayed the same into the 1900s, although it fluctuated between two and three.¹⁹

The land was sold through many people in the 1800s. James B. Morrison, one of the Morrison brothers who ran a successful cattle and butchery business, owned the subject property from 1870-1875. William A. Orr owned it from 1875-1880 but appeared to rent it out.²⁰ Then it was sold every few years to multiple owners. When the Rogers owned it in 1891, the census states that they lived in a wooden two-storey house.²¹ If we go by the earlier historic maps, this house appears to be closer to the road and more toward the northeast corner of the estate at the time than the current house, and is likely the structure residents lived in until the land was split and the MacKendricks built this house.

The property went through several more owners over the next several decades. After the turn of the century, it was purchased by William Sinclair Davis, a well-known and active real estate agent based in Oakville. He was the land agent in charge of subdividing and selling off the Brantwood neighbourhood in Oakville several years later. He sold approximately 10 acres of the subject property land to Harry Ryrie, the son of James Ryrie, the wealthy jeweller whose offices were in Toronto, but whose grand estate, Edgemere, was located just west down the road.²² Ryrie owned the land for two years and then sold it to Donald (D.H.) McLean.²³

D.H. McLean was a well-known businessman from Toronto; he had worked many years at R.G. McLean Printers, which was owned and operated by his brother, Robert Grant McLean. McLean would have been around 60 when he purchased the property. His obituary notes him as an Oakville farmer.²⁴ McLean was listed as living in an approximately \$800 house on the property, and on maps from the time is still the older structure in the northeast corner.²⁵

In 1915, McLean sold the estate to J.J. Vaughan in 1915 who owned the grounds from 1915 until 1929 and used it as a summer residence. He likely remodeled the older farmhouse, as the value of the buildings increased from \$800 to \$3000 over the course of several years. Vaughan also hired Harries & Hall, well-known and respected landscape architects and city planners, to work on his Oakville estate. They listed some of the works done for him as: “arrangement for plantings, sewage, disposal and shore protection, construction work.”²⁶ There is no

¹⁷ LRO Instrument 314F, being a Bill and Sale, dated December 27, 1856, between Elizabeth Lusty and Robert Hughes for 10 acres “westerly ½”; LRO 376F, being a Bill and Sale, dated March 23, 1868, between Helen Birge, widow, and Lawrence O’Neil for 10 acres in the east ½ (except 2 acres) for the whole easterly half but sold the west portion—LRO Instrument 405G, being a bill and Sale, dated April 22, 1870, between Lawrence O’Neil and wife and Robert L. Paterson and then he buys the 2 acres from Alfred Kitchen several months later (466G, Bill and Sale, Sept 16, 1870).

¹⁸ LRO Instrument 1641K, being a Bill and Sale, dated January 13, 1875, between James B. Morrison and William A. Orr for “E ½ of W ½” and “easterly ½ except 2 acres”

¹⁹ 1910, 1919 Township of Trafalgar assessment rolls

²⁰ 1877 Township of Trafalgar map

²¹ 1891 Census of Canada

²² LRO Instrument 8959 Y, being a Bill and Sale, dated November 9, 1906, between William Sinclair Davis and wife and Harry Ryrie, for 9 1/9 acres for \$5000.

²³ LRO Instrument 9492, being a Bill and Sale, dated September 24, 1908, between Harry Ryrie and wife and Donald Henry McLean. For 9 1/9 acres for \$7,700.

²⁴ *The Globe*, “Donald H. M’Lean dies in Toronto”, August 8, 1917, pg. 9

²⁵ 1910 assessment roll, no assessment rolls exist for Trafalgar Township between 1900 and 1910.

²⁶ Archives of Ontario, “Harries & Hall fonds”, conversation with archivist.

mention or plans of where on the estate this work took place but these changes were likely removed after the MacKendricks built the current house in the 1930s.

J.J. Vaughan, also known as John James Vaughan, was well-known as the Vice-President of of the T. Eaton Company in Toronto and an active member of Toronto high society. He retired in 1942 and became a director at the Bank of Toronto (TD Bank).²⁷ He was a founding member of the Art Gallery of Toronto (now the Art Gallery of Ontario), and participated in many associations. When Vaughan retired, he had been a major behind-the-scenes figure in the company's growth from one store on Yonge Street into a network of stores that had become the largest department store business in what was then the British Empire.²⁸ The Vaughans were one of the "wealthiest and most celebrated families of Toronto"²⁹.



Left: Eaton's College Street Store, circa 1930. Vaughan was integral in this first Eaton's expansion and management of the store. *Source: Archives of Ontario.* Right: J.J. Vaughan. *J.J. Vaughan. Source: Globe and Mail*

Vaughan sold the estate in 1929 to James H. Winnett. In the 1931 census, it shows Winnett living in a stone house on the property, with six rooms and worth approximately \$5,000. However, in the assessment rolls it's around \$3,000 in value.³⁰ ³¹ In different documents, Winnett is identified as a manager, a manufacturer,³² an insurance broker, and owner of a sports equipment company.³³ In 1957, he donated the funds and land to open a branch of the Faith Baptist Church (later Winnett Memorial Church) in southeast Oakville.³⁴ Winnett owned all of the estate for five years, then split the land into two plots. He sold the western portion (where the current house is located) to VeNorma MacKendrick and her father, Louis De Graff, in 1934.³⁵ De Graff had purchased

²⁷ *The Globe and Mail*, "John J. Vaughan: Ex-Eaton's official active in community", October 24, 1963, pg. 1

²⁸ *Ibid.*

²⁹ *Toronto Star*, "The house that Vaughan built", October 9, 1982, pg. G14.

³⁰ 1931 Census of Canada

³¹ Oakville Public Library, 1934 Assessment Roll, Township of Trafalgar

³² 1921 and 1931 Census of Canada

³³ *Toronto Star*, "Battling Baptists", August 27, 1966, pg. 57

³⁴ *Daily Journal-Record*, "Winnett Memorial", December 11, 1965, pg. 2

³⁵ LRO instrument 18150 G, being a Grant, dated August 17, 1934, between James J Winnette and wife and VeNorma D MacKendrick, married woman, and Louis De Graff, for \$9,500, "part of lot 5".

“Edgemere”, the Ryrie estate down the road, in 1928.³⁶ Winnett sold the eastern portion to Wanita Smyth in 1948.³⁷

VeNorma MacKendrick (1910-1983) was married to William Albert MacKendrick (1906-1989), who went by Harry. Harry was the third son of Colonel William G. MacKendrick, the owner and designer of the former Oakville estate Chestnut Point, now known as Gairloch Gardens.³⁸ Col. MacKendrick was a Toronto businessman and Manager of the Warren Paving Company until he retired to his Oakville estate³⁹ where he also had a farm known as Chestnut Jersey Farm.⁴⁰⁴¹



1938 topographic map showing the likely house as the red structure south of the letter “S”. Source: Department of National Defense

William Harry MacKendrick went to Guelph’s Ontario Agricultural College and graduated in 1929.⁴² He married VeNorma De Graff in 1933, the daughter of Louis De Graff.⁴³ The two lived at Edgemere Estate after they were married. VeNorma and her father then purchased part of Lot 5 from James Winnett in 1934. Her father then exited the agreement in the 1940s, and VeNorma and William Harry became joint tenants in 1950.⁴⁴ They also purchased a small piece east of the property from the original estate from Wanita Smyth, most likely creating the lot boundary of today.⁴⁵ Smyth’s remaining portion of the previous estate was sold to Louis Victor Wright in 1955, who sold it to a developer in 1962.⁴⁶

³⁶ *The Globe*, “James Ryrie Estate is sold in Oakville”, July 12, 1928, pg. 13

³⁷ LRO Instrument 22749L, being a Grant, dated June 28, 1948, between James Winnett and wife and Wanita Eileen Smyth, for \$2,500 “part of lot 5”

³⁸ Town of Oakville, “Cultural Heritage Landscape Strategy Implementation -- Phase Two: Cultural Heritage Evaluation Report, <https://www.oakville.ca/getmedia/c090e4ac-e4dd-47a0-abe6-e9607858db61/planning-chl-phase-2-gairloch.pdf>, pg. 11-12

³⁹ *Toronto Daily Star*, “Additions to John Inglis Company’s board of directors”, Saturday, January 13, 1940, pg. 9; *Paving the Way to Paradise*, by Teresa Casas, <https://backtothepark.files.wordpress.com/2014/06/paving-word-june-28-2014.pdf>

⁴⁰ OnLand, LRO Abstracts, Concession 3, Lots 7 and 8.

⁴¹ *Paving the Way to Paradise: W.G. MacKendrick, William James, and the Interconnected Development of Parks, Subdivisions and Estates in Toronto and Oakville*, by Teresa Casas, <https://backtothepark.files.wordpress.com/2014/06/paving-word-june-28-2014.pdf>, pg. 127

⁴² *Ontario Agriculture College Review*, Vol. XLII, No. 4, Guelph, December, 1929. pg. 219, lists him as a 1929 alumnus.

⁴³ *The Globe*, “Interesting Engagement”, august 10, 1933, pg. 8

⁴⁴ LRO instrument 18150 G, being a Grant, dated August 17, 1934, between James J Winnette and wife and VeNorma D MacKendrick, married woman, and Louis De Graff, for \$9,500, “part of lot 5”.

⁴⁵ LRO Instrument 24523M, being a grant, dated July 14, 1950, between Wanita Eileen Smyth, married woman, and William MacKendrick and VeNorma his wife as joint tenants.

⁴⁶ LRO Instrument 41335, being a Grant, dated September 6, 1955, between Wanita Eileen Smyth and Louis Victor Wright; LRO Instrument 13641 being a Grant, dated March 19, 1962, between Louis Victor Wright and North American Properties and Securities Ltd.

After VeNorma and her father purchased the property in 1934, the assessed value of their property was \$1,100, with no building listed. This indicates the MacKendricks likely demolished the old farmhouse and built the subject house. In the 1937 assessment roll, there was a building on the lot worth \$5,000.⁴⁷ While the 1936 assessment roll is missing for this location, the 1936 collector's roll indicates that the house was built that year.⁴⁸



1933 marriage announcement between Harry MacKendrick and VeNorma De Graff. Source: *Globe and Mail*

VeNorma was a well-respected horse rider and won many awards, particularly for jumping.⁴⁹ At the entrance to 2038 Lakeshore Road East are metal posts with horse heads and some of the wooden shutters have horse-related designs; it is possible these were installed during the MacKendrick's tenure. VeNorma was also an animal lover and wrote letters to the editor of the *Oakville-Trafalgar Journal* and *The Globe and Mail* regarding animal cruelty and also helped to run the local animal shelter.⁵⁰ The two also raised boxers for competitions.⁵¹

⁴⁷ Oakville Public Library, 1934, 1935, 1937 assessment roll, and 1936 collector's roll.

⁴⁸ Oakville Public Library, 1936 collector's roll, has real property totaling \$6,100 and parcel value at \$1,100.

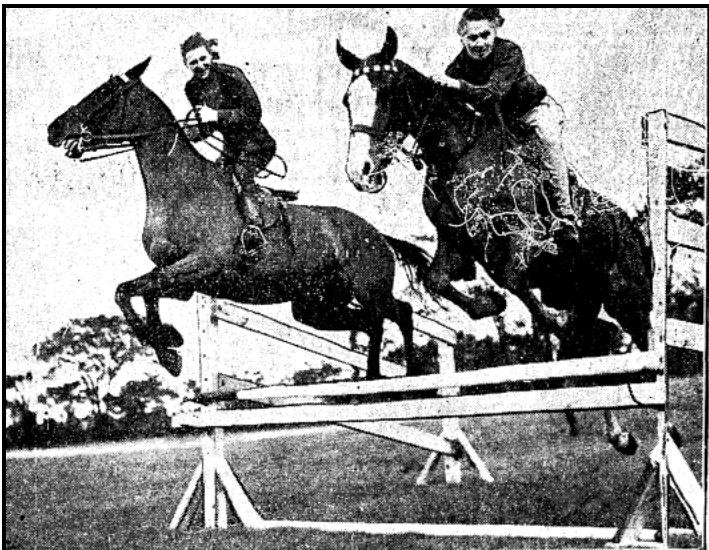
⁴⁹ See images below; *The Toronto Daily Star*, "Riding, polo club have merry meet", September 23, 1935.

⁵⁰ *The Globe and Mail*, "Fair play for horses", December 12, 1949, pg. 6; *Oakville-Trafalgar Journal*, "Letters to the Editor", March 8, 1951, pg. 11

⁵¹ *Our Ontario*, "Mrs. MacKendrick and Boxer, September 3, 1949", [Mrs. MacKendrick and Boxer, September 2, 1949: Whitby Digital Newspaper Collection \(vitacollections.ca\)](https://www.vitacollections.ca/our-ontario/mrs-mackendrick-and-boxer-september-3-1949)

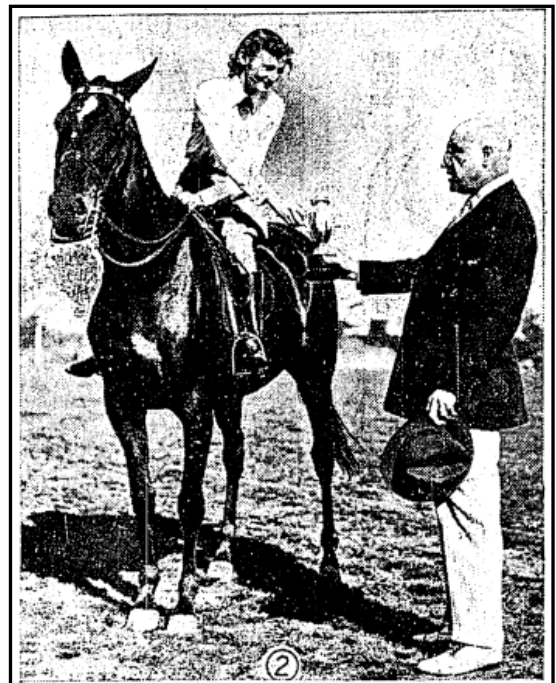


VeNorma and one of their boxer dogs at a competition in Whitby. Source: *Our Ontario*, Marjorie Ruddy, photographer



LADY RIDERS GO OVER THE JUMPS TOGETHER

Graceful and smooth was the pair jumping of Mrs. W. M. Cox (LEFT) and Mrs. Harry MacKendrick. The events are being held in a perfect setting at Glencairn Farm. Seven-year-old Billy Gregg made a hit at yesterday's practice taking the jumps on his pony and trying his hand at polo. Jean and Michael Beatty, six and eight years old, were among the young riders of ability. This is the annual event of the Oakville fall riding season. Other fall rides include treasure hunts, peanut hunts and cross country runs. The club has many miles of the most beautiful trails in Toronto district.



Left: VeNorma MacKendrick jumps on her horse. Right: VeNorma received an award from Colonel H.C. Cox for her win in jumping trials under hunting conditions on her horse, Flash, 1936. Sources: *Toronto Star*

William Harry took over Chestnut Point Farm from his father, and it was also known as Chestnut Point Poultry Ranch during his ownership.⁵² A two-storey barn on the farm burned down in 1934.⁵³ He also helped his father run an alfalfa drying plant in the area. The MacKendricks were obviously busy and active farmers and business people in the township.

⁵² *Oakville-Trafalgar Journal*, "Judith wins", November 23, 1950, pg. 1; *Oakville-Trafalgar Journal*, "Talking turkey", April 13, 1950, pg. 1

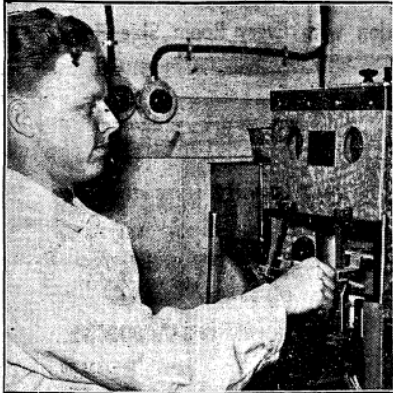
⁵³ *Toronto Daily Star*, "Woman risks own life, saves pigs from fire", April 29, 1942, pg. 8. It is not clear where exactly the farm was, but considering W.G. also ran it, it is unlikely it was on the subject property estate (it operated before their purchase of the land in 1934). It is noted in the Gairloch Gardens CHL report that the farm was 350 acres "north of the subject property". According to land registry documents, he purchased land in Concession 3 north of his property. It is possible this land is where they had the farm.

DEHYDRATING PROCESS "IMPRISONS" VITAMIN A IN ALFALFA



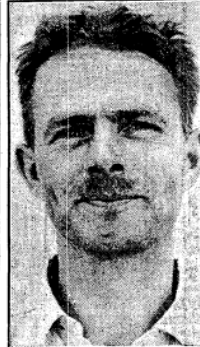
NEW PROCESS

A new alfalfa dehydrating plant, owned by Col. William MacKendrick and managed by his son, Harry, is working night and day in Trafalgar township during the alfalfa harvesting. The device (UPPER LEFT) to load the alfalfa from the field to the truck, is typical of the modern and scientific machinery used in the harvest. In (UPPER CENTRE) Archie Ewing is at the plant's feeder and cutting box, where the alfalfa begins its journey through the dehydrating factory.



IT EATS UP EIGHT TONS OF FUEL DAILY

The MacKendricks' new process has speeded up cutting, handling and shipping of alfalfa. The dehydrating plant is expected to result in a product that will contain more vitamin A than the alfalfa which "weathers" in the fields in the ordinary way, and loses much of the vitamin content. Albert Nimey (UPPER RIGHT) is fireman at the plant. When the heat reaches 275 degrees Fahrenheit, an automatic bell rings to warn the fireman to keep his fire below that point. About eight tons of anthracite are used daily. Roy Rosewell, analytical chemist and O.A.C. graduate (LOWER LEFT), makes a moisture test on the alfalfa in the laboratory.



MANAGER

Harry MacKendrick is the hard-working manager of the dehydrating plant. He is on hand day and night to supervise operations. In the first 72 hours of the factory's operation, Harry slept only 12 hours.

IF AID TO BE REPAYD SEES FEWER WORKING

Collection Threat Won't Encourage Search for Jobs Thinks Councillor

"If relief allowances were made collectible debts there would be no encouragement whatsoever for a recipient to look for a job," declared Councillor James Wilson, Communist member of Scarborough council today. He was commenting on the statement of Hon. Eric Cross that "if Toronto experiences any difficulty in collecting the refund of relief money advanced to any of these winners (Millar will) the Ontario government will consider legislation making relief allowances collectible debts."

RETAINS DISEASE-FIGHTER

Within an hour from the time the grain is taken from the field, the plant machinery has transformed it into a fine and smooth

MARK
URGES CO-OPER TO INCREASE

Images from an article in the *Toronto Daily Star* about the MacKendrick's alfalfa plant, which was likely located on the MacKendrick farm property north of Gairloch Gardens.⁵⁴ A photo of Harry can be seen at the bottom right. *Source: Toronto Daily Star*



1959 aerial photo showing the approximate subject property. The circular driveway is still present today. *Source: McMaster University*

⁵⁴ LRO Instrument, 25650M, being a Quit Claim Deed, dated 1951, between William Gordon MacKendrick and Canada Dehydrated Alfalfa Limited, part lot 7.

WOMAN RISKS OWN LIFE SAVES PIGS FROM FIRE

Two-Storey Barn Destroyed
Despite Efforts of Two
Brigades

SAVE MACHINERY

Oakville, April 29—Despite terrific heat and flames, Mrs. Andrew McCudden endangered her life yesterday saving 36 head of livestock. She is the wife of a farm foreman at Chestnut Jersey farms, owned by Harry MacKendrick. A two-storey barn was destroyed, but several farm implements were saved by combined efforts of Trafalgar and Bronte fire brigades.

The cause of the fire was unknown and damage was not estimated. Many bags of feed were lost.

Informed by her six-year-old son, Bobby, that smoke was pouring from the barn, Mrs. McCudden ran from her home to save the livestock. "When I entered the barn, a great wall of flame was at the west portion of the building, and the heat was terrible," Mrs. McCudden related. "I opened the door where the flames were bad, and managed to drive the pigs right through the fire and heat into the field.

"There wasn't much difficulty getting the small pigs to safety, but three large sows were very stubborn," she said. "I guess I just didn't think of my own safety, for I was so excited and worried about the animals," she declared.

As soon as Mrs. McCudden was sure all the livestock was saved, she made several trips from the house to the blazing building carry-

NEW TOWN HALL DUNBARTON GOAL

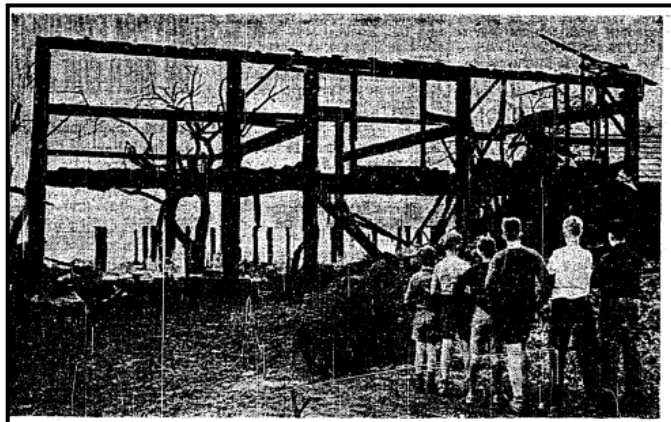
Dunbarton, April 29—Erection of a town hall is the first project under consideration by a citizens' committee which decided to apply at once for immediate incorporation of Dunbarton as a police village. Before recent industrial development the community had a population of only 300. Two prizes await students proposing the best names for the committee, Chairman Norman Littleford announced today. The salvage campaign, just completed by the group, raised \$75 for war work and community service, he said.

ing pails of water. Her efforts to quell the blaze were in vain and within a few minutes the entire barn was enveloped in flames. A herdsman, A. Wheeler, saw the fire and called his daughter, Jean. She sent in the alarm to the Trafalgar brigade.

When firemen arrived under Chief George Wright, they found their 1,000 feet of hose was not long enough to reach the fire. In response to a call, Bronte firemen, under Chief Freeman Bray, coupled an additional 600 feet of hose in time to save two other buildings.

Attracted by fire and smoke, other estate workers, with the owner, saved farm machinery from two adjacent buildings.

"I consider Mrs. McCudden's act a great feat of bravery and she certainly deserves a great deal of credit for her courage," Mr. MacKendrick declared.



FIRE RAZES BARN

A large, two-storey barn on the farm of Harry MacKendrick, Lakeshore Rd., Oakville, was destroyed by fire of undetermined origin, yesterday. Trafalgar and Bronte fire brigades, coupled hose lines from both trucks to bring water from a hydrant a third of a mile away and moved valuable farm machinery from two adjacent buildings.



HOUSEWIFE RISKS LIFE SAVING LIVESTOCK

Informed by her six-year-old son yesterday that smoke was pouring from a large, two-storey barn on the farm of Harry MacKendrick, Oakville, Mrs. Andrew McCudden rushed into the blazing building and saved 36 head of livestock. Mrs. McCudden told The Star she was too much concerned about the animals to worry about herself. She is shown on the left. Gordon Johnson, centre, and Bill MacKendrick, right, helped other farm workers rush large quantities of farm machinery from two adjacent buildings saved by Trafalgar and Bronte fire brigades.

**'BLOOD BANKS' HAVE
A VERY REAL VALUE**

Glendening Foresees the Time
When They Will Be
Everywhere Available

ONE ARMY'S PLAN

Article from 1934 describing the barn fire at the MacKendrick's barn. However, it likely occurred on the Chestnut Farm property, which does not appear to be the subject property but nearby. Source: *Toronto Daily Star*

Harry and VeNorma sold their house in 1971 to Constance Dorian. VeNorma died in 1983, and Harry in 1989. Constance Dorian owned the house until 1998, when the current owners purchased it.

Contextual Value

The MacKendrick House is important in defining, maintaining and supporting the character of the local area. The property is one of the few remaining historic estates located on Lakeshore Road along the waterfront and contributes to the streetscape along this part of Lakeshore Road, which is characterized by large lots and homes and significant vegetation. The houses in this area range in age and architectural style, some dating to the 1950s and 60s (the eastern and northwest portion of the historic estate) and others from the 1990s (the houses just west of the subject property).

The subject property is physically, functionally, visually, and historically linked to its surroundings. This house, while most likely not the original on the grounds, was built in the early 1900s as the area was transitioning from a farming region to more of a wealthy lakeside estate component of Trafalgar Township and the Town of Oakville. Well to-do businesspeople from Toronto and abroad were purchasing pieces of land near Oakville on the lakeshore and transitioning them from farmland to estates. This subject property is an example of this important shift in Oakville; these families and the related tourism became economic drivers in Oakville. While the other older estate houses on this historic Lot 5 have been demolished, this house is likely the last remaining one and is an important anchor point to the history of the area.



Looking east on Lakeshore Road East with the subject property on the right, 2023. Note its large tree canopy, most likely left growing from previous estates owners, as well as the old fence and columns. *Source: Town of Oakville Planning Services Staff*



Looking west on Lakeshore Road East, 2021. Old pine trees are visible at this corner. The house was set back from the road for further privacy. *Source: Town of Oakville Planning Services Staff*



View of Lake Ontario from the backyard, 2023. *Source: Town of Oakville Planning Services Staff*



Bench and large tree in backyard near the waterfront, 2023. *Source: Town of Oakville Planning Services Staff*

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative, or early example of a style, type, expression, material or construction method;	The property is a representative vernacular example of a Colonial Revival style house with Arts and Crafts influences.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship or artistic merit.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;	As a former estate house, it is associated with the theme of development of wealthy lakeshore estates in Oakville and with its previous prominent owners, including the MacKendrick family, who built the house and were important local business people.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	The house does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist significant to the community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The subject house is important in defining the character of the area. The area still retains historic the house, which acts as an important anchor to the neighbourhood's past as the beginning of a lakefront estate neighbourhood.	Y
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is historically linked to its surroundings. It remains on its historical grounds, is the oldest house in the historic lot, and contributes to the understanding of the local history, specifically early Oakville, Trafalgar Township, and Oakville's historic lakeshore estates.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 2038 Lakeshore Road East is located on the south side of Lakeshore Road East, between Maple Grove Drive and Charnwood Drive. The property contains a circa 1936 vernacular Colonial Revival style house with Arts and Crafts influences known as the MacKendrick House.

Design Value or Physical Value:

The MacKendrick House has design value as a representative example of a vernacular Colonial Revival style home with Arts and Crafts influences from the early 1900s. While the building has evolved over time and has had numerous additions constructed onto the main house, it still retains the main Colonial Revival structure and many of its original features. Heritage attributes that define the Colonial Revival style include: the massing of the historic two-storey portion of the house; the gable roof with minimal roof overhang; the use of 6/6 and 8/8 sash windows; and the front entrance with detailed roof overhang and decorative door surround with Colonial style pilasters. Heritage attributes that define the Arts and Crafts era include: the mix of stone veneer and wood cladding; the original stone chimneys; the mix of windows including bay windows, sash windows and stained glass windows; and the back porch that was once open air with its stone construction and arched windows. Together these architectural elements contribute to a good example of a 1930s estate house with an elegant but modest aesthetic.

Historical Value or Associative Value:

The MacKendrick House has cultural heritage value for its associations with some of the early wealthy families of the Oakville and Trafalgar Township area. The original estate started out as farmland, and the later subject house is important in Oakville's history as the property transitioned from a larger farm into a lakeshore estate, a significant theme of development in Oakville in the late 1800s into the mid-1900s. Estates along the lakeshore, including the MacKendrick House, shaped many physical aspects of Oakville today. The town's unindustrialized lakeshore can be linked to the existence of these significant and wealthy estates extending to the waterfront. The property also has cultural heritage value for its direct associations with its notable Oakville residents, such Harry and VeNorma MacKendrick, who not only contributed to the property and surrounding area, but to the development of the town as well.

Contextual Value:

The MacKendrick House is important in defining, maintaining and supporting the character of the local area. The property is one of the few remaining historic estates located on Lakeshore Road along the waterfront and contributes to the streetscape along this part of Lakeshore Road, which is characterized by large lots and homes and significant vegetation. The property is physically, functionally, visually, and historically linked to its surroundings. This house was built in the early 1900s as the area was transitioning from a farming region to more of a wealthy lakeside estate component of Trafalgar Township and the Town of Oakville. Well to-do businesspeople from Toronto and abroad were purchasing pieces of land near Oakville on the lakeshore and transitioning them from farmland to estates. This subject property is an example of this important shift in Oakville; these families and the related tourism became economic drivers in Oakville. While the other older estate houses on this historic Lot 5 have been demolished, this house is likely the last remaining one and is an important anchor point to the history of the area.

Description of Heritage Attributes

Key heritage attributes of the property at 2038 Lakeshore Road East that exemplify its cultural heritage value as a representative example of an early 1900s Colonial Revival home with Arts and Crafts influences, as they relate to the historic two-storey house, include:

- The massing, footprint and form of the house, including the front bay window and one-storey bumpout on north elevation;
- Historic stone cladding and chimneys;
- The presence of horizontal wood siding;
- The fenestration of windows and doors on the north and west elevation;
- The presence of multipaned sash windows in the Arts and Crafts era style;
- Front entrance, including the wooden panelled Dutch door with leaded-glass windows, the porch roof with decorative brackets, the wooden panels and decorative trim, and the wooden pilasters;
- Remaining wooden window trim;
- The footprint and first floor structure of the back porch that was once open air, including its stone materials and arched window openings; and
- The metal posts with horse heads as landscape features.

6. Conclusion

This property meets four of the criteria of Ontario Regulation 9/06, including historical/associative value and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

7. Sources

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- Town of Oakville, “North Oakville West Secondary Plan”, 2023
- Town of Oakville, “Cultural Heritage Landscape Strategy Implementation – Phase Two: Cultural Heritage Evaluation Report, Gairloch Gardens”
- Town of Oakville, various departmental files including the Town’s Heritage Register, AMANDA building files, policies, reports, imagery, and mapping
- Vancouver Heritage Foundation
- Venue Report

On March 4, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

MackKendrick House
2038 Lakeshore Road East
PT LOT 1, PLAN 141; TOWN OF OAKVILLE

Description of Property

The property at 2038 Lakeshore Road East is located on the south side of Lakeshore Road East, between Maple Grove Drive and Charnwood Drive. The property contains a circa 1936 vernacular Colonial Revival style house with Arts and Crafts influences known as the MackKendrick House.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The MackKendrick House has design value as a representative example of a vernacular Colonial Revival style home with Arts and Crafts influences from the early 1900s. While the building has evolved over time and has had numerous additions constructed onto the main house, it still retains the main Colonial Revival structure and many of its original features. Heritage attributes that define the Colonial Revival style include: the massing of the historic two-storey portion of the house; the gable roof with minimal roof overhang; the use of 6/6 and 8/8 sash windows; and the front entrance with detailed roof overhang and decorative door surround with Colonial style pilasters. Heritage attributes that define the Arts and Crafts era include: the mix of stone veneer and wood cladding; the original stone chimneys; the mix of windows including bay windows, sash windows and stained glass windows; and the back porch that was once open air with its stone construction and arched windows. Together these architectural elements contribute to a good example of a 1930s estate house with an elegant but modest aesthetic.

Historical and Associative Value

The MackKendrick House has cultural heritage value for its associations with some of the early wealthy families of the Oakville and Trafalgar Township area. The original estate started out as farmland, and the later subject house is important in Oakville's history as the property transitioned from a larger farm into a lakeshore estate, a significant theme of development in Oakville in the late 1800s into the mid-1900s. Estates along the lakeshore, including the MackKendrick House, shaped many physical aspects of Oakville today. The town's unindustrialized lakeshore can be linked to the existence of these significant and wealthy estates extending to the waterfront. The property also has cultural heritage value for its direct associations with its notable Oakville residents, such as Harry and VeNorma MackKendrick, who not only contributed to the property and surrounding area, but to the development of the town as well.

Contextual Value

The MackKendrick House is important in defining, maintaining and supporting the character of the local area. The property is one of the few remaining historic estates located on Lakeshore Road along the waterfront and contributes to the streetscape along this part of Lakeshore Road, which is characterized by large lots and homes and significant vegetation. The property is physically, functionally, visually, and historically linked to its surroundings. This house was built in the early 1900s as the area was transitioning from a farming region to more of a wealthy lakeside estate component of Trafalgar Township and the Town of Oakville. Well to-do businesspeople from Toronto and abroad were purchasing pieces of land near Oakville on the lakeshore and transitioning them from farmland to estates. This subject property is an example of this important shift in Oakville; these families and the related tourism became economic drivers in Oakville. While the other older estate houses on this historic Lot 5 have been

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demolished, this house is likely the last remaining one and is an important anchor point to the history of the area.

Description of Heritage Attributes

Key heritage attributes of the property at 2038 Lakeshore Road East that exemplify its cultural heritage value as a representative example of an early 1900s Colonial Revival home with Arts and Crafts influences, as they relate to the historic two-storey house, include:

- The massing, footprint and form of the house, including the front bay window and one-storey bumpout on north elevation;
- Historic stone cladding and chimneys;
- The presence of horizontal wood siding;
- The fenestration of windows and doors on the north and west elevation;
- The presence of multipaned sash windows in the Arts and Crafts era style;
- Front entrance, including the wooden panelled Dutch door with leaded-glass windows, the porch roof with decorative brackets, the wooden panels and decorative trim, and the wooden pilasters;
- Remaining wooden window trim;
- The footprint and first floor structure of the back porch that was once open air, including its stone materials and arched window openings; and
- The metal posts with horse heads as landscape features.

Any objection to this designation must be filed no later than April **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on March **, 2024.

REPORT

Planning and Development Council

Meeting Date: March 4, 2024

FROM: Planning Services Department

DATE: February 20, 2024

SUBJECT: Notice of intention to designate – 115 Morrison Road – March 4, 2024

LOCATION: 115 Morrison Road

WARD: Ward 3

Page 1

RECOMMENDATION:

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the Graham House at 115 Morrison Road.

KEY FACTS:

The following are key points for consideration with respect to this report:

- As part of the Heritage Designation Project 2023-2025, Heritage Planning staff has evaluated the subject property and consider it worthy of conservation and heritage designation.
- Staff is recommending that the subject property be designated under section 29, Part IV of the *Ontario Heritage Act* and that a notice of intention to designate be issued by Council for the property.

BACKGROUND:

In October 2022, Ontario's Ministry of Municipal Affairs and Housing introduced Bill 23, *More Homes Built Faster Act, 2022*. The bill included several amendments to the *Ontario Heritage Act*, including a two-year time limit for listed properties to remain on municipal heritage registers. In early 2023, Policy Planning & Heritage initiated the Heritage Designation Project 2023-2025 to designate approximately 80 listed properties prior to their required removal from Oakville's Heritage Register on January 1, 2025. The subject property of this report was included as a priority within that list.

A location map for the subject property is attached as Appendix A. A Cultural Heritage Evaluation Report (CHER) has been prepared by staff for the property and

is attached as Appendix B. A draft Notice of Intention to Designate has also been prepared by staff and is attached as Appendix C.

COMMENT/OPTIONS:

The Province of Ontario has made a clear commitment to the conservation of significant cultural heritage resources through its legislation and policies, including the *Ontario Heritage Act* (2021), *Planning Act* (1990, as amended) *Provincial Policy Statement* (2020), the Growth Plan for the Greater Golden Horseshoe (2019).

The *PPS* (2020) and Growth Plan (2019) function together with the *Ontario Heritage Act* (OHA) by the shared principle that cultural heritage resources shall be conserved. The OHA sets out the procedures for evaluating and protecting heritage resources at the provincial and municipal levels. This includes the use of Ontario Regulation 9/06 as the means for determining if a property has cultural heritage value.

This commitment to heritage conservation continues at the regional and municipal level through supportive objectives and directions outlined in the Region of Halton Official Plan and the town's Livable Oakville Plan and North Oakville East and West Secondary Plans.

In accordance with the OHA, a property must meet at least two criteria of Ontario Regulation 9/06. The property at 115 Morrison Road has been evaluated using these criteria. Staff considers the property to meet at least two or more of these criteria, and it therefore merits designation under section 29, Part IV of the OHA. The attached Cultural Heritage Evaluation Report provides more details on the cultural heritage value of the property.

Also attached is a draft Notice of Intention to Designate. This provides a clear outline of the property's cultural heritage value and the heritage attributes recommended for protection and conservation through a future designation by-law.

A separate staff report recommending designation of the property at 115 Morrison Road was presented to the Heritage Oakville Advisory Committee on January 30, 2024. The Committee supported the designation of the property.

CONSIDERATIONS:

(A) PUBLIC

If notice is to be issued for the designation of the property, notice will be given in accordance with the town's *Ontario Heritage Act* Alternative Notice Policy.

(B) FINANCIAL

There are no financial considerations.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The Legal department will be consulted on the designation as necessary.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities: Community Belonging, Environmental Sustainability and Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing carbon footprints. The retention and conservation of this historic building through heritage designation contributes to the town's initiatives to reduce carbon footprints.

APPENDICES:

Appendix A – Location Map

Appendix B – Cultural Heritage Evaluation Report

Appendix C – Draft Notice of Intention to Designate

Prepared by:

Carolyn Van Sligtenhorst, CAHP, MCIP, RPP
Supervisor, Heritage Conservation

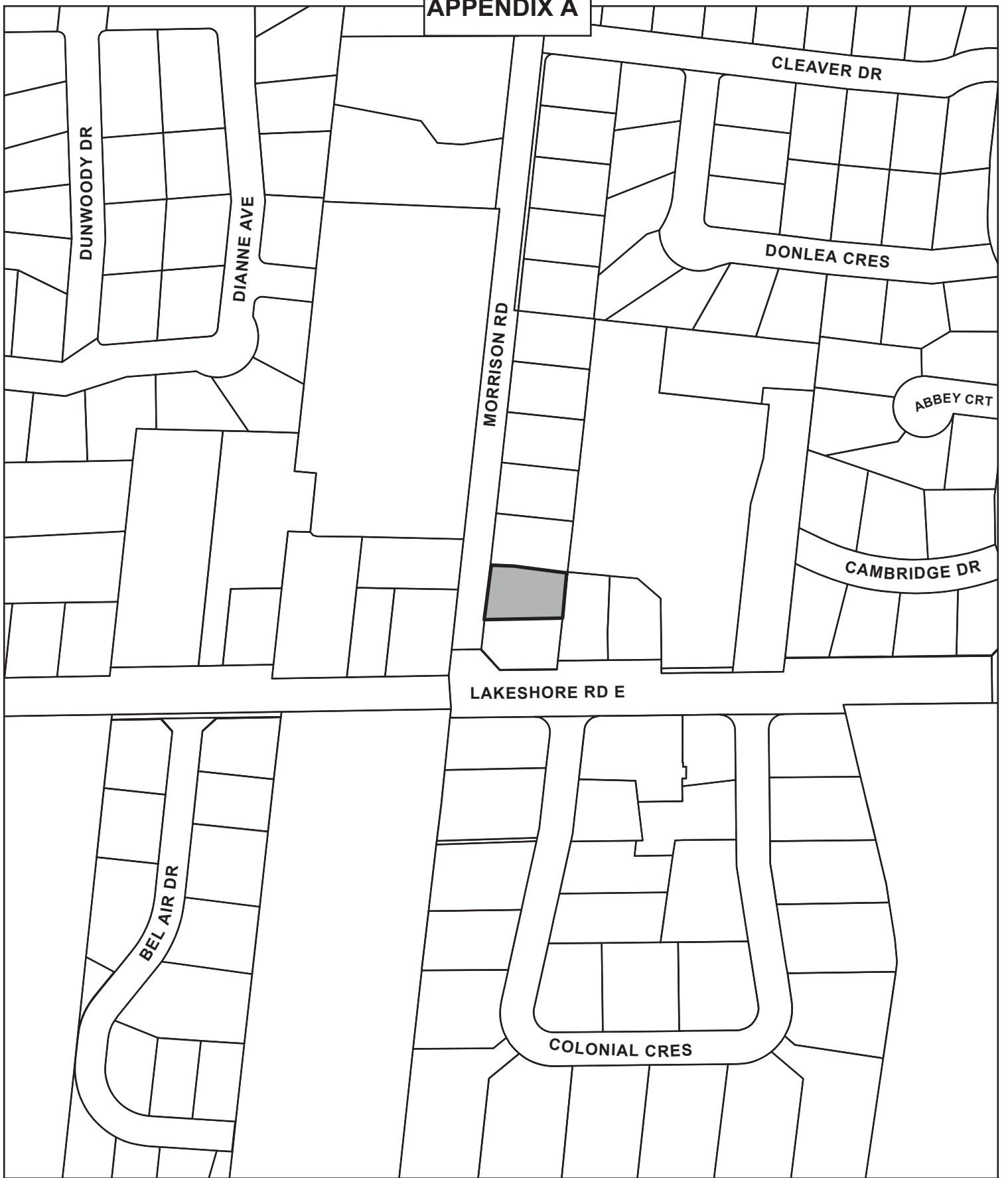
Recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning Services

APPENDIX A



0 20 40 80
Meters

115 Morrison Road

LOCATION



SUBJECT LANDS

Community Development Commission

Cultural Heritage Evaluation Report
Graham House
115 Morrison Road, Oakville, Ontario



South and west elevations of the property, 2010. Source: *Town of Oakville Planning Services Staff*

1. Executive Summary

The purpose of this Cultural Heritage Evaluation Report, or CHER, is to determine if the subject property merits designation under Part IV, section 29 of the *Ontario Heritage Act* (OHA). A Cultural Heritage Evaluation Report (CHER) provides an overview of the property based on primary and secondary research and visual inspection of the property. It also includes an evaluation against the prescribed criteria of Ontario Regulation 9/06, including design/physical value, historical/associative value, and contextual value. This CHER also includes a draft Statement of Cultural Heritage Value or Interest and identification of heritage attributes.

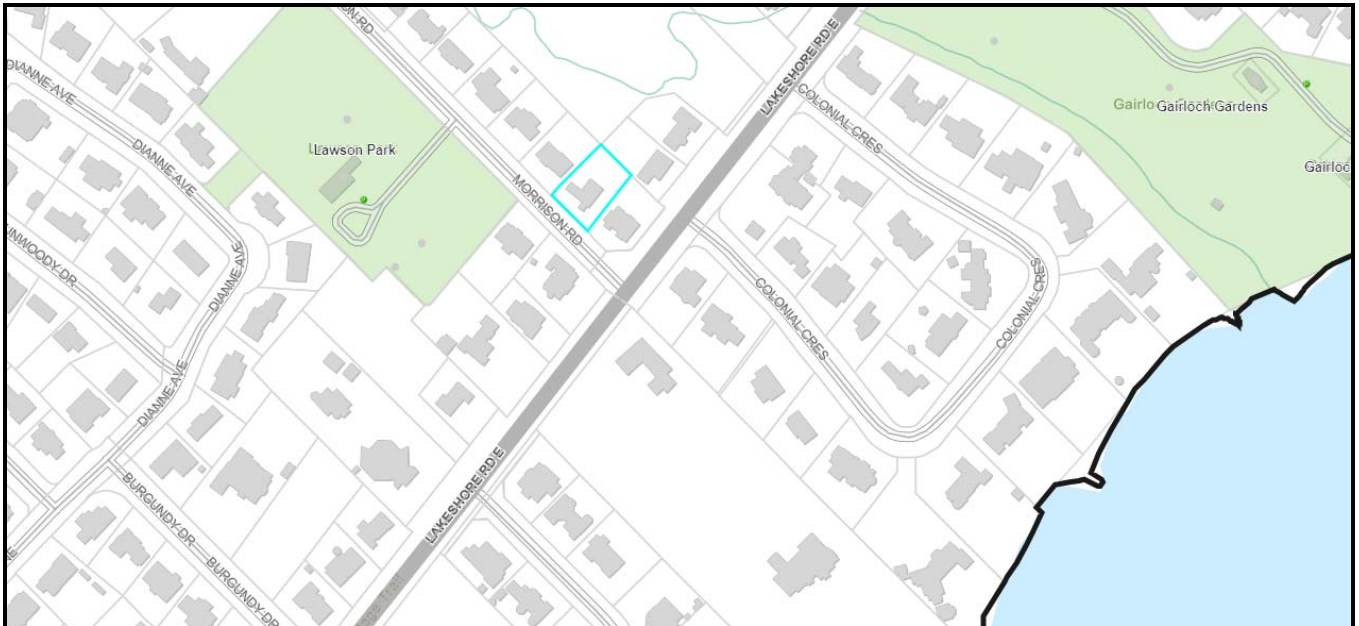
The designation of heritage properties is legislated by the OHA and is supported at a provincial level by the Provincial Policy Statement (2020) and the Growth Plan for the Greater Golden Horseshoe (2019). The conservation of cultural heritage resources is also supported by the Region of Halton Official Plan, the Livable Oakville Plan, the North Oakville East Secondary Plan, and the North Oakville West Secondary Plan.

The home at 115 Morrison Road is located on the east side of Morrison Road, between Lakeshore Road East and Cleaver Drive. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. The property was added as a 'listed' property to Oakville's *Register of Properties of Cultural Heritage Value or Interest (NOT Designated)* for its potential cultural heritage value for its "1930s estate house built in the Colonial Revival style."

This CHER has evaluated the property in accordance with the requirements of the OHA and finds that the property meets four of the criteria of Regulation 9/06. It is therefore recommended that the property be designated under Part IV, section 29 of the OHA.

2. Subject Property

The property at 115 Morrison Road is located on the east side of Morrison Road, between Lakeshore Road East and Cleaver Drive, on Part Lot 1 of Plan 141. The property is located within the territory covered by Treaty 14, which was signed in 1806 between the Mississaugas and the British Crown. It was historically a part of the Third Concession South of Dundas Street, on Lot 8. The house originally stood on the whole of the subdivided Lot 1. The property contains a detached two-and-a-half-storey house built circa 1916 in the Colonial Revival architectural style with Arts and Crafts influences.



Location map: Subject property is outlined blue. December 2023. Source: Town of Oakville GIS

Legal description: PT LOT 1, PLAN 141; TOWN OF OAKVILLE

3. Background Research

Design and Physical Value

The Graham house is a detached two-and-a-half-storey house built circa 1915-1916 and has design value as a representative example of the Colonial Revival style with Arts and Crafts influences.¹



South and west elevations of the house, 2023. The front entrance faces south, which would have historically had a view towards the lake.
Source: Town of Oakville Planning Services Staff

Colonial Revival Style (1900-1960)

North American Colonial Revival architecture became popular with the American Centennial Exhibition of 1876 and its examples of early Northeast American architecture, which filtered into common building styles in Canada.² These homes were built with features inspired by the classical elements of colonial buildings. Designs could be easily modified to suit the builder's ideas and the different local materials available. Colonial Revival style homes often have a single central dormer at the front of the home, or symmetrical dormers, and a porch

¹ Town of Oakville assessment rolls

² Vancouver Heritage Foundation, "Colonial Revivals", <https://www.vancouverheritagefoundation.org/house-styles/colonial-revivals/>; Mikel, Robert. Ontario House Styles: The Distinctive Architecture of the Province's 18th and 19th Century Homes, pg. 142

with Classical columns. Doors are often centered, and the façade of the home is symmetrical, with little ornamentation. Two-tiered porticos on the sides of the home can also be popular in this style.³ The interpretation of this style in Ontario is often broad.⁴

Arts and Crafts Movement and Craftsman Style (1890-1940)

The Arts and Crafts movement, which inspired Craftsman architecture, began in Britain as a reaction to the rapid growth of industry and the dehumanization of society that resulted from the sudden restructuring of the population to accommodate large factories.⁵ The movement spread to North America and many structures built between 1890 and 1940 demonstrate Arts and Crafts influenced architectural details.⁶ Generally, the goal of the residential Arts and Crafts movement was to portray the home as a place of serenity, with a focus on the home as part of the natural environment.⁷

Characteristics of Arts and Crafts inspired residences can include: a combination of cladding materials ranging from brick, stone, stucco, shingles, and horizontal wood cladding; wide verandahs or porches sometimes created through an extension of the main roof; dormer windows and wall gables; small paned casement windows, recessed entrances typically under porches, exposed rafter tails or brackets, and asymmetrical façades.

Subject Property Design

The property at 115 Morrison Road is a representative example of a Colonial Revival style house with Arts and Crafts influences. The house has a side gabled roof with projecting eaves. It has two symmetrical gabled dormers on the front (south) façade with returns, and three chimneys, with two on the west elevation. The chimneys are external brick and run the height of the house. The house is clad in stucco, an Arts and Crafts style cladding on a Colonial Revival house shape and design. Wooden trim is used on the corners and eaves of the house, as well as the dormers, which is an Arts and Crafts design element. The house also has a lakestone foundation. The use of different materials was a common in the Arts and Crafts era.

The fenestration on the front (south) elevation is symmetrical with a central front entrance, typical of the Colonial Revival style. A central front portico is held up by four round wooden columns. The porch roof is quite elaborate, with a decorative frieze with wooden brackets holding up the roof. The door has decorated leaded glass sidelights. The door is a six-paneled wooden door with a bronze door knocker.

³ Mikel, Robert. *Ontario House Styles: The Distinctive Architecture of the Province's 18th and 19th Century Homes*, pg. 145

⁴ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 143

⁵ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 101

⁶ Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to Present*, pg. 102

⁷ Mikel, Robert. *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, pg. 105



South elevation, 2023. Source: Town of Oakville Planning Services Staff



South façade portico and front entrance, with Colonial Revival-style cover. Source: Town of Oakville Planning Services Staff



Close-up of the wooden detailing on the portico. Note the intricate dentil detailing. *Source: Town of Oakville Planning Services Staff*



Bronze door knocker. *Source: Town of Oakville Planning Services Staff*

On the west elevation is a porte-cochère, which was used to park an automobile or carriage and let the passengers out beside a covered entrance. Beside this door is another set of French doors, which the current owners said used to have steps leading up to it and were also used as a main entrance into the home.

The porte-cochère has two round wooden columns to match those at the front entrance, and a second-storey Colonial-style balustrade acting as an open parapet. Both the columns and balustrade are recent replacements made to match the originals. The west elevation has a semi-circular driveway, the shape of which is likely historical.



West elevation showing the porte-cochère and side entrances, 2023. Source: Town of Oakville Planning Services Staff

On the east elevation is a covered porch, which was opened previously (2010 photo below), and covered even earlier (1980s photo below). Colonial Revival houses would often have wings that acted as sunrooms and other living spaces, but in this case the style is emulated through this porch and the porte-cochère. The east elevation has three entrances within the porch that are multipaned wooden doors with removable storm windows that can be replaced with screens. The closed-in porch is held up with round wooden columns matching those on the front portico and the porte-cochère. There is also a balustrade above this porch, with two sets of double doors to enter into the house.



East elevation, 2023. Source: Town of Oakville Planning Services Staff



Open porch in 2010. Source: Town of Oakville Planning Services Staff



Left: 1980s photo showing the covered porch on the east elevation. Right: One of the sets of French doors within the screened in porch, 2023. Source: *Town of Oakville Planning Services*

The house has a variety of 10/1, 8/1, 6/1 and 5/1 sash windows with wooden storm windows on the front and side elevations. All of the windows have simple decorative wood trim and sills. Palladian windows are located in each of the side gables on the third storey. Windows on the front elevation have contemporary shutters, which may be replacements of original shutters which were common in Colonial Revival style homes. On the rear elevation, the windows are simpler 1/1 wooden windows with wooden awning style storms. This is typical of many older homes where more elaborate and decorative windows were used on the front and side elevations, and simpler windows were used at the rear where they were less visible.



Palladian window on the west elevation. A matching one is on the east elevation. Source: *Town of Oakville Planning Services Staff*

The rear elevation contains two bumpouts. The one on the first storey provides space for a hutch in the dining room; this is a common feature of Arts and Crafts era homes. The one on the second storey provides a viewing space and built in bench for the upper storey hallway.



North (rear) elevation, 2023. Source: *Town of Oakville Planning Services Staff*

The second-storey eaves have boxed plain cornices with a plain frieze running along it. The soffit is painted wood. Along the roofline on the half-storey is the same friezeboard, as well as along the east porch roofline.



Close-up of the friezeboard and wooden soffit. Source: *Town of Oakville Planning Services Staff*



Close-up of one of the dormers, which also shows the stucco and timber edging. *Source: Town of Oakville Planning Services Staff*



Left: close up of stucco siding and timber edging. Right: One of the chimneys on the west elevation. *Source: Town of Oakville Planning Services Staff*



Stairs and vegetation that have since been removed, circa 1980s. *Source: Town of Oakville Planning Services*

To the rear of the house is a mudroom wing, which is historic, and a one-storey two-car garage that was constructed in 2001. The new garage wing was constructed with white horizontal wood siding to complement the heritage house while remaining distinguishable from it.



Mudroom entrance and updated 2021 garage on west elevation, 2023. *Source: Town of Oakville Planning Services Staff*

The house was originally part of a much larger property which was later severed and new homes were built to the north, east and south. The property's main amenity space, or 'rear yard' is now to the east of the house. A pool that was built in 1970 was filled in between 2012 and 2015.

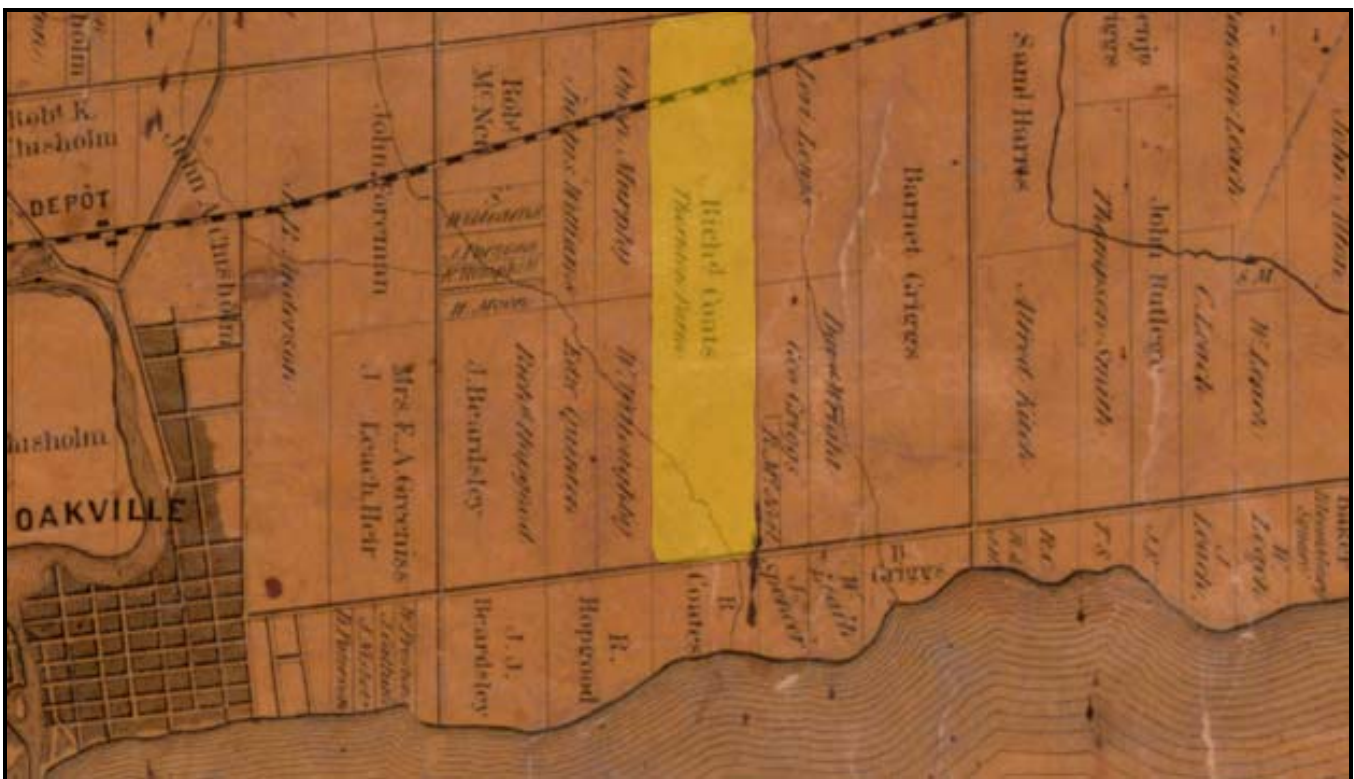


2008 aerial photo showing the old pool. Source: Town of Oakville GIS

Historical and Associative Value

The home at 115 Morrison Road is located on lands that were part of the traditional territory of the Mississaugas of the Credit First Nation. In 1805, the Mississaugas and the British Crown reached an agreement in which the Mississaugas ceded almost 71,000 acres of land. In return they were given £1000 of trade goods, promised the sole right of the fisheries in the Twelve Mile Creek, Sixteen Mile Creek, and the Credit River, and a strip of land on the banks of these waterways. The agreement was formalized with the signing of the Head of the Lake Treaty, No. 14, on September 5, 1806.⁸ The subject property is in the territory of Treaty No. 14.⁹

The creek lands were ceded by the Mississauga in Treaty No. 22, which was signed in February of 1820, when the Mississaugas were experiencing duress due to land encroachment, the depletion of fish stocks, and a population that was in severe decline. Treaty 22 stipulated that in exchange for ceding “about 20,000” acres of their land to the British Crown, the Mississaugas would receive a 200-acre parcel of land on the Credit River, and the profits from the sale of the remaining lands on the Twelve and Sixteen Mile Creeks.¹⁰



George Tremaine's "County of Halton" survey, 1858, with Lot 8, Concession 3 SDS highlighted in yellow. The subject property is in the southwest corner of this historic lot Source: University of Toronto

Below is a summary of the owners of the property from the Crown patent to the current owners. Some owners held the property for relatively short periods of time. In many cases, information about the purchasers was limited to only that contained within the real estate transaction documents. As such, not all owners will be discussed in the CHER. Rather, the focus will be on persons of note, with a focus on the most likely candidate to have built, or commissioned the construction of, the property's building or buildings; on anyone who was significant to the community; or on anyone who lived on the subject property for an extended period.

⁸ Debwewin: The Oakville Truth Project, *Treaties 2 & 23, 1820*, pg. 9

⁹ 1806 Wilmot Survey; Mississaugas of the Credit GIS Treaty Map

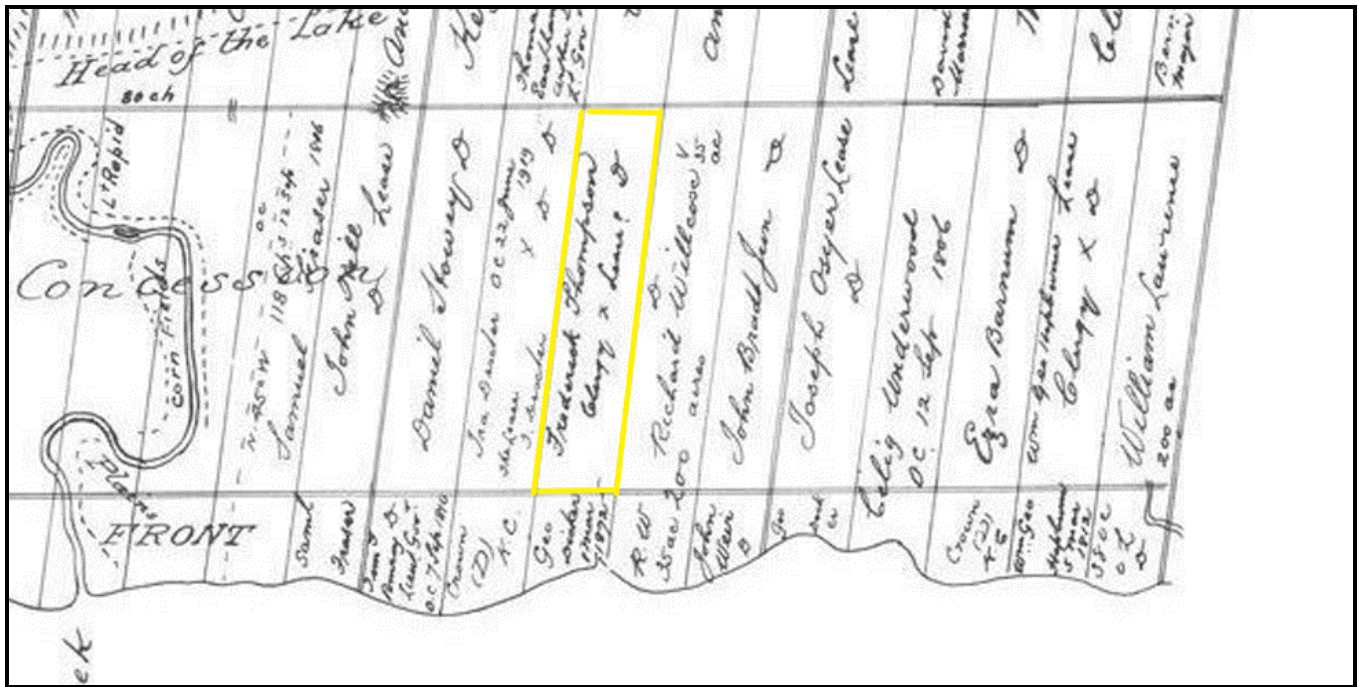
¹⁰ Debwewin: The Oakville Truth Project, *Treaties 22 & 23, 1820*, pg. 10

Name of Owner(s)	Acreage or Lot	Years of Ownership
Clergy land (for lease)	200 acres	1791-1854
Frederick Thompson, leased from Clergy	Ibid	1818-1829
Richard Coates – assumed lease from Clergy land for remainder of 21 years.	Ibid	1829-1839
Richard Coates	Ibid	1839-1854
Thompson Smith received Crown Patent on the land	Ibid	1854
Richard Coates Jr. and wife	Ibid	1854-1862
Thomas Charles Chisholm	All except railway portion	1862-1871
James Robertson	Ibid	1871-1879
John Morrison and James B. Morrison	88 acres. Part of southwest half of lot	1879-1911
William Henry Robinson and Frank Herbert Chisholm	5 acres – lot 1 of subdivision of the Morrison Estate	1911-1912
Isabella Singlehurst (later Graham)	Ibid	1912-1929
Rudolph Schimmel	Ibid	1929-1939
Bessie Glassco, Eleanor Tilley, R.D. Glassco, executors of Ernest Spencer Glassco, deceased, who held mortgage for Rudolph Schimmel	Ibid	1939-1963
Walter Gerald Lumsden and Helen Marie Lumsden	Part of Lot 1 with right of way	1963-1967
Paula Jemmett	Ibid	1967-1972
Peter J.M. Bloemen and Dorothea Bloemen	Ibid	1972-1992
Gerardus Van Amersfoort and Angelina Van Amersfoort-Tier	Part 1 of Lot 1 of Plan 10663 (north part of the lot)	1992-1994
Fred John Green	Ibid	1994-1996
Joseph and Vicki Magnacca	Ibid	1996-2008
Neven and Lisa Galant	Ibid	2008-2009
Aleblacar Inc.	Ibid	2009-2013
Current owners	Ibid	2013-present

Lot 8 Concession 3 was initially part of the clergy reserves. These were public lands reserved under the 1791 Constitutional Act for the maintenance of a clergy for the Church of England. Revenue from the lease of these lands supported the clergy. The Act was eventually abolished in 1854 under a movement towards secularization.¹¹ In 1818, Frederick Thompson secured a 21-year lease on Lot 8 in Concession 3 SDS.¹²

¹¹ Anglican Church of Canada, "Clergy reserve funds", <https://www.anglican.ca/archives/holdings/fonds/clergy-reserves-fonds/>

¹² LRO Instrument ASK JANET



1806 Wilmot map showing Frederick Thompson under the clergy lease on the historic lot. Source: 1806 Wilmot Survey

However, in 1829, Richard Coates assumed the lease from William Thompson, eldest brother of Frederick Thompson, heir at law, for the remainder of the lease. Richard Coates likely remained on the land after the lease had expired, as his son eventually purchased it in 1854 from Thompson Smith who had earlier applied for a Crown Grant and received it after the abolishment of the clergy reserves.¹³ In 1862, Thomas Charles Chisholm acquired the 200 acres, less the portion sold to the railway earlier, and in 1871 sold it to James Robertson. In 1879, Robertson sold 88 acres to brothers John and James Morrison, who raised cattle on the land.¹⁴

Morrison Road was non-existent at the time and was instead fields with grazing cattle. James Morrison's farmhouse stood a short distance back from Lakeshore Road and still exists today at 1189 Lakeshore Road East. James and his brothers Peter and John were cattle trade exporters working between Canada and Scotland. The cattle were shipped out on trains from Oakville Station.¹⁵ On average, they shipped 200-300 head of cattle per year to Scotland.¹⁶ The brothers also ran a butcher shop in town.

¹³ LRO Instrument 224F, being a Bill and Sale, dated December 23, 1829, between William Thompson, office of Frederick Thompson, and Richard Coates Jr.

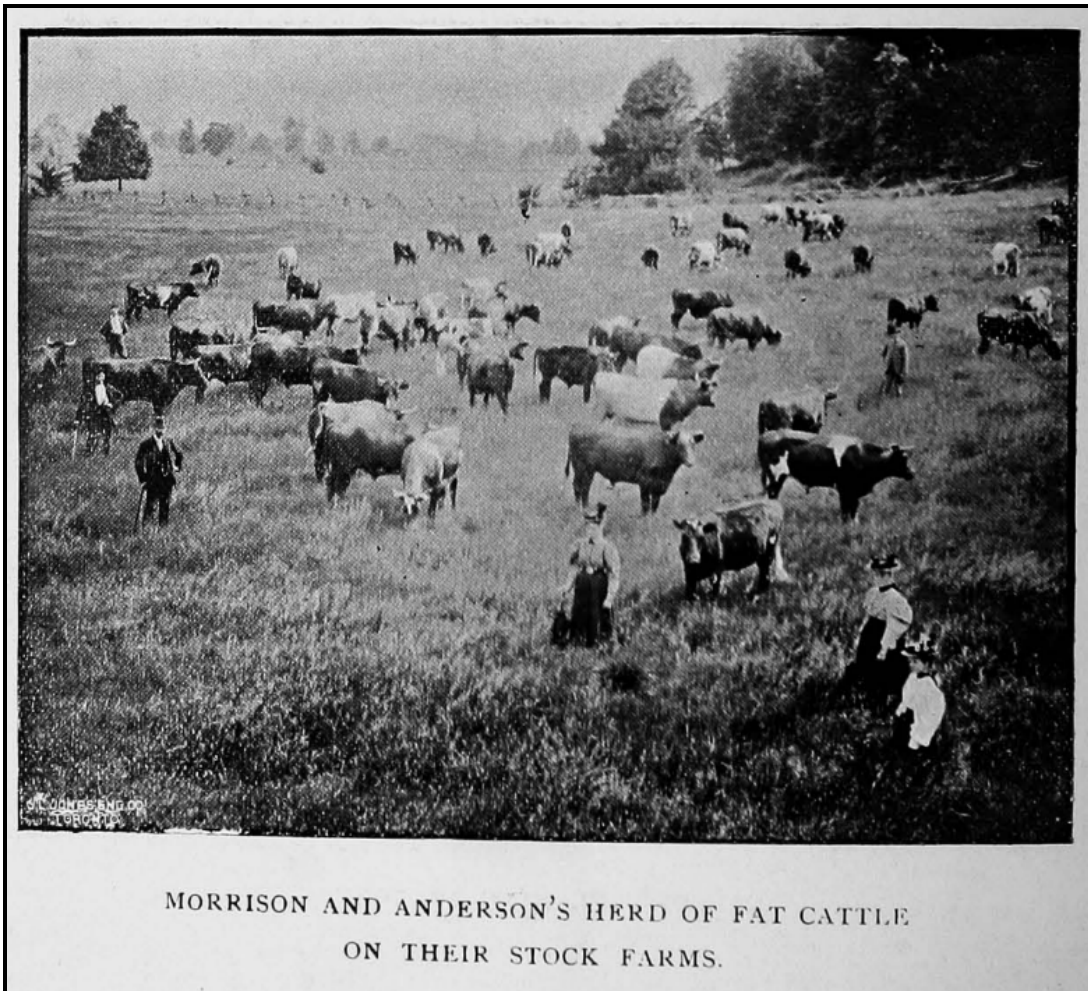
¹⁴ LRO Instrument ? [illegible], being a Bill and Sale, dated May 14, 1862, between Richard Coates Jr and Thomas Chisholm; LRO Instrument 840H, being a Bill and Sale, dated July 1, 1871, between Thomas Chisholm and James Robertson; LRO Instrument 2825?, being a Bill and Sale, dated October 24, 1879, between Agnes Robertson, widow, and John and James Morrison, for 88 acres.

¹⁵ *Beautiful Oakville*, by J.E. Commins, 1897, shows many photos with captions depiction Morrison and Anderson's cattle being shipped out of Oakville by train; Mathews, Hazel C., *Oakville and the Sixteen: The History of an Ontario Port*. Toronto: University Press Incorporated, 1953, pg. 358

¹⁶ Mathews, Hazel C., *Oakville and the Sixteen: The History of an Ontario Port*. Toronto: University Press Incorporated, 1953, pg. 358

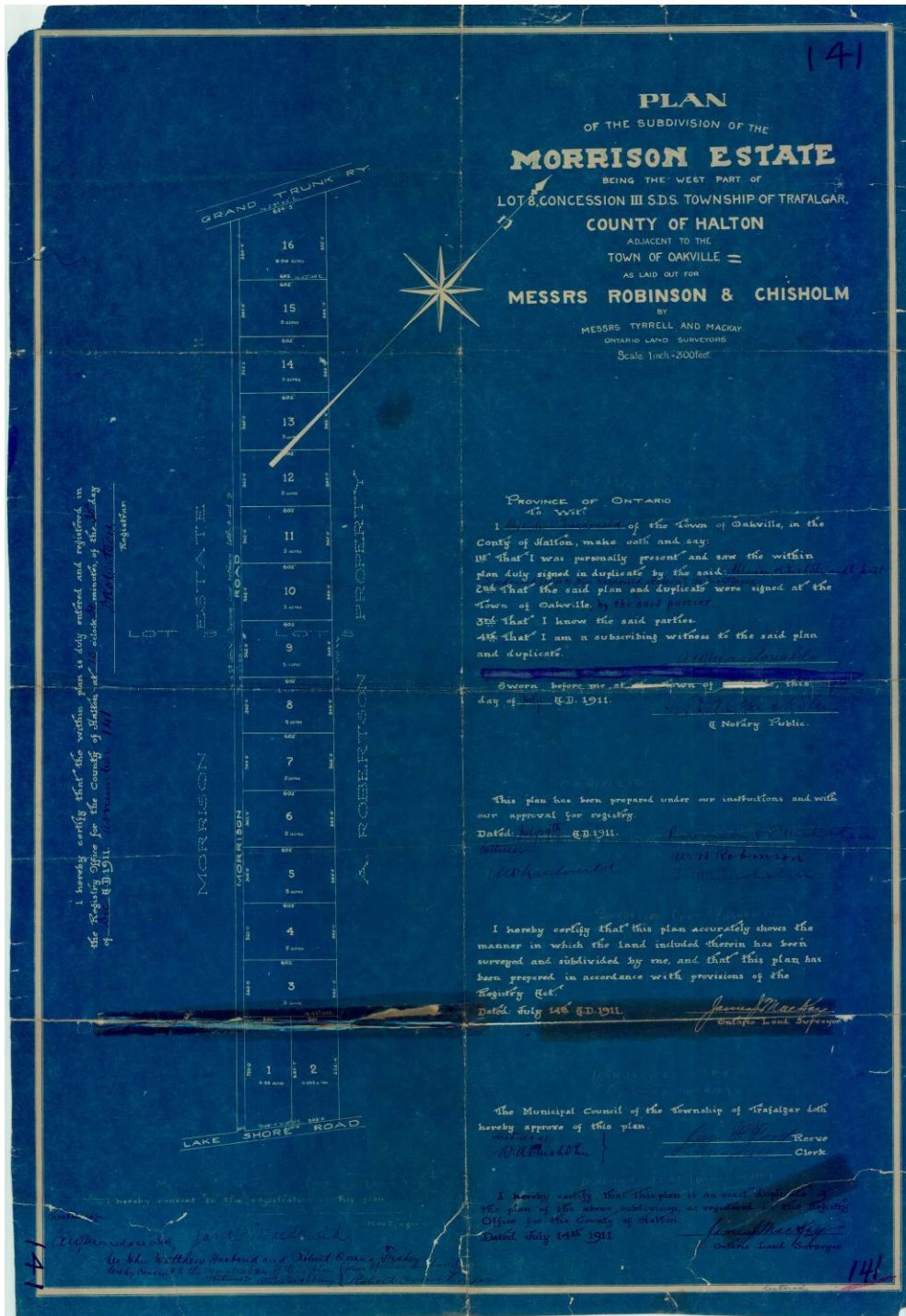


1877 Township of Trafalgar map, before the Morrison brothers purchased the western portion of the lot. At the time it was owned by Agnes Robertson. The yellow highlighted portion is the approximate location of the subject property as 'part lot 1'. Source: 1877 Township of Trafalgar Map



An image and caption from *Beautiful Oakville*, 1897, depicting some of the Morrison's grazing land that would have been near the subject property. Source: Toronto Public Library

In 1911, William Henry Robinson and his business partner Frank Herbert Chisholm acquired part of the west half of lot 8 in Concession 3 and the plan for the subdivision was registered on December 30, 1911.¹⁷



Survey of the Morrison Estate, 1911, showing how Lot 1 and 2 were laid out facing Lakeshore Road East as opposed to the new Morrison Road. The subject house was built facing south, following this layout. Source: Town of Oakville Planning files

¹⁷ LRO Instrument 10370, being a Bill and Sale, dated June 5, 1911, between Janet Macdonald and William Henry Robinson and Frank Herbert Chisholm. Janet was the beneficiary of the property, as outlined in James Morrison's will – FamilySearch, Register V, F-G 1904-1915, pgs. 13, 14, 15. Originally leaving the land to his nieces and nephews he revoked this nine days before his death and changed it to his sister, Janet.

The new subdivision was laid out with 16 lots, five acres each, running north along the east side of the newly formed Morrison Road. Robinson and Chisholm advertised that “Five acres of the right kind of land make a snug little farm. Five acres will keep a hired man busy and pay his wages, besides supplying the owner with all that makes life in the country enviable”.¹⁸ On May 29, 1912, Lot 1 in the subdivision was purchased by Isabella Singlehurst, widow, for \$3000. According to the 1914 Tax Assessment Roll, the property was vacant of any buildings. The 1915 Tax Assessment Roll was not available, but on the 1916 Tax Assessment Roll, a building first appears on the lot, worth \$1000. This indicates the house was built under Isabella’s ownership.



1960 aerial photo showing the house (yellow) in the approximate 5-acre lot from 1911. Source: McMaster University

Isabella Craig was born in 1871.¹⁹ In 1896, she married Samuel A. Singlehurst.²⁰ In 1902 they had a son, John. Samuel died in 1910 and in 1912, Isabella purchased the lot in Oakville.²¹ In 1915, she married David Samuel Graham.²² Her residence at the time was listed as Toronto. By 1916 the house was built at 115 Morrison Road.²³ It is possible she lived in Toronto while the house was being built. They resided in the new house until David died in 1928, and in, 1929, Isabella sold the property to Rudolph Schimmel.²⁴

Rudolph Schimmel was born in 1880 in Germany and emigrated to Canada in 1925 with his wife Frieda and their children Anne Maria and Ortwin.²⁵ Rudolph was a wallpaper designer by trade.²⁶ In 1930, their daughter Anne

¹⁸ Griffin, George, *Oakville Past and Present*, pg. 40

¹⁹ Ancestry.ca, 1911 Census of Canada

²⁰ Ancestry.ca, Archives of Ontario; Toronto, Ontario, Canada; Registrations of Marriages, 1869-1928; Series 8 Number: MS 932; Reel: 91

²¹ Ancestry.ca, “Ontario, Canada, Toronto Trust Cemeteries, 1829-1989 for Samuel A Singlehurst, Mount Pleasant Cemetery, Volume 03, 1908-1919, pg. 55; LRO Instrument 10706, being a Bill and Sale, dated May 29, 1912, between Robinson and Chisholm and Isabella Singlehurst, for \$3,000.

²² Ancestry.ca, Archives of Ontario; Toronto, Ontario, Canada; Registrations of Marriages, 1869-1928; Series 10 Number: MS 932; Reel: 361

²³ Oakville Public Library, 1916 Assessment rolls

²⁴ *The Globe*, “Deaths”, December 17, 1928, pg. 40; LRO instrument 16857(?), being a Grant, dated September 15, 1929, between Isabella Graham, widow, to Rudolph Schimmel.

²⁵ Library and Archives Canada; Ottawa, Ontario, Canada; Series: RG 76-C; Roll: T-14925

²⁶ Ancestry.ca, 1931 Census of Canada lists his job as designer of wallpaper; in articles he is written as an artist.

Maria married Frederick Bohne and they lived with Rudolph and Frieda in the house with their two children.²⁷ In October 1937, Rudolph went missing after going for a walk from the house. After a 24-hour search, no trace was found of him.



The case made the headlines in the newspapers in Toronto as well. Source: *Globe and Mail*

His overcoat was found neatly folded at the end of the east pier by the lighthouse. According to Chief of Police Allan Kemp, he had no financial difficulties and was not ill. Various accounts were published in *The Globe and Mail* and *The Toronto Star* regarding the disappearance. Eventually, his body was located a mile away from where he jumped or fell from the pier at Oakville.²⁸ On November 4, 1939, a certificate of foreclosure was issued by Bessie Irene Massey Glassco, Eleanor G. Tilley, & R.D. Glassco, executors of Ernest Spencer Glassco against Frieda Ann Schimmel. Ernest Glassco had given Rudolph Schimmel a mortgage on the house.²⁹ As a result, the property came into the hands of the executors. According to the 1947 Oakville phone directory, the occupants of the property were Bessie Irene Massey Glassco, her daughter Eleanor Massey Tilley, and her husband Alexander Pearce Tilley.

Prior to Bessie Glassco living at this property, she and her husband Ernest Spencer Glassco lived on Spruce Street, where they had built the first house on the street (now 338 Spruce Street).³⁰ ³¹ Ernest Spencer Glassco had been a manufacturer of jam and operated one of two jam factories in Oakville, Glassco Limited Jam Manufacturing.³² According to an entry in *Oakville: A Small Town*, by Frances Ahern, "In 1912 Mr. E. S. Glassco and his brother of Hamilton took over the premises of the Oakville Fruit Growers' Association, south of the railway tracks on the east side of the Sixth Line, and became well known as the producers of 'Glassco's Jams and Jellies'. These fine products were marketed widely for years throughout Ontario, Quebec and the Maritimes."³³

²⁷ Ancestry.ca, 1931 Census of Canada

²⁸ *The Globe and Mail*, "Oakville artist's body washed up on beach", October 11, 1937, pg. 4

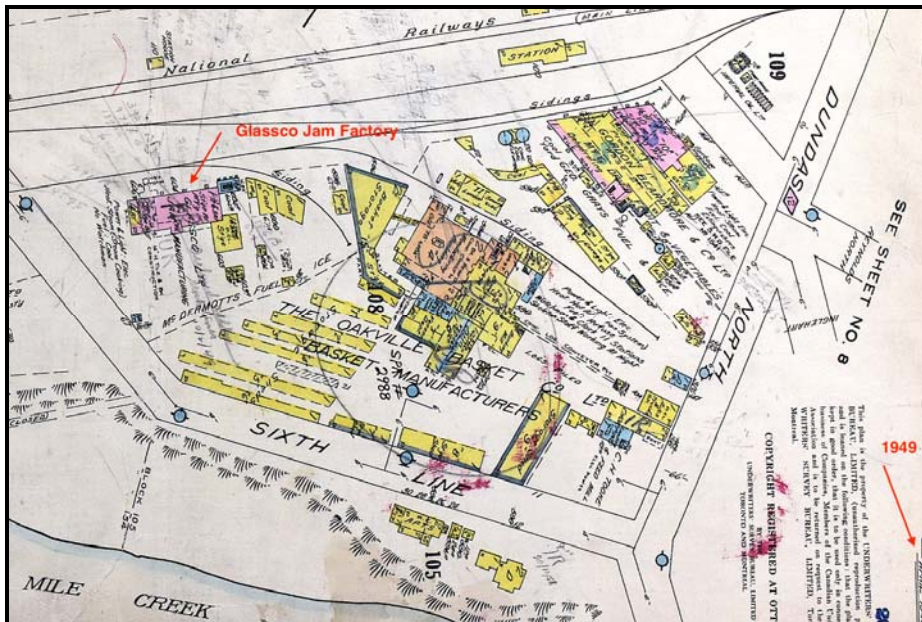
²⁹ LRO Instrument 16858H, being a Mortgage, dated October 1, 1929, between Rudolph Schimmel and Ernest Glassco, for \$8,500.

³⁰ Ontario Heritage Trust, "Notice of designation: Glassco House, 338 Spruce Street", August, 2018

³¹ Ibid.

³² Underwriters' Survey Bureau, *Insurance Plans of the Town of Oakville, 1949*. Toronto: Underwriters' Survey Bureau

³³ Ahern, Frances Robin, *Oakville: A Small Town (1900-1930)*. Oakville: The Oakville Historical Society, 1981.



1949 fire insurance map showing the location of the Glassco's jam factory beside the Basket Factory, just south of the railroad. Source: Underwriters' Survey Bureau, *Insurance Plans of the Town of Oakville, 1949*. Toronto: Underwriters' Survey Bureau



Glassco jam jar. Source: Oakville Historical Society

The company operated for fifty years, from 1914 to 1964.³⁴ Ernest Glassco died in 1938 at the age of 64, and it was then that Bessie moved to 115 Morrison Road.³⁵ Bessie was the daughter of Charles Albert Massey and a member of the prominent Massey family in Toronto, known for the manufacturing of farm equipment, and for being patrons of the arts in Canada. After Charles' death in 1884, his father Hart Massey built Toronto's Massey Hall in his memory.³⁶ The Massey name is visible in many institutions including Hart House and Massey College.

³⁴ OnLand, <https://www.onland.ca/ui/20/books/23272/viewer/680668080?page=341>; <https://www.onland.ca/ui/20/books/23272/viewer/680668080?page=308>

³⁵ *Globe and Mail*, "Death claims E.S. Glassco", January 19, 1938, pg. 1; LRO Instrument 18 [illegible], being a Foreclosure, dated December 4, 1938, between Bessie Glassco et al and Frieda Schimmel.

³⁶ Kilbourn, William. *Intimate Grandeur: One Hundred Years at Massey Hall*. Toronto, Stoddart, 1993; Bessie Glassco (Massey) was the sister of Charles Albert (Bert) Massey, who was shot by his maid in 1915. His murder and her subsequent trial made Toronto headlines. She was acquitted.

Bessie was also the sister of the more controversial Charles Albert (Bert) Massey, who was shot in 1915 by his maid Carrie Davies for alleged sexual assault. The murder was a prominent subject in Toronto newspapers, until the maid, Carrie, was acquitted.³⁷



Bessie and her brother, Bert, as children. Source: *The Masseys: Founding Family*, by Mollie Gillen

In 1963, after living in the subject house for 25 years, Bessie Glassco sold the portion of Lot 1 where the house stands to Walter Gerald Lumsden and Helen Marie Lumsden.³⁸ She sold other portions of the lot to the Corporation of the Town of Oakville in 1963.³⁹ In 1968 she died and is buried with her husband at St. Jude's Cemetery.⁴⁰ Walter Gerald Lumsden and Helen Marie Lumsden sold their portion of lot 1 to Paula Jemmett, and in 1972 she sold to Peter J. M. Bloemen.⁴¹

After the sale between Glassco and the Lumsdens, the lot south of the house (107 Morrison Road) remained empty and was likely the front garden of the subject property, considering the front entrance faces south. The Bloemens severed this lot and sold it separately from the house in the early 1990s, and a house was built on this lot around 1997.⁴² The subject house went through several more owners until the current owners.

In summary, the subject property is associated with the theme of development of the local area and mid-sized estates in Oakville in the early 1900s. It is also associated with some prominent local citizens and stories, such as the Glassco family of Glassco jams.

³⁷ CBC, "The Massey murder: 100 years later, the tabloid tale still fascinates", <https://www.cbc.ca/news/canada/the-massey-murder-100-years-later-the-tabloid-tale-still-fascinates-1.2944925>

³⁸ LRO Instrument 160649, being a Grant, dated December 2, 1963, between Bessie Glassco and Walter and Helen Lumsden, part lot 1.

³⁹ LRO Instrument 160715 and 161987.

⁴⁰ Find a Grave, "Bessie Irene Glassco", <https://www.findagrave.com/memorial/241655490/bessie-irene-glassco>

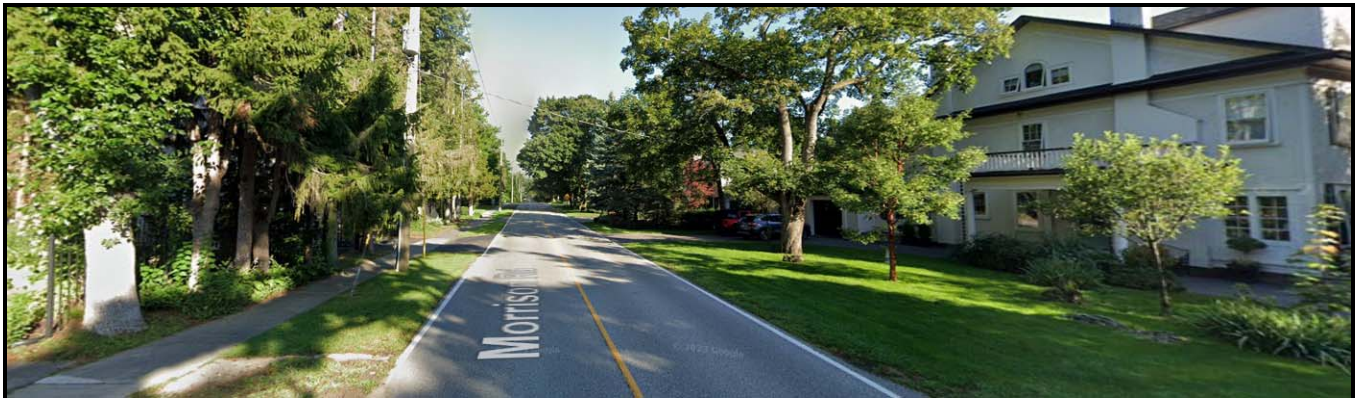
⁴¹ LRO Instrument 231145, being a Grant, dated May 10, 1967, between Walter and Helen Lumsden and Paula Jemmett, married woman, for part lot 1; LRO Instrument 339236, being a Grant, dated May 18, 1972, between Paula Jemmett, married woman, and Peter JM Bloemen. Paula's husband also sells a part of lot to Peter's wife, Dorothea, and this could be the south and north portion of the part.

⁴² Town of Oakville Planning files

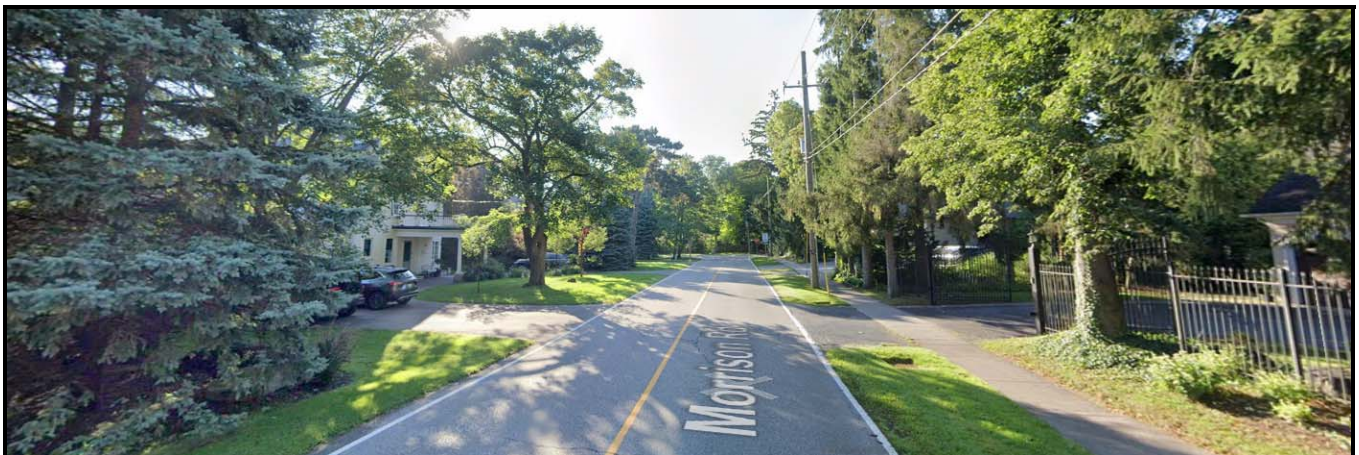
Contextual Value

The Graham House is important in defining, maintaining, and supporting the character of the local area, particularly the intersection of Morrison Road and Lakeshore Road East. The neighbourhood is characterized by large lots, mature trees, and a variety of homes, including several heritage homes like this one which provide visual and historical interest. As the earliest house built on the 1911 subdivision of the Morrison land, it also helps to define the built heritage timeframe of the area to the early 1900s. It acts as an important anchor to the neighbourhood’s past.

The subject property is physically and historically linked to its surroundings. It physically stands facing south, indicating its age as one of the earliest on the street, as it would have meant a lakeview and a large garden when it originally fronted onto Lakeshore Road. It still functions as a residential home and contributes to the understanding of local history, particularly early 1900s Oakville. It documents a time when many areas surrounding the Town of Oakville were transitioning from farmland to estates and residential subdivisions. This subject property is an example of this important shift in Oakville that would later define the Town.



Looking north on Morrison Road with the subject property on the right, 2023. The house is prominent on the streetscape, particularly with its semi-circular driveway. *Source: Town of Oakville Planning Services Staff*



Looking south on Morrison Road, 2023. *Source: Town of Oakville Planning Services Staff*

4. Evaluation under Ontario Regulation 9/06

Evaluation of the cultural heritage value of the subject property is guided by the criteria outlined in the *Ontario Heritage Act's, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. This Regulation outlines several criteria for determining whether a property is of cultural heritage value or interest. For a property to be designated under section 29 of the *Ontario Heritage Act*, it must meet two or more of these criteria, which are outlined below.

Ontario Regulation 9/06 Criteria	Evaluation	Criteria met (Y/N)
1. The property has design value or physical value because it:		
i. is a rare, unique, representative, or early example of a style, type, expression, material or construction method;	The property is a representative example of a Colonial Revival style house with Arts and Crafts influences.	Y
ii. displays a high degree of craftsmanship or artistic merit;	The property does not display a high degree of craftsmanship or artistic merit.	N
iii. demonstrates a high degree of technical or scientific achievement.	The property does not demonstrate a high degree of technical or scientific achievement.	N
2. The property has historical value or associative value because it:		
i. has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;	The subject property is associated with the theme of development of the local area of well-to-do estates in Oakville. It is also associated with some prominent local citizens who owned the property, including the Glassco family of Glassco Jams.	Y
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;	The property does not yield or have a strong potential to yield information that contributes to an understanding of a community or culture.	N
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	The house does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist significant to the community.	N
3. The property has contextual value because it:		
i. is important in defining, maintaining, or supporting the character of an area;	The subject house is important in supporting and maintaining the character of Morrison Road and Lakeshore Road East and acts as an important anchor to the neighbourhood's history of lakeshore estate development.	Y
ii. is physically, functionally, visually, or historically linked to its surroundings;	The property is physically and historically linked to its surroundings and contributes to the understanding of the residential development of the local community. It remains on its historical grounds as a residential house and is the oldest house from this 1911 subdivision.	Y
iii. is a landmark.	The property is not a landmark.	N

5. Statement of Cultural Heritage Value or Interest

The subject property has been researched and evaluated to determine its cultural heritage value or interest according to the criteria outlined in Ontario Regulation 9/06. By using these criteria, staff have determined that the property's cultural heritage value or interest merits designation under the *Ontario Heritage Act*.

Description of Property

The property at 115 Morrison Road is located on the east side of Morrison Road, between Lakeshore Road East and Cleaver Drive. The property contains a circa 1916 vernacular Colonial Revival with Arts and Crafts influences style two-and-a-half-storey house known as the Graham House.

Design Value or Physical Value:

The Graham House has design value as a representative example of a Colonial Revival home with Arts and Crafts influences from the early 1900s. Colonial Revival attributes of the home include: the massing of the historic two-and-a-half-storey house; its side gabled roof with dormers; its symmetrical façade with a central entrance; the decorative portico with round wooden columns and decorative frieze; Palladian style windows in gables; panelled front door complemented by sidelights with leaded glass windows; and the porte-cochère with its round wooden columns, frieze board and balustrade. Attributes that were influenced by the Arts and Crafts era include: the mix of materials of stucco, brick, stone and wood; covered porch with round wooden columns and low wooden railings; decorative wooden soffits with boxed cornices and returns; and a mix of types of multipaned windows and doors. The house exhibits many of the classical, traditional and formal aspects of the Colonial Revival style, which was fitting for an early 20th century estate house in southeast Oakville. It also contains a mix of local materials and elements from the Arts and Crafts era that embody craftsmanship from natural materials. Together, the house is a good example of these styles combined to create a large, charming home for wealthy residents in early 20th century Oakville.

Historical Value or Associative Value:

The Graham House has cultural heritage value for its association with the theme of development of the local area and mid-sized estates in Oakville in the early 1900s. The property started out as farmland, and the later subject house emerged during an important transition in the areas surrounding the Town of Oakville, when farmland began to be developed into estates and residential subdivisions, which was a significant time during Oakville's development. The property is also associated with some prominent local citizens and stories, such as the Glassco family of Glassco jams.

Contextual Value:

The Graham House is important in defining, maintaining, and supporting the character of the local area, which is characterized by large lots, mature trees, and a variety of homes, including several heritage homes like this one which provide visual and historical interest. As the earliest house built on the 1911 subdivision of the Morrison land, it also helps to define the built heritage timeframe of the area to the early 1900s and acts as an important anchor to the neighbourhood's past. The property is physically and historically linked to its surroundings and still functions as a residential home. It contributes to the understanding of local history, particularly early 1900s Oakville. It documents a time when many areas surrounding the Town of Oakville were transitioning from farmland to estates and residential subdivisions. This subject property is an example of this important shift in Oakville that would later define the Town.

Description of Heritage Attributes

Key heritage attributes of the property at 115 Morrison Road exemplify its cultural heritage value as a representative example of an early 1900s Colonial Revival home with Arts and Crafts influences, as they relate to all elevations of the historic two-and-a-half-storey house, include:

- The footprint, massing and form of the historic two-and-a-half-storey house, including its one-storey porte-cochère and one-storey enclosed porch;
- The side gabled roof with front dormers, projecting eaves, wooden soffits, and boxed cornices with friezeboards, and cornice returns on dormers;
- Three brick chimneys;
- Traditional textured stucco cladding with wooden corner boards and trim throughout;
- Fenestration of windows and doors of all elevations;
- The historic wooden windows with wooden storms;
- The porte-cochère and the presence of round wooden columns and a low railing on the roof;
- The front portico, including the four round wooden columns and decorative wooden entablature;
- Panelled front door with leaded glass sidelights and wooden trim;
- Covered porch on east elevation with round wooden columns, low wooden railing with wooden pickets, wooden entablature and trim, and wooden flooring;
- Historic wooden doors and storm doors throughout, including the three sets of double doors in the covered porch;
- The presence of a semi-circular driveway that loops through the porte-cochère.

6. Conclusion

This property meets four of the criteria of Ontario Regulation 9/06, including historical/associative value and contextual value. It is therefore recommended that the property be designated under Part IV, section 29 of the *Ontario Heritage Act*.

7. Sources

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- Town of Oakville, “North Oakville East Secondary Plan”, 2023
- Town of Oakville, “North Oakville West Secondary Plan”, 2023
- Town of Oakville, “Cultural Heritage Landscape Strategy Implementation – Phase Two: Cultural Heritage Evaluation Report, Gairloch Gardens”
- Town of Oakville, various departmental files including the Town’s Heritage Register, AMANDA building files, policies, reports, imagery, and mapping
- Underwriters’ Survey Bureau, *Insurance Plans of the Town of Oakville, 1949*. Toronto: Underwriters’ Survey Bureau

On March 4, 2024, Oakville Town Council resolved to pass a Notice of Intention to Designate the following property under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended, as a property of cultural heritage value and interest:

Graham House
115 Morrison Road
PT LOT 1, PLAN 141; TOWN OF OAKVILLE

Description of Property

The property at 115 Morrison Road is located on the east side of Morrison Road, between Lakeshore Road East and Cleaver Drive. The property contains a circa 1916 vernacular Colonial Revival with Arts and Crafts influences style two-and-a-half-storey house known as the Graham House.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Graham House has design value as a representative example of a Colonial Revival home with Arts and Crafts influences from the early 1900s. Colonial Revival attributes of the home include: the massing of the historic two-and-a-half-storey house; its side gabled roof with dormers; its symmetrical façade with a central entrance; the decorative portico with round wooden columns and decorative frieze; Palladian style windows in gables; panelled front door complemented by sidelights with leaded glass windows; and the porte-cochère with its round wooden columns, friezeboard and balustrade. Attributes that were influenced by the Arts and Crafts era include: the mix of materials of stucco, brick, stone and wood; covered porch with round wooden columns and low wooden railings; decorative wooden soffits with boxed cornices and returns; and a mix of types of multipaned windows and doors. The house exhibits many of the classical, traditional and formal aspects of the Colonial Revival style, which was fitting for an early 20th century estate house in southeast Oakville. It also contains a mix of local materials and elements from the Arts and Crafts era that embody craftsmanship from natural materials. Together, the house is a good example of these styles combined to create a large, charming home for wealthy residents in early 20th century Oakville.

Historical and Associative Value

The Graham House has cultural heritage value for its association with the theme of development of the local area and mid-sized estates in Oakville in the early 1900s. The property started out as farmland, and the later subject house emerged during an important transition in the areas surrounding the Town of Oakville, when farmland began to be developed into estates and residential subdivisions, which was a significant time during Oakville's development. The property is also associated with some prominent local citizens and stories, such as the Glassco family of Glassco jams.

Contextual Value

The Graham House is important in defining, maintaining, and supporting the character of the local area, which is characterized by large lots, mature trees, and a variety of homes, including several heritage homes like this one which provide visual and historical interest. As the earliest house built on the 1911 subdivision of the Morrison land, it also helps to define the built heritage timeframe of the area to the early 1900s and acts as an important anchor to the neighbourhood's past. The property is physically and historically linked to its surroundings and still functions as a residential home. It contributes to the understanding of local history, particularly early 1900s Oakville. It documents a time when many areas surrounding the Town of Oakville were transitioning from farmland to estates and residential subdivisions. This subject property is an example of this important shift in Oakville that would later define the Town.

Description of Heritage Attributes

Key heritage attributes of the property at 115 Morrison Road exemplify its cultural heritage value as a representative example of an early 1900s Colonial Revival home with Arts and Crafts influences, as they relate to all elevations of the historic two-and-a-half-storey house, include:

- The footprint, massing and form of the historic two-and-a-half-storey house, including its one-storey porte-cochère and one-storey enclosed porch;
- The side gabled roof with front dormers, projecting eaves, wooden soffits, and boxed cornices with friezeboards, and cornice returns on dormers;
- Three brick chimneys;
- Traditional textured stucco cladding with wooden corner boards and trim throughout;
- Fenestration of windows and doors of all elevations;
- The historic wooden windows with wooden storms;
- The porte-cochère and the presence of round wooden columns and a low railing on the roof;
- The front portico, including the four round wooden columns and decorative wooden entablature;
- Panelled front door with leaded glass sidelights and wooden trim;
- Covered porch on east elevation with round wooden columns, low wooden railing with wooden pickets, and wooden entablature and trim;
- Historic wooden doors and storm doors throughout, including the three sets of double doors in the covered porch;
- The presence of a semi-circular driveway that loops through the porte-cochère.

Any objection to this designation must be filed no later than April **, 2024. Objections must be directed to the Town Clerk at townclerk@oakville.ca or 1225 Trafalgar Road, Oakville, Ontario L6H 0H3. The objection must include the reasons for the objection and all relevant facts.

Further information respecting this proposed designation is available from the Town of Oakville. Any inquiries may be directed to Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation at 905-845-6601, ext.3875 (TTY 905-338-4200), or by email at carolyn.van@oakville.ca.

Issued at the Town of Oakville on March **, 2024.



OAKVILLE

REPORT

Planning and Development Council

Meeting Date: March 4, 2024

FROM: Planning Services Department

DATE: February 20, 2024

SUBJECT: Recommendation Report, Draft Plan of Condominium, Biddington Homes Lakeshore Inc. – 95 Brookfield Road, File No.: 24CDM-23007/1716

LOCATION: 95 Brookfield Road

WARD: Ward 2

Page 1

RECOMMENDATION

That the Director of Planning Services be authorized to grant draft plan approval to the Draft Plan of Condominium (24CDM-23007/1716) submitted by Biddington Homes Lakeshore Inc., and prepared by J.H. Gelbloom Surveying Ltd., dated February 12, 2024, subject to the conditions contained in Appendix 'A' of the Planning Services report dated February 20, 2024.

KEY FACTS

The following are key points for consideration with respect to this report:

- A standard draft plan of condominium has been submitted to create a condominium consisting of twenty-two townhouse units and an underground parking garage.
- Condominium tenure would allow for the transfer of individual units to the future owners.
- Minor variance application (CAV A/078/2017) was approved on May 30, 2017, to permit the twenty-two unit townhouse development.
- The development received site plan approval (SP.1716.015/02) on June 25, 2019.
- There were no concerns raised with the draft plan of condominium application from internal departments or external agencies.
- Staff recommends approval of the standard draft plan of condominium application, subject to the conditions outlined in Appendix 'A'.

BACKGROUND

The purpose of this report is to provide a full staff review of the application and a recommendation on the proposed draft plan of standard condominium application consisting of twenty-two back-to-back townhouse units. Minor variance application (CAV A/078/2017) was approved on May 30, 2017, to permit the twenty-two unit townhouse development. Site plan approval was subsequently granted on June 25, 2019 (SP.1716.015/02). The approved site plan is shown on Figure 1.

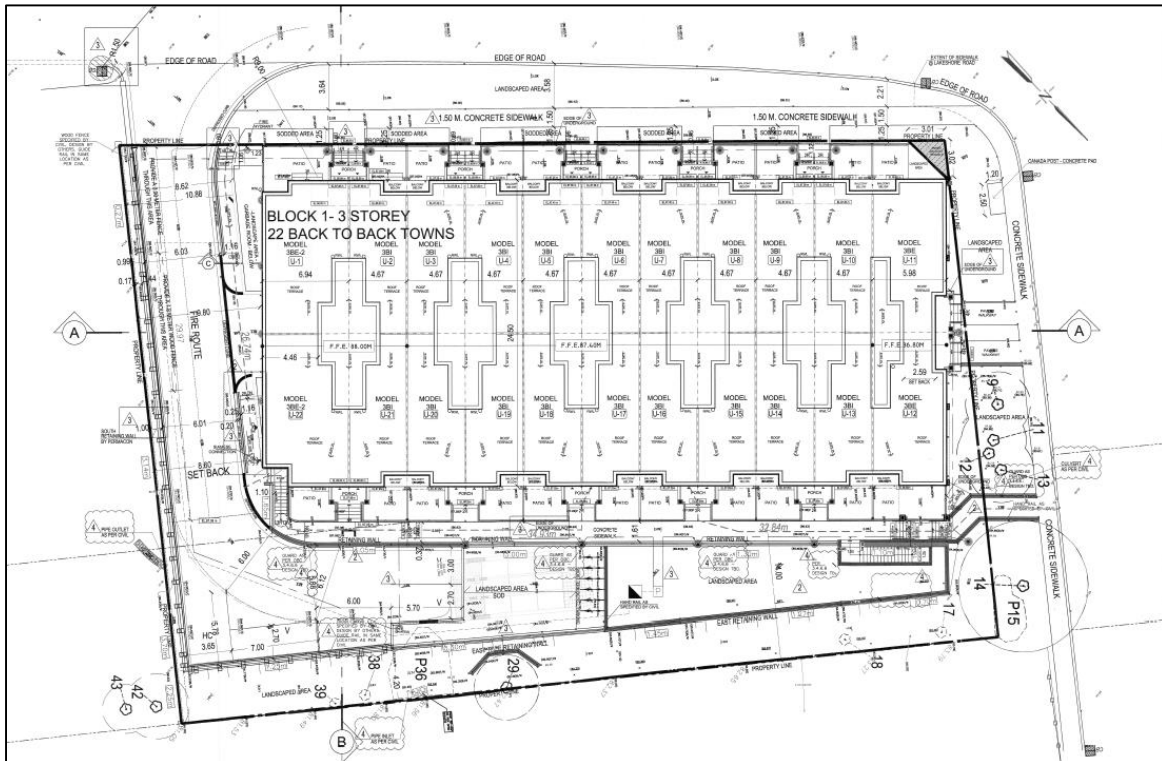


Figure 1: Approved Site Plan (SP.1716.015/02)

A note to file was approved on March 11, 2021, to permit a minor revision to the approved site plan, accommodating for the connection of mechanical penthouses to accommodate elevators, and minor related material updates.

The draft plan of condominium application was submitted on November 15, 2023 by Biddington Homes Lakeshore Inc. Draft plan approval and registration of the plan will allow for the formal transfer of the individual units to the purchasers. Upon registration of the plan of condominium, the condominium corporation will be responsible for the management of the development.

Proposal

The applicant seeks approval for a standard plan of condominium to establish tenure for twenty-two, three-storey, back-to-back townhouse units and twenty-two vehicular parking spaces of which will be located in an underground parking garage. One vehicular access point will be provided from Brookfield Road. The Draft Plan of Condominium is shown below as Figure 2.

Submission materials are posted on the town’s website:

[Biddington Homes Lakeshore Inc. - 95 Brookfield Road - 24CDM-23007/1716 \(oakville.ca\)](http://Biddington Homes Lakeshore Inc. - 95 Brookfield Road - 24CDM-23007/1716 (oakville.ca))

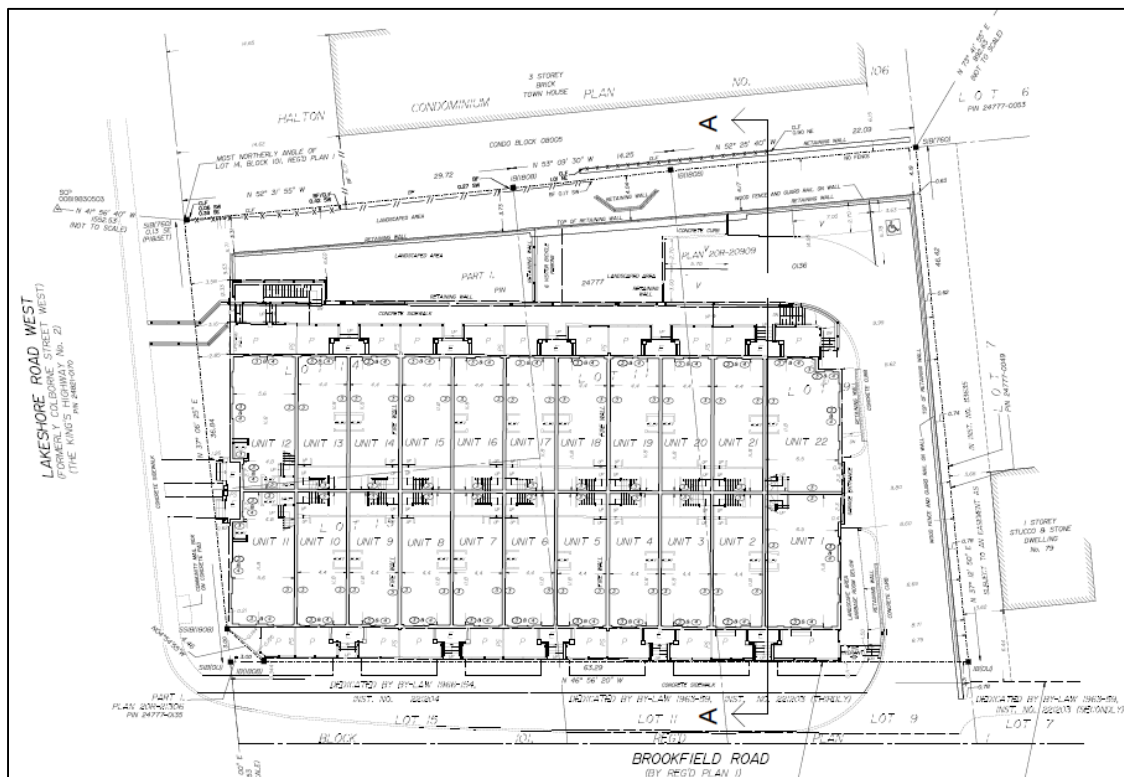


Figure 2: Draft Plan of Condominium

Location & Site Description

The subject lands are approximately 0.7 ha in size with frontage onto Lakeshore Road West and Brookfield Road. Construction of the twenty-two unit townhouse development was completed on June 14, 2023.



Figure 3: Aerial Image

Surrounding Land Uses

North: Lakeshore Road West and Fortinos Grocery Store
East: Residential - existing two-storey townhouse development.
South: Residential – existing one- and two-storey detached dwellings.
West: Brookfield Road and existing two-storey townhouse development.

PLANNING POLICY & ANALYSIS

Halton Region Official Plan

The subject lands are designated “Urban Area” in 2009 Regional Official Plan. The Urban Area is “planned to accommodate the distribution of population and employment for the Region and the four Local Municipalities”. One of the objectives of the Urban Area (Policy 72(1)) is to “accommodate growth in accordance with the Region’s desire to improve and maintain regional unity, retain local community identity, create healthy communities, promote economic prosperity, maintain a high quality, sustainable natural environment, and preserve certain landscapes permanently”.

Halton Region staff have reviewed the applications and are of the opinion that the proposal conforms to the relevant planning documents and have no objection to the applications subject to the conditions included within Appendix “A”.

Livable Oakville Plan

The subject lands are designated ‘Main Street 1’ on Schedule O1 – Kerr Village Land Use in the Livable Oakville Plan.

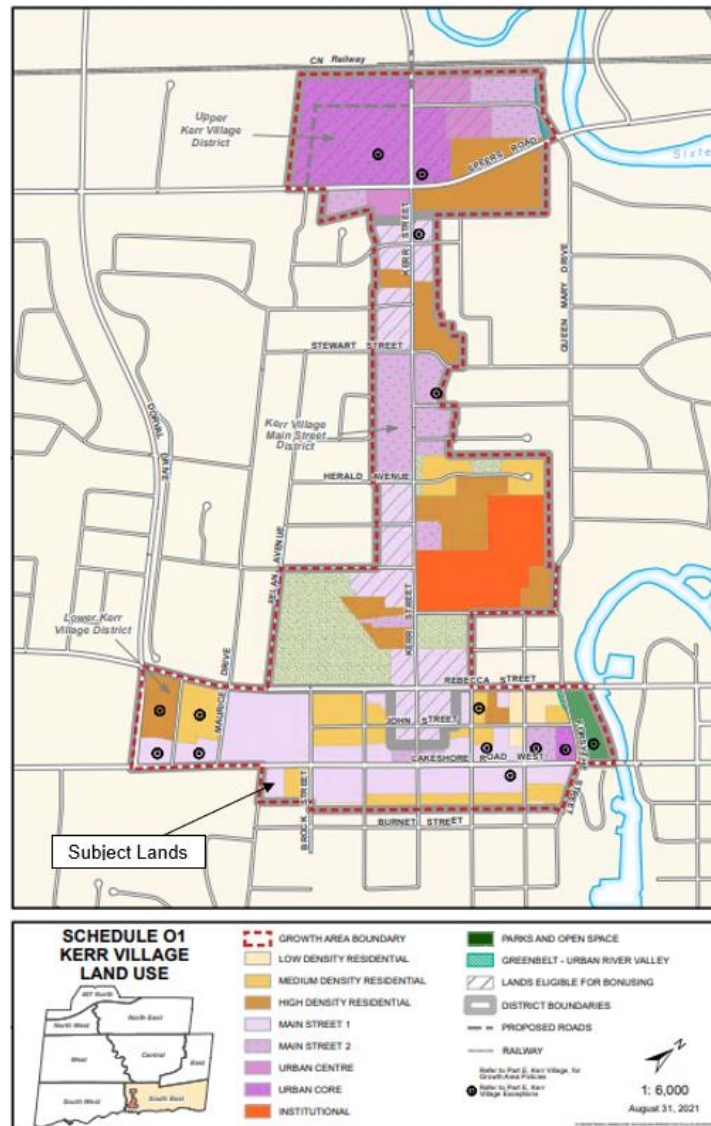


Figure 4: Aerial Image

Zoning By-law 2014-014

The subject lands are zoned Central Business District (CBD) subject to Special Provision 349 (CBD sp:349) as shown on **Figure 5** below. A minor variance was (CAV A/078/2017) was approved on May 30, 2017, to permit the twenty-two unit townhouse development.

As a standard Condition of Approval for all developments, the applicant will be required to confirm that the “as built” development complies with the Zoning By-law prior to registration.

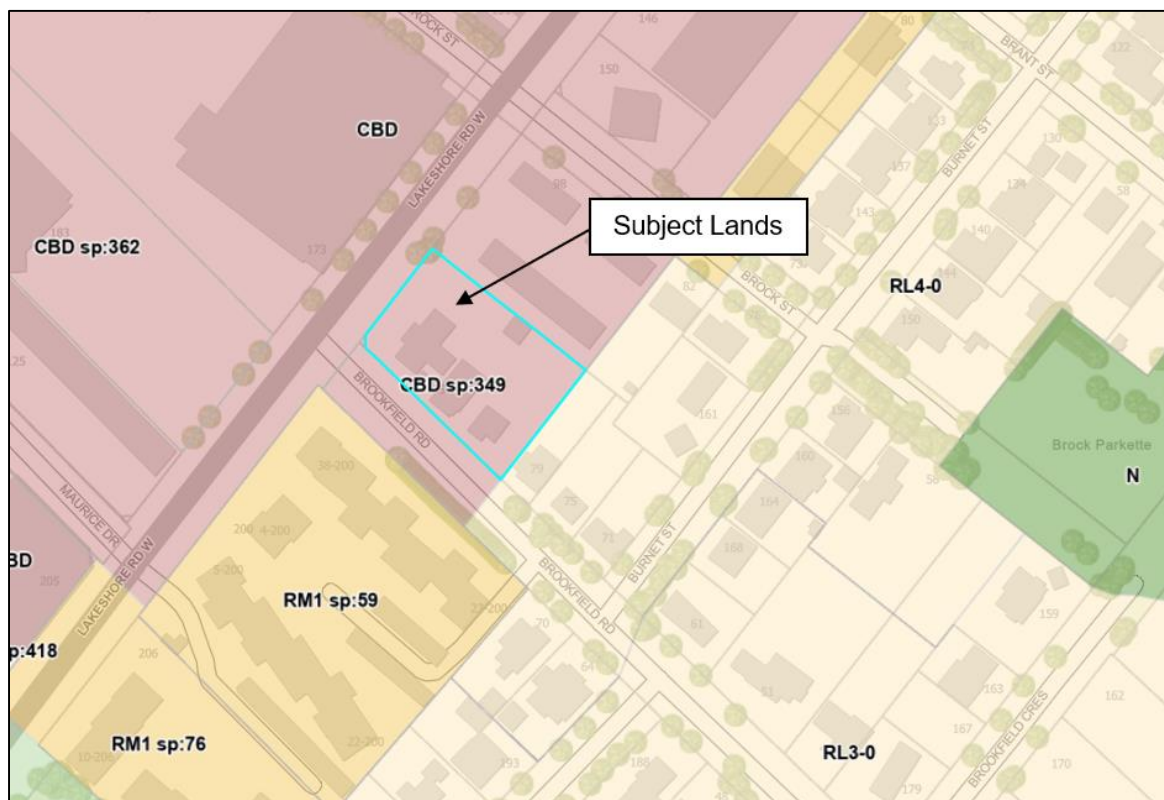


Figure 5: Zoning By-law Extract

PLANNING ANALYSIS

Technical Review

The purpose of the proposed condominium is to create condominium tenure to permit twenty-two, 3-storey, townhouse units and twenty-two associated parking spaces to allow for the transfer of ownership to the purchasers.

Site plan approval SP.1716.015/02 was approved on June 25, 2019. Through the review and approval of the site plan application, and minor variance, the development was subject to a detailed technical analysis. Specifically, the following matters were addressed:

- Built form and site layout;
- Elevations;
- Pedestrian circulation;
- Landscaping, canopy coverage and urban design;
- Site servicing;
- Grading and stormwater management;
- Conformity with the Livable Oakville Plan; and,
- Compliance with the Zoning By-law 2014-014.

The following matters will continue to be reviewed for compliance with the approved site plan:

- Tree preservation; and,
- Handrail location along Lakeshore Road West.

The draft plan of condominium application was circulated to internal departments and external agencies for comments, and no issues were raised. Draft Plan of Condominium Conditions have been included in Appendix 'A'.

The financial obligations as related to the construction of the development have been addressed through the site plan process. Specific conditions related to the required stormwater works are contained within the registered site plan agreement, including a condition for stormwater management performance certification.

Both on-site and off-site works are secured by a letter of credit collected through the site plan approval process.

Lastly, the proposed plan of condominium meets the criteria established in Section 51(24) of the *Planning Act* and is consistent with the Livable Oakville Plan.

CONCLUSION

Staff recommends approval of the draft plan of condominium subject to the conditions noted in Appendix 'A', as the application is consistent with the Provincial Policy Statement, does not conflict with provincial plans or to the Region of Halton Official Plan, has regard for matters of Provincial interest, and represents good planning. Further, the application is consistent with the Livable Oakville Plan and Zoning By-law 2014-014. The following requirements have been satisfied:

- The proposed plan of condominium meets the criteria established in Section 51(24) of the *Planning Act*;
- A full circulation has been undertaken and there are no outstanding financial or planning issues to be resolved;
- The development has been granted final site plan approval, where site servicing, grading and stormwater management, landscaping, urban design, and financial obligations were addressed through conditions of site plan approval;
- Building permits have been issued in accordance with the approved Site Plan;
- There is no need for a condominium agreement as all financial, design and technical requirements have been addressed through the site plan approval process;
- Opportunities for public participation were provided as part of the previous rezoning and site plan application processes.
- Approval of the draft plan of condominium is necessary to create each unit as its own legal parcel, and is appropriate for the orderly development of the lands.

CONSIDERATIONS

(A) PUBLIC

Public input opportunities were provided through a previous site plan approval process. No public comments were received with respect to this application.

(B) FINANCIAL

Financial requirements specific to construction, such as the payment of development charges and parkland requirements, have been satisfied. A standard condition has been included to ensure that the property taxes are paid to date.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

None of the circulated departments/agencies raised any issues with respect to the proposal. Relevant conditions have been included within the draft plan of condominium conditions listed in Appendix 'A'.

(D) CORPORATE STRATEGIC GOALS

This report addresses Council's strategic priority/priorities: Growth Management, Community Belonging, Environmental Sustainability and Accountable Government.

(E) CLIMATE CHANGE/ACTION

The proposal generally complies with the sustainability objectives of the Livable Oakville Plan.

APPENDICES:

Appendix A - Draft Plan of Condominium Conditions

Prepared by:
Riley McKnight
Planner, Current Planning – West District

Recommended by:
Paul Barrette, MCIP, RPP
Manager, Current Planning – West District

Submitted by:
Gabriel A.R. Charles, MCIP, RPP
Director, Planning Services

Appendix A – Conditions

TOWN OF OAKVILLE CONDITIONS FOR FINAL APPROVAL FOR THE REGISTRATION OF THE DRAFT PLAN OF STANDARD CONDOMINIUM BY BIDDINGTON HOMES LAKESHORE INC.

This approval applies to the Draft Plan of Condominium (File 24CDM-23007/1716) submitted by Biddington Homes Lakeshore Inc., and prepared by J.H. Gelbloom Surveying Ltd., and dated February 12, 2024. The final plans are to be reviewed and cleared to the satisfaction of the Town of Oakville.

The Town of Oakville conditions applying to the approval of the final plan for registration of Biddington Homes Lakeshore Inc., Draft Plan of Condominium (File 24CDM-23007/1716) are as follows:

CONDITIONS	CLEARANCE AGENCY
GENERAL	
1. That the owner provides confirmation to the satisfaction of the Town’s Finance Department that any outstanding development charges and property taxes have been paid prior to plan registration.	OAK(F)
2. The owner provide a certificate signed by the surveyor and the owner that the plan proposed to be submitted for registration is the same as the latest (most recent) draft approved plan and, if the plans are not the same, that any differences between the proposed registered plan and the latest draft plan are accepted/approved by the Town.	OAK (PS)
3. The Owner shall provide a certificate from the Owner’s engineer stating that all servicing, grading, drainage, overland flow route, and stormwater management requirements, and base asphalt paving have been completed in accordance with the plans and conditions in the original site plan agreement, or that arrangements to the satisfaction of the Director of Development Engineering have been made for their completion.	OAK (TE)
4. That the owner/applicant confirms as-built compliance with the Zoning By-law and that any deficiencies be brought into compliance with the Zoning by-law through the Committee of Adjustment and/or a Zoning By-law Amendment prior to plan registration.	OAK (Z)
LEGAL	
5. The Owner shall file with the Director of Planning, a complete copy of the final version of the Declaration and Description to be registered, which includes the following schedules:	OAK(L)
a) Schedule “A” containing statement from the declarant’s solicitor that in this or her opinion, based on the parcel register or abstract index and the plans and drawings recorded in them, the legal description is correct and any easements mentioned in the schedule will exists in law upon the registration of the Declaration and Description; and,	
b) Schedule “G” being the certification of the project engineer and/or architect that all buildings have been constructed in accordance with the regulations under the Condominium Act.	

6. When the Owner files a copy of the Declaration with the Director of Planning, it shall be accompanied with a letter of undertaking, stating that, "This is our undertaking to register the Declaration in the same form and content as was provided to you, subject to any changes the Land Registrar may require. This is also our undertaking to provide you with a registered copy of the Declaration once it is registered. If the Land Registrar requires any amendments to the Declaration, we will advise you."
7. Visitor parking spaces and bicycle parking will be clearly delineated on the condominium plan to be registered and Declaration shall contain a clause clearly specifying that visitor and bicycle parking shall form part of the common elements and neither to be used nor sold to unit owners or be considered part of the exclusive use portions of the common elements.
8. The declaration shall include the following warning clauses/notices to future owners:
 - a) The fence located opposite the parking garage entrance/exit shall be maintained in a good state of repair at the sole expense of the condominium corporation.
 - b) The condominium corporation shall be responsible for maintaining the three walkway connections between the condominium lands and the sidewalk on Lakeshore Road West, including the repair/replacement of any railing systems and the provision of winter maintenance of walkways. The Town is not responsible for any maintenance, repairs, liability or oversight in respect of these walkways.

DEVELOPMENT ENGINEERING

7. The Owners shall install all the required stormwater works as set out in the Approved Site Plan (the "Required Stormwater Works") to the satisfaction of the Town and provide the Town with confirmation by a Professional Engineer licensed by the Province of Ontario, that the Required Stormwater Works on and within the property are in-place and functioning as approved for the property. **OAK(DE)**

CLOSING CONDITIONS

12. Prior to signing the final plans, the Director of Planning Services shall be advised by Development Engineering that condition 7 has been carried out to their satisfaction with a brief but complete statement detailing how the condition has been satisfied. **OAK (PS), OAK(DE)**
13. Prior to signing the final plans, the Director of Planning Services shall be advised that all conditions have been carried out to the satisfaction of the relevant agencies, and that a brief but complete statement detailing how each condition has been satisfied has been provided. **OAK (PS)**

All of the above conditions shall be satisfied within 3 years of the granting of draft approval, being *[Month Day, Year]*. (Date of Draft Approval to be inserted as the day after the last date for appeals if no appeals are received). **OAK (A)**

NOTES – The owner is hereby advised:

1. If the condominium is not registered within 3 years of the date of draft plan approval, then this approval shall be null and void and the plans and drawings must be resubmitted to the Town of Oakville for approval.
2. Fees are required by Halton Region and may be required by the Local Municipality for each extension to draft approval and for major revisions to the draft plan or conditions and for the registration of the plan.
3. Please note the Owner should be made aware that Halton Region will have the following requirements at the time of registration of the condominium:
 - a. Final draft condominium plans signed and dated by the Owner, Surveyor and initialed by the Town's Planner;
 - b. Regional Registration fee;
 - c. Registry Office review form (Appendix D Form (Formerly Schedule J Form)); and,
 - d. Letter from Applicant/Owner indicating how the Region's conditions of draft approval have been addressed

LEGEND – CLEARANCE AGENCIES

OAK (PS)	Town of Oakville – Planning Services
OAK (F)	Town of Oakville – Finance
OAK (L)	Town of Oakville – Legal
OAK (Z)	Town of Oakville - Zoning
OAK (TE)	Town of Oakville – Transportation and Engineering
OAK (DE)	Town of Oakville – Development Engineering



OAKVILLE

REPORT

Planning and Development Council

Meeting Date: March 4, 2024

FROM: Planning Services Department

DATE: February 20, 2024

SUBJECT: **Public Meeting & Recommendation Report, Draft Plan of Subdivision and Zoning By-law Amendment, MacDonald Rose Inc., 358 Reynolds Street - File Nos. 24T-23003/1613 and Z.1613.65**

LOCATION: 358 Reynolds Street

WARD: Ward 3 Page 1

RECOMMENDATION:

1. That the Draft Plan of Subdivision and Zoning By-law Amendment applications by MacDonald Rose Inc. for 358 Reynolds Street (File Nos. 24T-23003/1613 and Z.1613.65) be refused as proposed;
2. That if the application is appealed to the Ontario Land Tribunal, town staff be authorized to negotiate and finalize a settlement of the appeal, if possible addressing the concerns outlined in this report affecting zoning regulations and development standards to the satisfaction of the Commissioner of Community Development and Town Solicitor or designates; and
3. That the notice of Council's decision reflect that Council has fully considered all of the written and oral submissions relating to these matters and that those comments have been appropriately addressed.

KEY FACTS:

The following are key points for consideration with respect to this report:

-
- **Location:** The subject property is located at the southwest corner of Macdonald Road and Reynolds Street and is municipally known as 358 Reynolds Street.
 - **Policy Context:** The subject property is located within *Schedule G: South East Land Use plan* and is designated as *Medium Density Residential* in the Livable Oakville Plan.
 - **Zoning:** The subject property is zoned *Residential Medium 4 (RM4) Special Provision 416* which permits a three-storey, 14-unit apartment building with a single access on Macdonald Road and underground parking.
 - **Housing Pledge:** On March 20, 2023, Council approved Oakville's Housing Pledge to facilitate the delivery of 33,000 new housing units by 2031/2032, which aims to accelerate the delivery of housing over the next ten years.
 - **Previous Applications:** The site was the subject of an Official Plan Amendment for a change in land use from *Low Density Residential* to *Medium Density Residential*, and a Zoning By-law Amendment for a change from RL5-0 to RM4 SP416 to permit a 14-unit apartment building with underground parking and a single driveway access from Macdonald Road.

The previous applications were approved by the Ontario Land Tribunal on July 19, 2022.

- **Current Application:** The new Owner has submitted a Draft Plan of Subdivision and Zoning By-law Amendment applications to develop 11 three-storey townhouse dwelling units with individual driveways from Macdonald Road and Reynolds Street.
- **Public Consultation:** A developer-hosted Public Information Meeting was held on June 13, 2023, with approximately 17 attendees, including the Ward Councillors and staff. Only one public comment has been received at the time of the writing of this report and is included within Appendix "D".
- **Timing:** The application was deemed complete on December 14, 2023. The *Planning Act* provides for a 90-day timeline for Council to make a decision on the application (March 13, 2024), failing which the applicant can appeal for a non-decision and would be entitled to a refund of fees. Given the 90-day timeline, staff are bringing forward a combined Statutory Public Meeting/Recommendation Report for Council's consideration.
- **Staff Recommendation:** Staff is of the opinion that a townhouse development is appropriate for the subject site, and the proposed residential

land use is consistent with the Provincial Policy Statement, Growth Plan and Town Official Plan.

Prior to the enactment of Bill 109, Staff would have more opportunity to work with a proponent to improve an application before making a recommendation to Council. Without that ability, staff recommend refusing the application.

If the application is appealed, staff would use the appeal process and attempt to negotiate the zoning regulations and development standards through the draft plan conditions and heritage permit process.

BACKGROUND:

The purpose of this report is to provide a full staff review of the application and a recommendation on the proposed Draft Plan of Subdivision and Zoning By-law Amendment for 358 Reynolds Street.

Previous Applications

In June 2020, applications for an Official Plan Amendment and Zoning By-law Amendment were submitted to permit a three-storey, 14-unit apartment building with a single access on Macdonald Road and underground parking. The applications were subsequently appealed to the Ontario Land Tribunal (OLT) for non-decision. The OLT allowed the appeal, and an order was issued in July 2022.

The OLT approval changed the land use designation from *Low Density Residential* to *Medium Density Residential*, and the zoning from *Residential Low 5 (RL5-0)* to *Residential Medium 4 (RM4 SP 416)* to facilitate the development of a 14-unit apartment building. Special Provision 416 provides for the following modified regulations shown in Figure 1 below:

416	358 Reynolds Street (Transmetro Limited)	Parent Zone: RM4
Map 19(8)		(2022-078) PL210098
15.416.1 Zone Provisions		
The following regulations apply:		
a)	<i>Minimum interior side yard for a rooftop terrace on the roof of the second storey of an apartment dwelling abutting a Residential Low Zone.</i>	10.0m
b)	<i>Minimum interior side yard for a dwelling unit containing residential floor area (excluding staircases), of the third storey of an apartment dwelling oriented toward the interior lot line.</i>	10.0m
c)	Maximum number of storeys	3
d)	Maximum height	14.35 m
e)	<i>Balconies shall be permitted to project a maximum of 6.0m from the longest main wall of the apartment dwelling with a minimum setback of 4.5m to the interior lot line.</i>	

Figure 1 – Existing zoning

The OLT approved zoning regulations were based on a specific concept plan, shown in Figure 2 below:

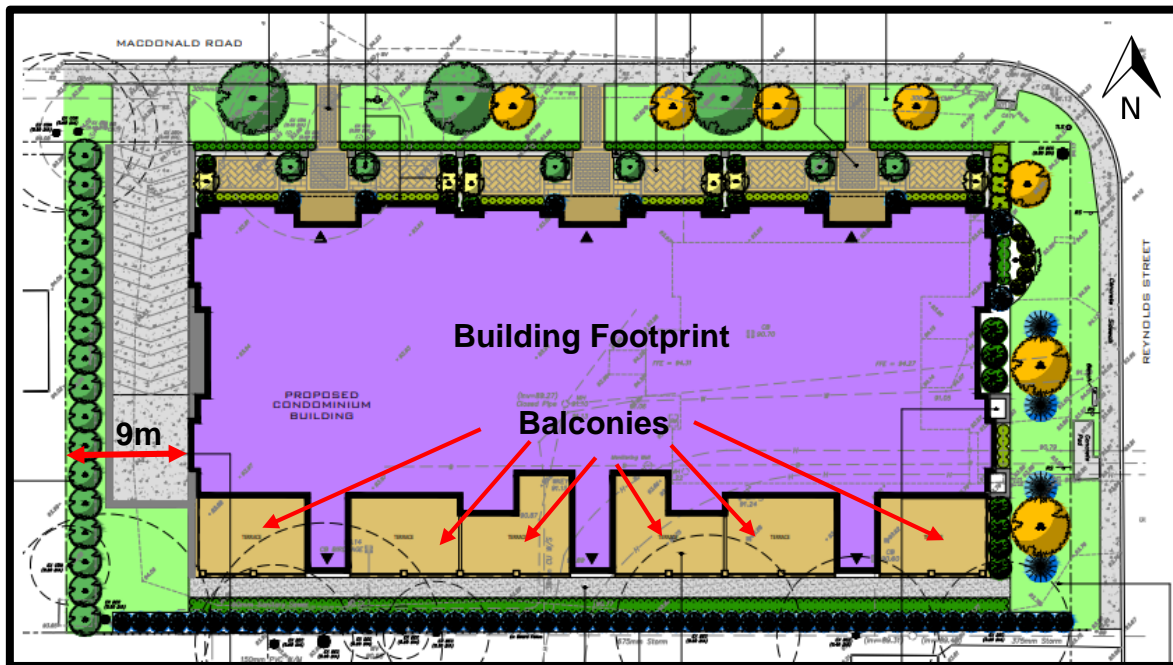


Figure 2 – OLT approved concept for 358 Reynolds (RM4 SP416)

Shortly after the decision, the lands were sold to the current applicant who is proposing a new concept for the site.

Housing Pledge and Strategy

Over the past few years, provincial initiatives such as the More Homes Built Faster: Ontario's Housing Supply Action Plan: 2022-2023, and resulting legislation (e.g., Bill 109, Bill 23, Bill 97) has been enacted with the intent to address Ontario's housing crisis by increasing housing supply and accelerating housing delivery.

On May 16, 2022, Planning and Development Council received a Housing Information Report providing an overview of legislation, plans and policies at the federal, provincial, regional, and town levels regarding housing. The report included commentary on various emerging matters, trends and themes and a preliminary assessment of the town's policies in the Livable Oakville Plan. It identified issues and matters to be addressed regarding housing.

In response to provincial legislation, on March 20, 2023, Council approved Oakville's Housing Pledge to facilitate the delivery of 33,000 new housing units by 2031/2032, which aims to accelerate the delivery of housing over the next ten years.

On July 10, 2023, Council received the Housing Strategy and Action Plan, detailed in the Planning Services report titled "Housing Strategy and Action Plan including the Housing Accelerator Fund Application" dated June 23, 2023.

The proposed application for a change in building type from apartment to townhouse dwelling within the *Medium Density Residential* designation reinforces the town's commitment to meeting the need for housing and addressing the demands of Ontario's growing population. The town is also committed to ensuring that growth is contextually appropriate and financially sustainable.

The town recognizes the immediate need for new housing includes a broad range of market-based, rental, attainable, affordable, social, and assisted housing, which are among the many types of housing required by the public across the housing continuum. The town also recognizes its role within the housing system, as an approval authority with the ability to enable housing development and housing supply, but not build housing units directly. The Town's Urban Structure accounts for some residential infill and intensification outside of Growth Areas.

Preliminary Review of the Current Proposal

A pre-consultation meeting was held in March 2023 for the current application for a 12-unit townhouse development. The purpose of a pre-consultation meeting is to establish the formal application requirements of a development application and provide preliminary staff feedback on a proposal, which was attended by the applicant and Town and Regional staff.

Considering the previous OLT decision, the policies of the Livable Oakville Plan, the Trafalgar Road Heritage Conservation District (TRHCD) Plan, and urban design directions contained in the Livable by Design Manual, staff provided preliminary feedback on the 12-unit proposal relating to the integration of the proposed townhouse dwelling form with the surrounding neighbourhood such as transition to adjacent dwellings and compatibility with the TRHCD, and technical aspects such as stormwater management and transportation matters.

The applicant submitted a request for a Pre-Submission Review, which included modifications to the proposal such as a decrease in height, reduction in number of units (from 12 to 11), re-location of one driveway, as well as some design elements to better align with the Urban Design Guidelines and the TRHCD Plan. Not all materials identified through the Pre-Consultation process were provided such as the Heritage Impact Assessment, and staff and agencies were unable to provide a fulsome review of the proposal. Comments on the Pre-Submission Review were provided to the applicant, reiterating the need to better integrate the development with the surrounding context and constraints.

Key Milestones

File No. Z.1613.65 is a Bill 109 application.

Pre-Consultation Meeting	March 23, 2023
Public Information Meeting	June 13, 2023
Pre-Submission Review	June 29, 2023
Application Deemed Complete	December 14, 2023
Date Eligible for Appeal and refund of fees (if no decision)	March 13, 2024

Proposal

The applicant proposes to develop 11 freehold townhouse dwelling units by way of a Draft Plan of Subdivision (shown in Figure 3 below), with individual accesses onto Macdonald Road and Reynolds Street as shown in Figure 4 below. The subdivision consists of two development blocks and a road widening. A future part lot control application will be required to establish the individual townhouse dwelling lots. In Figures 5-9, 3D models of all sides of the proposed development are shown below.

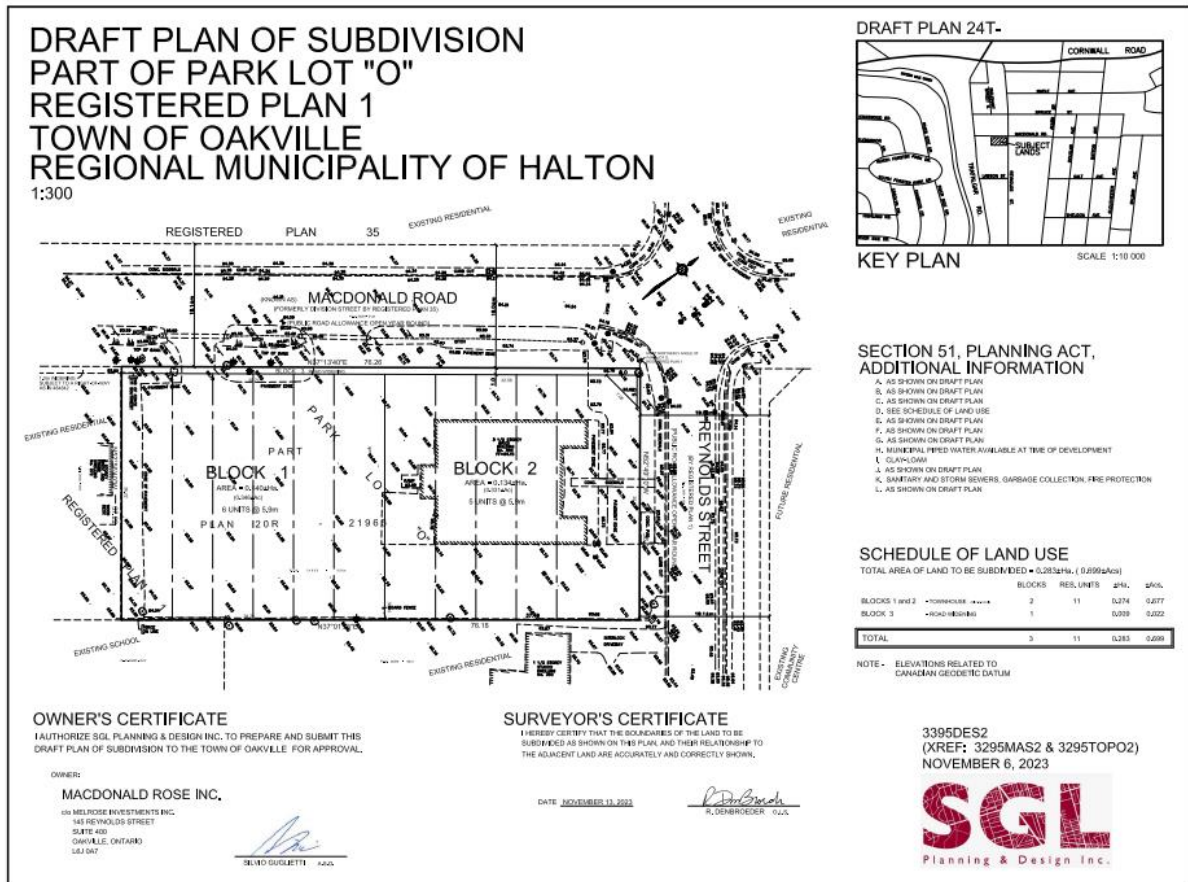


Figure 3 – Draft Plan of Subdivision

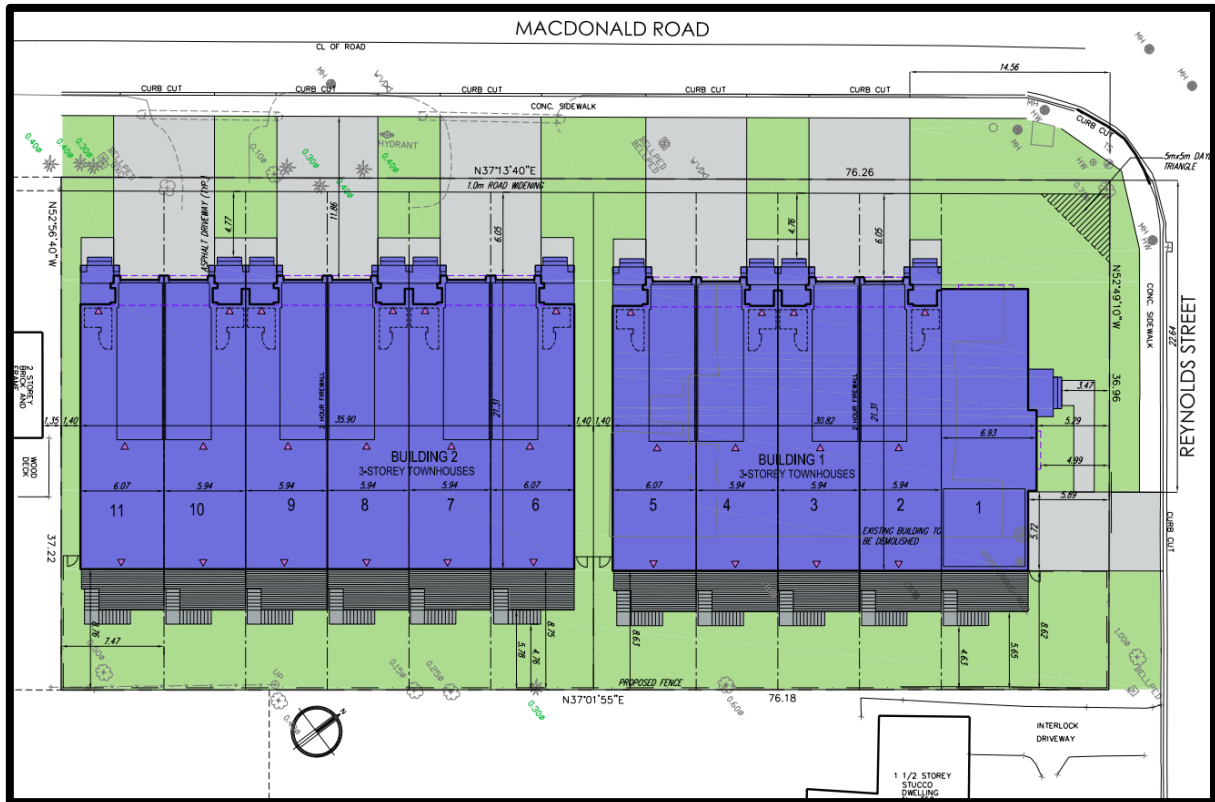


Figure 4 – Proposed conceptual site plan



Figure 5 – 3D model of the north and east elevations



Figure 6 – 3D model of the north and west elevations



Figure 7 – 3D Model of the south and west elevations

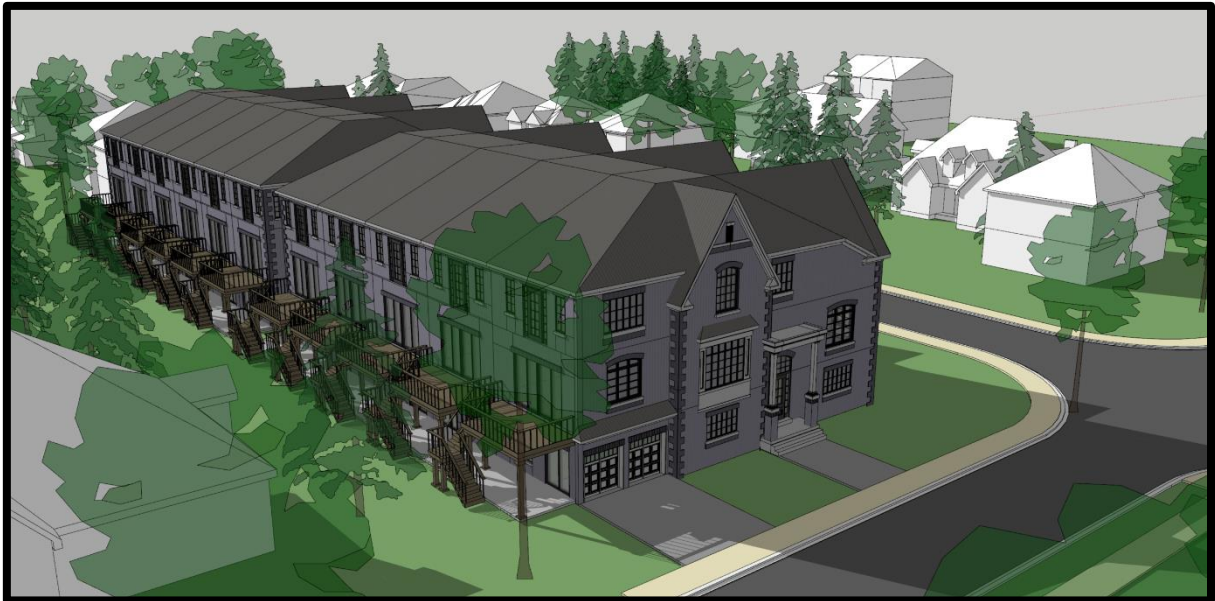


Figure 8 – 3D model of the south and east elevations



Figure 9 – 3D Model of the north elevation

Location & Site Description

The subject lands are located at the southwest corner of Reynolds Street and Macdonald Road and are 2,825 m² (0.2825 ha) in size, with approximately 37 m of frontage on Reynolds Street and 76 m of flankage on Macdonald Road. The legal description of the lands is Part of Lot O, Registered Plan 1. The municipal address is 358 Reynolds Street.

The subject property contains a vacant three and a half storey medical office building that was constructed in 1954. There are no residential rental units on the subject lands. The building was vacated in 2015 after the closure of the Oakville Trafalgar Memorial Hospital, formerly located to the east. The property is located within the Trafalgar Road HCD and is located directly across from the property at 293 Macdonald Road, which is designated under Part IV of the *Ontario Heritage Act* for its c.1857 brick house known as the Campbell House.

Macdonald Road is classified as a Minor Collector road and Reynolds Street is classified as Minor Arterial road. The intersection of Macdonald Road and Reynolds Street is signalized.

Surrounding Land Uses

The surrounding land uses are as follows:

North: Macdonald Road and two-storey detached dwellings

East: Reynolds Street and future two-storey detached dwellings, existing park and community centre

South: two-storey detached dwellings

West: two-storey detached dwellings

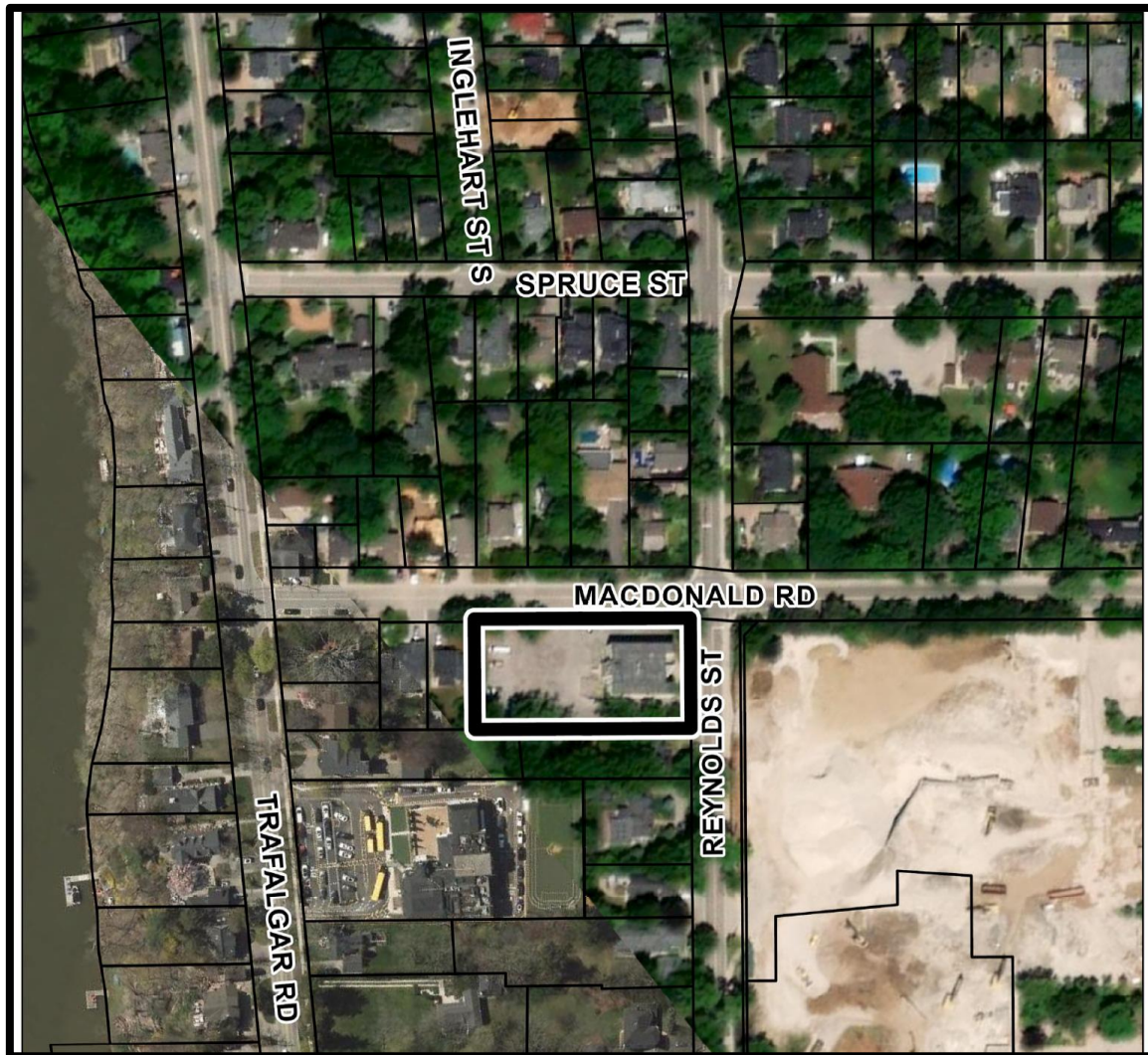


Figure 10 - Aerial Photo

PLANNING POLICY & ANALYSIS:

The property is subject to the following policy and regulatory framework:

- Provincial Policy Statement (2020);
- Growth Plan for the Greater Golden Horseshoe (2019);
- Halton Region Official Plan;
- Livable Oakville Official Plan; and
- Zoning By-law 2014-014.

Provincial Policy Statement (2020)

The Provincial Policy Statement (2020) ('PPS'), which came into effect on May 1, 2020, continues to recognize that there are complex relationships among environmental, economic and social factors in land use planning. The PPS encourages the wise management of land to achieve efficient development and land use patterns by directing growth to settlement areas and encourages Planning authorities to permit and facilitate a range of housing options, including new development as well as residential intensification, to respond to current and future needs for a time horizon of up to 25 years.

The PPS (2020) provides that development and site alterations on lands adjacent to protected heritage properties are not permitted except where the proposed development has been evaluated and demonstrates that the heritage attributes will be conserved.

Further, the PPS (2020) promotes the integration of land use planning, growth management and transit supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments and standards to minimize land consumption and servicing costs.

As discussed earlier in this report, the OLT approved a change in land use from *Low Density Residential* to *Medium Density Residential* to facilitate the development of a 14-unit apartment building. However, the amendment was not exclusive to apartment dwelling types and therefore other medium density dwelling types can be contemplated. Townhouse dwelling units are a medium density housing form that is also consistent with the OLT approved land use designation for the subject lands. The applicant's request for approval of a Draft Plan of Subdivision and a change in zoning to permit townhouse dwelling units instead of the approved apartment building continues to provide housing options consistent with the policies of the PPS.

Similarly, the OLT recognized the presence of the TRHCD in its decision to redesignate the lands and found no conflict in allowing an apartment as a medium density building type for the subject lands. There can be a generally accepted understanding that other medium density building types, such as townhouses, would also implement the *Medium Density Residential* designation for the site. On this basis, the proposed townhouse building type can be considered consistent with the policies TRHCD Plan, and therefore consistent with the heritage policies of the PPS. The design and integration of the townhouse dwellings within the TRHCD will be further assessed through a future heritage permit process. On this basis, it is staff's

opinion that the proposal to establish townhouse dwelling units, is consistent with the PPS.

Applicable policies are included as Appendix "A".

Growth Plan for the Greater Golden Horseshoe (2019)

The Growth Plan for the Greater Golden Horseshoe ('Growth Plan') is a long-term plan that intends to manage growth, build complete communities, curb sprawl, and protect cultural heritage resources and the natural environment.

The Growth Plan provides policies for where and how to grow, directing population and employment growth to urban areas and rural settlement areas with delineated built boundaries on full municipal services (policy 2.2.1). The subject lands are located within a "Designated Greenfield Area."

The policies of the Growth Plan are to be applied to support complete communities that feature a diverse mix of land uses with convenient access to local stores, services, and public service facilities, provide a diverse range and mix of housing options, and expand convenient access to transportation options.

Similar to the analysis of the PPS, townhouse dwelling units are a medium density housing form that is consistent with the OLT approved land use designation for the subject lands. The applicant's request for approval of a Draft Plan of Subdivision and a change in zoning to permit townhouse dwelling units (instead of the approved apartment building) continues to provide a diverse mix of land uses and a range of housing options in conformity with the Growth Plan.

As previously mentioned, the OLT recognized the TRHCD in their decision to redesignate the lands and permit an apartment building on the subject lands. Therefore, it is reasonable to consider other forms of medium density building types, such as townhouses, for the subject lands. On this basis, the townhouse dwelling building type can be considered consistent with the policies TRHCD Plan, and therefore in conformity with the heritage policies of the Growth Plan. The design and integration of the townhouse dwellings within the TRHCD will be further assessed through a future heritage permit process. On this basis, it is staff's opinion that the proposal to establish townhouse dwelling units, is consistent with the Growth Plan.

Applicable policies are included as Appendix 'A'.

Halton Region Official Plan

The subject lands are designated 'Urban Area' in the Regional Official Plan (ROP). The development is located within the Built Boundary. The range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. All development shall be subject to the policies and plan in effect.

The Cultural Heritage policies of the Region of Halton Official Plan state:

- “165. *The goal for Cultural Heritage Resources is to protect the material, cultural and built heritage of Halton for present and future generations.*
166. *The objectives of the Region are:*
1. *To promote awareness and appreciation of Halton's heritage.*
 2. *To promote and facilitate public and private stewardship of Halton's heritage.*
167. *It is the policy of the Region to:*
1. *Maintain, in conjunction with the Local Municipalities, local historical organizations, and municipal heritage committees a list of documented Cultural Heritage Resources in Halton.*
 5. *Encourage the Local Municipalities to prepare, as part of any Area-Specific Plan or relevant Official Plan amendment, an inventory of heritage resources and provide guidelines for preservation, assessment and mitigative activities.”*

Based on the above policies, the Region of Halton relies on the local municipalities to govern their own Cultural Heritage Resources and does not provide comment with respect to heritage preservation and the implementation of local heritage conservation districts.

As described earlier, the lands are within the TRHCD Plan area, which is managed and implemented by the Town of Oakville. The design and integration of the townhouse dwellings within the TRHCD will be further assessed through the heritage permit process. On this basis, it is staff's opinion that the proposal to establish townhouse dwelling units conforms with the Regional Official Plan.

Livable Oakville Plan

The Livable Oakville Plan was approved by the Ontario Municipal Board on May 10th, 2011. The Livable Oakville Plan is currently undergoing a 5-year Official Plan Review to ensure the policies are consistent with the Provincial and Regional policies, support the Town's strategic goals, and reflect the visions and needs of the community.

Urban Structure

Schedule A1, Urban Structure, of the Livable Oakville Plan provides the basic structural elements for the Town. Official Plan Amendment 15 to the Livable Oakville Plan, confirms the Town's existing urban structure in terms of nodes and corridors, where higher intensity forms of mixed use growth are to be accommodated. OPA 15 was approved by Halton Region on April 26, 2018 and deemed to conform to the Growth Plan and is consistent with the PPS.

The subject lands are identified on Schedule A1 – Urban Structure as being within the Town's Residential Areas. The Urban Structure accommodates some infill and intensification outside of Strategic Growth Areas.

Livable Oakville Land Use Policies

The subject lands are designated *Medium Density Residential* on Schedule G: South East Land Use plan (shown as Figure 11 below).

The *Medium Density Residential* designation permits multiple-attached dwellings (townhouses), apartments, retirement homes, and long-term care homes with a density of 30-50 dwelling units per site hectare. The *Medium Density Residential land* use designation on the subject lands was brought into effect by OPA 49, which was approved by the OLT.

The applicant's proposal results in a density of 38.9 units per site hectare.

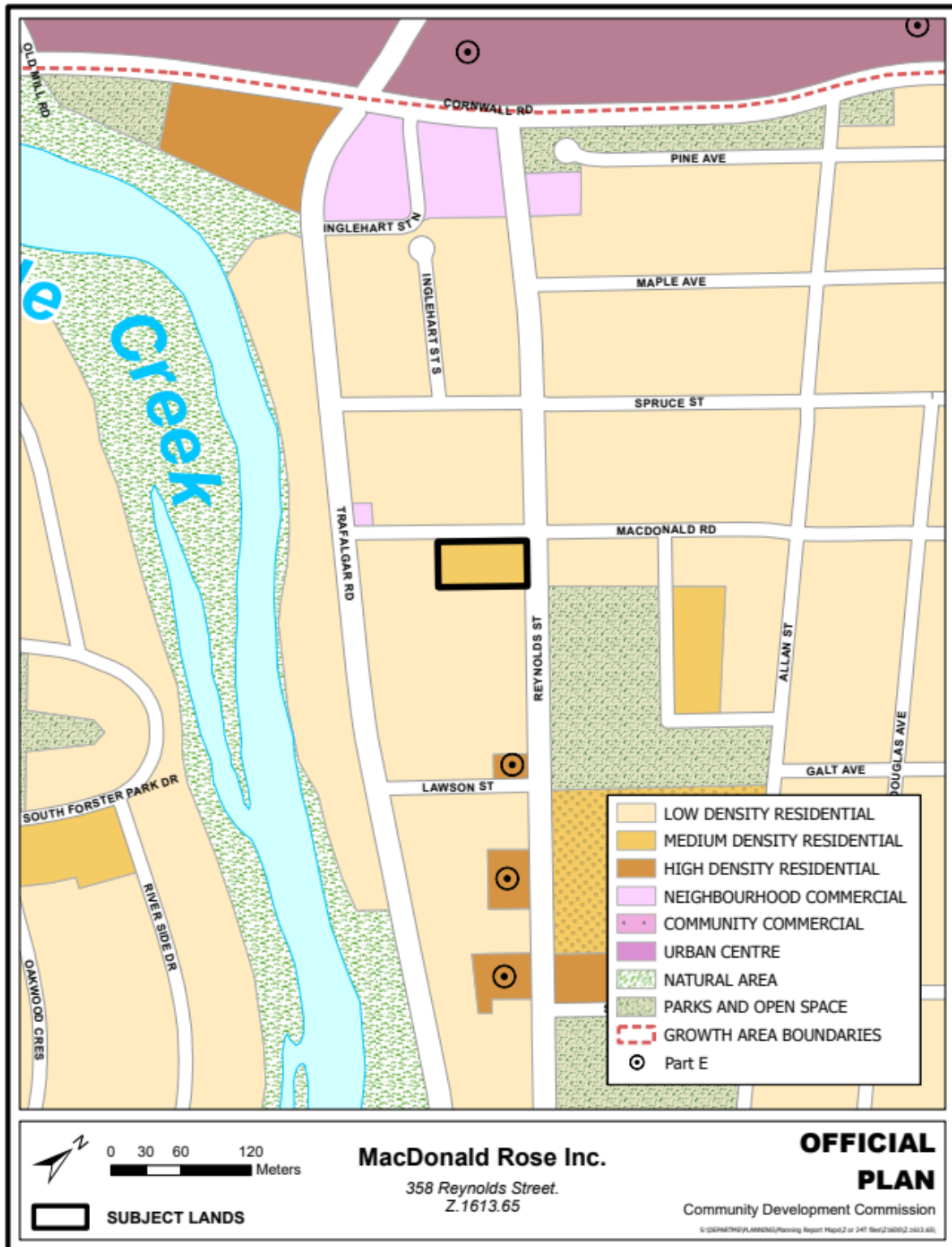


Figure 11– Official Plan

The Official Plan provides for a variety of residential uses accommodated through three land use designations: Low, Medium, and High Density Residential. In general, development within all residential areas shall maintain, protect, and enhance the character of existing residential areas and encourage an appropriate mix of housing types, densities, design, and tenure.

While most of the intensification is to be directed to the Town's Strategic Growth Areas, some intensification within residential areas can be accommodated. Intensification within residential areas is subject to the policies of 11.1.8 and 11.1.9, and will be evaluated using criteria that maintains and protects the existing neighbourhood character. These include, but are not limited to, ensuring the built form of development is compatible with the surrounding neighbourhood, minimizing the impacts on adjacent properties such as grading, access, privacy, and shadowing, and ensuring the preservation and integration of heritage buildings within the Heritage Conservation Districts.

Staff have also evaluated the proposal against Section 5 (Cultural Heritage), Section 6 (Urban Design), Section 8 (Transportation) and Section 10.10 (Stormwater Management) of the Livable Oakville Plan. Staff note that the townhouse dwelling form is deemed to comply with the Official Plan's *Medium Density Residential* designation. However, the applicant has not sufficiently demonstrated how their proposed modifications to the RM1 zone implement the Official Plan policies.

On this basis, staff recommend that Council refuse the applications as submitted.

Excerpts of relevant Livable Oakville policies to the application are attached as Appendix "A".

Trafalgar Road Heritage Conservation District Plan

The subject lands are located within the Trafalgar Road Heritage Conservation District. The application will be presented to the Heritage Oakville Advisory Committee in March 2024 to obtain feedback on the matters that may affect the cultural heritage value of the heritage conservation district and the adjacent individually designated property at 293 Macdonald Road.

Staff note that while the Trafalgar Road HCD Plan does not label individual properties as being 'contributing' or 'non-contributing' (and therefore having cultural heritage value or not), the document speaks to buildings constructed in the 1940s and earlier as having cultural heritage value. The existing medical building was constructed in 1954, and its architectural style and history are not identified in the plan as being significant or worthy of protection and conservation. Planning Staff do not consider the building to be of significant cultural heritage value and support its removal.

With the OLT decision to approve a change in land use designation from *Low Density Residential* to *Medium Density Residential* within the HCD, there is a general acceptance of the building types that can be considered for the site. On this basis, staff acknowledge that apartment and townhouse dwellings are permitted within the HCD notwithstanding that the TRHCD Plan does not speak to these uses directly.

When evaluating the proposed townhouse dwelling units and their integration into the HCD, the district plan for the Trafalgar Road HCD is the primary policy document to use. A permit under the *Ontario Heritage Act* is required for the proposed development, where consistency with the HCD Plan, more specifically the townhouse blocks' design, transition, height, and building elements will be evaluated more thoroughly. Excerpts from the district plan have been included in Appendix "A" and sections relevant to the subject proposal have been highlighted.

Zoning By-law 2014-014

The subject lands are zoned *Residential Medium 4 (RM4) Special Provision 416*, as shown on Figure 12 below. Special Provision 416 was brought into effect by Zoning By-law Amendment By-law 2022-078, which was approved by the OLT. The existing medical office is legal non-conforming and is currently vacant. The applicant proposes a Zoning By-law Amendment to change from the RM4 zone to a modified RM1 Zone to permit 11 three-storey townhouse dwelling units.

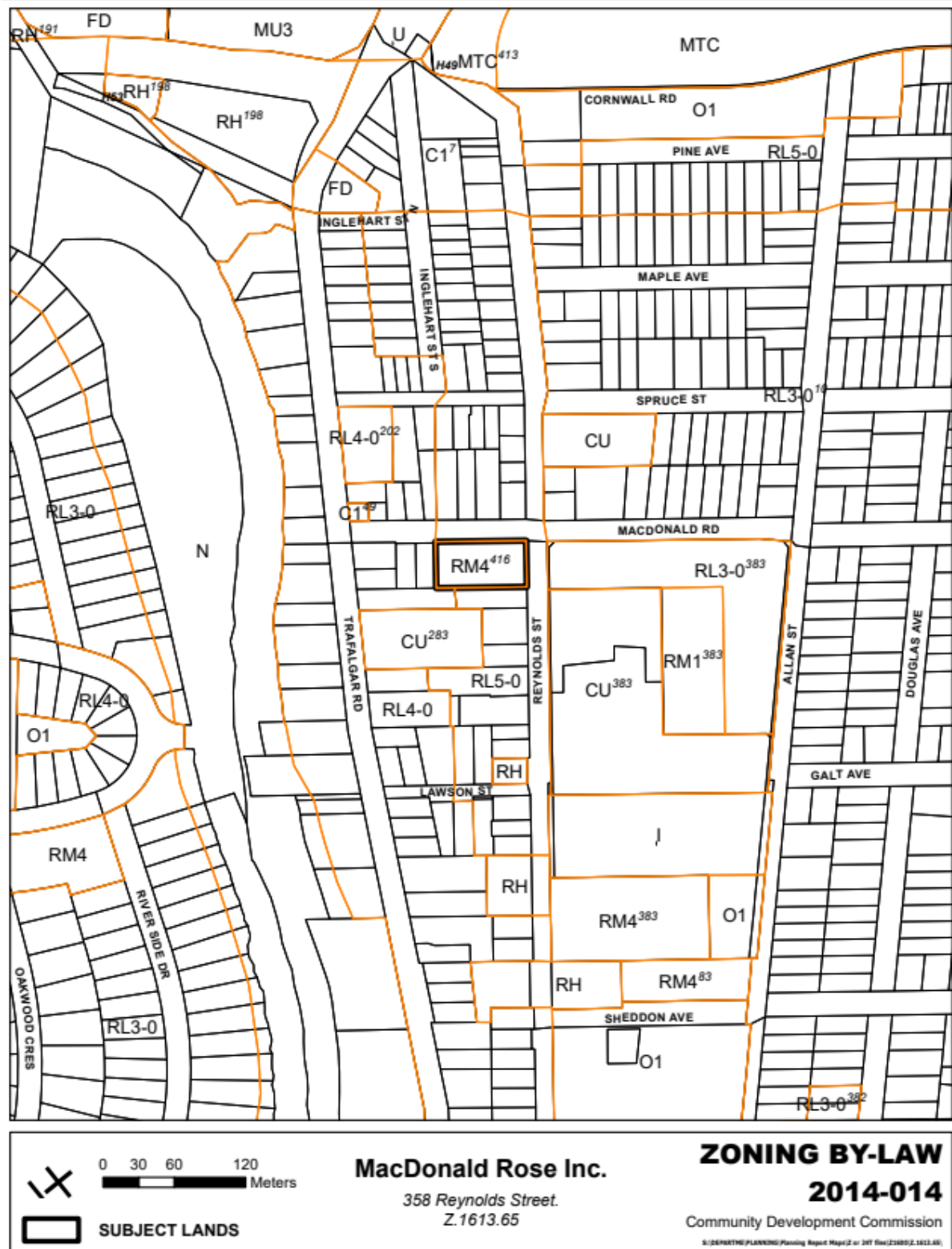


Figure 12 – Zoning By-law

The applicant's draft by-law includes the following modifications to the RM1 zone:

Zoning Regulation	By-law Requirement	Applicant Proposed Modification
Maximum Height	12.0m	13.6m*
Minimum Lot Frontage		5.9 m/dwelling
Minimum length of a parking space within a private garage	5.7m	5.65m
Minimum width of a parking space within a private garage	3.0m	2.7m
		An uncovered platform can be located on the same level as or lower than the second storey of the building associated with the platform.

*the applicant's plans illustrate a 12.8m height

The proposed three-storey townhouse units are intended to have a second-floor deck approximately 3.0m in depth with access stairs to grade, that appears to project into the rear yard, which can be seen in Figure 4 above. The applicant also proposes balconies on the third storey which are permitted as-of-right for lands zoned medium density.

TECHNICAL & PUBLIC COMMENTS:

Technical Review

The applicant submitted a pre-submission review, which only included some material for evaluation. The applicant has submitted the required documents as part of the complete application submission, which have been circulated to various public agencies and internal Town departments. The following studies and supporting documentation are also accessible on the Town's website at the following link: [358 Reynolds Street](#)

- Planning Justification Report
- Heritage Impact Assessment

-
- Urban Design Brief
 - Functional Servicing Report
 - Servicing Plan
 - Stormwater Management Report
 - Grading Plan
 - Erosion and Sedimentation Control Plan
 - Environmental Site Assessment
 - Site Plan
 - Tree Preservation Plan
 - Arborist Report
 - Tree Preservation Plan
 - Building Elevation Plan
 - Exterior Renderings
 - Shadow Study

Planning Analysis

Planning staff have reviewed all of the technical materials submitted for this application, as well as taken into consideration the current Livable Oakville Official Plan policies, the TRHCD Plan, and the Urban Design Guidelines. Staff have also considered the recent provincial changes related to housing and Council's commitment to providing housing opportunities within the town to achieve specific housing targets. It is staff's opinion that while a townhouse development on the subject site is an appropriate land use, the proposal as submitted cannot be supported.

Land Use

As the lands were previously subject to planning approvals granted by the OLT for medium density uses, there is a general acceptance of the building types that can be considered for the site. Staff support the opportunity for intensification on the property, and agree with the applicant's submissions that townhouse dwelling units as a medium density building type can be accommodated the subject lands. Staff note that the density of the proposal conforms with the density range for the *Medium Density Residential* designation. It is also noted, that staff have received no letters of objection from area residents on the proposed townhouse building type.

Compatibility

The application consists of a Draft Plan of Subdivision to create two blocks intended for 11 lots (to be created by a future part lot control application) for townhouse dwellings and one block for a road widening, as well as a Zoning By-law Amendment that proposes deviations from the standard by-law requirements in order to facilitate the development of 11 townhouse dwelling units on the site.

The application for a Draft Plan of Subdivision has been evaluated against the town's standards and policies, as well as the criteria for considering Draft Plan of Subdivisions contained in Section 51(24) of the *Planning Act*.

The purpose of a zoning by-law is to implement the Official Plan policies. The application for a Zoning By-law Amendment is for a change in zoning from RM4 SP 416 (as approved by the OLT) to RM1 with modifications. The application has been evaluated against the Livable Oakville Official Plan specifically with regards to Cultural Heritage (Section 5), Urban Design (Section 6), Transportation (Section 8), Stormwater Management (Section 10.10) and Residential (Section 11.1.9).

Technical documents were submitted by the applicant to justify the proposed zoning modifications and included a heritage impact assessment, urban design brief, stormwater management report, and transportation impact study. However, it is staff's opinion that the applicant has not sufficiently demonstrated how the requested zoning modifications address the town's policies and standards. To support deviations from the RM1 zone each component will need further consideration to address matters such as:

- Transition to adjacent building forms through modifications in the mass and scale of the townhouse dwellings;
- Materiality and composition of the building façade and building elements to integrate with the TRHCD and align with the policy direction of the HCD Plan and Urban Design Guidelines;
- Location of driveways to ensure public safety and operational needs of the signalized intersection of Macdonald Road and Reynolds Street; and
- Design of the proposed right-of-way urbanization works including stormwater infrastructure, and maximize opportunities for tree protection.

Typically, these areas of concern would be resolved by the applicant, and concurrent review of a heritage permit application, prior to Staff providing Council with a recommendation. However, given the limited time constraints in the *Planning Act*, and implications of the Bill 109 changes, staff do not have sufficient time to work through these matters with the applicant and reach a resolution on their proposed zoning modifications prior to the deadline for a decision being made. Until these matters are resolved, approval of a Zoning By-law Amendment and Draft Plan of Subdivision would be premature.

Based on the analysis in this report, it is staff's opinion that the proposal conforms with the town's Official Plan with respect to allowing townhouse dwelling units to implement the medium density designation. Further, staff acknowledge that medium density building forms such as townhouse dwellings can generally be accepted

within the TRHCD by virtue of the OLT decision to change the land use designation to *Medium Density Residential* as detailed above.

Proposed Zoning By-law Amendment

As detailed earlier in this report, the landowner requests modifications to the RM1 zone to accommodate the proposed 11-unit townhouse dwellings described earlier.

As submitted, the applicant has not demonstrated how the requested modifications to the zoning by-law implement the applicable policies of the Official Plan, as discussed above. Should the applicant appropriately demonstrate that the concerns discussed in this report and adequately implement the Official Plan and TRHCD Plan, modifications to the RM1 zone may be considered.

Matters raised at the Public Meeting

A virtual Public Information Meeting (PIM) was held on June 13, 2023 and was attended by 17 participants, consisting of members of the public, town staff, and the ward councillors. The minutes of the PIM were submitted with the application and noted concerns respecting height, parking, and construction timing.

Staff have received one letter of opposition to this proposal which has been included as Appendix "B". The key concerns noted by the public related to the building height and depth, and privacy impacts. The concerns raised by the public are similar to those raised by staff and discussed throughout this report.

CONCLUSION:

Without the benefit of a satisfactory heritage impact assessment, urban design brief, stormwater management report, and transportation impact study, it is staff's opinion that the applicant has not sufficiently demonstrated how the requested zoning modifications address the town's policies and standards. Through the proposed Draft Plan of subdivision conditions, the applicant will demonstrate how the townhouse building type implements the town's policies and standards and is appropriately integrated within the TRHCD.

As discussed above, staff do not support the application as submitted which includes modifications to the RM1 zone, however staff support the development of the site with a townhouse use which appropriately implements the *Medium Density Residential* designation. The following points summarise staff's opinion:

-
- The applicant has not adequately demonstrated how the proposed modifications to the RM1 zone implement the applicable policies of the Official Plan and therefore, the applications as submitted should be refused.
 - Technical aspects of the proposal such as the heritage impact assessment, urban design brief, stormwater management report, and transportation impact study require further review and consideration and can be completed through ongoing discussions and the heritage permit process.
 - It is staff's opinion that approval of an application that results in the development of townhouse building types in a manner that implements the Official Plan supports the development of new housing within the town.
 - It is staff's opinion that the applications to establish townhouse dwelling units are consistent with the PPS and conforms to the Growth Plan, the Region of Halton Official Plan, and the Livable Oakville Official Plan.

CONSIDERATIONS:

(A) PUBLIC

The applicant held a Public Information Meeting on June 13, 2023, and it was attended by 17 people.

Notice for the Statutory Public Meeting was provided through a mailing of all properties within 240 metres of the subject lands. Resident Associations were notified along with property owners in accordance with the *Planning Act* regulations and Town practices.

One written correspondence was received and is included as Appendix 'B'.

(B) FINANCIAL

Development charges, Community Benefit Charge, and parkland dedication are applicable to this development, net of any demolition credits, and would be payable at building permit.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The Draft Plan of Subdivision and Zoning By-law Amendment applications were circulated to internal and external departments and agencies for comment.

The application must be considered within the prescribed 90-day timeline before an appeal can be filed for lack of decision, and the applicant becomes

entitled to a refund of fees. The applications were deemed complete on December 14, 2023. The statutory timeframe for processing this application expires on March 13, 2024.

(D) CORPORATE STRATEGIC GOALS

This report addresses the corporate strategic goal(s) to:

- To be a vibrant and liveable community for all.

(E) CLIMATE CHANGE/ACTION

The proposed development generally complies with the Town’s sustainability objectives of the Livable Oakville Plan. The proposal will also be reviewed in the context of Council declaring a Climate Change Emergency on June 24, 2019, to provide opportunities to reduce the development footprint of the proposal.

APPENDICES:

Appendix “A” – PPS (2020), Growth Plan and Livable Oakville policy excerpts

Appendix “B” – Public Comments

Prepared by:

Kate Cockburn, MCIP, RPP
Senior Planner, Current Planning
East District

Recommended by:

Leigh Musson, MCIP, RPP
Manager, Current Planning
East District

Submitted by:

Gabriel A.R. Charles, MCIP, RPP
Director, Planning Services

APPENDIX A Applicable Policies

Provincial Policy Statement - 2020

The Provincial Policy Statement (2020) ('PPS') is intended to promote a policy led system, which recognizes that there are complex relationships among environmental, economic and social factors in land use planning. The PPS encourages the wise management of land to achieve efficient development and land use patterns by directing growth to settlement areas and by promoting a compact development form.

The subject lands are located within a settlement area, which are to be the focus of growth and development (policy 1.1.3.1). The land use patterns within the settlement area based on densities and a mix of land uses that, among other matters, efficiently use land and resources, appropriately use the infrastructure and public service facilities that are planned or available and are transit supportive.

Part V: Policies

1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns

1.1.1 – Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;
- d) avoiding development and land use patterns that would prevent the efficient expansion of *settlement areas* in those areas which are adjacent or close to *settlement areas*;
- e) promoting the integration of land use planning, growth management, *transit-supportive* development, *intensification* and *infrastructure* planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;
- f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;
- g) ensuring that necessary *infrastructure* and *public service facilities* are or will be available to meet current and projected needs;
- h) promoting development and land use patterns that conserve biodiversity; and
- i) preparing for the regional and local impacts of a changing climate.

1.1.2 Sufficient land shall be made available to accommodate an appropriate range and mix of land uses to meet projected needs for a time horizon of up to 25 years, informed by provincial guidelines. However, where an alternate time period has been established for

specific areas of the Province as a result of a provincial planning exercise or a *provincial plan*, that time frame may be used for municipalities within the area.

Within *settlement areas*, sufficient land shall be made available through *intensification* and *redevelopment* and, if necessary, *designated growth areas*.

Nothing in policy 1.1.2 limits the planning for *infrastructure*, *public service facilities* and *employment areas* beyond a 25-year time horizon.

1.1.3 Settlement Areas

Settlement areas are urban areas and rural settlement areas, and include cities, towns, villages and hamlets. Ontario's settlement areas vary significantly in terms of size, density, population, economic activity, diversity and intensity of land uses, service levels, and types of infrastructure available.

The vitality and regeneration of settlement areas is critical to the long-term economic prosperity of our communities. Development pressures and land use change will vary across Ontario. It is in the interest of all communities to use land and resources wisely, to promote efficient development patterns, protect resources, promote green spaces, ensure effective use of infrastructure and public service facilities and minimize unnecessary public expenditures.

1.1.3.1 *Settlement areas* shall be the focus of growth and development.

1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- a) efficiently use land and resources;
- b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for unjustified and/or uneconomical expansion;
- c) minimize negative impacts to air quality and climate change, and promote energy efficiency;
- d) prepare for the *impacts of a changing climate*;
- e) support active transportation;
- f) are transit-supportive, where transit is planned, exists or may be developed; and
- g) are freight-supportive.

Land use patterns within *settlement areas* shall also be based on a range of uses and opportunities for *intensification* and *redevelopment* in accordance with the criteria in policy 1.1.3.3, where this can be accommodated

1.1.3.3 Planning authorities shall identify appropriate locations and promote opportunities for *transit-supportive* development, accommodating a significant supply and range of *housing options* through *intensification* and *redevelopment* where this can be accommodated taking into account existing building stock or areas, including *brownfield sites*, and the availability of suitable existing or planned *infrastructure* and *public service facilities* required to accommodate projected needs.

1.1.3.4 Appropriate development standards should be promoted which facilitate *intensification*, *redevelopment* and compact form, while avoiding or mitigating risks to public health and safety.

1.1.3.5 Planning authorities shall establish and implement minimum targets for *intensification* and *redevelopment* within built-up areas, based on local conditions. However, where provincial targets are established through *provincial plans*, the provincial target shall represent the minimum target for affected areas.

1.1.3.6 New development taking place in *designated growth areas* should occur adjacent to the existing built-up area and should have a compact form, mix of uses and densities that allow for the efficient use of land, *infrastructure* and *public service facilities*.

1.2 Coordination

1.2.1 A coordinated, integrated and comprehensive approach should be used when dealing with planning matters within municipalities, across lower, single and/or upper-tier municipal boundaries, and with other orders of government, agencies and boards including:

- a) managing and/or promoting growth and development that is integrated with *infrastructure* planning;
- b) economic development strategies;
- c) managing natural heritage, water, agricultural, mineral, and cultural heritage and archaeological resources;
- d) *infrastructure, multimodal transportation systems, public service facilities and waste management systems*;
- e) ecosystem, shoreline, watershed, and Great Lakes related issues;
- f) natural and human-made hazards;
- g) population, housing and employment projections, based on *regional market areas*; and
- h) addressing housing needs in accordance with provincial policy statements such as the Policy Statement: Service Manager Housing and Homelessness Plans.

1.4 Housing

1.4.1 To provide for an appropriate range and mix of *housing options* and densities required to meet projected requirements of current and future residents of the *regional market area*, planning authorities shall:

- a) maintain at all times the ability to accommodate residential growth for a minimum of 15 years through *residential intensification* and *redevelopment* and, if necessary, lands which are *designated and available* for residential development; and
- b) maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned to facilitate *residential intensification* and *redevelopment*, and land in draft approved and registered plans.

Upper-tier and single-tier municipalities may choose to maintain land with servicing capacity sufficient to provide at least a five-year supply of residential units available through lands suitably zoned to facilitate *residential intensification* and

redevelopment, and land in draft approved and registered plans.

1.4.3 Planning authorities shall provide for an appropriate range and mix of *housing options* and densities to meet projected market-based and affordable housing needs of current and future residents of the *regional market area* by:

- a) establishing and implementing minimum targets for the provision of housing which is *affordable* to *low and moderate income households* and which aligns with applicable housing and homelessness plans. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities may identify a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;
- b) permitting and facilitating:
 1. all *housing options* required to meet the social, health, economic and well-being requirements of current and future residents, including *special needs* requirements and needs arising from demographic changes and employment opportunities; and
 2. all types of *residential intensification*, including additional residential units, and *redevelopment* in accordance with policy 1.1.3.3;
- c) directing the development of new housing towards locations where appropriate levels of *infrastructure* and *public service facilities* are or will be available to support current and projected needs;
- d) promoting densities for new housing which efficiently use land, resources, *infrastructure* and *public service facilities*, and support the use of *active transportation* and transit in areas where it exists or is to be developed;
- e) requiring *transit-supportive* development and prioritizing *intensification*, including potential air rights development, in proximity to transit, including corridors and stations; and
- f) establishing development standards for *residential intensification*, *redevelopment* and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.

1.6 Infrastructure and Public Service Facilities

1.6.1 *Infrastructure and public service facilities* shall be provided in an efficient manner that prepares for the *impacts of a changing climate* while accommodating projected needs.

Planning for *infrastructure* and *public service facilities* shall be coordinated and integrated with land use planning and growth management so that they are:

- a) financially viable over their life cycle, which may be demonstrated through asset management planning; and
- b) available to meet current and projected needs.

- 1.6.3 Before consideration is given to developing new *infrastructure* and *public service facilities*:
- a) the use of existing *infrastructure* and *public service facilities* should be optimized; and
 - b) opportunities for adaptive re-use should be considered, wherever feasible.
- 1.6.4 *Infrastructure* and *public service facilities* should be strategically located to support the effective and efficient delivery of emergency management services, and to ensure the protection of public health and safety in accordance with the policies in Section 3.0: Protecting Public Health and Safety.
- 1.6.5 *Public service facilities* should be co-located in community hubs, where appropriate, to promote cost-effectiveness and facilitate service integration, access to transit and *active transportation*.

1.6.7 Transportation Systems

- 1.6.7.1 *Transportation systems* should be provided which are safe, energy efficient, facilitate the movement of people and goods, and are appropriate to address projected needs.
- 1.6.7.2 Efficient use shall be made of existing and planned *infrastructure*, including through the use of *transportation demand management* strategies, where feasible.
- 1.6.7.3 As part of a *multimodal transportation system*, connectivity with and among *transportation systems* and modes should be maintained and, where possible, improved including connections which cross jurisdictional boundaries.
- 1.6.7.4 A land use pattern, density and mix of uses should be promoted that minimize the length and number of vehicle trips and support current and future uses of transit and *active transportation*.

1.6.8 Transportation and Infrastructure Corridors

- 1.6.8.1 Planning authorities shall plan for and protect corridors and rights-of-way for *infrastructure*, including transportation, transit and electricity generation facilities and transmission systems to meet current and projected needs.
- 1.6.8.2 *Major goods movement facilities and corridors* shall be protected for the long term.
- 1.6.8.3 Planning authorities shall not permit *development* in *planned corridors* that could preclude or negatively affect the use of the corridor for the purpose(s) for which it was identified.

New *development* proposed on *adjacent lands* to existing or *planned corridors* and transportation facilities should be compatible with, and supportive of, the long-term purposes of the corridor and should be designed to avoid, mitigate or minimize negative impacts on and from the corridor and transportation facilities.

- 1.6.8.4 The preservation and reuse of abandoned corridors for purposes that maintain the corridor's integrity and continuous linear characteristics should be encouraged, wherever feasible.
- 1.6.8.5 The co-location of linear *infrastructure* should be promoted, where appropriate.
- 1.6.8.6 When planning for corridors and rights-of-way for significant transportation, electricity transmission, and *infrastructure* facilities, consideration will be given to the significant resources in Section 2: Wise Use and Management of Resources.

2.6 Cultural Heritage and Archaeology

- 2.6.3 Planning authorities shall not permit *development* and *site alteration* on *adjacent lands* to *protected heritage property* except where the proposed *development* and *site alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the *protected heritage property* will be *conserved*.

Growth Plan (2019)

The Growth Plan is a long-term plan that intends to manage growth, build complete communities, curb sprawl and protect cultural heritage resources and the natural environment.

The Growth Plan provides policies for where and how to grow, directing population and employment growth to urban areas and rural settlement areas with delineated built boundaries on full municipal services (policy 2.2.1). The policies of the Growth Plan are to be applied to support complete communities that feature a diverse mix of land uses with convenient access to local stores, services, and public service facilities, provide a diverse range and mix of housing options, expand convenient access to transportation options.

Section 1.2.1 – Guiding Principles

- *Support the achievement of complete communities that are designed to support healthy and active living and meet people's needs for daily living throughout an entire lifetime.*
- *Prioritize intensification and higher densities to make efficient use of land and infrastructure and support transit viability.*
- *Provide flexibility to capitalize on new economic and employment opportunities as they emerge, while providing certainty for traditional industries, including resource-based sectors.*
- *Support a range and mix of housing options, including second units and affordable housing, to serve all sizes, incomes, and ages of households.*
- *Improve the integration of land use planning with planning and investment in infrastructure and public service facilities, including integrated service delivery through community hubs, by all levels of government.*
- *Conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.*
- *Integrate climate change considerations into planning and managing growth such as planning for more resilient communities and infrastructure – that are adaptive to the impacts of a changing climate – and moving towards environmentally sustainable communities by incorporating approaches to reduce greenhouse gas emissions.*

Section 2.2 – Policies for Where and How to Grow

2.2.1 – Managing Growth

2.2.1.2 Forecasted growth to the horizon of this Plan will be allocated based on the following:

- a. the vast majority of growth will be directed to settlement areas that:
 - i. have a *delineated* built boundary;
 - ii. have existing or planned *municipal water and wastewater systems*; and
 - iii. can support the achievement of *complete communities*;
- c. within *settlement areas*, growth will be focused in:
 - i. *delineated built-up areas*;
 - ii. *strategic growth areas*;
 - iii. locations with existing or planned transit, with a priority on *higher order transit* where it exists or is planned; and
 - iv. areas with existing or planned *public service facilities*;

2.2.1.4 Applying the policies of this plan will support the achievement of *complete communities* that:

- a) feature a diverse mix of land uses, including residential and employment uses, and convenient access to local stores, services, and *public service facilities*;
- b) improve social equity and overall quality of life, including human health, for people of all ages, abilities, and incomes;
- c) provide a diverse range and mix of housing options, including second units and *affordable* housing, to accommodate people at all stages of life, and to accommodate the needs of all household sizes and incomes
- d) expand convenient access to:
 - i. a range of transportation options, including options for the safe, comfortable and convenient use of active transportation;
 - ii. public service facilities, co-located and integrated in community hubs;
 - iii. an appropriate supply of safe, publicly-accessible open spaces, parks, trails, and other recreational facilities; and
 - iv. healthy, local, and affordable food options, including through urban agriculture;
- e) ensure the development of high quality compact built form, an attractive and vibrant public realm, including public open spaces, through site design and urban design standards;
- f) mitigate and adapt to climate change impacts, build resilience, reduce greenhouse gas emissions, and contribute towards the achievement of low-carbon communities; and
- g) integrate green infrastructure and low impact development.

2.2.2.3 – Delineated Built-up Areas

All municipalities will develop a strategy to achieve the minimum intensification target and *intensification* throughout *delineated built-up areas*, which will:

- a) encourage *intensification* generally to achieve the desired urban structure;
- b) identify the appropriate type and scale of development and transition of built form to adjacent areas;
- c) identify *strategic growth areas* to support achievement of the intensification target and recognize them as a key focus for development;
- d) ensure lands are zoned and development is designed in a manner that supports the achievement of *complete communities*;
- e) prioritize planning and investment in *infrastructure* and *public service facilities* that will support *intensification*; and
- f) be implemented through official plan policies and designations, updated zoning and other supporting documents.

2.2.6.3 – Housing

To support the achievement of complete communities, municipalities will consider the use of available tools to require that multi-unit residential developments incorporate a mix of unit sizes to accommodate a diverse range of household sizes and incomes.

Section 4 – Policies for Protecting What is Valuable

4.2.7 Cultural Heritage Resources

1. *Cultural heritage resources* will be *conserved* in order to foster a sense of place and benefit communities, particularly in *strategic growth areas*.
2. Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of *cultural heritage resources*.

Livable Oakville Official Plan

Section 4 – Managing Growth

4.3 Residential Intensification Outside of the Growth Areas

It is the policy of the Plan that the key focus for *development* and redevelopment to accommodate *intensification* will be the locations identified as Growth Areas. Lands outside of Growth Areas are predominantly stable residential communities which consist of established neighbourhoods. While the Plan encourages *intensification* generally throughout the *built up area*, it also recognizes that some growth and change may occur in these areas provided the *character* of the areas is preserved and the overall urban structure of the Town is upheld. *Intensification* outside of the Growth Areas including additional *intensification* opportunities such as infill, redevelopment and *greyfield* and *brownfield* sites, will be considered in the context of this Plan.

Section 5 – Cultural Heritage

Conservation of *cultural heritage resources* forms an integral part of the Town's planning and decision making. Oakville's *cultural heritage resources* shall be *conserved* so that they may be experienced and appreciated by existing and future generations, and enhance the Town's sense of history, sense of community, identity, sustainability, economic health and quality of life.

5.2 Cultural Heritage Resources

- 5.2.1 To *conserve cultural heritage resources* in accordance with applicable legislation and recognized heritage protocols, the Town:
- a) shall maintain a Register of Properties of Cultural Heritage Value or Interest;
 - b) may recognize and/or designate *cultural heritage resources*;
 - c) may establish heritage conservation districts and adopt heritage conservation district plans for each district;
 - d) may, consistent with provincial standards, establish policies, procedures, plans, and guidelines to support the identification, assessment, evaluation, management, use, registration, designation, alteration, removal, and demolition of *cultural heritage resources* or changes to their heritage status; Part C: Making Oakville Livable (General Policies) Livable Oakville C-10 Last updated: August 28, 2018
 - e) may pass by-laws providing for the entering into of easements or covenants for the conservation of property of cultural heritage value or interest; and,
 - f) may establish policies and/or urban design guidelines to recognize the importance of cultural heritage context.

5.3 Heritage Conservation

- 5.3.1 The Town shall encourage the conservation of *cultural heritage resources* identified on the register and their integration into new *development* proposals through the approval process and other appropriate mechanisms.
- 5.3.2 A *cultural heritage resource* should be evaluated to determine its cultural heritage values and *heritage attributes* prior to the preparation of a heritage impact assessment of a proposed development on the *cultural heritage resource*.
- 5.3.4 The *character* of Heritage Conservation Districts (as identified in Appendix 1) shall be preserved, maintained and enhanced through the careful consideration of plans for change within the district. In reviewing proposals for the construction, demolition, relocation or removal of buildings and structures, or for alterations, additions, renovation or restoration of existing buildings or structures within a designated Heritage Conservation District, the Town will be guided by the applicable Heritage Conservation District plan.
- 5.3.5 The Town should require a heritage impact assessment where *development* or redevelopment is proposed:
- a) on, adjacent to, or in the immediate vicinity of, an individually designated heritage property;
 - b) within, adjacent to, or in the immediate vicinity of, the boundaries of a Heritage Conservation District;

- 5.3.6 The Town may impose, as a condition of any *development* approvals, the implementation of appropriate measures to ensure the conservation of any affected *cultural heritage resources*, and where appropriate, their integration into new development.

Section 6 – Urban Design

6.4 Streetscape

- 6.4.2 New *development* should contribute to the creation of a cohesive streetscape by:
- a) placing the principal building entrances towards the street and where applicable, towards corner intersections;
 - b) framing the street and creating a sense of enclosure;
 - c) providing variation in façade articulation and details;
 - d) connecting active uses to the public realm to enhance the liveliness and vibrancy of the street, where applicable;
 - e) incorporating sustainable design elements, such as trees, plantings, furnishings, lighting, etc.;
 - f) coordinating improvements in building setback areas to create transitions from the public to private realms; and,
 - g) improving the visibility and prominence of and access to unique natural, heritage, and built features.

6.9 Built Form

- 6.9.1 Buildings should be designed to create a sense of identity through massing, form, placement, orientation, scale, architectural features, landscaping and signage.
- 6.9.2 Building design and placement should be compatible with the existing and planned surrounding context and undertaken in a creative and innovative manner.
- 6.9.3 To achieve compatibility between different land uses, *development* shall be designed to accommodate an appropriate transition through landscape buffering, spatial separation, and compatible built form.
- 6.9.7 Development should be designed with variation in building mass, façade treatment and articulation to avoid sameness.
- 6.9.8 Buildings located on corner lots shall provide a distinct architectural appearance with a high level of detailing and articulated façades that continue around the corner to address both streets.
- 6.9.9 New *development* shall ensure that proposed building heights and form are compatible with adjacent existing *development* by employing an appropriate transition of height and form from new to existing *development*, which may include setbacks, façade step backs or terracing in order to reduce adverse impacts on adjacent properties and/or the

public realm.

- 6.9.10 Continuous streetwalls of identical building height are discouraged. Variety in rooflines should be created through subtle variations in roof form and height.
- 6.9.14 Outdoor amenity areas on buildings should incorporate setbacks and screening elements to ensure compatibility with the local context.
- 6.9.15 Buildings should be sited to maximize solar energy, ensure adequate sunlight and skyviews, minimize wind conditions on pedestrian spaces and adjacent properties, and avoid excessive shadows.

Section 11 – Residential

The following objectives shall apply to all Residential Areas:

- a) maintain, protect and enhance the *character* of existing residential areas;
- b) encourage an appropriate mix of housing types, densities, design and tenure throughout the Town;
- c) promote housing initiatives to facilitate revitalization, compact urban form and an increased variety of housing alternatives;
- d) promote innovative housing types and forms to ensure accessible, affordable, adequate and appropriate housing for all socio-economic groups;

11.1 General

11.1.4 *Development* shall conform with the policies relating to urban design and sustainability set out in Part C.

11.1.8 *Intensification* within the stable residential communities shall be provided as follows:

- b) Within the stable residential communities, on lands designated Low Density Residential, there may also be sites at the intersection of arterial and/or collector roads, or sites with existing non-residential uses, that have sufficient frontage and depth to accommodate appropriate intensification through *development* approvals. *Intensification* of these sites may occur with Low Density Residential uses in accordance with section 11.1.9 and all other applicable policies of this Plan; and,
- c) Within the stable residential communities, on lands designated Medium Density Residential and High Density Residential, there may be underutilized lands on which additional *development* may be appropriate. *Intensification* of these lands may occur within the existing density permissions for the lands and may be considered subject to the requirements of section 11.1.9 and all other applicable policies of this Plan.

11.1.9 Development within all stable residential communities shall be evaluated using the

following criteria to maintain and protect the existing neighbourhood character:

- a) The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.
- b) Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood.
- c) Where a development represents a transition between different land use designations or housing forms, a gradation in building height shall be used to achieve a transition in height from adjacent development.
- e) Roads and/or municipal infrastructure shall be adequate to provide water and wastewater service, waste management services and fire protection.
- f) Surface parking shall be minimized on the site.
- h) Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing.
- i) The preservation and integration of heritage buildings, structures and uses within a Heritage Conservation District shall be achieved.
- j) Development should maintain access to amenities including neighbourhood commercial facilities, community facilities including schools, parks and community centres, and existing and/or future public transit services.
- k) The transportation system should adequately accommodate anticipated traffic volumes.
- l) Utilities shall be adequate to provide an appropriate level of service for new and existing residents.

provide comfortable and livable domestic surroundings for themselves and their family.

Council does not seek to give primacy to any one particular interest, but seeks to ensure that any conflict amongst these interests is at best avoided or otherwise minimized.

2.3 Heritage Character

Council recognizes that:

- the Trafalgar Road Heritage Conservation District comprises a unique collection of heritage buildings and landscapes that have resulted from a century and a half of social, economic, natural and physical changes;
- this unique residential heritage character is to be conserved and protected in the process of future change.

2.4 Municipal Authority

Council recognizes that:

- district designation, under Part V of the Ontario Heritage Act, does not seek the preservation or restoration of a community to a past state, but simply establishes a mechanism for the municipal review and determination of permit applications for changes to, and within, the *built* environment of a designated district;
- it cannot compel, nor does it seek to compel, the restoration of all heritage properties within the district;

2.5 Custodial Responsibility

Council recognizes that:

- owners of heritage property are to be considered the prime custodians of the unique heritage of the Trafalgar Road Heritage Conservation District;

2.6 Management of Change

Council recognizes that:

- many heritage buildings over the past century and a half have witnessed the introduction of a variety of changes to building fabric including additions, at the rear, side and as new upper storeys;
- change in the Trafalgar Road Heritage Conservation District's built heritage and natural environments is to be expected in the future, yet it must be carefully *managed* in a manner that does not adversely affect those environments;
- any proposed change within the District shall be considered within a number of Council approved conservation, design, landscaping and planning guidelines and with consideration of the individual merits of the proposed change.

2.7 Restoration of Heritage Property

Council recognizes that:

- certain property owners will seek to restore their property and Council encourages these owners to seek grant-aid available

for eligible work and by ensuring general conformity with the applicable guidelines in this Plan.

2.8 Alteration of Property

Council recognizes that:

- certain property owners will wish to add to, alter or otherwise change their property to accommodate required living space or new facilities and Council may permit such work provided it is in general conformity with the applicable guidelines in this Plan.

2.9 Determination of Permit Applications

- all residents and property owners within the Trafalgar Road Heritage Conservation District shall be afforded fair and equitable consideration in the determination of permit applications for alterations within the District.

1.0 CONSERVATION GOALS, OBJECTIVES PRINCIPLES AND PRACTICE

1.1 Introduction

The intention of the *Trafalgar Road Heritage Conservation District Plan* is to ensure the wise management of physical change and development in order to conserve the unique character of the district and its component buildings and spaces. It is anticipated that most conservation issues in the district will be addressed through the policies and the guidelines of the plan described in the following sections.

The following goals, objectives and principles form the framework for consideration of changes to heritage buildings and their fabric. Where a particular conservation issue is not addressed in the detailed guidelines in Sections 3 and 4, the goals, objectives and principles in Sections 1 and 5 should form the basis for advice to property owners or decision making by the Town of Oakville.

1.2 Heritage Character

Although a number of houses were built prior to 1860, the Trafalgar Road district is characterized by a predominance of late nineteenth century and early to mid twentieth century building construction. A variety of building forms and styles is present in the district. Brick, frame, stucco and a combination of these materials are the main exterior wall fabric. The majority of the buildings are single detached residences, one and-a-half to two storeys in height. They represent smaller homes to larger, more grand upper middle class homes, principally located on Trafalgar Road. Wooden shingles were the predominant historical roofing material in the district. Today, with a few exceptions, all buildings in the district have asphalt shingle roofs.

Most of the buildings are vernacular forms, i.e., informal, often owner built and designed, structures that have used architectural details from one or more of the formal architectural styles. The most prevalent architectural styles and stylistic influences in vernacular form are *Gothic Revival (1830-1900)* and *Italianate (1850-1900)*. There are a few vernacular examples of classic revival; one Regency Cottage; and one example of the *Second Empire style (1860 -1880)* located in the district. Twentieth century styles represented in the district in either pure form or vernacular include: *Four-Square (1900-1930)*; *Tudor Revival (1900-1930s)*; *Period Revival (1900-present)*, *Craftsman (1905-1930)*, *Bungalow (1900-1945)* and *Victory Housing (1940-1950)*.

The distinctive architectural features of the area are its scale, mass, decorative detailing and building siting. A number of individual buildings and properties throughout the district have been extensively altered or subdivided over time due to changing tastes, economics and fashion. Trafalgar Road and Georges Square have generally retained and occasionally enhanced its overall nineteenth and early to mid twentieth century residential character coupled with a distinctive treeline and canopied streetscapes.

1.3 Trafalgar Road District Conservation Principles

The process of heritage conservation within the Trafalgar Road District not only requires recognition of its special character but also acceptance of several well-established conservation principles. The purpose of this section is to establish a context for the conservation of heritage buildings, to provide a general framework for the conservation of heritage buildings and to provide a general framework for the more detailed guidance offered in later sections.

- Replacement of architectural features should match the material being replaced in composition, design, texture, colour, size and level of craftwork.
- Surface cleaning of historic structures must only be undertaken when accumulated dirt adversely affects the historical fabric of a heritage building and undertaken only by the gentlest means possible. Sandblasting, high pressure water washing, strong chemical cleaning and other methods that may damage building materials must be avoided.
- Contemporary design of alterations and additions will be permitted where they do not destroy significant historical, architectural, streetscape or cultural features (See Design Guidelines, Section 4).
- Contemporary design or alterations and additions should be permitted where they are of a size, location, colour and material that is compatible with the prevailing character of the building, streetscape, landscape and district.
- All public works should seek to avoid adverse effects to the character of the Trafalgar Road heritage conservation district and in particular to individual heritage buildings, archaeological sites, fences, grass boulevards and distinctive trees and treelines within the district.
- **New construction comprising freestanding buildings should respect the prevailing character of: adjacent buildings; the existing streetscape, landscaping and grade levels; and the district as a whole. New construction should be of compatible design in location, size, height, setback, orientation, materials, colour, roof and roofline, fenestration, scale and proportion.**

2.0 TRAFALGAR ROAD CONSERVATION GOALS AND OBJECTIVES

2.1 District Conservation Goals

- **To maintain the residential character of Trafalgar Road Heritage Conservation District.**
- To protect and enhance existing heritage residential buildings
- To avoid the destruction of the Trafalgar Road District's heritage buildings and landscape fabric and to encourage changes that are undertaken in a manner that if such alterations or additions were removed in the future, the essential form and integrity of the heritage property would remain unimpaired.

2.2 District Conservation Objectives

2.2.1 Objectives: Heritage buildings

- To encourage continuing maintenance and repair of individual heritage buildings by property owners.
- To support the continuing care, conservation and restoration of heritage buildings wherever appropriate by providing guidance on sound conservation practice and encouraging applications to existing funding sources for eligible work.

2.2.2 Objectives: Landscape

- **To encourage the maintenance and protection of the urban landscape character of Trafalgar Road as well as avoiding or minimizing the adverse effects of public undertakings.**

- To maintain and preserve individual trees, treelines and grass boulevards within the District.
- To enhance public spaces, notably, boulevards with appropriate landscaping.

2.2.3 Objectives: Archaeology

- To avoid wherever possible the disruption or disturbance of archaeological remains of former sites of settlement and past human activity within the Trafalgar Road Heritage Conservation District.

2.2.4 Objectives: Land use

- To encourage the maintenance of a stable, low density residential environment within the District.
- To support existing uses and adaptive re-uses for residential purposes wherever feasible within the existing building stock.
- To discourage those land uses which would be out of keeping with or have detrimental effects upon the residential and open space character of the district.

2.2.5 Objectives: New development

- To discourage the demolition of existing heritage buildings and their replacement by new development.

- To permit new development where it respects or otherwise complements the prevailing character of existing heritage buildings and structures within the Trafalgar Road District.

4.5 New building construction

The introduction of new buildings into the Trafalgar Road district is part of the continuing changes that may be experienced by any community.

New development, if permitted by the Official Plan and Zoning By-law, should be compatible with the character of the adjoining properties and the streetscape. The new building should be designed to look appropriate and to be compatible in the midst of the established neighbourhood. Its appearance must be sensitive to the character of its neighbours.

The construction of new buildings should be confined to the construction of buildings on vacant lots. While not prohibited by the *Ontario Heritage Act*, the demolition of existing heritage buildings and redevelopment of the sites with new structures is actively discouraged within the district. Private Members Bill 82 (An act respecting the Town of Oakville) requires approval of a building permit prior to the granting of a demolition permit. Property owners are encouraged to work with existing buildings, altering and adding to them in a sympathetic manner rather than demolishing and building anew.

The following guidelines for new construction are intended to provide a framework for *compatible* development. They are not intended to be a detailed prescription for each new building. This should enable property owners to design creatively with a general context for future built form.

4.5.1 General Principles

As any proposed building will be a new structure within the district, it is anticipated that the structure should look new and not pretend to be historic by replicating or copying older facades. Do not mimic historic details that have no relevance in contemporary construction such as shutters and multi-paned sash.

The general factors that govern the visual relationships between an infill building and its neighbours: height, width, proportion, relationship to the street, roof forms, composition, proportion of openings, materials and colour, should be studied carefully and used as a basis for new construction.

4.5.2 New building height

One-and-a-half to two storey structures are the most dominant in the district. Building height of new structures should generally maintain the building height of adjacent properties and the immediate streetscape and should be neither noticeably higher nor lower. In areas of varied building height new development must respect adjacent buildings by being neither excessively higher nor lower.

4.5.3 Width

The majority of the buildings in the district are single detached dwellings of varying width dependent upon the lot size and stylistic derivation. Building width of new structures should maintain the building width and side yard spaces of adjacent properties and the immediate streetscape thus preserving the existing building and space rhythms within the streetscape.

4.5.4 Proportion

Proportion relates to the association of height to width. The structures in the Trafalgar Road district are generally oriented vertically, i.e., the height is greater than the width. New residential infill should maintain the proportions of neighbouring properties.

4.5.5 Relationship to the Street

There are a variety of residential building forms in various styles and arrangements within the district. There is no one predominant building line or setback that distinguishes the district. New residential infill should maintain the existing setbacks of adjacent properties. In locations where there is significant variation in setbacks, infill development should generally avoid excessive setback from or projection in front of a building line drawn from the mid-point of adjacent building facades.

The majority of the buildings in the district are aligned to a grid established by the street pattern. Two exceptions include: 279 Lawson Street which once faced onto Trafalgar Road; and 180 Allan Street which faces Sumner Avenue but has Allan Street address. New buildings should therefore, be located with the main facade parallel to the roadway. In the case of corner lots, orientation of the principal elevation to the more major street is generally preferred.

Ancillary buildings should be located towards the rear of the lot. Garages in particular should not be a dominant element of the main elevation. They are best located to the rear of the building or set back from the principal facade.

4.5.6 Roofs on new buildings

Roofs are an important visual feature in the district. The district is characterized by a variety of roof forms: front gable, side gable, cross gable, hip and truncated hip. Mansard and gambrel roofs are not commonly found on historic buildings in the district; therefore, these roof forms should be avoided. Flat or shallow pitch roofs should also be avoided in new construction.

Wooden shingles were the predominant historic roofing material in the district. The majority of the buildings now have asphalt shingle roofs. Wood or asphalt shingles would be appropriate for new construction within the district. The use of concrete, clay tile, slate, metal or composite roofs are discouraged.

Roof vents, solar panels, satellite dishes and skylights are best located to the rear of new buildings.

4.5.7 Composition

Despite the range of age and architectural styles of the buildings in the district, the structures maintain continuity because of the similarity in composition of architectural elements.

The buildings are characterized by a tripartite division of the main elevation: foundation, wall and roof.

A shallow foundation is frequently differentiated from the wall above by construction in stone. The plinth, to carry water away from the wall, provides a horizontal break between the foundation and the wall.

Above the foundation, the main entrance is generally located on the street elevation, above grade and connected by steps and path to the sidewalk. The entrance on the ground floor is balanced, either symmetrically or asymmetrically, by window openings. The second floor, when present, is characterized by a flow of windows across the wall. Upper balconies and porches are not typical elements on the main elevation of houses in the district.

The wall is set apart from the roof by the strong horizontal line of the eaves. The roof mass is often punctuated with dormers and chimneys.

New residential buildings should maintain the tripartite division of foundation, wall and roof and respect the typical architectural elements of the main facades.

4.5.8 Windows and entrances on new buildings

As a result of the rich diversity of mid-to-late nineteenth and twentieth century architectural styles represented in the district, a range of window and entrance types are evident.

While window openings are generous, the overall proportion is more wall than windows. Generally window openings are vertical format and rectangular. There are also numerous examples of segmental and round headed openings. The windows are arranged in a variety of ways, either individually, pairs, groups or composing a bay.

Examples of pointed arch and Palladian window openings, multi-pane upper sash, diamond shaped window panes and leaded coloured glass windows, and bullseye windows are also found in the district. These window types tend to accent particular architectural style as decorative elements.

New window designs are encouraged that generally reflect vertical and rectangular dimensions. On facades that face the street, windows should maintain proportions of neighbouring properties. Large, full-length, multi-storey or picture windows are best avoided.

Entrances are usually an important element of the principal elevation, frequently highlighted with architectural detailing such as door surrounds and porches and recessed or projected from the wall face for emphasis. Doors are solid or partially glazed, single or half-leaf double doors. Avoid full size double doors and large amounts of glazing. Maintain the importance of the entrance way on the main elevation.

4.5.9 Exterior cladding: materials and colours

Brick veneer, stucco cladding and a combination of these two materials are the most prevalent wall materials in the district. Wooden cladding is also represented, often in combination with stucco. There is one stone structure covered in stucco in the district. Wall materials of new construction should reflect the predominant traditional materials and their respective colours: brick (red) and stucco (light). Wood (clapboard) is also considered to be an acceptable walling material. Wooden shingles may also be considered acceptable when used on upper wall surfaces with stucco or as decorative features. Use of concrete or other masonry blocks, metal, synthetic sidings should be avoided.

Windows and doors in the area are predominantly painted wood. Avoid synthetic or metal clad window and door units and untreated or natural wood.

Stone foundations are appropriate for new construction; however, carefully selected and laid textured concrete or masonry blocks can provide a more economical alternative. Avoid using materials that were primarily utilized for wall construction such as bricks and do not parge or stucco the foundation wall.

4.6 Public Works

Public works in the district such as road and utility improvements undertaken by a variety of authorities: the Town of Oakville, the Regional Municipality of Halton, utility companies, and so on have the potential to cause disruption and damage to identified heritage features of the neighbourhood. Every effort should be made in both day-to-day operations and long term planning to minimize adverse effects to the heritage conservation district and its components.

surrounding neighbourhood replaced the strict formality of the earlier designs. The later design intent was to create a site where contemplation of nature could occur. This intention was, in part, motivated by a reaction to the overcrowding and poor living conditions in many urban areas. The creation of naturalistic civic parks was seen as a means of conveying significant social benefits to a community. Georges Square is an excellent example of this design philosophy.

Today, Georges Square is a well maintained, passive recreational space. As the existing trees mature, replacement trees should be added that duplicate the mix of over twenty-two different species. The balance of coniferous and deciduous species should also be retained. Replanting of the park in this manner will ensure that it continues to be an important heritage resource. Architectural features considered for introduction to Georges Square, such as a bandstand, should be guided by historic photographic documentation.

5.4.5 Fencing and Hedges

One of the most significant landscape features of the District is the prominence of property line hedging and fences. There are many types of low ornamental fences of painted wood or iron located along the front property line that contribute to the intimate scale of the pedestrian environment. Front yard privacy can be provided by combining hedges with low fences.

Planting hedges or shrub borders along the side property lines also contributes in a positive way to the street view since driveways and parked cars are screened from the pedestrian until they are directly in front of them.

APPENDIX B

Kate Cockburn

From: Dan Prosser [REDACTED]
Sent: Tuesday, January 30, 2024 2:38 PM
To: Kate Cockburn; Town Clerks
Subject: Re: MacDonald Rose Inc response time
Attachments: 358 Reynolds.pdf

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Kate - sharing my original feedback about the development at 358 Reynolds. Most of the concerns still apply, with the exception of the underground garage. On top of the concerns that I provided in the attached document to the land tribunal, the new development presents some new challenges.

1. Proximity of the new building to my house. My house is 1.35 metres from the property line and the new building will be 1.4metres from that. The proposed plans show the new townhouses extending 6 metres beyond where my current deck is. Concerned this will impact my privacy.
2. The height of the proposed townhouses is roughly 30 metres tall with a pitched roof above, including windows that will face my current house. Most of the windows seem to be above my house. Concerned this will impact my privacy.
3. Proposal includes very limited landscaping, including a 1.8 metre privacy fence that runs up to the gate at the back of the house. Seems like a small privacy fence given the mass of the proposed property. What other options for fencing and/or landscaping would be considered?
4. Looking at the shadow study, it appears that there will be shadow over my house, impacting light in my kitchen/dining area and back deck until about 10am. Concerned that will impact my ability to enjoy my property.
5. Sidewalk appears to end at the beginning of my property on the east side. Seems odd to me that the sidewalk would end so abruptly. Looks unfinished and probably presents safety concerns on top of adding inconsistency to my side of the street.
6. Nice to see that some of the trees will attempt to be preserved. However, construction will require tree protection zones around T1, T2 and T3 (see arborist report) which means that I will have plywood or other kind of fencing around these trees. I should also point out that there are three oak trees that are along my front fence line that were not considered in the arborist report.

Happy to discuss in more detail if you or others have any questions.

Dan Prosser
[REDACTED]

On Thu, Jan 11, 2024 at 10:46 AM Kate Cockburn <kate.cockburn@oakville.ca> wrote:

Hi Dan,

It would be helpful to provide your comments as soon as possible, to help inform our staff report. Please include the Town Clerk in your submission to ensure your comments form part of the public record and preserve your appeal rights.

If you have any questions, feel free to contact me by phone to discuss.

Thanks,

Kate.

**Kate Cockburn, (She/Her), MCIP, RPP
Senior Planner
Planning Services**

Town of Oakville | 905-845-6601, ext.3124 | www.oakville.ca

Vision: A vibrant and livable community for all

Please consider the environment before printing this email.

<http://www.oakville.ca/privacy.html>

From: Dan Prosser [REDACTED]
Sent: Wednesday, January 10, 2024 3:25 PM
To: Kate Cockburn <kate.cockburn@oakville.ca>
Subject: MacDonald Rose Inc response time

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Kate - happy new year! I've just received the notice re: **MacDonald Rose Inc. - 358 Reynolds Street - Z.1613.65 and 24T-23003/1613**

Wondering how much time I have to respond?

Any help would be greatly appreciated!

Dan

Previous letter on OLT approved application

Letter to Town Solicitor

From: Dan & Karolina Prosser

1225 Trafalgar Road

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Oakville, Ont

████████████████

L6H 0H3

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RE: Transmetro Amendment and Rezoning Application

I moved to Oakville with my wife and our three-year-old son with the goal of finding a lower density place to live and raise our small family. What attracted us to this neighborhood was the heritage district older homes, beautiful trees and the friendly families that welcomed us when we settled at ██████████
██████████

This neighborhood is a beautiful place to live and, understandably, more people want to join the community. We welcome the idea of new neighbours however, we are not in agreement of the proposed development at 358 Reynolds as it is currently presented. We believe that the current proposal is not compatible with the surrounding neighborhood as it presents material negative impact on the adjacent properties and creates unprecedented change in the Heritage Conservation district. We are aware of the fact that there was some legacy, grandfathered spaces, including buildings left behind from the demolished hospital, but those structures were out of scope according to current bylaws. While considering the location of our new home, we expected the bylaws to protect our interests and maintain density and other associated rules.

Below, I have outlined my concerns with the proposed development at 385 Reynolds Road and provided facts to support my arguments.

Concern	Facts
Dramatic increase in density from RL5-O Low to RM4 Med.	+71% increase in density moving from 5 dwellings to 29 units per hectare to 49.5 units per hectare, pushing the upper limit of Medium
Massive increase footprint and height of building	60% to 70% increase in building size lot coverage
Unprecedented use of prohibited balconies	14 balconies with 67% currently prohibited
Proximity creep towards adjacent properties	Decrease in proximity by 27% to 60% , moving a massive building closer to smaller adjacent properties
Negative impact of density change to the community	More than 120 new windows, lights and underground parking
Substantial risk to old-growth trees	67% of trees will be removed or injured during construction
Violates Heritage Conservation Plans	Dramatically different in size, height and setback as the adjacent buildings

1. **Dramatic 71% increase in density.** Moving from RL5-0: Low Density Residential of 29 units per hectare to 49.5 units per hectare which represents the extreme upper limit of RM4 Medium Density. This 71% increase in density feels aggressive considering the existing zoning would allow for 5 family detached dwellings.

2. **60% to 71% increase in size of the building and lot coverage.** The footprint and height of the proposed building is dramatically larger than anything else we have in the community. This pushes the capacity of the lot and makes a massive building feel even larger and more imposing to the surrounding neighbours.
 - Based on the submitted plan, the building would occupy roughly 60% of the lot, or more, once the parking is taken into consideration. The developer claims that this is an amendment to the by-laws, however, due to the tremendous change to the current stipulations it appears that they are in fact trying to change the current by-laws. Based on the current R15-O Low Density zoning, the maximum coverage should be 35% which means the proposed building would increase lot coverage by 71%.
 - Based on the submitted plan, the height of the proposed building is 14.33 metres. This is in violation of the 9 metres allowed by current zoning, representing a 60% increase in allowable height. The proposed building would tower over the surrounding detached dwellings casting massive shadows to the north blocking morning sun and to the south in the afternoon.
3. **Unprecedented use of prohibited balconies :** within the -0 suffix zone, balconies are prohibited above the floor level on any lot. The proposed building has 14 balconies with 8 of them on the second or penthouse floors. The elevated balconies, combined with the height of the building, have the potential to provide intimate views into yards, windows and skylights of neighbouring homes impacting the privacy and comfort of the homeowners in the community.
4. **Unprecedented development:** the previous three points (density, size and balconies) address the zoning rules and highlight a few of the reasons why this development should not proceed as currently proposed. The developer will certainly argue that other buildings exist, however, it is important to point out that these buildings exist because they are classified as grandfathered properties. The developer has also argued that similar properties are being built, however, this argument is null for the following reasons:
 - The development is being proposed in a heritage district
 - The development includes unique characteristics that will negatively impact the quality of life surrounding residents including proximity to other properties and balconies facing single family homes. No other property in this zone reflects those same characteristics

Developers have leaned on the Livable Oakville Land Use Policies, "Intensification within residential areas will be evaluated using criteria that maintains and protects the existing neighbourhood character. These include, but not limited to, ensuring the built form of development is compatible with the surrounding neighborhood, minimize the impacts on adjacent properties on matters such as grading, access, privacy and shadowing, and to ensure the preservation and integration of heritage buildings within the Heritage Conservation Districts". The bottom line is that this development is looking for dramatic By-law amendments, or in some cases changes, that are unprecedented in the community.

Residents, including my family, have taken comfort in and made financial commitments based on previous decisions that have been made in our zone. Two recent examples include; the decision not to proceed with the McLaughlin College expansion and the decision to proceed with 15 single dwelling residences on the old hospital grounds. Both of these recent decisions set precedence and

highlight the fact that this community values the detached dwelling housing that it is comprised of. This proposal thrusts density and change at an extreme pace.

5. **Proximity to Other Properties:** the proposed development size, lot coverage and setback will push the building to the edges of the of the property line. To the south, the setback, as proposed, will be 3 metres which represents a decrease of 33% to 60% (depending on interior side or rear yard consideration). The front yard setbacks would move from 7.5 metres to 5.5 metres, a decrease of 27% which would result in the neighbor directly to the west having a view of the side of the proposed 3 story building from their front windows.

6. **Negative impact of density change to the community.** Density brings new challenges to the community including light pollution, increased traffic and an underground garage with 37 cars situated directly next a single dwelling residence with a young child.
 - Light pollution will be created by the roughly 100 windows that will be illuminated from the 14 luxury town homes.
 - Increased traffic and the use of an underground garage will present danger to the homes in in the immediate vicinity. The adjacent property to the west will have an underground garage entrance directly beside their property presenting a dangerous risk for the toddler residing in the house every time he rides his tricycle
 - More people means more garbage and recycling. The site plan does not indicate where or how the garbage will be stored or removed. The adjacent properties will not want to have garbage facilities close or in view of their properties.

7. **Loss of privacy** is a major concern for the adjacent properties. The height and proximity of the proposed development, combined with balconies that have the ability to look into back and side yards, windows and skylights create a material change in adjacent property privacy. This is particularly punitive to the residents of 272 Macdonald Road and 350 Reynolds St.

8. **Trees:** the proposed development site contains 21 old growth trees. Oakville is well known for its strict and well-respected tree treatment. According to the arborist report, 14 of the 21 trees will be removed or injured during construction, representing a negative impact to 67% of the trees on the property. Development of a property that puts two-thirds of the tress at risk seems like a large risk to the character of the community when some of the trees are 50 to 100 years old.

9. **Heritage preservation:** The proposed development site is within the boundary of the Trafalgar Road Heritage Conversation District Plan ("TRHCDP") and the residents within the district have an expectation that the Municipal Authority has the mechanism to review and determine the permit of applications to changes to, and within, the environment of the district.

According to the Trafalgar Road Heritage Conservation District Plan, *"New construction compromising freestanding buildings should respect the prevailing character of: adjacent building; the existing streetscape, landscape and grade levels; and the district as a whole. New construction should be of compatible design in location, size, height, setback orientation, material colour, roof and roofline, fenestration, scale and proportion"*.

The TRHCDP has clear guidelines for new building height, width and proportion:

- **New building height** *"One-and-a-half to two storey structures are the most dominant in the district. Building height of new structures should generally maintain the building height of adjacent properties and the immediate streetscape should be noticeably higher nor lower"*
- **Width** *"Building of new structures should maintain the building width and side yard spaces of adjacent properties and the immediate streetscape thus preserving the existing streetscape"*

The proposed development does not meet the character of the adjacent buildings and is dramatically different in size, height and setback as the adjacent buildings are single dwelling two story homes.

10. Construction and Vibration: The proposed plans will clearly involve extensive construction and excavation to create underground parking. The property adjacent to the west will be roughly 2 meters from the underground parking. That means that as the underground is being dug, the residents living room will be subject to tremendous vibration caused by shoring and faces risks of foundational cracking and/or the possibility of infringement of property.

Some may feel that this is the byproduct of progress, but it's important to remember that residents of this community made their decision to live here based on the expectation that detached dwellings would be built, not higher-density townhomes with underground parking.

Thanks for your time and attention.

Dan & Karolina Prosser

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OAKVILLE

REPORT

Planning and Development Council

Meeting Date: March 4, 2024

FROM: Planning Services Department

DATE: February 20, 2024

SUBJECT: Statutory Public Meeting – Town-initiated Official Plan and Zoning By-law Amendments – Four Dwelling Units Per Property and Sheridan College Housing Area (File No. 42.15.62 and 42.15.63)

LOCATION: Ward 5 and Town-wide

WARD: Ward 5 and Town-wide

Page 1

RECOMMENDATION:

1. That comments from the public with respect to the proposed town-initiated Official Plan Amendments and Zoning By-law Amendments (File No. 42.15.62 and 42.15.63), be received.
2. That staff considers such comments as may be provided by Council and the public.

KEY FACTS:

The following are key points for consideration with respect to this report:

- In spring 2023, the Canada Mortgage and Housing Corporation (CMHC) launched the Housing Accelerator Fund (HAF) program. The main objective of the program is to encourage housing supply growth and create certainty in development approvals. CMHC assisted town staff to develop the town's HAF application.

-
- In summer 2023, the town submitted a HAF application that included a Council approved Action Plan with seven initiatives. Subsequent communications throughout the fall between the town and the federal government identified additional measures for improving the town’s application.
 - In response to those communications, on January 22, 2024, the following motion was passed by Council:

“In support of the Housing Accelerator Fund, as advised by Minister Fraser with due regard for heritage conservation and infrastructure capacity and servicing:

 - a) That staff be directed to bring forward a zoning by-law amendment to permit 4 units per property, as-of-right for Council’s consideration within 90 days of passing of this resolution; and
 - b) That staff be directed to bring forward a zoning by-law amendment permitting 4 storeys within 800m of Sheridan College for Council’s consideration within 90 days of the passing of this resolution;”
 - To address Council’s motion, draft town-initiated Official Plan Amendments and Zoning By-law amendments have been prepared and are attached to this report for discussion.

BACKGROUND:

HAF Application

On June 14, 2023, the town applied to the Housing Accelerator Fund (HAF) program by the application deadline provided to identified “growth leaders”.

On July 10, 2023, Council approved a Housing Action Plan, which is a requirement to participate in the HAF program. The Action Plan included seven initiatives to be undertaken as part of the HAF program and were included in the HAF application.

Subsequently, town staff worked with CMHC extensively to address refinements and revisions to the town’s HAF application while maintaining the intent of the Council approved Action Plan.

In January 2024, subsequent communications from the federal government requested that the town adopt a by-law to “allow for four dwelling units on a single

lot on an as-of-right basis” and “allowing four storeys and four or more units as of right within an 800-metre radius of Sheridan College”.

Purpose of Report

This report introduces draft Official Plan Amendments (OPA) and Zoning By-law Amendments (ZBA) that relate to the two initiatives being undertaken to address a Council motion regarding the federal HAF program:

- 1) Enabling four dwelling units per property across the Town of Oakville; and,
- 2) Creating a Special Policy Area pertaining to a new Sheridan College Housing Area to permit 4 storey buildings within 800 metres of Sheridan College.

The following OPAs and ZBAs are attached:

Appendix A Draft Official Plan Amendment – Additional Dwelling Units (Livable Oakville)

Appendix B Draft Official Plan Amendment – Additional Dwelling Units (North Oakville East Secondary Plan)

Appendix C Draft Official Plan Amendment – Sheridan College Housing Area – Special Policy Area (Livable Oakville)

Appendix D Draft Zoning By-law Amendment – Additional Dwelling Units (Zoning By-law 2014-014 – Livable Oakville Plan Area)

Appendix E Draft Zoning By-law Amendment – Additional Dwelling Units (Zoning By-law 2009-189 – North Oakville Planning Area)

Appendix F Draft Zoning By-law Amendment – Lands Around Sheridan College (Zoning By-law 2014-014 – Livable Oakville Plan Area)

Following the statutory public meeting and analysis of the comments received from the public and Council, staff will bring forward a recommendation report to Planning and Development Council for consideration. A recommendation meeting is anticipated in April 2024 to address Council’s 90-day timeframe.

OFFICIAL PLAN AND ZONING AMENDMENTS:

Additional Dwelling Units - Four Dwelling Units Per Property (Detached Residential)

Purpose

The purpose of the OPAs to the town's Official Plans, being the Livable Oakville Plan and the North Oakville East Secondary Plan (1984 Oakville Official Plan), and ZBAs to the town's Zoning By-laws, being Zoning By-law 2014-014 (Livable Oakville Plan Area) and Zoning By-law 2009-189 (North Oakville Plan Area), is to modify the text and regulations to permit additional dwelling units (up to four dwelling units per property for detached dwellings).

Effect

The effect of the proposed amendments to the Livable Oakville Plan and North Oakville East Secondary Plan will:

- permit additional dwelling units subject to updated regulations of the Zoning By-law;
- ensure additional dwelling units do not count toward the calculation of density.

The effect of the proposed amendments to Zoning By-law 2014-014 to Zoning By-law 2009-189 will:

- redefine "accessory dwelling units" to "additional dwelling units" throughout the by-laws, including for greater clarity definitions for "detached" and "attached" additional dwelling units;
- in addition to the primary dwelling unit, permit a maximum of three attached additional dwelling units within a detached dwelling on a lot; or permit a maximum of two attached additional dwelling units within a detached dwelling and one detached additional dwelling unit within an accessory building on a lot;
- regulate access requirements to additional dwelling units with a minimum of 1.0 metre exterior path of travel to the entrance;
- require a minimum of four parking spaces for detached dwellings that accommodate four dwelling units (primary dwelling unit plus three additional dwelling units).

Location

Proposed changes relating to additional dwelling units, including four dwelling units per property (detached residential) would apply town-wide where residential uses are already permitted or exist.

Sheridan College Housing Area – Special Policy Area

Purpose

The purpose of the OPA is to modify the texts and schedules of the Livable Oakville Plan to establish a new Special Policy Area, known as the Sheridan College Housing Area, and establish a policy framework to enable increased density permissions, including building heights up to four storeys within the Residential Area and Nodes and Corridor – Trafalgar Road Corridor.

The purpose of the companion ZBA to Zoning By-law 2014-014 will modify the zoning regulations to permit expanded housing options throughout the area, including building heights up to four storeys when provided in an apartment building.

Effect

The effect of the proposed amendment to the Livable Oakville Plan will:

- establish a new Special Policy Area – “Sheridan College Housing Area”;
- establish a new goal, objectives, and development concept to guide decision making;
- establish new functional policies to address parking, accommodating increased density, housing, and urban design;
- establish new land use policies that enable a broader range of medium density residential uses within the Residential Area and Trafalgar Road Corridor;
- establish implementation policies to ensure appropriate transition, phasing, and coordination with Sheridan College over the long-term.

The effect of the proposed amendment to Zoning By-law 2014-014 will:

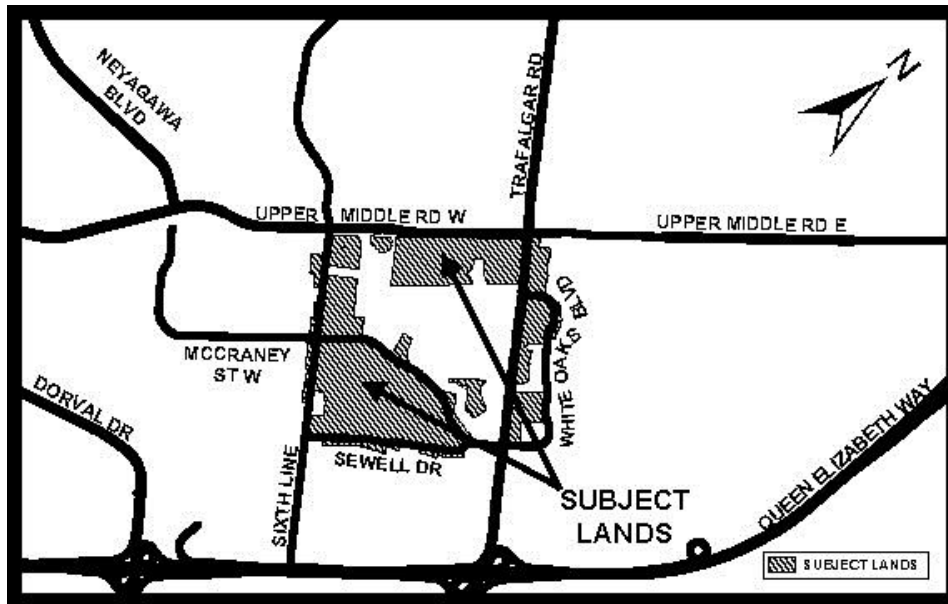
- create a new special provision for residential low zones within the Sheridan College Housing Area to permit RM1, RM2, RM3, and RM4 uses subject to same zone regulations;
- create a new special provision for RM1 zones within the Sheridan College Housing Area to permit RM2, RM3, and RM4 uses subject to same zone regulations;

- create a new special provision for C1 zones within the Sheridan College Housing Area to permit a maximum height of four storeys and residential uses above the first storey;
- create a new holding provision applying to the Sheridan College Housing Area to ensure coordinated, integrated and comprehensive redevelopment.

Location

Proposed changes relating to the Sheridan College Housing Area – Special Policy Area apply to the area generally bounded by Upper Middle Road to the north, White Oaks Boulevard to the east, Sewell Drive to the south, and Sixth Line to the west, as seen in Image 1 below. This boundary is approximately 800 metres from Sheridan College and delineated using prominent features within the adjacent community such as major roadways and natural features to assist concentrating areas of change to contiguous communities. It applies to the lands that are designated Low Density Residential, Medium Density Residential, Neighbourhood Commercial, and their corresponding zones.

Image 1: Subject lands: Sheridan College Housing Area – Special Policy Area



PLANNING POLICY & ANALYSIS:

The subject lands for both initiatives presented in this report are subject to the following policy and regulatory framework:

- Provincial Policy Statement (2020)

-
- A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2019)
 - Halton Region Official Plan
 - Livable Oakville Official Plan
 - North Oakville East Secondary Plan (Four Units Per Property initiative only)
 - Zoning By-law 2014-014
 - Zoning By-law 2009-189 (Four Units Per Property initiative only)

An analysis of the Provincial Policy Statement (2020), Growth Plan for the Greater Golden Horseshoe (2019), and Halton Region Official Plan will be included within the recommendation report. However, staff notes that the draft town-initiated OPAs and ZBAs are consistent with and/or conform to the applicable plans.

Provincial Policy Statement

The Provincial Policy Statement (PPS) sets the policy foundation for land use planning in Ontario, providing policy direction on matters of provincial interest and key land use planning issues. The PPS recognizes that municipal official plans are the most important vehicle to implement the PPS and achieve comprehensive, integrated and long-term planning. The PPS 2020 is issued under Section 3 of the *Planning Act* and came into effect on May 1, 2020. All planning decisions must be consistent with the PPS.

The PPS promotes a policy-led planning system which recognizes that there are complex relationships among environmental, economic and social factors in land use planning. It encourages building strong healthy communities, the wise use and management of land and resources and the protection of public health and safety. Key components of the PPS include directing growth to settlement areas to achieve efficient land use patterns and promoting a compact development form.

The subject lands of the draft OPAs and ZBAs are located within the settlement area of the PPS and areas of focus for growth and development.

The PPS is currently under review by the province.

A Place to Grow: Growth Plan for the Greater Golden Horseshoe

On May 16, 2019, A Place to Grow: Growth Plan for the Greater Golden Horseshoe (Growth Plan) came into effect. It was later amended by Growth Plan Amendment 1, which came into effect on August 28, 2020 (Office Consolidation 2020).

The Growth Plan is a long-term plan to manage growth and build complete communities, providing a horizon year for land use planning to 2051. The Growth Plan builds upon the policy foundation provided by the PPS and provides additional

and more specific land use planning policies to address issues facing the Greater Golden Horseshoe, which includes Oakville.

The subject lands of the OPAs and ZBAs are located within the Growth Plan area. The *Planning Act* requires that all decisions in respect of planning matters shall conform with any applicable Provincial plan or shall not conflict with it.

An intended outcome of the Growth Plan is the creation of complete communities that, among other matters, provide a diverse range and mix of housing options, including additional residential units and affordable housing, to accommodate people at all stages of life, and to accommodate the needs of all household sizes and incomes. The Growth Plan also intends to create vibrant communities with a more compact built form and enable intensification efforts which ensure the viability of transit, connect people to homes, jobs and other aspects of daily living for people of all ages, and meet climate change mitigation and adaptation objectives.

The Growth Plan is currently under review by the province.

Halton Region Official Plan

The Halton Region Official Plan provides policy direction for land use planning in Halton Region. All development in Oakville is subject to the policies of the Regional Plan. The subject lands of the draft OPAs and ZBAs are designated Urban Area in the Halton Region Official Plan where growth is to be directed.

The Halton Region Official Plan is in full force and effect for the subject lands.

Livable Oakville Plan and the North Oakville East Secondary Plan

To address Council's motion for zoning by-law amendments:

“In support of the Housing Accelerator Fund, as advised by Minister Fraser with due regard for heritage conservation and infrastructure capacity and servicing:

- a) That staff be directed to bring forward a zoning by-law amendment to permit 4 units per property, as-of-right for Council's consideration within 90 days of passing of this resolution; and
- b) That staff be directed to bring forward a zoning by-law amendment permitting 4 storeys within 800m of Sheridan College for Council's consideration within 90 days of the passing of this resolution;”

Official Plan Amendments to update policy permissions in the Livable Oakville Plan and the North Oakville East Secondary Plan are required because zoning by-laws are not allowed to be more permissive than an Official Plan.

Four Dwelling Units Per Property

The Livable Oakville Plan and North Oakville East Secondary Plans currently contemplate and consider the creation of “second units” subject to regulations in the town’s Zoning By-laws. However, recent changes to the *Planning Act* under various Provincial bills (including Bill 23) require municipalities to permit three dwelling units in a detached house, semi-detached house and townhouse on a parcel of urban residential land (e.g. two additional dwelling units per lot), and have established new and more permissive frameworks around additional dwelling units.

The OPAs to the Livable Oakville Plan and the North Oakville East Secondary Plan propose updates to permit additional dwelling units in order to:

- a) implement in-force Provincial legislation;
- b) build on the established policy frameworks within both Official Plans; and,
- c) enable regulations for additional dwelling units in the implementing zoning by-laws, such as permitting three additional dwelling units per lot (total of 4 units) to address Council’s motion.

Sheridan College Housing Area – Special Policy Area

The Livable Oakville Plan provides a framework for how and where the town will grow, established and enabled through the Urban Structure. The Urban Structure directs the majority of new growth to Nodes and Corridors, with some growth and change anticipated in the towns’ Residential Areas.

To address Council’s motion to enable four storey building heights within 800 metres of Sheridan College, new special policies are required which would enable greater levels of change to take place within the town’s Residential Areas, beyond what is currently contemplated. The proposed amendment sets out the expectations for the type of change that may be permitted within a new special policy area.

Zoning By-laws

Additional Dwelling Units - Four Dwelling Units Per Property (Detached Residential)

The draft ZBAs for Zoning By-law 2014-014 (Livable Oakville Plan Area), and Zoning By-law 2009-189 (North Oakville Planning Area) build upon the existing zoning framework and regulations which permit three dwelling units per lot (i.e. the

primary dwelling unit and 2 additional dwelling units per lot) associated with a detached dwelling, semi-detached dwelling, linked dwelling, or townhouse dwelling, as required by provincial legislation.

The ZBAs expand permissions for detached dwellings to permit, in addition to the primary dwelling unit:

- a maximum of three attached additional dwelling units within a detached dwelling on a lot; or
- permit a maximum of two attached additional dwelling units within a detached dwelling and one detached additional dwelling unit within an accessory building on a lot.

These permissions would allow for the conversion of detached dwellings within the existing residential low zoning regulations, which would continue to apply, such as set backs, built form and height requirements.

An additional regulation is proposed to regulate fire department access to an additional dwelling unit entrance, with a requirement of a 1 metre clearway to the entrance.

No additional parking spaces are required for the third additional dwelling unit, resulting in a detached dwelling with 4 units requiring a total of four parking spaces on the lot.

These regulations ensure that the implementation of four units on a lot is not encumbered by undue regulation, while ensuring safety measures for fire access are incorporated.

Sheridan College Housing Area – Special Policy Area

The draft OPA for the Sheridan College Housing Area – Special Policy Area, is implemented in the draft zoning by-law amendment through special provisions and a holding provision. The draft zoning by-law:

- creates a new special provision for residential low zones within the Sheridan College Housing Area to permit RM1 uses (i.e. townhouses at 3 storeys), RM2 uses (i.e. back-to-back townhouse at 3 storeys), RM3 uses (i.e. stacked townhouses at 3 storeys), and RM4 uses (i.e. low-rise apartment buildings at 4 storeys), which will be subject to the existing zoning regulations for those zones;
- create a new special provision for RM1 zones within the Sheridan College Housing Area to permit RM2 uses (i.e. back-to-back townhouse at 3 storeys),

RM3 uses (i.e. stacked townhouses at 3 storeys), and RM4 uses (i.e. low-rise apartment buildings at 4 storeys), which will be subject to the existing zoning regulations for those zones;

- create a new special provision for C1 zones within the Sheridan College Housing Area to permit a maximum height of four storeys and residential uses above the first storey;
- create a new holding provision applying to the Sheridan College Housing Area to ensure coordinated, integrated and comprehensive redevelopment.

This approach expands medium density housing options and opportunities throughout the Sheridan College Housing Area with height permissions up to four storeys for low-rise apartments. It also ensures that if redevelopment within the Residential Areas of the Sheridan College Housing Area takes place, the introduction of medium density housing forms will be subject to the same zoning regulations as exist for medium density residential uses found throughout the town's Residential Areas today, ensuring compatibility can be more easily addressed.

The approach using holding provisions ensure that:

- infrastructure is available to support development; and
- when redevelopment is to take place, block plans are submitted to allow an examination of lotting fabric and layout to ensure orderly development that is contextually appropriate, while not encumbering other properties from also being developed.

TECHNICAL & PUBLIC COMMENTS:

Jurisdictional Scan of Ontario Municipalities

The policies and zoning regulations of 19 Ontario municipalities were reviewed to examine best practices for regulating gentle density and “missing middle” housing in residential neighbourhoods to inform the town's approach to expanding gentle density. A review is provided in **Appendix G**.

Hamilton and Toronto are the leading Ontario jurisdictions that have existing, in-effect policies and zoning that permit up to four units per residential lot as-of-right, and up to 6 units per residential lot on arterial and collector roads (Hamilton), in effect since August 2022 (Hamilton) and May 2023 (Toronto), respectively.

The City of Ottawa has policy direction in its Official Plan to support the production of missing middle housing (defined as low-rise, multiple unit residential development of between three and sixteen units). Ottawa's zoning regulations are being updated

currently, with draft zoning by-law amendments anticipated for March 2024 to permit missing middle housing across Ottawa neighbourhoods. The City of London's in-effect zoning permits up to four units as-of-right through converted dwellings in some residential zones through its zoning by-law. City-wide permissions for four units as-of-right are being developed by staff throughout 2024.

Most Ontario municipalities reviewed have existing, in-effect policies that speak to "Additional residential units" (ARUs) or "Additional dwelling units" (ADUs) up to three units as-of-right, per Bill 23, the *More Homes Built Faster Act*, 2022 that came into effect on November 28, 2022. Of the Ontario municipalities reviewed that do not have in-effect policies and zoning permitting four or more units as-of-right, 16 (84%) have received Council Motions directing staff to bring forward policy and zoning amendments to enable four units as-of-right. Two municipalities (Windsor and Pickering) voted no to four units as-of-right. As a result, Windsor was not given HAF funding. Two municipalities (St. Catharines and Cambridge) did not have information clarifying whether four units as-of-right was being contemplated by Council and staff.

Official Plan Policies

Toronto, Hamilton and Ottawa's Official Plan policies require multiplexes maintain or be compatible with the low-rise character of the respective neighbourhoods, further regulated through zoning (Hamilton and Toronto; Ottawa forthcoming). Toronto enables conversion or purpose-built multiplexes; Hamilton only contemplated conversions of existing dwellings in 2022, with purpose-built now being contemplated as part of Hamilton's Residential Zones Review currently underway. The City of Mississauga, in response to their November 2023 Council Motion, is contemplating two approaches for conversions and purpose-built, together with additional gentle density policies for 5+ units/lot.

The policies reviewed establish permissions for multiplexes including the number of dwelling units per residential lot, size of units (e.g., family sized), low-rise built form requirements (e.g., prevailing block patterns, lot sizes / configurations, setbacks), and requirements for heritage conservation. Some of the OPAs (e.g. Toronto) include policies to address sustainability through policies regarding low carbon building materials, contiguous soft landscaping, and maintaining and expanding the tree canopy.

Public Engagement

There have been two public engagements related to the proposed amendments. The first engagement was a request from the Mayor for public feedback on possible revisions to the town's HAF application that could be made in order to be successful in accessing funds in the federal HAF program. The Mayor made this request in a

newsletter that went out to the public on October 25, 2023 and 51 responses were received.

The second public engagement took place at the Planning and Development Council meeting on January 22, 2024, during which Council approved a motion directing staff to draft by-laws to implement changes related to allowing four units as of right on urban residential properties town-wide and increased density around Sheridan College for further consideration. At this meeting, 10 delegates presented to Council with their views on the matter.

Regarding the topic of permitting four units on a residential lot town-wide, of the 61 responses, including responses to the Mayor's newsletter and Council delegations, 18 were in favour; 37 were opposed; and 6 were silent on the matter. Regarding the topic of permitting increased density around Sheridan College, of the 60 responses, 20 were in favour; 29 were opposed; and 12 were silent on the matter.

The responses covered a range of themes including in order of most to least referenced: character, housing affordability, housing options, alternatives, infrastructure, traffic, parking, transit, mobility, safety, compatibility, and the environment. The most frequently referenced themes reflect the themes having the largest concerns among respondents.

Character was a theme most referenced among those opposed to any changes to permissions regarding height and density. Housing affordability and housing options were the most referenced among those in favour of the changes. Many of the responses that were in favour of either the four units or the increased density around Sheridan College also included stipulations that any changes should be subject to appropriate guidance and regulations.

Examples of comments related to each theme are outlined below:

Character – comments received about character were opposed to the changes and expressed concerns that additional density town-wide will erode the “town-like” character of Oakville.

Housing affordability – comments received about affordability were in favour of the changes and expressed broad recognition that housing in Oakville is not affordable, and that the lack of affordability means less diversity in communities and prevents people from aging in place.

Housing options – comments expressing the need for additional housing types were in favour of the changes and cited a need for housing options to support families, seniors, people from all life stages and income levels throughout Town.

Alternatives – some comments requested that Council consider alternatives to allowing four units or increasing density around Sheridan, such as:

- developing seniors housing so that over-housed individuals could move to more appropriate housing and free up some housing stock.
- focus on meeting the town’s housing pledge to address the housing crisis instead of agreeing to additional density.
- explore more opportunities in addition to those put forward by the Minister.

Infrastructure – concern about the adequacy of water, wastewater and road infrastructure to handle the additional density.

Traffic – concern that changes will worsen traffic in Oakville, including traffic on Trafalgar Road and the QEW.

Parking – concern that if four units per lot is permitted, that front yards would become parking lots.

Transit – support that additional dwelling units and increased density is essential to supporting the development of more transit and transit priority systems throughout the Town.

Mobility – support for increased density around Sheridan College will enable more students to walk to school.

Safety – concerns about road safety on Trafalgar Road with increased density and traffic

Compatibility – comments that regulations should ensure compatibility.

Environment – comments expressed included:

- concern that additional housing density could infringe on greenspace in the Town.
- Support for increased density in addressing climate change and improving air quality by increasing options for people to live where they work and increasing alternatives to single occupancy automobile trips.

Issues Under Review/Matters to be Considered

Heritage Conservation Districts

The motion of Council requested staff to have due regard for heritage conservation in consideration of the initiatives for four units per property and Sheridan College.

To that end, staff notes that a heritage permit is required prior to any change that is likely to impact one or more heritage attributes on an individually designated heritage property or on a designated property within a Heritage Conservation District.

Further, a heritage permit is required prior to the issuance of a building permit. In other words, if a building permit is required to construct additional dwelling units within a building (e.g. four units), the *Ontario Heritage Act* is ‘applicable law’ and a building permit could not be issued where a heritage permit is required and not obtained.

The heritage permit process ensures that built heritage resources and cultural heritage landscapes are conserved. Development, including the creation of additional dwelling units, both attached and detached, as well as any exterior site alteration, would only be permitted where it has been properly evaluated and it has been demonstrated that the cultural heritage value of the protected heritage property will be conserved.

Heritage Conservation District plans and heritage designation by-laws do not typically speak to the number of units permitted within a property. As such, there is no conflict in regard to the number of units that can be located within a building. However, there is a conflict provision in the *Ontario Heritage Act* specific to Heritage Conservation Districts that provides that a Heritage Conservation District plan prevails to the extent of any conflict with a municipal by-law that affects the designated district. Therefore, to the extent of any conflict with a zoning by-law permission for four units, the Heritage Conservation District plan prevails.

There are no listed or designated heritage properties within the proposed Sheridan College Housing Area – Special Policy Area.

Affordability

Halton Region’s State of Housing reporting identifies a correlation between higher density housing options and greater affordability levels. As such, enabling a more diverse range of higher density housing options such as low-rise apartment buildings and additional dwelling units across the town will support the creation of a greater supply of housing that is more affordable.

Enabling affordability is an important part of why expanding housing options is critical and is also why the draft policies which are proposed for the Sheridan College Housing Area consider affordability as an objective.

Affordability will be further reviewed as part of broader housing strategies across the town, including the completion of a Housing Needs Assessment Report which is a requirement of the HAF program, and the ongoing/emerging provincial regulatory approach, including the release of a “Affordable Residential Units bulletin” for the purposes of the *Development Charges Act*, 1997, as identified by the Minister of Municipal Affairs and Housing.

Parking

Bill 23, the provincial *More Homes Built Faster Act*, 2022, which requires municipalities to permit three dwelling units per property, provided that no official plan may contain any policy that has the effect of requiring more than one parking space for any additional dwelling unit. Given this, any property in town which has three dwelling units must have a minimum of four parking spaces: 2 parking spaces for the primary unit, and 1 parking space for each additional dwelling unit.

The draft zoning by-law amendment proposes to permit a third additional dwelling unit on lots with detached dwellings (i.e. four dwelling units per property) with no additional parking required. This is to better enable the creation of additional dwelling units and support the creation of walkable and transit-oriented communities. Reduced parking is also key strategy to support housing within the HAF program materials.

Town-wide parking standards will be reviewed as part of the future comprehensive Zoning By-law Review.

Broader Strategic Review of Housing

The coordination of the initiatives discussed in this report will be considered alongside the town’s other broader housing initiatives, including the finalization of the Housing Strategy and Action Plan, and the initiatives put forth as part of the town’s HAF application which include additional work undertaken by staff and CMHC.

NEXT STEPS:

A recommendation report with final proposed Official Plan Amendments and Zoning By-law Amendments is anticipated at the April 22, 2024, meeting of Planning and

Development Council, for Council's consideration. This timeframe is necessary to meet the 90-day timeframe as per the Council motion.

CONSIDERATIONS:

(A) PUBLIC

Preliminary comment on permitting four units as-of-right and increased density around Sheridan College was received in response to the mayor's newsletter dated October 25, 2023. Public comment was also received at the Planning and Development Council meeting on January 22, 2024.

An online public engagement survey was made available from February 13 to March 8, 2024. The online survey seeks feedback on the two initiatives outlined in this report.

Notice of the public meeting was published on the town's website on February 7, 2024 and in the Globe and Mail on February 12, 2024. Notice was also mailed to properties within 800 metres of Sheridan College, being approximately 3,999 addresses.

This report, associated with the statutory public meeting, provides an opportunity for the public to provide comments. Input received will be presented in a future recommendation report to Council.

(B) FINANCIAL

There are no financial impacts resulting from this report. However, Council approval of future recommended Official Plan Amendments and Zoning By-law Amendments will be required to access funds from the HAF program.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

There are no direct impacts to other departments because of this report. However, to implement the initiatives in the HAF application, various town departments will be required to assist and/or lead various studies and related programs. A Housing Secretariat Office is also anticipated to be created through HAF funding.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priorities of Growth Management, Community Belonging, Environmental Sustainability and Accountable Government.

(E) CLIMATE CHANGE/ACTION

Enabling housing opportunities within residential areas, near major institutional facilities, and along transit routes, while ensuring it is provided in a manner that is less car dependant, reduces urban sprawl, creates walkable and transit-supportive development patterns and creates conditions for the development of low-carbon, climate-resilient, complete communities.

CONCLUSION:

The town-initiated draft OPAs and ZBAs attached to this report respond to Council's motion and establish a policy and regulatory framework for the consideration of four units per property town-wide and increased density around Sheridan College, including 4 storey building height permissions.

Planning staff will continue to review and refine the OPAs and ZBAs based on further technical review and public input received.

No further public notice is required. However, written notice of any future public meetings will be provided to those who have made written and/or verbal submissions.

APPENDICES:

Appendix A Draft Official Plan Amendment – Additional Dwelling Units (Livable Oakville)

Appendix B Draft Official Plan Amendment – Additional Dwelling Units (North Oakville East Secondary Plan)

Appendix C Draft Official Plan Amendment – Sheridan College Housing Area – Special Policy Area (Livable Oakville)

Appendix D Draft Zoning By-law Amendment – Additional Dwelling Units (Zoning By-law 2014-014 – Livable Oakville Plan Area)

Appendix E Draft Zoning By-law Amendment – Additional Dwelling Units (Zoning By-law 2009-189 – North Oakville Planning Area)

Appendix F Draft Zoning By-law Amendment – Lands Around Sheridan College (Zoning By-law 2014-014 – Livable Oakville Plan Area)

Appendix G Jurisdictional Scan of Ontario Municipalities

SUBJECT: Statutory Public Meeting – Town-initiated Official Plan and Zoning By-law Amendments – Four Dwelling Units Per Property and Sheridan College Housing Area (File No. 42.15.62 and 42.15.63)

Page 19 of 19

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Submitted by:
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Director, Planning Services



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-xxx

Official Plan Amendment xx

A by-law to adopt an amendment to the Livable Oakville Plan, Official Plan Amendment Number xx (Housing Minister Request - HAF - Additional Dwelling Units No. 42.15.62)

WHEREAS subsection 21(1) of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, states that a council of a municipality that is within a planning area may initiate an amendment to any official plan that applies to the municipality, and section 17 applies to any such amendment; and,

WHEREAS subsection 22(1) of the *Planning Act* provides that a person or public body may request a council to amend its official plan; and,

WHEREAS on January 22, 2024, Town Council directed staff to bring forward a zoning by-law amendment to permit four units per property, as-of-right for Council's consideration within 90 days; and

WHEREAS it is deemed necessary to pass an amendment to the Livable Oakville Plan to enable the requested four units per property as-of-right in the implementing zoning by-law;

COUNCIL ENACTS AS FOLLOWS:

1. Official Plan Amendment Number xx to the Livable Oakville Plan, attached as **Appendix "A"**, is hereby adopted.
2. This Official Plan Amendment is subject to appeal rights set out in section 17 of the *Planning Act*, R.S.O. 1990, c. P.13, and shall come into effect once the deadline for filing appeals has passed or all appeals have been withdrawn or finally disposed of.
3. If the Regional Municipality of Halton, being the Approval Authority, does not exempt this Official Plan Amendment from its approval, the Clerk is hereby authorized and directed to apply to the Approval Authority for approval of this Official Plan Amendment.

PASSED this ____ day of _____, 2024

MAYOR

CLERK

APPENDIX “A” to By-law 2024-xxx

Official Plan Amendment Number xx to the Town of Oakville’s Livable Oakville Plan

Constitutional Statement

The details of the amendment, as contained in Part 2 of this text, constitute Official Plan Amendment Number xx (OPA xx) to the Livable Oakville Plan.

Part 1 – Preamble

A. Subject Lands

The Official Plan Amendment applies to all the lands subject to the Livable Oakville Plan.

B. Purpose and Effect

The purpose of the Official Plan Amendment is to modify the text of the Livable Oakville Plan to permit additional dwelling units, greater than what is currently permitted in the Livable Oakville Plan.

The effect of the proposed amendment will enable new zoning permissions and regulations to permit additional dwelling units.

C. Background

- In spring 2023, the Canada Mortgage and Housing Corporation (CMHC) launched the Housing Accelerator Fund (HAF) program. The main objective of the program is to encourage housing supply growth and create certainty in development approvals.
- On July 10, 2023, Town Council approved a Housing Action Plan for the HAF program, which is a requirement to participate in the HAF program. The Action Plan included seven initiatives to be undertaken as part of the HAF program that were included in the HAF application.
- On October 25, 2023, federal Minister of Housing, Infrastructure and Communities, sent a letter requesting additional measures be considered to strengthen Oakville’s HAF application. The measures included permitting “four units as-of-right town-wide”.

- A subsequent letter was received from the Minister of Housing, Infrastructure and Communities requesting the town to adopt a by-law to “allow for four dwelling units on a single lot on an as-of-right basis”.
- On January 22, Council provided a motion: “in support of the Housing Accelerator Fund Application, as advised by Minister Fraser, with due regard for heritage conservation and infrastructure capacity and servicing:
a) that staff be directed to bring forward a zoning by-law amendment to permit 4 units per property, as-of-right for Council’s consideration within 90 days of the passing of this resolution”.

D. Basis

- The official plan amendment is required to enable new zoning permissions and regulations to permit additional dwelling units, as directed by Town Council.
- The official plan amendment also addresses provincial legislation under Bill 23 that permits three dwelling units per property, as-of-right.
- The official plan amendment enables housing supply growth.

Part 2 – The Amendment

A. Text Changes

The amendment includes the changes to the text of the Livable Oakville Plan as described in the following table.

In the “Description of Change” column, text that is **bolded and underlined** is new text to be inserted into the Livable Oakville Plan. Text that is crossed out (“~~strikethrough~~”) is to be deleted from the Plan.

Item No.	Section	Description of Change
1.	11.1.3 RESIDENTIAL General	<p>Revise policy 11.1.3, as follows:</p> <p>The Town will provide for the creation of second <u>additional dwelling</u> units through regulations in the Zoning By-law.</p> <p>a) Second <u>Additional dwelling</u> units shall not be considered as dwelling units for the purpose of calculating density.</p> <p>b) <u>Additional dwellings units may be permitted in accordance with other applicable by-laws, guidance, or requirements.</u></p>



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-xxx

Official Plan Amendment xx

A by-law to adopt an amendment to the 1984 Oakville Official Plan as it applies to the North Oakville East Secondary Plan, Official Plan Amendment Number xx (Housing Minister Request - HAF - Additional Dwelling Units File No. 42.15.62)

WHEREAS subsection 21(1) of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, states that a council of a municipality that is within a planning area may initiate an amendment to any official plan that applies to the municipality, and section 17 applies to any such amendment; and,

WHEREAS subsection 22(1) of the *Planning Act* provides that a person or public body may request a council to amend its official plan; and,

WHEREAS on January 22, 2024, Town Council directed staff to bring forward a zoning by-law amendment to permit four units per property, as-of-right for Council's consideration within 90 days; and

WHEREAS it is deemed necessary to pass an amendment to the North Oakville East Secondary Plan (1984 Oakville Official Plan) to enable the requested four units per property as-of-right in the implementing zoning by-law;

COUNCIL ENACTS AS FOLLOWS:

1. Official Plan Amendment Number xx to the 1984 Oakville Official Plan (North Oakville Secondary Plan), attached as **Appendix "A"**, is hereby adopted.
2. This Official Plan Amendment is subject to appeal rights set out in section 17 of the *Planning Act*, R.S.O. 1990, c. P.13, and shall come into effect once the deadline for filing appeals has passed or all appeals have been withdrawn or finally disposed of.
3. If the Regional Municipality of Halton, being the Approval Authority, does not exempt this Official Plan Amendment from its approval, the Clerk is hereby authorized and directed to apply to the Approval Authority for approval of this Official Plan Amendment.

PASSED this ____ day of _____, 2024

MAYOR

CLERK

APPENDIX “A” to By-law 2024-xxx

Official Plan Amendment Number xx to the North Oakville East Secondary Plan (1984 Oakville Official Plan)

Constitutional Statement

The details of the amendment, as contained in Part 2 of this text, constitute Official Plan Amendment Number xx (OPA xx) to the 1984 Oakville Official Plan (North Oakville East Secondary Plan).

Part 1 – Preamble

A. Subject Lands

The Official Plan Amendment applies to all the lands subject to the North Oakville East Secondary Plan.

B. Purpose and Effect

The purpose of the Official Plan Amendment is to modify the text of the North Oakville East Secondary Plan to permit additional dwelling units, greater than what is currently permitted in the North Oakville East Secondary Plan.

The effect of the proposed amendment will enable new zoning permissions and regulations to permit additional dwelling units.

C. Background

- In spring 2023, the Canada Mortgage and Housing Corporation (CMHC) launched the Housing Accelerator Fund (HAF) program. The main objective of the program is to encourage housing supply growth and create certainty in development approvals.
- On July 10, 2023, Town Council approved a Housing Action Plan for the HAF program, which is a requirement to participate in the HAF program. The Action Plan included seven initiatives to be undertaken as part of the HAF program that were included in the HAF application.
- On October 25, 2023, the federal Minister of Housing, Infrastructure and Communities, sent a letter requesting additional measures be considered

to strengthen Oakville’s HAF application. The measures included permitting “four units as-of-right town-wide”.

- A subsequent letter was received from the Minister of Housing, Infrastructure and Communities requesting the town to adopt a by-law to “allow for four dwelling units on a single lot on an as-of-right basis”.
- On January 22, Council provided a motion: “in support of the Housing Accelerator Fund Application, as advised by Minister Fraser, with due regard for heritage conservation and infrastructure capacity and servicing: a) that staff be directed to bring forward a zoning by-law amendment to permit 4 units per property, as-of-right for Council’s consideration within 90 days of the passing of this resolution”.

D. Basis

- The official plan amendment is required to enable new zoning permissions and regulations to permit additional dwelling units, as directed by Town Council.
- The official plan amendment also addresses provincial legislation under Bill 23 that permits three dwelling units per property, as-of-right.
- The official plan amendment enables housing supply growth.

Part 2 – The Amendment

A. Text Changes

The amendment includes the changes to the text of the North Oakville East Secondary Plan as described in the following table.

In the “Description of Change” column, text that is **bolded and underlined** is new text to be inserted into the Livable Oakville Plan. Text that is crossed out (“~~strike through~~”) is to be deleted from the Plan.

Item No.	Section	Description of Change
1.	7.6.2.2 f) LAND USE STRATEGY Land Uses Generally Permitted - Permitted in Most Land Use Designations	<p>Delete and replace policy 7.6.2.2 f), as follows:</p> <p>f) One accessory apartment in a single detached, semi-detached or duplex dwelling in accordance with the regulations of the zoning by-law;</p> <p><u>f) Additional Dwelling Units</u></p> <p>i) <u>The town will provide for the creation of additional dwelling units through regulations in the Zoning By-law.</u></p> <p>ii) <u>Additional dwelling units shall not be considered as dwelling units for the purpose of calculating density.</u></p> <p>iii) <u>Additional dwelling units may be permitted in accordance with other application by-laws, guidance, or requirements.</u></p>



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-xxx

Official Plan Amendment xx

A by-law to adopt an amendment to the Livable Oakville Plan, Official Plan Amendment Number xx (Housing Minister Request - HAF - Sheridan College Housing Area - Special Policy Area, File No. 42.15.63)

WHEREAS subsection 21(1) of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, states that a council of a municipality that is within a planning area may initiate an amendment to any official plan that applies to the municipality, and section 17 applies to any such amendment; and,

WHEREAS subsection 22(1) of the *Planning Act* provides that a person or public body may request a council to amend its official plan; and,

WHEREAS on January 22, 2024, Town Council directed staff to bring forward a zoning by-law amendment permitting 4 storeys within 800m of Sheridan College for Council's consideration within 90 days; and

WHEREAS it is deemed necessary to pass an amendment to the Livable Oakville Plan to enable the requested four storey height permissions within 800m of Sheridan College in the implementing zoning by-law;

COUNCIL ENACTS AS FOLLOWS:

1. Official Plan Amendment Number xx to the Livable Oakville Plan, attached as **Appendix "A"**, is hereby adopted.
2. This Official Plan Amendment is subject to appeal rights set out in section 17 of the *Planning Act*, R.S.O. 1990, c. P.13, and shall come into effect once the deadline for filing appeals has passed or all appeals have been withdrawn or finally disposed of.
3. If the Regional Municipality of Halton, being the Approval Authority, does not exempt this Official Plan Amendment from its approval, the Clerk is hereby authorized and directed to apply to the Approval Authority for approval of this Official Plan Amendment.

PASSED this ____ day of _____, 2024

MAYOR

CLERK

APPENDIX “A” to By-law 2024-xxx

Official Plan Amendment Number xx to the Town of Oakville’s Livable Oakville Plan

Constitutional Statement

The details of the amendment, as contained in Part 2 of this text, constitute Official Plan Amendment Number xx (OPA xx) to the Livable Oakville Plan.

Part 1 – Preamble

A. Subject Lands

The Official Plan Amendment applies to all the lands subject to the Livable Oakville Plan.

B. Purpose and Effect

The purpose of the Official Plan Amendment is to modify the text and schedules of the Livable Oakville Plan to establish a new Special Policy Area, known as the Sheridan College Housing Area. The Special Policy Area establishes a policy framework to enable increased density permissions, including buildings heights up to four storeys within the Residential Area and Nodes and Corridor – Trafalgar Road Corridor.

The effect of the proposed amendment will enable new zoning permissions and regulations to permit additional dwelling units.

C. Background

- In spring 2023, the Canada Mortgage and Housing Corporation (CMHC) launched the Housing Accelerator Fund (HAF) program. The main objective of the program is to encourage housing supply growth and create certainty in development approvals.
- On July 10, 2023, Town Council approved a Housing Action Plan for the HAF program, which is a requirement to participate in the HAF program. The Action Plan included seven initiatives to be undertaken as part of the HAF program that were included in the HAF application.
- On October 25, 2023, the federal Minister of Housing, Infrastructure and Communities, requested additional measures be considered to strengthen

Oakville’s HAF application. The measures included “increasing densification around Sheridan College”.

- A subsequent letter was received from the Minister of Housing, Infrastructure and Communities, suggesting that “a measure such as allowing four storeys and four or more units as of right within an 800 metre radius of Sheridan College would be acceptable.”
- On January 22, Council provided a motion: “in support of the Housing Accelerator Fund Application, as advised by Minister Fraser, with due regard for heritage conservation and infrastructure capacity and servicing:
b) that staff be directed to bring forward a zoning by-law amendment permitting 4 storeys within 800m of Sheridan College for Council’s consideration”.

D. Basis

- The official plan amendment is required to enable new zoning permissions and regulations that permit increased medium density housing options and four storey height limits around Sheridan College.
- The official plan amendment enables housing supply growth.

Part 2 – The Amendment

A. Text Changes

The amendment includes the changes to the text and schedules of the Livable Oakville Plan as described in the following table.

In the “Description of Change” column, text that is **bolded and underlined** is new text to be inserted into the Livable Oakville Plan. Text that is crossed out (“~~strikethrough~~”) is to be deleted from the Plan.

Item No.	Section	Description of Change
1.	<p>26.5 *NEW* SPECIAL POLICY AREAS Sheridan College Housing Area</p> <p><i>Note: Section 26 will become section 28 given the approval of OPA 35 (Hospital District) and OPA 41 (Bronte GO Major Transit Station Area), by Halton Region, which have not yet consolidated into the Livable Oakville Plan.</i></p>	<p>Add a new Section 26.5 (which will become Section 28.5 when the Livable Oakville Plan is consolidated) as attached under Appendix 1, and renumbering the following sections in the Livable Oakville Plan accordingly.</p>

B. Schedule Changes

The amendment includes changes to the schedules in the Livable Oakville Plan listed in the following table, and shown in Appendix 2:

Item No.	Section	Description of Change
2.	<p>Schedule I Central Land Use</p>	<p>Amend Schedule I to:</p> <ul style="list-style-type: none"> - Add a Special Policy Area overlay on the lands surrounding Sheridan College, except on lands designated Parks and Open Space, Natural Area, High Density Residential and the Sheridan College lands.

APPENDIX 1

Changes to the Text of the Livable Oakville Plan for the Sheridan College Housing Area – Special Policy Area

26.5 Sheridan College Housing Area

The lands around Sheridan College, generally bound by Upper Middle Road to the north, White Oaks Boulevard to the east, Sewell Drive to the south, and Sixth Line to the west, is a *Special Policy Area* known as the Sheridan College Housing Area. The lands subject to the *Special Policy Area* are shown on Schedule I Central Land Use.

The Sheridan College Housing Area is located within a Residential Area and a Node and Corridor, as identified on Schedule A1 Urban Structure. The area is identified as a *Special Policy Area* given its opportune location within Oakville surrounding Sheridan College and along the Trafalgar Road Corridor *Special Policy Area*, providing opportunities for enhancing student housing options, increasing the town’s housing mix, and increasing residential density to grow the housing supply through *transit-supportive development*.

26.5.1 Goal

The Sheridan College Housing Area will support the expansion of a more diverse range of housing options around Sheridan College, an important major institutional use within the town. It will also support the town’s urban structure by providing increased *transit-supportive development* opportunities along Trafalgar Road, a *regional transit priority corridor*.

26.5.2 Objectives

The Town will, through public actions and in the process of reviewing development applications, use the following objectives to guide decision making within the Sheridan College Housing Area.

- a) Recognize the unique context of the Sheridan College Housing Area as:
 - i) an area within walking distance of a post-secondary institution, being one of the town’s largest major institutional facilities, requiring housing accommodations for student and employee populations, among others, in need of *affordable housing* options;
 - ii) an area well-served by a large system of natural areas, parks, and transit options; and,

- iii) an area that can support the town's objective to increase density along the Trafalgar Road Corridor, a *regional transit priority corridor*.
- b) Create opportunities to increase the housing supply by:
 - i) increasing density permissions;
 - ii) enabling a more diverse range and mix of housing forms and tenures;
 - iii) enabling redevelopment opportunities within the Residential Area and Trafalgar Road Corridor.

26.5.3 Development Concept

The Sheridan College Housing Area will be an area of incremental change. It will maintain a low rise *character* and built form up to four storeys. Existing housing will be permitted to redevelop and transition over time to allow for low rise apartments and other medium density housing forms, which are *compatible* with their surroundings. Existing neighbourhood commercial uses will be maintained and may be redeveloped with increased residential densities while maintaining the commercial function.

26.5.4 Functional Policies

- a) Parking
 - i) Reduced parking standards may be provided through the implementing zoning or site-specific *development* applications.
 - ii) Where surface parking is provided, it shall be limited to the extent possible by locating in the side or rear yard, and the visual impact shall be mitigated by a combination of setbacks and landscaping.
 - iii) Increased bicycle parking standards are encouraged through the implementing zoning.
- b) Accommodating Increased Density
 - i) Property consolidation and land assembly to allow for comprehensive site design and *development* is encouraged.
 - ii) To ensure orderly and comprehensive redevelopment of existing low-rise housing, block context plans demonstrating how property consolidation and

land assembly fits contextually within the broader neighbourhood lotting pattern may be required as part of the *development* approvals process.

- iii) Where the planned scale or configuration of *development* is not feasible on an individual property, property consolidation shall be required. Where property consolidation is not possible, *development* permissions may be limited.

c) Housing

- i) Within the Sheridan College Housing Area – *Special Policy Area*, residential *development* should include:
 - purpose-built rental housing;
 - a range of building types and residential unit sizes to accommodate a variety of households;
 - *affordable housing*.

d) Urban Design

- i) Urban design guidelines may be prepared for the *special policy area* and incorporated into the Livable By Design Manual, as amended.
- ii) *Development* shall conform with the policies relating to urban design set out in Part C.

26.5.5 Land Use Policies

Land use designations for the lands within the Sheridan College Housing Area – *Special Policy Area* are provided on Schedule I, Central land Use. The following policies apply specifically to the lands within the Sheridan College Housing Area – *Special Policy Area*:

- a) Notwithstanding section 11.1.8 a), lands designated Low Density Residential within the Sheridan College Housing Area – *Special Policy Area*, may have sufficient lot area and lot frontage to accommodate appropriate intensification, including through lot consolidation and *development* approvals. Intensification of sites which have been appropriately assembled may be redeveloped with:
 - i) Medium Density Residential uses;

- ii) a maximum density of 50 dwelling units per *site hectare*;
 - iii) a maximum of four storeys subject to regulations in the zoning by-law;
 - iv) not less than five units; and,
 - v) in accordance with section 11.1.9, except 11.1.9 d).
- b) On lands designated Medium Density Residential the maximum height shall be four storeys subject to regulations in the zoning by-law.
- c) On lands designated Neighbourhood Commercial:
- i) residential uses above ground floor retail and service commercial uses may also be permitted up to a maximum of four storeys; and,
 - ii) redevelopment of a Neighbourhood Commercial site shall ensure there is no net loss of commercial, retail and/or office floor area.

26.5.6 Implementation Policies

In addition to the policies in Part F of this Plan, the following implementation policies apply specifically to the Sheridan College Housing Area - *Special Policy Area*.

b) Phasing/Transition

- i) *Development* will occur gradually over the long-term and be coordinated with the provision of *infrastructure*, including:
 - *multi-modal* transportation improvements; and,
 - water and wastewater services.
- ii) The uses and buildings that legally existing prior to the adoption of this Plan may be permitted to continue.

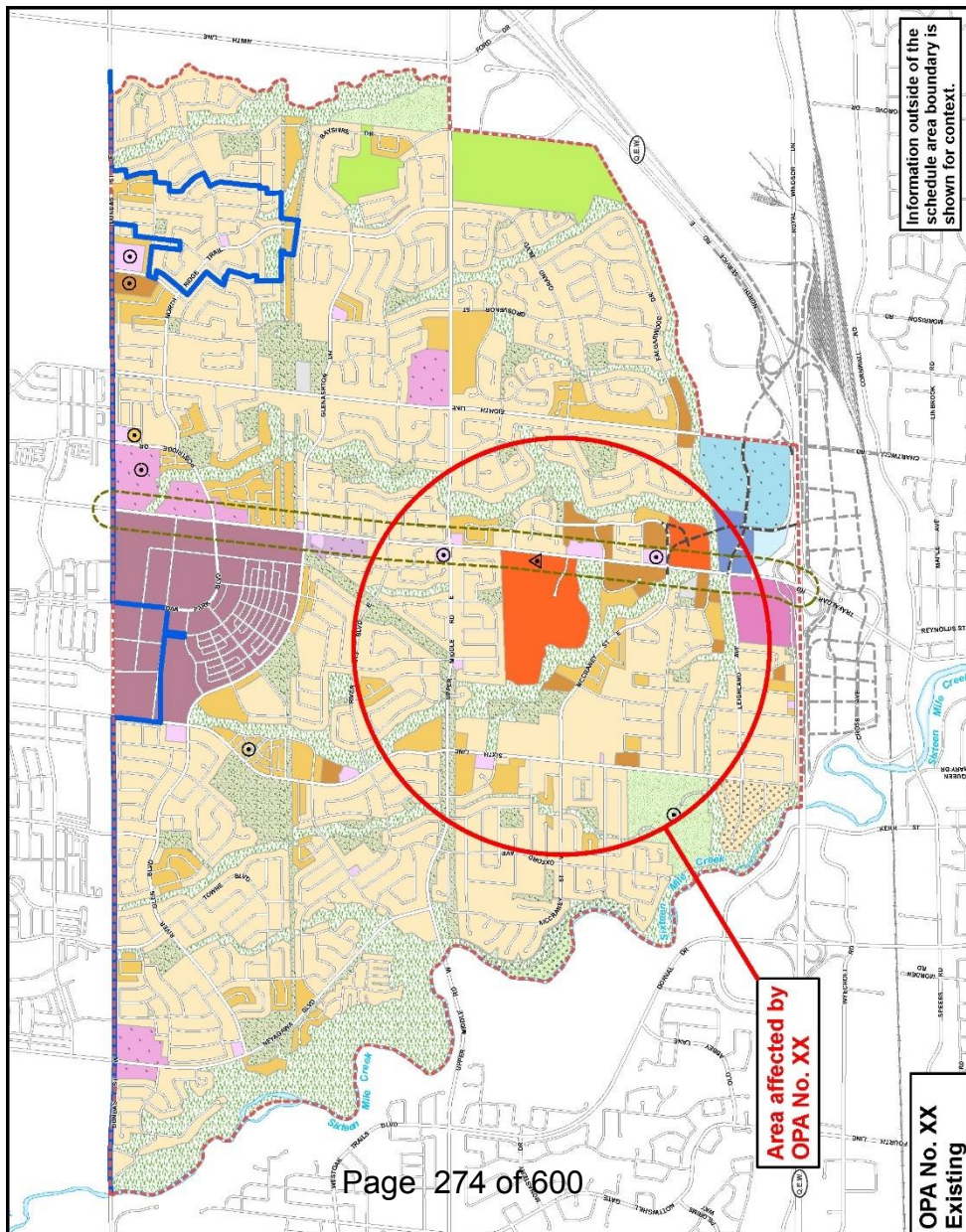
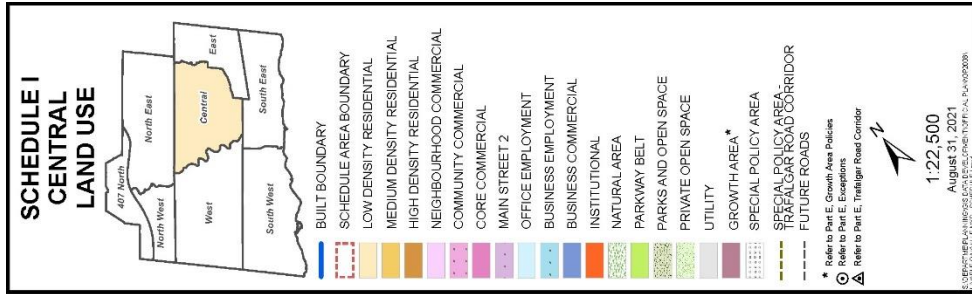
c) Programs and Initiatives

- i) The town shall work in collaboration with Sheridan College during the implementation of the Sheridan College Master Plan, to identify off-campus needs and improvements within the Sheridan College Housing Area –


Special Policy Area, including but not limited to improved active transportation facilities and housing needs.

APPENDIX 2

Changes to the Schedules of the Livable Oakville Plan for the Sheridan College Housing Area – Special Policy Area



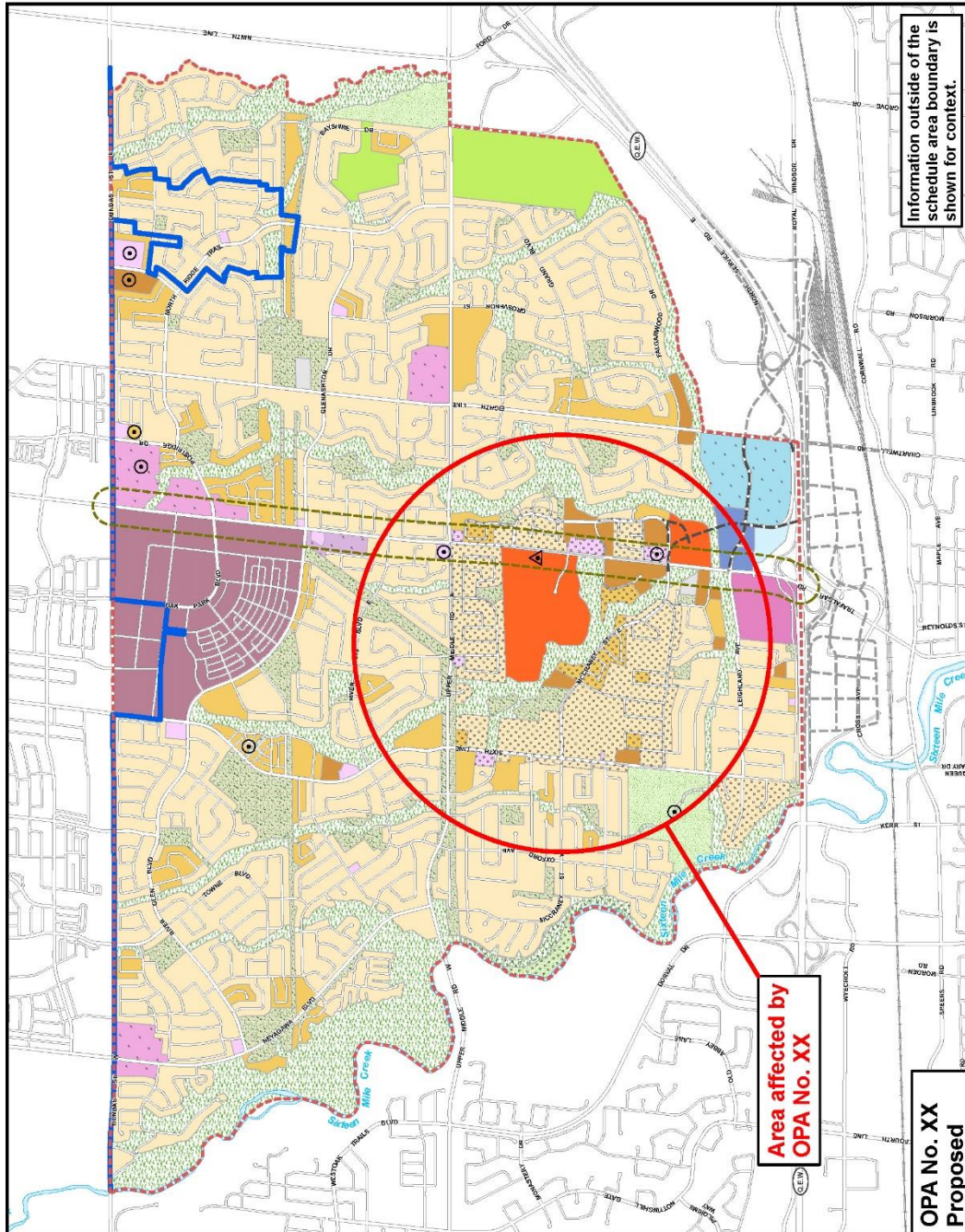
SCHEDULE I CENTRAL LAND USE



- BUILT BOUNDARY
- SCHEDULE AREA BOUNDARY
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- NEIGHBOURHOOD COMMERCIAL
- COMMUNITY COMMERCIAL
- CORE COMMERCIAL
- MAIN STREET 2
- OFFICE EMPLOYMENT
- BUSINESS EMPLOYMENT
- BUSINESS COMMERCIAL
- INSTITUTIONAL
- NATURAL AREA
- PARKWAY BELT
- PARKS AND OPEN SPACE
- PRIVATE OPEN SPACE
- UTILITY
- GROWTH AREA *
- SPECIAL POLICY AREA
- SPECIAL POLICY AREA - TRAFFIC LIGHT ROAD CORRIDOR
- FUTURE ROADS

* Refer to Part E: Growth Area Policies
 O Refer to Part E: Exceptions
 A Refer to Part E: Trafalgar Road Corridor

1:22,500
 August 31, 2021
SYDNEY INVESTIGATIONS (A DIVISION OF) CONSULTING ENGINEERS LTD. (PLANS 20084)
 1000 SHEPPARD AVENUE EAST, SUITE 1000, SCARBOROUGH, ONTARIO M1S 1W7



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-0XX

A by-law to amend Town of Oakville Zoning By-law 2014-014 to make a number of technical modifications to permit three additional dwelling units affecting various zones. (Town-initiated Zoning By-law Amendment, File No. 42.15.62)

COUNCIL ENACTS AS FOLLOWS:

1. Within **Part 1, Administration**, of Zoning By-law 2014-014:

- a) Subsection 1.4 d) Compliance with this By-law and Certificates of Occupancy is amended by deleting “*accessory*” and replacing with “*attached or detached additional*”.

2. Within **Part 3, Definitions**, of Zoning By-law 2014-014 is amended by:

- a) Deleting the defined term “**Dwelling Unit, Accessory**” and associated definition in its entirety.
- b) Adding the defined term “**Additional Dwelling Unit, Attached**” and definition as follows:

“means one or more habitable rooms containing separate kitchen and bathroom facilities for private use as a single housekeeping unit which is contained within a *detached dwelling, semi-detached dwelling, linked dwelling or townhouse dwelling*. “

- c) Adding the defined term “**Additional Dwelling Unit, Detached**” and definition as follows:

“means one or more habitable rooms containing separate kitchen and bathroom facilities for private use as a single housekeeping unit which is contained within an *accessory building* associated to a *detached dwelling, semi-detached dwelling, linked dwelling or townhouse dwelling*.”

- d) Deleting the defined term “**Dwelling, Garden Suite**” and associated definition in its entirety .

3. Within **Part 4, General Provisions**, of Zoning By-law 2014-014:

- a) Section 4.1 **Accessory Dwelling Units** is deleted in its entirety and replaced with the following:

“4.1 Additional Dwelling Units

4.1.1 Permitted Buildings

a) *Attached accessory dwelling units* are permitted in the following main *buildings*:

- i) *Detached dwelling;*
- ii) *Semi-detached dwelling;*
- iii) *Linked dwelling;*
- iv) *Townhouse dwelling.*

b) *Detached accessory dwelling units* are permitted in the following *accessory buildings*:

- i) *Accessory building associated to a detached dwelling, semi-detached dwelling, linked dwelling, or townhouse dwelling.*

4.1.2 Maximum Number of Additional Dwelling Units

- a) A maximum of three *attached additional dwelling units* are permitted within the *detached dwelling*; or,
- b) A maximum of two *attached additional dwelling units* are permitted within the *detached dwelling* and one *detached additional dwelling unit* is permitted within an *accessory building*.
- c) A maximum of two *attached additional dwelling units* are permitted within a *semi-detached dwelling, linked dwellings or townhouse dwelling*; or,
- d) A maximum of one *attached additional dwelling unit* is permitted within a *semi-detached dwelling, linked dwelling or townhouse dwelling* and one *detached additional dwelling unit* is permitted within an *accessory building*.

4.1.3 Entrance and Exit Regulations

- a) Any separate entrance and exit to the *attached or detached additional dwelling unit* shall not be oriented towards any *yard* having a dimension less than 1.0 metre.
- b) A minimum 1.0 metre exterior path of travel providing access to the entrance or exit of the *attached or detached additional dwelling unit* shall be provided. “

- b) Section 4.23 Short Term Accommodation is amended by:
 - i) Deleting “*accessory*” and replacing with “*attached or detached additional*” in subsection a).
 - ii) Deleting “*accessory*” and replacing with “*attached or detached additional*” in subsection b).

- 3. Within Part 5, **Parking, Loading & Stacking Lane Provisions**, of Zoning By-law 2014-014:
 - a) Table 5.2.1 Ratios of Minimum Number of Parking Spaces is amended by:
 - i) Deleting “*Accessory dwelling unit*” and replacing with “*Attached or detached additional*” in column 1.
 - ii) By adding after “*parking space*” the words “for the first two units and no additional *parking spaces* for the third unit” in column 2.

 - b) Table 5.2.2 Ratios of Minimum Number of Parking Spaces for Mixed Use Zones is amended by:
 - i) Deleting “*Accessory*” in row 12 and replacing with “*Attached or detached additional*” in column 1.
 - ii) By adding after “*parking space*” the words “for the first two units and no additional *parking spaces* for the third unit” in column 2.

- 4. Within Part 6, **Residential Zones**, of Zoning By-law 2014-014:
 - a) Table 6.2.1 Permitted Uses in the Residential Low Zones and the Residential Uptown Cores Zone is amended by:
 - i) Deleting “*Accessory*” and replacing with “*Attached or detached additional*” in column 1.

 - b) Table 6.2.2 Permitted Uses in the Residential Medium and the Residential High Zones is amended by:
 - i) Deleting “*Accessory*” and replacing with “*Attached or detached additional*” in column 1.

- i) Additional Regulations for Permitted Uses Table 6.2.2 footnote 1 is amended by deleting “*accessory*” and replacing with “*attached or detached additional*”.
5. Within Part 8, **Mixed Use Zones**, of Zoning By-law 2014-014:
- a) Table 8.2 Permitted Uses in the Mixed Use Zones is amended by:
 - i) Deleting “*Accessory*” and replacing with “*Attached or detached additional*” in column 1.
 - b) Additional Regulations for Permitted Uses Table 8.2 footnote 5 is amended by deleting “*accessory*” and replacing with “*attached or detached additional*”.
6. Within Part 13, **Environmental Zones**, of Zoning By-law 2014-014:
- a) Table 13.2 Permitted uses in the Environmental Zones is amended by deleting “*Accessory*” and replacing with “*Attached additional*” in row 1 of column 1.
 - b) Additional Regulations for Permitted Uses Table 13.2 footnote 6 is amended by deleting “*accessory dwellings*” and replacing with “*attached additional dwelling units*”.
7. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this ##th/st/nd/rd day of MONTH, 20##

MAYOR

CLERK

THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-0XX

A by-law to amend Town of Oakville Zoning By-law 2009-189 to make a number of technical modifications to permit three additional dwelling units affecting various zones. (Town-initiated Zoning By-law Amendment, File No. 42.15.62)

COUNCIL ENACTS AS FOLLOWS:

1. Within **Section 1, Administration**, of Zoning By-law 2009-189:
 - a) Subsection 1.6 ii, Certificates of Occupancy, is amended by deleting “*accessory*” and replacing with “*attached or detached additional*”.

2. Within **Section 3, Definitions**, of Zoning By-law 2009-189 is amended by:
 - a) Deleting the defined term “**Accessory Dwelling Unit**” and associated definition in its entirety.

 - b) Adding the defined term “**Additional Dwelling Unit, Attached**” and definition as follows:

“means one or more habitable rooms designed for *use* by, containing separate kitchen and bathroom facilities for the private *use* of, one household or person as a single housekeeping unit which is contained within a *detached dwelling, semi-detached dwelling or townhouse dwelling*. “

- c) Adding the defined term “**Additional Dwelling Unit, Detached**” and definition as follows:

“means one or more habitable rooms designed for *use* by, containing separate kitchen and bathroom facilities for the private *use* of, one household or person as a single housekeeping unit which is contained within an *accessory building* associated to a *detached dwelling, semi-detached dwelling or townhouse dwelling*.”

3. Within **Section 4, General Regulations**, of Zoning By-law 2009-189:
- a) Section 4.1 Contents is amended by deleting “*Accessory Dwelling Units*” and replacing with “Additional Dwelling Units”.
 - b) Section 4.29 **Accessory Dwelling Units** is deleted in its entirety and replaced with the following:

“4.29 Additional Dwelling Units

4.29.1 Permitted Building Types

Attached accessory dwelling units are permitted in the following *main building types*:

- i. *Detached dwelling;*
- ii. *Semi-detached dwelling;*
- iii. *Townhouse dwelling.*

4.29.2 Permitted Accessory Building Types

Detached accessory dwelling units are permitted in the following *accessory buildings*:

- i. *Accessory building associated to a detached dwelling, semi-detached dwelling or townhouse dwelling.*
- ii. *Detached private garage associated to a detached dwelling, semi-detached dwelling or townhouse dwelling.*

4.29.3 Maximum Number of Additional Dwelling Units

- i. *A maximum of three attached additional dwelling units are permitted within the detached dwelling; or,*
- ii. *A maximum of two attached additional dwelling units are permitted within the detached dwelling and one detached additional dwelling unit is permitted within an accessory building or detached private garage.*
- iii. *A maximum of two attached additional dwelling units are permitted within a semi-detached dwelling or townhouse dwelling; or,*
- iv. *A maximum of one attached additional dwelling unit is permitted within a semi-detached dwelling or townhouse dwelling and one detached additional dwelling unit is permitted within an accessory building or detached private garage.*

4.29.4 Entrance and Exit Regulations

- i. Any separate entrance and exit to an *attached* or *detached additional dwelling unit* shall not be oriented towards any *yard* having a dimension less than 1.0 metre.
 - ii. A minimum 1.0 metre exterior path of travel providing access to the entrance or exit of the *attached* or *detached additional dwelling unit* shall be provided.
- c) Section 4.32 **Short Term Accommodation**, is amended by:
- i) Deleting “*accessory*” in subsection i. and replacing with “*attached* or *detached additional*” and,
 - ii) deleting “*accessory*” subsection ii. and replacing with “*attached* or *detached additional*”.
2. Within **Section 5, Parking and Loading Regulations**, of Zoning By-law 2009-189:
- a) Table 5.1A row (9) **Parking Requirements for Residential Uses** is amended by deleting “*Accessory*” and replacing with “*Attached* or *detached additional*” in column 1.
3. Within **Section 6, Permitted Uses**, of Zoning By-law 2009-189:
- a) Table 6.1 is amended by deleting “*accessory*” in column 1 under the subheading Residential and replacing with “*attached* or *detached additional*”.
4. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this ##th/st/nd/rd day of MONTH, 20##

MAYOR

CLERK

THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-XXX

A by-law to amend the Town of Oakville Zoning By-law 2014-014, as amended, to permit expanded medium density housing options throughout the area, including building heights up to four storeys when provided in an apartment built form.

COUNCIL ENACTS AS FOLLOWS:

1. Map 19(14) & 19(15) of By-law 2014-014, as amended, is further amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Section 15, Special Provisions, of By-law 2014-014, as amended, is further amended by adding new Sections 15.AAA, 15.BBB and 15.CCC as follows:

AAA	Area Surrounding Sheridan College (Lands identified in Schedule 'A')	Parent Zone: RL3-0, RL5, RL5-0, RL7, RL7-0, RL8, RL8-0
Maps 19(14) & 19(15)		(2014-014)
15.AAA.1 Additional Permitted Uses		
The following additional <i>uses</i> are permitted:		
a)	<i>Apartment Dwellings</i>	
b)	<i>Stacked Townhouse Dwelling</i>	
c)	<i>Back-to-Back Townhouse Dwelling</i>	
d)	<i>Townhouse Dwelling</i>	
15.AAA.2 Additional Regulations for Permitted Uses		
The following <i>uses</i> are only permitted within <i>Detached Dwellings</i> and <i>Semi-Detached Dwellings</i> :		
a)	<i>Lodging House</i>	
15.AAA.3 Zone Provisions for Apartment Dwellings		

The following regulations apply to <i>Apartment Dwellings</i> :		
a)	Minimum <i>lot area</i>	1486.5 m ²
b)	Minimum <i>lot frontage</i>	24.0 m
c)	<i>Minimum front yard</i>	6.0 m
d)	<i>Minimum flankage yard</i>	3.0 m
e)	<i>Minimum interior side yard</i>	4.5 m
f)	Minimum <i>separation distance</i> between <i>buildings</i> containing <i>dwelling units</i>	2.4 m
g)	<i>Minimum rear yard</i>	6.0 m
h)	Maximum number of <i>storeys</i>	4
i)	Maximum <i>height</i>	15.0 m
j)	Maximum <i>lot coverage</i> for the <i>dwelling</i>	n/a
k)	Minimum <i>landscaping coverage</i>	10 %
l)	Minimum width of <i>landscaping along a lot line</i> abutting a Residential Low or Residential Medium Zone	3.0 m
15.AAA.4 Zone Provisions for Stacked Townhouse Dwellings		
The following regulations apply to <i>Stacked Townhouse Dwellings</i> :		
a)	Minimum <i>lot area</i>	1486.5 m ²
b)	Minimum <i>lot frontage</i>	24.0 m
c)	<i>Minimum front yard</i>	6.0 m
d)	<i>Minimum flankage yard</i>	3.0 m
e)	<i>Minimum interior side yard</i>	1.2 m
f)	Minimum <i>separation distance</i> between <i>buildings</i> containing <i>dwelling units</i>	2.4 m
g)	<i>Minimum rear yard</i>	6.0 m
h)	Maximum number of <i>storeys</i>	3
i)	Maximum <i>height</i>	12.0 m
j)	Maximum <i>lot coverage</i> for the <i>dwelling</i>	n/a
k)	Minimum <i>landscaping coverage</i>	10 %
15.AAA.5 Zone Provisions for Back-to-Back Townhouse Dwellings		
The following regulations apply to <i>back-to-back townhouse dwellings</i> :		
a)	Minimum <i>lot area</i>	135.0 m ² per <i>dwelling</i>
b)	Minimum <i>lot frontage</i>	30.5 m

c)	<i>Minimum front yard</i>	6.0 m
d)	<i>Minimum flankage yard</i>	3.0 m
e)	<i>Minimum interior side yard</i>	1.2 m
f)	Minimum <i>separation distance</i> between <i>buildings</i> containing <i>dwelling units</i>	2.4 m
g)	<i>Minimum rear yard</i>	6.0 m
h)	Maximum number of <i>storeys</i>	3
i)	Maximum <i>height</i>	12.0 m
j)	Maximum <i>lot coverage</i> for the <i>dwelling</i>	n/a
k)	Minimum <i>landscaping coverage</i>	10 %

15.AAA.6 Zone Provisions for Townhouse Dwellings

The following regulations apply to *townhouse dwellings*:

a)	Minimum <i>lot area</i>	135.0 m ² per <i>dwelling</i>
b)	Minimum <i>lot frontage</i>	30.5 m
c)	<i>Minimum front yard</i>	4.5 m
d)	<i>Minimum flankage yard</i>	3.0 m
e)	<i>Minimum interior side yard</i>	1.2 m
f)	Minimum <i>separation distance</i> between <i>buildings</i> containing <i>dwelling units</i>	2.4 m
g)	<i>Minimum rear yard</i>	6.0 m
h)	Maximum number of <i>storeys</i>	3
i)	Maximum <i>height</i>	12.0 m
j)	Maximum <i>lot coverage</i> for the <i>dwelling</i>	n/a
k)	Minimum <i>landscaping coverage</i>	10 %

BBB	Area Surrounding Sheridan College (Lands identified in Schedule 'A')	Parent Zone: RM1
Maps 19(14) & 19(15)		(2014-014)
15.BBB.1 Additional Permitted Uses		
The following additional <i>uses</i> are permitted:		
a)	<i>Apartment Dwellings</i>	

b)	<i>Stacked Townhouse Dwelling</i>	
c)	<i>Back-to-Back Townhouse Dwelling</i>	
15.BBB.2 Zone Provisions for Apartment Dwellings		
The following regulations apply to <i>Apartment Dwellings</i> :		
a)	Minimum <i>lot area</i>	1486.5 m ²
b)	Minimum <i>lot frontage</i>	24.0 m
c)	<i>Minimum front yard</i>	6.0 m
d)	<i>Minimum flankage yard</i>	3.0 m
e)	<i>Minimum interior side yard</i>	4.5 m
f)	Minimum <i>separation distance between buildings containing dwelling units</i>	2.4 m
g)	<i>Minimum rear yard</i>	6.0 m
h)	Maximum number of <i>storeys</i>	4
i)	Maximum <i>height</i>	15.0 m
j)	Maximum <i>lot coverage for the dwelling</i>	n/a
k)	Minimum <i>landscaping coverage</i>	10 %
15.BBB.3 Zone Provisions for Stacked Townhouse Dwellings		
The following regulations apply to <i>Stacked Townhouse Dwellings</i> :		
a)	Minimum <i>lot area</i>	1486.5 m ²
b)	Minimum <i>lot frontage</i>	24.0 m
c)	<i>Minimum front yard</i>	6.0 m
d)	<i>Minimum flankage yard</i>	3.0 m
e)	<i>Minimum interior side yard</i>	1.2 m
f)	Minimum <i>separation distance between buildings containing dwelling units</i>	2.4 m
g)	<i>Minimum rear yard</i>	6.0 m
h)	Maximum number of <i>storeys</i>	3
i)	Maximum <i>height</i>	12.0 m
j)	Maximum <i>lot coverage for the dwelling</i>	n/a
k)	Minimum <i>landscaping coverage</i>	10 %
15.BBB.4 Zone Provisions for Back-to-Back Townhouse Dwellings		
The following regulations apply to <i>back-to-back townhouse dwellings</i> :		
a)	Minimum <i>lot area</i>	135.0 m ² per <i>dwelling</i>

b)	Minimum <i>lot frontage</i>	30.5 m
c)	<i>Minimum front yard</i>	6.0 m
d)	<i>Minimum flankage yard</i>	3.0 m
e)	<i>Minimum interior side yard</i>	1.2 m
f)	Minimum <i>separation distance</i> between <i>buildings</i> containing <i>dwelling units</i>	2.4 m
g)	<i>Minimum rear yard</i>	6.0 m
h)	Maximum number of <i>storeys</i>	3
i)	Maximum <i>height</i>	12.0 m
j)	Maximum <i>lot coverage</i> for the <i>dwelling</i>	n/a
k)	Minimum <i>landscaping coverage</i>	10 %

CCC	1311 Sixth Line 1500 Sixth Line 1534 Queensbury Crescent 1289-1379 Marlborough Court	Parent Zone: C1 (2014-014)
Maps 19(14) & 19(15)		
15.CCC.1 Additional Permitted Uses		
The following additional <i>use</i> is permitted:		
a)	<i>Apartment Dwellings</i>	
15.CCC.2 Zone Provisions		
The following regulations apply:		
a)	Maximum number of <i>storeys</i>	4
b)	Maximum <i>height</i>	15.0 m
15.CCC.3 Special Site Provisions		
The following additional regulations apply:		
a)	<i>Apartment dwellings</i> shall only be permitted above the <i>first storey</i> .	
b)	An <i>ancillary residential use</i> on the <i>first storey</i> is permitted to occupy a maximum of 15% of the length of the <i>main wall</i> oriented toward a <i>front lot line</i> .	

3. Section 16, Holding Provisions, of By-law 2014-014, as amended, is further amended by adding new Sections 16.3.58 as follows:

H(SC)	Area Surrounding Sheridan College (Lands identified on Schedule A)	Parent Zone: RL3-0, RL5, RL5-0, RL7, RL7-0, RL8, RL8-0, RM1, C1
Map 19(14) & 19(15)		(2014-014)
16.3.SC.1 Only Permitted Uses Prior to Removal of the “H”		
For such time as the “H” symbol is in place, these lands shall only be used for the following:		
a)	All <i>uses</i> permitted, prior to the passing of this by-law, in the applicable <i>Zone</i>	
b)	The replacement or addition of <i>attached or detached additional dwelling units</i> to a maximum of four units per residential <i>lot</i>	
16.3.SC.2 Zone Regulations Prior to Removal of the “H”		
For such time as the “H” symbol is in place, only the following replacements, additions or expansions of <i>buildings or structures</i> legally existing on the effective date of this By-law shall be permitted:		
a)	The replacement and/or addition of <i>floor area</i> to the main <i>dwelling and accessory building or structures</i> .	
b)	The replacement and/or addition of <i>floor area</i> to <i>additional dwelling units</i> on the residential <i>lot</i> .	
c)	Residential and commercial <i>uses</i> , legally existing at the time of the passing of this by-law.	
16.3.SC.3 Conditions for Removal of the “H”		
The “H” symbol shall, upon application by the landowner, be removed by <i>Town Council</i> passing a By-law under Section 36 of the <u>Planning Act</u> . The following condition(s) shall first be completed to the satisfaction of the <i>Town of Oakville</i> :		
a)	That the Owner submits to the satisfaction of the Regional Municipality of Halton, a Functional Servicing Report establishing that there is sufficient capacity for water and/or sanitary sewer to service the subject lands and to discuss any required servicing extensions/requirements to support the proposed development.	
b)	That the Owner submit block plan(s) for the proposed development that demonstrates a coordinated, integrated and comprehensive approach to redevelopment for the subject lands.	

c)	Registration on title of an agreement between the Owner and the <i>Town</i> with respect to the <i>road</i> and <i>infrastructure</i> improvements. This agreement shall also address any security and advancing of funds, or a letter of credit for the full cost of the <i>road</i> and <i>infrastructure</i> improvements.
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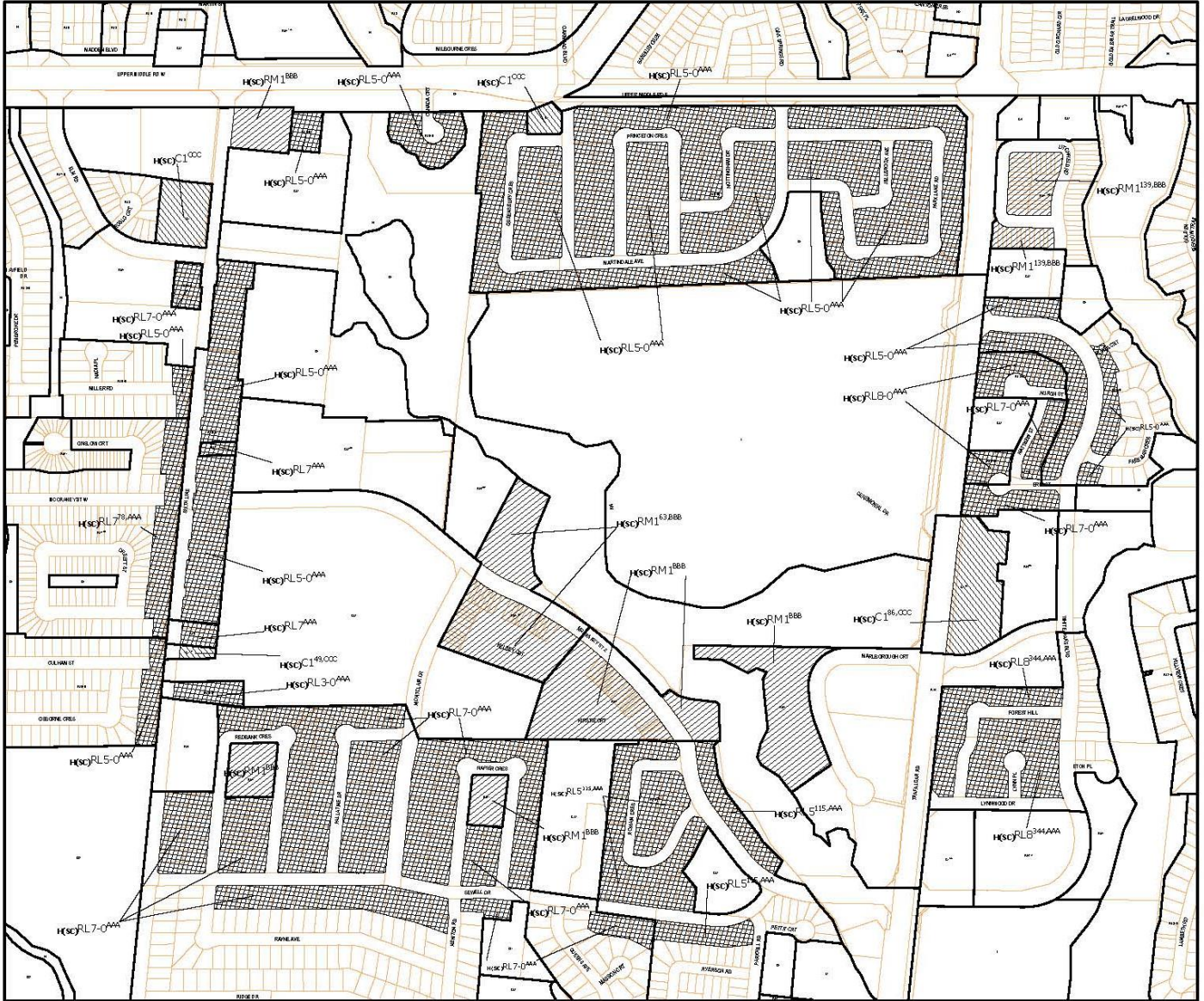
4. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this XX day of MONTH, 20##

MAYOR

CLERK

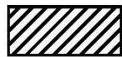
SCHEDULE "A"
To By-law 2024-xxx



AMENDMENT TO BY-LAW 2014-014



Rezoned from
C1 sp:49 (Neighbourhood Commercial);
C1 sp:86 (Neighbourhood Commercial); and
C1 (Neighbourhood Commercial) to
C1 sp:49, CCC (Neighbourhood Commercial);
C1 sp:86, CCC (Neighbourhood Commercial); and
H(SC)-C1 sp:CCC (Neighbourhood Commercial).



Rezoned from
RM1 sp:63 (Residential Medium);
RM1 sp:139 (Residential Medium); and
RM1 (Residential Medium) to
RM1 sp:63, BBB (Residential Medium); and
RM1 sp:139, BBB (Residential Medium); and
H(SC)-RM1 sp:BBB (Residential Medium).



Rezoned from
RL7 sp:78 (Residential Low);
RL7 sp:115 (Residential Low);
RL8 sp:344 (Residential Low); and
RL3-0, RL5, RL5-0, RL7, RL7-0, RL8, RL8-0 (Residential Low) to
RL7 sp:78, AAA (Residential Low);
RL7 sp:115, AAA (Residential Low);
RL7 sp:344, AAA (Residential Low); and
H(SC)-RL3-0, RL5, RL5-0, RL7, RL7-0, RL8, RL8-0 sp:AAA (Residential Low).

**EXCERPT FROM MAP
19 (14) & 19(15)**



SCALE: 1:10,000

Jurisdictional Scan of Ontario Municipalities (N=19)

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
Hamilton	Yes	N/A (in effect)	<p>The Urban Hamilton Official Plan permits up to four units as-of-right per lot, as well as up to six units per lot as-of-right on arterials and collectors along the periphery of Hamilton’s neighbourhoods.</p> <p>Zoning By-Law 22-197 (Section 15 – New Residential Zones for Urban Areas) (in effect August 12, 2022)</p> <ul style="list-style-type: none"> • 4 units/lot as-of-right & 6 units/lot (arterials/collectors) • Multiplex conversions (purpose-built not contemplated in 2022; being explored as part of 2024 review) • Infill Design Guidelines in development (to work in tandem with 2024 zoning review) 	N/A (in effect)
Toronto	Yes	N/A (in effect)	<p>Multiplexes OPA 649 & ZBA 474-2023 (in effect: May 10, 2023)</p> <p>OPA 649:</p> <ul style="list-style-type: none"> • 4 units per lot as-of-right • Where permitted through existing zoning, garden suites / laneways suites a possible 5th unit per lot. • Permits multiplexes (duplexes, triplexes & fourplexes) in neighbourhoods • Purpose-built or conversion • Rental or condo units • OPA policies encourage large (family sized) units • Policies direct maintenance of low-rise built form (prevailing street/block patterns, lot sizes/configurations, setbacks) • Policies direct sustainability (maximize contiguous soft landscaping; expand tree canopy; low carbon materials) 	N/A (in effect)

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
			<ul style="list-style-type: none"> • Policies direct heritage conservation / recognition of HCDs <p>Zoning By-Law 474-2023</p> <ul style="list-style-type: none"> • Permits multiplexes where not previously allowed (residential detached, semi-detached and townhouse zones) • Maintains / harmonizes zoning built form standards (setbacks, landscaping, lot coverage) – maintains compatibility • Reduces variances required for multiplex construction • Exempts multiplexes from maximum FSI (form-based zoning) • Enables 3 storeys (4 storeys where height limits permit it) 	
London	Partial	Yes (August 29, 2023)	<p>The City of London’s Zoning By-Law currently permits 3 units per residential lot as-of-right.</p> <p>Zoning By-Law: Section 6, Residential R2 Zone provides for/regulates low density residential development in single detached, semi-detached, duplex and two unit converted dwellings (R2 permitted uses). Zoning By-Law Section 6, R2-2(7) (a)(v) – Converted Dwellings – up to a maximum of four (4) dwelling units.</p>	Staff BE DIRECTED to prepare a zoning by-law amendment that would permit as of right building permits for up to 4 residential units wherever a zone permits singles, semis, or street townhomes for consideration by Council as soon as permitted by the statutory requirements of The <i>Planning Act</i> .
Ottawa	Partial	NA (in progress as of 2022)	<p>Ottawa’s Official Plan provide direction that the city shall support the production of “missing middle housing” between 3 to 8 units/lot by:</p> <ul style="list-style-type: none"> • Allowing housing forms that are denser, generally 3+ units/lot...; • Allowing housing forms of 8 or more units in appropriate locations as-of-right within the zoning by-law; and • In appropriate locations, allowing missing middle housing forms while prohibiting lower density typologies near rapid transit. 	Council Motion N/A (in progress). First draft Zoning By-Law Amendment (March 2024). Final Zoning By-Law Amendment for Council decision December 2024.

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
			<p>The Official Plan defines “Missing Middle Housing” to generally refer to “...low-rise, multiple unit residential development of between three (3) to sixteen (16) units or more in the case of unusually large lots, and for the lower density types, is usually ground-oriented”.</p> <p>The Official Plan provides policy direction for missing middle housing’s low-rise built form, requiring zoning regulate a minimum built height of 2 storeys, generally permitting 3 storeys, and where appropriate, allowing a built height of up to 4 storeys to permit higher density, low-rise residential developments.</p>	
Burlington	In Progress	Yes (October 17, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	Be it resolved that Burlington City Council declare its intention to allow four units as-of-right; and that staff be directed to engage with the community to implement four units as-of-right and the other actions identified in the Housing Strategy.
Barrie	In Progress	Yes (December 13, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	Barrie’s city-initiated Zoning By-Law Amendment to Zoning By-Law 2009-141 to permit up to four units/residential lot as-of-right went to a public meeting December 13, 2023. Q1 2024 Council report back.
Vaughan	In Progress	Yes (October 5. 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	It is therefore recommended that staff BE DIRECTED to prepare a zoning by-law amendment that would permit “as-of-right” up to four

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
				residential units on a property wherever zoning permits single detached, semi-detached or street townhomes for consideration.
Brampton	In Progress	Yes (September 12, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	Direction to staff to revise the city's HAF application to include: the addition of a milestone to initiate the process of permitting four units as-of-right along transit corridors and to explore the expansion of permissions within the timeframe of the HAF; and the addition of a milestone to amend policies in Brampton's Official Plan to enable four storey buildings within an 800 metre radius of support corridors.
Aurora	In Progress	Yes (September 5, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	Therefore be it hereby resolved that the Town will engage in pre-zoning of lands situated along key thoroughfares including Leslie and Bayview, as well as both Yonge/Wellington. This initiative will extend to cover Strategic Growth Areas such as the Promenade and MTSA; and be it further resolved that the aforementioned corridors and designated growth areas shall

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
				be pre-zoned, with due consideration for suitable building heights and densities. This pre-zoning shall be designated “as-of-right”, thereby streamlining the development process for residential units; and be it further resolved that staff be directed to undertake this pre-zoning exercise as an integral component of the accelerated Phase 1 Zoning By-Law Review.
Mississauga	In Progress	Yes (November 29, 2023)	<p style="text-align: center;">N/A</p> <p>(OPA and ZBA to permit 4 units/lot as-of-right in development)</p> <p>Preliminary analysis indicates city is contemplating 2 separate approaches for 4 units/lot conversions and purpose-built. Beyond the 2 separate approaches being contemplated, additional gentle density policy work is being advanced to facilitate multiplexes with 5 or more units/lot – recommendation to Council is anticipated Q4 2024.</p>	Directing staff to prepare an OPA and ZBA to permit as-of-right development for up to four residential units (hereinafter referred to as fourplexes) on low rise residential neighbourhoods city-wide, with provisions as staff deem appropriate.
Richmond Hill	In Progress	Yes (October 25, 2023)	<p style="text-align: center;">N/A</p> <p>(OPA and ZBA to permit 4 units/lot as-of-right in development)</p>	The City of Richmond Hill is requested to: legalize four units as-of-right city-wide, and allow up to four storeys as-of-right within 800 metres of rapid transit and where MTSA's do not extend to a walkable radius of 800 metres.

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
				<p>Council directs staff to prepare an amendment to the City's Official Plan and Zoning By-Law to permit up to four residential units on a property wherever zoning permits single detached, semi-detached or townhome dwelling units. The implementing zoning by-law may prescribe additional criteria such as servicing capacity to support the proposed units for consideration by Council as soon as permitted by the statutory requirements of the <i>Planning Act</i>.</p> <p>Council direct staff to propose an Amendment to the City's Official Plan and Zoning Bylaw to allow up to four (4) storeys as-of-right within an MTSA along Yonge Street and Highway 7 priority transit corridor where there is a mixed-use centre or corridor designation in the OP with permissions for building heights of 3 storeys or greater.</p> <p>Council direct staff on an expedited basis to conduct community and stakeholder consultation and assessments of impacts to infrastructure capacity be</p>

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
				undertaken as part of this work to obtain feedback prior to making a recommendation to Council.
Whitby	In Progress	Yes (December 11, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	<p>Resolution 222-23 Whereas the Town of Whitby has applied for approximately \$56M from the HAF to invest in community-related infrastructure, programs and studies that support housing through the submission of nine key initiatives to be completed over the next three years, therefore be it resolved that:</p> <p>2. Council direct staff to start advancing work on all Housing Accelerator Fund initiatives subject to HAF approval, and where appropriate, direct staff to report back for Council’s approval of individual policies and initiatives;</p> <p>3. Staff be directed to undertake the following actions, subject to HAF approval, in support of HAF;</p> <p>a. To support increased height and density, as part of the Town wide Official Plan Review (to begin in</p>

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
				<p>January 2024) and Comprehensive Zoning By-law Review (underway).</p> <p>i. Increase height allowance of high-rise buildings near the identified Protected Major Transit Station Area being the Whitby GO Station.</p> <p>ii. Allow 4-storey buildings in other strategic areas beyond the identified Major Transit Station, targeting transit corridors and the identified Rapid Transit areas.</p>
Ajax	In Progress	Yes (October 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	Motion directed staff to carry out work to implement as-of-right zoning permissions to allow up to four units on a property wherever zoning permits detached, semi-detached or street townhomes.
Waterloo	In Progress	Yes (October 30, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	<p>Direct staff to amend the Zoning By-Law to permit, as-of-right, up to four residential units and four storeys on residential parcels in low density residential zones.</p> <p>Up to four residential units would be allowed without rezoning wherever existing zoning permits single</p>

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
				detached, semi-detached or street townhomes, provided lot size is sufficient.
Guelph	In Progress	Yes (October 17, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	Motion directing staff to amend Official Plan and Zoning By-Law to permit up to four units per residential lot as-of-right. Directed staff to report back with OPA and ZBA by early 2024.
Kitchener	In Progress	Yes (October 16, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	Motion directing staff to amend Official Plan and Zoning By-Law to permit up to four units per residential lot as-of-right. Directed staff to report back with OPA and ZBA in early 2024.
Milton	In Progress	Yes (November 13, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	Council voted to endorse staff recommendation (Item 8.3 – HAF Update – November 13, 2023): (a) Permitting four units as-of-right city-wide; (b) Permitting four storeys as-of-right within 800 metres walking distance of Milton Transit lines.

Jurisdiction	4+ units/lot (in effect)	Council Motion directing 4 units/lot	In Effect Policies & Zoning (4+ units/lot as-of-right)	Council Motion Details & Next Steps
Niagara Falls	In Progress	Yes (November 14, 2023)	N/A (OPA and ZBA to permit 4 units/lot as-of-right in development)	<p>Item 8.5 Permitting 4 Dwelling Units in a Dwelling in Urban Residential Areas – Moved:</p> <p>That Council authorize staff to prepare an amendment to change the Official Plan and Zoning By-Law No. 79-200 to consider permitting four dwelling units in a dwelling on urban serviced residential lands where detached, semi-detached, duplex and townhome dwellings are permitted.</p> <p>That Council direct staff to forward this recommendation to the CMHC and Federal Minister of Housing, Infrastructure and Communities.</p>
Cambridge	Unclear	N/A	N/A (Insufficient Information)	N/A
St. Catharines	Unclear	N/A	N/A (Insufficient Information.)	N/A
Windsor	Motion (No)	Voted No	Council Motion voted “NO”	Voted against 4 units/lot as-of-right.
Pickering	Motion (No)	Voted No	Council Motion voted “NO”	Voted against 4 units/lot as-of-right.

Planning and Development Council Meeting
March 4, 2024

Comments Received Regarding Item 6.2
Official Plan Amendment and Zoning By-law Amendment

Town-initiated
Four Dwelling Units Per Property and Sheridan College Housing Area
File No. 42.15.62 and 42.15.63

From: Ellie Tilton
Sent: Thursday, January 18, 2024 16:45
To: Mayor Rob Burton <Mayor@oakville.ca>
Subject: Change in zoning

Dear Mayor Burton,

Thank you for the invitation to comment on potential densification of housing in our neighborhood.

My husband and I live in a bungalow in west Oakville, near 3rd Line and Bridge Road. All around us, homes like ours are being demolished and are being replaced with very large houses. It seems to us that these structures could easily house at least three or four units, providing much-needed housing for singles, couples and/or families and still be in keeping with what was once a vibrant neighborhood with a real sense of community.

For our part, we could see the erection of a two-storey triplex or a four—plex on our lot: a three bedroom, perhaps one or two two bedrooms (one for ourselves), and a smaller studio or one bedroom, perhaps over a garage. While the structure may need to be set closer to the front of the lot, it really would not look all that different from the other very large modern houses currently appearing in our neighborhood. As our lot is quite deep, there would be room to arrange parking without causing too much disruption. As it is, many homes in the area already have ample driveways accommodating multiple vehicles. Transit is a very short walk away.

From: JANETTE WHITE

Sent: Tuesday, February 27, 2024 3:55 PM

To: Town Clerks <TownClerk@oakville.ca>

Subject: Town-wide and Sheridan College Housing Area Special Policy Area Town-initiated - Opposition Notice

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Attention: Vicki Tytaneck – Town Clerk, Town of Oakville

Re: Statutory public Meeting for Proposed Official Plan and Zoning By-law Amendments
Town-wide and Sheridan College Housing Area Special Policy Area Town-Initiated

I received the Statutory Public Meeting for Proposed Official Plan and Zoning by-law Amendments in the mail on February 14, 2024 post marked February 12, 2024, of the scheduled public meeting which is to be held on Monday March 4, 2024 at 6:30 pm. This meeting to be hosted by the Planning and Development Council to discuss the above titled subject. I ask that my position herein be tabled to such committee and that it be read into record. Please advise at your earliest, if I have not followed the necessary or correct procedural path to voice my opposition to these amendments and that it has been duly noted on record.

I moved into the “College Park” area on Parklane Road 13 years ago. I was drawn to the amount of green space with interconnecting trails in this area. My area was also a very short drive up Trafalgar Road, past Dundas to a wonderful country setting. I understand the need for additional housing but the density has already been dramatically affected in this area with high rise apartment buildings and high density housing along Trafalgar and Dundas. I view the area as being family oriented and over the years it has harmoniously co-existed with Sheridan College and the attending students. We have experienced some non-property affiliated parking issues on the street which is due to the close proximity to the Sheridan campus and the obvious attempt to avoid the high campus parking fees. Over the years there has been a gradual increase in non-resident property ownership and room rentals throughout our neighbourhood. Some homes have been rented with 7 or 8 students sharing the costs or a basement has been rented. This has led to issues concerning pride of ownership, a lack of yard maintenance and garbage proliferation on waste collection days. Generally the neighbourhood has stood the test of time and has maintained its worth and pleasant appearance, however, with the changes being proposed by the Town, I cannot assume that this will continue.

In reviewing what has been presented by the Oakville City planning department on the above titled subject, I consider it to be an incomplete presentation, lacking in documentation, pertinent analysis and therefore totally inadequate for a neighbourhood and the Town as a whole to reach any consensus regarding opposition or otherwise. It appears that part of the proposed amendments, specifically targets my neighbourhood as the “Sheridan College Housing Area Special Policy Area”. This section of the proposed amendments has to be treated as an outright penalization to my neighbourhood as it truly lacks any credible rational or social and financial impact analysis. Proposing additional densification over and above the town-wide section of the amendments can only be taken as being punitive. This deviation from all other areas and targeting of my area has my vehement opposition.

My take on this “Special Policy Area” amendment is to allow random single dwelling house modifications so as to increase the low rental availability to students. I see no discussion that these multiple units would be treated as apartment buildings and therefore are to be treated as multiple level transient rental units. I also have to speculate that Developers will look at this and the cheaper the construction the lower the rental rates. This specific targeting of the College Park neighbourhood to allow these randomly placed four storey apartment buildings, is not supported by any planning analysis or controls which is not acceptable.

If this density increase is being undertaken under the assumption that there is a college accommodation problem, then the following questions arise:

- Is there any justification or analysis that has been used to come to this conclusion?
- Does Sheridan College need to expand? If so, where and when? How significant of an expansion?
- Does Sheridan College have issues with demand and providing a supply of accommodation for students?
- Has Sheridan College tried to solve any existing problem within its mandate? Or within the provincial mandate?
- If expansion is the issue, then how are they proposing to solve the problem? Has the Planning and Development Council pursued such with the College and are you willing to share that correspondence?
- Has Sheridan College raised any application with the Town concerning its vast under-utilized land holdings to address any student housing demand issues?
- Is the 800 meter distance limit so established for Sheridan College students due to the physical limitations of the students to go beyond this distance therefore needing the higher concentration/density of accommodations in the College Park area? Oakville Place shopping centre is 1200 meters away but Sheridan students have been frequenting this Mall without any issue for many years. Walmart is a little further away but I see a steady stream of students making the easy journey there and back for groceries.

Important Issues Not Addressed:

1. Is the federal government dollars and the value/amount linked exclusively to having the Sheridan College Special Policy Area proposal created?
2. Would the Town-wide amendment be sufficient to address the college needs without the incorporation of the "Special Policy Area" into the amendment proposal? Who determined the proposed boundaries and the rationale for setting them up? There is already high density housing being constructed just north of Dundas, why can't some of these units be subsidized and turned into rental housing for students?
3. Has Sheridan College been asked if removing the "College Park Special Policy Area" amendment will impact their plans and how?
4. The students have access to excellent bus and GO train service in Oakville as do other Universities and Colleges within Ontario. Would any of these Universities in Southern Ontario support or agree to what is being proposed with these changes?
5. Does the Minister view the "College Park Special Policy Area" as the only area in the Town of Oakville that meets his criteria? Or is this a targeted experiment to see how Municipalities can meet these theoretical targets to densify urban centres throughout the country?
6. There are no 4 storey structures in the current neighbourhood. The Town's building department currently reviews applications concerning individual variance's concerning height restrictions. Why is this process being alleviated in our targeted area? How can they totally disregard the impact to adjacent properties?

What are the concessions to the current home owners in this area? Your proposal suggests turning an area of single family dwellings into 4 storey apartment transient dwellings. These should be taxed as apartments and definitely count in density in the area. I am very concerned that the \$25 million will not cover upgrading the existing infrastructure of sewers, water, gas and electrical services to support the densification in the "Special Policy Area." Has the Planning Council taken this into consideration? Will this end up as future tax hikes directly associated with this proposed amendment? We are a very close knit community and would like to continue knowing our neighbours, and collaborating on our neighbourhood watch and still have the children play hockey and basketball on our streets, while maintaining our green spaces. What you are proposing will negatively impact our neighbourhood.

Based on the obvious targeting of the College Park neighbourhood and the lack of explanation, or any comprehensive economical evaluation, impact analysis or demand analysis and the lack of a consultative process with the community directly impacted, I must strongly object to these amendments moving forward and passing.

Janette White

Parklane Rd.

Oakville, Ontario

L6H 4J3

Sent from [Mail](#) for Windows

We look forward to further discussion on ways of increasing affordable housing in our community.

Sincerely,

Ellie and Bob Tilton
Weynway rt.
Oakville, ON

Sent from my iPad

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: Bill McCreery
Sent: Sunday, February 4, 2024 6:56 AM
To: Allan Elgar; Town Clerks
Cc: Janet Haslett-Theall; David Gittings; Rob Burton; _Members of Council; Cathy Duddeck; Jane Clohecy; Neil Garbe; Elizabeth Chalmers; elizabeth.chalmers
Subject: Re: UN-HABITAT. For a Better Urban Future. MY NEIGHBOURHOOD January 2024

Follow Up Flag: Follow up
Flag Status: Flagged

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Attention: Town Clerk
Subject:
Midtown Oakville - Responsible Growth & Intensification
Provincially Mandated Urban Growth Centre @ Oakville GO Station

Hi Allan,

I'm pleased that you appreciated receiving the "UN-HABITAT ... MY NEIGHBOURHOOD" urban design 'checklist' of principles which covers key sectors including transport, housing, public space, utilities, etc. " For a Better Urban Future." It also focuses on spatial dimensions such as neighbourhood, street, open public space, and building unit.

I hope that the UN-HABITAT publication provides stakeholders, staff and council with an insightful view of the possibilities and positive opportunities for good or even excellent responsible balanced growth in urban planning design.

MY NEIGHBOURHOOD takes a first-principles universal approach to good and best urban planning practices. By utilizing day-to-day language where possible, it is helpful for us to understand, not just for professional urban planners.

Value-added knowledgeable subject matter expert consultants are required to ensure that the town professionally implements the ongoing well-thought out deliberations and directions of the Mayor and Town Council.

UN-HABITAT Reference List, page 38 of report:

Oakville's " Livable By Design. (2019) Urban Design Direction for Oakville. Publication by Local Oakville Council."

Congratulations to Oakville's Mayor and Town Council for demonstrating leadership on the "Livable By Design" document. To be referenced in the UN-HABITAT report, the "Livable By Design" report must have been inspirational to the UN-HABITAT Urban Lab.

I look forward to the Mayor's and Town Council's creative, innovative balanced solution that demonstrates a desire to provide exemplary urban planning leadership in Oakville.

If the product outcome is a well balanced densification/intensification approach, taking into account the fundamental need to tailor population capacity with transportation study capacity, it may also provide a precedent setting alternative path to successful urban planning for other GTHA communities to look to for guidance.

Best regards,

Bill McCreery

Sent from my iPad

On Feb 3, 2024, at 6:33 PM, Allan Elgar <allan.elgar@oakville.ca> wrote:

Bill

Thanks so much for sharing this information. Perhaps we do not have to spend thousands of dollars on consultants going forward.

Cheers

Allan

From: Bill McCreery

Sent: Saturday, February 3, 2024 9:58 AM

To: Janet Haslett-Theall <janet.haslett-theall@oakville.ca>; David Gittings <david.gittings@oakville.ca>; Mayor Rob Burton <Mayor@oakville.ca>; _Members of Council <MembersofCouncil@oakville.ca>; Cathy Duddeck <cathy.duddeck@oakville.ca>

Cc: Jane Clohecy <jane.clohecy@oakville.ca>; Neil Garbe <neil.garbe@oakville.ca>; 'elizabeth.chalmers'

Subject: UN HABITAT - For a Better Urban Future: MY NEIGHBOURHOOD January 2024

UN HABITAT - For a Better Urban Future: MY NEIGHBOURHOOD January 2024

A worthwhile read.

https://unhabitat.org/sites/default/files/2023/05/my_neighbourhood_publication_19.05.2359.pdf

"MY Neighbourhood The UN-Habitat Urban Lab has developed an extensive 'check list' of urban design principles applicable at the neighbourhood scale which facilitates an integrated approach to neighbourhood design by incorporating principles across five key city objectives, across sectors (transport, housing, public space, utilities etc), and across spatial dimensions (neighbourhood, street, open public space, and building unit"

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: [Lynda Funk](#)
To: [Town Clerks](#)
Cc: [lynda](#)
Subject: Submission for planning department and council for march 4 meeting
Date: Thursday, February 8, 2024 4:37:27 PM
Attachments: [town meeting.pdf](#)
[town meeting regarding 1493 6th line oakville.pdf](#)

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Attention To the Town Clerk,

I have sent this earlier but forgot to ask to submit it to the planning and development council and members of council, regarding Town-wide Sheridan College Housing Area Special Policy Area, march 4 meeting, let me know if I need to do more to have this topic addressed by council. Thank you

Town-wide Sheridan College Housing Area Special Policy Area

Regarding my moms property 6th line.

in regards to upcoming meetings of

*Town-wide Sheridan College Housing Area Special Policy Area Town-initiated
42.15.62 and 42.15.63, Wards 1-7
Monday, March 4, 2024, at 6:30 p.m.
In-person and by videoconference broadcast from the Council Chamber
Town Hall, 1225 Trafalgar Road*

I have noted that the above property, 6th line, has been left out of the residential properties to be discussed for future rezoning and I would like it to be included as part the the discussion regarding extra housing for sheridan college (within 800 M) and rezoning.

Presently we are expecting our environmental impact study to be completed within the next three weeks. I have talked with the town regarding this property. Presently it is zoned NHS, which it never should have been. The first acre is cut grass and the back acre is a giant buckthorn thicket. It is understood that the Natural heritage Zoning should be removed off the majority of the property.

My request to you, with the future meetings taking place on march the 4th, and all future meetings, i would like to see 6th line added to this discussion and included wiht all the other properties for possible zone changes. I don't want to miss the opportunity for the property to be used for additional student housing etc. it is within 800 m of Sheridan College.

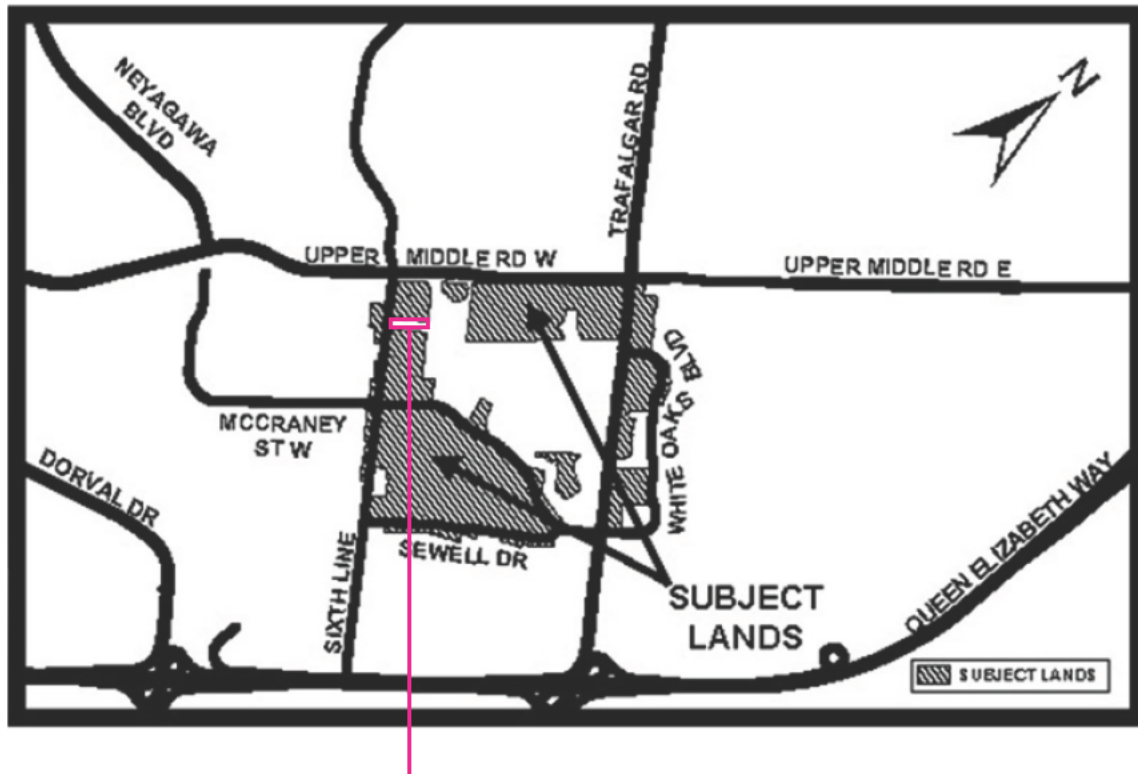
I also viewed the map online and I am afraid my moms property is the only property not highlighted and included in part of the discussion. Being that the NHS zone is close to being lifted would you be able to add the property to be part of this discussion for march the 4th. Also i would like to be added in attendance for the march 4 meeting as well as two sisters. lynda funk (myself), susan mueller and robin post.

Can you please send this to all who need to be informed of this request. Also let me know if there is anything required of me to have this property included in future discussions. thanks you,

lynda funk

Note I have included a pdf showing the property as well as a pdf with the contents of this email as well as the map included in one pdf.

Map of proposed Sheridan College Housing Area Special Policy Area



6th line

Environmental Impact Study will be complete within three weeks.

[Previous](#) [Next](#)

We have been told that the first acre which is cut grass should not have been zoned NHS, also the back acre is composed of a large buckthorn thicket and also does not meet the criteria of NHS. This leaves a very small portion of a few trees in the very back of the property (approximately 1/8th of the total of 2 acres).

We would like 6th line to be added as a residential property due to the soon to be released environmental impact study.

Attention To the Town Clerk,

Regarding my moms property 6th line.

in regards to upcoming meetings of
Town-wide Sheridan College Housing Area Special Policy Area Town-initiated
42.15.62 and 42.15.63, Wards 1-7
Monday, March 4, 2024, at 6:30 p.m.
In-person and by videoconference broadcast from the Council Chamber
Town Hall, 1225 Trafalgar Road

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lynda funk (myself), susan mueller and robin post.

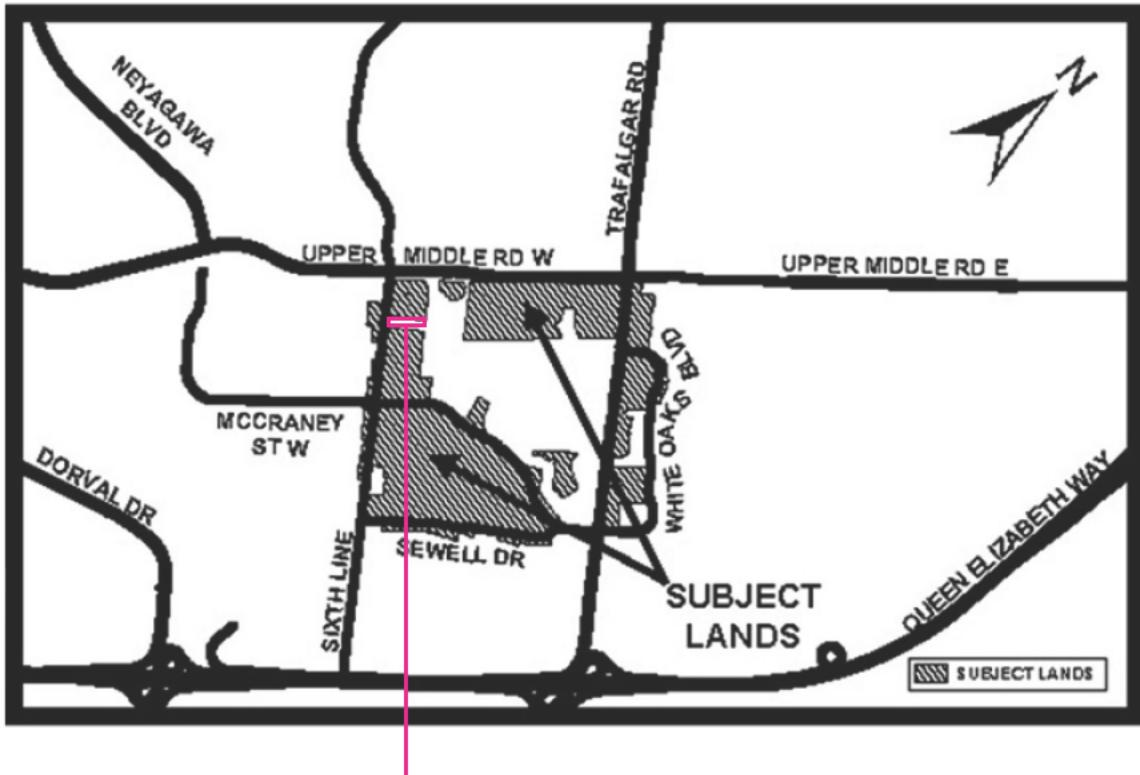
Can you please send this to all who need to be informed of this request.

Also let me know if there is anything required of me to have this property included in future decisions.

thanks you,
lynda funk

please see map of property on page two

Map of proposed Sheridan College Housing Area Special Policy Area



6th line

Environmental Impact Study will be complete within three weeks.

[Previous](#) [Next](#)

We have been told that the first acre which is cut grass should not have been zoned NHS, also the back acre is composed of a large buckthorn thicket and also does not meet the criteria of NHS. This leaves a very small portion of a few trees in the very back of the property (approximately 1/8th of the total of 2 acres).

We would like 6th line to be added as a residential property due to the soon to be released environmental impact study.

From: Robert Lane
Sent: Thursday, February 15, 2024 6:38 AM
Cc: Town Clerks
Subject: Zoning By-law Amendment - Public Meeting

Follow Up Flag: Follow up
Flag Status: Flagged

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Jeff Knoll and Marc Grant
Regional Councillor and Councillor for Ward 5

Gentleman

I received in the mail yesterday a notice advising of the "Statutory Public Meeting for Proposed Official Plan and Zoning By-law Amendment".

Pointedly, what caught my attention was the specific reference to the Sheridan College Housing Area.

I live on Millbrook Avenue and have been a resident at that location for over 38 years.

The neighbourhood is family based/oriented and has harmoniously co-existed with Sheridan College and the attending students. Although we have experience some parking issues.

But I am now led to believe that the student community is experiencing accommodation problems. And I further assess that the solution to this problem, that being proposed by the city, is to allow random house modifications to increase the low cost rental availability. It is further being proposed that the College Park area will allow these random modifications up to four stories on single dwelling lots. Whereas, presently, the housing stock is only two stories. Unfortunately I have not been given any time to understand the proposed amendment.

And I am sorry, but, I have not seen any open houses presenting the proposal or public consultations offered.

Furthermore I am unable to find any impact statements, economical evaluations, safety assessment, alternative analysis or benefit analysis for the full issue.

Also, I am not able to determine how the federal monies is to be spent or whether or not it is sufficient to cover the obvious infrastructure enhancements that will be required/ensue. I think it would work out to be about \$400-\$600 benefit per Oakville property owner as a one shot payment. Whereas the financial impact of such a change has not been defined and could be significant. For example the electrical power delivery and EV's.

In my limited time, I have not been able to determine if Sheridan College has any plans to expand their campus or enrolment. I guess I will have to now enquire to such of Minister Lecce. But I do note that the under utilized college property is significant.

I also have concerns that any adjacent four storey housing units next to my house will scuttle any opportunity to install solar panels on my roof. My neighbourhood group is looking into the feasibility of doing such.

Having presented this, I am asking your assistance and advice on how I can object to the way this is being handled and more specifically the lack of compliance under the Provincial Planning Act, Revised Statutes of Ontario.

Regards
Robert Lane
Millbrook Avenue
Oakville

[Sent from the all new AOL app for iOS](#)

From: Bill Patterson
Sent: Friday, February 16, 2024 10:07 AM
To: Town Clerks
Cc: Bill Patterson
Subject: Statutory public meeting for proposed official plan and zoning by-law amendments Town-wide and Sheridan College Housing area special policy area town-initiated 42.15.62 and 42.15.63, ward 1-7

Follow Up Flag: Follow up
Flag Status: Completed

Categories: TAT

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

As outlined in the above Town document,

Please consider this email as my electronic submission for council response in regards to this amendment.

1. Currently in the Special Policy Area, homes already provide student housing. I am sure many may not meet the Town requirements of an "accessory apartment". I can't help asking myself Why a homeowner would go to the trouble of following all new guidelines for separate dwelling units when they can continue to rent out rooms with shared bathrooms, kitchen etc. at little to no cost. Sure it doesn't follow Town bylaws, but it does not appear the bylaw is enforced. Does the Town even know the addresses of these current student rentals and will they begin to enforce this if this new bylaw is enacted?
2. What is the rationale for creating the Special Policy Area at a limit of 800 metres? Has there been a study conducted to show that conversion to four dwelling units will solve the housing problems for Sheridan students within this area, or was some other arbitrary methodology used to get to 800 metres? I question why it isn't expanded throughout Oakville, can the students not be expected to commute to school? How many expected additional rental units are expected and does it solve the problem?
3. The devil is in the details, the effect of the proposed amendment does mention working with stakeholders, but seems to be centred around the Town and Sheridan only, it seems to omit the Homeowner and potential issues that I see arising as a result of moving forward with transitioning a residence into four dwelling units - would a house with four dwelling units have four addresses? Four electricity meters, four HVAC systems, etc. Have Canada Post, Oakville Hydro for example been notified of this and are they working on the details of how this would be integrated into their networks.

William John Patterson
Martindale Avenue, Oakville, Ontario L6H 4G8

Sent from my iPad

From: Chris Koelsch
Sent: Saturday, February 17, 2024 2:52 PM
To: Brad Sunderland; Town Clerks
Subject: Re: Sheridan College Housing Special Policy Area Information
Attachments: Screenshot 2024-02-17 143245.png

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi, I read the proposed bylaw and found answers to a lot of my questions. I still have some things I couldn't find:

- How is the CMHC Accelerator fund being used in relation to the proposed bylaw?
- Where are the funds going and how are they dispersed?
- Is there a tender process for residents/corporations to access these funds?

There are some points in the proposed bylaw that are somewhat ambivalent:

26.5.5 Land Use Policies:

- i) Notwithstanding section 11.1.8 a), lands designated Low Density Residential within the Sheridan College Housing Area – Special Policy Area, may have sufficient lot area and lot frontage to accommodate appropriate intensification, including through lot consolidation and development approvals. Intensification of sites which have been appropriately assembled may be redeveloped with
- ii) maximum density of 50 dwellings per hectare

The current housing density of the proposed area already has a unit density capacity of 36-48 units (based on 1 hectare, approx. 12 detached residential houses per hectare, and 3 or 4 dwellings per unit)

I attached a screenshot showing the area of a hectare in the proposed area with 12 detached residential units as reference. This is the average residential housing density for the entirety of the Sheridan Housing Proposal site.

Questions:

- Why, for the sake of adding approx. 6-8 extra dwellings *per hectare* is the municipality going through this much effort?
- Are there *any* ways of developers proposing amendments to the bylaw to allow for *more* than 4 storeys and more than 50 units per hectare?

I'm sure you're getting a lot of questions about this, and I truly appreciate your time.

Take care,

Chris Koelsch

On Sat, Feb 17, 2024 at 1:38 PM Chris Koelsch

> wrote:

Hi Brad,

I live in the area of the proposed Sheridan College housing area special policy bylaw and read through the notice you sent to local residents. Can you provide details on these points:

- How do you define a 'unit' in relation to the 4 unit building? (ie, is a unit 1 bedroom in a detached house? is it a bedroom, bath, and kitchen?)
- You mentioned special provisions for C1 zones to permit a maximum of four storey units. Can you tell me what the process would be to rezone R1 to C1 in the proposed area?
- Can you elaborate on what the 'holding provision' is? And what do you mean by, "coordinated, integrated, and comprehensive redevelopment"
- Who was the sponsor of the proposed bylaw? Was it proposed by you, a member of council, or someone else?
- What is the overall goal of the bylaw?

Information about those points, and any other material about the proposal would be greatly appreciated.

Thanks!

Chris

From: Brenda Inskip
Sent: Monday, February 19, 2024 2:32 PM
To: Town Clerks
Cc: _Ward3; Janet Haslett-Theall; Rob Burton
Subject: Comments on "Right of Way" policy in Oakville

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Greetings,

I have lived in Oakville for 29 years in Ward 3. The Ward I live in is predominantly single detached Homes. I do not think that 4 units per Lot "Town wide" is a wise idea at all! It completely destroys the concept of Livable Oakville,

One problem it would raise, which we don't want, is parking and traffic! These are issues already and our residential streets

will end up looking like Toronto where cars line both sides of the street 365 days a year and 24/7, how could snowplows

function in clearing our streets in the winter when every street is filled with cars?

Accepting finances to relinquish control of our Town Planning to the Feds is not a wise idea and in the long run will only serve as a drop in the bucket to help reduce Municipal budget shortfalls.

Our Town Council and Mayor should keep their eyes on our Longterm commitment to Livable Beautiful Oakville!

Sincerely,
Brenda Inskip
Oakville, ON

From: Jan Dobson
Sent: Monday, February 19, 2024 1:57 PM
To: Town Clerks
Cc: _Ward3; Janet Haslett-Theall; Rob Burton
Subject: Comments on "Right of Way" policy in Oakville

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello:

I am a very long time resident of Oakville who lives in Ward 3. The Ward I live in is predominantly single detached Homes.

I know there will be other meetings in Oakville and much needed "Public Input" regarding this Policy as mandated by the Federal Government for those municipalities to qualify for Funds from the Accelerated Housing Program. This is my opinion and I would like it to be "on record" and to be included in future deliberations on this important topic.

My Thoughts:

I do not think allowing 4 units per Lot "Town wide" is a good idea at all. Areas of Oakville that are currently zoned for single detached homes should remain so....having said that there is a duplex at the corner of Navy St and Robinson that is very acceptable but it is located very close to the Business District of Downtown Oakville and adjacent to a much taller buildings that face Lakeshore Road. This duplex building does not have an overly High Height so is in keeping with other homes on the street. I do think Height restrictions of current levels need to stay in place.

I do think 😞 this 4 unit per Lot policy can be incorporated in areas in Oakville where apartment buildings, Townhouse Rows and Duplexes are already located, but to allow this policy Carte Blanche on ANY Lot located Anywhere in Oakville is not a good idea and completely destroys the concept of Liveable Oakville, building within the confines of the "character" of a neighbourhood and threatens Heritage designated areas.

Parking and traffic are huge issues already and our residential streets will end up looking like Toronto where cars line both sides of the street 365 days a year and 24/7....how can snow plows function in clearing our streets in the winter when every street is filled with cars.

Accepting some \$\$\$ now to relinquish control of our Town Planning to the Feds is a bad idea and in the long run will only serve as a drop in the bucket to help reduce Municipal budget short falls.

Our Town Council and Mayor should keep their eyes on our Longterm commitment to Liveable Beautiful Oakville.

Your most sincerely,
Jan and Bill Dobson
Elmhurst Avenue
Oakville, Ontario

From: Bill Patterson
Sent: Wednesday, February 21, 2024 9:22 AM
To: Town Clerks
Subject: Re: Statutory public meeting for proposed official plan and zoning by-law amendments Town-wide and Sheridan College Housing area special policy area town-initiated 42.15.62 and 42.15.63, ward 1-7

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, I have one follow-up comment to add to my submission.

Is Sheridan College planning on expanding their on site residences on their property before expanding this policy of 800 meters of Sheridan? It would seem to me to be wise for them to maximize the land they already have before extending to homeowners in this 800 meter area.

Thanks
Sent from my iPad

> On Feb 16, 2024, at 15:06, Town Clerks <TownClerk@oakville.ca> wrote:
>
> Good Day,
>
> Thank you for contacting the Town of Oakville.
>
> Your correspondence has been forwarded to the appropriate parties for review.
>
> Thank you,
> Tatiana
> Clerk's Department
>
>
>
>
> Town Clerks | Town of Oakville | 905-845-6601 | www.oakville.ca
>
> Please consider the environment before printing this email.
> <http://www.oakville.ca/privacy.html>
>
>
> -----Original Message-----
> From: Bill Patterson
> Sent: Friday, February 16, 2024 10:07 AM
> To: Town Clerks <TownClerk@oakville.ca>

> Cc: Bill Patterson

> Subject: Statutory public meeting for proposed official plan and zoning by-law amendments Town-wide and Sheridan College Housing area special policy area town-initiated 42.15.62 and 42.15.63, ward 1-7

>

> SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

>

>

> As outlined in the above Town document,

>

> Please consider this email as my electronic submission for council response in regards to this amendment.

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> 1. Currently in the Special Policy Area, homes already provide student housing. I am sure many may not meet the Town requirements of an “accessory apartment”. I can’t help asking myself Why a homeowner would go to the trouble of following all new guidelines for separate dwelling units when they can continue to rent out rooms with shared bathrooms, kitchen etc. at little to no cost. Sure it doesn’t follow Town bylaws, but it does not appear the bylaw is enforced. Does the Town even know the addresses of these current student rentals and will they begin to enforce this if this new bylaw is enacted?

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> 2. What is the rationale for creating the Special Policy Area at a limit of 800 metres? Has there been a study conducted to show that conversion to four dwelling units will solve the housing problems for Sheridan students within this area, or was some other arbitrary methodology used to get to 800 metres? I question why it isn’t expanded throughout Oakville, can the students not be expected to commute to school? How many expected additional rental units are expected and does it solve the problem?

>

> 3. The devil is in the details, the effect of the proposed amendment does mention working with stakeholders, but seems to be centred around the Town and Sheridan only, it seems to omit the Homeowner and potential issues that I see arising as a result of moving forward with transitioning a residence into four dwelling units - would a house with four dwelling units have four addresses? Four electricity meters, four HVAC systems, etc. Have Canada Post, Oakville Hydro for example been notified of this and are they working on the details of how this would be integrated into their networks.

>

>

> William John Patterson
Martindale Avenue, Oakville, Ontario L6H 4G8

>

> Sent from my iPad

February 21, 2024

Dear Council c/o the Town Clerk at the Town of Oakville, Clerk's department

Re: Town-wide Sheridan College Housing Area Special Policy Area
Town-initiated 42.15.62 and 42.15.63 Wards 1-7

I am writing to express my strong objection to the proposal to rezone my property at Nottingham Drive and the surrounding area from single-family to multi-family for the purpose of accommodating student housing. While I understand the need for student housing in our community, I believe that this rezoning would have a significant negative impact on the property values and the character and livability of our neighbourhood.

I've lived in my current subdivision for over 35 years. I bought and moved into the neighbourhood because it was single family detached and well maintained. Over the years I've experienced the negative effects of more and more homes being rented out to students and to other people. During the summer these homes can easily be identified by the poor upkeep of their property. I have seen garbage strewn across yards, front lawns rarely cut and yards covered with weeds. Allowing multi-family housing would not only legitimize what is occurring now but would make matters worse, much worse!

In addition to poor aesthetics, ever increasing student housing has already strained the nearby infrastructure worsening traffic congestion and increasing parking difficulties as well as increased noise levels and disturbances during all hours of the day and night. I cannot tell you the number of times I've been nearly knocked over while walking as students ride their bikes or run by me to catch a class. The peace and quiet that our neighbourhood enjoyed over the years is diminishing and affecting the quality of life for all existing residents.

I believe that the boundary for the proposed changes (the Sheridan College Housing Area Special Policy Area - bounded by Upper Middle Road to the north, White Oaks Boulevard to the east, Sewell Drive to the south, and Sixth Line to the west) is completely arbitrary and extremely unfair. Since Sewell Drive is the southern boundary why isn't an equal distance to the north say River Oaks Blvd. the northern boundary? Why isn't 8th line the eastern boundary? This makes no sense. I don't know why our subdivision, which was single family detached when I moved in over 35 years ago, has to bear the brunt of the burden of the increasing student population so that the rest of Oakville can benefit from additional government funding.

The proposed rezoning does nothing for residents of our subdivision except negatively affect our property values. I respectfully request that the council reject the proposal to rezone my property for multi-family housing. I believe that there are better, more suitable

solutions that can meet the needs of the community without sacrificing the integrity and character of our neighbourhood or town.

Thank you for considering my objection.

Sincerely,

A handwritten signature in blue ink that reads "Tim Holden". The signature is written in a cursive style with a large initial "T".

Tim Holden
Nottingham Drive
Oakville, ON L6H4H7

c.c. Jeff Knoll

From: vivek asrani
Sent: Thursday, February 22, 2024 7:26 PM
To: Town Clerks
Subject: Housing Densification

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello

My name is Vivek Asrani and I am a resident of college park for the last 12 years. I strongly object the densification of college park (condos around Sheridan or converting detached home to 4 family units)

This is exactly the thought that gives me nightmares from actual experience. My Neighbour had 8 Air B&b tenant with 6 cars on their driveway. They used to park multiple cars on the boulevard, on the grass and drive over my grass and property and park on the street on weekdays all the time, blatantly ignoring by- laws. This was utter nuisance and I had file multiple complains to the town which was ultimately resolved.

There is already unbearable congestion going down trafalgar and this will add to travel Times just reaching the Go station.

Oakville will become a thing of the past with added congestion and properties being acquired and converted by absentee landlords. We will deal with all the above problems. What we witnessed with this property as well as with others being exclusively used for student housing is that maintenance on the property went down, grass isn't cut, sidewalk aren't shovelled, cars illegally parked on the median as well as on the road in a no parking area and garbage piled up at the side of the house .

Not our vision of a Liveable Oakville.

My address Queensbury Crescent
Oakville L6H4G5

Thanks
Vivek Asrani

Sent from my iPhone

Subject Statutory Public Meeting for Proposed Official Plan and Zoning By-law Amendment

From Robert Lane

To: <TownClerk@oakville.ca>

Cc: <Brad.Sunderland@oakville.ca>, <jeff.knoll@oakville.ca>, <marc.grant@oakville.ca>

Date Today at 9:45 AM

Vicki Tytanneck
Town Clerk
Town of Oakville

RECEIVED

FEB 22 2024

CLERK'S DEPT

I received a notice in the mail on February 14, post marked February 12, of the scheduled public meeting which is to be held on Monday March 04, 2024 at 6:30 PM. This meeting is to be hosted by the Planning and Development Council to discuss the above titled subject.

I will not be in attendance, but, I ask that my position herein be tabled to such committee and that it be read into record.

I will also be providing a hard copy to you at the City Hall mailbox to assure that you receive it.

Please advise at your earliest, if I have not followed the necessary or correct procedural path to achieve my voicing of opposition and that it has been duly placed on record.

Background - I have been in my home in "CollegePark" on Millbrook Avenue for 38 years and I am an original owner.

I view the "College Park" Neighbourhood as being family based/oriented and has harmoniously co-existed with Sheridan College and the attending students. Although, we have experienced some non property affiliated parking issues on the street. This is due to the proximity to the campus and the obvious attempt to avoid the high campus parking fees. And we have noted over the many years a gradual increase in non resident property ownership and room rentals throughout our neighbourhood. As well, there has been marginal issues concerning a spotted lack of yard maintenance and garbage proliferation on waste collection day. But generally the neighbourhood has stood time and has maintained its worth and pleasant demeanour. However, with these proposed changes, I cannot assume or have any degree of comfort that this will continue.

My position - In reviewing what has been presented by the Oakville City planning department on the above titled subject, I consider it to be an incomplete presentation, lacking in documentation including pertinent analysis and therefore totally inadequate for a neighbourhood and the city as a whole to reach consensus (in opposition or otherwise). Furthermore, it appears that part of the proposed amendments, specifically targets my neighbourhood as the "Sheridan College Housing Area Special Policy Area". This section of the proposed amendments has to be treated as an outright penalization to my neighbourhood as it truly lacks any credible rational or social and financial impact analysis. Proposing additional densification over and above the "town-wide" section of the amendments can only be taken as being punitive and inconsistent with the characteristics of the area. Pointedly - this deviation or targeting has caught my attention and therefore my opposition. I also direct your attention to the facts on the ground, that the College Park area is the actual footprint of the target as the areas to immediate West and South of the College property are a seasonal nature trail and creek which prevents any foot traffic for purposes of getting to and from the college. Targeting a much smaller area should be considered "veiled" means of expropriation.

Assessment - My take is that this "Special Policy Area" amendment is allowing random single dwelling house modifications so as to increase the low rental availability to students. I see no discussion that these multiple units would be treated as condominiums and therefore are to be treated as multiple level rental units. Also I have to speculate that, the cheaper the construction, the lower the rentals rates.

The specific targeting of the College Park neighbourhood by allowing these randomly placed four Storey units is not acceptable. Furthermore an explanation/ramifications of "as-to-right" is not explained.

So, if this density increase, is being postured under the mantle that there is a college accommodation problem then

I have some questions.

I would very much like to question the logic, justification or at least be privy to any analysis that have been used.

Here are my questions (for starters):

- Is Sheridan college proposing to expand? And if so - when? And how significant an expansion?
- Does Sheridan College have a problem with demand and supply of accommodation for students? Now? Future?
- Has Sheridan College tried to solve any existing problem within its mandate? Or within the provincial mandate?
- If an expansion is the issue, then how are they proposing to solve the problem? Has the Planning and Development Council pursued such with the College and are willing to share that correspondence?
- Has Sheridan College examined any application of its vast under-utilized land holdings to address this unsubstantiated issue?
- Is the 800 meter distance limit so established for Sheridan College students due to the physical limitations of the students to go beyond that frontier? Therein needing the higher concentration/density of accommodations in the College Park area? (I recognize that the shopping complex of Oakville Place is a staggering 1200 meters but I can report that Sheridan students have been frequenting this establishment without issue for many years. Walmart is a slightly higher distance but I see a steady stream of students making the easy journey there and back after securing groceries.)
- Why has the "Mid Town Plan" not addressed or been modified to address any of the college student resident needs, if indeed there are such requirements?

But of importance:

- Is the federal government dollars and the value/amount linked exclusively to having the Sheridan College Special Policy Area proposal created?
- Would the Town-wide amendment be sufficient to address the college needs without the incorporation of the "Special Policy Area" into the amendment proposal?
- Has Sheridan college been asked if removing the "College Park Special Policy Area" amendment impact their plans and how?
- Does Minister Sean Fraser hold the same view and sympathy with the students in having to commute more than 800 meters?
- Or does he also feel the alternatives of taking the bus service in Oakville or utilizing the Go Service to reach their accommodations to onerous?
- Or Does the Minister view the "College Park Special Policy Area" as the only area in the Town of Oakville that meets his criteria?
- Or is this more like an experiment as to see how Municipalities can meet his theoretical targets to densify urban centres throughout the country?

I may have missed the linkage completely and the rationale for the Special Policy Area but if the Oakville Planning Council can get any department heads of any of the Universities in Southern Ontario to support or agree with how these proposed Official Plans and Zoning By-law Amendments have been developed or unfurled - I will stand down.

My Objective - I would like to, some day, install solar panels on my roof. The ways things are going - probably sooner than later. I have no way of assessing the impact of the stove pipe housing heights that will be built adjacent to my property if these amendments are approved. Will they shadow me from significant solar energy, wherein reducing the viability or even the possibility of such an undertaking. Has this been considered? What recourse will I have should this occur?

I am also concerned that the \$25 million (the Feds Accelerator Funding) will not nearly cover the cost of any upsizing required for sewer, water, gas and electrical service to support the densification in the "Special Policy Area". Has the Planning Council taken this into consideration? Or will there be future tax hikes directly associated with this proposed amendment?

I would like to continue to hold our street parties and celebrations, knowing my neighbours, collaborate on our neighbourhood watch, have the children play hockey and basket ball on our street. (Just count the number of basket ball hoops along our streets.) All this will be impacted by your proposed amendments. Does not Urban Design for residential areas consider comfort, safety and compatibility.

Conclusion - Therefore, based on there being an obvious targeting of the College Park neighbourhood, the lack of explanation, or any comprehensive economical evaluation, impact analysis or demand analysis and the very much lacking consultative process. I must strongly object to these amendments moving forward/passing. This cannot be

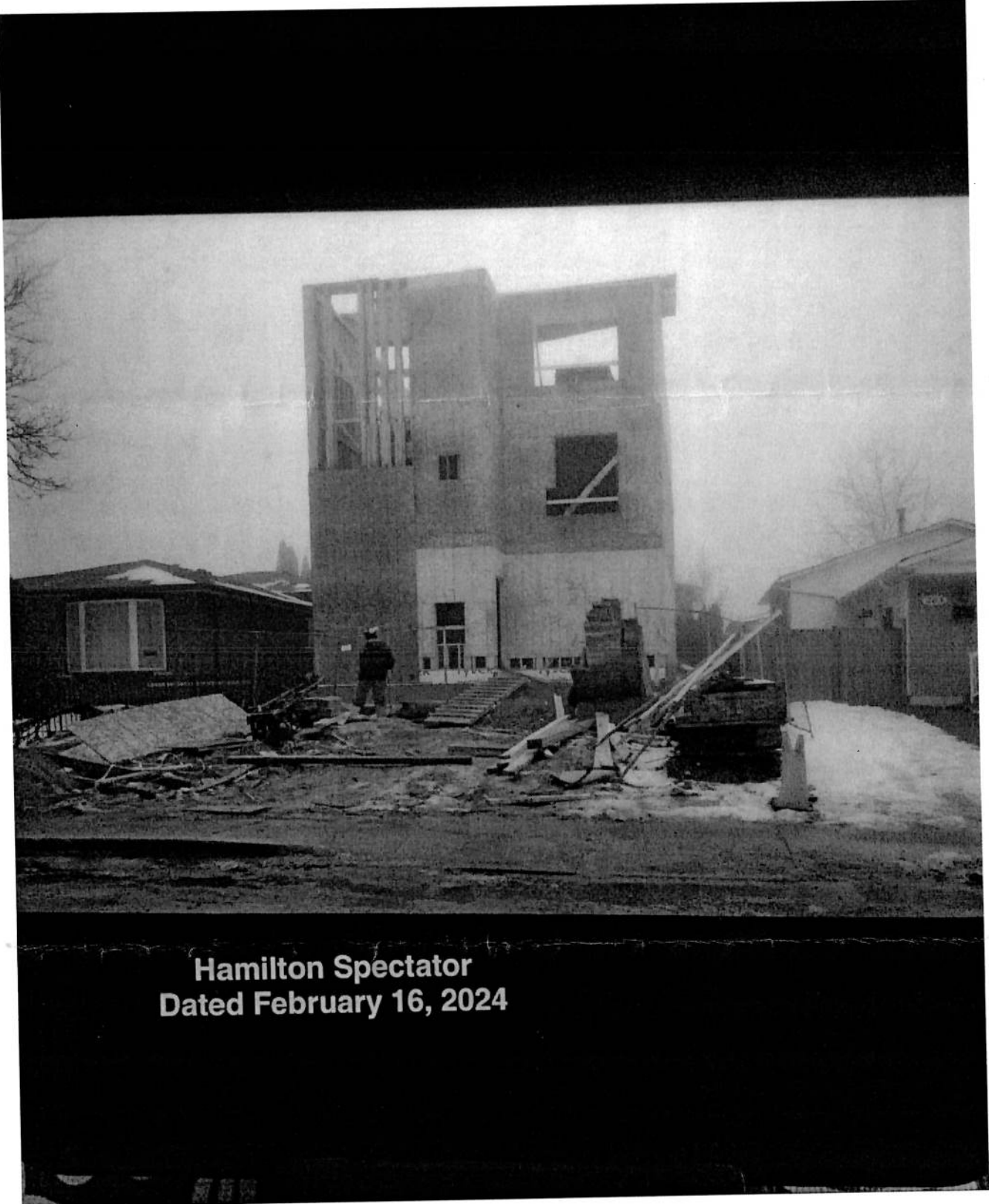
making consultative process, I must strongly object to these amendments moving forward. This cannot be considered a comprehensive addition to the OP to meet some unknown, undocumented density targets. Nor in keeping with the spirit of Part C, sections 3.9, 4.3, 6.1.2a and 6.4 of the OP Livable Oakville.

Since the consultation has been missing or very much lacking in substance, I will now have to take time to discuss this with my immediate neighbours as well as those in the greater Oakville Community to see who's interest this is serving.

The immediate questions I will raise:

- *"Is it right that the citizenry of Oakville benefit one time to \$400 to \$600 per property at the possible social and direct impact to one small area called "College Park"?*
- *"do you want to see the boondoggle which is happening in Hamilton right now, as shown in the attached picture extracted from the Hamilton Spectator dated February 16, 2024?"*
- *"can you imagine the next five, ten or twenty years of wannabe architects and DIY builders attacking our neighbourhood?"*

*Regards
Robert Lane
Millbrook Avenue
Oakville*



Hamilton Spectator
Dated February 16, 2024

Sent from the all new AOL app for iOS

From: R & K Gunner
Sent: Thursday, February 22, 2024 9:21 AM
To: Town Clerks <TownClerk@oakville.ca>
Subject: Sheridan college housing meeting march 4th

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning,

I am inquiring how I go about putting in my 2 cents to this proposed re-zoning amendment meeting on March 4th at 6:30? I have never done this before so unsure.

Here is my inquiry based on personal experience.

I live at Redbank Cres. In 2022, a semi-detached home (Redbank Cres) was sold across the street. The new owner fixed it up and then had 5 tenants (based upon number of cars in the driveway) move in. The tenants are ok and no complaints about them. However, with 5 cars there are always a couple on the street. Then in Oct 2023, I came home to find the huge tree in the front yard cut down. I called the town and I was told they would take care of it since there was no permit acquired (not sure what happened). Then 2 weeks later someone came and graveled over the whole front yard for cars to park on. I again called the town and was told they can not do that, and will take care of it. Every night a large SUV parks on the gravel. I called the town again and said they would ticket the car every time they did this. However, it is still there every night.

This will bring my home value down when more people live in the house with more cars, don't take care of the property, illegally park on the grass/tree removal, etc.

What assurances do we have that with this new amendment, what has happened across the street from me will not occur in the future?

Cheers,
Russell Gunner, C.A.T.(C), R.Ac.

From: Robert Condie
Sent: Wednesday, February 28, 2024 8:28 AM
To: Town Clerks
Subject: Fw: Housing Accelerator Fund

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Sir:

As per the message below I was directed by Mr. Sunderland to table our comments that are cited below.

Thank you for help with this.

Robert and Shirley Condie
Queensbury Crescent

From: Brad Sunderland <brad.sunderland@oakville.ca>
Sent: February 22, 2024 3:03 PM
To: 'Robert Condie'
Subject: RE: Housing Accelerator Fund

Hello Robert,

Thank you for your comments. If you would like your input to be included in the package of comments to be provided to Council on this matter, please ensure you direct them via email to the Town Clerk.

Any submission to the Planning and Development Council, either in hard copy or in electronic format, must be forwarded to the Clerk's department for receipt no later than noon on Monday, March 4, 2024, to ensure its availability to the Members of Council at the meeting. Individuals wishing to make an oral submission at the public meeting are strongly encouraged to contact the Clerk's Department by noon on Friday, March 1, 2024 by email to:

TownClerk@Oakville.ca

Thank you,
Brad

Brad Sunderland , (He/Him) , MCIP, RPP
Senior Planner , Policy Planning
Planning Services

Town of Oakville | 905-845-6601 , ext. 3043 | f: 905-338-4414 | www.oakville.ca

Vision: A vibrant and livable community for all

Please consider the environment before printing this email.
<http://www.oakville.ca/privacy.html>

From: Robert Condie
Sent: Thursday, February 22, 2024 12:34 PM
To: Brad Sunderland <brad.sunderland@oakville.ca>
Subject: Housing Accelerator Fund

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mr. Sunderland

We just completed your online survey but this did not provide ample ability to really express our concerns so hopefully you and our elected representative, who I also plan to send this to, will take what we have to say into consideration.

Oakville is one of the wealthiest communities in the country but here we are being tempted by “free money” with the result that greed sets in and common sense and sound reasoning are ignored. Liveable Oakville will become a thing of the past with added congestion and properties being acquired and converted by absentee landlords. We have lived in the College Park area for over thirty years and have witnessed what happens when there are absentee landlords. We had one adjacent property that was operating as an Air B&B but when the owner moved out she converted it to a rooming house with at least eight unrelated residents. What we witnessed with this property as well as with others being exclusively used for student housing is that maintenance on the property went down, grass isn’t cut, sidewalk aren’t shovelled, cars illegally parked on the median as well as on the road in a no parking area and garbage piled up at the side of the house. Not our vision of a Liveable Oakville.

The Oakville wide plans to densify as demanded under the Housing Accelerator Fund is bad enough but to single out the land surrounding Sheridan College for even greater densification is really damaging for this area. The 2024 - Draft OPA - Lands Surrounding Sheridan College (Livable Oakville).docx states:

Accommodating Increased Density

- i) Property consolidation and land assembly to allow for comprehensive site design and development is encouraged.
- ii) To ensure orderly and comprehensive redevelopment of existing low-rise housing, block context plans demonstrating how property consolidation and DRAFT By-law Number: 2024-xxx 8 land assembly fits contextually within the broader neighbourhood lotting pattern may be required as part of the development approvals process.
- iii) Where the planned scale or configuration of development is not feasible on an individual property, property consolidation shall be required. Where property consolidation is not possible, development permissions may be limited.

My interpretation of this is that our neighbourhood will be subject to a creeping cancer with the mess of reconstruction going on for years. Property values will plummet as families will not want to move here and we will be in the heart of an Unliveable Oakville.

Sheridan College has a Master Plan in which they envision the student population on the Oakville Campus increasing by two and half times. Is this supported by the Ministry of Education or would the Ministry sooner see new colleges or campuses developed in other communities to facilitate easier access? Given there are Sheridan Campuses in Brampton and Mississauga it would seem prudent to establish a new campus in Milton and thereby take the pressure off of Oakville.

I will leave it to other fellow residents of our area to put forward options within the 800 metre zone around Sheridan College but should the zoning in our area change from Low Density to Medium Density property values will plummet and as such our residents will demand an immediate reduction in property taxes. In all of Oakville should this go forward, properties that convert to three or four housing units per property should see an increase in taxes to reflect the added pressure on our infrastructure. In addition, such properties should be registered with the Town and this list should be made available to Revenue Canada.

Bottomline – get back to the vision of a Liveable Oakville and forgo any short-term gains under the Housing Accelerator Fund.

Sincerely,
Robert and Shirley Condie

From: Patricia Sullivan
Sent: Friday, February 23, 2024 11:14 AM
To: Town Clerks
Cc: Patricia Sullivan
Subject: Opposition to having 4 units on a single lot

Follow Up Flag: Follow up
Flag Status: Flagged

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

As a long term resident of Oakville I was astonished to hear that Council would consider such a change to zoning bylaws. My concerns with this proposal include:

-no public consultation prior to council voting on this change -loss of tree canopy -traffic issues -loss of enjoyment of existing properties due to noise and shadows created by new buildings -loss of privacy -parking issues -infrastructure issues (roads, utilities) -school crowding -insufficient recreation facilities -noise issues -loss of character of existing neighbourhoods

Council is exhibiting a knee-jerk reaction to the Federal Government's lack of planning for immigration . All of this for \$36 Million which will in turn make Oakville UNLIVEABLE!

A very concerned resident

From: [Lynda Funk](#)
To: [Town Clerks](#)
Cc: [lynda](#); [robin Post](#);
Subject: Written submission for the March 4th meeting regarding Sheridan College Special Policy for housing
Date: Friday, February 23, 2024 11:40:13 AM
Attachments: [NRSI 3096 6th Line, Oakville Letter 2024 02 21 Final.pdf](#)

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mayor and Members of Council

re Meeting March 4 to discuss the Town-wide Sheridan College Housing Area Special Policy

For the past 18 months our family has been working to change the designation of our Mother's property, known as Sixth Line , reversed back to its original status of residential.

Directed by the town and Halton Region we implemented the EIA study with Natural Resource Solutions Inc. in March 2022.

We believe this property would be an asset and should be considered for housing, recognising the great need for same. We have been told that planning is underway to rezone the plaza across the street for a lowrise. Our property is significantly larger than of that and we would impact only two single home dwellings with a road allowance between properties. Where as the plaza has 10 single home dwellings and 6 townhomes that would be backing onto the proposed lowrise. Ours is also with 800 metres of Sheridan College.

Although we are unable to provide you with the final report of the Environmental Impact Study we are pleased to submit an interim report from, Natural Resource Solutions Inc, indicating that 5/6 the property should be residential, not NHS (Natural Heritage System). The final report will be completed in 21 days.

We therefore submit this for your consideration and would appreciate being advised of any further meetings/information that might refer to the expansion of boundaries for housing purposes.

Sincerely
Lynda (Post) Funk

Please see attached from Natural Resource Solutions Inc.

February 21, 2024

Project #3096

Rob Burton, Mayor of Oakville
Town of Oakville

RE: 6th Line, Oakville
Environmental Impact Study Preliminary Findings

Natural Resource Solutions Inc. (NRSI) has been retained by Lynda Funk to complete an Environmental Impact Assessment (EIA) for the property located at 6th Line, Oakville (hereafter referred to as the “subject property”; Map 1). The objective of this EIA is to determine the need for any refinements to Regional Natural Heritage System (RNHS) mapping on the subject property based on existing conditions.

According to the Halton Region Official Plan (OP, 2022), the entire subject property is mapped as RNHS. The property is currently zoned as N-Natural Area per the Town of Oakville’s Zoning By-law 2014-014 (2023). Prior to 2014, the subject property was zoned and designated as Low Density Residential. Under the By-law, adjacent areas are zoned CU – Community Use to the north, RM1 – Residential Medium to the west, and N – Natural Area to the east and south.

The landowner wishes to remove the RNHS designation from the subject property. Per Section 116.1 of the Region OP (2022), the boundaries of the RNHS may be refined through an Environmental Impact Assessment, accepted by the Region, or similar studies based on a Terms of Reference accepted by the Region.

In 2023, NRSI undertook a field survey program to characterize and delineate the boundaries of the natural features within the subject property. Based on field survey results as well as background information collected, an analysis of the significance of existing natural features was completed within and adjacent to (i.e., within 120m of) the subject property. This analysis is based on the rarity or significance of features and/or associated functions/processes and/or current OP natural heritage policies. It also recognizes the presence of Conservation Halton-regulated lands at the rear of the property, due to the mapped presence of a watercourse.

The EIA report is in the process of being finalized. However, based on the results of field investigations, and with regard for Town and Region OP natural heritage policies, it will be NRSI’s recommendation within the EIS report that the majority of the subject property be excluded from the RNHS. NRSI biologists have determined that much of the wooded features on the property comprise a thicket of non-native, invasive Common Buckthorn (*Rhamnus cathartica*), and that it is not appropriate to include the thicket within the RNHS. Only natural vegetation growth at the rear of the property will be recommended for inclusion in the revised RNHS mapping on the subject property. Further, Conservation Halton staff reviewed the watercourse feature within the rear of the property and confirmed that it no longer acts as a watercourse and, as such, is not regulated. See Map 2 for the proposed refinement to the RNHS where it exists on the subject property.

Should you have any questions or comments regarding this letter, please do not hesitate to contact me.

Sincerely,
Natural Resource Solutions Inc.

A handwritten signature in black ink, appearing to read "Sydney Gilmour". The signature is fluid and cursive, with the first name "Sydney" being more prominent than the last name "Gilmour".

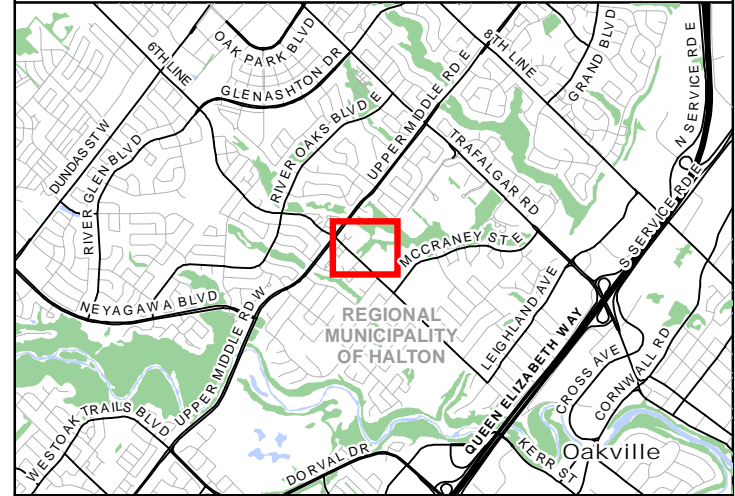
Sydney Gilmour, M.Sc.
Terrestrial and Wetland Biologist

Maps



Map 1

6th Line, Oakville Study Area and Natural Features



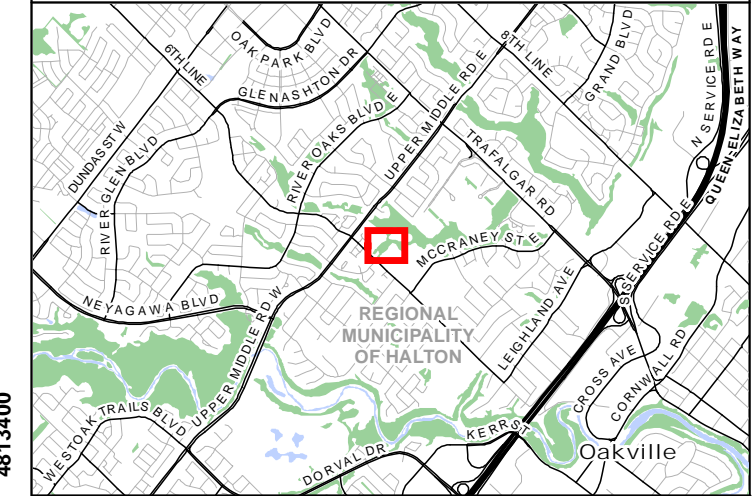
- Legend**
- Study Area (120m)
 - Subject Property
 - Tributary (Conservation Halton)
 - Natural Heritage System (Halton Region) (Approximate)



Map Produced by Natural Resource Solutions Inc. This map is proprietary and confidential and must not be duplicated or distributed by any means without express written permission of NRSI. Data provided by MNRFO Copyright: King's Printer Ontario. Imagery: First Base Solutions Inc. (2021).

Project: 3096 Date: February 21, 2024	NAD83 - UTM Zone 17 Size: 11x17" 1:1,750

6th Line, Oakville Vegetation Communities

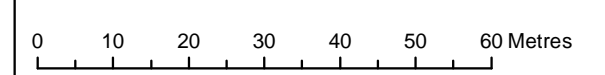


- Legend**
- Subject Property
 - NRSI Surveyed Dripline Boundary (2023)
 - Natural Heritage System (Halton Region) (Approximate)
 - Ecological Land Classification (ELC)
 - ELC Inclusion
 - (CUM) Cultural Meadow
 - (CUT1) Mineral Cultural Thicket Ecosite
 - (CUW1) Mineral Cultural Woodland Ecosite
 - (H) Hedgerow



Map Produced by Natural Resource Solutions Inc. This map is proprietary and confidential and must not be duplicated or distributed by any means without express written permission of NRSI. Data provided by MNRF© Copyright: King's Printer Ontario. Imagery: First Base Solutions Inc. (2021).

Project: 3096 Date: February 21, 2024	NAD83 - UTM Zone 17 Size: 11x17" 1:1,000
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Oakville Town Council
C/O the Town Clerk at the Town of Oakville, Clerk's Department
1225 Trafalgar Road
Oakville, Ontario, L6H 0H3

February 22, 2024

Re: By-law Amendments

Town-wide and Sheridan College Housing Area Special Policy Area Town-initiated
42.15.62 and 42.15.63, Ward 1-7

Dear Members of Oakville Town Council,

As a resident of the proposed Sheridan College Housing Area- Special Policy Area I am very upset that I am being discriminated against for purchasing a home close to Sheridan College. Any By-law Amendments regarding increased density should apply equally to all housing units in Oakville not just those located close to Sheridan College.

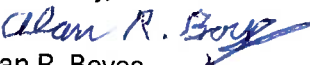
All residents and homeowners living in Oakville benefit from the fact that Sheridan College is located in Oakville. They should all share in the plan to provide any additional housing on an equal basis and not just for students..

If the students at Sheridan College require more housing, Sheridan should build and operate more student residences.

Our area is already impacted by the poor upkeep and maintenance of several neighbouring houses that are rented to students. We do not want our quiet neighbourhood of single-family residences to turn into a student housing ghetto similar to what has happened to parts of Kingston near Queens University and parts of Hamilton near McMaster.

The need for more housing is understood but it should not be achieved by discriminating against some parts of Oakville and not all of Oakville.

Yours truly,


Alan R. Boyes
Millbrook Avenue
Oakville, Ontario, L6H 4J7

RECEIVED
FEB 23 2024
CLERK'S DEPT

From: Ron Bell
Sent: Saturday, February 24, 2024 3:17 PM
To: Town Clerks
Subject: Proposed Official Plan and Zoning by-law amendments for review March 4, 2024

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I have several questions and concerns of the proposed amendments to be discussed at Town Hall on Monday March 4, 2024. Please provide a response to these items or direct me to who could.

Also, as advised in the handout distributed about these matters, please **include me in any notification of the decision** of the Town of Oakville.

Initiative 1 – Four Dwelling Units Per Detached Residential Property

- Please confirm this proposal is to increase the limit of dwelling units per detached residential property from the current 3 units to proposed 4 units AND that is to be applied town-wide.

Initiative 2 – Sheridan College Housing Area

- Why not wait for results of the related proposal to increase units per dwelling from 3 to 4, town wide, before trying to adopt this proposal of allowing 4 story apt buildings in an already developed community? There may be no need, if many homeowners expand their existing dwellings to multiple units within (or on property).
- How would this proposal work, when most of the “subject lands” are already developed with existing homes? Would the Town pursue some kind of “conversion? Or would developers be encouraged to buy up multiple adjacent homes to demolish and replace with multi level buildings?
- What is the proposed timeline for any such 4 story buildings to be built? There must be a controlled limit per year, to minimize damage to community and environment, as well as impact on the value of existing detached homes.
- Why does the proposal focus on 800m radius of Sheridan College, which is already a developed residential area, when there is vacant space and unused lots on the west side of Trafalgar, north of Upper Middle Rd up to Dundas? Developing those areas would have far less impact on the community and existing residents.

- Please provide a larger, more detailed map with street names clearly shown to ensure there is no impact to existing parkland.
- The proposed subject land appears to include the soccer fields north west of Gaetan-Gervais Secondary School (between baseball diamond and sixth line), which must not be allowed.
- It's not clear but the proposal seems to impact Munn's public school and White Oaks Secondary School, which should not be allowed.
- It's not clear but does the proposed subject land include destruction of the Sixth Line Plaza across from Munn's Public School?
- In addition to restricting the building height to 4 stories, there must be a restriction to the total number of units per story. This should be no more than 8, for total maximum of 32 units per building.
- What provision will be put in place to prevent any exceptions to the maximum height and unit restriction? It seems that other high-rise buildings in Oakville were able to go above the documented maximum if the developer was willing to pay a fee. This can not be allowed.
- Existing tree canopy must be maintained.
- In addition to height and number of unit restriction, there must be a limit to how many new buildings would be allowed on each street and in total. With the defined objective of mixed density, there must be a defined ratio to be maintained between detached dwellings and multi level buildings and per kilometer of roadway.

Sincerely, Ron Bell
Queensbury Cres, Oakville, Ontario L6H4G9

Roger Lower
Pallatine Drive
Oakville
Ontario L6H 1Z1
24th Feb 2024

I am writing to express my strong opposition to the proposed amendments for By-laws 2014-014 and 2009-189, the proposed rezoning of the Sheridan College Housing Area. While the local community may be unable to prevent development, that in itself will be detrimental to the area, the addition of multi-family housing will cause traffic and safety problems, create even more problems with schools that are already over-capacity, and potentially lower the property values of the existing community.

Local neighborhood traffic will disproportionately surge during morning and evening rush hours, causing traffic issues during critical times for all of the affected areas. The traffic surge during morning and afternoon rush hours will also negatively impact safety for children, since students walk to school then.

Schools in the area are already reported at overcapacity requiring portable units for the excess, and the council should not approve multi-family dwellings that creates or exacerbates a this situation.

Property values are likely to go down in the area if multi-family apartments, condominiums or duplexes are built. Multi family dwellings are inconsistent with the neighborhoods developed in the area. The area to be affected has a largely elderly population, and I suspect that the notice of the proposed amendment which was written in quite difficult to understand language will go mostly ignored.

I urge you to disapprove the proposed rezoning, and from recent meetings and discussions with my neighbors, I know my opinions are shared by many who have not managed to attend meeting or write letters and emails.

Thank you for your continued service and support of our communities.

Best regards,

A handwritten signature in blue ink that reads "R Lower". The signature is written in a cursive, flowing style.

From: [Miriam Martin](#)
To: [Jeff Knoll](#); [Marc Grant](#); mayo@oakville.ca; [Town Clerks](#)
Cc: [Miriam Martin](#)
Subject: Feedback regarding by-law amendments and Sheridan College Housing Area
Date: Monday, February 26, 2024 8:30:38 AM

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

(Sorry, my first email, did not get delivered to everyone properly)

Dear Mayor, Town Clerk, Mr. Knoll and Mr. Grant,

At the outset, we want to identify ourselves as residents of College Park in Oakville, who have been citizens of this great community for almost 30 years. We understand the need for rental housing and the overall housing crisis across Canada. Promoting rental housing and moderate to high density housing is a necessity to avoid urban sprawl and make use of existing urban footprints. Our neighbourhood has many households where adult children have had to return to live in their childhood homes as they cannot afford housing of their own. We support Oakville's initiative to adjust existing by-laws to accommodate affordable housing. We do believe that these by-laws should be applied **across all Oakville**, without bias or prejudice, and not associated with a particular area. This is why we **strongly object** to the sudden proposed Sheridan College Housing Special Policy Area. Any such by-law should have been on the table 40+ years ago. The town's vision is articulated in the Livable Oakville Plan, yet if this Special Policy Area is approved it will have a huge footnote "**except the College Park area**".

The housing crisis is not only about creating affordable houses but also affordable rental units. Oakville should **encourage the building of rental apartment buildings** instead of condos. Luxury condos, like those at the south-west corner of Dundas and Trafalgar have monthly condo fees that more expensive than most people can afford in rent. This makes them unlikely to be subleased.

Sheridan College should be encouraged to optimize the use of their existing lands which includes allowing the building of more residences for students or apartment buildings on their land. The city of Guelph Ontario has put in several low-rise rental apartment buildings, along Gordon Street, aimed at shared accommodation. They have 2-4 bedrooms and a shared living space in the centre, purpose built for student rentals. London Ontario, working with Western University, has taken a similar approach.

Fundamentally, between walking, cycling and public transit, access to the Sheridan's Trafalgar campus should not be bounded by 800m. The Halton District School Board will bus students who are further than 3.6 km of their school. Why was a **3.6 km radius for secondary students chosen and 0.8 km for Sheridan students**? Other post-secondary schools pay local transit authorities in order for students to ride for free. This is included in the student's fees. This should be offered to Oakville Sheridan students.

Creating a limited Sheridan College Housing area could mean that this area becomes an **unliveable student ghetto**. This has occurred to the detriment of other Canadian cities like Kingston. These proposed specialized zone bylaws have also been rejected by other Ontario municipalities to avoid such destruction of established neighborhoods into ghettos. I don't believe that anyone, living anywhere in Oakville would want to see this occur here.

In addition, we have a few comments about retrofitting existing houses to allow for 4 separate units.

- Garden suites will impact privacy and light for next door neighbours. This is not a preferred option.
- Widening driveways or putting in parking pads to allow for 4 cars will likely mean reducing the size of lawns, boulevards and possibly removal of trees.

For safety reasons, parking on road is not an option due to current bylaws and those bylaws should be kept.

- Should encourage actual duplexes and four-plexes like in Toronto instead of trying to retrofit existing houses into one of the designs being proposed.
- There is currently a bylaw to only allow at most 4 unrelated people in one house. This bylaw will be ignored and very difficult to enforce. Currently, it is hard enough to enforce. We know of at least one house in our neighbourhood that has 7 unrelated students.
- The new by-law should state that the **building owner must live in one of the units**. This means that the property will hopefully be maintained, and the residents are good neighbours. Typically, rental houses where the owner is in residence causes less issues for the neighbourhood.

Here are a few thoughts regarding the 4-story low-rise apartments:

- 4 story low-rise apartments are wonderful but should not be allowed to exist within established family neighbourhoods as they will increase traffic, decrease privacy and sunlight and negatively impacting these neighbourhoods.
- Keep these for major streets or existing commercial locations.
- Change by-law in Oakville, so **any new commercial strip mall must include second story apartments**, or 2nd, 3rd and 4th floor apartments.
- You say that changes to existing residential neighbourhoods will be integrated and compatible. Who will make this decision? Will neighbours get to give input?

Here is a summary of our concerns about a Special Sheridan Zone area

- New proposed by-law should be for **all of Oakville**, not just one targeted neighbourhood, area highlighted already established family neighbourhoods.
- No need to confine to 0.8 km, if housing is made available along public transit routes
- Highschool students have to walk if within 3.6 km of school.
- Do not want these existing family friendly neighbourhoods to become “student ghettos” .
- A few years ago, the neighbourhood north of Sheridan and south of Upper Middle was becoming overrun with “**boarding houses**” where properties were not looked after and neighbours felt they were being pushed out and did not feel safe/comfortable, by-law was put in place for only 4 unrelated people in one home, this made it less lucrative for home owner, so houses returned to family homes, we do not want this to occur again.
- Many, many homes in the area north of Sheridan and south of Upper Middle already have basement apartments used by students.

Potential Other Solutions:

- Existing commercial properties should be changed to medium or high rise buildings, for example the mini malls at Martindale and Upper Middle, and the one across from Sheridan on Trafalgar.
- Any new commercial sites in Oakville should be made as multi-story buildings with rental apartments above retail spaces.

Thank you for taking the time to hear our concerns and comments.

Sincerely,

Randy and Miriam Martin

Nottingham Drive

From: Julie Verhoeven
Sent: Tuesday, February 27, 2024 11:32 AM
To: Town Clerks
Subject: Sheridan College Housing area - Special Policy area

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I am writing to express my objection to more housing density in the proposed area around Sheridan college. This area is already too dense from a traffic perspective. It takes 40 minutes to get from the GO station to River Oaks area during weekday commutes. It should take about 5 minutes. The traffic in that area is way too congested already. There is no way to expand Trafalgar any more. It cannot handle more housing density.

We have exceeded our growth goals as set out by the province. There is no need to grow further in already established areas. These areas cannot handle the growth.

What happened to Oakville's goals of being Canada's most liveable city? What happened to the TOWN of Oakville. You are turning Oakville into an overcrowded city.

Julie Verhoeven
Pelee Blvd
L6H 4E2

Date: February 27th, 2024

Planning and Development Council
C/o the Town Clerk
1225 Trafalgar Road
Town of Oakville
Oakville, Ontario

Attn: Development Council members

Subject: Support for Increased Zoning in Oakville

I am writing to express my support for the proposal to increase zoning across Oakville. This proposal to change “as of right” ZBA and or OPA, with some gentle intensification along a select set of corridors or pockets should alleviate housing shortfall and affordability issues. In addition, it is important to update these regulations and is going to be a crucial step towards creating a more diverse and affordable housing landscape in our town.

Sheridan College – Special Policy Area:

This proposal offers a unique opportunity to address housing challenges surrounding Sheridan College. Increased density near the college would provide much-needed housing options for students and staff, contributing to a more vibrant and sustainable community. This approach aligns with the growing trend of creating vibrant and walkable communities around educational institutions.

While increasing zoning is commendable, it is crucial to recognize the need to address other regulations that contribute to housing unaffordability, such as - Lot size, lot frontage, side yard setbacks, and parking minimums must also be reevaluated to create more flexibility and encourage higher density development.

It is important to refine the Draft ZBA regulations - for example: Section 15.AAA.3 Zone Provisions for Apartment Dwellings – is keeping the same existing regulations as in the current Zoning By-law 2014-014 Table 6.3.8 – RM1 to RM4. This approach is going to give way to land banking and land consolidation, like what occurred in some areas of Toronto and delay the development of much needed housing requirements. I would encourage town to consider the following:

1. Permitting four to six stories small apartment buildings within single family lots.
2. Minimize lot size and lot coverage requirements for Apartment buildings.

3. Permit building on stilts so parking can be on ground level rather than underground.
4. Permit variable height requirements subject to parking on ground level.

Learning from Toronto's "Missing Middle" Challenges:

The City of Toronto's experience with "Missing Middle" zoning serves as a cautionary tale. This approach, while well-intentioned, has shown limited success in generating a significant increase in housing options due to slow implementation as availability of CR zoned lands were limited. Recently, City of Toronto introduced EHON Major Street Study focuses on permitting gentle density, missing middle housing on major streets in low-rise neighbourhoods across Toronto (See [Schedule A – Image 1](#)). We must learn from such experiences and adopt a more comprehensive approach in Oakville.

Beyond Three Units: Exploring Alternative Densities:

While the proposal for three units per lot represents a positive step, exploring alternative densities should also be considered. Permitting construction of four to six-story apartment buildings on single lots (see [Schedule A - Image 2](#)), like projects currently underway in Toronto, could offer a more efficient way to achieve higher density and provide a wider range of housing options. Today's townhouse complexes are 3 stories in height, adding two or three more storeys will blend-in with existing build forms and maintain the character of the neighbourhood.

I urge the Town of Oakville to consider these additional perspectives and implement a comprehensive strategy that addresses not just zoning but also associated regulations. This approach, combined with safeguards against land banking and unreasonable price expectations, offers the potential to create a more diverse, inclusive, and affordable housing market for the benefit of all Oakville residents.

Thank you for your time and consideration.

Yours Sincerely,

Gopikannan Pillai, LL.M

Cell: 647 218 3849

Schedule – A

Image 1

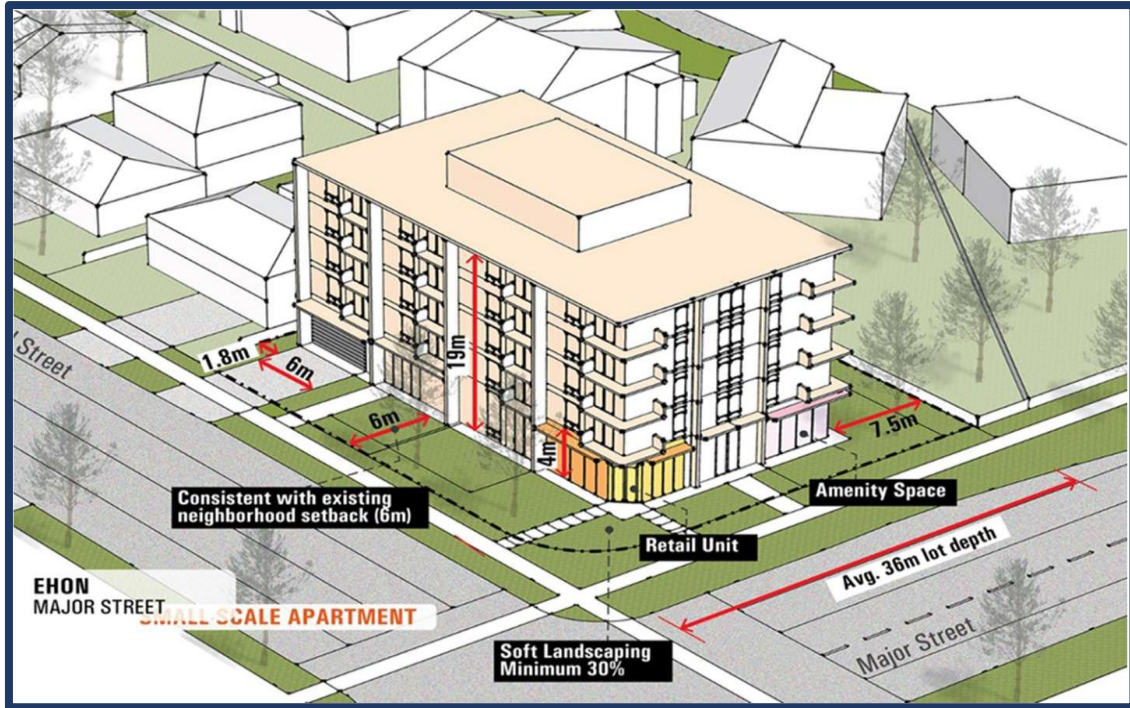
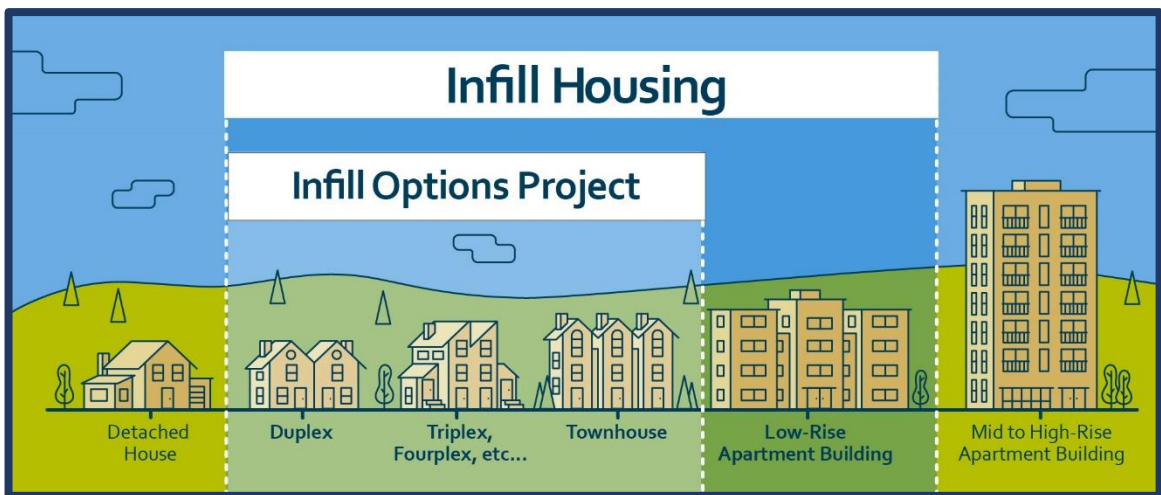


Image 2



From: Dan Ferraro
Sent: Tuesday, February 27, 2024 12:16 PM
To: Marc Grant; Jeff Knoll; mayo@oakville.ca; Town Clerks
Subject: Sheridan College Housing Area and Proposed By-Law Amendments

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning all: I'm a 35 yr. resident of the area described as "Sheridan College Housing Area" and the following is my response to the proposed by-law amendments that will have a very detrimental effect on my home and family.

1. When we moved to our current home, one of the attractions was the closed nature of the subdivision. An enclave of single family dwellings with traffic limited (primarily) to the residents of the subdivision was a featured selling point of our home. Our collective ability to raise a family without undue fear of traffic, trucks, and strangers helped to develop the nature and character of our subdivision. Either of these proposed zoning changes will fundamentally change our daily lives.
2. The financial impact on current home owners will be devastating. As the inevitable student ghetto develops the impact on property values will be significant. For those that have paid off their mortgage, the equity in their home acts as an anchor for their retirement and financial planning. Whatever they thought they had in equity in their property will be severely diminished and their retirement plans will be devastated. For those that are paying off their mortgage, raising their kids and paying their taxes, they will wake up one day to the sounds of a new construction project next door and find that their property value has sunk accordingly. They'll be over-mortgaged on a house without the value that they were planning on. Banks don't like that and neither do home owners.
3. The student ghetto problem is real and should not be diminished in any way. We've already seen the impact of too many rental units in our subdivision. Renters do not maintain their properties to the same degree as owners. Lawns don't get cut and maintenance projects always seem to be on the back burner. Fortunately this problem has somewhat rectified itself and some of those rental homes are now owner occupied. However, this historical perspective has had the effect of reducing home values in our subdivision already. Our homes do not have equal value to similar homes in other parts of Oakville. Any parent with a child that has gone to University is fully aware of what a student ghetto is, what it looks like and how it reflects on the town that it is located in.
4. Green spaces are important. Every home in our neighbourhood has a tree in front of it and many have them in their back yards. Every home has a front and back yard -all green spaces. When a four-storey building goes up trees go down - there's just no way around it. In addition, parking pads and increased

street parking will become the norm. We currently restrict this type of vehicle storage because it's unsightly and dangerous for children.

5. Other options to provide student housing and other higher density housing are available to consider. There is no shortage of space on campus for additional dorms or expansion of existing dormitories. The undeveloped land north of Dundas on Trafalgar could be used for this purpose. Access to the campus could easily be provided for by public transit, a short bus ride down Trafalgar doesn't seem unreasonable.

6. The Housing Accelerator Fund is just that. A rush to solve a problem without consideration of other issues. Let's not be part of a poorly thought out change to our Livable Oakville Plan. Let's continue to solve our housing problems through long term, thoughtful planning and not chase government dollars that might not even be available after the next election.

Thanks for your time and consideration,
Dan Ferraro
Nottingham Dr.

From: Bell mail

Sent: Tuesday, February 27, 2024 5:19 PM

To: Jeff Knoll <jeff.knoll@oakville.ca>; Marc Grant <marc.grant@oakville.ca>; Mayor Rob Burton <Mayor@oakville.ca>

Subject: Feedback regarding by-law amendments and Sheridan college housing area

Some people who received this message don't often get email from noelmike@sympatico.ca. [Learn why this is important](#)

Dear Mr. Burton, Mr. Grant and Mr. Knoll

We have been homeowners in the College Park area for almost thirty years. We moved into this area to enjoy a quiet family-oriented community with an abundance of school-aged children, friendly neighbours and dog walking enthusiasts. We raised our children here. Although many original owners have moved on, new families with young children are moving in, thus keeping our community aligned with its origins.

The integrity of our neighbourhood would be changed permanently with the implementation of the amendments to the current zoning in which you are in support of. Have you truly considered the impact the new Sheridan College Housing Policy Area would have on homeowners like ourselves?

We do not want our privacy taken away by a four storey structure built next to our home.

We do not want our neighbours yards and trees replaced by paved parking spaces.

We do not want the safety of neighbourhood children, seniors and dog walkers jeopardized by the increase in traffic on our crescents.

We do not want the increase in noise pollution an influx in younger people in the area could bring.

We do not want to walk by unkept, littered properties which often are a result of student occupied dwellings.

Our new splash pad should be enjoyed by children not Sheridan College students.

We are sympathetic to the need for affordable student housing but this proposed zoning change has no benefit to homeowners. It benefits Sheridan College, the City of Oakville and developers. Why has the burden of solving the student housing crisis been placed on our neighbours and ourselves?

There are other options. The city could designate land within walking distance of Sheridan College for affordable rental apartments instead of executive townhomes and luxury condominiums. Sheridan College could build additional residences on existing vacant college property. Sheridan College could reinstate their shuttle bus service to facilitate easy commuting for students thus alleviating the necessity of imposing an 800 m proximity to the college.

Finally, please add to your records that we STRONGLY OBJECT to the sudden proposed Sheridan College Housing Special Policy Area you are attempting to establish. Let it be known that we are also very disappointed that you, as elected officials, have given your support to this ill-conceived plan which will negatively impact your constituents and their families.

Please keep our small corner of Oakville liveable.

Thank you for your time and understanding.

Cheryle and Michael Noel

Nottingham Drive Sent from my iPad

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: ann ferraro

Sent: Tuesday, February 27, 2024 3:34 PM

To: Mayor Rob Burton <Mayor@oakville.ca>; Marc Grant <marc.grant@oakville.ca>; Jeff Knoll <jeff.knoll@oakville.ca>

Subject: Four Dwelling Units and Sheridan College Housing

Dear Sirs:

I am an owner stakeholder of a home located in an enclave of homes identified as College Park. We have owned our home in this neighbourhood for 35 years. We are strongly opposed to the Town of Oakville's proposed Sheridan College Housing Special Policy Area.

The proposals outlined in this policy appears to attempt to create a much higher student housing opportunity within close proximity to the Sheridan College campus totally at the expense of the homeowners within the mapped zone. If this proposal were to play out in reality as it is imagined by it's architects, then the resulting outcome would certainly mean the transition from a lovely family neighbourhood into an unliveable student ghetto. One need only visit university campuses across our country where this scenario has been permitted to occur to see what the inevitable outcome actually looks like in reality. The noise and partying; the increased police presence; the garbage; the constant littering; the total absence of any respect for the premises temporarily occupied by any of the students as well as those of their neighbours compounded with a lack of owner ability to keep up with the ensuing constant necessary repairs to internal as well as external property damages all culminates in a rapid physical and aesthetic decay impacting all properties. We are hard pressed to believe that anyone in our neighbourhood, near or far from Sheridan College, would be in favour of such a proposal or any of its authors.

What renders this proposal even more baffling is the fact that Sheridan College has the available lands located within its campus to achieve this very goal. It has the ground space to erect more new student housing and it has the foundational structure to add more floors by building upward on existing buildings. And so, this begs the question: Why? Why is this not the first thought in attempting to find the solution to student housing? Why does the Town of Oakville and Sheridan College eye its immediate neighbours and owners of single family dwellings with this proposal of disruption and ruin to

our existing family neighbourhoods? If the answer to this question is proximity; then again it begs the question: Why? Are the students incapable of walking greater distances; riding bicycles or taking the bus?

In this regard the Town of Oakville and our elected officials are exhibiting a fundamental disregard and disrespect for the long-time owners and residents of these single family dwellings and neighbourhoods. People who chose to purchase these homes by investing their life savings and move into these areas did so precisely because they were small, sheltered enclaves in neighbourhoods conducive to raising their children; knowing and recognizing the majority of their neighbours and nurturing an environment we're proud and happy to call home.

The sweeping rezoning reform of existing 40 year old single family dwelling neighbourhoods is not the manner in which to approach these housing matters.

With respect to the rezoning changes to the Livable Oakville Plan proposal; I find it interesting that this proposal again targets only specific neighbourhoods while steering clear of others with much larger and more accommodating lot sizes, i.e. South Oakville. To my eyes, this appears as a two tier representation of the interests of the residents of Oakville: if you reside in South Oakville, you and your properties are sacrosanct. If you reside elsewhere in this Town, your interests and residential homes are fair game. The message becomes very clear, our elected officials work at protecting the interests of the wealthiest homeowners among us.

For reasons outlined above in my statement, I do not support this proposal.

Further, the re-defining of long term existing family neighbourhoods only results in alienating, upsetting and angering those stakeholders.

The reduction of existing green spaces and mature trees replaced with paved surfaces to provide more room for additional parking will only contribute to the potential for more serious future flooding issues with rainwater having no absorption ability. To name only one environmental impact.

A higher density of population in an area never originally designed for such use will only result in ugly looking, quicker to run down, transient neighbourhoods. Increases in population translates into an increase in vehicular traffic and parking bringing with it risks to our children, our elderly and pets. As well as a loss of privacy and enjoyment of property for existing homeowners. Sewage, water services and hydro service were designed and put in place for R1 not R4 densities.

If four storey low rise apartments is the direction this Town would like to take, then, it should seriously look to new building permits to include provision for added residential floors to proposed strip malls, retail spaces and commercial sites. There is undeveloped land still available for achieving these housing goals. That is where the Town should be looking to making changes NOT retrofitting existing 40 year old, established single family housing neighbourhoods.

Thank you for taking the time to hear my concerns. I look forward to hearing our elected representatives speak to this issue on March 4th evening.

Sincerely,

Ann Ferraro
Nottingham Drive

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: Angela MacMillan
Sent: Wednesday, February 28, 2024 12:28 PM
To: Marc Grant <marc.grant@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Angela MacMillan

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillor,

I am writing as a constituent to urge you and every other member of Oakville Planning and Development council to **vote in favour of the proposed town-initiated Official Plan Amendments which are item 6.2 at the March 4th Oakville Planning and Development council**. In particular, I am urging you to ensure passage of the draft Official Plan Amendment and Zoning Bylaw Amendment to permit four units per property, as-of-right in Oakville.

Adding new, family-sized apartments to Oakville's existing residential lots is a necessary and effective way for Oakville Town Council to rescue much of the Halton region farmland and wildlife habitat that is currently under threat from provincially-imposed settlement boundary expansions designed to accelerate destructive sprawl in Halton Hills and Milton. Put simply, each new home that is added to Oakville's existing streets and neighbourhoods is one less home that will get pushed into our Region's remaining prime farmland, wetlands or endangered species habitat. Adding three new units to existing lowrise "neighborhood" lots - and ensuring that all of them can be built at modest "family" sizes (i.e., around 1000 square feet) is of particular importance, because it allows demand by families with children for housing on low-car-traffic streets to be met without more sprawl (and without more induced demand for motor traffic). Four-plex apartments and "garden suites" provide a different "product" that is necessary to effectively compete with environmentally-destructive sprawl development.

Adding new homes and additional residents to existing low-rise residential streets in Oakville is also a vital step towards retrofitting them for a net-zero GHG emissions future. Delivering the emissions reductions Canada needs as quickly as Canada needs them will require that communities like Oakville and regions like Halton replace most of the trips we currently take by car with public transit and active transportation like walking and cycling. That simply won't be possible with the low population densities in most low-rise Oakville neighborhoods. Oakville's residential streets need the extra residents that four-plexes (and other planning reforms) can bring in order to support shops, restaurants and public amenities within walking distance, and in order to make it cost effective for Oakville to provide frequent, reliable and direct public transit.

The current version of the four-plex bylaw is a step in the right direction. However, I do encourage you to propose and vote for amendments that actually make it practical and economically viable to add three additional family-sized units to most existing residential lots in Oakville, rather than merely removing the formal prohibition. To that end, I urge you in particular to introduce and vote for amendments that would provide in Oakville the same loosened height, depth, side-set back, and the same exemption from floor space restrictions and minimum parking requirements specific to four-plex redevelopments as the City of Toronto did with its own multiplex bylaw, in May of last year.

Finally, I would urge you, in the strongest terms, to ignore the voices of "NIMBY" groups who may be telling you it is somehow bad for "green space" or the environment to eliminate floor space restrictions and loosen height and depth requirements for four-plex homes. Environmental experts, like Environmental Defence, disagree. While ornamental trees and lawns are aesthetically pleasing, they tend to be of relatively low value for the sensitive species that are actually at risk in Oakville and Halton more broadly. Refusing to provide rules that would make four-plexes viable would destroy far more trees in absolute terms, and destroy habitats that are of

far greater ecological importance, because it would sharply reduce the number of families that we actually house in neighborhoods, displacing them into farms, wildlife habitat and even (if this Ontario government gets its way) the Greenbelt.

Sincerely,

Angela MacMillan

L6L 5K2

cc: Clerk Town Clerk

From: Alison Gemmell
Sent: Wednesday, February 28, 2024 1:08 PM
To: Ray Chisholm <ray.chisholm@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Alison Gemmell

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillor,

I am writing as a constituent to urge you and every other member of Oakville Planning and Development council to **vote in favour of the proposed town-initiated Official Plan Amendments which are item 6.2 at the March 4th Oakville Planning and Development council**. In particular, I am urging you to ensure passage of the draft Official Plan Amendment and Zoning Bylaw Amendment to permit four units per property, as-of-right in Oakville.

Adding new, family-sized apartments to Oakville's existing residential lots is a necessary and effective way for Oakville Town Council to rescue much of the Halton region farmland and wildlife habitat that is currently under threat from provincially-imposed settlement boundary expansions designed to accelerate destructive sprawl in Halton Hills and Milton. Put simply, each new home that is added to Oakville's existing streets and neighbourhoods is one less home that will get pushed into our Region's remaining prime farmland, wetlands or endangered species habitat. Adding three new units to existing lowrise "neighborhood" lots - and ensuring that all of them can be built at modest "family" sizes (i.e., around 1000 square feet) is of particular importance, because it allows demand by families with children for housing on low-car-traffic streets to be met without more sprawl (and without more induced demand for motor traffic). Four-plex apartments and "garden suites" provide a different "product" that is necessary to effectively compete with environmentally-destructive sprawl development.

Adding new homes and additional residents to existing low-rise residential streets in Oakville is also a vital step towards retrofitting them for a net-zero GHG emissions future. Delivering the emissions reductions Canada needs as quickly as Canada needs them will require that communities like Oakville and regions like Halton replace most of the trips we currently take by car with public transit and active transportation like walking and cycling. That simply won't be possible with the low population densities in most low-rise Oakville neighborhoods. Oakville's residential streets need the extra residents that four-plexes (and other planning reforms) can bring in order to support shops, restaurants and public amenities within walking distance, and in order to make it cost effective for Oakville to provide frequent, reliable and direct public transit.

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far greater ecological importance, because it would sharply reduce the number of families that we actually house in neighborhoods, displacing them into farms, wildlife habitat and even (if this Ontario government gets its way) the Greenbelt.

Sincerely,

Alison Gemmell

L6H6K2

cc: Clerk Town Clerk

Madden Blvd
Oakville, ON
L6H 3L7

Town Clerk, Clerk's Dept.
Town of Oakville
1225 Trafalgar Rd.
Oakville, ON
L6H 0H3.

To Whom It May Concern,

Thank you for the recent letter regarding the Proposed Official Plan & Zoning Bylaw Amendments, especially the Sheidan College Housing Area.

I certainly am not in favor of the amendments that allow "Four Dwelling Units / Detached Residential Properties". It is illogical to state that such changes do not influence density & all that those changes can entail - impact of property values, hood systems & traffic, noise, etc. No mention is made of the effect on property tax, demand for additional green space & recreational services, medical access, etc. It definitely could affect neighborhood density!!

Re: the Sheidan College Housing Area proposal:
I would like it noted that I would have the ability to appeal the Town's decision as I live on the boundary of the designated area (specifically 6th Line & Upper Middle). Traffic flow on 6th Line is already significant at times & Upper Middle is already used to bypass Dundas.

The proposed area is quite large. Schools
& a Church are already located on Sewell &
6th & Mc Craney & Montclair!!
Line. Children's safety must be safeguarded.

"Medium density" is not what most home
owners in this well established community.

I would like to be notified of the decision
of the Town of Oakville on this matter. I
fear property values will once again be im-
pacted.

Sincerely,

Bernice Schneider -

From: Brian Nichol
Sent: Wednesday, February 28, 2024 1:24 PM
To: Marc Grant <marc.grant@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Brian Nichol

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillor,

I am writing as a constituent to urge you and every other member of Oakville Planning and Development council to **vote in favour of the proposed town-initiated Official Plan Amendments which are item 6.2 at the March 4th Oakville Planning and Development council**. In particular, I am urging you to ensure passage of the draft Official Plan Amendment and Zoning Bylaw Amendment to permit four units per property, as-of-right in Oakville.

Adding new, family-sized apartments to Oakville's existing residential lots is a necessary and effective way for Oakville Town Council to rescue much of the Halton region farmland and wildlife habitat that is currently under threat from provincially-imposed settlement boundary expansions designed to accelerate destructive sprawl in Halton Hills and Milton. Put simply, each new home that is added to Oakville's existing streets and neighbourhoods is one less home that will get pushed into our Region's remaining prime farmland, wetlands or endangered species habitat. Adding three new units to existing lowrise "neighborhood" lots - and ensuring that all of them can be built at modest "family" sizes (i.e., around 1000 square feet) is of particular importance, because it allows demand by families with children for housing on low-car-traffic streets to be met without more sprawl (and without more induced demand for motor traffic). Four-plex apartments and "garden suites" provide a different "product" that is necessary to effectively compete with environmentally-destructive sprawl development.

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Sincerely,

Brian Nichol

L6M 4N7

cc: Clerk Town Clerk

From: Bev Kennedy
Sent: Wednesday, February 28, 2024 12:46 PM
To: Janet Haslett-Theall <janet.haslett-theall@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Bev Kennedy

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Sincerely,

Bev Kennedy

L6J6M9

This needs to be coordinated with older builds and question the exclusion of Mid and high rise condos from past Mrcam green home initiatives as well as Ford governments push back on energy link up that undermine environmental and it also has to be understood that none of these items happen magically overnight as well as how jurisdictional excuses make it harder to coordinate and deliver with consistency and provide excuses not to

cc: Clerk Town Clerk

From: Bob Downey
Sent: Wednesday, February 28, 2024 12:58 PM
To: Ray Chisholm <ray.chisholm@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Bob Downey

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Sincerely,

Bob Downey

L6H 2G9

cc: Clerk Town Clerk

From: Catherine Vasilaros
Sent: Wednesday, February 28, 2024 1:58 PM
To: Natalia Lishchyna <natalia.lishchyna@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Catherine Vasilaros

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Sincerely,

Catherine Vasilaros

L6K 1K5

cc: Clerk Town Clerk

From: Catherine Smith
Sent: Wednesday, February 28, 2024 12:46 PM
To: Natalia Lishchyna <natalia.lishchyna@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Catharine Smith

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Sincerely,

Catherine Smith

L6M 2X2

cc: Clerk Town Clerk

From: cynthia ferrier
Sent: Wednesday, February 28, 2024 12:20 PM
To: Natalia Lishchyna <natalia.lishchyna@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Cynthia Ferrier

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Dear Councillor,

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Sincerely,

cynthia ferrier

L6L1J4

cc: Clerk Town Clerk

From: Charlene Fausto
Sent: Wednesday, February 28, 2024 12:50 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Charlene Fausto

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Sincerely,

Charlene Fausto

L6M3R8

cc: Clerk Town Clerk

From: Dan Ferraro

Sent: Tuesday, February 27, 2024 12:16 PM

To: Marc Grant <marc.grant@oakville.ca>; Jeff Knoll <jeff.knoll@oakville.ca>; mayo@oakville.ca; Town Clerks <TownClerk@oakville.ca>

Subject: Sheridan College Housing Area and Proposed By-Law Amendments

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning all: I'm a 35 yr. resident of the area described as "Sheridan College Housing Area" and the following is my response to the proposed by-law amendments that will have a very detrimental effect on my home and family.

1. When we moved to our current home, one of the attractions was the closed nature of the subdivision. An enclave of single family dwellings with traffic limited (primarily) to the residents of the subdivision was a featured selling point of our home. Our collective ability to raise a family without undue fear of traffic, trucks, and strangers helped to develop the nature and character of our subdivision. Either of these proposed zoning changes will fundamentally change our daily lives.
2. The financial impact on current home owners will be devastating. As the inevitable student ghetto develops the impact on property values will be significant. For those that have paid off their mortgage, the equity in their home acts as an anchor for their retirement and financial planning. Whatever they thought they had in equity in their property will be severely diminished and their retirement plans will be devastated. For those that are paying off their mortgage, raising their kids and paying their taxes, they will wake up one day to the sounds of a new construction project next door and find that their property value has sunk accordingly. They'll be over-mortgaged on a house without the value that they were planning on. Banks don't like that and neither do home owners.
3. The student ghetto problem is real and should not be diminished in any way. We've already seen the impact of too many rental units in our subdivision. Renters do not maintain their properties to the same degree as owners. Lawns don't get cut and maintenance projects always seem to be on the back burner. Fortunately this problem has somewhat rectified itself and some of those rental homes are now owner occupied. However, this historical perspective has had the effect of reducing home values in our subdivision already. Our homes do not have equal value to similar homes in other parts of Oakville. Any parent with a child that has gone to University is fully aware of what a student ghetto is, what it looks like and how it reflects on the town that it is located in.
4. Green spaces are important. Every home in our neighbourhood has a tree in front of it and many have them in their back yards. Every home has a front and back yard -all green spaces. When a four-storey building goes up trees go down - there's just no way around it. In addition, parking pads and increased street parking will become the norm. We currently restrict this type of vehicle storage because it's unsightly and dangerous for children.

5. Other options to provide student housing and other higher density housing are available to consider. There is no shortage of space on campus for additional dorms or expansion of existing dormitories. The undeveloped land north of Dundas on Trafalgar could be used for this purpose. Access to the campus could easily be provided for by public transit, a short bus ride down Trafalgar doesn't seem unreasonable.

6. The Housing Accelerator Fund is just that. A **rush** to solve a problem without consideration of other issues. Let's not be part of a poorly thought out change to our Livable Oakville Plan. Let's continue to solve our housing problems through long term, thoughtful planning and not chase government dollars that might not even be available after the next election.

Thanks for your time and consideration,
Dan Ferraro
Nottingham Dr.

From: Daniela Jansson
Sent: Wednesday, February 28, 2024 2:42 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Daniela Jansson

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillor,

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Adding new homes and additional residents to existing low-rise residential streets in Oakville is also a vital step towards retrofitting them for a net-zero GHG emissions future. Delivering the emissions reductions Canada needs as quickly as Canada needs them will require that communities like Oakville and regions like Halton replace most of the trips we currently take by car with public transit and active transportation like walking and cycling. That simply won't be possible with the low population densities in most low-rise Oakville neighborhoods. Oakville's residential streets need the extra residents that four-plexes (and other planning reforms) can bring in order to support shops, restaurants and public amenities within walking distance, and in order to make it cost effective for Oakville to provide frequent, reliable and direct public transit.

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far greater ecological importance, because it would sharply reduce the number of families that we actually house in neighborhoods, displacing them into farms, wildlife habitat and even (if this Ontario government gets its way) the Greenbelt.

Sincerely,

Daniela Jansson

L6K 2Z6

Our children and grandchildren need leadership that thinks seven generations into the future. Please keep them in mind when you make decisions. Many thanks!

cc: Clerk Town Clerk

From: Debra Olguin
Sent: Wednesday, February 28, 2024 1:16 PM
To: Marc Grant <marc.grant@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Debra Olguin

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far greater ecological importance, because it would sharply reduce the number of families that we actually house in neighborhoods, displacing them into farms, wildlife habitat and even (if this Ontario government gets its way) the Greenbelt.

Sincerely,

Debra Olguin

L6M 4C8

cc: Clerk Town Clerk

From: Elinor Hawke-Szady
Sent: Wednesday, February 28, 2024 1:34 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Elinor Hawke-Szady

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far greater ecological importance, because it would sharply reduce the number of families that we actually house in neighborhoods, displacing them into farms, wildlife habitat and even (if this Ontario government gets its way) the Greenbelt.

Sincerely,

Elinor Hawke-Szady

L6K 3R6

There is no such thing as affordable housing in Oakville and there needs to be. The average single person with no children making less than \$100,000 a year cannot afford to buy a home here.

cc: Clerk Town Clerk

From: heather donaldson
Sent: Wednesday, February 28, 2024 1:52 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Heather Donaldson

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Sincerely,

heather donaldson

L6H 6J3

cc: Clerk Town Clerk

From: Ian Johnson
Sent: Wednesday, February 28, 2024 2:00 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Ian Johnson

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Dear Councillor,

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Sincerely,

Ian Johnson

L6K1A6

cc: Clerk Town Clerk

From: Jim Hemphill
Sent: Wednesday, February 28, 2024 12:22 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Jim Hemphill

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Sincerely,

Jim Hemphill

L6L 3J4

I am worried that this doesn't increase on street parking. It will require increased bus services.

cc: Clerk Town Clerk

From: Judith Tyson
Sent: Wednesday, February 28, 2024 12:58 PM
To: David Gittings <david.gittings@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Judith Tyson

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Sincerely,

Judith Tyson

L6M4S2

I support this motion for Sustainable Homes. Fourplexes could permit more people to qualify for home ownership by living in the property with tenant income to help pay the mortgage. It could reduce the size and number of highrises. Existing lowrise neighbourhoods have infrastructure like transit, food, services, schools. It diversifies the investor pool from big developers, who delay new building for higher profit margins. Fourplexes retain a friendlier, neighbourhood profile than highrises, and promote social connection. Finally, they diversify incomes and demographics within a community. Regards Judy Tyson

cc: Clerk Town Clerk

From: Jo Ann Morello
Sent: Wednesday, February 28, 2024 12:58 PM
To: Natalia Lishchyna <natalia.lishchyna@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Jo Ann Morello

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far greater ecological importance, because it would sharply reduce the number of families that we actually house in neighborhoods, displacing them into farms, wildlife habitat and even (if this Ontario government gets its way) the Greenbelt.

Sincerely,

Jo Ann Morello

L6H 6B2

cc: Clerk Town Clerk

From: Kathy Mason
Sent: Wednesday, February 28, 2024 2:14 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Kathy Mason

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Sincerely,

Kathy Mason

L6J2G8

cc: Clerk Town Clerk

From: Lisa Wallace
Sent: Wednesday, February 28, 2024 12:18 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Lisa Wallace

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Sincerely,

Lisa Wallace

L6J 4S3

cc: Clerk Town Clerk

From: Linda Smart
Sent: Wednesday, February 28, 2024 12:40 PM
To: Marc Grant <marc.grant@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Linda Smart

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Sincerely,

Linda Smart

L6H 4Z2

cc: Clerk Town Clerk

From: Lou Lord
Sent: Wednesday, February 28, 2024 2:16 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Lou Lord

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Sincerely,

Lou Lord

L6J 4G7

High time we go up rather than out. I can just imagine the look on the faces of the South East Oakvillians when this is adopted !

cc: Clerk Town Clerk

From: Lynne Kropman
Sent: Wednesday, February 28, 2024 12:18 PM
To: Marc Grant <marc.grant@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Lynne Kropman

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Sincerely,

Lynne Kropman

L6L 6L2

cc: Clerk Town Clerk

From: Linda Jaklich
Sent: Wednesday, February 28, 2024 1:30 PM
To: Natalia Lishchyna <natalia.lishchyna@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Linda Jaklich

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Sincerely,

Linda Jaklich

L6h 4w9

cc: Clerk Town Clerk

From: lawrence falconer
Sent: Wednesday, February 28, 2024 3:01 PM
To: Town Clerks
Subject: Zoning By-law Amendment and Sherian College Housing Area Special Policy 42.15.62 42.15.63 Ward 1-7
Attachments: Trafalgar Corridor By- Law Zoning Amendment.28Feb2024.docx

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Afternoon,

Please find attached my input with respect to the above-noted zoning amendment.

I wish to attend the meeting on March 4th 2024.

Lawrence Falconer

Freeman Crescent

Oakville On L6H 4R3

28th February 2024

To: Oakville Town Council

**RE: Proposed Official Plan and Zoning By-Law Amendment,
Town-Wide and Sheridan College Housing Area Special Policy
Area.**

42.15.62 and 42.15.63, Ward 1-7

I have two major concerns regarding the above Zoning By-Law Amendments affecting the area where my wife and I live and jointly own a real estate residential property.

1st CONCERN

What I can discern from the proposed changes is that we can expect to see changes in the **frontages** of residential single dwelling properties most notably as they are modified to accommodate the increased occupancy level.

Driveways will be **widened**.

More cars will be visible. **More roadside parking** will become evident

Extra Walkways will be introduced alongside the houses.

More wear and tear on the property will occur due to increased population density over and above what was originally intended.

As to the **rear view** of the affected properties, we will see surrounding us from our rear and side upper level windows :

- **New structures** where previously the view was our neighbours' gardens
- **Reduced care of gardens** as properties are re-orientated toward student accommodation.

ALSO

Whole neighbourhoods consisting at present of Detached Residential Properties will acquire a **less attractive look** as 4-storey buildings are erected. The overall appearance of such areas will be **degraded**.

Under the new by-law can we expect to see our neighborhood houses **BULLDOZED AND REPLACED WITH 4 STOREY APARTMENT STYLE BUILDINGS? IF YES, THEN THIS IS UNACCEPTABLE IN MY VIEW.**

2ND CONCERN

As a result of the new zoning by-law amendment it seems obvious to me that the **market value** of the residential property-owners houses **will decline** within the affected areas and to those houses in the vicinity. The market values will **fail to increase** at the same rate as those in the non-proximate areas.

ARE HOMEOWNERS AFFECTED IN THIS WAY TO BE COMPENSATED FOR SUCH DECLINES IN MARKET VALUE? IF NOT, THEN WHY NOT?

WHY SHOULD WE NOT SUE FOR THE DECLINE IN MARKET VALUE?

QUESTIONS

1. Why are affected homeowners and those in the nearby vicinities not given a chance **to VOTE** on these decisions? Not just given the option to comment through submissions to the council.
2. Why are the **existing zoning bylaws** not disclosed in the communication regarding the proposed amendment. You are expecting the public to make informed comments or input on the proposal aren't you?
3. Why are no **pictorial illustrations** provided to inform affected homeowners and nearby neighbours of what their residential and commercial areas may look like with the passage of time?
4. Why is there such a thing as the Sheridan College Housing Area Special Policy Area. It's not a law but simply a policy that has wide significant

effect on local homeowners. Why does it require lifting of zoning restrictions to the detriment of homeowners?

5. Does not the college have space to erect **more halls of residence** for students **on its own campus** or acquire space **elsewhere at appropriate locations** and to do so without penalizing the local residents by re-zoning their residential areas?

Recommendation

Retain the existing Zoning By-Law with allowance for limited number of student lodgings and room rentals subject to the existing statutory requirements. This, in addition to Sheridan College's development of additional halls of residence on their own existing land, should be

sufficient to meet the requirements of the Sheridan College Housing Special Policy Area.

Specifically, in our neighbourhood, we ask that you retain the existing Zoning bylaw RL 5.0 (Residential Low) for the homes on the south and west side of White Oaks Boulevard that extend from Huron St. to Erin St. and to the north juncture of White Oaks Boulevard with Trafalgar Road.

I wish to attend the meeting on March 4th 2024

Respectfully, Lawrence Sidney Falconer

joint owner and resident of the following property for over 30 years:

Freeman Crescent. OAKVILLE ON L6H 4R3

Dated 28th February 2024

From: Laraine Bowen
Sent: Wednesday, February 28, 2024 1:46 PM
To: Peter Longo <peter.longo@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Laraine Bowen

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far greater ecological importance, because it would sharply reduce the number of families that we actually house in neighborhoods, displacing them into farms, wildlife habitat and even (if this Ontario government gets its way) the Greenbelt.

Sincerely,

Laraine Bowen

L6H 2B5

cc: Clerk Town Clerk

From: Margaret Turpin
Sent: Wednesday, February 28, 2024 2:28 PM
To: Jonathan McNeice <jonathan.mcneice@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Margaret Turpin

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillor,

I am writing as a constituent to urge you and every other member of Oakville Planning and Development council to **vote in favour of the proposed town-initiated Official Plan Amendments which are item 6.2 at the March 4th Oakville Planning and Development council**. In particular, I am urging you to ensure passage of the draft Official Plan Amendment and Zoning Bylaw Amendment to permit four units per property, as-of-right in Oakville.

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Sincerely,

Margaret Turpin

L6H1N7

cc: Clerk Town Clerk

From: Melissa Tervit
Sent: Wednesday, February 28, 2024 1:20 PM
To: Janet Haslett-Theall <janet.haslett-theall@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Melissa Tervit

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Sincerely,

Melissa Tervit

L6H 6N7

cc: Clerk Town Clerk

From: Mary Rose
Sent: Wednesday, February 28, 2024 12:30 PM
To: Natalia Lishchyna <natalia.lishchyna@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Mary Rose

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Dear Councillor,

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Sincerely,

Mary Rose

L6H 3L9

cc: Clerk Town Clerk

From: Millennial Millennial

Sent: Thursday, February 29, 2024 9:26 AM

To: Tom Adams <tom.adams@oakville.ca>; Scott Xie <scott.xie@oakville.ca>; Nav Nanda <nav.nanda@oakville.ca>; Town Clerks <TownClerk@oakville.ca>

Subject: Affordable Place to Live

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Town Council,

As a young resident deeply invested in our town's future, I urge you to reconsider the current proposals to increase housing density. While the allure of federal funding is undeniable, our focus should diverge towards creating sustainable, high-rise affordable apartments on Sheridan Campus.

Our lives as students revolve around studying and socializing. Having affordable housing options directly on campus could significantly enhance our educational experience, fostering a stronger sense of community and making our day-to-day logistics much more manageable.

The proposal to convert single-family homes into multi-unit dwellings or to push for four-story buildings near Sheridan overlooks a crucial opportunity to directly address the housing needs of students. By voting down these proposals and instead advocating for high-rise student accommodations on campus, we can ensure a balanced approach to development that respects the character of our town while meeting the genuine needs of its younger residents.

Let's prioritize solutions that truly reflect the needs of all community members, especially those of us whose voices are often overshadowed.

Sincerely,

Mollie M

Millennial Podcast

Franca Piazza

From:
Sent: Wednesday, February 28, 2024 9:43 AM
To: Town Clerks
Subject: Sheridan College Housing Amendments

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern:

We want to express our deep concern and absolute lack of support for the Proposed Official Plan and Zoning By-law Amendments Town-wide and specifically, the Sheridan College Housing Area Special Policy Area Town-initiated Zoning By-law amendments.

We have lived on Queensbury Crescent, College Park for over 30 years. The houses were built as single-family dwellings according to the Town of Oakville's development plan. Home owners have taken pride in their upkeep, and have shown respect for the family community of Oakville, its bylaws, the green spaces, and the well-being of our children and our elderly residents.

Sadly, we have seen a loss in the above stated values and particularly, the blatant disregard of bylaws by absentee landlords and their move to make single family dwellings into multiple rental units. This has resulted in poor property upkeep, parking issues on the street and boulevard, increase of rat activity, lack of snow removal on sidewalks, no lawn care (front and back), noise violations, and speeding cars. Bylaw officers have responded multiple times to complaints by various neighbours living on Queensbury Crescent and Martindale Avenue.

Please keep College Park safe, green, and family oriented as it has been since its development. Changing the housing zoning bylaws for College Park will ruin a subdivision that Oakville has been proud to call its own.

Sincerely,
Mark and Cheryl Baber
Queensbury Cres.
Oakville, ON
L6H 4G6

From: Soraya Parak
Sent: Wednesday, February 28, 2024 12:22 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Soraya Parak

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

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Sincerely,

Soraya Parak

L6M 5G3

cc: Clerk Town Clerk

From: Roger Paiero
Sent: Wednesday, February 28, 2024 12:48 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Roger Paiero

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Dear Councillor,

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Sincerely,

Roger Paiero

L6H 1H8

cc: Clerk Town Clerk

From: Russell Kemp
Sent: Wednesday, February 28, 2024 1:34 PM
To: Scott Xie <scott.xie@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Russell Kemp

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Dear Councillor,

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Sincerely,

Russell Kemp

l6l5v1

cc: Clerk Town Clerk

From: Robert Coupland
Sent: Wednesday, February 28, 2024 1:06 PM
To: Ray Chisholm <ray.chisholm@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Robert Coupland

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Dear Councillor,

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Sincerely,

Robert Coupland

L6h2R8

cc: Clerk Town Clerk

From: Patricia Campbell
Sent: Wednesday, February 28, 2024 12:26 PM
To: Ray Chisholm <ray.chisholm@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Patricia Campbell

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillor,

I am writing as a constituent to urge you and every other member of Oakville Planning and Development council to **vote in favour of the proposed town-initiated Official Plan Amendments which are item 6.2 at the March 4th Oakville Planning and Development council**. In particular, I am urging you to ensure passage of the draft Official Plan Amendment and Zoning Bylaw Amendment to permit four units per property, as-of-right in Oakville.

Adding new, family-sized apartments to Oakville's existing residential lots is a necessary and effective way for Oakville Town Council to rescue much of the Halton region farmland and wildlife habitat that is currently under threat from provincially-imposed settlement boundary expansions designed to accelerate destructive sprawl in Halton Hills and Milton. Put simply, each new home that is added to Oakville's existing streets and neighbourhoods is one less home that will get pushed into our Region's remaining prime farmland, wetlands or endangered species habitat. Adding three new units to existing lowrise "neighborhood" lots - and ensuring that all of them can be built at modest "family" sizes (i.e., around 1000 square feet) is of particular importance, because it allows demand by families with children for housing on low-car-traffic streets to be met without more sprawl (and without more induced demand for motor traffic). Four-plex apartments and "garden suites" provide a different "product" that is necessary to effectively compete with environmentally-destructive sprawl development.

Adding new homes and additional residents to existing low-rise residential streets in Oakville is also a vital step towards retrofitting them for a net-zero GHG emissions future. Delivering the emissions reductions Canada needs as quickly as Canada needs them will require that communities like Oakville and regions like Halton replace most of the trips we currently take by car with public transit and active transportation like walking and cycling. That simply won't be possible with the low population densities in most low-rise Oakville neighborhoods. Oakville's residential streets need the extra residents that four-plexes (and other planning reforms) can bring in order to support shops, restaurants and public amenities within walking distance, and in order to make it cost effective for Oakville to provide frequent, reliable and direct public transit.

The current version of the four-plex bylaw is a step in the right direction. However, I do encourage you to propose and vote for amendments that actually make it practical and economically viable to add three additional family-sized units to most existing residential lots in Oakville, rather than merely removing the formal prohibition. To that end, I urge you in particular to introduce and vote for amendments that would provide in Oakville the same loosened height, depth, side-set back, and the same exemption from floor space restrictions and minimum parking requirements specific to four-plex redevelopments as the City of Toronto did with its own multiplex bylaw, in May of last year.

Finally, I would urge you, in the strongest terms, to ignore the voices of "NIMBY" groups who may be telling you it is somehow bad for "green space" or the environment to eliminate floor space restrictions and loosen height and depth requirements for four-plex homes. Environmental experts, like Environmental Defence, disagree. While ornamental trees and lawns are aesthetically pleasing, they tend to be of relatively low value for the sensitive species that are actually at risk in Oakville and Halton more broadly. Refusing to provide rules that would make four-plexes viable would destroy far more trees in absolute terms, and destroy habitats that are of

far greater ecological importance, because it would sharply reduce the number of families that we actually house in neighborhoods, displacing them into farms, wildlife habitat and even (if this Ontario government gets its way) the Greenbelt.

Sincerely,

Patricia Campbell

l6l1x7

cc: Clerk Town Clerk

From: Natalie Musallam Stevens
Sent: Wednesday, February 28, 2024 12:36 PM
To: Natalia Lishchyna <natalia.lishchyna@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 -Natalie Musallam

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillor,

I am writing as a constituent to urge you and every other member of Oakville Planning and Development council to **vote in favour of the proposed town-initiated Official Plan Amendments which are item 6.2 at the March 4th Oakville Planning and Development council**. In particular, I am urging you to ensure passage of the draft Official Plan Amendment and Zoning Bylaw Amendment to permit four units per property, as-of-right in Oakville.

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Sincerely,

Natalie Musallam Stevens

L6K 3R5

cc: Clerk Town Clerk

From: Nancy Brooks
Sent: Wednesday, February 28, 2024 1:26 PM
To: Marc Grant <marc.grant@oakville.ca>
Cc: Town Clerks <TownClerk@oakville.ca>
Subject: Vote for Item 6.2 - Nancy Brooks

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillor,

I am writing as a constituent to urge you and every other member of Oakville Planning and Development council to **vote in favour of the proposed town-initiated Official Plan Amendments which are item 6.2 at the March 4th Oakville Planning and Development council**. In particular, I am urging you to ensure passage of the draft Official Plan Amendment and Zoning Bylaw Amendment to permit four units per property, as-of-right in Oakville.

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Sincerely,

Nancy Brooks

L6H 5E9

cc: Clerk Town Clerk

From: alan mclaren
Sent: Thursday, February 29, 2024 10:50 AM
To: Rob Burton; Jonathan McNeice; Sean O'Meara; Ray Chisholm; Cathy Duddeck; David Gittings; Janet Haslett-Theall; Peter Longo; Allan Elgar; Marc Grant; Jeff Knoll; Natalia Lishchyna; Tom Adams; Scott Xie; Nav Nanda; Town Clerks
Subject: Sheridan College Housing Area Special Policy Motions
Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I want to express my vehement disagreement with the two motions before you for College Park and the rest of Oakville.

Respectfully, your short-term thinking to secure 36 Million has the potential to turn college park into a Student Ghetto and the rest of our city into a mishmash of 6 car driveways and traffic.

And if you think the survey will help with your due diligence - it demonstrates your bias in checking the box on a public consultation. The leading questions you asked are NOT representative of a consultation, they are a confirmation of a decision you have already made.

We will remember this at the ballot box.

Alan McLaren
L6H 5J9

From: Dennis Gasparotto
Sent: Friday, March 1, 2024 10:24 AM
To: Town Clerks
Subject: Presentation submission
Attachments: Sheridan Housing Area – Special policy area.pptx

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Brad,

Please find attached my presentation submission for the March 4th virtual public meeting regarding The Sheridan Housing Area - Special Policy area.

Please confirm receipt.

Thank you
Dennis Gasparotto
Queensbury Crescent, Oakville, ON L6H 4G4

SHERIDAN HOUSING AREA – SPECIAL POLICY AREA

Statutory Public Meeting Item 6.2 March 4
2024

College Park resident response

College Park

- Many residents living in this community for decades. Pay taxes, law abiding , safe community
- Family oriented. Detached homes
- Some homes have rental units already housing students and others
- Parking is not permitted on streets during the week and 3 hour limit at other times.
- Traffic is not an issue currently however with traffic increasing on Upper Middle road access in and out of College park is affected
- College Park is a close knit community we know each other and we care for one another. We work, we play we enjoy our neighbourhood and we contribute to a “Liveable” Oakville.

College Park Impact Statement

- We recognize the housing crisis we are in. International students need housing.
- Already have several houses in College Park with units being rented now. Ie basement apartments and rental units...BUT
- We are NOT in favour of the “Special Policy Area” to include our specific neighbourhood to allow for *Large MDU and FOUR storey buildings.
- Essentially removing detached homes to construct Large MDU and FOUR storey buildings right next to homes **WILL**; Drastically alter the living environment we have worked hard to build in our neighbourhood. Home environment, privacy and safety, parking and critical traffic flow (emergency response), noise, extraneous lighting, privacy concerns, property valuation, and environmental concerns (canopy removal, drainage etc),construction mayhem
- This is NOT “Liveable Oakville”

* Refers to muti-storey or four story MDU complexes. These structures are larger than those outlined in the Online Survey ie. Multi-storey MDU buildings (beyond those detailed in the Online Survey)

Alternatives and Requests

- There appears to be plenty of land right on Sheridan campus property and other city owned land or commercial land which should be considered to construct larger structures to house students
- The College Park residents are requesting that the portion which includes Large MDU and FOUR storey structures to be not permitted in College Park residential areas where detached homes currently exist.
- Again we recognize the urgent need for housing but allowing FOUR storey buildings and larger MDU in place of current detached homes is not something that can be justified in our neighbourhood.

From: Doug Hanson
Sent: Thursday, February 29, 2024 6:09 PM
To: Town Clerks
Subject: Comments Regarding Proposed Amendments Sheridan College Housing Area
Attachments: Sheridan Housing.docx

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To the Attention of the Oakville Town Clerk

Please find attached my comments regarding the Proposed By-Law Amendments for the Town-Wide and Sheridan College Housing Area Special Policy Area.

Thank you for reviewing my comments and passing them on to the appropriate Planning Staff.

Regards,
Doug Hanson

Pallatine Drive
Oakville

Sheridan College Housing Area Special Policy Area

To: Mayor, Council Members, Appropriate Town Staff

From: **Douglas Hanson**

I would like to submit my comments regarding the changes to the Zoning By-Law Amendments as proposed in the Town-wide and Sheridan College Housing Area Special Policy Area.

Description of My Neighbourhood: **Pallatine Drive**

The neighbourhood is made of an assortment of housing styles. From Bungalows, Back-split Semis, Two Story Semis, and Detached Two Story Homes. Most all are single family homes with some college student rentals. **This** Community is home from families with small children to retirees. It is a quiet, safe, and peaceful environment.

With many schools and playgrounds nearby, it is an idyllic place to raise families and enjoy one's retirement.

The residential street is 23 feet wide, two lanes wide with a deep ditch on both sides with no curbs or sidewalks.

Other than garages and garden sheds, there are no added dwellings on the properties.

All the homes are landscaped surrounded by a large mature tree canopy.

This Community has existed for 50 years

The Proposed Addition of Added Dwellings to the Side of Existing Homes:

There is no room on the existing Lot Size to accommodate an added dwelling that could be considered as suggested and outlined in your Survey Options. The existing Lots Sizes simply do not allow that space.

In addition, there would be no additional parking available to accommodate the proposed increase in tenancy.

Those current homes that have additional rooms currently used for rental do not have sufficient parking space resulting in streetside parking.

The Proposal to Allow 4 Story Apartment/Condo Dwellings:

As I understand the Proposal, these suggested sized dwellings would extend over and be confined to cover 3 current Lots. This would dramatically alter the look, feel, and enjoyment of the area.

Here are some reasons why this proposed Amendment to the existing By-Laws **should NOT go forward**:

1. The proposed 4 story dwellings could house 15 – 20 units. It would require parking either underground or on the Lot surface. Just ONE of these structures would dramatically increase the volume of traffic at all hours of the day as tenants come and go to work, schools, or colleges.
2. The infrastructure of the entire street would have to be upgraded to accommodate the not just ONE of these 4 story Dwellings, but several.
3. Traffic volume would dramatically increase to unpredicted numbers.
4. With added traffic in a small area and street, noise levels and more importantly safety to older retired adults with mobility problems and small children would dramatically increase.
5. **There are 4 school campuses in this area within walking distance** of those who live in the area with school-age children. The surrounding streets are already overrun with school buses and cars as they transport students to and from school. In addition, many parents park on the side residential streets as they drop off, walk them to school, and return in the afternoon to pick them up.
6. The additional volume of traffic created by these apartment size structures would be climatic.
7. If these Amendments go through, there will be tremendous pressure **by Developers** on existing home-owners to sell their properties. No one desires the continual harassment that would follow such a decision. Even today, I personally receive 2 – 3 phone

calls and door knocks from Real Estate Agents trying to get me to sell my **Home**.

8. This would be extremely disruptive to existing Home Owners. And, if it turns out that one does sell, the pressure on their neighbours to sell the adjacent lots so they could build 4 story structures would be unsettling.
9. In a quiet Community where all are neighbourly and help each other, this could cause friction and distrust amongst those who do not intend to sell no matter what.
10. Property Values will decline. NO perspective buyer will want to buy a house surrounded by 4 story structure. The curb appeal and esthetics will be gone. Many current home owners have upgraded their driveways, curbing and landscape.
11. The government is providing funding to build AFFORDABLE homes. None of these apartments/condos will be affordable. The current average rent in Oakville for a 1-bedroom apartment is \$2,419 and a 2-bedroom is \$3193. The average student or new-comer cannot afford these prices.
12. **Environmental** concerns. Rebuilding the road, gas, water, and electric infrastructure to support the proposed amendments would cause considerable time and disruption to the landscape. I have 3 large mature Maple Trees in my backyard which would be lost if an apartment building were built on my current property.
This would occur on all lots similarly effected causing significant loss of the tree canopy.

In closing, this proposal to amend the current By-Laws is not conducive to this neighbourhood for the reasons outlined above. This is an established mature neighbourhood surrounded by long established schools and churches.

The community is home to retirees as well to young families with school-age children.

Like all the communities within this area, members retire and move away, and new young families move in to begin their families and their lives.

THE CYCLE OF LIFE OF A COMMUNITY CONTINUES

From: Deepak Kapoor
Sent: Thursday, February 29, 2024 2:25 PM
To: Town Clerks
Subject: Appeal of Decision Regarding Changes to Zoning By-law for Sheridan College Housing Area

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Team,

I hope this email finds you well. I am writing to formally appeal the recent decision made by the Town of Oakville regarding changes to the Zoning By-law for the Sheridan College housing area.

As a resident and stakeholder in the community, I am deeply concerned about the implications of the decision and its potential impact on the surrounding neighborhood. The proposed changes raise several important issues that warrant further consideration and discussion.

Firstly, the density and scale of the proposed housing developments could have significant effects on traffic congestion, parking availability, and overall neighborhood character. Without adequate planning and infrastructure improvements, these developments may strain existing resources and diminish the quality of life for residents in the area.

Additionally, I am troubled by the lack of community input and consultation in the decision-making process. It is essential that residents have the opportunity to provide feedback and express their concerns about developments that directly affect their lives and surroundings. Transparency and inclusivity are fundamental principles of good governance, and I urge the Town to prioritize meaningful engagement with all stakeholders going forward.

Furthermore, I believe there may have been oversights or inaccuracies in the assessment of the proposed changes and their potential impacts.

It is essential that decisions regarding zoning and land use are based on thorough research, analysis, and consideration of all relevant factors. I respectfully request that the Town revisits the decision and conducts a comprehensive review to ensure that it aligns with the best interests of the community.

In conclusion, I urge you to reconsider the recent decision regarding changes to the Zoning By-law for the Sheridan College housing area. By addressing the concerns raised by residents and stakeholders and fostering a more inclusive and transparent decision-making process, we can work together to create a vibrant and sustainable community for current and future generations.

Thank you for your attention to this matter. I look forward to your response and to the opportunity to participate in further discussions on this important issue.

Best,
Deepak
Erin St resident

From: Darko Radman
Sent: Thursday, February 29, 2024 2:09 PM
To: Town Clerks <TownClerk@oakville.ca>
Subject: Sheridan College Housing Area

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern,

Our family does not agree with proposed Sheridan College Housing Area Special Policy. We believe this would impact our neighbourhood in a negative way and will destroy community that we now have, along with a look and appeal that currently is.

Below is the letter I have sent to Mr. Knoll and Mr. Grant to voice my displeasure.

If you require any other action and/or clarification on my part, please let me know.

Regards,

Darko Radman
Martindale Avenue

Dear Mr. Knoll and Mr. Grant,

I am a resident in the College Park area that Sheridan College Housing Area will impact. Regardless of how phrased this proposal is, the bottom line is that overcrowding our neighbourhood is not something that any of us would enjoy. The whole reason for buying house in this area is to enjoy quite and not populated neighborhood. How would you feel if someone builds 4 storeys housing on each side of your home? Essentially this is what you are proposing. How would that even look? 4 storeys housing - single detached home -4 storeys housing, because I don't want to sell my house? How is that even esthetically pleasing?

Having a blanket policy to let anyone do whatever they want leads to anarchy.

Never mind about services, transportation, crime, parking, etc.

I urge you not to proceed with this proposal. If housing is needed for Sheridan College, Sheridan College should build a residence for students, they have enough land to do so.

Regards,

Darko Radman

Darko Radman
IT Services Coordinator
Information Technology

The logo for Sheridan College, featuring the word "Sheridan" in a blue, serif font.

From: Eric Genier
Sent: Thursday, February 29, 2024 11:06 PM
To: Town Clerks
Subject: Public Hearing March 4 Delegation Item 6.2
Attachments: Why 4 As Of Right Might Be Nice.pptx

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Eric Génier

Hearing item 6.2

Why 4 As Of Right Might Help

By a couple of young people

Meet Cullen

- Moved to Oakville in 2021 to continue schooling in person after Covid-19
- Has graduated from Sheridan College in April 2023
- Currently still lives in Oakville
- Pays \$394 for rent
- Sounds pretty reasonable

This is the size of his room



His Room...

-About 8 by 12 feet.

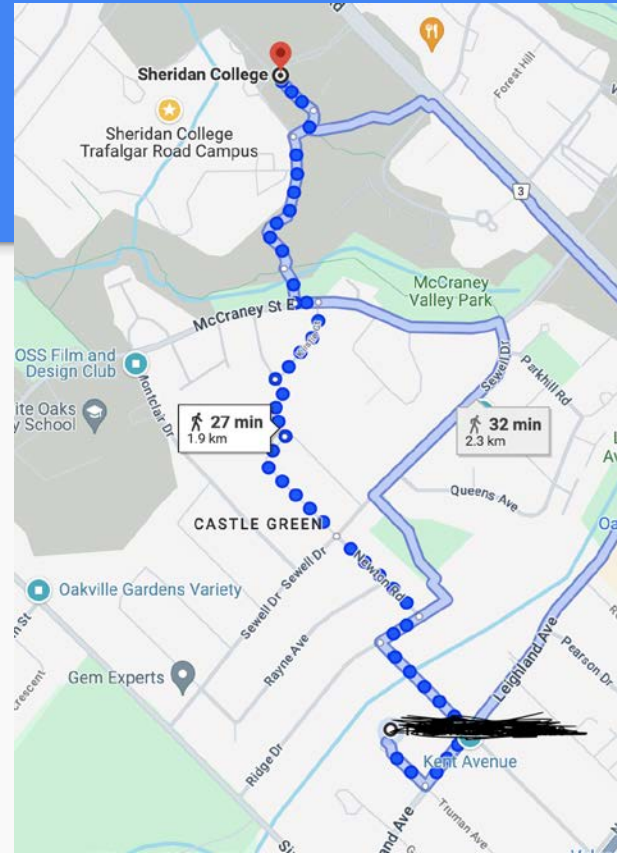
-He splits the rent of the full room of \$788 between his partner

-In addition, he shares the home with 4 other roommates

This is the size of his only sink he shares between everyone else in the house



It's a 30 minute walk from Sheridan College



But it does have space for 6 parking spots

-But only one of his roommates we're able to afford a car

We're asking for more variety

-4 As Of Right could be the right step to give Cullen and many of our friends a livable Oakville. To maintain an affordable life he had to downgrade to a lower quality of life.

-Give students a reason to stay in Oakville.

-Because right now unfortunately, the reasons are few and far between.

-Let's make a new reason.

-Vote yes!

From: [J Gagnon](#)
To: [Rob Burton](#); [Jonathan McNeice](#); [Sean O'Meara](#); [Ray Chisholm](#); [Cathy Duddeck](#); [Janet Haslett-Theall](#); [Peter Longo](#); [Allan Elgar](#)
Cc: [Town Clerks](#)
Subject: Chers membres du Conseil Municipal,
Date: Thursday, February 29, 2024 9:04:39 AM

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Chers membres du Conseil Municipal,

Je m'adresse à vous avec une pointe de frustration, non seulement à cause des propositions d'augmentation de densité qui nous préoccupent tous, mais aussi parce que cette conversation n'a pas lieu dans notre belle langue française. C'est un peu une gifle, non? On se demande où est passée notre belle diversité linguistique.

Concernant les fameuses propositions, c'est clair comme de l'eau de roche que l'appât du gain proposé par le Fonds d'Accélération du Logement Fédéral de 36 millions ne devrait pas nous aveugler. On ne parle pas juste de rajouter quelques logis ici et là; on parle de transformer notre petit coin de paradis en quelque chose de méconnaissable. Et puis quoi encore? La proposition de densifier autour de Sheridan sans consulter le peuple, c'est du n'importe quoi.

Je vous implore, avec toute la passion que je peux rassembler, de voter contre ces propositions. On est capables de trouver des solutions plus astucieuses qui respectent l'âme de notre communauté. Ne laissons pas le chant des sirènes du financement nous éloigner de ce qui fait vraiment l'essence de notre ville.

Avec toute ma considération,

J Gagnon

Translation:

Dear members of the Town Council,

I am reaching out with a hint of frustration, not only because of the density increase proposals that concern us all, but also because this conversation is not happening in our beautiful French language. It feels a bit like a slap in the face, doesn't it? One wonders where our linguistic diversity has gone.

As for the infamous proposals, it's crystal clear that the lure of the \$36 million from the Federal Housing Accelerator Fund should not blind us. We're not just talking about adding a few homes here and there; we're talking about transforming our little slice of heaven into something unrecognizable. What's next? Proposing to densify around Sheridan without

consulting the people is nonsense.

I implore you, with all the passion I can muster, to vote against these proposals. We are capable of finding smarter solutions that respect the soul of our community. Let's not let the siren song of funding drift us away from what truly makes the essence of our town.

From: James Toronto
Sent: Thursday, February 29, 2024 10:20 AM
To: Rob Burton; Jonathan McNeice; Sean O'Meara; Ray Chisholm; Cathy Duddeck; David Gittings; Janet Haslett-Theall; Peter Longo; Allan Elgar; Marc Grant; Jeff Knoll; Natalia Lishchyna; Tom Adams; Scott Xie; Nav Nanda; Town Clerks
Subject: Changing the Character of Oakville
Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Oakville Town Council,

As long-time residents of Oakville, our family has deeply cherished the community spirit, safety, and quality of life this town offers. We have proudly raised five children here, contributing to the community and believing in Oakville as an ideal place for families to thrive. However, the recent motions before the council have caused us great concern.

We understand the pressure to address housing shortages and the opportunities presented by the Federal Housing Accelerator Fund. Yet, the proposals to permit four units per property as-of-right and four storeys within 800m of Sheridan College significantly alter the fabric of our community. Such changes risk displacing the very essence of what makes Oakville special to us and many long-standing residents.

These motions, while aimed at increasing housing density, do not directly benefit from the mentioned \$36MM funding, nor do they align with the Minister's emphasis on improving housing options for students in a way that preserves family homes. The town's interpretation to convert family homes into student apartments seems a departure from fostering a community where families can continue to grow and prosper.

We urge the council to reconsider these motions, taking into account the voices of those who have built their lives here. Let's explore alternative solutions that enhance our town without sacrificing the character and unity of our community. Oakville's legacy should be one of thoughtful growth that respects its residents' values and the town's heritage.

In closing, we ask the council to vote down these motions, remembering the families who have dedicated themselves to Oakville, envisioning a future where our children and grandchildren can also call this town home.

Sincerely,

James S.

From: Louella
Date: February 28, 2024 at 10:27:08 PM EST
To: Town Clerks <TownClerk@oakville.ca>
Subject: Draft noise bylaw on construction

Dear town Clerks,

I should have reread my email to you before I sent it, not after.
When taking about Old Oakville aesthetics I meant BONA FIDES, not BONA FIXES.
Are you able to somehow add this to it. I also when talking about the farm on Colonial Crescent repeated myself FARM FARM.

I hope I didn't make too many others. Obviously when I got into aesthetics, that was meant to be the start of the last paragraph, but when I correct things DRAFT does its own thing!

Thank you for forwarding this to the appropriate parties. I appreciate it.

Louella Brace

Sent from my iPad

28th February 2024

REVISED

To: Oakville Town Council

**RE: Proposed Official Plan and Zoning By-Law Amendment,
Town-Wide and Sheridan College Housing Area Special Policy
Area.**

42.15.62 and 42.15.63, Ward 1-7

I have two major concerns regarding the above Zoning By-Law Amendments affecting the area where my wife and I live and own a real estate residential property.

1st CONCERN

What I can discern from the proposed changes is that we can expect to see changes in the **frontages** of residential single dwelling properties most notably as they are modified to accommodate the increased occupancy level.

Driveways will be **widened**.

More cars will be visible. **More roadside parking** will become evident

Extra Walkways will be introduced alongside the houses.

More wear and tear on the property will occur due to increased population density over and above what was originally intended.

As to the **rear view** of the affected properties, we will see surrounding us from our rear and side upper level windows :

- **New structures** where previously the view was our neighbours' gardens
- **Reduced care of gardens** as properties are re-orientated toward student accommodation.

ALSO

Whole neighbourhoods consisting at present of Detached Residential Properties will acquire a **less attractive look** as 4-storey buildings are erected. The overall appearance of such areas will be **degraded**.

Under the new by-law can we expect to see our neighborhood houses **BULLDOZED AND REPLACED WITH 4 STOREY APARTMENT STYLE BUILDINGS? IF YES, THEN THIS IS UNACCEPTABLE IN MY VIEW.**

2ND CONCERN

As a result of the new zoning by-law amendment it seems obvious to me that the **market value** of the residential property-owners houses **will decline** within the affected areas and to those houses in the vicinity. The market values will **fail to increase** at the same rate as those in the non-proximate areas.

ARE HOMEOWNERS AFFECTED IN THIS WAY TO BE COMPENSATED FOR SUCH DECLINES IN MARKET VALUE? IF NOT, THEN WHY NOT?

WHY SHOULD WE NOT SUE FOR THE DECLINE IN MARKET VALUE?

QUESTIONS

1. Why are affected homeowners and those in the nearby vicinities not given a chance **to VOTE** on these decisions? Not just given the option to comment through submissions to the council.
2. Why are the **existing zoning bylaws** not disclosed in the communication regarding the proposed amendment. You are expecting the public to make informed comments or input on the proposal aren't you?
3. Why are no **pictorial illustrations** provided to inform affected homeowners and nearby neighbours of what their residential and commercial areas may look like with the passage of time?
4. Why is there such a thing as the Sheridan College Housing Area Special Policy Area. It's not a law but simply a policy that has wide significant

effect on local homeowners. Why does it require lifting of zoning restrictions to the detriment of homeowners?

5. Does not the college have space to erect **more halls of residence** for students **on its own campus** or acquire space **elsewhere at appropriate locations** and to do so without penalizing the local residents by re-zoning their residential areas?

Recommendation

Retain the existing Zoning By-Law with allowance for limited number of student lodgings and room rentals subject to the existing statutory precautionary requirements. This, in addition to Sheridan College's development of additional halls of residence on their own existing land,

should be sufficient to meet the requirements of the Sheridan College Housing Special Policy Area.

Specifically, in our neighbourhood, we ask that you retain the existing Zoning bylaw RL 5.0 (Residential Low) for the homes on both sides of White Oaks Boulevard extending from Huron St. to Erin St. on the south and west and Freeman Crescent on the north side up to the northern juncture of White Oaks Boulevard with Trafalgar Road.

Respectfully from:

Lawrence Falconer and Agnes Falconer, owners and residents of the following property for over 30 years: **Freeman Crescent. OAKVILLE ON L6H 4R3**

Dated March 1st 2024

Submission to Town of Oakville
Planning and Development Council
For the meeting to be held on Monday, March 4, 2023

Thursday, February 29, 2024

Laura Temple-Smith
Michael G.W. Smith
Golden Meadow Trail
Oakville, ON
L6H 3G9

Oakville Town Council
C/O Town Clerk at the Town of Oakville
Clerk's Department
1225 Trafalgar Road
Oakville, ON
L6H 9H3

Oakville Town Council,

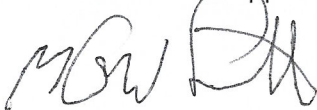
It is with significant concern that we state our opposition to the by-law Amendments Town-wide and Sheridan College Housing Area Special Policy Area Town-initiated 42.15.62 and 42.15.63, Ward 1-7.

We disagree with the plan as it currently exists. Three dwellings on a single residential property are too many. Four will increase further the town's density. This increased density will make further demands on already overburdened public infrastructure—hospitals and medical facilities, schools, green space, transportation, water, and sewer services.

Your bylaw states that each structure must have one parking space. What is the plan for all those families who have two cars? It is obvious from the building north of Upper Middle Road that narrow streets and one car garages are not an effective solution.

A significant part of the problem around Sheridan College has been caused by an influx international of students. Where is Sheridan's responsibility in the proposed plan? There are significant open lands around Sheridan College. Why is there no building slated for that area? It seems that the responsibility for Sheridan's housing issues is being placed solely on the Oakville tax payers.

We send this letter to express our concern about increasing the number of houses per lot and to comply with the rules of appeal as set out in the letter included in our tax bill.



Michael Smith



Laura Temple-Smith

From:
To: [Town Clerks](#)
Subject: Re: Item 6.2 - own-initiated Official Plan and Zoning By-law Amendments – Four Dwelling Units Per Property and Sheridan College Housing Area
Date: Thursday, February 29, 2024 1:38:14 PM

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

In the past two days, we have learned that we will not be allowed to attend, in person, the Oakville Town Council meeting on March 4. We understand that the council felt threatened by another group at a previous meeting. We have no respect for their platform, nor their actions at a municipal level.

The Zoning By-law items, tabled for Monday, are indeed a municipal concern. We request that this meeting be opened to all Oakville residents. If the council believes that there is not adequate public space, then the meeting should be moved to a larger venue. If the council is concerned for their safety, then police protection should be requested.

We are concerned, after reading the letter from Housing Minister Mr. Sean Fraser to Mayor Burton, that council is rushing the process. Money is the focus, rather than the well-being of safe, established, single-family dwelling communities such as College Park.

Mr. Knoll and Mr. Grant, you were visible in College Park during the past municipal elections as you sought our votes. Why haven't you reached out to College Park residents during this life changing zoning by-law agenda? We trust that you have read our letter of disapproval submitted earlier this week. Our community feels threatened and nervous. We respectfully ask that you will fight for the residents of College Park. We also ask that serious considerations be given to moving this back to a public, in-house meeting. If it is too late to secure a larger, safer venue, then we respectfully request that this motion be tabled until we can meet in person.

Thank you,
Mark and Cheryl Baber
Queensbury Cres.
Oakville, ON
L6H 4G6

From: [Mr Fitzpatrick](#)
To: [Rob Burton](#); [Town Clerks](#)
Subject: Urgent Appeal for Reconsideration of Current Housing Motions
Date: Thursday, February 29, 2024 9:01:10 PM

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To the Members of the Town Council of Oakville,

Dear Council Members,

I write to you as a long-standing resident of Oakville, deeply invested in the future and well-being of our community. The decisions before us concerning housing and development near Sheridan College are of monumental importance, poised to significantly alter the fabric of our town. These changes could be our legacy, impacting Oakville's character for generations to come.

Upon careful examination of the proposals to permit four units per property as-of-right and to allow four storeys within 800 meters of Sheridan College, it has become apparent that these measures, while potentially transformative, have not been afforded the depth of consultation and transparency required under the Ontario Planning Act. This act mandates rigorous procedural standards to ensure decisions are made in an open, fair, and equitable manner, reflecting the following key components:

- **Public Participation:** Ensuring meaningful engagement with residents and stakeholders.
- **Consistency and Conformity:** Actions must align with provincial policies and municipal official plans.
- **Accountability:** Decision-making processes must be clear and accessible to the public.

The information presented during the Town's meeting on January 22nd, particularly the discussion surrounding the letter from Minister Sean Fraser, highlights a critical disconnect between the proposed initiatives and the broader objectives outlined by the Federal Housing Accelerator Fund (HAF). It is noteworthy that the potential \$36MM in funding, while substantial, does not encompass the proposed densification initiative around Sheridan College, raising questions about the alignment of these proposals with our community's long-term interests.

Moreover, the Minister's letter calls for a nuanced approach to increasing housing density, emphasizing the need for clarity and consideration of alternative plans that might better serve the community's needs without compromising the character of our residential areas. This advice seems to have been overlooked in favor of a narrow interpretation that risks undermining the very fabric of our community.

The current process, lacking in transparency and comprehensive stakeholder consultation, fails to meet the standards of due process as outlined in the Ontario Planning Act. By pushing forward without adequate engagement, we risk not only the ire of our community members but also potential legal entanglements that could delay any development indefinitely.

As a dedicated resident of Oakville, I have witnessed many changes over the years. However,

the approach currently being taken represents a departure from the values of consultation, transparency, and respect for community that Oakville has long stood for. It is, without doubt, the most concerning tactic I have observed to date.

In light of these considerations, I strongly urge the Town Council to reject the current motions and instead commit to a process that embodies the high standards of due process, consultation, and transparency mandated by the Ontario Planning Act. Such an approach will not only ensure that our community's development aligns with both our values and legal obligations but also preserves the integrity and character of Oakville for future generations.

Thank you for your attention to this matter. I trust that you will act in the best interests of our community, respecting the voices of its residents and the legal frameworks that guide our collective decision-making.

Sincerely,

M.Fitzpatrick

From: [Priyanka Kapoor](#)
To: [Town Clerks](#)
Subject: Appeal of Decision Regarding Changes to Zoning By-law for Sheridan College Housing Area
Date: Thursday, February 29, 2024 3:25:45 PM

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Oakville Team,

I hope this email finds you well. I am writing to formally appeal the recent decision made by the Town of Oakville regarding changes to the Zoning By-law for the Sheridan College housing area.

As a resident and stakeholder in the community, I am deeply concerned about the implications of the decision and its potential impact on the surrounding neighborhood. The proposed changes raise several important issues that warrant further consideration and discussion.

Firstly, the density and scale of the proposed housing developments could have significant effects on traffic congestion, parking availability, and overall neighborhood character. Without adequate planning and infrastructure improvements, these developments may strain existing resources and diminish the quality of life for residents in the area.

Additionally, I am troubled by the lack of community input and consultation in the decision-making process. It is essential that residents have the opportunity to provide feedback and express their concerns about developments that directly affect their lives and surroundings. Transparency and inclusivity are fundamental principles of good governance, and I urge the Town to prioritize meaningful engagement with all stakeholders going forward.

Furthermore, I believe there may have been oversights or inaccuracies in the assessment of the proposed changes and their potential impacts. It is essential that decisions regarding zoning and land use are based on thorough research, analysis, and consideration of all relevant factors. I respectfully request that the Town revisits the decision and conducts a comprehensive review to ensure that it aligns with the best interests of the community.

In conclusion, I urge you to reconsider the recent decision regarding changes to the Zoning By-law for the Sheridan College housing area. By addressing the concerns raised by residents and stakeholders and fostering a more inclusive and transparent decision-making process, we can work together to create a vibrant and sustainable community for current and future generations.

Thank you for your attention to this matter. I look forward to your response and to the opportunity to participate in further discussions on this important issue.

From: S.Wong
Sent: Thursday, February 29, 2024 8:46 AM
To: Rob Burton; Jonathan McNeice; Sean O'Meara; Ray Chisholm; Cathy Duddeck; David Gittings; Janet Haslett-Theall; Peter Longo; Allan Elgar; Marc Grant; Jeff Knoll; Natalia Lishchyna; Tom Adams; Scott Xie; Nav Nanda; Town Clerks
Subject: HAF - Vote No

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Town Council Members,

I hope this letter finds you well. As a longtime resident and fervent supporter of Oakville's unique charm, I'm reaching out regarding the upcoming vote on housing density proposals. These decisions, as you well, could significantly alter the fabric of our beloved town.

The allure of the \$36MM from the Federal Housing Accelerator Fund is undeniable. Yet, upon a closer look, it becomes apparent that the proposals for four units per property and four-storey buildings near Sheridan College might not be in our best interest. Notably, the push for increased density around Sheridan doesn't directly tie to this funding, raising questions about the necessity of such drastic changes.

Minister Fraser's letter, while advocating for more student housing, doesn't mandate the conversion of family homes into multi-storey student residences. His openness to alternatives suggests we have room to explore solutions that preserve the character of our neighborhoods.

Our town's commitment to procedural fairness and meaningful consultation with stakeholders is paramount. Recent surveys and consultations seem to fall short of capturing the community's concerns and aspirations fully. Furthermore, focusing on densification without considering alternative plans for student housing on Sheridan's own lands misses an opportunity to address the issue without disrupting our residential areas.

As we stand at this crossroads, let's remember what makes Oakville special. Our dedication to family-friendly neighborhoods, the importance of thoughtful development, and the need to maintain a dialogue that reflects our community's values.

I urge the Council to reconsider the current proposals. By voting them down, we can protect the essence of Oakville for generations to come. Let's find solutions that uphold our town's legacy, ensuring it remains a place we're proud to call home.

Thank you for your consideration.

Warmest regards,

S.Wong

From: [Nava AP](#)
To: [Town Clerks](#)
Subject: Concerns Regarding Proposed Amendments to Official Plan and Zoning By-law- Four Dwelling Units Per Detached Residential Property
Date: Friday, March 1, 2024 2:21:43 AM

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To whom it may concern,

I am writing to express my deep concerns regarding the proposed amendments to the Official Plan and Zoning By-law, specifically regarding the allowance of four dwelling units per detached residential property.

As a member of the community, I believe it's crucial to consider the long-term implications of such amendments on our neighborhood's quality of life. While the intention may be to increase housing opportunities, I fear that the proposed changes will have several detrimental effects on our community.

Firstly, adding four dwelling units per property will lead to a significant increase in population density. This rapid population growth will strain our existing infrastructure, including transportation, schools, and healthcare facilities, ultimately diminishing the quality of life for current residents.

Moreover, the focus on providing housing primarily for students raises concerns about the transient nature of the new residents. This influx of temporary occupants may disrupt the sense of community and neighborly trust that currently defines our neighborhood.

Additionally, the increased turnover of residents could lead to a lack of investment in maintaining properties, further deteriorating the overall aesthetic appeal of our area.

Furthermore, the environmental impact of these amendments cannot be ignored. Clearing land for additional dwelling units will result in the loss of green spaces and mature trees, exacerbating issues related to air quality and urban heat island effect.

Moreover, the anticipated rise in vehicular traffic will contribute to pollution and noise, diminishing the tranquility of our neighborhood.

In considering the long-term financial implications, it's essential to recognize that catering primarily to student housing may not attract the affluent homeowners needed to sustain property values. Instead, the influx of transient residents could lead to a decrease in property values over time, as the neighborhood becomes perceived as less desirable due to overcrowding and associated issues.

In addition to these concerns, I would like to highlight several other potential issues that could arise from the proposed amendments:

1. Strain on Public Services: The increased population density could overload public services

such as waste management, emergency response, and utilities, leading to longer wait times and decreased service quality for residents.

2. Parking Shortages: With more dwelling units per property, there may be a shortage of parking spaces, leading to congestion on residential streets and difficulty finding parking for both residents and visitors.

3. Loss of Privacy: Additional dwelling units could lead to a loss of privacy for existing residents, as more people occupy the same amount of space, potentially impacting sightlines, noise levels, and overall sense of security.

4. Impact on Schools: An influx of new residents, especially students, could put strain on local schools, leading to overcrowded classrooms and decreased educational resources for students.

5. Decreased Sense of Community: The transient nature of student housing may result in a decreased sense of community cohesion, as residents come and go frequently without establishing long-term connections with their neighbors.

6. Potential for Overdevelopment: Allowing four dwelling units per property may open the door to overdevelopment and speculative real estate practices, leading to the degradation of the neighborhood's character and charm.

7. Legal and Regulatory Challenges: Implementing such significant changes to zoning regulations may pose legal and regulatory challenges, potentially leading to conflicts and litigation within the community.

8. Impact on Property Taxes: A change in the demographic makeup of the neighborhood, particularly if it leads to a decrease in property values, could impact property tax revenues for the municipality, affecting funding for essential services and infrastructure projects.

These comprehensive concerns highlight the need for careful consideration and thorough community engagement before moving forward with the proposed amendments. I appreciate your attention to these matters and look forward to further discussions on how we can address these issues together.

Thank you for taking the time to address these concerns.

Nava Ahadipoor & Farzad Rouhani
Romain Cres, Oakville, ON
L6H 5A4

From: [Bradley Price](#)
To: [Rob Burton](#); [Jonathan McNeice](#); [Sean O'Meara](#); [Ray Chisholm](#); [Cathy Duddeck](#); [David Gittings](#); [Janet Haslett-Theall](#); [Peter Longo](#); [Allan Elgar](#); [Marc Grant](#); [Jeff Knoll](#); [Natalia Lishchyna](#); [Tom Adams](#); [Scott Xie](#); [Nav Nanda](#); [Town Clerks](#)
Subject: March 4, 2024 Town Council Meeting - College Park / Housing Accelerator Fund
Date: Friday, March 1, 2024 11:01:36 AM

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Councillors

This e mail is with regard to the Council meeting scheduled for March 4, 2024. The purpose of this e mail is to register our objection to the two motions on the agenda concerning the College Park community. Specifically, the two motions at issue provide as follows:

1. Four Dwelling Units Per Detached Residential Property: Modifications to allow up to four dwelling units per detached property town-wide, including changes in definitions and requirements for additional dwelling units, access, and parking.
2. Sheridan College (College Park) Housing Area – Special Policy Area: Establishment of a Special Policy Area to enable increased density, including building heights up to four storeys and expanded medium density housing options.

Lack of Community Involvement

There has been limited opportunity for community members, the very people affected by these proposals, to have their voices heard and considered. The Town of Oakville, has set up the obligatory online survey ostensibly allowing community stakeholders to voice their concerns.

The survey's available responses are designed such that it largely presupposes that respondents are in favour of the proposals. The survey does not ask the fundamental question, "Are you in favour of the proposals?". In fairness, the survey does have the perfunctory free-format sections where respondents are able to provide their input. Having said that, the reality is that narrative, free-format responses to a survey are given less weight as they do not lend themselves to numerical summary and are largely relegated to "footnote status".

Furthermore, holding a virtual town meeting as opposed to "in person" is not inconsistent with a goal of limiting opportunities for community members to voice their concern. This allows councillors to avoid having to respond directly to difficult questions from their constituents. Additionally, it has the potential to create the mistaken impression on the part of councillors that community members are not concerned about the proposals under consideration. In speaking with our neighbours and other College Park community members, they are understandably very concerned about the harmful effect of these proposals.

Student Housing Runs Contrary to "Community Building"

While the Council is careful to avoid stating it, it cannot be disputed that the primary focus of these motions is to use the funds to increase the amount of available student housing. The background to the motions provide that the affected area is the area within 800 metres of the Sheridan College campus. Why limit the affected area to within 800 metres of the Sheridan College campus? The true housing crisis is throughout Oakville. It is not limited to the Sheridan College campus and its immediate area. If the objective of these proposals is genuinely to increase housing for families, there are numerous alternative locations that would

be infinitely more effective in addressing the housing crisis for families.

By their very nature, occupants of student housing are more transient than families. With limited exceptions, transient occupants have no vested interest in building a community, raising a family, coexisting with their neighbours in a peaceful, respectful manner. There are numerous, verifiable instances in the College Park community where student housing has had a negative impact on the community. Furthermore, bylaw enforcement has proven not to be an effective solution. In our experience, bylaw enforcement have seemingly abrogated their responsibilities in this regard by failing to act until repeated complaints from community members.

Improper Use of Funds under the Federal Housing Accelerator Fund (n.b., hereinafter referred to as the "Fund")

Numerous communities throughout Canada have applied to access the financial resources available under the Fund. In a letter to the Mayor Burton dated January 11, 2024, Sean Fraser, Minister of Housing, Infrastructure and Communities characterizes the Fund as "highly ambitious, competitive and over-subscribed...". It is unconscionable that the Council would make an application to access these limited funds for student housing under the guise of creating housing for families. Presumably, other community applicants throughout Canada are planning to use the funds for their intended purpose. It does not matter that the federal Minister is aware of Oakville's intended use of the funds; student housing is not family housing.

*** **

In summary, the proposals should be rejected. We are very concerned about the housing crisis as it affects families and that Town Council is not taking advantage of this opportunity to address the family housing crisis. The proposals under consideration should be rejected and meaningful, effective family housing solutions should be put forward in their stead.

Respectfully,

Shelley and Bradley Price
Queensbury Crescent

Franca Piazza

From: Robert Condie
Sent: Thursday, February 29, 2024 9:03 AM
To: DPastoric G-Email; Marc Grant; Jeff Knoll; Dennis Gasparotto; Rod Stein; alan mclaren; Cheryl & Mark Baber; Laurie McGregor; Shelley Price; Alex man; ann ferraro; Mike & Cheryle; Howard & Sunny; Tony Desouza; Kate Long; Paula & Daniel; Jen Mosca;
Cc: Joanna Wojcik; Rob Burton; Jonathan McNeice; Sean O'Meara; Ray Chisholm; Cathy Duddeck; David Gittings; Janet Haslett-Theall; Peter Longo; Allan Elgar; Natalia Lishchyna; Tom Adams; Scott Xie; Nav Nanda; Town Clerks
Subject: Re: Item 6.2 - own-initiated Official Plan and Zoning By-law Amendments – Four Dwelling Units Per Property and Sheridan College Housing Area

Follow Up Flag: Follow up
Flag Status: Completed

SECURITY CAUTION: This email originated from outside of The Town of Oakville. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Extremely well stated - thank you Dan for all your hard work in bringing a clearer focus on the issues. I am still struggling to see where this 36 million brings any long term benefit to the vast majority of the residents of Oakville and hopefully Council gives full consideration to this. We have been Oakville residents since 1971 and have never witnessed anything with as far reaching implications as this. Given the magnitude of this, a plebiscite should be in order so that the residents of this Town have a real say in the future of where we reside.

One additional premiss I feel that needs to be challenged is Sheridan College's plans for expansion. Is the demand for this amount of growth in students wishing to attend Sheridan actually realistic? Does expanding the Oakville campus make sense or should growth be accommodated at a new satellite campus say in Milton?

Robert and Shirley Condie

From: DPastoric G-Email
Sent: February 28, 2024 8:03 PM
To: marc.grant@oakville.ca <marc.grant@oakville.ca>; jeff.knoll@oakville.ca <jeff.knoll@oakville.ca>; Robert Condie

DPastoric G-Email

Subject: Item 6.2 - own-initiated Official Plan and Zoning By-law Amendments – Four Dwelling Units Per Property and Sheridan College Housing Area

Councillors Knoll and Grant [Ward 5]

The Jan. 22nd meeting was disheartening. Before you are two watershed motions.

I had hoped that at least one of you would have raised a concern regarding the College Park residents and the potential to have homes in their neighbourhoods leveled and converted into 4 Storey Apartments. The concern about short term student living conditions and an absence of concern over the existing families in College Park, Canada Court, Sixth Line and McCraney Street – was surprising and inconsistent with Councils duty of care to the community.

After 41 years in Oakville - this issue is one I must stand up and be counted to be against. My family and many of my friends are in College Park and we have the special designation of being affected by both motions.

You both have an opportunity to stand up for your residents. I hope you will vote for existing families, the 290 families in College Park. And vote no to both motions.

I know the letter attached is long - I hope you read it and look at the photos. However (just in case) a summary is below.

Executive Summary:

- Housing decisions before the Town Council will significantly alter Oakville's landscape and be devastating for College Park families.
- The Federal Funding of \$36MM is the key motivator.
- The Town Staff proposal to convert family homes into four storey student apartments is not part of the \$36MM (Appendix F) and goes against the written statements of the Minister – he writes “we require greater clarity on your actions to increase the amount and density of housing for students within walking distance of Sheridan College. Many students are living in single family homes that surround Sheridan, which could be much better utilized as homes for families.” He clearly states these homes are better utilized for families.
- Consultation Process Concerns: Lack of clarity and transparency in the survey and consultation process as well as failure to provide affected property owners with relevant information undermines the process (see attached illustrations).
- Motion for four-storey apartments near Sheridan College should be removed.
- The Town Staff proposal contradicts the Minister's intentions – he wants family homes to stay with families.
- Shift focus to med- to high-rise solutions on Sheridan College's land, and preserve homes for families.

Vote to support existing Oakville families. The Minister’s letter was clear – single family homes are for families.

Dan Pastoric

Good morning,

I am inquiring how I go about putting in my 2 cents to this proposed re-zoning amendment meeting on March 4th at 6:30? I have never done this before so unsure.

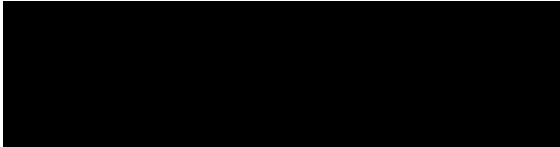
Here is my inquiry based on personal experience.

I live at [REDACTED] In 2022, a semi-detached home [REDACTED] was sold across the street. The new owner fixed it up and then had 5 tenants (based upon number of cars in the driveway) move in. The tenants are ok and no complaints about them. However, with 5 cars there are always a couple on the street. Then in Oct 2023, I came home to find the huge tree in the front yard cut down. I called the town and I was told they would take care of it since there was no permit acquired (not sure what happened). Then 2 weeks later someone came and graveled over the whole front yard for cars to park on. I again called the town and was told they can not do that, and will take care of it. Every night a large SUV parks on the gravel. I called the town again and said they would ticket the car every time they did this. However, it is still there every night.

This will bring my home value down when more people live in the house with more cars, don't take care of the property, illegally park on the grass/tree removal, etc.

What assurances do we have that with this new amendment, what has happened across the street from me will not occur in the future?

Cheers,
Russell Gunner, C.A.T.(C), R.Ac.



Hello there:

My submission is rather a question that supports the plan and not against it. Creating affordable homes is a good thing for the Town of Oakville. Considering that most properties that are eligible for either the Four Dwelling Units or that are within the Sheridan College Housing areas are within the older areas/neighbourhood of Oakville with Town trees in front of them. How is this amendment looking to address the challenge of removing and replacing these trees? There are heard cases of permit applications been denied because the Town won't allow properties owners to remove and replace Town trees in front of their properties. Hope there are consideration/flexibility in addressing this road block as part of this amendment.

Thanks!

Chile

Thank-you for taking the time to read my letter and consider my point of view.

Kind regards,

Alexander Mantadis

March 1, 2024

Dear Mayor Rob Burton, Councillors Marc Grant and Jeff Knoll, The Honourable Anita Anand, MP, and Stephen Crawford, MPP,

My name is Alexander Mantadis and I have been living with my family in the College Park neighbourhood of Oakville since 2004.

I am opposed to the Town of Oakville's proposed Sheridan College Housing Special Policy Area which would allow existing family properties to be rezoned to 4 story building structures.

One risks a blanket commercialization of existing housing stock where single family residences are transformed into 4 story apartment buildings owned by large corporate interests. Only the naive would see this as a solution to housing affordability and student housing. Afterall, existing provincial rules concerning residential properties built after 2018 make it such that landlords can charge unregulated rent: no rent control. This could potentially increase housing stock, but certainly not the type needed by students.

Student housing is required, but to ask neighbouring properties to provide it, is an abdication of responsibility by all levels of government and encroaches on established property rights of existing owners who purchased in the area due to the single family home zoning.

Sheridan College is a public institution and its needs ought to be met by the three levels of government working together using the college's existing lands and resources. Colleges have had the privilege of charging foreign students higher tuition rates but ask its neighbours to solve its lack of housing. This is too much to ask of Oakville residents in general and College Park family home owners in particular. Existing owners of single residential properties purchased in this area precisely because they were single family residential properties, not density-heavy, compressed housing without regard to humanity and the ecosystem. Yes, we choose College Park precisely because of its liveability. It is not dehumanizing, oppressive and overwhelming. Please do not make it so!

The existing lands of Sheridan College ought to be used creatively to solve its own housing needs. Governments of all levels working together with the College can surely find the wherewithal to find a solution without encroaching on established single family home property rights and neighbourhoods. This is an opportunity for the three levels of government and the College to work together to find an ecologically sound solution, on the College's property, to address student housing needs.

Please find another solution rather than dilute single family home property rights and fundamentally change the character of a loved and well-established neighborhood of Oakville .

Vote NO to this initiative and proposal. It is significantly flawed.

Sincerely,
Alexander Mantadis



Greetings!

We have been living in College Park for over 30 years and we care very much about our community.

Regarding the above mentioned meeting, we feel that the concern about short term student living conditions and an absence of concern over the existing families in College Park, Canada Court, Sixth Line and McCraney Street – was surprising and inconsistent with Councils duty of care to the community.

Therefore, we do not support both the motions and say NO to them.

Yours respectfully,

Luis and Zelma Desouza



Hello Jill and Brad,

I am submitting for consideration, a list of questions that were sent to me by some homeowners in the affected 800-metre zone Special Policy area. Knowing that I have only 10 minutes to speak or ask a question, I may only have time for one question. That said, I would like to submit the questions for consideration (stay on file) as it relates to the proposed new by-laws - gentle densification of Oakville. Could you please send the questions to the Council members so that they are aware that some concerned homeowners wish to be heard?

As long standing homeowners, it is to be expected that we may have concerns and questions regarding by-law changes. In some instances, the by-law changes may affect the quality and standard of life we currently enjoy and we would like the Town Planning department to keep our real concerns in mind.

Thank you for your patience and time.

Vanda Albuquerque

Town of Oakville – Planning Meeting – March 4, 2024

Questions submitted by Vanda Albuquerque on behalf of some residents living in the 800-metre special policy area.

1. How is the Town Planning department going to address the following issues related to the proposed zoning by-law amendment for 4-unit properties, 4-storey apartment buildings (C1 zoning) and 3-storey townhouses in the 800 metre Special Policy Area?
 - Are all the current residential homes in the 800-metre area affected by the proposed by-law change?
 - Parking of cars? If a 4-unit property has existing space for two cars, where do the car(s) of the other two units sit? On the street, 24 hrs a day? And how many? What happens to guest visitor parking?
 - Do the new 4-units have individual entrance/exit privileges, or do they enter and exit from a central main front door?
 - What about Fire codes, egress, alarms, entrances, exits, noise, safety, and security issues?
 - What about garbage disposal? Will there be green and blue boxes for each of the 4 units + 12 bags of garbage placed on the street every 2 weeks?
 - How many residents will the 4 units be allowed to house? 16, or more than that?

- What by-laws are there in place to prevent a 4-unit from becoming an “air-B&B” unit?
2. Where specifically in the 800-metre zone does the Town Planning department expect to implement the proposed by-law change for 4-unit, 4-storey apartment buildings, and 3 storey townhouse units to be created for gentle densification?
 3. To allay concerns, can these locations be identified for homeowners in the next 3-6 months?
 4. What rights do existing homeowners in the 800-metre zone have to evaluate whether a neighbour planning to change the existing format of their home into a 4-unit property is appropriate or not on their street? Parking, set-back, etc.

Does the owner of the new 4-unit have to be living in one of the units for this by-law to apply? What if they don't plan to live in the unit?

As well,

Can a non-resident/developer buy an existing home and convert it to a 4-unit without the consideration of existing homeowners on the street? Other than property taxes, the non-resident homeowner is not concerned about the quality of life, safety or social issues that may be compromised for existing homeowners on the street and in the neighbourhood.

5. Esthetics of the new 'four by right' units – who determines what is appropriate for construction in the affected 800-metre zone?
6. Will there be any green spaces or trees in the affected zone, or will all space be considered fair game for 'gentle densification' use?
7. Climate change is affecting all aspects of life in the country. Consumers are being encouraged to purchase EV's over gas powered cars to mitigate climate change. How will the 4-unit properties handle charging stations for more than one EV on the property?
8. Where specifically has the Town identified that 4-storey apartment buildings and 3-storey town houses will be built in the 800-metre zone?
9. Of equal and paramount concern, is the C1 Zoning regulations and rights of homeowners in the 800-metre zone. How will the Town Planning department take into consideration the rights of homeowners in the identified special policy area especially when it comes to applying C1 Zoning permits (permitted versus prohibited uses of land)?

Understanding that the Federal Government has committed funding to spearhead this by-law change to 'gently densify' the Town of Oakville, how does "gentle densification" benefit existing homeowners?

Housing By-Law

I am a resident of College Park. I strongly oppose the motion to change the zoning by-law to Four Dwelling Units Per Detached Residential Properties in Oakville and the Sheridan College Housing Area - Special Policy Area Amendment which would negatively impact and ruin College Park. I ask that you vote "NO" on March 4, 2024.

"Rejoice Evermore"
Cheryl Baber

Subject: Vote No

I am a resident of College Park. I strongly oppose the motion to change the zoning by-law to Four Dwelling Units Per Detached Residential Properties in Oakville and the Sheridan College Housing Area - Special Policy Area Amendment which would negatively impact and ruin College Park. I ask that you vote "NO" on March 4, 2024.

Mark Baber
Sent from my iPhone

Messrs. Knoll and Grant,

As a current owner and resident of the College Park area in question, I am emailing to express my strong support for the housing initiatives contemplated by the Official Plan Amendment relating to the Sheridan College Housing - Special Policy Area. This area would directly benefit from the proposed increased density in what is an under-utilized pocket of Oakville with excellent transportation access via several main arterial roads, including Trafalgar. These initiatives, if executed properly, will positively impact the current housing crisis in this province by:

- Increasing and diversifying the current housing stock to allow for more variety and mix;
- Providing for more affordable housing options for families of different compositions; and
- Properly accommodating the student population that resides in the area, to mitigate the spread of 'illegal rooming house' type situations that are rampant within many of the single family homes within College Park today.

I would also like to bring to your attention that unfortunately there are certain individuals in the community who are actively spreading NIMBY-type misinformation about these important initiatives. The attached flyer was left on our doorstep which, from my reading of the actual draft bylaws, is littered with falsehoods and other inaccuracies.

I sincerely appreciate your efforts and thoughtful, well articulated input on behalf of Ward 5 in the council meetings to date on this topic. I would ask that the Town Clerk (cc'd) please include this email submission for the benefit of the Members of Council at the upcoming meeting on March 4, 2024.

Thank you for your time,

Regards
Deian

SAVE COLLEGE PARK – RESIDENTIAL HOMES

Council Motion:

On January 22, 2024, Town Council provided the following motion:

“In support of the **Housing Accelerator Fund Application**, as **advised by Minister Fraser** with due regard for heritage conservation and infrastructure capacity and servicing, that staff be directed to bring forward a zoning by-law amendment permitting:

- **four storey (apartment buildings) within 800 metres of Sheridan College [which includes College Park]**

for Council’s consideration within 90 days of the passing of this resolution.”

On March 4th at 6:30pm – Town Council will hear from the public and make a decision.

1 – Town gets \$36MM in cash from the Federal Government. Town must pass a bylaw on March 4th – to essentially give up all rights (Town and Residents) to be part of the consultation and stop or alter development.

2 - What does it mean for College Park home owners - if passed on March 4th – any property owner in College Park can convert their home into a four (4) storey apartment building on their existing lot – without discussion with anyone.

SAVE COLLEGE PARK – RESIDENTIAL HOMES

On March 4th at 6:30 pm in Town Council Chambers – the vote will occur.

What could this mean? 4 Storey Apartments in College Park



Save our College Park Community – Get involved.

1 – Do Survey - Go to the Town of Oakville website and do their survey:

<https://www.oakville.ca/business-development/planning-development/housing/housing-accelerator-fund/#four>

And **SAY NO!** to the **Sheridan College housing area – Special policy area**

2 – Email Councillors: jeff.knoll@oakville.ca / marc.grant@Oakville.ca

3 – Meeting is Virtual ONLY – March 4th at 6:30pm at Town Hall

4 – Stand up and Speak or Support / ask to speak at the meeting via Town Clerk's Office

Councilor states there is a buyer already interested in purchasing homes now and converting them to student apartment buildings:

Jan 22 Council meeting – youtube: <https://www.youtube.com/watch?v=PsATvSpZen8>

At timestamp 2:47 in the video noted above - a Councillor asked who plans to buy the properties. See the answer of who will buy and intends to have a 3rd party manage it and put students into each home.



Respected Council,

We are the owners of: [REDACTED]

I hope this message finds you well. I am writing to inform you of our objection regarding the proposed **Four dwelling unit per detached residential property by-law amendment** within our neighborhood.

We recently moved to Oakville and this neighborhood for its tranquility, characterized by serene streets and a close-knit community atmosphere. We firmly believe that introducing high-density developments would compromise the essence of our neighborhood and disrupt the peaceful environment.

We have also signed a petition being brought forward tomorrow, objecting to this amendment by our neighbours.

Warm regards,

Srinidhi Kashyap and **Nandini Srinidhi.**
[REDACTED]

Dear Town Clerk,

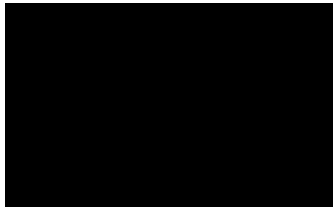
This is to communicate that I would like to be notified of the decision made by the Town of Oakville on this matter.

It is extremely concerning that such by-law amendments are being considered to increase density in my neighbourhood of college park. The thought of four storey buildings in my neighbourhood is disappointing. As a life long resident of Oakville and College Park I am certain that these amendments do not benefit me or any other current residents of College Park. In fact, such changes are counter to making Oakville and my neighbourhood more livable. Oakville is special and unique because we have always done what is best for its residents. This has made Oakville one of the best places to live in Canada for years. These changes are clearly not in the best interest of its residents.

I trust and truly hope that the town and its representatives act in the best interest of its current citizens and DO NOT pass the proposes amendments.

Thank you

Steven Beslic



Hello I would like to be notified via email and mail if possible of any changes or decisions on this horrible idea to IMPOSE new dwellings to accommodate multiple families in an existing single family residential area.

My biggest question is why isn't there sign of variance going up where people can comment and disapprove or have a say in this.

I received a letter only a couple weeks ago. That's not enough time for busy people- Meanwhile, the area has a lot of retired people (snow birds) who may be away on vacation for winter and when they come back, won't even have a chance to vote on this ridiculous proposal.

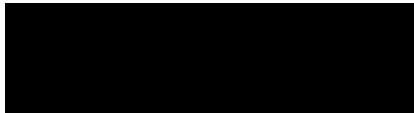
This proposal is more offensive than the BERLIN WALL than went up in our neighbourhood without our say segregating us from the rest of the city. It's an embarrassing eye sore, I'm embarrassed to say I even live behind that wall. When I tell people where I live they say "oh, over there...."

This proposal is going to make our neighbourhood even more ghetto.

Yes, I want notification of the way this goes.

Why wasn't this proposed in Glen Abbey? :)

Caroline Hamel



Good Morning,

I am a resident of College Park. I strongly oppose the motion to change the zoning by-law to Four Dwelling Units Per Detached Residential Properties in Oakville and the Sheridan College Housing Area - Special Policy Area Amendment which would negatively impact and ruin College Park. I ask that you vote "NO" at tonight's March 4, 2024, meeting.

Kind Regards,

Heidi Baber

Thanks and would appreciate an opportunity to speak. I and my neighbors have many questions

- a) First why such a small area and please confirm which if any councillors live in the proposed area? Why so compacted? Many other areas with good transit near Oakville GO, Bronte Go, Walmart Plaza have a great bus stop? How about south east of the Oakville GO area or south east of Speers & Kerr where people can walk to the Go station. I suspect councillors
- b) Given one decent sized building on Sheridan Campus plus other areas already zoned for apartments would likely generate more than our single dwelling homes could generate, why not look at these options? Residents here feel council is discriminating against a small group of homes impacting our great assets or house value. :
- c) What funds go to the residents who feel compelled to move or who's house value deteriorates? Council is already ignoring existing by-laws for people who are running illegal boarding houses.
- d) To help. as a finance executive I do offer my services to help the council cost effectively look at options for funding that make the most sense, rather than this apparent "not in my backyard approach" by council.

As a life long Oakvuillian with many connections and a large group of friends, neighbors and family, I look forward to discussing this further.

Regards,

Derek



Attention : Tatiana / Brad

Following your email to Ameeta Menezes, our comments are as follows, and will be the questions for our discussions at the meeting. Due to a minor ear surgery that I had to have yesterday, Ameeta Menezes will be with me to assist with the discussion.

Quote email from Brad: There is, however, a by-law being proposed (which is still draft) which would enable more development to take place on the site than what is currently permitted. This being the commercial plaza on this property would be permitted to be redeveloped into a 4 storey building, while maintaining the ground floor commercial uses (i.e. three floors of residential above). The proposed by-laws set out the new rules that would enable development to take place through a development application. The by-laws are not in response to an actual development being proposed. Unquote.

The residents of Erin Street impacted by the actions on the subject property would need clarifications to the following in reference to Brad's email:

1. For a start, the wording in the email seems to contradict itself.
2. by-law being proposed which would enable more development to take place on the site than what is currently permitted. What is the content of the by-law being proposed and what is the additional development that is slated to take place.
3. The proposed by-laws set out the new rules – What are the new rules and what part of it would the impact be on residents of Erin Street. Please provide details.
4. What is the timeline when all of this is proposed to come into effect.

The residents of Erin Street would need clarifications to the following:

1. Is the property housing Rabba and the adjacent commercial stores part of the new proposed plan?
2. Is the property housing the Burger King unit part of the new proposed plan?
3. Is the green space between the Erin Street homes and 1289 Malborough Court part of the new proposed plan?
4. Please provide proposed location and area for RM1-RM4 plans.
5. What are the changes that have been made to the rezoning plan under this proposal and future plans if any.

If the responses to any of the above are in the affirmative, please provide responses to the following: will the proposed new construction impact the residents on Erin Street? Currently there is a green space separating Erin Street and the mall.

- Will the green space backing Erin Street continue to be protected or will that area be decimated and replaced and replaced by concrete? An order was issued by the town of Oakville (Gagnon) protecting this space.

Lyn Wiggins

From: Bruce 3D Consulting [REDACTED]
Sent: Monday, March 4, 2024 8:05 AM
To: Brad Sunderland <brad.sunderland@oakville.ca>; Town Clerks <TownClerk@oakville.ca>
Cc: Kirk Biggar <kirk.biggar@oakville.ca>; Jeff Knoll <jeff.knoll@oakville.ca>; Cathy Duddeck <cathy.duddeck@oakville.ca>; Ray Chisholm <ray.chisholm@oakville.ca>; Allan Elgar <allan.elgar@oakville.ca>; Nav Nanda <nav.nanda@oakville.ca>
Subject: RE: Amended to official plan

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Thank you, Brad.

Essentially, the current funding plan seems to prioritize future residents of Oakville over existing taxpayers, with no relief for those already paying taxes. It appears that only Sheridan College and the town will directly benefit from the allocation of HAF funding to support the Action Plan initiatives within an 800-meter radius. Can you please clarify how exactly these initiatives will benefit the residents within this radius? Considering they bear the most burden, it seems logical that they should receive the most funding.

Additionally, I have a few other points to raise:

The criterion of walking distance, particularly the 800-meter radius, seems arbitrary, especially given Oakville's recent announcement of free transit for students. Therefore, we strongly disagree with this radius.

The term "affordable housing" needs clarification. What constitutes affordable housing, and how is it measured? Given current interest rates and land values, it seems unlikely that investors would be able to provide affordable rental fees in Oakville. Are there plans for government-subsidized rents similar to Ontario housing? As of this morning, there are 544 rental opportunities listed on MLS between Sheridan College and the uptown core, out of a total of 830 units available for rent in Oakville. This suggests that there is already ample availability for students, even without including rental units not listed on MLS. So where exactly is the housing shortage?

If Sheridan College's plan involves providing housing, shouldn't the focus be on allocating funds to build housing on their campus first, before impacting the rest of Oakville's residents? All funds should be directed towards making housing affordable on their campus before considering changes to the official plan that would affect residents within the 800-meter radius.

There's also the issue of the federal government's restrictions on international student admissions, which were imposed to alleviate housing demands. In light of these developments, wouldn't it be wise to postpone any zoning changes within the 800-meter radius until the impact of these policies on colleges and universities becomes clearer?"

Town Clerk – please make sure this tabled at tonight's' town council meeting.

From: Brad Sunderland <brad.sunderland@oakville.ca>
Sent: March 3, 2024 6:05 PM
To: 'Bruce 3D Consulting' [REDACTED]

Cc: Kirk Biggar <kirk.biggar@oakville.ca>; Jeff Knoll <jeff.knoll@oakville.ca>; Cathy Duddeck <cathy.duddeck@oakville.ca>; Ray Chisholm <ray.chisholm@oakville.ca>; Allan Elgar <allan.elgar@oakville.ca>; Nav Nanda <nav.nanda@oakville.ca>
Subject: RE: Amended to official plan

Hello Bruce,

Please find below responses to your questions:

1. An 800 metre radius was chosen by the federal government. This distance is a typical “walkshed” distance that is used in several planning documents and represents an approximate 10-15 minute walk. As an example, this distance is outlined in the definition of “major transit station area” in the Ontario Growth Plan:

“... Major transit station areas generally are defined as the area within an approximate 500 to 800 metre radius of a transit station, representing about a 10-minute walk.”

The consideration for 800 metres represents a typical walking distance to Sheridan College.

2. Funds from the Housing Accelerator Fund program can be used towards:
 - Investments in HAF Action Plans such as:
 - any initiative included in the town’s action plan that is approved by CMHC .
 - Investments in Affordable Housing such as:
 - construction of affordable housing
 - repair or modernization of affordable housing
 - land or building acquisition for affordable housing
 - Investments in Housing-related Infrastructure such as:
 - drinking water infrastructure that supports housing
 - wastewater infrastructure that supports housing
 - solid waste management that supports housing
 - public transit that supports housing
 - community energy systems that support housing
 - disaster mitigation that supports housing
 - brownfield redevelopment that supports housing
 - broadband and connectivity that supports housing
 - capacity building that supports housing
 - site preparation for housing developments
 - Investments in Community-related Infrastructure that supports housing such as:
 - local roads and bridges
 - active transportation facilities such as sidewalks and bike lanes
 - firehalls
 - landscaping and green space

The permitted uses of HAF funds are broad, and the allocation of funding is at the town's discretion. The town intends to allocate HAF funding to support the Action Plan initiatives, and growth related infrastructure projects that are in line with the permitted uses of the funds.

3. The town's [Livable Oakville Plan](#) contains a policy framework for growth and change on the Sheridan College property as part of the *Trafalgar Road Corridor Special Policy Area*. Policy 26.3.4 of the Livable Oakville Plan includes policy direction specific to the Sheridan College property.

One of the initiatives the town may undertake as part of its HAF application initiatives, is rezoning the Sheridan College lands to further enable the policies in Livable Oakville.

You may also be interested to see [Sheridan College's own master plans](#) for development on its campus':

[Trafalgar Campus - Campus Master Plan Executive Summary - June 2020 \(sheridancollege.ca\)](#)

The town will continue to work with Sheridan College to realize its growth and development opportunities on campus.

I trust this helps,
Brad

Brad Sunderland, (He/Him), MCIP, RPP
Senior Planner, Policy Planning
Planning Services

Town of Oakville | 905-845-6601, ext. 3043 | f: 905-338-4414 | www.oakville.ca

Vision: A vibrant and livable community for all

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From: Bruce 3D Consulting <bdeabreu3d@gmail.com>

Sent: Sunday, March 3, 2024 10:32 AM

To: Brad Sunderland <brad.sunderland@oakville.ca>

Cc: Kirk Biggar <kirk.biggar@oakville.ca>; Jeff Knoll <jeff.knoll@oakville.ca>; Cathy Duddeck <cathy.duddeck@oakville.ca>; Ray Chisholm <ray.chisholm@oakville.ca>; Allan Elgar <allan.elgar@oakville.ca>; Nav Nanda <nav.nanda@oakville.ca>

Subject: RE: Amended to official plan

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Hi Brad,

I'm surprised that despite taking to time out of my very busy schedule to share our questions and concerns you haven't yet responded. Can you please provide the answer to my question prior to tomorrow meeting.

Thanks

From: Bruce 3D Consulting [REDACTED]
Sent: February 23, 2024 7:49 AM
To: 'Brad Sunderland' <brad.sunderland@oakville.ca>
Cc: 'Kirk Biggar' <kirk.biggar@oakville.ca>; jeff.knoll@oakville.ca
Subject: RE: Amended to official plan

Hi Brad,
Thanks for your email.

Our primary concern revolves around the proposed 800-meter zoning adjustment for Sheridan College. We have several questions regarding this matter:

1. Why has the 800-meter radius been chosen? What criteria were utilized to arrive at this specific distance? Have considerations been made to extend the zoning adjustments further towards downtown Oakville? Expanding the zoning could distribute the effects across a broader segment of residents, especially considering the provision of free transit funded by Oakville taxpayers for students.
2. Regarding the accelerator fund provided by the Ontario government, how will these funds be allocated? Will there be any alleviation in tax obligations for Oakville residents as a result? It would be helpful to understand the direct benefits for current taxpayers who have consistently supported the council through their taxes, ensuring the provision of essential services and the employment of council staff.
3. There is a notable absence of information in the amendments concerning Sheridan College's property. Particularly, there appears to be a significant parking area that could potentially accommodate housing complexes, and move the parking to either underground or aboveground. While there may be plans for future housing development on the college's grounds, the specifics elude us. It seems inequitable that the responsibility for addressing the housing needs primarily falls on Oakville residents within an 800-meter radius, while Sheridan College, as a profit-driven institution, remains largely unaffected.

Additionally, there are pertinent facts gleaned from Sheridan College's 2022/2023 financial statements:

2022/23 Financial Results Management Analysis

Table 4 – Tuition and Fee Revenue

\$ millions	2021/22 Actuals	2022/23 Actuals	Year-over-Year Change	2022/23 Budget	Variance to Budget
Domestic Tuition	65.2	57.0	(8.2)	58.2	(1.2)
International Tuition	105.3	142.7	37.4	148.1	(5.4)
Collaborative Tuition	11.3	9.5	(1.8)	5.3	4.2
Student Fees	30.4	39.4	9.0	37.8	1.6
Total	212.2	248.6	36.4	249.4	(0.8)

Figure 10 – Tuition Trend

- Approximately 58% of all tuition fees collected by Sheridan College are from international students. Unlike domestic students, international students invariably require housing accommodations. In their forward-looking statements, Sheridan College acknowledges the necessity of attracting more international students to offset rising costs. However, it is the Oakville residents who bear the burden of accommodating this growth, without Sheridan College bearing any apparent responsibility. Shouldn't there be a requirement for Sheridan College to utilize its property to accommodate this growth, considering they are the primary catalyst for this issue?
- Another noteworthy point is the federal government's imposition of restrictions on international student admissions to alleviate housing demands. Given these developments, wouldn't it be prudent to defer any zoning changes within the 800-meter radius until the ramifications of these policies on colleges and universities become clearer?"

Looking forward to hearing from you.

-----Original Message-----

From: Brad Sunderland <brad.sunderland@oakville.ca>

Sent: February 16, 2024 9:30 AM

To: 'Bruce De ABreu' [REDACTED]

Cc: Kirk Biggar <kirk.biggar@oakville.ca>

Subject: RE: Amended to official plan

Good morning Bruce,

Thank you for reaching out. The draft Official Plan Amendments and Zoning By-law amendments, as well as other background information, can be found on the project webpage:

<https://www.oakville.ca/business-development/planning-development/housing/housing-accelerator-fund/>

In regard to why the town why these draft amendments are being proposed:

In spring 2023, the Canada Mortgage and Housing Corporation (CMHC) (a federal agency) launched the Housing Accelerator Fund (HAF) program. The main objective of the program is to encourage housing supply growth and create certainty in development approvals. In summer 2023, the town submitted a HAF application that included a Council approved Action Plan with seven initiatives. Subsequent communications throughout the fall between the town and the federal government, the federal government identified additional measures necessary for improving the town's application. In response to those communications, on January 22, 2024, the following motion was passed by Council:

"In support of the Housing Accelerator Fund, as advised by Minister Fraser with due regard for heritage conservation and infrastructure capacity and servicing:

a) That staff be directed to bring forward a zoning by-law amendment to permit 4 units per property, as-of-right for Council's consideration within 90 days of passing of this resolution; and

b) That staff be directed to bring forward a zoning by-law amendment permitting 4 storeys within 800m of Sheridan College for Council's consideration within 90 days of the passing of this resolution;"

To address Council's motion, draft town-initiated Official Plan Amendments and Zoning By-law amendments have been prepared, and notification to area residents has been provided as per the requirements of the Ontario Planning Act..

More about the Housing Accelerator Fund application and council's motion can be found here:

<https://pub-oakville.escribemeetings.com/Meeting.aspx?Id=8c7049e8-070c-40e4-b162-ed865fefe866&Agenda=Addendum&lang=English&Item=79&Tab=attachments>

Please know that the meeting on March 4 is a Public Meeting being held by the town's Planning and Development Council. It is a required meeting to be held as per the legislation of the Ontario Planning Act. A staff report, which brings forward the draft OPA and ZBA, will be available in advance of the meeting on the town's web agenda page on February 20, 2024.

The Public Meeting on March 4 is an opportunity for Council to hear comments from the public (concerns, support, etc.) about the draft amendments. No decision by Council will be made at this meeting. A final recommendation by staff will be provided at a future Recommendation Meeting, where Council will be asked to adopt/approve the amendments. The final recommendation must take into consideration comments received at the Public Meeting. The Recommendation Meeting is currently anticipated in April 2024 in order to meet Council's 90 day timeframe.

I trust this helps,
Brad

Brad Sunderland, MCIP, RPP
Senior Planner, Policy Planning

Planning Services

Town of Oakville | 905-845-6601 ext.3043 | f: 905-338-4414 | www.oakville.ca

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-----Original Message-----

From: Bruce De ABreu [REDACTED]

Sent: Thursday, February 15, 2024 9:19 PM

To: Brad Sunderland <brad.sunderland@oakville.ca>

Cc: Jeff Knoll <jeff.knoll@oakville.ca>

Subject: Amended to official plan

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Can you please share amended plans for 42.15.62 and 42.15.63.

The folks in our community have a serious concern with the proposed Sheridan housing policy area.

I will rallying the troops in the area.

Can you explain why this is being proposed and why this area has been specifically targeted?

Sent from my iPhone

Dear Sean and Jonathan: Unfortunately, I have a conflict in my schedule preventing me to delegate by Zoom tonight.

Attached, please find my written submission. I have cc'd the Town Clerk to have my submission as part of the record.

Make it a great day,
Harry

Harry J. Shea
President-Corporate Secretary
Bronte Village Residents Assoc.



Your Ward 1 Voice!

"You cannot expect a community
greater than your willingness to contribute to it".



March 4, 2024

RE: 6.2 Statutory Public Meeting

Good evening; Mayor Burton and the members of town council.

Unfortunately, because of a conflict I can't delegate in person this evening.

As we all know we are in the midst of a very animated discussion over the density and the intensification coming to Midtown.

We are seemingly quite comfortable to put families in tall towers knowing that the amenities which will make Midtown a complete community will be coming years later. Tall Towers of isolation await families until the elements that make a community a community are finally realized. Towers first, amenities later.

Instead of thinking we can force all the population in to Midtown, and trying to convince the populace through these contorted conversations, the vital conversation we really need to be having now is about subdividing an existing single detached home allowing for 3 or 4 housing units within. This gentle intensification is a more rational approach to increasing housing which maintains a more balanced approach to fostering a community than tall towers because the community is already established in these neighbourhoods.

Gentle intensification coming from additional housing units contained within an exiting building envelope of a detached home will not destroy the distinct character of the existing neighbourhoods unlike four-storey apartment buildings forced upon areas because "we need housing". Think 2220 Marine with a four-storey 27 units apartment building in the midst of an existing stable neighbourhood with generous setbacks. In the OLT decision, "Intensification is to be encouraged generally

throughout the built-up area. The tribunal takes that at face value and treats that as creating an obligation to give due regard to intensification proposals throughout the built-up area, irrespective of the hierarchy." Was sited for the approval of the application.

What will deliver affordable rental housing to Oakville? Gentle intensification by its nature within existing detached homes have more potential to deliver more affordable rentals than tall towers as being currently being proposed in Midtown.

If we are truly committed to increased housing then gentle intensification is one piece of the housing puzzle which needs to be explored. This is the conversation we should be having now. Gentle intensification should be viewed across ALL of Oakville and not be limited to certain areas because other areas are deemed off limits.

If we can't accept 4 dwelling units per property throughout ALL of Oakville, our commitment to increased housing is once more an example of meaningless platitudes.



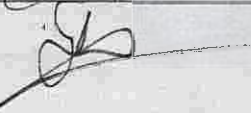






I thank you for your time.

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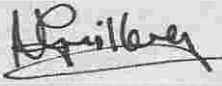
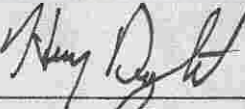
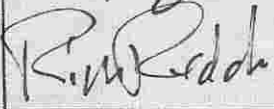
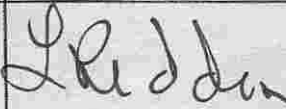

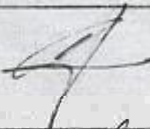
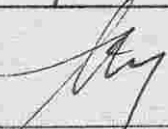

Name	Signature
Elsa Pillai	
PRAVEEN PILLAI	
Jeffrey Seiler	
M. de Alencar	
Pina Palumbo Michael Palumbo	
Carl Sequerra Clementina Sequerra	
Meltem YILMAZ Timucia YILMAZ	
Sobna Sesthe	
Ashleigh Breen	

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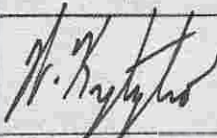
Name	Signature
Jean-Francois GUILVEREZ	
Nathalie Guilverez	
Henry Dykstra	
Richard Redden	
Kynne Redden	
ANNA T. FORENARI	
CARLOS LUCAS	
Andres Mendel	
Totu Zegzmond	

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Name	Signature
KEITH V	
ELIZABETH A NELSON	Elizabeth Nelson
Donna Lawrence	
Kevin Hetcheson	
Maria del Carmen Hui	
Maria del Carmen Hui	
PETER STOECKE	Peter Stoed
DEBRA STOECKE	Debra Stoek
SILVANA RADOVAN	Silvana Radov
WALTER KYTAYKO	

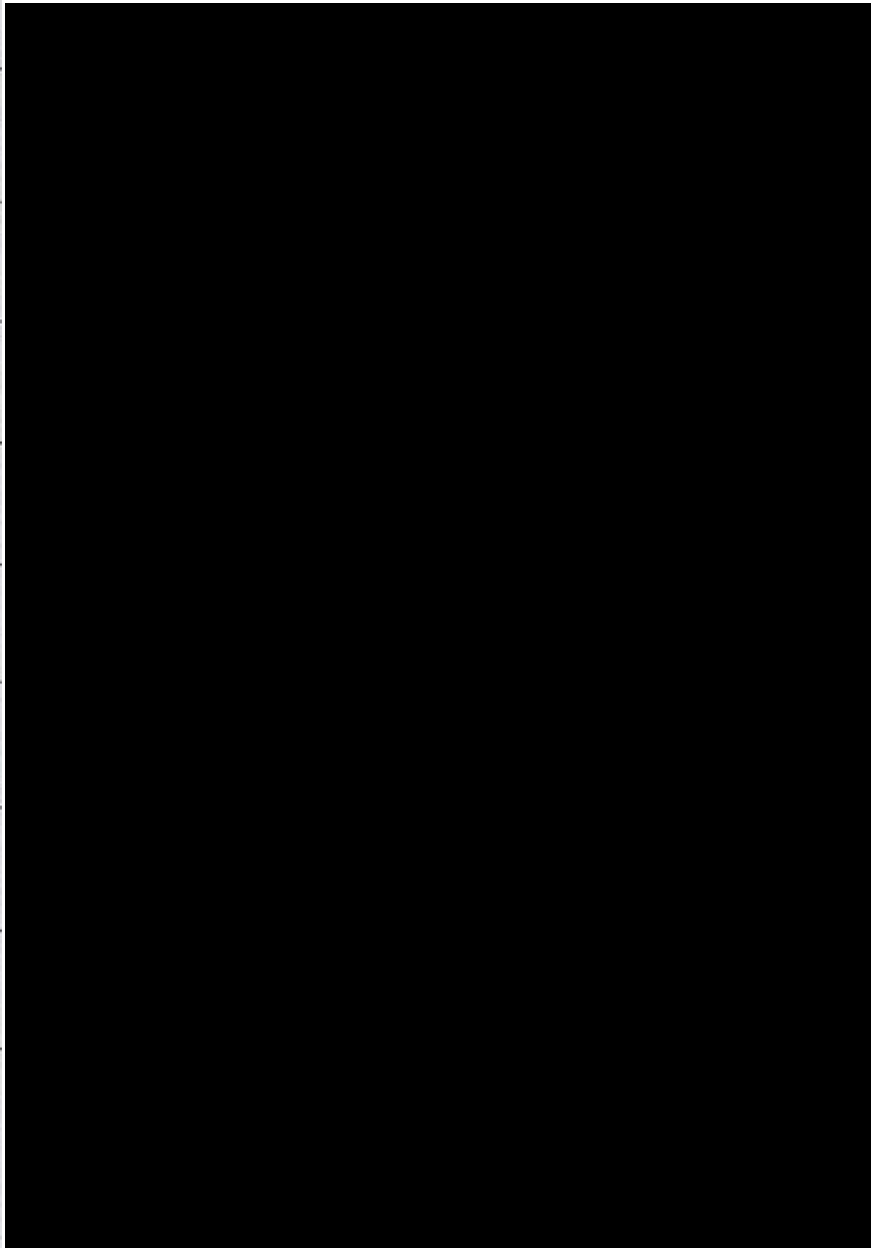
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Name	Signature
SHEILA GRAHAM	S. Graham
BRENDA BASQUE	B. Basque
LOGAN BASQUE	L. Basque
GILLIAN BASQUE	G. Basque
NANDINI SRINIDHI	N. Srinidhi
DANA SIRRI	D. Sirri
HONORATO TAPANG	H. Tapang
FARZANA HOTAY	F. Hotay
Howard Hou	H. Hou


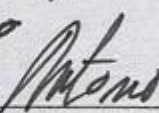

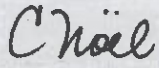
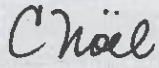
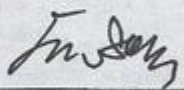
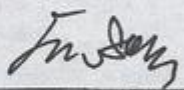
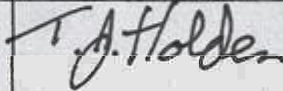
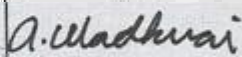
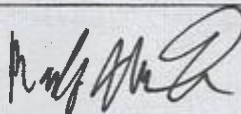
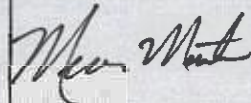
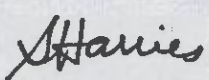


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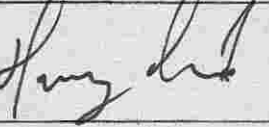
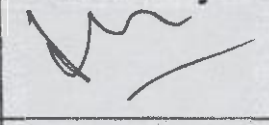
Name	Signature
Porek Zapp	
ANTONIO ALEIXO	
LUCILIA ALEIXO	
Cheryle Noël	
Michael Noël	
Kai Han	
June Song	
Tim Holden	
Amrita Wadhvani	
Randy Martin	
Miniam Martin	
Susan Horrus	

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Name	Signature
Matt Tipping	
FRANK MACMILLAN	F. MACMILLAN
SUSAN MACMILLAN	
SLAVICA GOLIJANIN	Golijanin
FAN FAN	
MANNY SILVEIRA	
JUEITA AMOR	A. Amor
ADAM AHMED	
Aki Bachelor	Bachelor

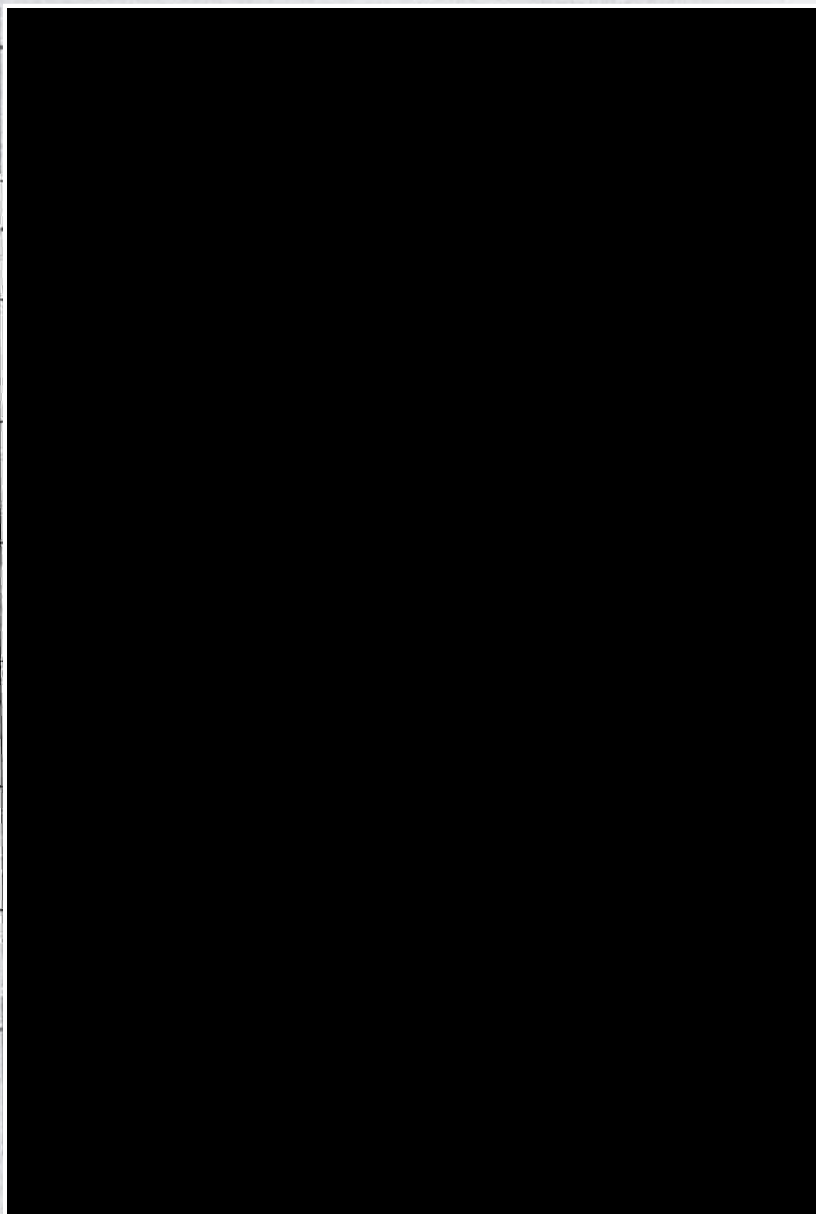
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Name	Signature
LINDA KENLO	
Ying Di Zong	
XIANG CAI Ross Hattin	
Marilyn Kerr	
Peter Zepieri	
Sharon Neelin	
JP DIAS	
Ann Ferraro	



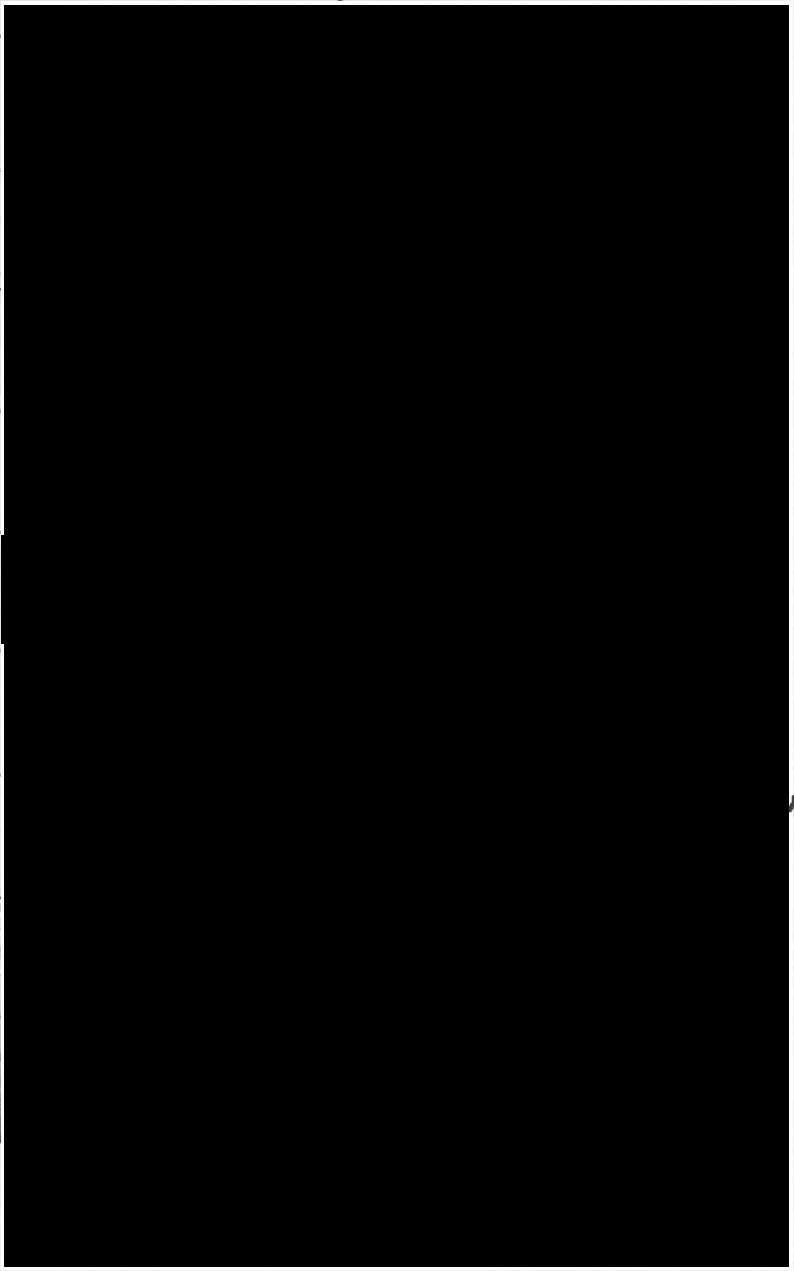
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Name	Signature
HAROLD EIDLITZ	<i>Harold Eidlitz</i>
Andres Vasquez	<i>AV</i>
BRIAN MIKI	<i>B</i>
MELODY MIKI	<i>Miki</i>
SUBIDAP SUDHARWANIC	<i>Subidap</i>
Patricia McGarrell	<i>Patricia McGarrell</i>
KARLUS YOUNG	<i>Kyoung</i>
MARION FERRIS	<i>Marion Ferris</i>
Tao Le	<i>Tao Le</i>




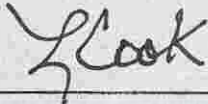
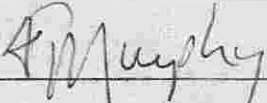
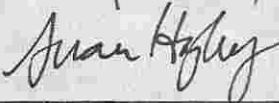
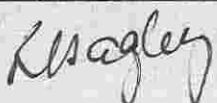




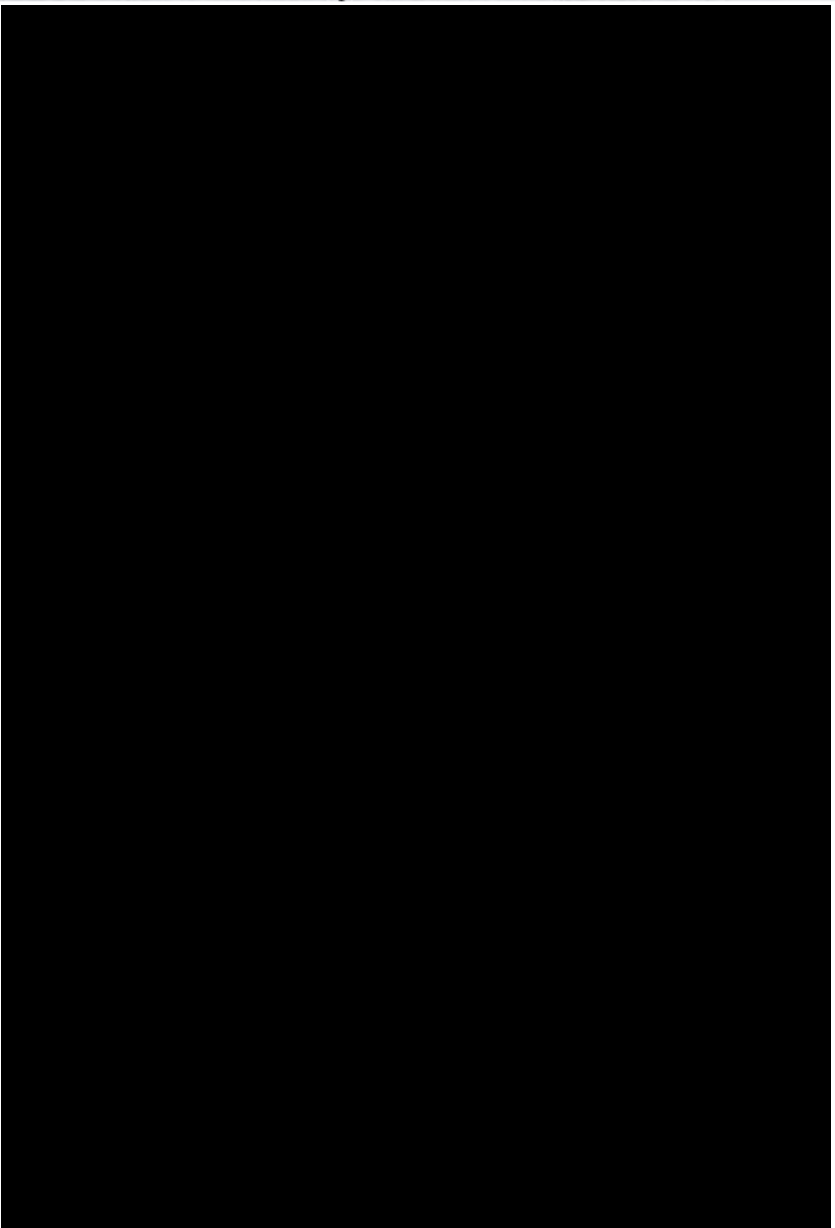
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Name	Signature
Kevin Dearden	
Lou Mosca	
Mona Romeh	
LORI COOK	
E. Murphy	
Susan Hagley	
ROBERT HAGLEY	
DAN FERRARO	
Lyle Lodge	





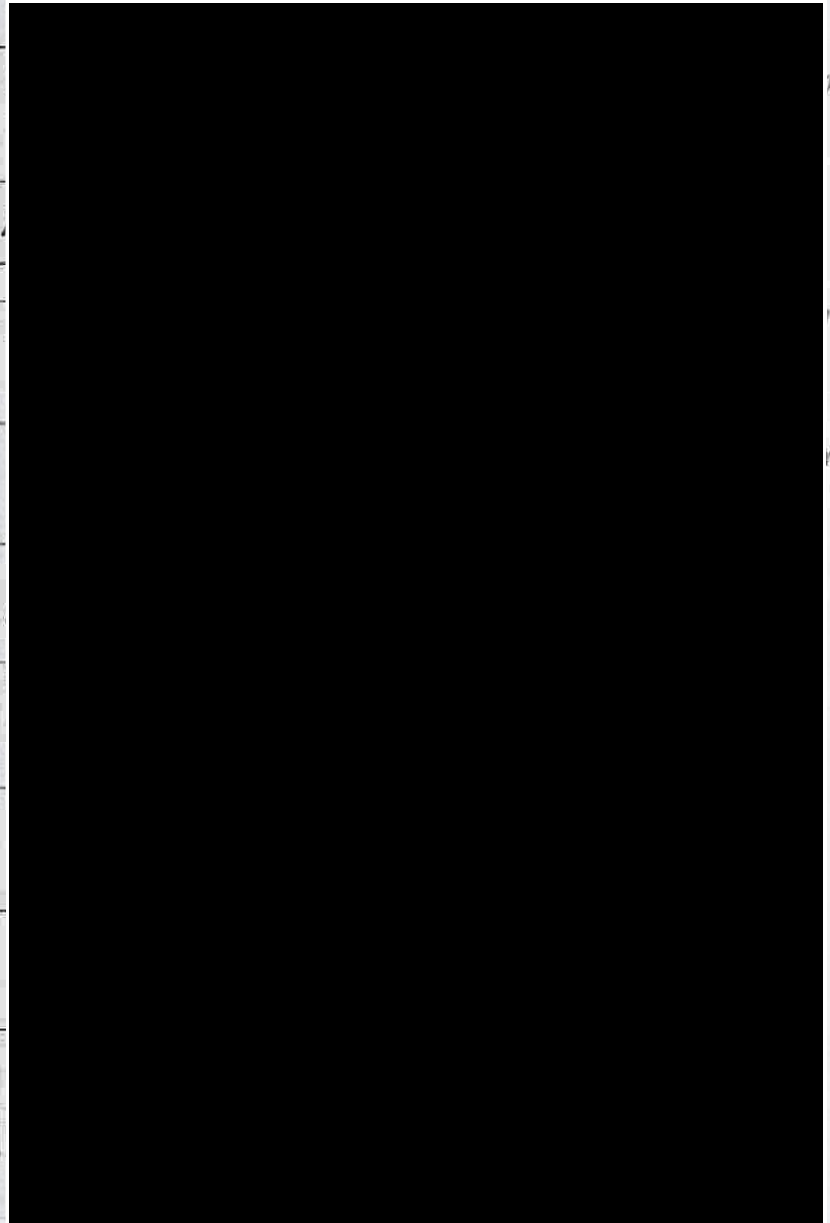
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Name	Signature
Gloria Liu	
CHHIDER PAL BARR	C. Barr
Theresa Efendov	Theresa Efendov
Hasan Efendov	Hasan Efendov
ALAN BOYES	Alan Boyes
Sheryl Boyes	Sheryl Boyes
LATHA KONDAJJI	Latha -K-R.
VISAY CHIGATERI	
Rob Sischy	Rob Sischy

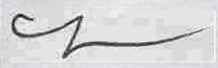


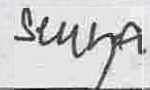







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Name	Signature
Lauren Sullivan	
Smita Buzi	
K vanhane	
Poc	
Jessee Soondarsingh	
Kent Wallace	
Liu Howcroft	
Zohair Komach Kora	
DAA PASTORIC - Melen PASTORIC	

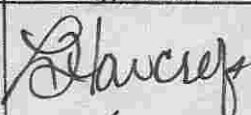
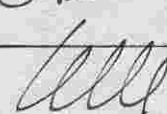

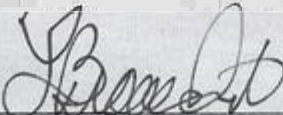
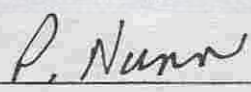

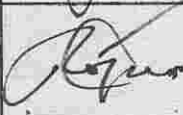



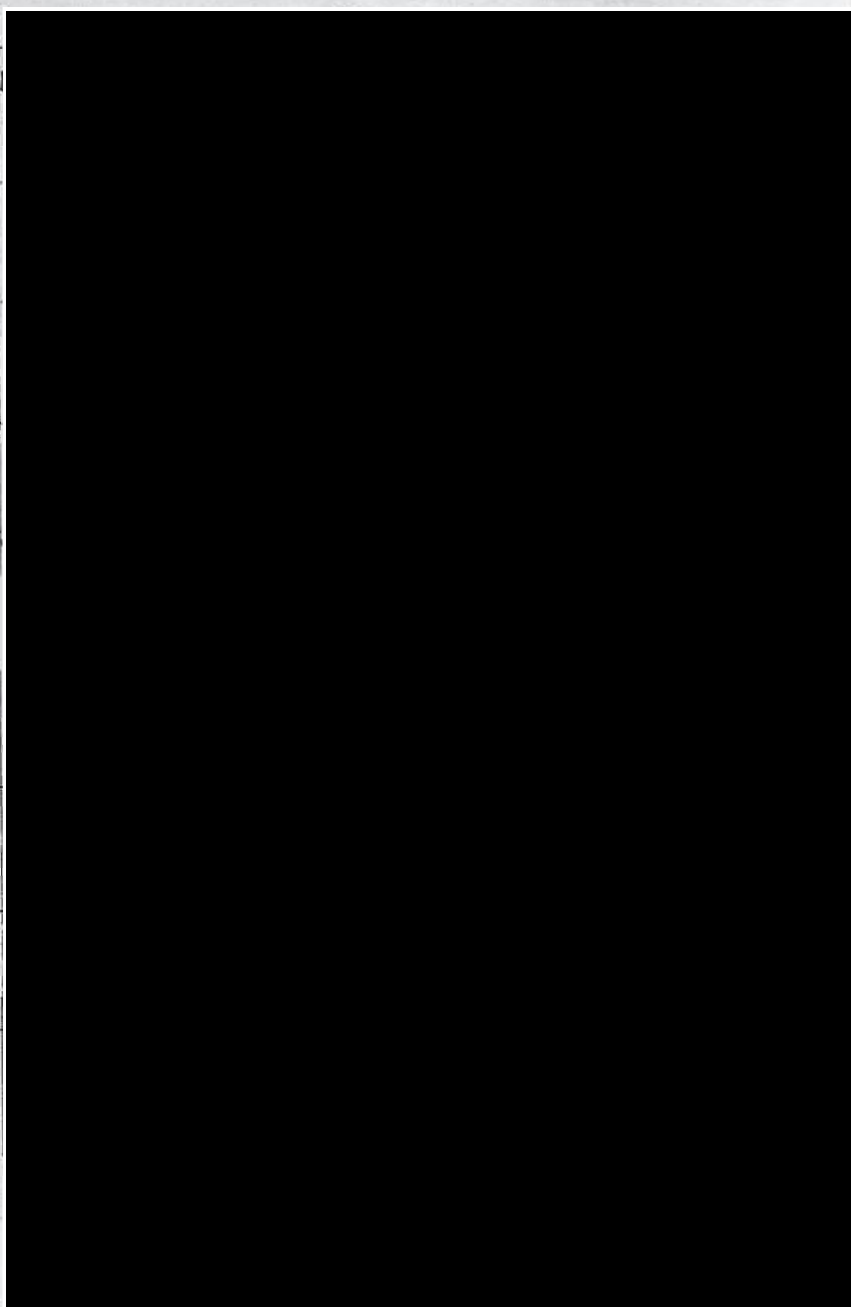
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Name	Signature
Laura Howcroft	
LUCY HAVINE	
Martha Bell	
Lisa Broadhurst	
P. Nunn	
N. Vuong	
J. Loh	
Delia Feijo	

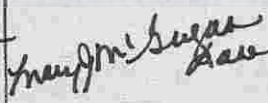
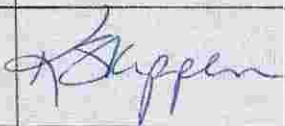
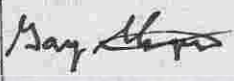




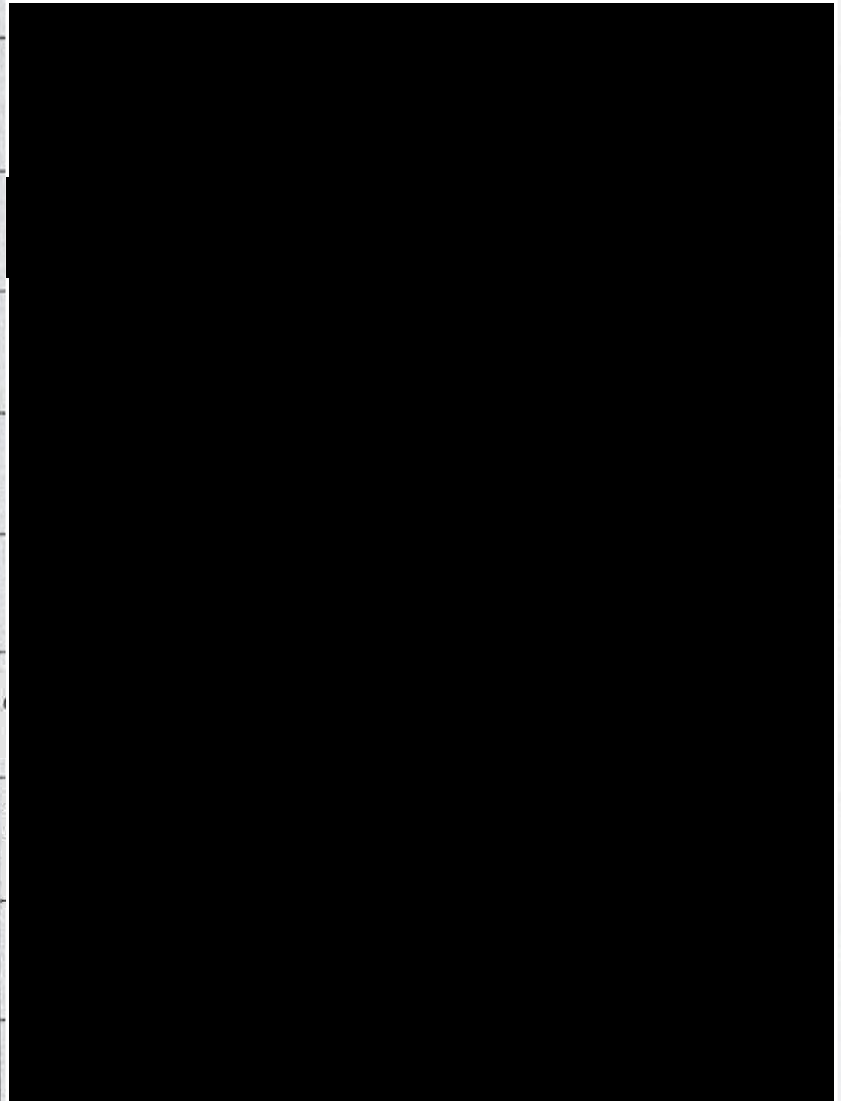
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Name	Signature
Mary McGugan-Lane	
Kim Skippen	
Gary Skippen	
Cynthia Ene	
Solomon Amuno	S.A
VALERIE REAN	V.R.R
PETER WEI	



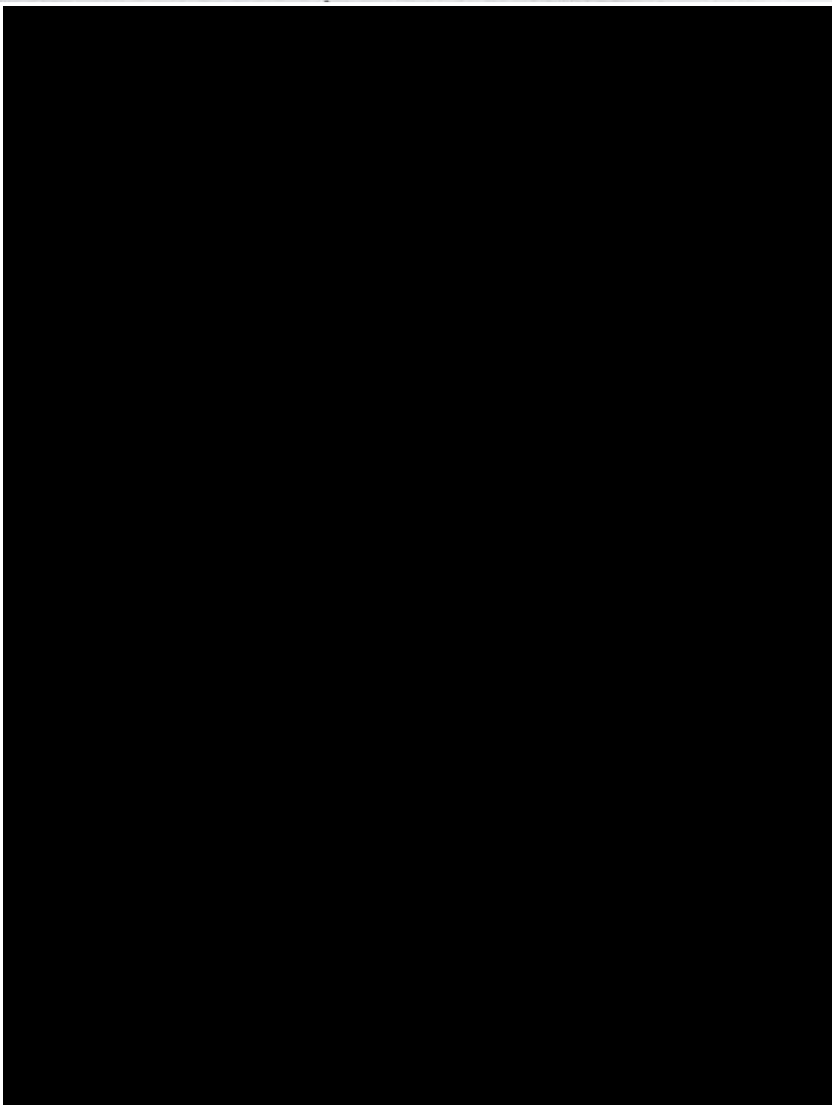
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Name	Signature
D. ST. F. D. LER	D. St. Fleur
C. Hamdan	C. Hamdan
Toran Elfaravari	Toran Elfaravari
Ron Bell	Ron Bell
Helen Pastoric	Helen Pastoric
Joanna Wojcik	Joanna Wojcik
John + Myra Willis	423 Parklane

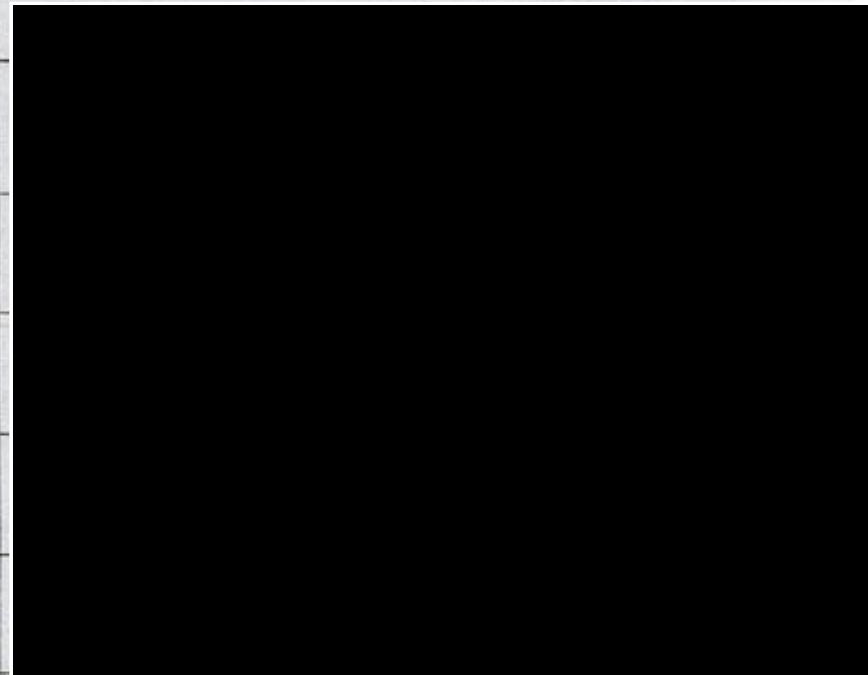
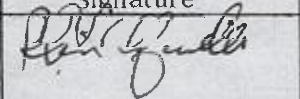
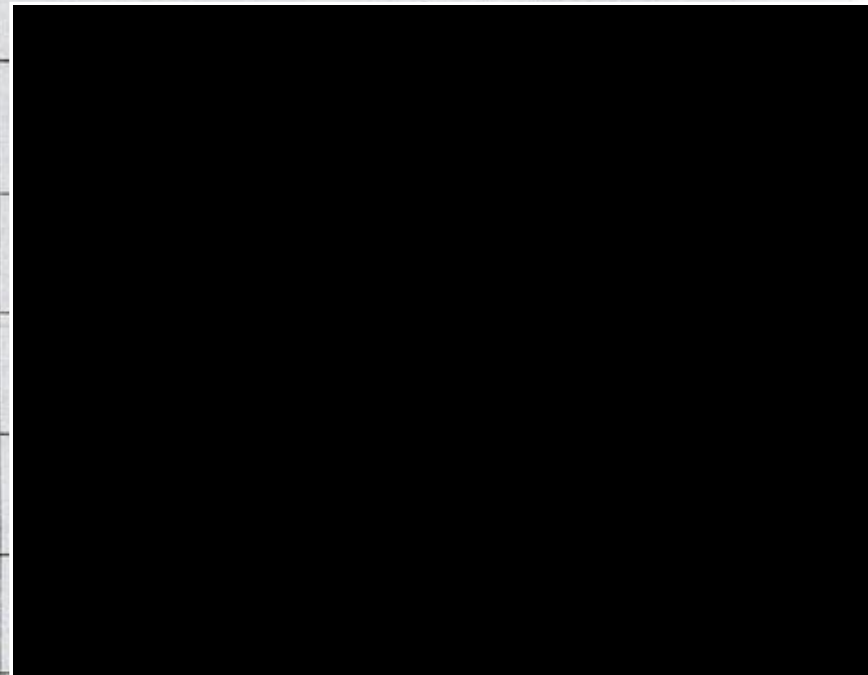

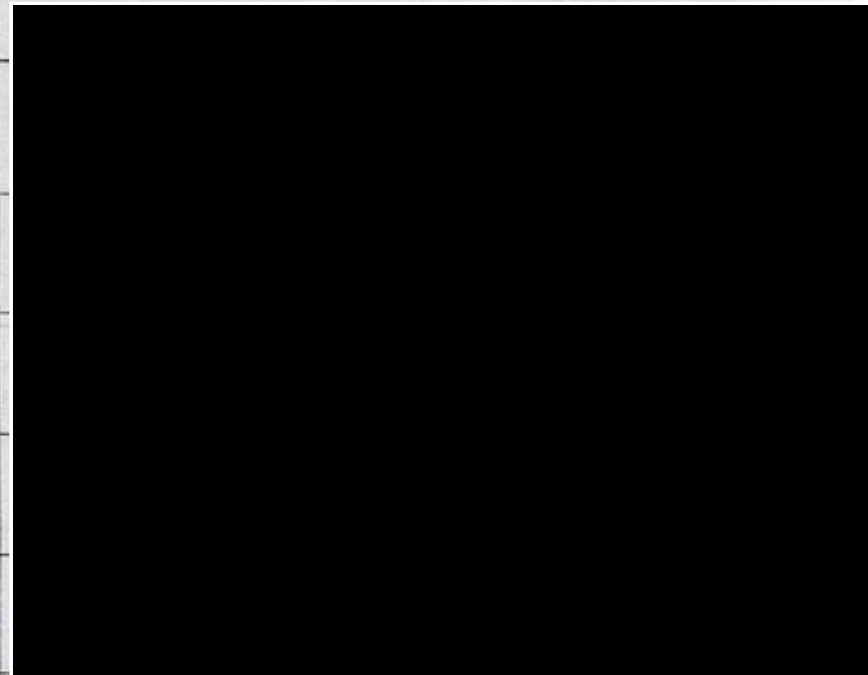
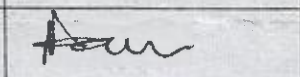
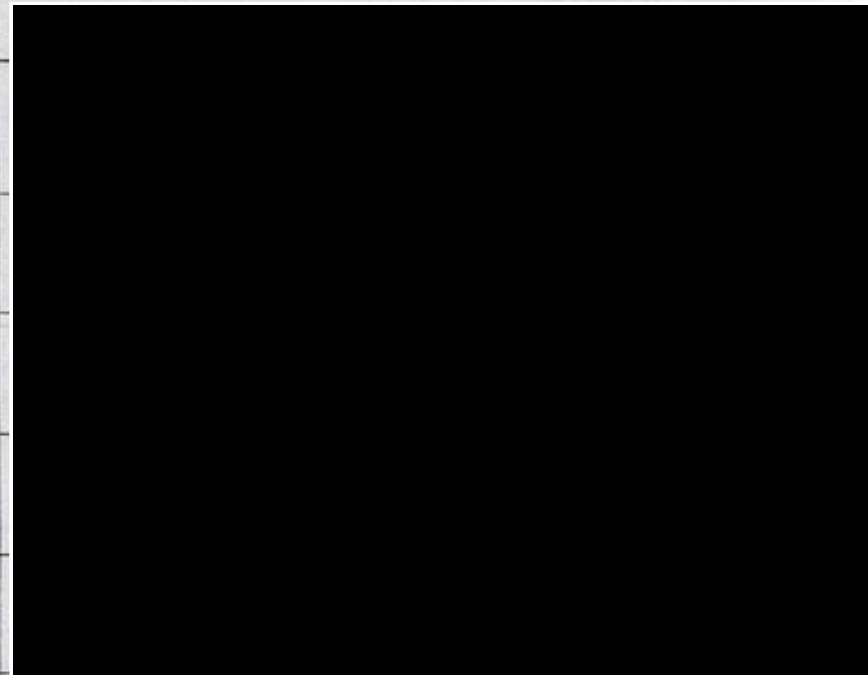
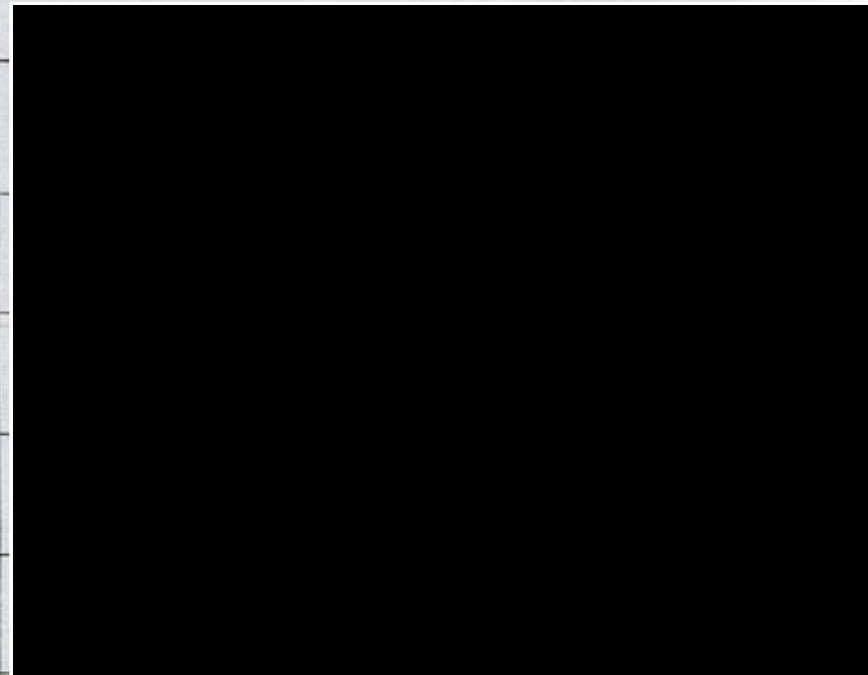
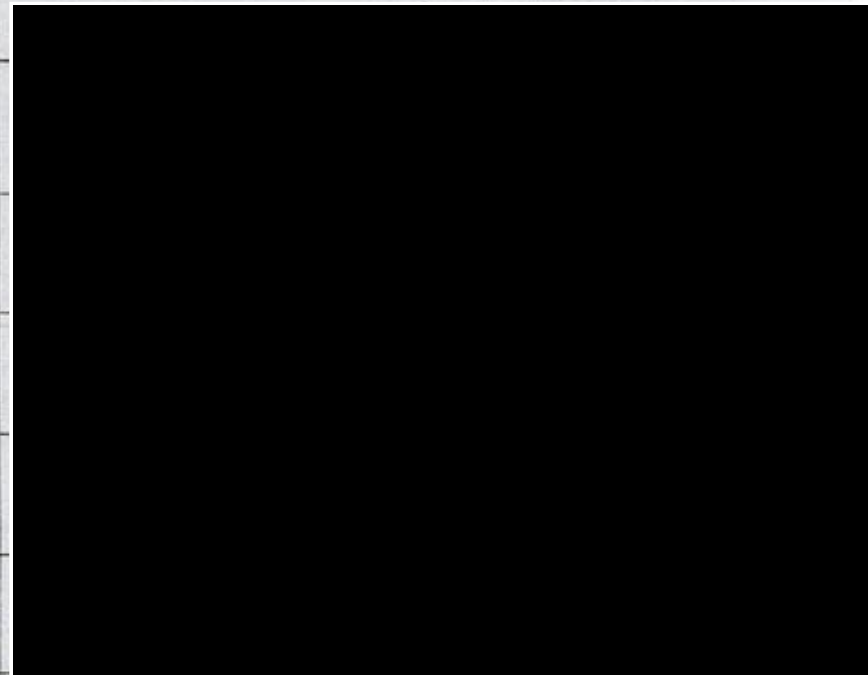
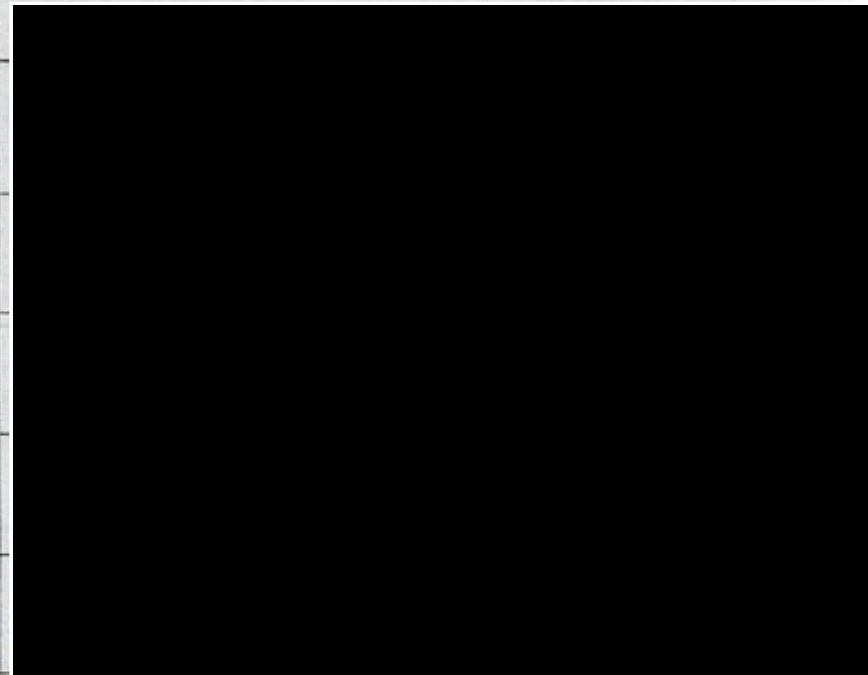
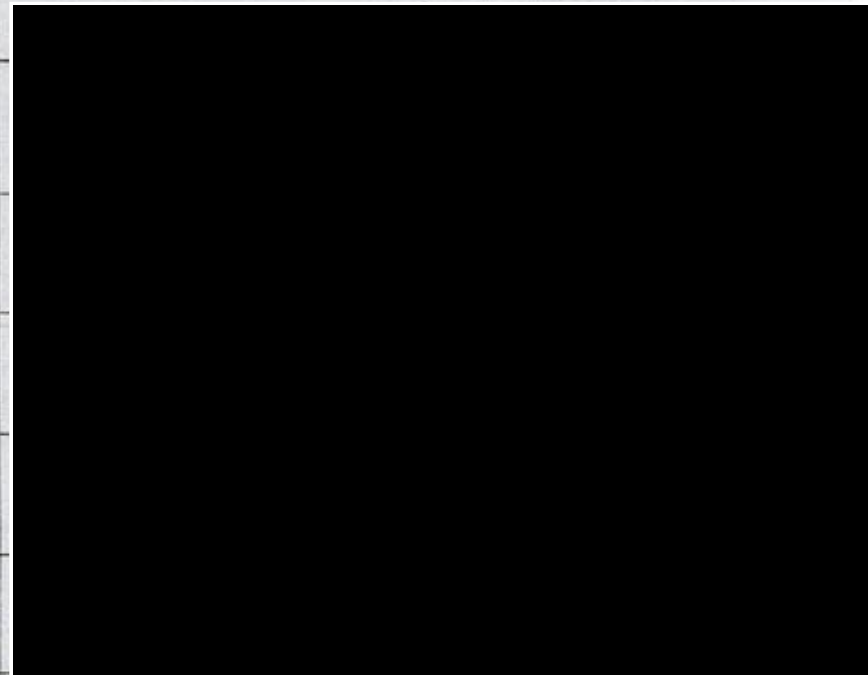
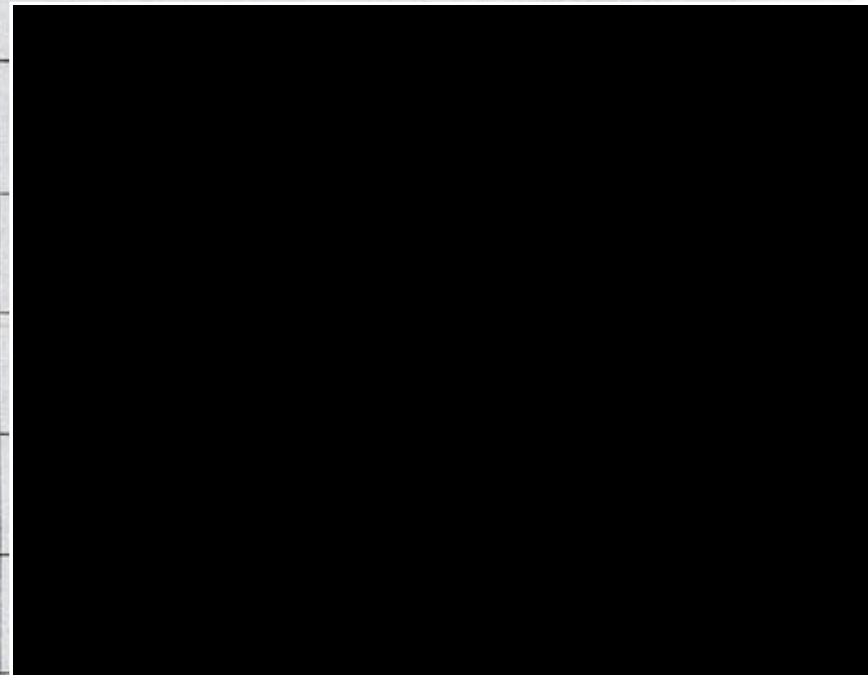


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TO: Mayor; Marc Grant; Jeff Knoll

We, the undersigned, being residential Owner Stakeholders in the properties detailed below **DO NOT APPROVE** the above-mentioned rezoning proposal. The Housing Accelerator Fund is a rush to solve a problem without due consideration to the creation of many others. Let's not be part of a poorly thought out change to our Livable Oakville Plan. We wish to solve our housing problems through long term, thoughtful planning.

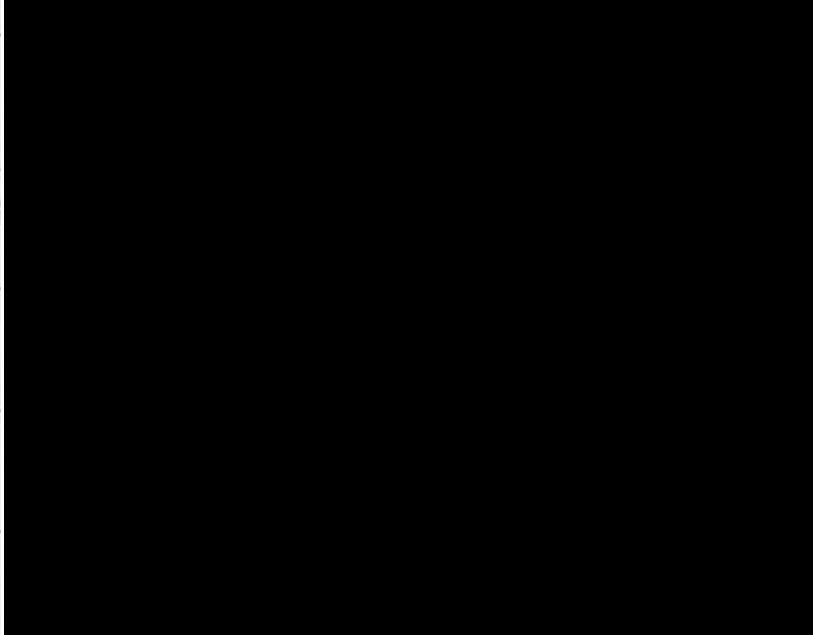
Name	Signature				
Phillip Cifarelli Chris Cifarelli					
Bill Patterson					
Arnie Hamer					
Alex Mantadis Cynthia Mantadis	a.m.				
					
					
					
					
					

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Name	Signature	
Mantred	[Signature]	
Vordum	[Signature]	
Kurt Debus	Kurt Debus	
Fanny Debus	[Signature]	
Dr Annelk Vorubaun	[Signature]	

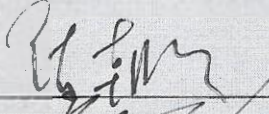
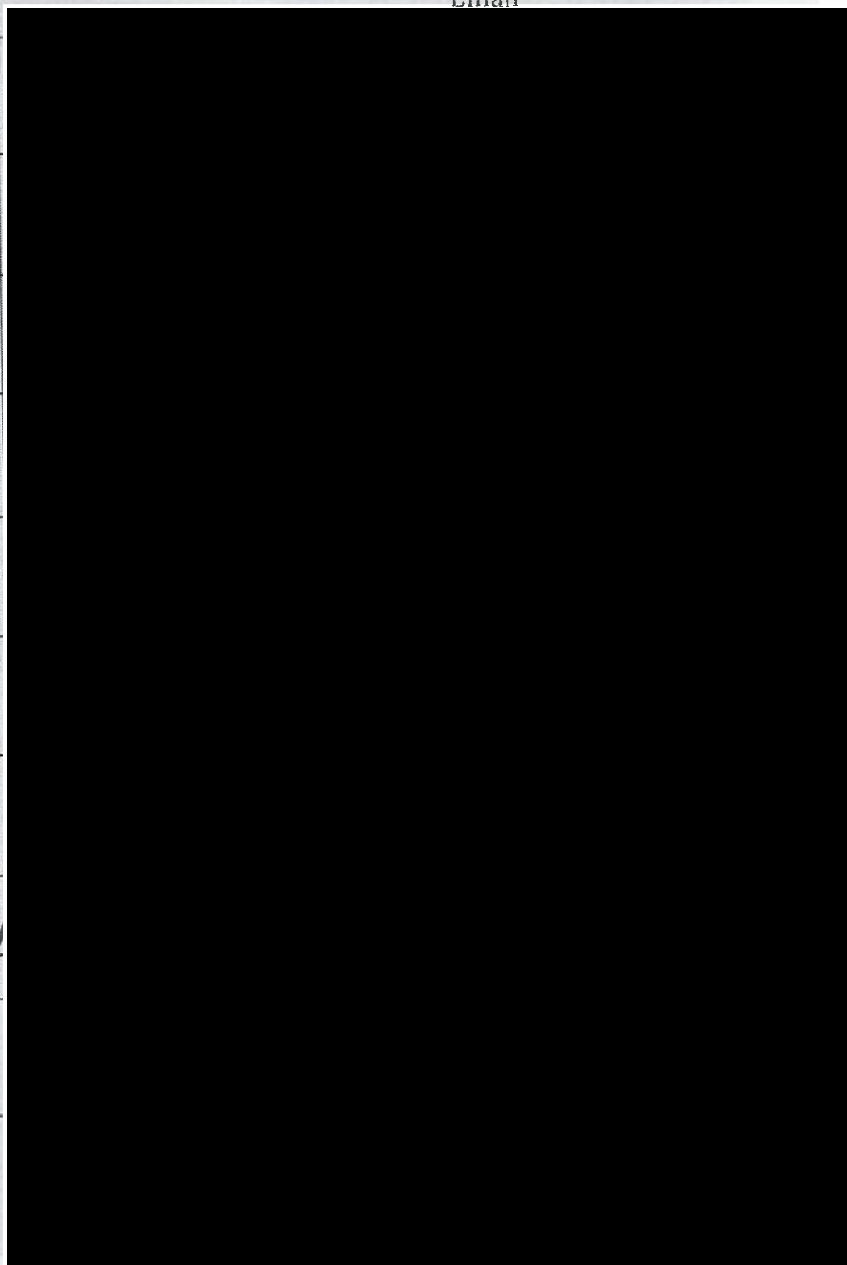
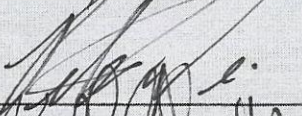

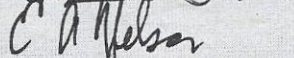


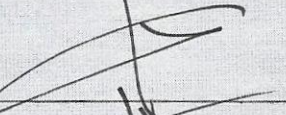
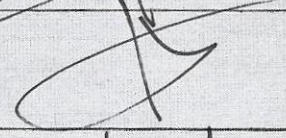
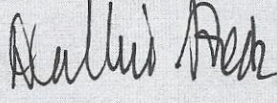
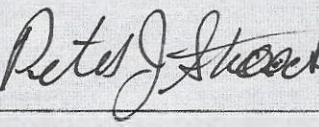
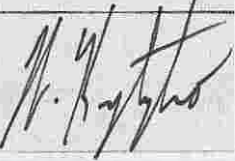
170

TOWN OF OAKVILLE

RE: SHERIDAN COLLEGE HOUSING AREA—SPECIAL POLICY AREA

TO: Mayor; Marc Grant; Jeff Knoll

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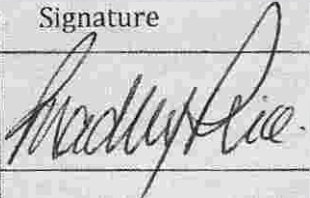
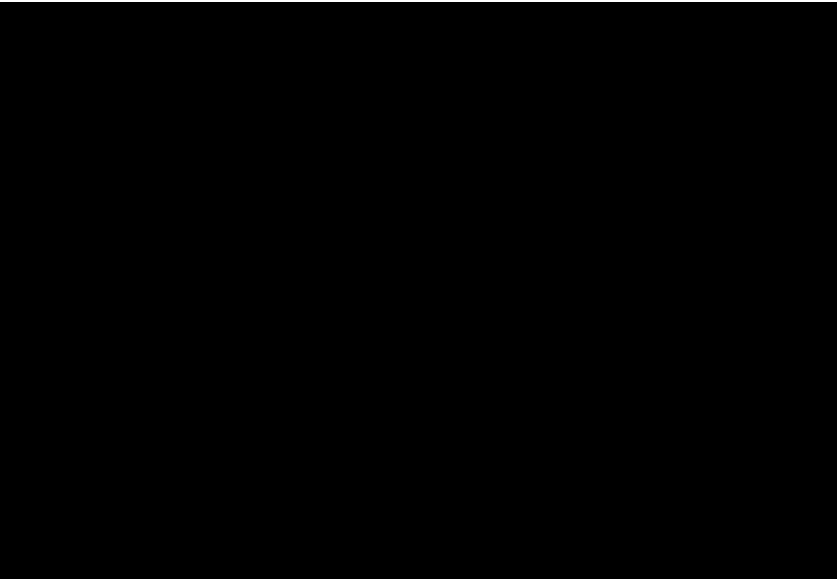

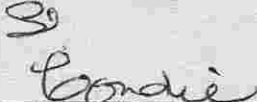

Name	Signature	Email
Zhaohui Chen		
PETER WEL		
KEITH NELSON		
ELIZABETH NELSON		
DONNA LAWRENCE		
Kevin Ketcheson		
Maria del Carmen Hui		
Maria del Carmen Hui		
Debra Stoeckel		
Peter Stoeckel		
SILVIANA RADOVAN	Silvana Radovan	
WALTER KYTAYKO		

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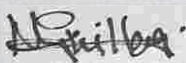
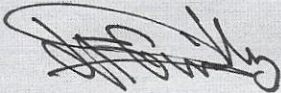
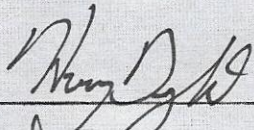
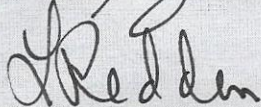
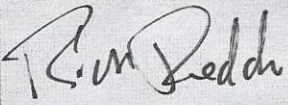
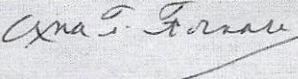

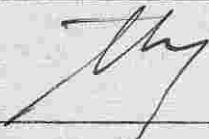


Name	Signature	Address	Email	
BRADLEY PRICE				
R.T. Condie				
Shirley Condie				
Champa Asrani				

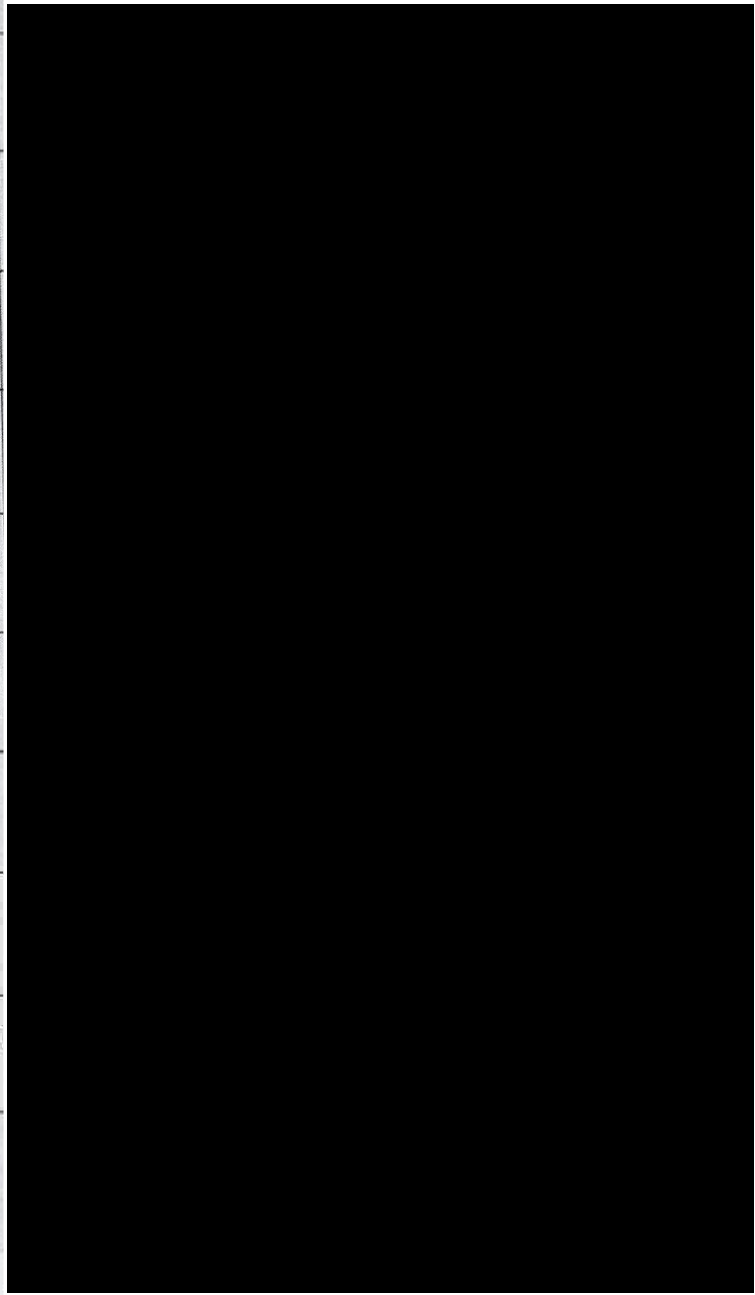
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Name	Signature
Nathalie Guillerez	
Jean-Francois GUILLEREZ	
Henry Dykstra	
Lynne Redden	
Richard Redden	
ANA T. FORUARI	
CARLOS IGLESAS	
ANDREW MENDEL	
John Zogopoulos	
Martina Vormbach	


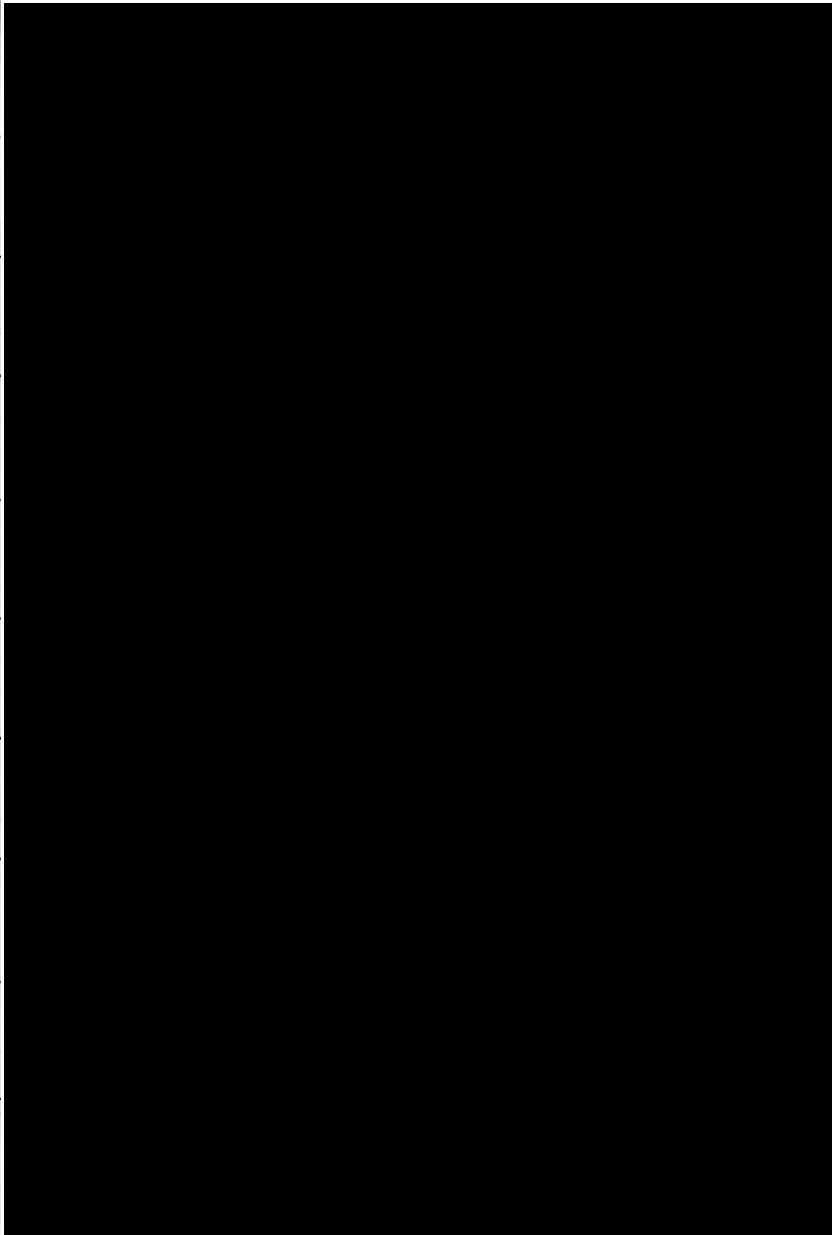
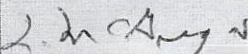
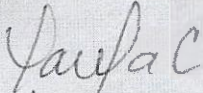
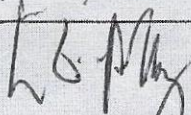
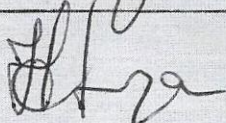
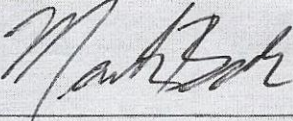
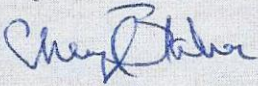
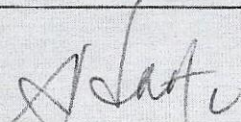
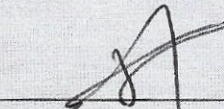

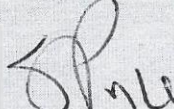


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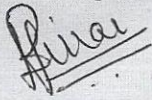
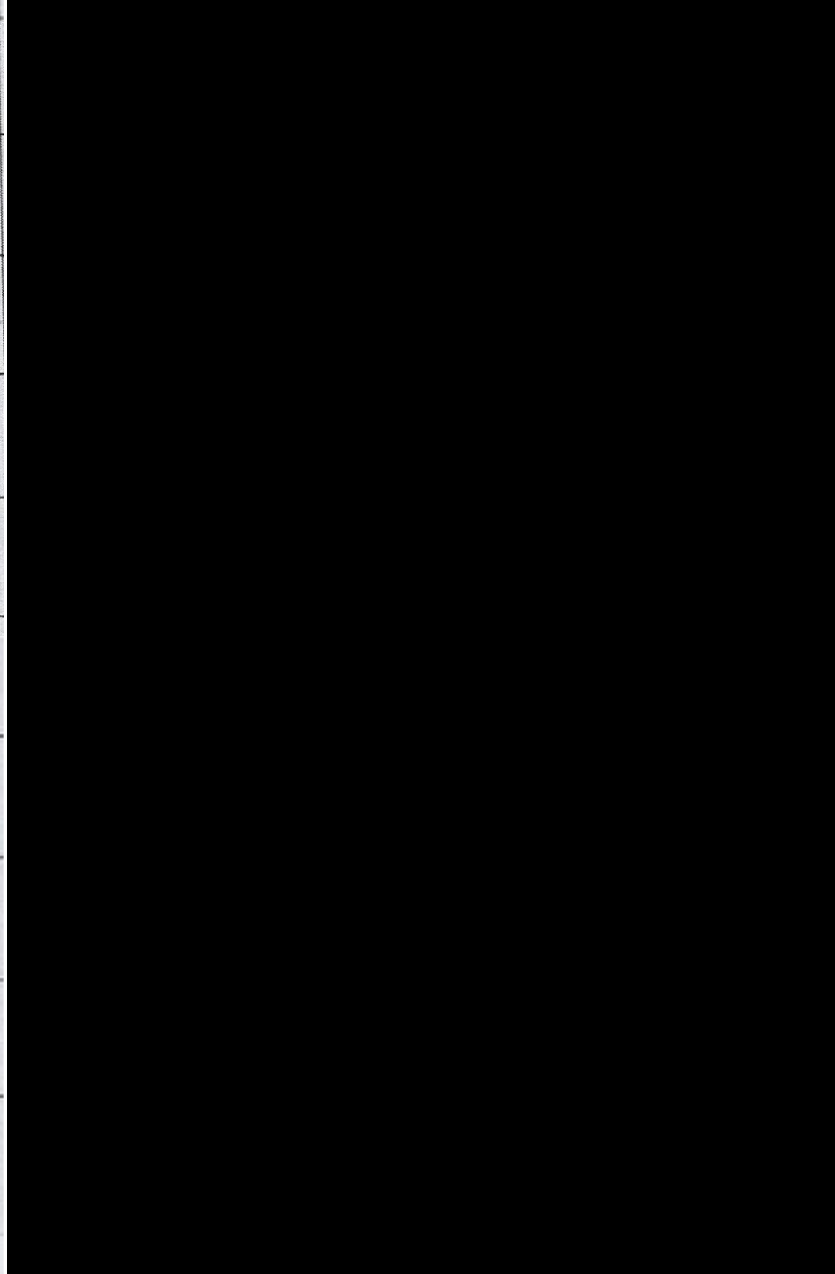

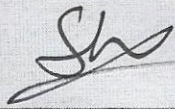
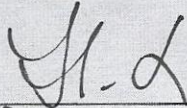
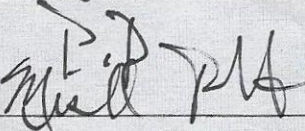



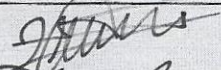
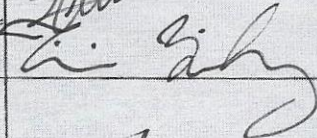
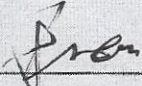
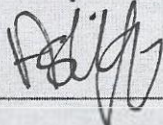
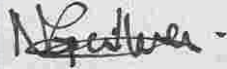
Name	Signature	Address	Email
Dennis Gasparotto			
Laurie McGror			
Paula Calderon			
LWIS DESOUZA			
LILMA DESOUZA			
Mark Baber			
Cheryl Baber			
Gordon Hunter			
Dorav Abudye			
Simon Burgess			
Shelley Price			

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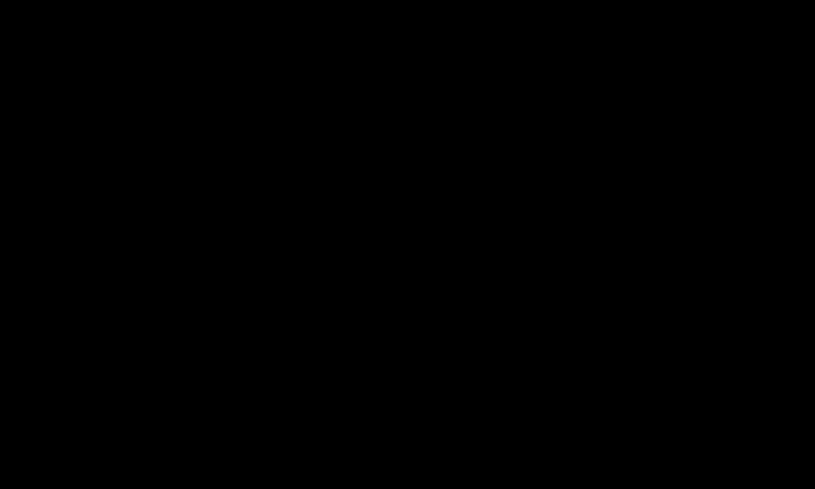
Name	Signature	Address	Email	
Elsa Pillai				
PRAVEEN Pillai				
Jeff Seiler				
M. d. Mills				
Pina Palumbo				
Michael Palumbo				
Carl Segueira				
Clementina Segueira				
Meltem YILMAZ				
Timucin YILMAZ				
Gobin Sode				
Ashleigh Breen				
Nathalie Guillerez				

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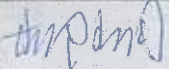
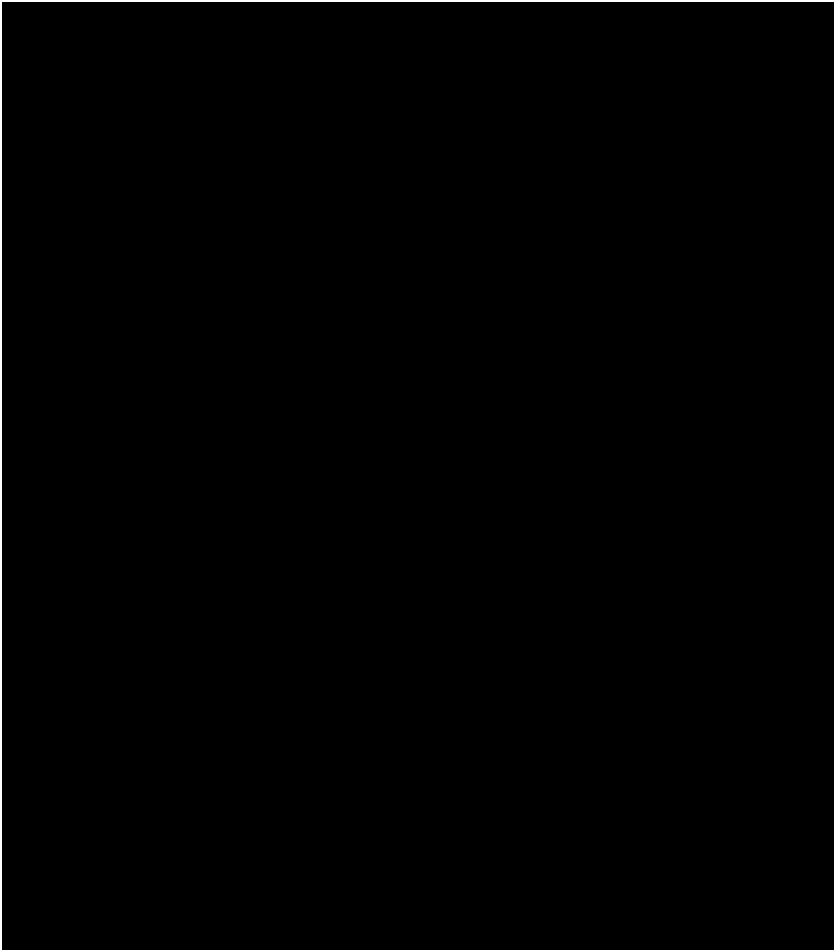
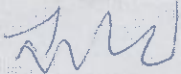
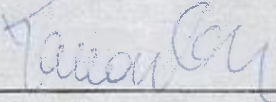

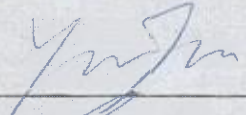


Name	Signature	Address	Email
Renny	debus		
K. At	Debus		
Dr Annette Vormbuur	[Signature]		

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Name	Signature	Address	Email
ZUGUO LIU			
Yuxiao Shao			
Yawen Guo			
Wenbin Chen			
Yusen Jin			
XIAO HAN			
JING CHEN			

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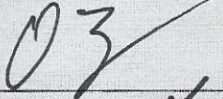
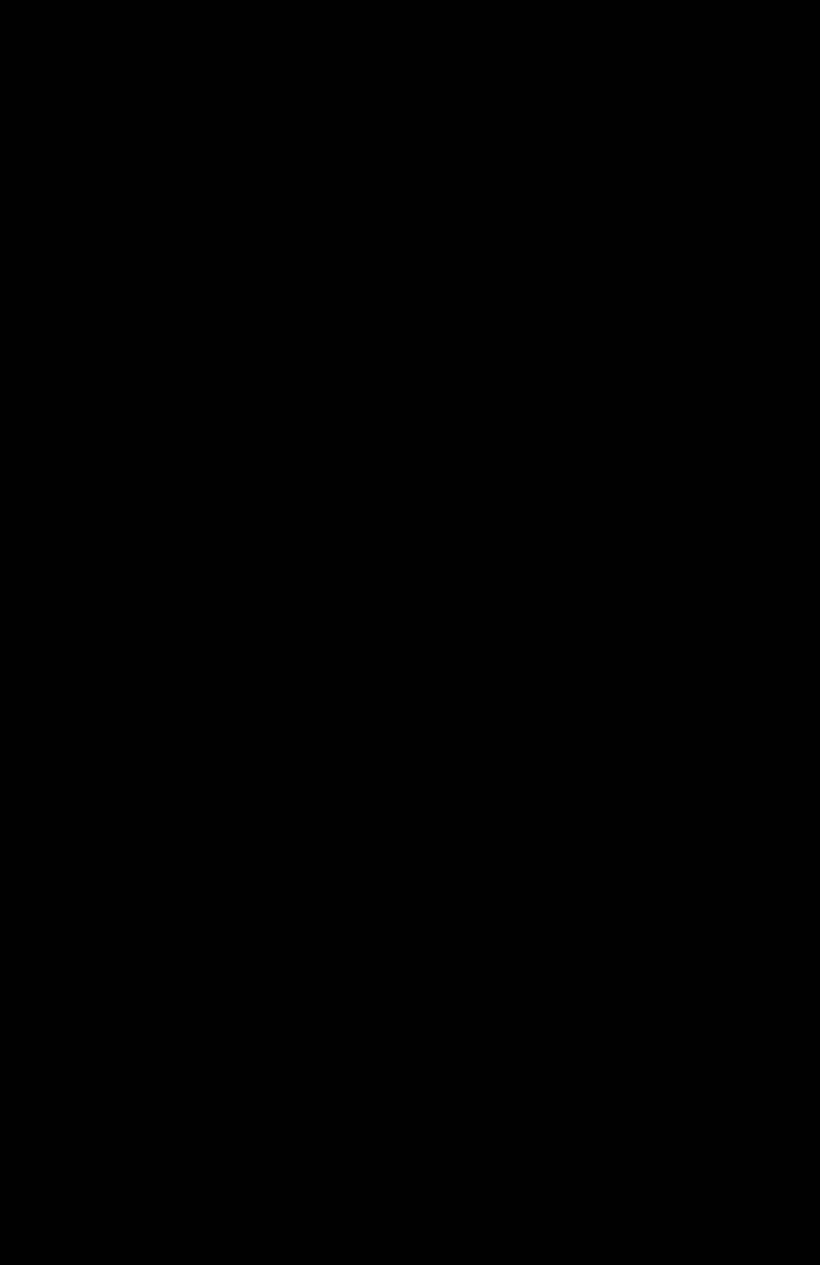
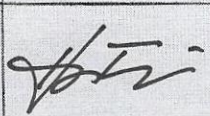
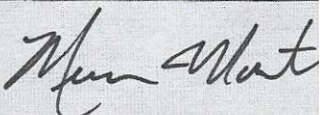
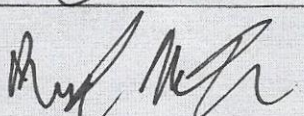
Name	Signature	Address	Email
SHEILA GRAM	S. Graham		
BARBARA BASQUE	B. Basque		
LOGAN BASQUE	L. Basque		
WILLIAM BASQUE	W. Basque		
NANDINI SRINIDHI	N. Srinidhi		
DANA SIRRI	D. Sirri		
HONORATO TAPANG	H. Tapang		
FARZANA HOIAT	F. Hoiat		
Howard Hou	H. Hou		

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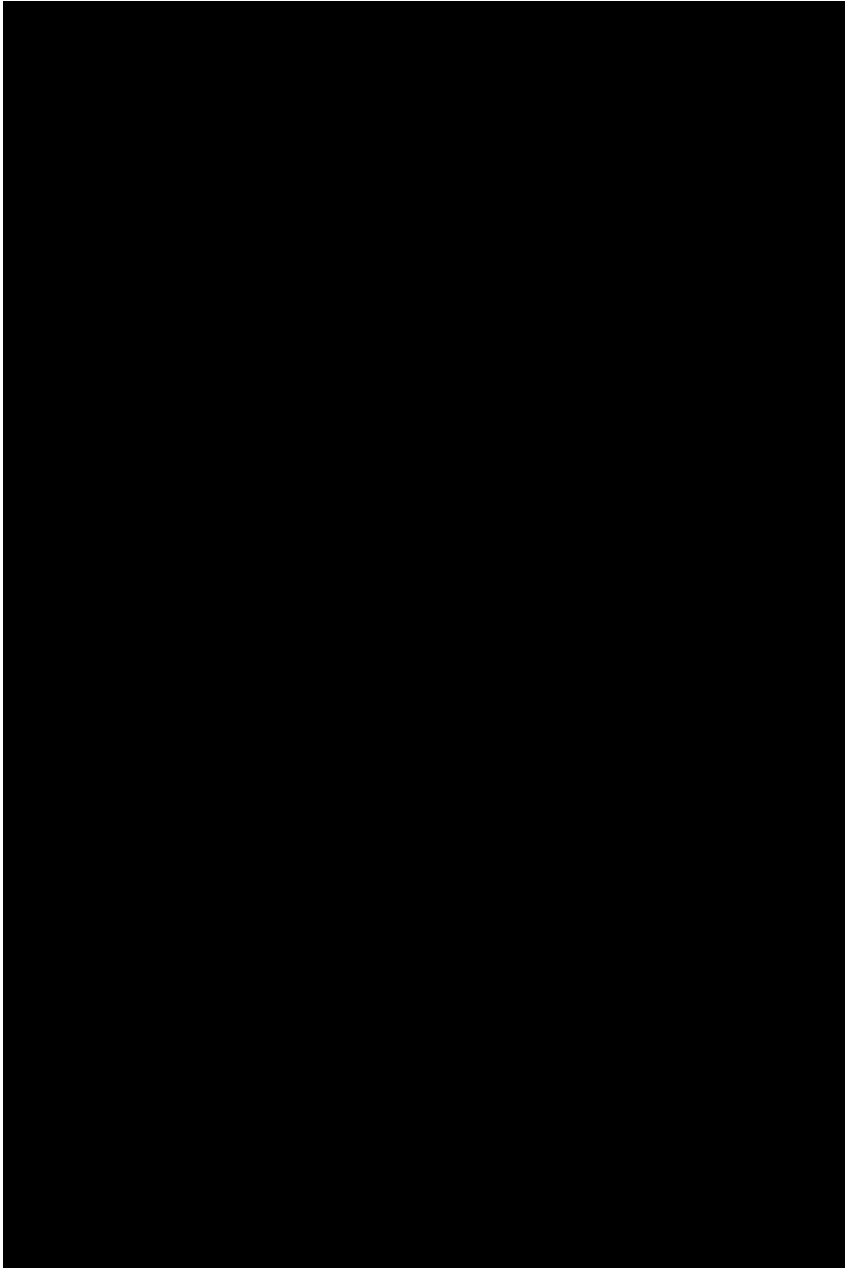


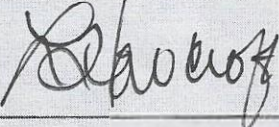
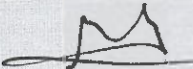
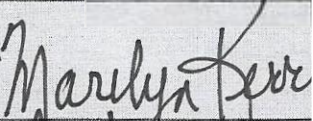
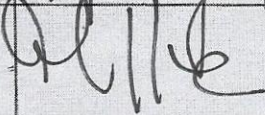
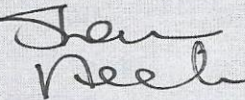
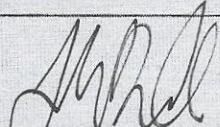
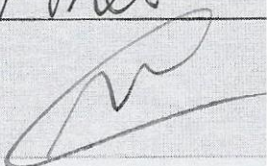
Name	Signature	Address	Email
Derek Zapp ANTONIO ALEIXO LUCILIA ALEIXO	 Antonio Aleixo		
Cheryle Noël Michael Noël	C Noël		
Fei Han Han Ping			
Tim Holden	T.J. Holden		
Amrita Wadhvani	A. Wadhvani		
Miriam Martin			
Randy Martin			
Susan Harnes	S Harnes		

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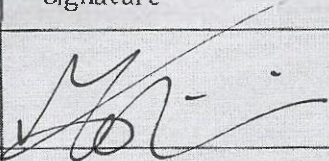
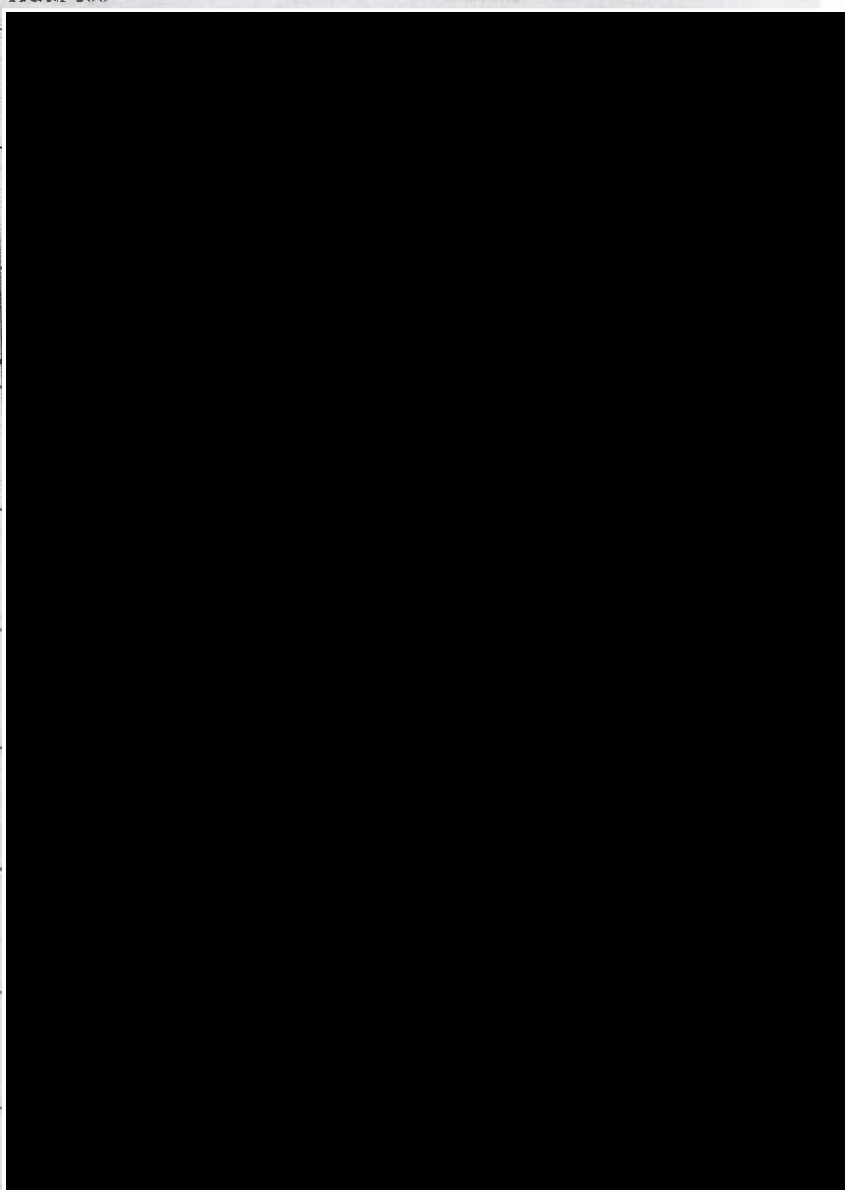
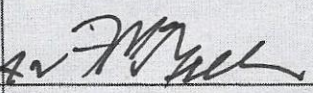
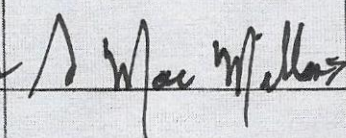
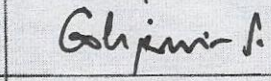

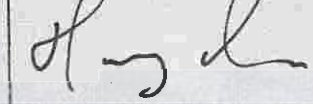



Name	Signature	Address	Email
XIANGI CAI			
ROSS HASTIN			
Dean Pastovic			
Laura Howcroft			
JUAN ORTEGA			
Marilyn Kerr			
Petos Zepieri			
Sharon Neelin			
JP DIAS			
MOTAMED ABDELHALEEM			

TOWN OF OAKVILLE

RE: SHERIDAN COLLEGE HOUSING AREA—SPECIAL POLICY AREA

TO: Mayor; Marc Grant; Jeff Knoll

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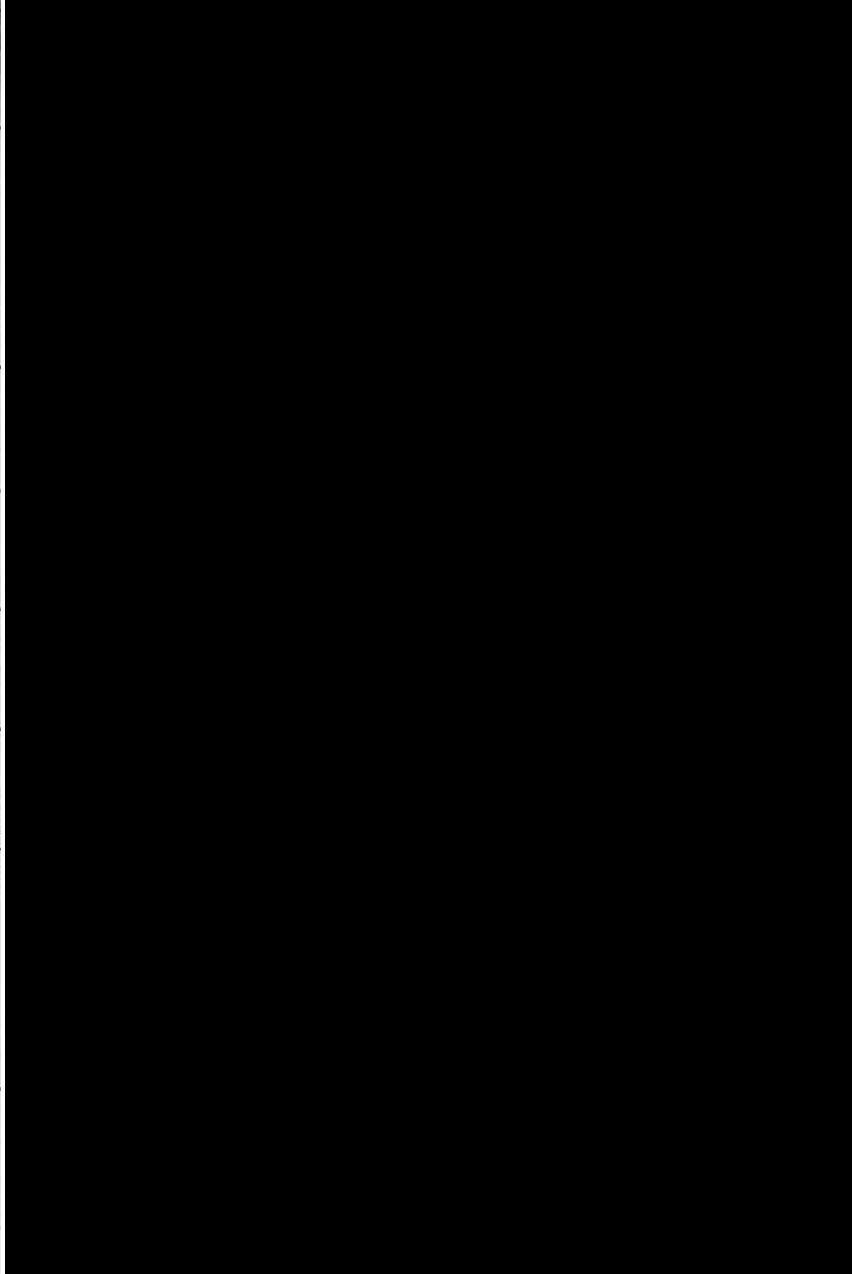

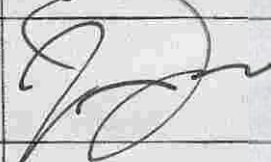
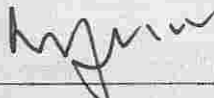

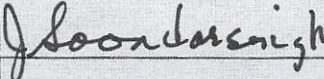
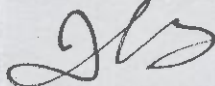

Name	Signature	Address	Email
Matt Timmins			
FRANK MACMILLAN			
SUSAN MACMILLAN			
SLAVICA GOLIJANIN			
FAN FAN			
MANNY SIUBWA			
WETA KHOUH			
ADAM AHMED			
AKI Bachelor			

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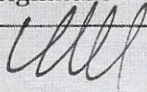
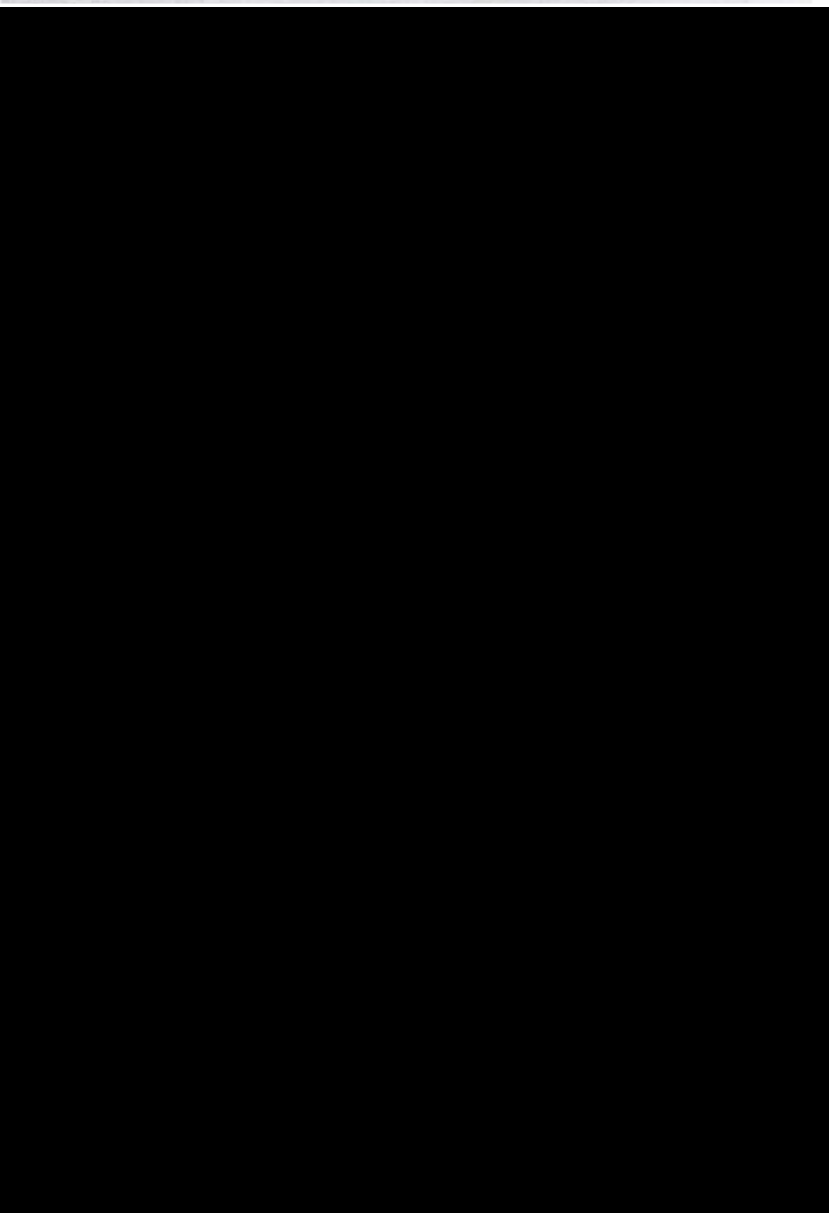
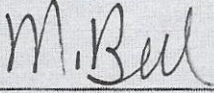
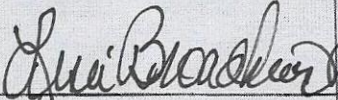

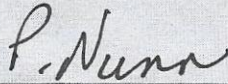
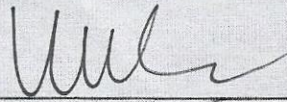
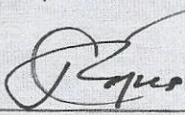



Name	Signature	Address	Email	
LINDA RENO				
.	.			
Lauren Sullivan				
SACHA BYE				
Luanhays				
Senya Ree				
J Soondarsingh				
.	.			
Ian Howcroft				
Zahira Ramdhani				

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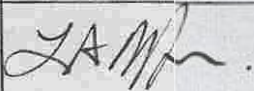
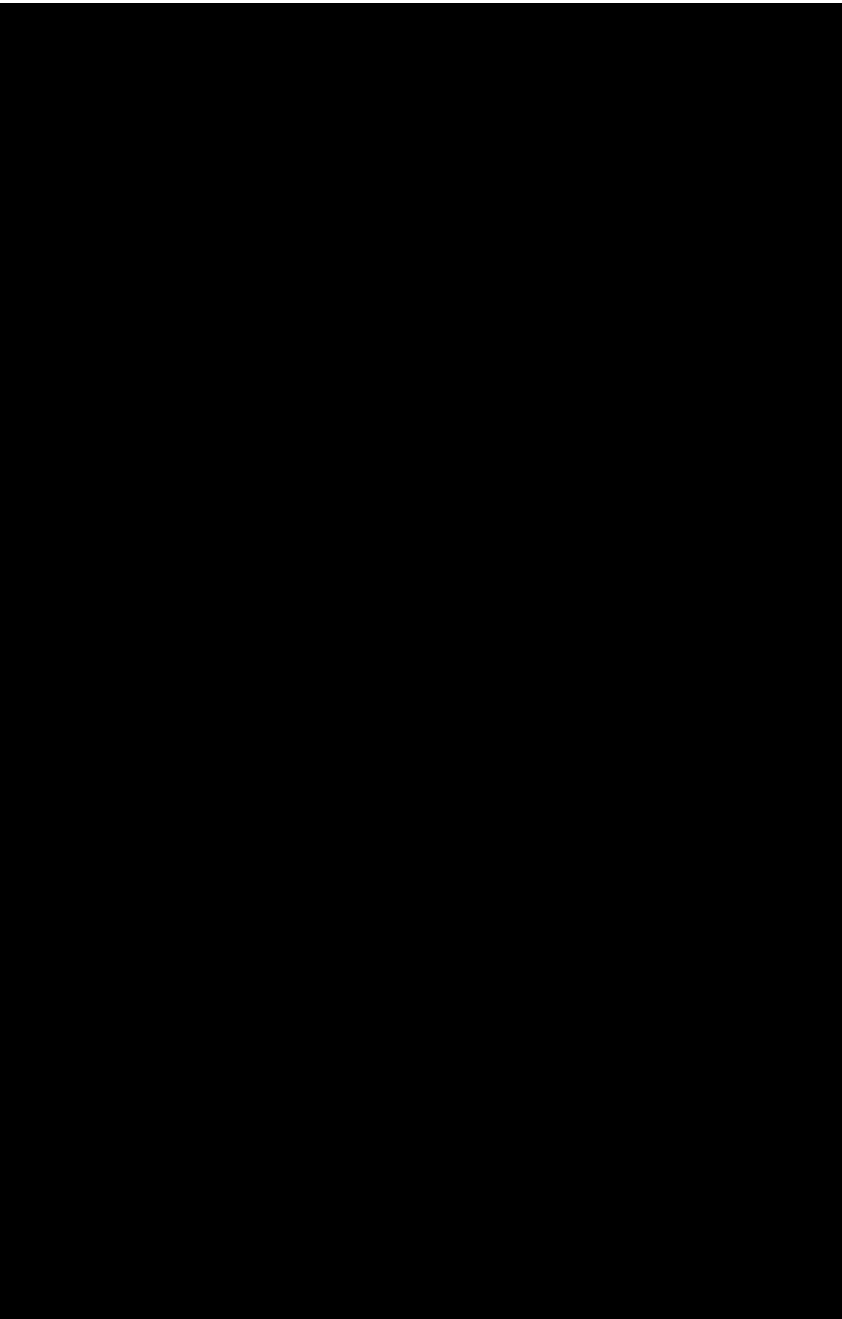
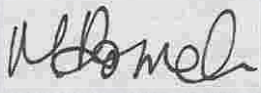
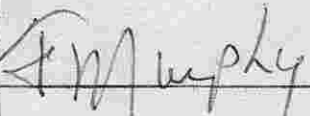
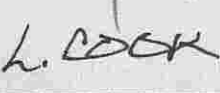
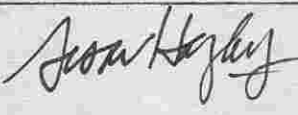
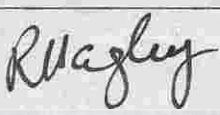
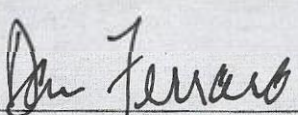
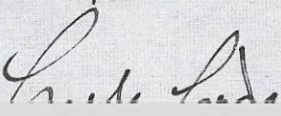
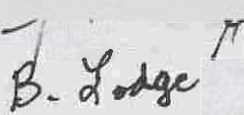

Name	Signature	Address	Email
Lucy + Anne			
Marie Bell			
Lisa Broadhurst			
I-PING ^{CHANG} CHANG			
P. Nunn			
N. Vuong			
J. Lopez			
Delia Feijo			
Karin Dearden			
Ann Ferraro			

TOWN OF OAKVILLE

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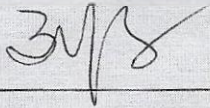
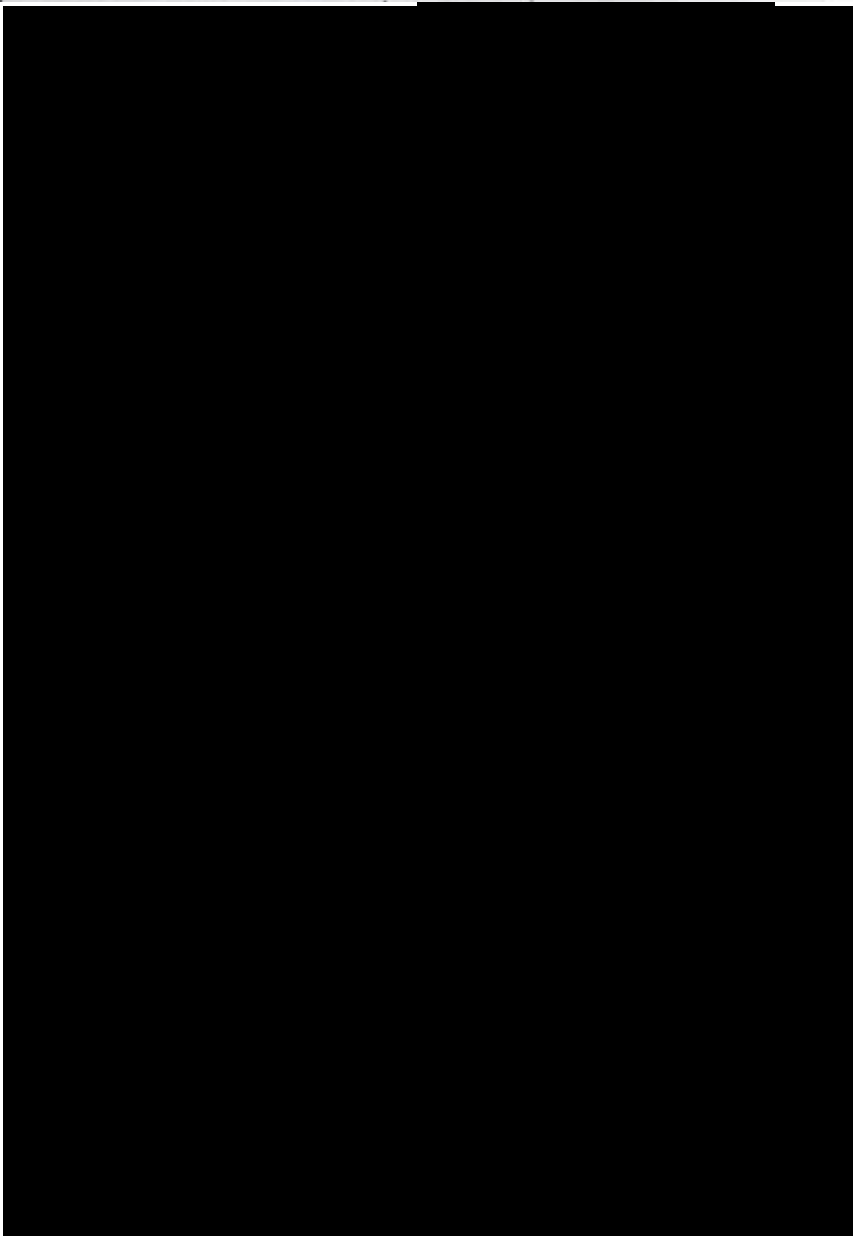
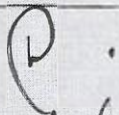
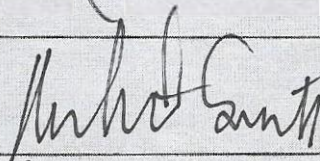
Name	Signature	Address	Email
Lou Mosca			
Mona Ramah			
F Murphy			
L. COOK			
Susan Hagley			
ROBERT HAGLEY			
DAN FERRARO			
L. Lodge			
Bernadette Dodge			
Jenna Wojcik			

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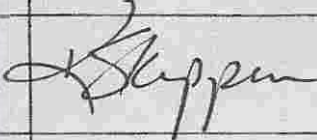


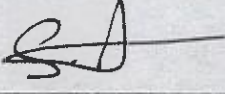






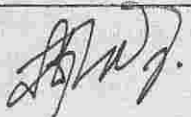
Name	Signature	Address	Email
Gloria Liu			
CHITDER P ALBARRA	C. Barr		
Theresa Efendov	Theresa Efendov		
Hasan Efendov HI	Hasan Efendov		
ALAN BOYES	alan P. Boyes		
STACYL BOYES	Stacyl Boyes		
LATHA KONDAJTI	Latha K-R		
VOJAY CHIGATERI			
Rob Sischy			
Mary McGugan -Lane	Mary McGugan Lane		

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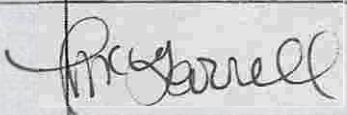
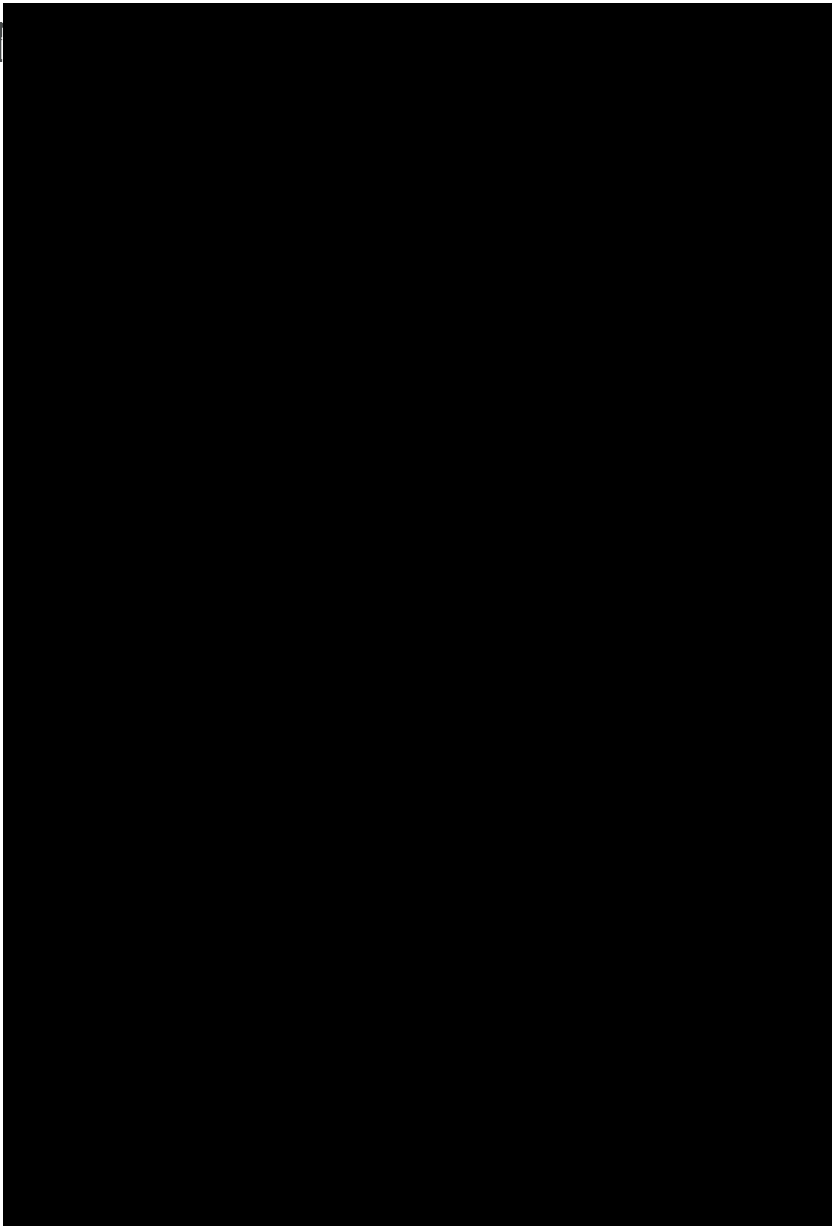


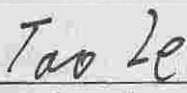


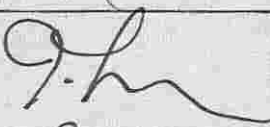
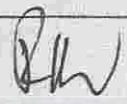
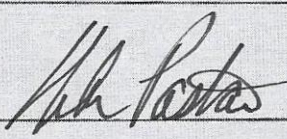
Name	Signature	Address	Email	
Kim Skippen				
Gary Skippen				
Solomon Amuno				
Cynthia Ere				
Valerie Reed	V. R. R.			
HAROLD EIDLITZ 				
Andres Vasquez				
MELODY MIKI				
BRINA MIA				
SUSANOVIC SUSAN				

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Name	Signature	Address	Email
Patricia McGarrell			
KARLUS YOUNG			
MARION FERRIS			
Tao Le			
D. STADLER			
S. Wandura			
Iman Elfarnawani			
Ron Bell			
Heke Pastorik			
John + Myra Willis	423 Parklane		



OAKVILLE

REPORT

Planning and Development Council

Meeting Date: March 4, 2024

FROM: Planning Services Department

DATE: February 27, 2024

SUBJECT: Notice of Intention to Demolish – 530 Carson Lane

LOCATION: 530 Carson Lane

WARD: Ward 3

Page 1

RECOMMENDATION:

1. That the property at 530 Carson Lane be removed from the Oakville Register of Properties of Cultural Heritage Value or Interest; and,
2. That, prior to demolition, the property owners allow for the salvage of materials from the house.

KEY FACTS:

The following are key points for consideration with respect to this report:

- The subject property is on the Oakville Register of Properties of Cultural Heritage Value or Interest as a listed property.
- A notice of intention to demolish has been received with a supporting Cultural Heritage Evaluation Report.
- It is recommended that the property at 530 Carson Lane *not* be designated under the *Ontario Heritage Act* and that the property be removed from the Oakville Register of Properties of Cultural Heritage Value or Interest.
- Council must make a decision on the subject notice by March 22, 2024.

BACKGROUND:

The subject property is located on the south side of Carson Lane between Howard Avenue and Chartwell Road. The property contains a historic detached house. A location map is attached as Appendix A. Details on the property are included in the Cultural Heritage Evaluation Report, attached as Appendix B.

The Cultural Heritage Evaluation Report was completed by SMDA Design Inc. and submitted by the owners along with a notice of intention to demolish for the property.

The property was listed on the Oakville Register of Properties of Cultural Heritage Value or Interest as a non-designated property in 2009 based on its potential cultural heritage value or interest as the Cyrus W. Anderson House, a circa 1900 cottage-style house.

The submission was deemed complete on January 22, 2024. In accordance with the *Ontario Heritage Act*, Council has 60 days to consider the request. The 60-day notice period expires on March 22, 2024. The Heritage Oakville Advisory Committee considered this submission at the meeting on February 27, 2024 and supported the staff recommendation.

COMMENT/OPTIONS:

Process

When a notice of intention to demolish is submitted for a listed property, staff completes and/or reviews research to determine the design/physical, historical/associative, and contextual merits of the property. Through this process, the property is evaluated to determine if it is worthy of designation under the *Ontario Heritage Act*.

If the property meets criteria outlined in Ontario Regulation 9/06 and is considered to merit designation, a recommendation can be made to Heritage Oakville and to Council that a notice of intention to designate be issued for the property. If Council supports a recommendation to designate, Council must move that a notice of intention to designate be issued within 60 days of the notice of intention to demolish being submitted to the town.

If the staff investigation of the property does not provide sufficient evidence that the property merits designation, a recommendation can be made to remove the property from the Oakville Register of Properties of Cultural Heritage Value or Interest (the 'Heritage Register'). If Council supports the staff recommendation and does not issue a notice of intention to designate the property within the 60 days, the property is removed from the Heritage Register and the owner may then proceed with applying for demolition permit.

Cultural Heritage Evaluation Report

The owners have submitted a Cultural Heritage Evaluation Report that provides an overview of the property and the house and an assessment of its cultural heritage value. The report concludes that the property does not meet two or more of the criteria outlined in Ontario Regulation 9/06, as required by the *Ontario Heritage Act*.

In terms of design/physical value, the report notes that the building does retain a portion of the original cottage, but that the house has been heavily altered and is no longer a representative example of this style. It further concludes that the house does not display a high degree of craftsmanship or artistic merit and does not demonstrate a high degree of technical or scientific achievement.

In terms of historical/associative value, the report indicates that the property is associated with Cyrus Anderson, a prominent local banker, but that this was likely a rental property that he never occupied, diminishing the associative value. However, the first known owner who occupied the cottage was George C. Atkins, who purchased the property in 1945. Atkins was the publisher of the Oakville Record-Star, the local weekly newspaper. He also served as a trustee of the Oakville School Board for 18 years and then was appointed administrator of the high school board of trustees. Differing from the CHER conclusion, staff is of the opinion that the association with George C. Atkins meets the criteria for having historical or associative value *'because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.'*

The report goes on to note that there is no evidence that the property has potential to yield significant information about a community or culture, and it is not known to be associated with a significant architect, artist, builder, designer or theorist.

In terms of contextual value, the report concludes that the property is generally linked to the Orchard Beach, or Orchard Park, development, although the connection is looser because the house pre-dates the development by around ten years. The report also concludes that the property is not important in defining, maintaining or supporting the character of the area, which has seen significant change over the past three decades and is not considered to be a landmark.

Generally, staff concur with the findings of the Cultural Heritage Evaluation Report, apart from staff's opinion regarding the associative value with George C. Atkins. Based on staff's review of the report and an assessment of the property, the property only meets one criteria of Ontario Regulation 9/06 and is therefore not considered to have sufficient heritage value to merit designation under section 29, Part IV of the *Ontario Heritage Act*.

Review of Applicable Planning Policies

Provincial Policy

The Province of Ontario has made a clear commitment to the conservation of significant cultural heritage resources through its legislation and policies, including the *Ontario Heritage Act* (2021), *Planning Act* (1990, as amended) Provincial Policy Statement (2020), the Growth Plan for the Greater Golden Horseshoe (2019).

The PPS (2020) and Growth Plan (2019) function together with the *Ontario Heritage Act* (OHA) by the shared principle that cultural heritage resources shall be conserved. The OHA sets out the procedures for evaluating and protecting heritage resources at the provincial and municipal levels. This includes the use of Ontario Regulation 9/06 as the means for determining if a property has cultural heritage value.

The evaluation of the house at 530 Carson Lane has not demonstrated that the property has sufficient cultural heritage value to be considered a cultural heritage resource that warrants protection under the OHA.

Town Policy – Livable Oakville Plan

Section 5 of the Livable Oakville Plan states, “Conservation of cultural heritage resources forms an integral part of the town’s planning and decision making. Oakville’s cultural heritage resources shall be conserved so that they may be experienced and appreciated by existing and future generations, and enhance the Town’s sense of history, sense of community, identity, sustainability, economic health and quality of life.”

Further, Section 5.3.1 of the Livable Oakville Plan states, “The Town shall encourage the conservation of cultural heritage resources identified on the register and their integration into new development proposals through the approval process and other appropriate mechanisms”. The Livable Oakville Plan is clear that cultural heritage resources should not only be conserved, but also incorporated into new developments. Commemoration is not considered ‘conservation’.

As the property at 530 Carson Lane has not been identified as having significant cultural heritage value or interest through the application of provincial policies such as Ontario Regulation 9/06, it is not required to be conserved through the cultural heritage policies of the Livable Oakville Plan.

Conclusion

Based on staff’s review of the property, including the Cultural Heritage Evaluation Report, the property only meets one criteria of Ontario Regulation 9/06 and does not have significant cultural heritage value. Therefore, the property does not merit designation under section 29, Part IV of the *Ontario Heritage Act*.

Staff recommends that the owner allow for the salvaging of architectural elements of the building. It is a standard practice to include salvaging as a condition as it allows for the retention and re-use of these materials and keeps these items from going to the landfill.

CONSIDERATIONS:

(A) PUBLIC

There are no public implications to consider.

(B) FINANCIAL

There are no financial implications to consider.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

There is no direct impact on other departments and users.

(D) COUNCIL STRATEGIC PRIORITIES

This report addresses Council's strategic priority of Accountable Government.

(E) CLIMATE CHANGE/ACTION

A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing carbon footprints. The recommendation to salvage materials from the house helps to contribute to the town's initiatives to reduce carbon footprints.

APPENDICES:

Appendix A – Location Map

Appendix B – Cultural Heritage Evaluation Report

Prepared by:

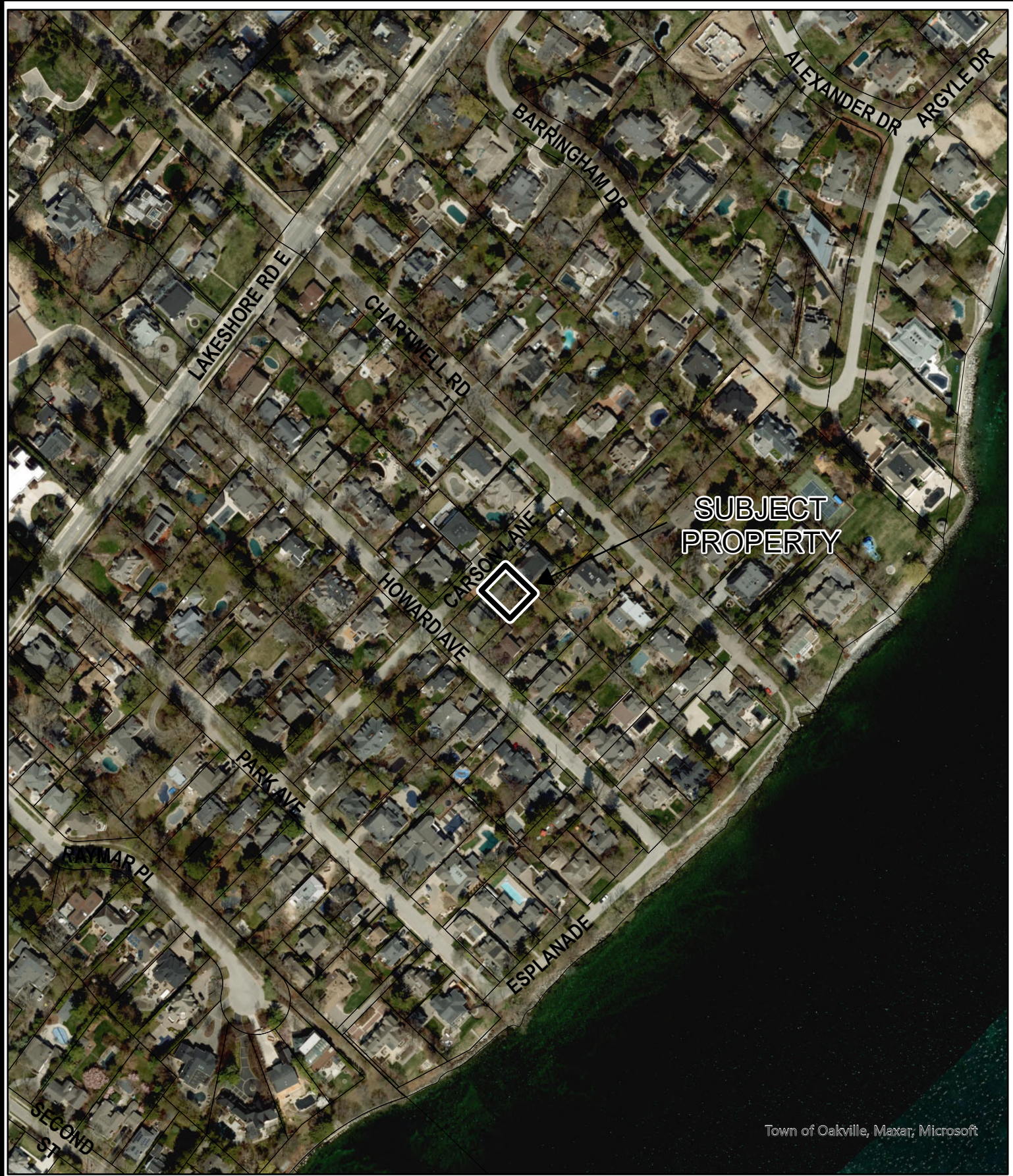
Susan Schappert, CAHP, MCIP, RPP
Heritage Planner

Recommended by:

Kirk Biggar, MCIP, RPP
Manager, Policy Planning and Heritage

Submitted by:

Gabe Charles, MCIP, RPP
Director, Planning Services



SUBJECT
PROPERTY

Town of Oakville, Maxar; Microsoft

530 CARSON LANE

LOCATION

Community Development Commission



0 15 30 60
Meters

APPENDIX B



HERITAGE IMPACT STATEMENT

EFFECT OF DEVELOPMENT AT 530 CARSON LANE, OAKVILLE

PROPOSED DEMOLITION OF EXISTING BUILDING

JANUARY 5, 2024



Land Acknowledgement:

Honouring the Land and Territory Oakville, as we know it today, is rich in the history and modern traditions of many First Nations. From the lands of the Anishinaabe, to the Attawandaron and Haudenosaunee, these lands surrounding the Great Lakes are steeped in First Nations history. As we gather today on the sacred lands of Treaties 14 and 22, we are in solidarity with Indigenous brothers and sisters to honour and respect Mother Earth, the original nations of the trees and plants, the four legged, the flyers, the finned and the crawlers as the original stewards of Mother Earth. We acknowledge and give gratitude to the waters as being life and being sacred and to the carriers of those water teachings, the females. We acknowledge and give gratitude for the wisdom of the Grandfathers and the four winds that carry the spirits of our ancestors that walked this land before us.

The Town of Oakville is located on the Treaty Lands and Territory of the Mississaugas of the Credit. We acknowledge and thank the Mississaugas of the Credit First Nation, the Treaty holders, for being stewards of this traditional territory.

Overview & Background:

This report is prepared to address the proposed demolition of an existing single family residence located at 530 Carson Lane in the Town of Oakville (property description Part Lot 47, Plan 114). The property owners wish to demolish the building to allow the site to be redeveloped with a newer single family home. The particulars of the proposed home are not presently known.

530 Carson Lane is presently listed (not designated) under the Ontario Heritage Act. The building is identified for its cultural heritage value as follows:

Statement of Potential Cultural Heritage Value or Interest: Cyrus W. Anderson House - this property has potential cultural heritage value for its c. 1900 cottage house. ¹

The home has a plaque supplied by the Oakville Historical Society that indicates the construction date as c.1900 and the builder as Cyrus W. Anderson, Banker. Research below will confirm that this is likely correct as regards the original part of the home.

Rick Mateljan CAHP of SMDA Design Ltd. was engaged by the property owners to complete a Heritage Impact Study to assess the impact of this proposal. Original research was undertaken by Richard Collins, heritage consultant. A chain of title search was performed by Diane Harman, title searcher.

¹ Town of Oakville Property Information website

Terms of Reference:

The Town required terms of reference for Heritage Impact Assessments are as follows:

1. Introduction to the Property:

- a location plan and current site plan of the property/properties
- a written description of the property, its location and surroundings, including the heritage status of the development site and adjacent properties
- a written description of the heritage attributes of the site, including any significant features, buildings, landscapes and vistas

2. Research and Analysis

- a comprehensive review of the history of the property's development as documented in pictorial and textual records and as observed in as-found evidence
- a chronological history of the development of any structures, such as additions, removals, conversions, etc.
- an evaluation of the cultural heritage significance of the site in terms of its history, architecture and local context
- the reproduction of any pictorial records found, including relevant maps, atlases, drawings, photographs, permit records, land title records, assessment rolls, etc.

3. Statement of Cultural Heritage Value of Interest:

- a statement of cultural heritage value or interest and description of heritage attributes of the cultural heritage resource(s), in accordance with provincial legislation Ontario Regulation 9/06
- this statement will be informed by current research and analysis of the site as well as pre-existing heritage descriptions
- this statement will be written in a way that does not respond to or anticipate any current or proposed interventions to the site

4. Assessment of Existing Conditions

- a comprehensive written description of the physical condition of the structures on the site, including their exterior and interior
- current photographs of the property, including:
 - views of the area surrounding the property to show it in context with adjacent properties
 - exterior views of each elevation of each building
 - views of the property including all significant landscape features
 - interior views of each room in each building
 - close-up views of all significant interior heritage features

5. Impact of Development on Heritage Attributes:

- a discussion of the potential impacts the proposal may have on the site's heritage attributes
- negative impacts on cultural heritage resources may include:
 - destruction of any, or part of any, significant heritage attribute

- alteration that is not sympathetic to the heritage attribute*
- shadows created by new development that alter the appearance of or change the viability of a heritage attribute*
- isolation of a heritage attribute from its surrounding environment, context or significant relationship*
- direct or indirect obstruction of significant views or vistas*
- a change in land use which negates the property's cultural heritage value*
- land disturbances such as a grade change that alters soils and drainage patterns that adversely affect a cultural heritage resource*

6. *Considered Mitigation and Conservation Strategies:*

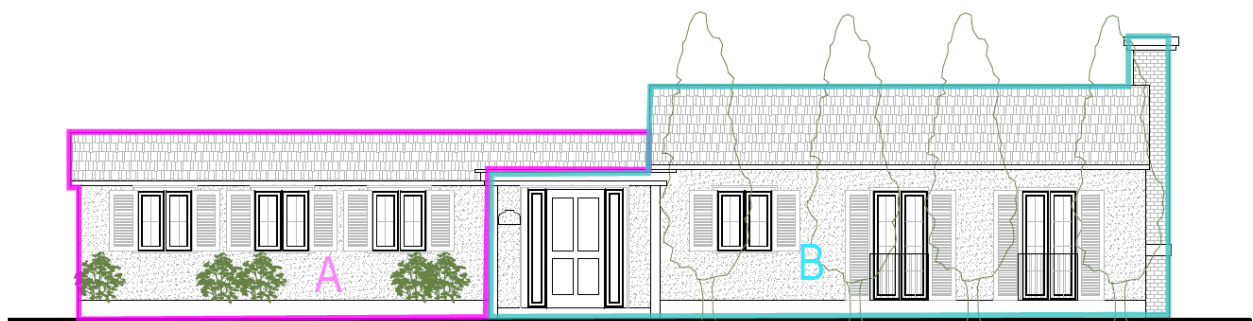
- an assessment of alternative options, mitigation measures and conservation methods that may be considered in order to avoid or limit the negative impact on the cultural heritage resource(s)*
- alternatives and strategies should have consideration for relevant cultural heritage policies (Provincial Policy Statement; Official Plan; Heritage Conservation District Plan, Designation By-law, if applicable)*
- recommendations for additional studies to be undertaken related to, but not limited to: restoration specifics, design guidelines, interpretation and commemoration, lighting, signage, landscaping, structural analysis, additional written and photo documentation prior to demolition, long-term maintenance plan*

1.0 Introduction to Property:

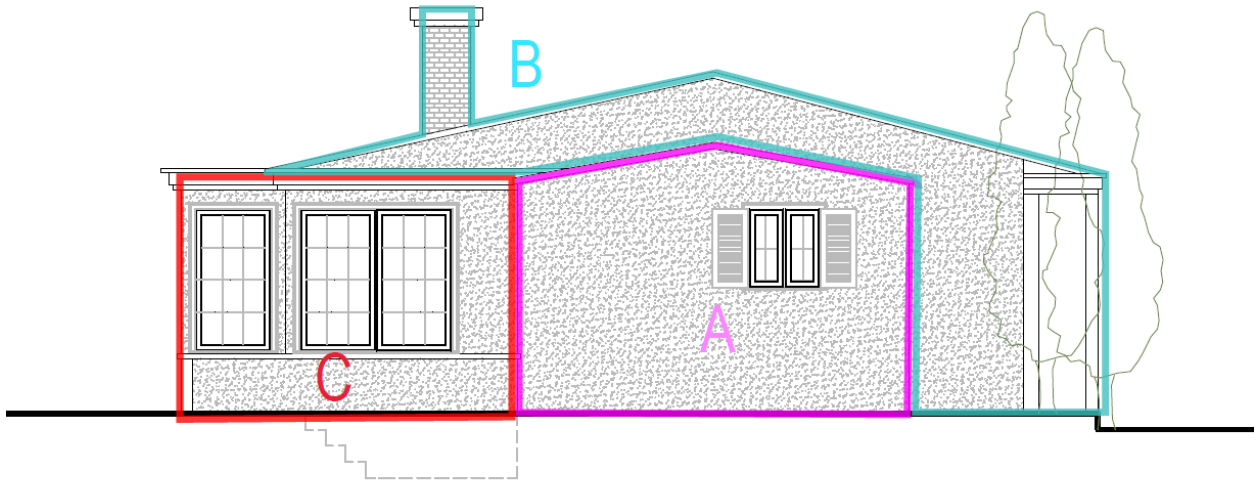
1.1 Existing conditions on-sight



AIR PHOTO SHOWING DIVISION OF BUILDING INTO ELEMENTS



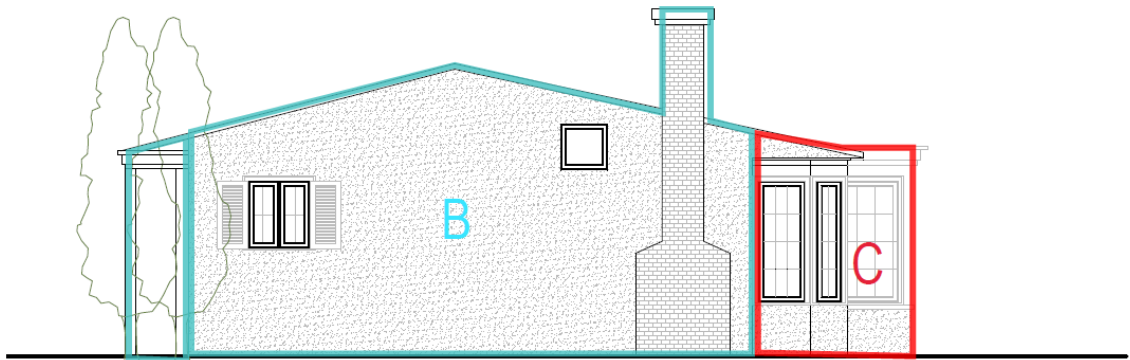
FRONT ELEVATION



EAST ELEVATION



REAR ELEVATION



WEST ELEVATION



FRONT ELEVATION



REAR ELEVATION

530 Carson Lane is a one-storey, single family home with stucco cladding, wood windows and trims and asphalt shingles. It presents itself in three discrete elements. Two of these are visible from the street and are labelled “A” and “B” in the air photo above. The third element “C” is visible from the rear.

The building finishes are uniform with light gray stucco, cream-white trims and windows, and blue doors and shutters on the front elevation.

The building is generally in good condition and was recently inhabited. No significant areas of deterioration or concern as regards building structure or systems were observed. Exterior and interior finishes had obviously received regular maintenance and there was no apparent reason that the present residential use could not be continued indefinitely.

As would be expected in a building of this age and type, all of the bathrooms and the kitchen have been renovated with non-original finishes and fixtures.

Easterly Element “A”

On the west side of the site is a one-storey, gable roofed structure approx.. 23’ wide x 16” deep. The roof is low-slope with ridge parallel to the road. When viewed from the street this building element is significantly lower than the easterly element “B”. The front elevation of “A” consists of three shuttered, paired casement windows.

Element “A” consists on the interior of the Hall, Kitchen, Study, one Bedroom with Ensuite Bathroom and stairs to the basement. “A” is the only part of the building with a basement. The basement is finished as a Recreation Room and Laundry Room.

Element “A” presents on the east elevation as simple gable wall with a single, shuttered, paired casement window. On the south (rear) elevation “A” is minimally visible as it is generally covered by Element “C” described below. “A” is not visible on the west elevation.

Analysis below will conclude that this is the oldest part of the building.

Westerly Element “B”

Element “B” is located to the west of “A”, on the right side of the front elevation. “B” is also a gable roof structure with ridge parallel to Carson Lane but it is significantly taller than “A” and also more prominent because it’s front wall is closer to the street than “A”. “B” presents on the street with two pairs of shuttered French windows with wrought iron guards. These windows are a handsome proportion and create an interesting level of detail on the front elevation.

“B” also includes the front porch and associated roof and columns. The front door is four-panelled wood with paired sidelites. There is a flat-roofed canopy at the front door with square wood columns and pilasters. The columns and pilasters are trimmed with a false wood panel detail.

“B” consists on the interior of the front vestibule, main house bathroom, master bedroom, living room and dining room. These are all attractive rooms of pleasing size and proportions. There is no basement, only a shallow crawlspace beneath this area.

“B” presents on the west elevation as a gable wall with a single, shuttered, paired casement window and another newer, rectangular window near the peak. There is a chimney breast but no other detail. On the south (rear) elevation “B” is minimally visible because as it is generally covered by Element “C” described below, although the higher roofline of “B” continues to be a prominent element.

Analysis below will conclude that this is the second oldest part of the building.

Southerly Element “C”

Element “C” presents as two flat roofed octagonal bay windows on the south side of the dwelling. By their appearance and detailing they are obviously newer than the rest of the building. It is obvious that no great effort went into integrating these into the fabric of the original parts of the building. They appear very obviously added on, although not unattractive.

Analysis below will conclude that these are the newest parts of the building.

Site and Environs

The site is generally treed and quite dense with various plantings, low masonry walls and garden accoutrements. There is a shed at the south-west corner of the rear yard. This building is quite articulated and presents as a garden folly. The former use of this building is not known. It appears to have some general storage and tools inside now.

The community surrounding the subject site consists of single family homes on typical suburban lots on a street characterized by a suburban road profile. The surrounding homes are a mix of older, smaller homes that have been extensively renovated and expanded and newer, contemporary homes. There is very little of the original building fabric extant in the community. Research below will show that this building (specifically Element “A”) was likely the original building in this community but the majority of buildings that followed it have been removed in the later 20th and early 21st centuries and little original building stock remains. There are no other heritage listed or designated homes in the immediate vicinity.

Architectural style and assessment:

The original building exhibits vernacular neo-classical elements in its form, materials and massing. It is of attractive proportions and the windows, trims and shutters provide interesting level of detail and craftsmanship. Despite the fact that it was constructed incrementally the various building elements are sympathetic to each other and the building presents as an attractive, unified composition.

2.0 Research & Analysis

2.1 List of Property Owners

September 6, 1806 – purchased by British crown through Treaty 14
February 25, 1808 – Conc. 4 SDS, Lot 11 “and other lands” (including Lot 12) transferred to land agent Samuel Fraser. He settled on Lot 12.
September 24, 1813 – all of Lot 11 sold by Fraser to George W. Griggs
Griggs began selling Lot 11 in portions
June 30, 1857 – Griggs sold a portion of Lot 11 to Cyrus John Patterson
all land transfers following are for the portion of Lot 11 that includes the subject property.
September 20, 1884 – purchased by Charles and Elizabeth Norman
May 16, 1889 – purchased by Jonathan Palmer, and transferred that same day to James and Eliza Jackson
September 18, 1890 – purchased by Cyrus William Anderson
December 13, 1902 – acquired by the Bank of Hamilton from the assets of Cyrus W. Anderson
March 14, 1903 – transferred to Edward Roper Curzon Clarkson, insolvency receiver
January 7, 1907 – to Joseph Augusten [indecipherable last name], representing the Bank of Hamilton as land agent
May 10, 1907 – purchased by Charles David Carson
November 28, 1907 – registration of Plan 114 with the Township of Trafalgar by Charles D. Carson, subdivided the portion of Lot 11 purchased on
June 30, 1857. All transfers following are for all or part of Lot 47 of Plan 114
July 15, 1911 – purchased by James J. Allward
March 31, 1920 – granted to George Stanley Harding
September 23, 1925 – Lot 47 subdivided
September 23, 1925 – easterly portion of Lot 47 purchased by Jonathan Hall Shields
May 10, 1939 – purchased by Evelyn Mable Scott from the estate of Jonathan H. Shields
April 12, 1945 – purchased by George C. Atkins
May 18, 1965 – purchased by Richard Victor Bingham Caldwell
October 12, 1966 – bequeathed by the late Richard V.B. Caldwell to his widow, Phyllis E. Caldwell (Ramsay-Smith, from 1970)
December 21, 1972 – purchased by Diana and Katherine Caldwell
May 22, 1980 – to Phyllis B. Caldwell
April 1, 1987 – purchased by Patricia D. Mair
April 11, 1987 – purchased by Beverley Bellis and James MacLean
January 31, 1990 – purchased by John Barry French and Gloria J. French

2.2 Historical Relevance of Property Owners

Mississauga Nation

Haudenosaunee and Anishinabe people have been living in the Oakville area for at least 8,000 years, based on tradition and archaeological evidence. It is known that an Anishinabe community – the Mississaugas – had settlements at the Twelve Mile (Bronte) and Sixteen Mile (Oakville) creeks when the British Crown negotiated a land surrender for this area in 1805.

British military forces defeated the French in North America in 1760. In 1763, officers of King George III drafted a royal proclamation declaring the people inhabiting North America at that time as the rightful owners of the land, and that if the British crown desired to settle any land in North America they would have to negotiate treaties to purchase land from each respective Indigenous nation. A conference held a year later at Fort Niagara (present-day Youngstown, New York; which was still British territory, at the time) between representatives of Britain’s Department of Indian Affairs and chiefs and councilors of 22 Indigenous nations agreed on territorial boundaries. At this meeting, the watershed area consisting of all lands where rivers drained into the western half of Lake Ontario, from the Niagara River to the Trent River, were acknowledged as the ancestral lands of the Mississauga Nation (identified at the time as the “Chippewas of Toronto”).

British Crown

In 1805, the Deputy Superintendent General of Indian Affairs, William Claus met with four representatives of the Mississauga Nation living in villages on the 12 Mile and 16 Mile Creeks, and the Credit River; Chechalk (crane clan), Quenepenon (otter clan), Wabukanyne the younger (eagle clan) and Okemapennesse (eagle clan). These Mississauga leaders agreed to sell the land from Etobicoke Creek to Burlington Bay to the Crown, extending northward to today’s Eglinton Avenue. Treaty 13A permitted British surveyors to occupy their lands for the purpose of determining the size and extent of land to be sold. Treaty 14, signed a year later, officially transferred the 13A lands to the Crown, with the Mississauga nation retaining exclusive fishing rights on the Credit, and the 12 Mile and 16 Mile Creeks. The subject property – 530 Carson Lane – is part of the Treaty 14 Surrender.

During the survey, which divided the tract into concessions and lots, the subject property became part of a larger lot identified as Lot 11 of Conc. 4 SDS (south of Dundas Street); or Conc. 4 SDS, Lot 11.

Crown Land Agents, and Owners Who Did Not Settle on the Subject Property

In order to develop the recently surveyed Mississauga Tract, the Crown appointed land agents to sell properties to newly-arrived immigrants. Samuel Fraser was assigned as Crown agent for a number of lots on Concession 4 SDS. He settled on Lot 12, and sold Lot 11 to George Griggs in 1813. Griggs appears to have had difficulty selling land during and after the War of 1812. Peace in Canada in 1814 was part of a larger post-Napoleonic peace in the British empire. A healthy postwar economy at home slowed immigration to Canada from the UK. Most new settlers to Canada, and to Trafalgar Township, were Americans looking for cheap land north of the border. Griggs began selling portions of Lot 11 around 1850, and finally sold the portion of Lot 11 that contains the subject property to Cyrus Patterson in 1857. Patterson established a farm on this lot, but this home was on another part of the lot not associated with today’s 530 Carson Lane, although the subject property was part of the Patterson’s farm. The subject property remained farmland or fallow lands through the next few land owners until

the land was further subdivided, with a portion of this being sold in September 1890 to Cyrus William Anderson. He built the residence on the current subject property. It cannot be confirmed that Cyrus lived in the residence on the subject property.

Cyrus W. Anderson

The Anderson family owned several lots in Trafalgar Township and had established a large farm comprising all of Conc. 2 SDS, Lot 13 (about 2 km north of the subject property). Cyrus also owned property in Oakville on the northeast corner of Lakeshore Road and Allan Street, on which he commissioned a home around 1880 (demolished ~1965). So, Cyrus simultaneously owned two properties with a residential structure, just ~700 metres apart, from 1890 to 1902. One of these two was likely Cyrus' main residence. The other was likely a summer rental property. Given 530 Carson Lane's proximity to the lake shore, it is more likely that it was the rental property, and that Cyrus lived in the larger home at Lakeshore and Allan.

Cyrus' Ancestors

Cyrus Anderson's grandfather, Charles Anderson settled in Grimsby and is said to have been a friend of Joseph Brant; the leader of the Mohawk nation who received land in what is now Burlington after the American Revolution in recognition of his efforts to bring his nation into an alliance with Britain during the revolution. Charles named his eldest son Joseph Brant Anderson (1800-1879) in honour of the chief. Joseph is the father of the man who built the residence on the subject property. Joseph moved his family from Grimsby to Oakville soon after marrying Mary Elizabeth Moore (1808-1874) in 1827. Cyrus was the eldest of their children.

Cyrus' Family

Cyrus William Anderson (October 18, 1836 to Oct 22, 1920) married Margaret Hall (1838-1933) in 1860. They had six children.

- Orpha Emeline Anderson (1862-1914)
- Egbert Brant Anderson (1863-1907)
- James Hall Anderson (1865-1947)
- William Moore Anderson (1869-1909)
- Lucy May Anderson Hambrook (1870-1960)
- Stanley Pierce Anderson (1879-1923)

All of the children were born in Oakville. All of them died in Oakville, except the youngest, Stanley who moved to Inglewood, California and became a land developer there during one of Los Angeles' many housing boom-and-but cycles.

Cyrus Anderson's Bank

Cyrus Anderson appears to have been a well respected member of the Oakville community. He was councilor for several years and was asked twice to run for office as the Liberal candidate for Halton, but refused both times, stating during the candidacy race in Halton in 1878 that his farm enterprises in Trafalgar Township kept him too busy to move to Ottawa. Cyrus' farming duties didn't stop him from establishing a private bank in 1887 to help farmers, like himself who had a hard time getting loans from the big charter banks.

Oakville's first bank was opened by the Bank of Toronto in 1855, but it closed for 1859 because there was too little businesses in such a small village to keep the branch open. Oakville had grown in the generation since that first bank's failure, so Cyrus decided in 1887 to open a bank. This was not a branch of a larger chartered bank, but an independent company that Anderson formed to attract local businessmen and farmers in the Oakville area who were displeased by the chartered banks that did not offer the long-term loans that farmers – especially market fruit farmers like those in Oakville – needed when investing in new saplings to replace aging fruit trees.

Anderson's bank, C.W. Anderson & Company (CWA&C), was not a chartered bank. Its customers' assets were not protected like banks there were chartered by the federal government. In return for government protection of its assets, chartered bank had to charge and pay out interest at levels set by the Bank of Canada. Private banks, like C.W. Anderson & Company did not seek government protection, and were free to charge interest on loans at self-imposed rates. Local banks that weren't bound to government regulation were popular in small farming villages – which Oakville was in the 1890s. Many of CWA&C's customers were area farmers who grew market fruits, like apples and peaches. Farmers investing in new saplings to replace aging trees might have to wait a decade for these trees to produce commercially-feasible crops, so they preferred unregulated banks like Anderson's which offered a longer repayment time on loans; albeit at higher rates of interest in return (which chartered banks were prohibited from doing).

Still, customers were cautious of banks that weren't able to protect their money from a bank failure, so Anderson affiliated with the government-chartered Bank of Hamilton. This larger bank offered protection for CWA&C's customers, but CWA&C had to pay a regular fee to the Bank of Hamilton in return for its protection. If CWA&C were to fail (which it later did), the Bank of Hamilton would become the main creditor of CWA&C's assets.

Anderson had a local competitor, Andrew & Howarth. It was affiliated with the Bank of Ontario. An earlier Oakville-based bank, Scott's, opened in 1880 but did not affiliate with a chartered bank and, as a result failed during a North American-wide recession in 1884.

In 1900, the name of the bank was changed to *Anderson & Sons* (A&S) when Cyrus appointed his first and third sons, Egbert and William to the board of his bank. Cyrus moved to Palmerston briefly to oversee the opening of a bank there which he had invested in along with partner J.W. Scott; leaving his sons to manage the Oakville bank.

Though considered a local bank, A&S was an institution with considerable financial strength. When the Andersons bank failed in 1902, it was the 14th largest in Ontario of 116 private banks. (It's local

competitor, Andrew & Howarth, was 96th.) The *Toronto Globe* noted, “The business of the Anderson Bank extended from Streetsville to Burlington, and back ten to 15 miles into the country.”

Despite its assets, Anderson and his sons had loaned about \$200,000 more than they could be expected to call back in short notice. This concerned the members of the board of the Bank of Hamilton, with which the Anderson were affiliated, and they called for the dissolution of the Anderson’s bank. The effects of the bank’s collapse on the community was devastating. The *Toronto Globe* observed, “every well-known merchant in Oakville . . . has an account of size with the bank.” After the Anderson family’s assets were stripped, most of these businesses got back about 12 cents on every dollar deposited.

Property in Receivership

Land registry records for the subject property show that in March 1903 Anderson’s property on Carson Lane was transferred to Edward Roper Curzon Clarkson, along with other lots owned by Cyrus. Clarkson did not live in the residence on the subject property. He was the “receiver” placed in charge of Anderson’s assets, so that his property, possessions and money could be “liquidated” to compensate people who had invested in his bank, or who had deposited money there. Anderson lost the subject property during the liquidation.

Cyrus Anderson, after the Bank’s Collapse

An article in the *Toronto Globe* following the bank’s collapse observed, “not one of nearly a score of creditors interviewed had a word of reproach or condemnation for Anderson & Son[s].” Still, it appears that the tragedy of the bank failure took a toll on the Andersons. The eldest son Egbert Brant Anderson died only four years later at age 43. The *Toronto Globe* noted in Egbert’s obituary, “all the time he was worrying over the failure . . . the worry resulting in the pernicious anaemia from which he died.” In better days, Egbert was an Oakville town councilor and a member of Halton County council. His brother, and partner in the bank, William Moore Anderson died two years later, at age 39.

Cyrus Anderson lost the retail and office rental building that he had built on Lakeshore Road in 1887. His bank was located in one of the units. As a final insult, the liquidators sold the office block in 1903 to an owner who immediately rented out the unit where Anderson’s bank had been to the Bank of Toronto, which opened an Oakville branch. There was a slight consolation, however. Cyrus’ youngest son, Stanley was appointed assistant manager of the new bank.

This office block, commissioned by Cyrus (at 134-138 Lakeshore Road East) was designated under Part IV of the Ontario Heritage Act in 1990.

Cyrus Anderson died at the age of 83 at the Conc. 2 SDS, Lot 13 farm that he moved to after his two residences within the Town of Oakville (including the subject property) were lost in the bank collapse. The Anderson family was able to protect its Conc. 2 SDS, Lot 13 farm from the Bank of Hamilton’s liquidation because Cyrus had transferred ownership of the farm to son J. Hall Anderson – the one son of Cyrus’ four that Cyrus may have intentionally kept out of the banking firm to protect the family’s farm assets in the event of the bank’s possible failure.

Charles David Carson

Cyrus' property at Conc. 3 SDS, Lot 12 was sold by the Bank of Hamilton to developer William Sinclair Davis. Today's *Brantwood Survey* residential neighbourhood – bounded by Allen Street, the QEW, Gloucester Avenue and Lakeshore Road East – was developed on this property. Carson was an investor in Davis' *Brantwood Survey* subdivision. This neighbourhood was named after Cyrus' father, Joseph Brant Anderson (1800-1879).

Like Davis, Carson was a property developer. In 1907, he purchased Cyrus Anderson's farm on part of Conc. 4 SDS, Lot 11 – which includes the subject property – from the Bank of Hamilton. He formed a partnership with Samuel Edward Bacon, and had Cyrus' property (and others) registered with the Township of Trafalgar as Plan 114. The subject property became Lot 74 of this plan.

Because the subject building was already standing on the new subdivision, Carson either lived in this house while lots were sold for developed, or Carson may have continued to rent the home, as Cyrus had likely been previously doing.

Carson & Bacon, Developers

In the October 22, 1906 edition of the *Toronto Star*, three small ads appeared in the classified section for the benefit of those in Toronto and Hamilton with the money and the interest to buy cottage land in Oakville. The ads were placed by a land agency, Nisbet & Bacon. Samuel Bacon was born in Plumstead, England but moved to Canada when he was two. He married Reverend Nisbet's daughter Mary Jane and in doing so acquired the Bacon waterfront lands. As Oakville began its transition from harbour town to cottage country, Bacon chose to subdivide his lakeside properties for development. But to do that he needed an experienced homebuilder and contractor. That man was Charles David Carson (1864 to 1944).

Carson lived his entire 80 years in Oakville. He was the youngest son of William Thomas Carson of St. Andrews, New Brunswick. Charles Carson built the Oakville Trafalgar High School in 1909. A year later he served as a town councilor. His wife Margaret's parents were founders of St. John's Methodist Church (St. John's United Church, from 1925). Charles was a temperance leader in Oakville during the Depression.

Orchard Beach

In 1906, Bacon registered Plan 110, and hired Carson as a contractor for new homes on the development. A year later, Carson invested in a second development project immediately to the west, when he acquired Cyrus Anderson's lot (which included the subject property). Together the Plan 110 and Plan 114 developments occupy the land south of Lakeshore Road East between Park Avenue and the Eight Line (Chartwell Road). Carson marketed this development as *Orchard Beach*, although the development was later re-branded as *Orchard Park* to avoid confusion with a resort development on Lake Simcoe which had also adopted the *Orchard Beach* name.

The subject building is part of the *Orchard Park* neighbourhood, although it appears that this house predates the development; making it the oldest house in the neighbourhood.

James John Allward

The subject property was sold in 1911 to James J. Allward. He was a jeweller and watchmaker in Hamilton who moved to Toronto in 1897. Allward was living in Toronto when he purchased the subject property, so it is possible that 530 Carson Lane was his summer residence. Or possibly it was a summer rental property, since Allward also owned other nearby properties in Plan 114, including Lots 18, 28 and 29. Allward's name appears in the 1913 edition of *Dau's Society Blue Book of Toronto and Hamilton* (a social register of the area's elite families) with his main residence identified as 11 Dunbar Road, Toronto. The entry does not include a summer residence. This suggests that Allward owned 530 Carson Lane, and his other Oakville lots, as rental properties.

George Stanley Harding

No information was found on this property owner.

Jonathan Hall Shields

The Hon. Johnathan H. Shields (1849 to January 4, 1939) was a Halton County magistrate for 27 years. He lived his entire life in Oakville. He married Mary Foster. They had five daughters. Johnathan's obituary states that he died in his Oakville home on George Street, so the property he owned at 530 Carson Lane at the time of his death was likely a rental property.

Evelyn Mable Scott

No information was found on this property owner.

George Carman Atkins

George C. Atkins and Marie Eddington Boyd Atkins were the next owners of the subject property, and are the first owners which can be confirmed as using this home as a primary residence. They had two sons. The eldest, George Atkins, Jr was born in 1925 and died in 1943 during an RCAF training mission in Saskatchewan before seeing action in WWII. The younger son, Thomas served in the Lorne Scot Regiment during WWII and became a commercial printer after the war.

George C. Atkins was the publisher of the *Oakville Record-Star*. The weekly newspaper's office and printing press was at Church Street and Thomas Street. George was also a trustee of the Oakville School Board for 18 years, and was then appointed administrator of the high school board of trustees. These positions were by public election, so he must have been popular with Oakville voters, but it seems a generation in Oakville residents too young to vote didn't share their parents' opinion on Atkins. In 1961, when the school proposed to change the name of Oakville-Trafalgar High School to *George C. Atkins Secondary School*, in honour of the long-serving trustee, there was a student protest over the name change; although one student interviewed by the *Toronto Star* seemed to dislike the proposed change of school name because, "we'd have to learn new yells".

Richard Victor Bingham Caldwell and descendants

Richard Caldwell (?-1966) married Phyllis Elizabeth Pattison (1917-2015) in 1940. Richard was a captain with the Royal Canadian Armoured Corps during WWII, and was a major with the Royal Canadian Dragoons – a reserve unit stationed in Toronto – after the war. He had been living at 38 Crescent Drive in Rosedale, but purchased the subject property in 1965 at the time he retired from the Canadian armed forces. He died a year later in Oakville, but the property remained with his family for 22 more years.

Dr. J. Barry French

Barry French (born 1931) purchased the subject property in 1990. French was a professor of aerospace engineering at the University of Toronto's *Institute for Aerospace Studies*, from 1968 to 1985. This institute developed optical spectrometers that were used on NASA's *Viking* space probe to accurately determine the chemical make-up of stars and planets.

In April 2008, Dr. French was awarded the *Order of Canada* at a ceremony at Rideau Hall – the residence of the governor general – for his “scientific insights and entrepreneurship”. In investing French with Canada’s highest honour, the Right Honourable Michaëlle Jean noted that Dr. French was “a long-time proponent of university-industry collaboration, [who] has been a role model to many young scientists.”

In April 1970, Dr. French headed a team of five scientists at the University of Toronto when they received an urgent call from engineers at Grumman Aerospace asking for the assistance of French and his team to help save the lives of three astronauts. Specialists at Mission Control in Houston were uncertain how to bring Apollo 13’s command module home safely after a crisis in orbit forced the crew to return to Earth earlier than planned, with the command module and the lunar module still attached. (Only the command module was designed to re-enter the atmosphere.) Mission Control needed French and his team to crunch numbers (to within a fraction of pounds/square inch) to determine how much pressure to apply to the lunar module just before re-entry, to separate it from the command module without tearing the hatch off and suffocating the crew. And they needed the answer fast. Grumman’s engineers hadn’t taken a potential disaster into account in designing the “Lem”. They needed the world’s foremost experts on the “blast wave effect” to help them separate the Lem under an untested situation and get the command module home. French and his team worked out the problem over the phone and reported their results back to Mission Control. Their efforts, as is well known to history, were successful and the astronauts were returned safely.



TRAFALGAR TOWNSHIP MAP SHOWING HOLDINGS OF CYRUS ANDERSON (SUBJECT SITE LOCATION IN RED)

PLAN
OF A PART OF THE TOWN OF

OAKVILLE

BEING A SUBDIVISION OF PART OF
LOT N&I. CON. IV.

TRAFALGAR

SCALE
200 FEET - AN INCH

County of
Haldon
50.00

I Harvey Francis Fisher the Town of Oakville
in the County of Haldon, make oath and say

1. That I was personally present and did see the within plan duly signed by Chas. S. Carson
2. That the said plan was executed at the Town of Oakville aforesaid
3. That I know the said party
4. That I am a subscribing witness to the said plan

Sworn before me at Oakville in
the County of Haldon this 9 day
of May in the year of our
Lord 1907

N. J. Fisher

Notary Public

I hereby certify that this plan accurately shows the manner
in which the land included therein has been surveyed and
subdivided by me; and that the said plan is prepared
in accordance with the provisions of the Registry Act

Dated at Oakville Ont.
this 10th day of May 1907

Edgar Bray
Ontario Land Surveyor

I Juggie Bela Murray of the Town of Trafalgar in the County of Haldon, married
woman, hereby consent to this plan and the registration thereof.
Dated this 10th day of May 1907.

Witness:

N. J. Fisher

Edgar Bray
Mortgagee

Owners Certificate

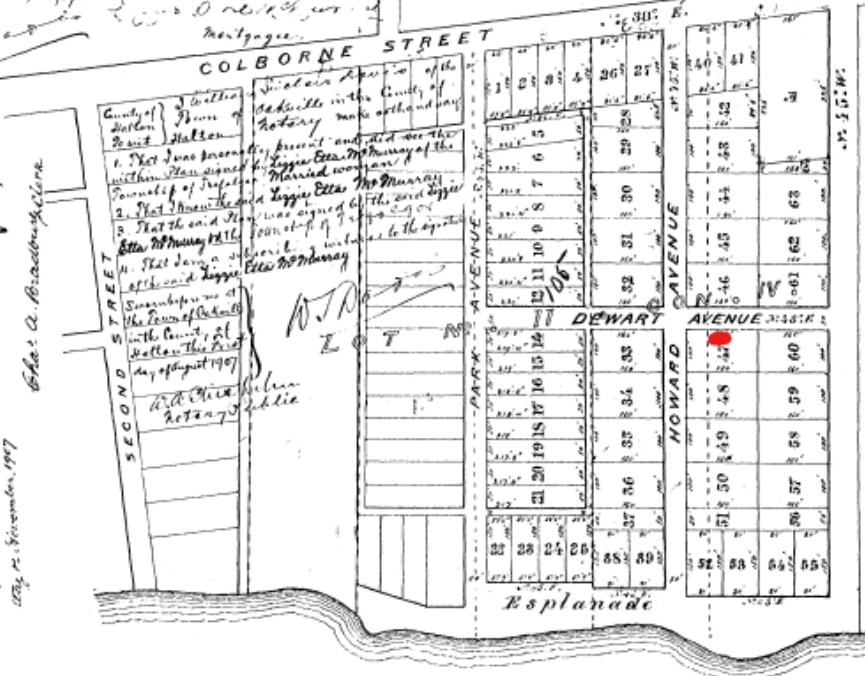
I hereby certify that this plan correctly
represents the subdivision of my land,
and is prepared under my instructions

Witness Chas. S. Carson
N. J. Fisher



The Corporation of the Town of Oakville hereby
consents to the width of streets as shown herein
as per resolution passed and dated the 28th day of
August 1907

John Kelly Mayor
Oakville, Ontario
May 11, 1907



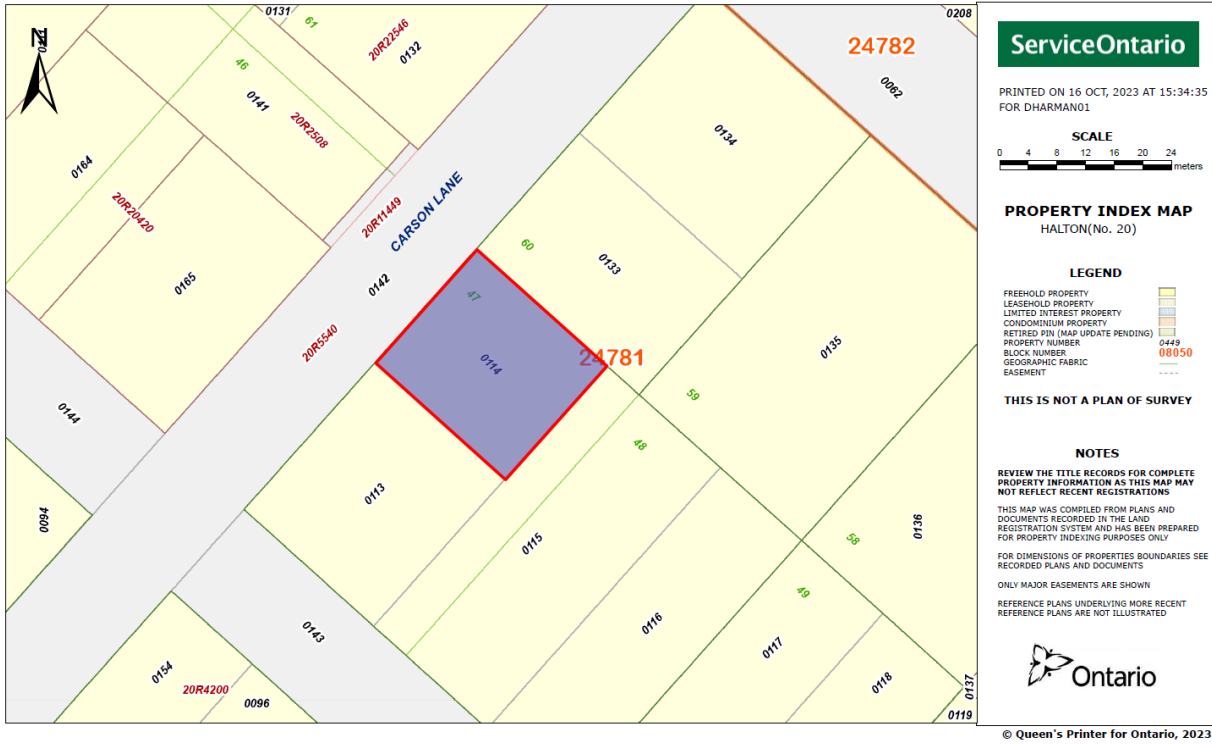
I certify that this plan
has been registered in the Registry Office
in the Registry Office in the County
of Haldon on the 22nd day of November
1907 at 11.08 o'clock AM. No. 114

Robinson Registrar

LAKE ONTARIO
Title

Former division of Lot D. 1, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100

PLAN OF SUBDIVISION. SUBJECT SITE LOCATION IN RED



PROPERTY ABSTRACT

3.0 Statement of Cultural Heritage Value or Interest

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST Ontario Heritage Act*.

The criteria are:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

Analysis: 530 Carson Lane is an example of vernacular neo-classical architecture. It presents as charming and pastoral but it has been highly modified since its original construction. The original building is the more minimal part of the building's mass when viewed from the street. It displays typical levels of craftsmanship and detail for a very small, residential building. It does not display significant technical or scientific achievement. The building does not rise to the level of Part IV designation because of its design or physical value.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Analysis: 530 Carson Lane has historic and associative value because several of its early owners were of interest and renown in the local community, however the evidence is that this building was in many cases not their principal residence and when it was it does not appear that the home was in any way part of the historical or associative value of these individuals. Their place of business would typically be more closely associated with their cultural heritage importance. The most recent owner, Dr. French, is an interesting individual and of historical importance but again, this importance was in no way associated with his residence. The building does not rise to the level of Part IV designation because of historical or associative value.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

Analysis: 530 Carson Lane is not located in an established heritage community. The predominant character of the area is of newer, larger homes. As such, it does not define, maintain or support the character of the area. It is not physically, functionally or visually linked to its surroundings. It

is not a landmark. The building does not rise to the level of Part IV designation because of contextual value.

Conclusion:

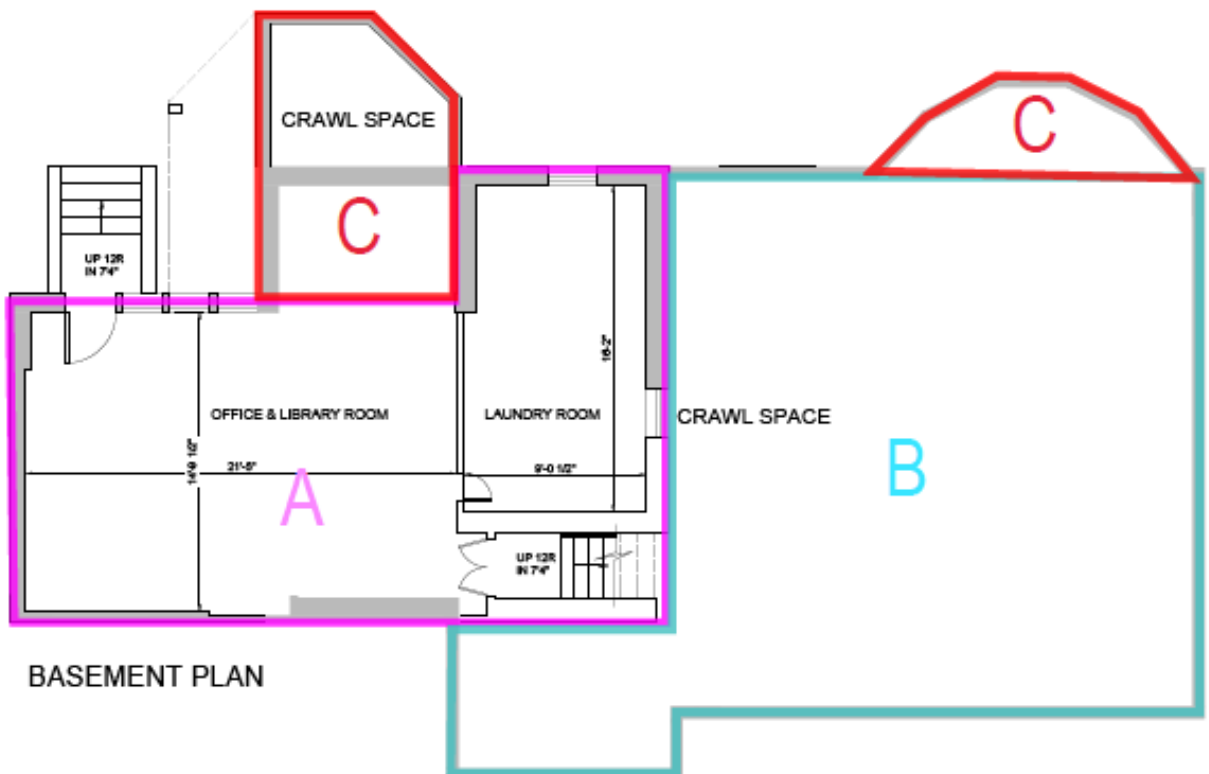
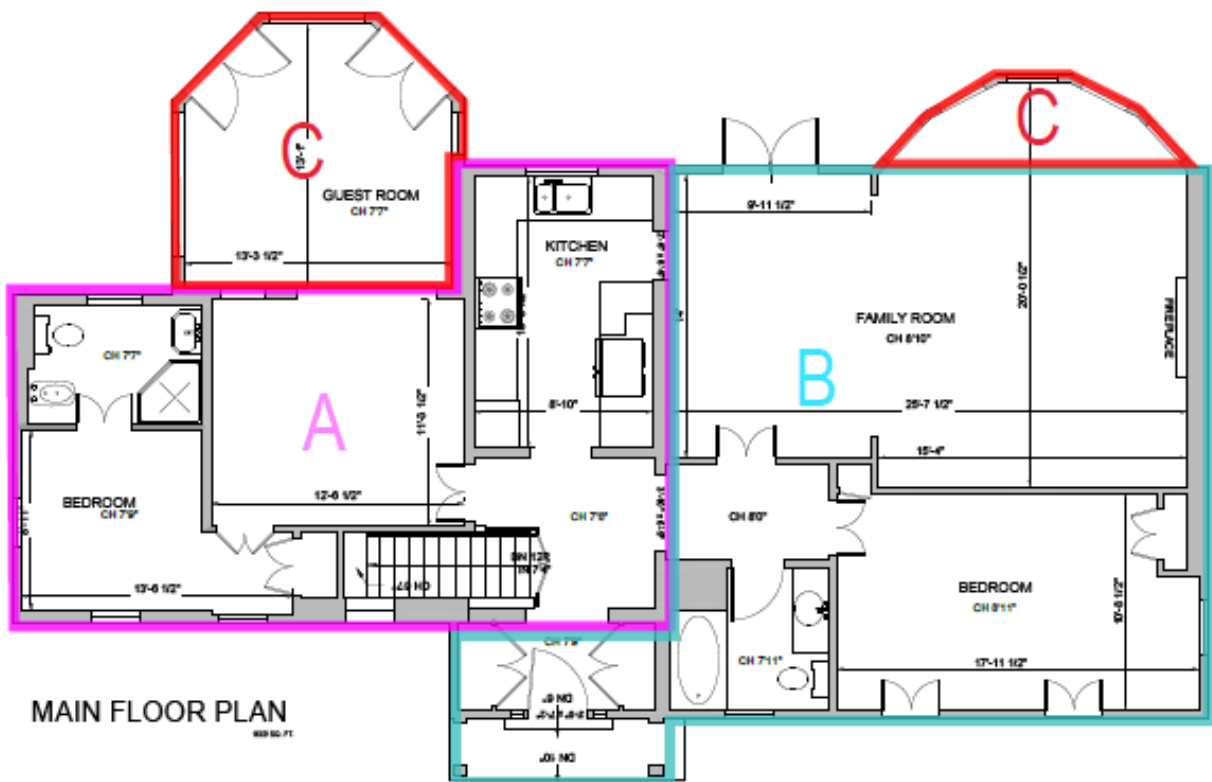
530 Carson Lane does not meet the criteria for designation under Ontario Regulation 0/07. The building is not required to be conserved.

4.0 Assessment of Existing Conditions

The building has recently been occupied. Observation of the building reveals that it is in generally good condition and with regular maintenance could be made to function indefinitely. No cracks or leaks were observed. The building is square, level and plumb and all floors felt solid underfoot. It has obviously had regular ongoing maintenance. Nothing about the Building's condition is atypical for a building of this age, indeed given its apparent age the condition is remarkably good.



FRONT AND REAR ELEVATIONS SHOWING REGULAR MAINTENANCE, SERVICEABLE CONDITIONS



FLOORPLANS SHOWING SEQUENCE OF CONSTRUCTION

Element “A” is clearly the original part of the building. This is obvious from a number of factors including similarity in windows, flooring materials, wall thicknesses and the presence of a basement under only this part of the building. It was not possible to observe any original framing materials that would have given any more clarity of the construction date but generally the date of c. 1900 identified the front door plaque and confirmed by the historical research appears to be accurate.



PARTIAL FRONT ELEVATION SHOWING HISTORICAL PLAQUE

Element “B” was clearly built much later than “A” although the detailing and massing of these elements are similar. The date of construction of “B” cannot be determined conclusively but there are some clues that would indicate early to mid-20th century. The strongest indication of this comes from the framing materials which can clearly be seen in the crawlspace under “B”. These are modern, dressed joists that only became available in the mid 20th century. Early 20th century buildings were typically built with rough-cut joists. Another clue is the absence of any evidence of knob-and-tube wiring in the crawlspace. Even if this wiring had been removed, which often was done, it would leave a tell-tale pattern of paired holes in the joists and evidence of where the knobs had been fastened with wood screws to the joists. There is no evidence of this in the exposed framing in the crawlspace. This further substantiates a mid-20th century construction date for this building element.

There are also significant differences between the windows and window hardware when comparing Elements “A” and “B”, with those in “B” similar to “A” but clearly newer.



CRAWLSPACE UNDER "B" SHOWING MODERN FRAMING MATERIALS

Element "C" is clearly a much more modern addition to the building. This is obvious from the window details, the exterior cladding and trim materials (aluminum trims), the octagonal shape which was a design feature of the late 20th century. All of these details let us determine with confidence that this addition was added likely in the 1980's or 1990's.



ORIGINAL WINDOW ELEMENT "A"



WINDOW ELEMENT "B". NOTE SIMILAR MUNTIN PATTERN BUT DIFFERENT HARDWARE FROM "A", FRAME WIDTH



MODERN WINDOW ELEMENT "C"



LIVING ROOM "B", WINDOW "C" AT RIGHT



MARBLE FIREPLACE "B"



DINING ROOM "B"



KITCHEN "A". NOTE INTERIOR FINISHES NOT ORIGINAL



SITTING ROOM "C"



HALL "A" LOOKING TOWARD FRONT ENTRY "B"



PRIMARY BEDROOM "B"



BASEMENT RECREATION ROOM "A"



GARDEN SHED/FOLLY REAR YARD

5.0 Impact of Development on Heritage Attributes

The development will cause the loss of the heritage attributes of the subject site. Analysis of the building in Section 3 above indicates that the building does not meet the requirements of Ontario Regulation 9/06 as regards designation under Part IV of the Ontario Heritage Act and accordingly the development may proceed.

6.0 Considered Mitigation and Conservation Strategies

The loss of the heritage attributes of the subject site is mitigated by the documentation in this report. There are no materials on site that are worthy of preservation or re-use as part of a future development. The original windows and potentially the marble fireplace may be of interest to someone for re-use elsewhere and this would be desirable but any association with this building would be lost by that re-use. Accordingly the materials should be offered for re-use but in the absence of any interest no other mitigation would be necessary and the materials would simply be discarded.

There is no requirement for any on-site commemoration of the subject building.

The primary character-defining element of the building is its small size and scale, and this would almost certainly be lost in any development and there would be no effective way to retain it.

Conclusion

530 Carson Lane does not meet the requirements of Ontario Regulation 9/06, no mitigation is necessary beyond the documentation of this report and the building should be removed from the Oakville Heritage Register.

Bibliography:

Annual Publications

Dau's Society Blue Book of Toronto and Hamilton: Edition for 1913. New York, NY: Dau Publishing Co., 1912

Books

Ahern, Frances Robin, *Oakville - A Small Town – 1900-1930.* Erin, ON: Boston Mills Press, 1981

Mathews, Hazel Chisholm. *Oakville and the Sixteen.* Toronto, ON; University of Toronto Press, 1953

Pope, J.H. (editor). *Illustrated Historical Atlas of the County of Halton, 1877.* Toronto ON: Walker & Miles, 1877

Thorning, Stephen E.. *Hayseed Capitalists – Private Bankers in Ontario.* Hamilton, ON: McMaster University, 1994

Land Registry records

Halton County land registry records

Newspapers

The Globe/Globe & Mail. Toronto, ON, various issues from 1887 to 2014

Toronto Daily Star/Toronto Star. Toronto, ON, various issues from 1900 to 2014

Websites

Canadian County Atlas Digital Project; www.digital.library.mcgill.ca/countyatlas/searchmapframes.php



Heritage Oakville Advisory Committee

MINUTES

Date: February 27, 2024

Time: 9:30 am

Location: Virtual Meeting

Members: Drew Bucknall, Chair
Gerarda (Geri) Tino, Vice-Chair
Councillor Gittings
Jonathan McNeice
Russell Buckland
Kerry Colborne
George Gordon
Susan Hobson
Bob Laughlin (As of 9:40 a.m.)
Brenda Sweeney

Regrets: Jason Judson

Staff: Kirk Biggar, Manager of Policy Planning and Heritage
Carolyn Van Sligtenhorst, Supervisor of Heritage Conservation
Susan Schappert, Heritage Planner
Andrea Holland, Manager of Council and Committee Services
Natasha Coric, Council and Committee Coordinator

A meeting of the Heritage Oakville Advisory Committee was held on February 27, 2024, virtually commencing at 9:30 a.m.

These minutes will go forward to the Planning and Development Council meeting of March 4, 2024 for approval. Please view those minutes to note any changes Council may have made.

1. Regrets

Regrets are noted above.

2. Declarations of Pecuniary Interest

No declarations of pecuniary interest were declared.

3. Confirmation of Minutes of Previous Meeting(s)

3.1 Minutes January 30, 2024

Moved by Brenda Sweeney

That the minutes of the Heritage Oakville Advisory Committee meeting of January 30, 2024 be approved.

CARRIED

4. Discussion Item(s)

4.1 Heritage permit application HP005/24-42.20R 27 Reynolds Street – construction of a new second storey rear addition and ground floor staircase

The following delegate spoke on this item:

Terry Martino, Gren Weis Architect and Associates

Moved by Brenda Sweeney

1. That Heritage Permit Application HP005/24-42.20R for the construction of a new second storey rear addition with ground floor staircase at 27 Reynolds Street, as attached in Appendix B to the report dated February 13, 2024 from Planning Services, be approved subject to the following:
 - a. That final details on the windows, doors, trim, cladding materials and paint colours be submitted to Heritage Planning staff for final approval;
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

4.2 Notice of Intention to Demolish – 530 Carson Lane

The following delegate spoke on this item:

Rick Mateljan, SMDA Design

A separate staff report(s) will be forwarded to a future Planning and Development Council meeting for consideration.

Moved by Councillor Gittings

1. That the property at 530 Carson Lane be removed from the Oakville Register of Properties of Cultural Heritage Value or Interest; and,
2. That, prior to demolition, the property owners allow for the salvage of materials from the house.

CARRIED

4.3 Notice of intention to designate – Multiple properties – February 27, 2024

A separate staff report(s) will be forwarded to a future Planning and Development Council meeting for consideration.

Moved by Kerry Colborne

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the following properties:

1. Thomas and Electa Leach House at 159 Balsam Drive;
2. Dunhope Heath at 2069 Lakeshore Road East; and
3. Louth House at 1099 Sixth Line.

CARRIED

5. Information Item(s)

5.1 Heritage Conservation District Update

5.2 Designation Project Update

Moved by Jonathan McNeice

That the information item(s) be received.

CARRIED

6. Date and Time of Next Meeting

Tuesday March 26, 2024 at 9:30 a.m.

7. Adjournment

Moved by George Gordon

That this meeting be adjourned.

CARRIED

The meeting adjourned at 10:05 a.m.



OAKVILLE

THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-005

A by-law to designate the Miller House at 361 Macdonald Road as a property of cultural heritage value or interest.

WHEREAS pursuant to Section 29, Part IV of the *Ontario Heritage Act*, R.S.O. 1990, chapter O.18, the council of a municipality is authorized to enact by-laws to designate a real property, including all buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the property described in Schedule A to this By-law (“the Property”) contains the cultural heritage resource known as the Miller House;

WHEREAS the council of the Corporation of the Town of Oakville, by resolution passed on November 13, 2023, has caused to be served on the owner of the lands and premises at 361 Macdonald Road, Oakville, ON and upon the Ontario Heritage Trust, notice of intention to designate the Miller House at 361 Macdonald Road as a property of cultural heritage value or interest, and further, has caused the notice of intention to be published on the town’s website in accordance with the town’s *Ontario Heritage Act* Alternative Notice Policy;

WHEREAS no objection to the proposed designation was served on the municipality by December 15, 2023, being the last date for filing an objection;

AND WHEREAS the Town Council has described the Property, set out the statement of cultural heritage value or interest for the Property, and described the heritage attributes of the Property in Schedule “B” to this By-law, which forms part of this By-law;

COUNCIL ENACTS AS FOLLOWS:

1. That the real property legally described in Schedule “A” to this By-law, is hereby designated to be of cultural heritage value or interest under Section 29 of the *Ontario Heritage Act*.
2. That the attached Schedules form part of the By-law.
3. And that the Town Solicitor be authorized to cause a copy of this by-law to be registered against the property described in Schedule “A” at the Land Registry Office.

PASSED this 4th day of March, 2024

MAYOR

CLERK

SCHEDULE "A" TO
BY-LAW 2024-005

In the Town of Oakville in the Regional Municipality of Halton, property description as follows:

Miller House
361 Macdonald Road
Part Lots 58 & 59, Plan 113; As In 347520; OAKVILLE
PIN: 24806-0159

SCHEDULE “B” TO
BY-LAW 2024-005

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

Description of Property

The property at 361 Macdonald Road is a corner lot located on the northeast corner of Macdonald Road and Allan Street in the Brantwood neighbourhood. The property contains a one-and-a-half storey, red-brick, wood shingles, and rough-cast stucco and half-timbering clad house that was built in 1913.

Statement of Cultural Heritage Value or Interest

Design and Physical Value

The Miller House has design and physical value as a representative and early example of a Bungalow style home in Oakville built during the Arts and Crafts movement of the early 1900s. The house, which was built in 1913, features many architectural elements typical of the style including its one-and-a-half storey ground-hugging massing that is typical of the Bungalow style. With its broad, gently pitched gable roof covering its expansive porch, and its red-brick, wood shingles, and rough-cast stucco and half-timbering cladding materials, the Miller House reflects the Arts and Crafts movement’s commitment to informality and the use of rustic and natural building materials. The house contains many original architectural elements that are reflective of the Bungalow style of architecture, including: a variety of window styles, including the typical Bungalow style small-paned casement windows; exposed rafter tails; a rusticated stone foundation; stone pillars topped by wood columns; and a large rustic stone chimney.

Historical and Associative Value

The Miller House property has cultural heritage value for its direct associations with the theme of the development of the local residential area known as ‘Brantwood’, an early 20th century subdivision of Oakville. The Arts and Crafts era character of the house has contributed to the neighbourhood’s character over the last 100 years. Its presence contributes to the story of Oakville’s early 20th century residential development that was defined by large lots with well-designed homes built by well-to-do families.

Contextual Value

The subject property has contextual value because it defines, maintains and supports the character of the Brantwood neighbourhood. As one of the earliest properties to be developed, and as a representative and early example of the Bungalow style of architecture in Brantwood, the Miller House property’s presence as well as its design

elements are important in supporting and maintaining the historic character of Brantwood. The property is physically, functionally, visually, and historically linked to the surrounding residential neighbourhood. As an anchor point in the Brantwood neighbourhood, this house helps to define the original aesthetic of Arts and Crafts aesthetic of Brantwood and continues to support and maintain the character of the neighbourhood.

Description of Heritage Attributes

Key attributes of the Miller House that exemplify its cultural heritage value as a representative example of a Bungalow style house, as they relate to the original one-and-a-half storey house, include the following:

- Its massing and form with gently pitched gable roof and covered front porch;
- The presence of a front gable dormer in the Bungalow style;
- Brick cladding on the first storey and shingle cladding on the upper storey;
- Front porch with exposed eaves, stone piers, square columns, gently sloping arched fascia, and low railings with square pickets;
- The presence of windows and doors that retain the Bungalow style of the house with dressed stone sills; and
- Lakestone chimney on the west elevation.

For the purpose of clarity, the cultural heritage value or interest and heritage attributes do not include:

- The small one-storey, lean-to entryway section on the rear elevation;
- The single car detached garage; and
- The bay windows on the east and west elevations.

Memo

To: Planning and Development Council
From: Carolyn Van Sligtenhorst, Planning Services
Date: February 29, 2024
Subject: Heritage Designation By-law 2024-005 for the Miller House at 361 Macdonald Road – Minor revisions to by-law

Comments:

The owners of 361 Macdonald Road have requested minor edits to the list of Heritage Attributes on page 5 of the designation by-law. Staff is supportive of these changes as they are minor and still allow for the conservation of this cultural heritage resource. There are no changes to any other parts of this by-law.

The original By-law 2024-005 published on February 23, 2024 has been replaced.



OAKVILLE

THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-035

A by-law to declare that certain land is not subject to part lot control (Blocks 2, 8, 9, 10 and 11, Plan 20M-1258 – Martillac Estates Inc.)

WHEREAS By-law 2006-125 delegates to the Director of Planning Services the authority to approve certain applications to designate lands not subject to part lot control; and,

WHEREAS the Director of Planning Services has approved such an application for the lands described in Schedule “A”;

COUNCIL ENACTS AS FOLLOWS:

1. Part lot control pursuant to subsection 5 of Section 50 of the *Planning Act*, R.S.O. 1990, c.P-13, as amended does not apply to lands as set out in Schedule “A” attached hereto.
2. This by-law expires one (1) year from the date it has been passed by Council.
3. Schedule “A” forms part of this by-law.
4. The solicitor is hereby authorized to amend the parcel designation, if necessary, upon registration of this by-law.

PASSED this 4th day of March, 2024

MAYOR

CLERK

SCHEDULE "A"

1. Block 2, Plan 20M-1258, designated as Parts 1 to 6, inclusive, on Plan 20R-22556, Oakville
2. Block 8, Plan 20M-1258, designated as Parts 1 to 10, inclusive, on Plan 20R-22554, Oakville
3. Block 9, Plan 20M-1258, designated as Parts 1 to 11, inclusive, on Plan 20R-22557, Oakville
4. Block 10, Plan 20M-1258, designated as Parts 12 to 26, inclusive, on Plan 20R-22557, Oakville
5. Block 11, Plan 20M-1258, designated as Parts 27 to 34, inclusive, on Plan 20R-22557, Oakville



OAKVILLE

THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-036

A by-law to declare that certain land is not subject to part lot control (Blocks 149 to 161, 166, 167, 173, 174, 181, Plan 20M-1255 – Graydon Banning Ltd.)

WHEREAS By-law 2006-125 delegates to the Director of Planning Services the authority to approve certain applications to designate lands not subject to part lot control; and,

WHEREAS the Director of Planning Services has approved such an application for the lands described in Schedule “A”;

COUNCIL ENACTS AS FOLLOWS:

1. Part lot control pursuant to subsection 5 of Section 50 of the *Planning Act*, R.S.O. 1990, c.P-13, as amended does not apply to lands as set out in Schedule “A” attached hereto.
2. This by-law expires one (1) year from the date it has been passed by Council.
3. Schedule “A” forms part of this by-law.
4. The solicitor is hereby authorized to amend the parcel designation, if necessary, upon registration of this by-law.

PASSED this 4th day of March, 2024

MAYOR

CLERK

SCHEDULE “A”

1. Block 149, Plan 20M-1255, designated as Parts 1 to 41, inclusive, on Plan 20R-22597, Oakville
2. Block 150, Plan 20M-1255, designated as Parts 42 to 62, inclusive, on Plan 20R-22597, Oakville
3. Block 151, Plan 20M-1255, designated as Parts 1 to 22, inclusive, on Plan 20R-22594, Oakville
4. Block 152, Plan 20M-1255, designated as Parts 23 to 65, inclusive, on Plan 20R-22594, Oakville
5. Block 153, Plan 20M-1255, designated as Parts 1 to 43, inclusive, on Plan 20R-22603, Oakville
6. Block 154, Plan 20M-1255, designated as Parts 44 to 63, inclusive, on Plan 20R-22603, Oakville
7. Block 155, Plan 20M-1255, designated as Parts 64 to 85, inclusive, on Plan 20R-22603, Oakville
8. Block 156, Plan 20M-1255, designated as Parts 1 to 22, inclusive, on Plan 20R-22599, Oakville
9. Block 157, Plan 20M-1255, designated as Parts 23 to 56, inclusive, on Plan 20R-22599, Oakville
10. Block 158, Plan 20M-1255, designated as Parts 57 to 99, inclusive, on Plan 20R-22599, Oakville
11. Block 159, Plan 20M-1255, designated as Parts 1 to 32, inclusive, on Plan 20R-22598, Oakville
12. Block 160, Plan 20M-1255, designated as Parts 33 to 71, inclusive, on Plan 20R-22598, Oakville
13. Block 161, Plan 20M-1255, designated as Parts 72 to 105, inclusive, on Plan 20R-22598, Oakville
14. Block 166, Plan 20M-1255, designated as Parts 1 to 38, inclusive, on Plan 20R-22596, Oakville
15. Block 167, Plan 20M-1255, designated as Parts 39 to 60, inclusive, on Plan 20R-22597, Oakville
16. Block 173, Plan 20M-1255, designated as Parts 1 to 10, inclusive, on Plan 20R-22595, Oakville
17. Block 174, Plan 20M-1255, designated as Parts 13 to 16, inclusive, on Plan 20R-22595, Oakville
18. Block 181, Plan 20M-1255, designated as Parts 17 to 22, inclusive, on Plan 20R-22595, Oakville



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2024-043

A by-law to confirm the proceedings of a meeting of Council.

COUNCIL ENACTS AS FOLLOWS:

1. Subject to Section 3 of this by-law, every decision of Council taken at the meeting at which this by-law is passed and every resolution passed at that meeting shall have the same force and effect as if each and every one of them had been the subject matter of a separate by-law duly enacted.
2. The execution and delivery of all such documents as are required to give effect to the decisions taken at the meeting at which this by-law is passed and the resolutions passed at that meeting are hereby authorized.
3. Nothing in this by-law has the effect of giving to any decision or resolution the status of a by-law where any legal prerequisite to the enactment of a specific by-law has not been satisfied.

PASSED this 4th day of March, 2024

Rob Burton

Mayor

Andrea Holland

Acting Town Clerk