

## AGENDA

**Date:** June 28, 2022  
**Time:** 9:30 am  
**Location:** Oakville and Trafalgar Rooms

Currently attendance at Town Hall is restricted and members of the public may view the live stream on [oakville.ca/live](http://oakville.ca/live) or at the town's YouTube channel at [youtube.com/user/townofoakvilleTV](https://www.youtube.com/user/townofoakvilleTV). Information regarding written submissions and requests to delegate can be found at <https://www.oakville.ca/townhall/delegations-presentations.html>.

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	<b>Pages</b>
<b>1. Regrets</b>	
<b>2. Declarations of Pecuniary Interest</b>	
<b>3. Confirmation of Minutes of Previous Meeting(s)</b>	<b>3 - 6</b>
Minutes of May 24, 2022	
Recommendation: That the minutes of the Heritage Oakville Advisory Committee meeting of May 24, 2022, be approved.	
<b>4. Discussion Item(s)</b>	
<b>4.1. Heritage Permit Application HP025/22-42.20A 87 Allan Street – Demolition of existing sunroom and construction of new sunroom addition and new garage addition</b>	<b>7 - 39</b>
Recommendation:	
1. That Heritage Permit Application HP025/22-42.20A for the demolition of the existing sunroom and the construction of a new sunroom addition and a new garage addition at 87 Allan Street, as attached in Appendix B to the report dated June 21, 2022 from Planning Services, be approved subject to the following:	
a. That final details on the windows, doors and cladding materials be submitted to Heritage Planning staff for final approval; and	
2. That this heritage permit expire two years from the date of final	

approval by Council.

**5. Information Item(s)**

**5.1. Delegated Heritage Permits February - May 2022**

40 - 41

**5.2. Confidential Committee Membership Listing Revised**

*(See confidential listing.)*

Recommendation:

That the information items be received.

**6. Date and Time of Next Meeting**

July 26, 2022

Oakville Municipal Building

Oakville and Trafalgar Rooms - 9:30 a.m.

**7. Adjournment**



## **Heritage Oakville Advisory Committee**

### **MINUTES**

**Date:** May 24, 2022

**Time:** 9:30 am

**Location:** Council Chambers

**Members:** Drew Bucknall, Chair  
Councillor Duddeck  
Councillor Gittings  
Russell Buckland  
Kerry Colborne  
Robert Ferguson  
George Gordon  
Susan Hobson  
Brenda Sweeney

**Regrets:** Gerarda (Geri) Tino, Vice-Chair

**Staff:** Kirk Biggar, Acting Manager of Policy Planning and Heritage  
Carolyn Van Sligtenhorst, Heritage Planner  
Jill Marcovecchio, Council and Committee Coordinator

**A virtual meeting of the Heritage Oakville Advisory Committee was held on May 24, 2022, in the Council Chamber of the Oakville Municipal Building, commencing at 9:30 a.m.**

**These minutes will go forward to the Planning and Development Council meeting of June 7, 2022, for approval. Please view those minutes to note any changes Council may have made.**

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#### **1. Regrets**

As noted above.

**2. Declarations of Pecuniary Interest**

No declarations of pecuniary interest were declared.

**3. Confirmation of Minutes of Previous Meeting(s)**

Moved by Councillor Duddeck

That the minutes of the Heritage Oakville Advisory Committee meeting of April 19, 2022, be approved.

CARRIED

**4. Discussion Item(s)**

**4.1 Heritage permit application HP022/22-42.20T 43 Trafalgar Road – Alterations to the existing house and construction of new garage addition**

Moved by George Gordon

1. That Heritage Permit Application HP022/22-14-42.20T for alterations to the exterior of the existing house and the construction of a new addition to the garage at 43 Trafalgar Road, as attached in Appendix B to the report dated May 17, 2022 from Planning Services, be approved subject to the following:
  - a. That final details on the windows, doors and cladding material be submitted to Heritage Planning staff for final approval; and
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

**4.2 Heritage permit application HP020/22-42.20A – 207 Allan Street – Demolition of existing rear wing and construction of new rear additions**

Moved by Councillor Gittings

1. That Heritage Permit Application HP020/22-42.20A for the demolition of the existing rear wing and the construction of new rear additions at

207 Allan Street, as attached in Appendix B to the report dated May 17, 2022 from Planning Services, be approved subject to the following:

- a. That final details on the windows, doors, wood cladding and brick material be submitted to Heritage Planning staff for final approval; and
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

**4.3 Heritage permit application HP021/22-42.20K 312 King Street – Replacement of one-storey wing and alterations to the existing house**

Moved by Robert Ferguson

1. That Heritage Permit Application HP021/22-42.20K for the replacement of a one-storey wing and alterations to the existing house, as attached in Appendix B to the report dated May 17, 2022 from Planning Services, be approved subject to the following:
  - a. That final details on the windows, doors and cladding material be submitted to Heritage Planning staff for final approval;
  - b. That materials, such as the wood windows to be removed, be made available for salvage; and
2. That this heritage permit expire two years from the date of final approval by Council.

CARRIED

**4.4 Notice of intention to designate – Former Palermo Methodist Church Parsonage at 3017 Old Bronte Road**

A separate staff report will be forwarded to the June 7, 2022 Planning and Development Council for consideration.

Moved by George Gordon

That a notice of intention to designate be issued under section 29, Part IV of the *Ontario Heritage Act* for the Former Palermo Methodist Church Parsonage at 3017 Old Bronte Road.

CARRIED

**5. Information Item(s)**

There were no information items.

**6. Date and Time of Next Meeting**

June 28, 2022

Oakville Municipal Building

Virtual Meeting - 9:30 a.m.

**7. Adjournment**

Moved by Brenda Sweeney

That this meeting be adjourned.

CARRIED

The meeting adjourned at 10:22 a.m.

## REPORT

### Heritage Oakville Advisory Committee

Meeting Date: June 28, 2022

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**FROM:** Planning Services Department

**DATE:** June 21, 2022

**SUBJECT:** Heritage Permit Application HP025/22-42.20A 87 Allan Street –  
Demolition of existing sunroom and construction of new  
sunroom addition and new garage addition

**LOCATION:** 87 Allan Street

**WARD:** Ward 3

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#### RECOMMENDATION:

1. That Heritage Permit Application HP025/22-42.20A for the demolition of the existing sunroom and the construction of a new sunroom addition and a new garage addition at 87 Allan Street, as attached in Appendix B to the report dated June 21, 2022 from Planning Services, be approved subject to the following:
  - a. That final details on the windows, doors and cladding materials be submitted to Heritage Planning staff for final approval; and
2. That this heritage permit expire two years from the date of final approval by Council.

#### KEY FACTS:

The following are key points for consideration with respect to this report:

- The property is designated under Part V of the *Ontario Heritage Act* as part of the First and Second Street Heritage Conservation District (HCD).
- The owners are proposing to demolish the existing one-storey sunroom, construct a new two-storey sunroom addition, and construct a new two-storey addition with integral garage.
- Staff are recommending that the application be approved.

## **BACKGROUND:**

The property at 87 Allan Street is located on the east side of Allan Street just south of Lakeshore Road East. See Appendix A for the Location Map. The property is designated under Part V of the *Ontario Heritage Act* as part of the First and Second Street Heritage Conservation District and contains a two-storey stucco house constructed c.1900.

The subject heritage permit application is for the demolition of the existing one-storey sunroom, the construction of a new two-storey sunroom addition in the same location, and the construction of a new two-storey addition with integral garage at the rear of the property. The application form, photos and drawings of the proposed work are attached as Appendix B.

As the property is located within the First and Second Street HCD, the First and Second Street Heritage Conservation District Plan ('District Plan') guidelines for this district apply. Relevant excerpts from the District Plan have been attached as Appendix C.

The complete heritage permit application was submitted on May 30, 2022. In accordance with the *Ontario Heritage Act*, the 90-day deadline for Council to make a decision on this application is August 29, 2022.

## **COMMENT/OPTIONS:**

### Construction of New Sunroom Addition

The subject house has a one-storey stucco-clad sunroom on the south side of the house that was constructed sometime between 1913 and 1924. The owners are proposing to demolish and reconstruct the sunroom with a slightly larger footprint and add a second storey level above. The entire addition is to be clad in a cream-coloured stucco with wood cornices to match the heritage house.

The new first-storey sunroom is to extend farther to the south than the existing sunroom, with approximately 64 square feet added to the footprint. The existing historic wood windows are proposed to be salvaged and re-used in the new sunroom. On the rear elevation, new sliding doors are proposed. The proposed second storey is to have a smaller footprint with a flat roof, tucked in below the existing gable of the heritage house. New wood windows are proposed to match the historic ones on the first floor.

### Construction of New Garage Addition

At the rear of the property, the owners are proposing to construct a two-storey addition with a two-car integral garage. The existing laneway will be used to access the new garage, which has been designed in a traditional coach house style. The addition has a side gable roof with a gabled dormer in the front to match the one on the front of the historic house. The addition is to be clad in dark grey horizontal wood siding. Two coach house style garage doors are proposed on the front, and a set of sliding entry doors accompanied by wood barn style exterior doors are proposed on the rear. Multipaned wood windows are proposed throughout the addition to compliment those on the house.

The garage addition is to be connected to the heritage house by a new two-storey section that has been designed in the style of the new sunroom addition. This two-storey section is proposed to have a flat roof and be clad in a cream-coloured stucco, with multipaned wood windows to match those on the rest of the new additions. A new entry door on the west elevation of this section will provide access to the house from the driveway.

The proposed changes require relief from Zoning By-law 2014-014 for the lot coverage. A minor variance was approved for the property at the Committee of Adjustment on April 5, 2022. This approved minor variance permits a maximum lot coverage of 26.93% whereas the zoning by-law only permits a maximum of 25%. Heritage Planning staff supported the minor variance as the new additions are limited in size and are considered appropriate relative to the scale of the existing dwelling.

The details for landscaping have not yet been submitted and will need to be processed through a future minor heritage permit application.

### Heritage Assessment

When evaluating the changes to the subject property, the District Plan for the First and Second Street HCD is the primary policy document to use (attached as Appendix C). Additionally, Heritage Planning staff reviewed the proposed application with consideration of the town's Livable Oakville Plan and its cultural heritage policies, which support the conservation and enhancement of the town's heritage conservation districts.

The proposed additions are considered to be compatible with the existing heritage house and with the streetscape of the heritage conservation district. The sunroom addition has been reconstructed with a similar footprint, and the second storey is modest in size and has been designed to tuck in below the eaves of the heritage house. The proposed two-storey garage addition is well set back from the heritage

house and has a lower height than the existing home. The gable roof with front gable dormer reflect the form of the historic home, allowing for a continuity in the architecture.

The overall design and materials of the proposed additions are in keeping with the heritage character of the district. Traditional materials are proposed, such as wood cladding, stucco cladding, wood trim, wood doors and multipaned wood windows. The historic windows on the sunroom are to be salvaged and re-used on the reconstructed sunroom, helping to retain the existing heritage attributes of the house. There are no changes proposed to the existing heritage house.

The subject proposal is therefore considered to be compatible with, and complementary to, the heritage conservation district. Staff recommend that this heritage permit application be approved subject to the condition in the recommendation. The works proposed may be subject to other applicable Town regulations and requirements, such as site alteration permits and building permits. It is the applicant's responsibility to review these matters with applicable staff.

## **CONSIDERATIONS:**

**(A) PUBLIC**  
None

**(B) FINANCIAL**  
None

**(C) IMPACT ON OTHER DEPARTMENTS & USERS**  
None

**(D) CORPORATE STRATEGIC GOALS**  
This report addresses the corporate strategic goal(s) to:

- enhance our cultural environment
- be the most livable town in Canada

**(E) CLIMATE CHANGE/ACTION**  
A Climate Emergency was declared by Council in June 2019 for the purposes of strengthening the Oakville community commitment in reducing greenhouse gas emissions. This report supports the town's climate action by conserving the cultural heritage resource at 87 Allan Street.

**APPENDICES:**

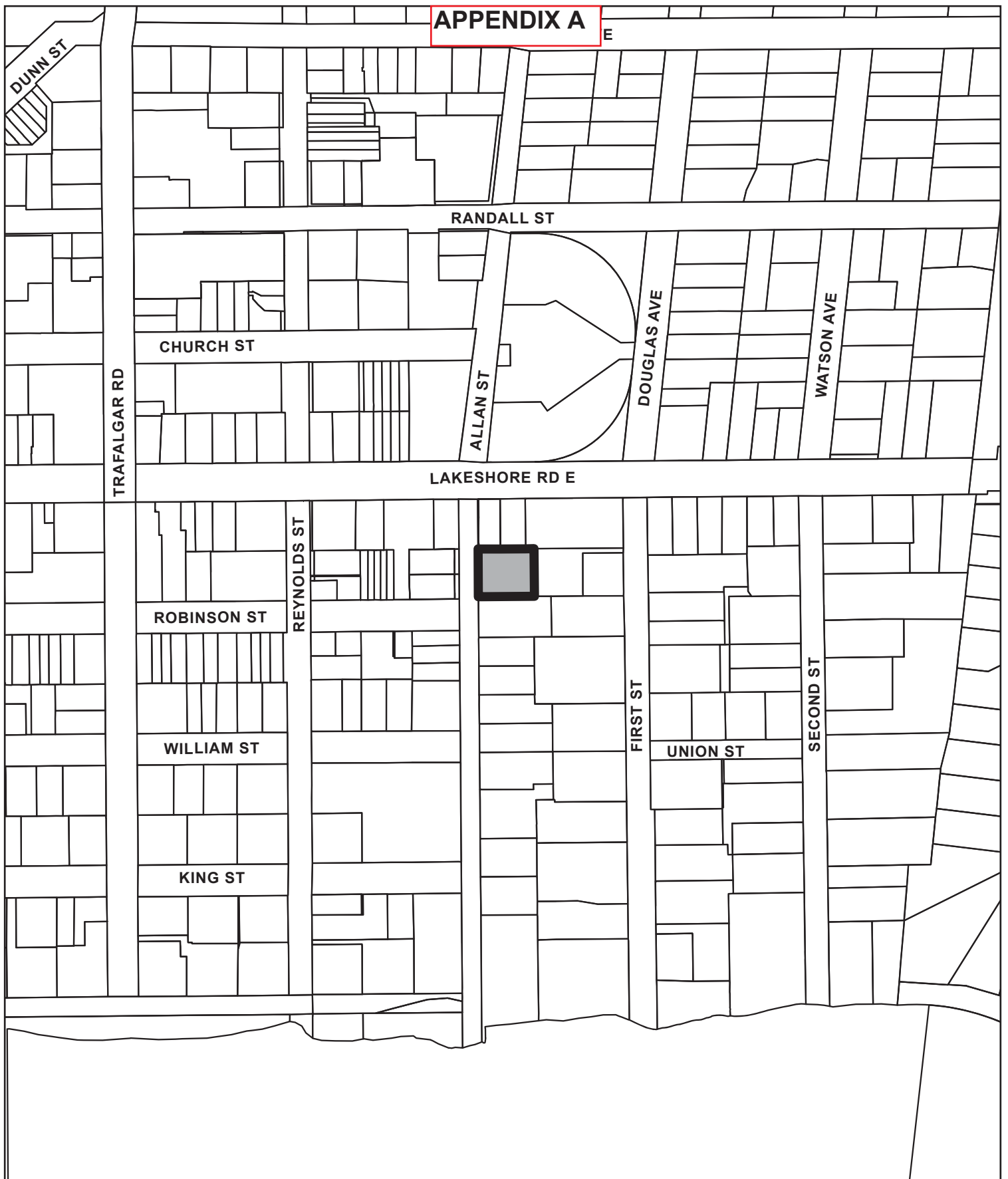
- Appendix A – Location map
- Appendix B – Heritage permit application
- Appendix C – Excerpts from the District Plan

Prepared by:  
Carolyn Van Sligtenhorst, MCIP, RPP, CAHP  
Heritage Planner

Recommended by:  
Kirk Biggar, MCIP, RPP  
Acting Manager, Policy Planning and Heritage

Submitted by:  
Gabe Charles, MCIP, RPP  
Director, Planning Service

**APPENDIX A**



0 20 40 80  
Meters



**SUBJECT LANDS**

**87 Allan Street**

**LOCATION**

Community Development Commission

# HERITAGE PERMIT

## Application Form

## APPENDIX B

*Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.*

Policy Planning & Heritage  
Planning Services Department  
Town of Oakville

### A – Property and Applicant Information

**Property Address:** 87 Allan Street

**Owner Contact Information:**

**Agent Contact Information (if applicable):**

Name: Richard Ramlal

Company Name: JRCP Designs Inc

Address & Postal Code: 807-1300 Bloor Street, Mississauga, L4Y 3Z2

Phone: 416-655-0245

E-mail: jrcpdesigns@yahoo.ca

### B – Heritage Permit Application Summary

☒ Alterations to Building      ☒ New Construction      ☐ Landscaping      ☐ Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. Side yard addition on the North West corner to accommodate garage and upper living space 88.67m2

2. side yard addition to South East side to increase existing family room by 6m2

3. Add second floor washroom above existing family room for Master bed room use

4. Existing dwelling to remain new works to match existing as much as possible

5.

6.

## C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

The size of the existing home is not sufficient for the growing family, additional washroom and living space is proposed. The existing basement is low and not fully usable, Addition allows for a usable basement.  
A garage is proposed because the existing property does not have a garage,

The additional floor area complies with the zoning by-law RL3- sp:12

## D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

<b>Building Permit</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
<b>Minor Variance</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
<b>Site Plan</b>	<input type="checkbox"/> YES	<input type="checkbox"/> NO
<b>Site Alteration</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
<b>Sign Permit</b>	<input type="checkbox"/> YES	<input type="checkbox"/> NO
<b>Tree Removals</b>	<input type="checkbox"/> YES	<input type="checkbox"/> NO

If Yes, please describe the application for all required approvals listed above:

Building permits required for all new works.

Minor variance for coverage over by 1.93 % was approved by Committee (CAV A/056/2022)

Site Alt permit required because the addition is greater than 50m<sup>2</sup>

## E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	new exterior	stucco to match existing and new wood siding	beige stucco to match existing wood siding to be dark gray	
Roof	New roof	asphalt shingles to match existing roof	gray	
Foundation Walls	New foundation	250mm thick poured concrete	gray	
Trim	existing	wood	white	
	new	to match existing	white	
Doors	existing	wood	dark gray	
	new	to match existing	dark gray	
Windows	existing	wood	white	
	new windows	to match exst	white	
Porch	existing no changes	stucco walls		
Fencing	existing no changes			
Landscaping	no changes			
Other				







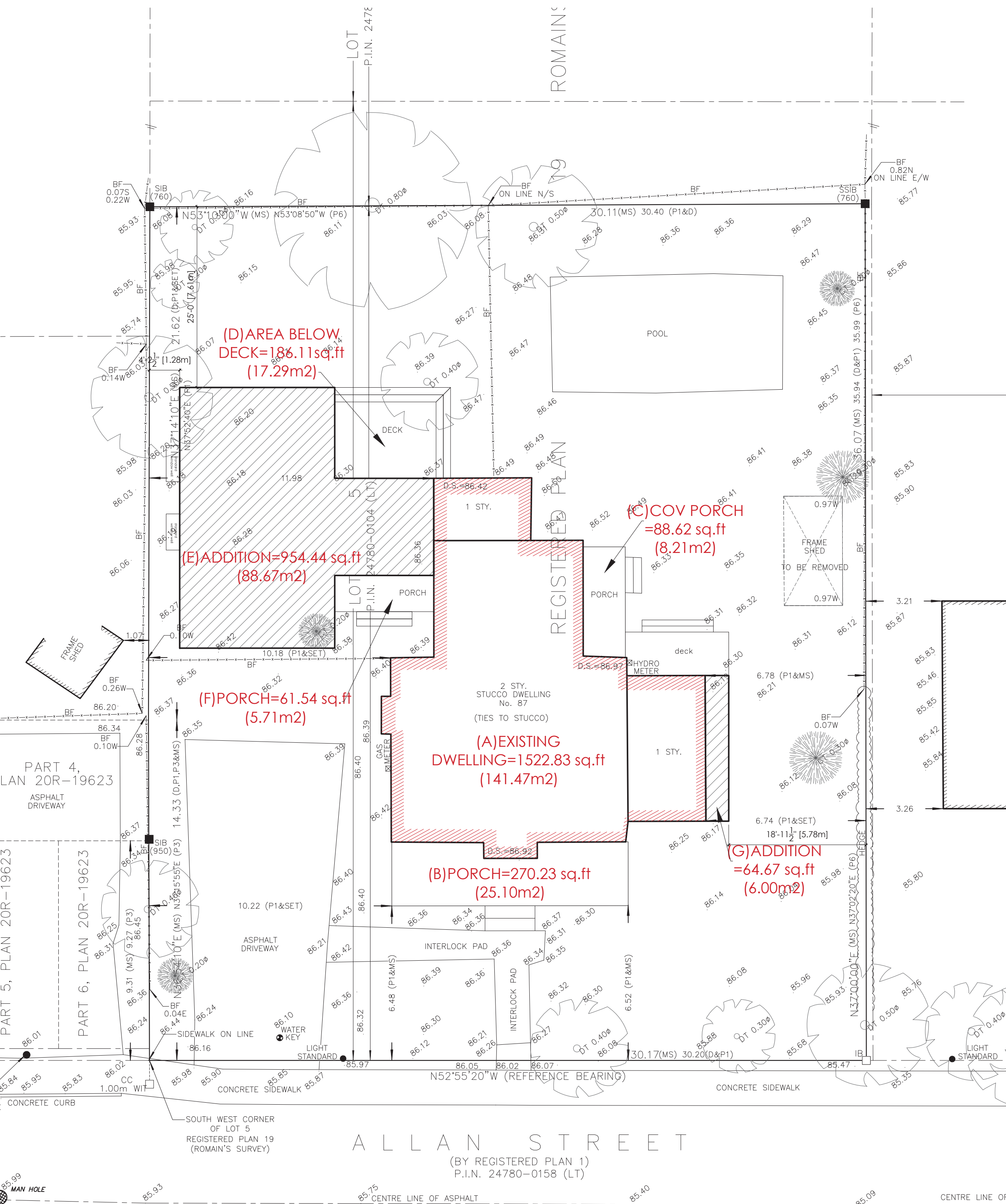


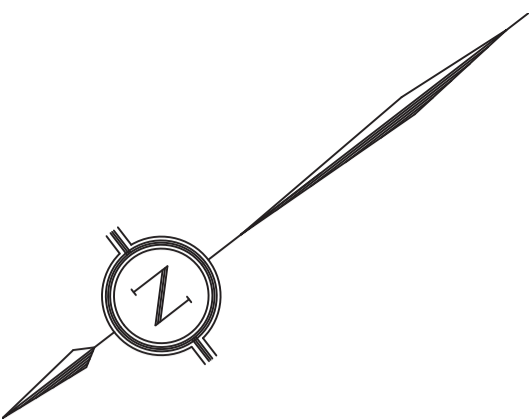








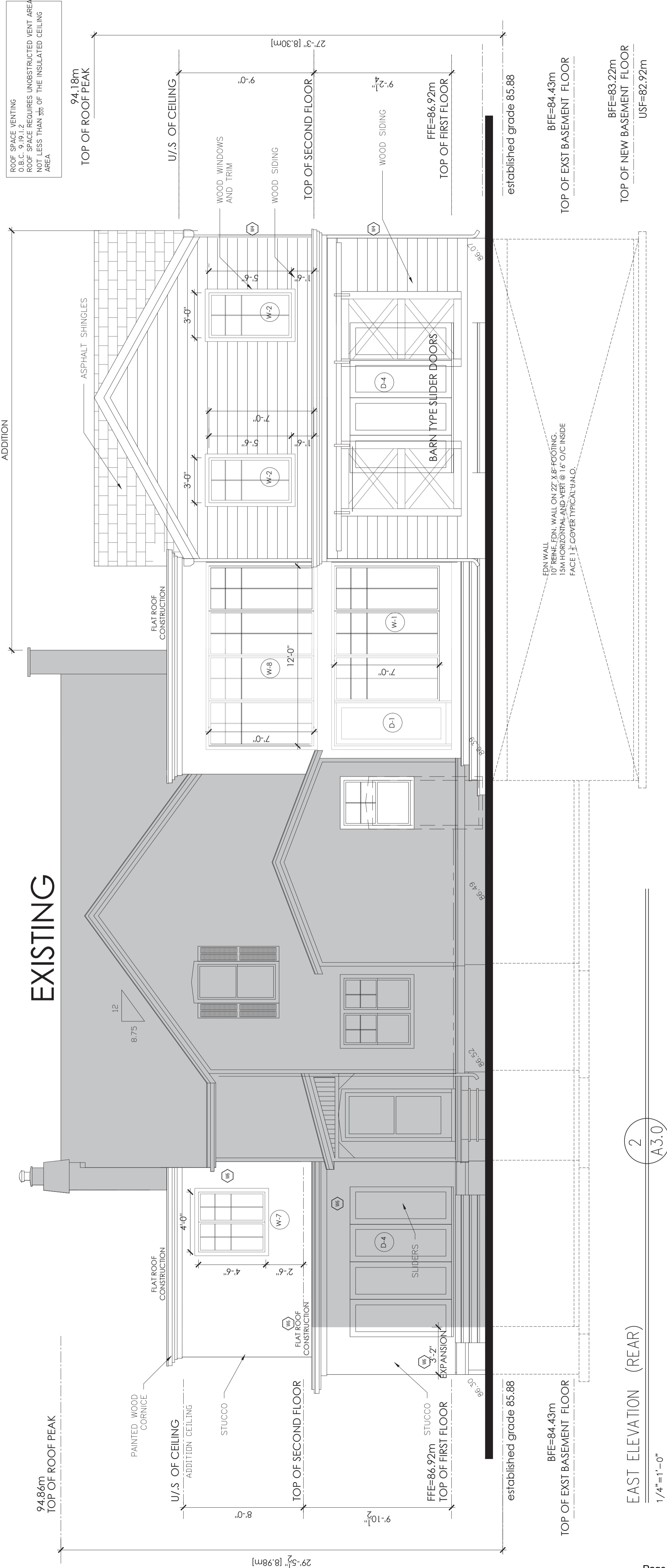




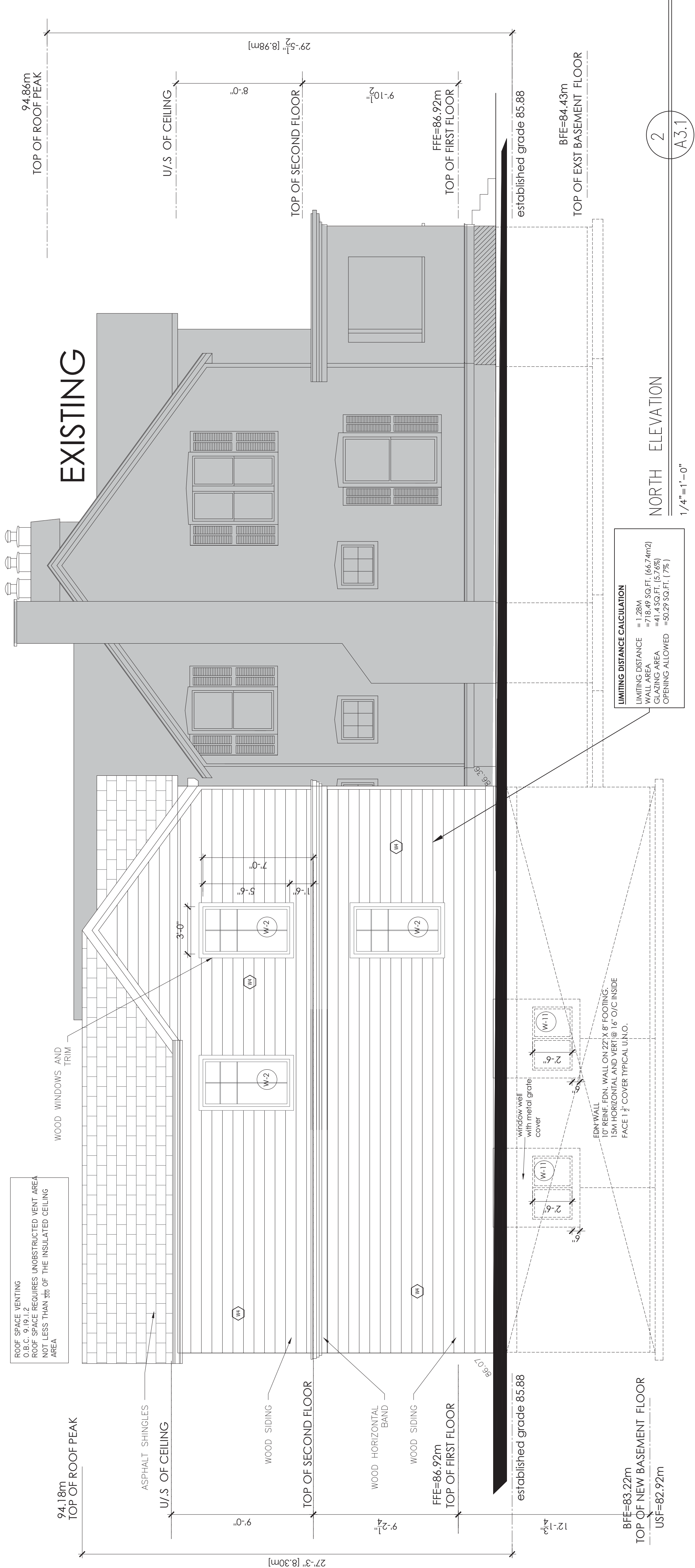
**THE STRUCTURE HAS BEEN DESIGNED  
IN ACCORDANCE WITH THE REQUIREMENTS  
OF THE 2012 ONTARIO BUILDING CODE  
LATEST EDITION. CONSTRUCTION  
PRACTICES SHALL BE ACCORDING TO THE SAME**

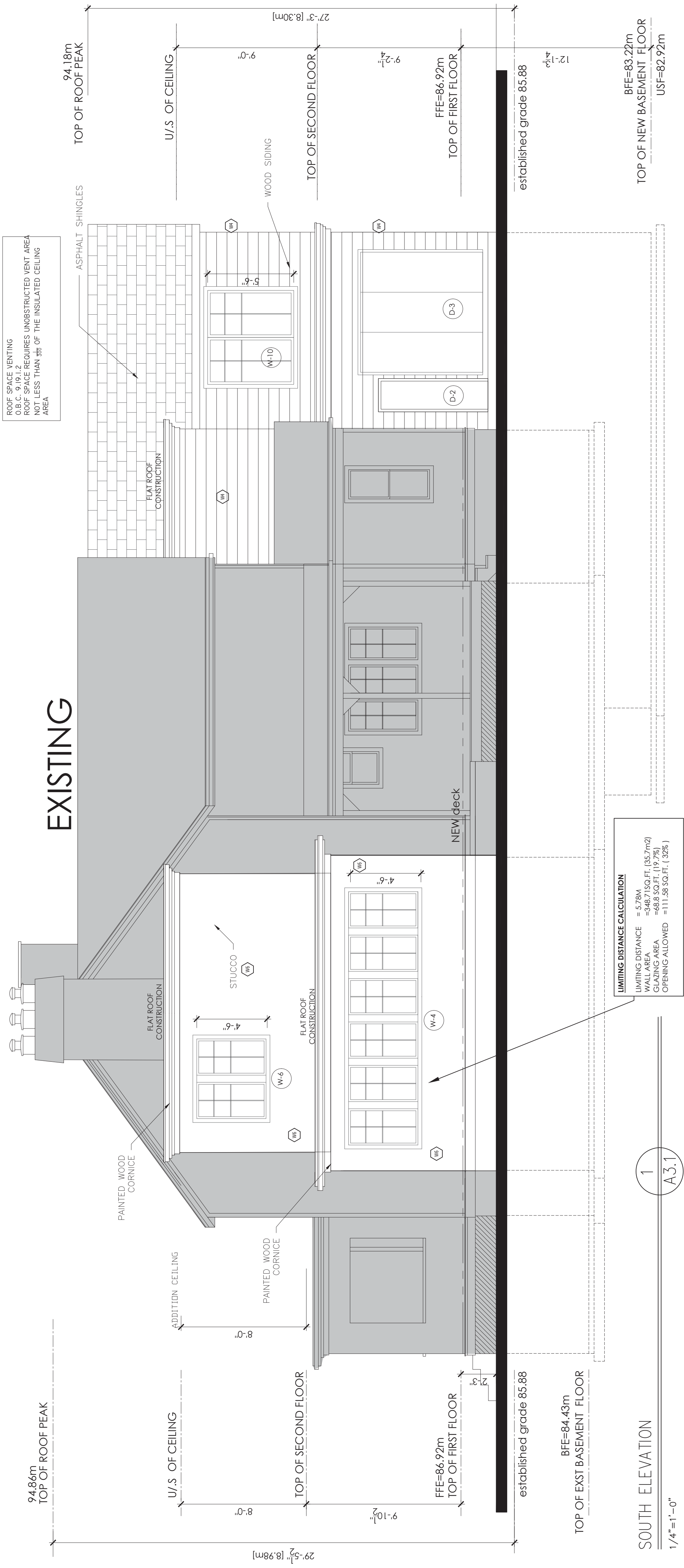
# EXISTING

ROOF SPACE VENTING  
O.B.C. 9.19.1.2  
ROOF SPACE REQUIRES UNOBSTRUCTED VENT AREA  
NOT LESS THAN  $\frac{1}{300}$  OF THE INSULATED CEILING  
AREA











## 4.2.3 ADDITIONS TO CONTRIBUTING (HISTORIC) PROPERTIES

### 4.2.3.1 Heritage Fabric

4.2.3.1.1 *Additions to a Contributing Property shall be physically and visually compatible with, sympathetic to and distinguishable from the **heritage fabric** of the property, with regard to the location, massing, height, proportions, architectural style, detailing and materials of the **addition**.*

4.2.3.1.2 *Additions to a Contributing Property shall minimize the loss of **heritage fabric**.*

*Refer to Section 3.1 – Guiding Principles for a discussion of the terms “compatible”, “subordinate” and “distinguishable”, as they pertain to this Plan.*

### 4.2.3.2 Location

4.2.3.2.1 *Additions to a Contributing Property shall be located towards the rear of, or sufficiently set back from, the **heritage building**.*

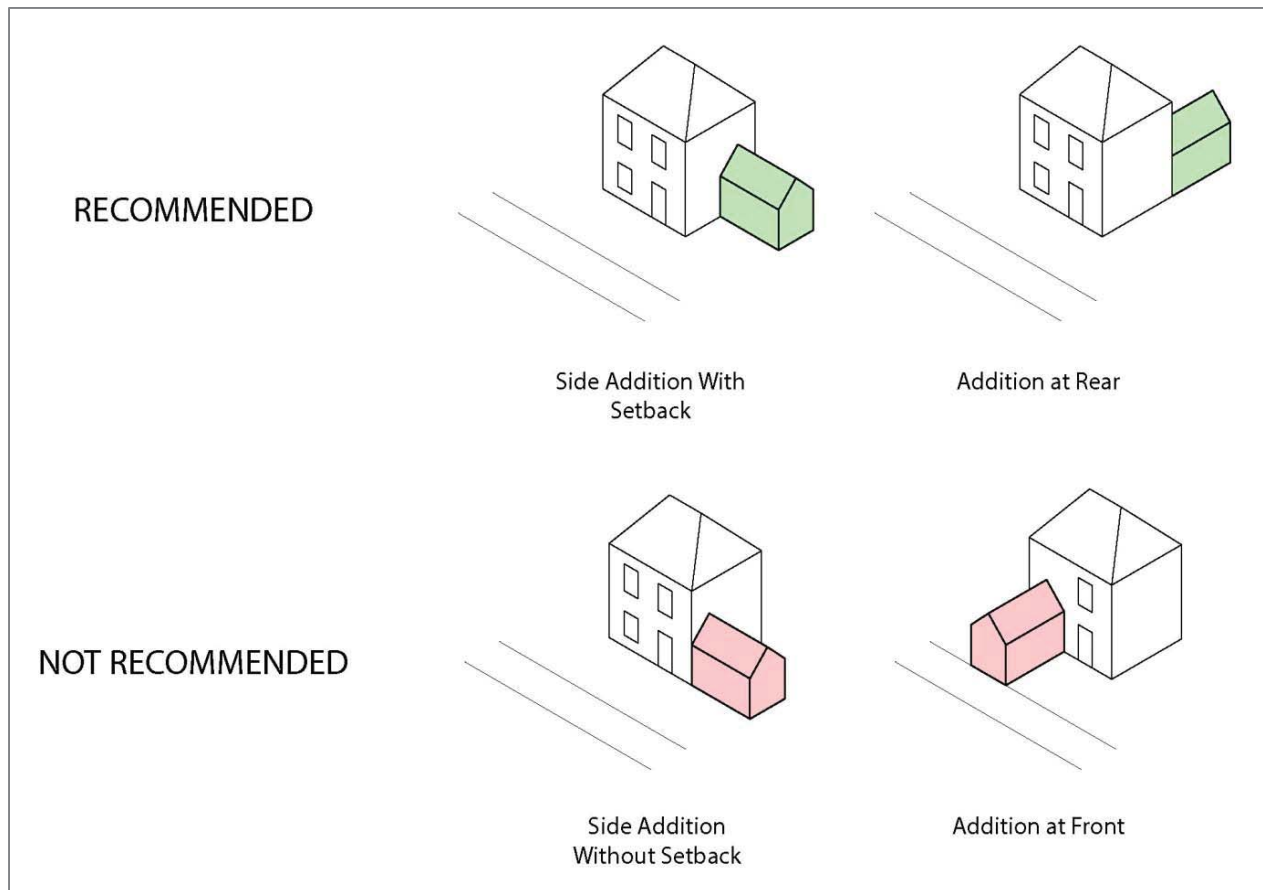
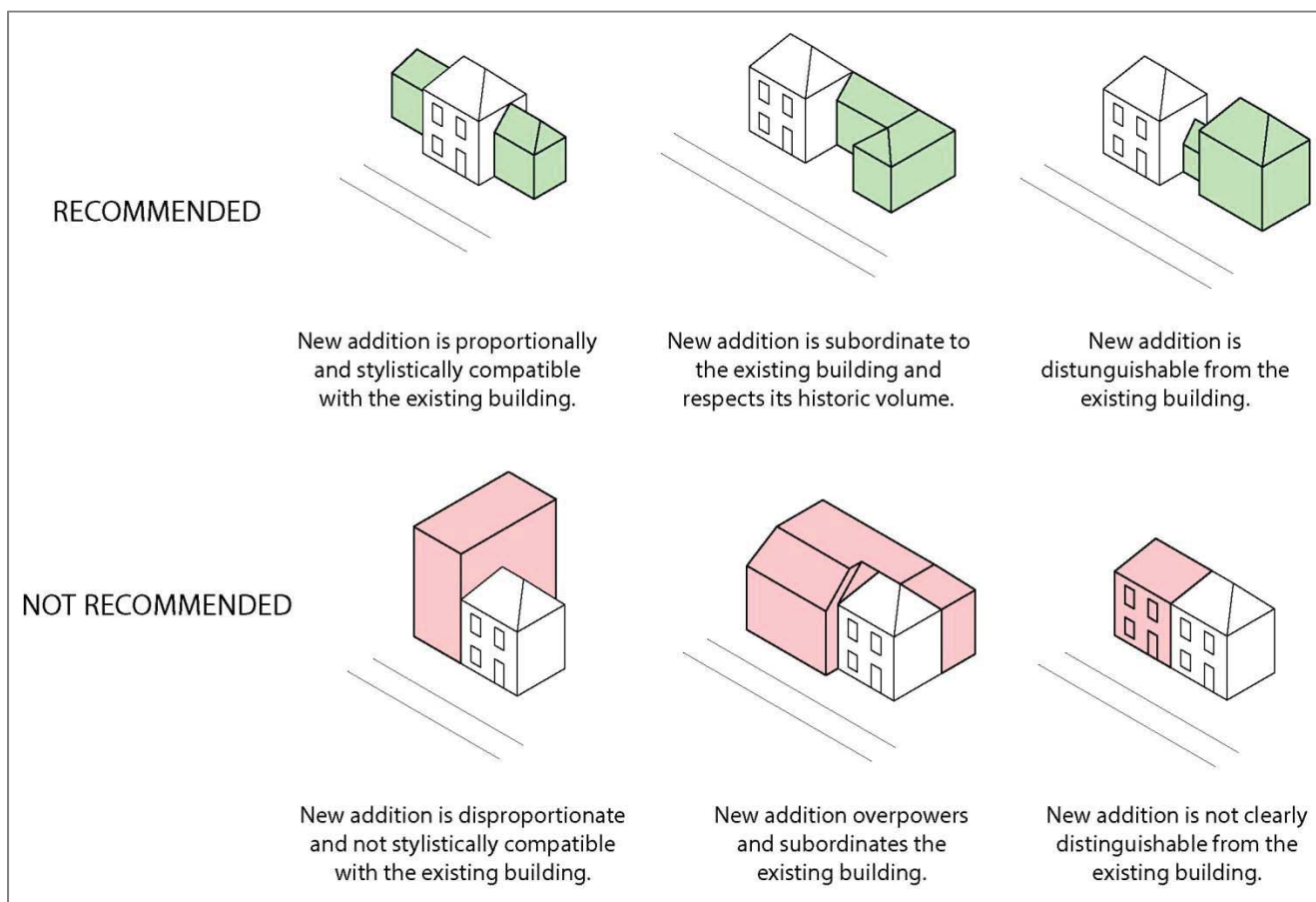


Figure 12: Guidelines for the location of additions to Contributing Properties.

### 4.2.3.3 Scale and Massing

- 4.2.3.3.1 The design of *additions* shall be subordinate to the *heritage building*; that is, the *addition* must not devalue or distract from the *heritage building*.
- 4.2.3.3.2 The massing and proportions of *additions* shall be simple and subordinate to the *heritage building*.
- 4.2.3.3.3 *Additions* shall not negatively impact the proportional symmetry of the *heritage building*.
- 4.2.3.3.4 The massing and proportions of additions should conform to any applicable regulations of the Town of Oakville Zoning By-law in effect subject to amendments and variances that may be approved.

*Refer to Section 3.1 – Guiding Principles for a discussion of the term “subordinate” as it pertains to this Plan.*



**Figure 13: Guidelines for the scale and massing of additions to Contributing Properties.**



Figure 14: 75 Second St. - an 1850s house with a compatible early 20th century two-storey addition set back to the side of the main elevation (left); 56 Second St. – a 1914 house with a compatible 2002 one-storey addition at the rear of the main structure (viewed from side elevation on Union St.) (right).

#### 4.2.3.4 Height

- 4.2.3.4.1 Protect and maintain the historic low-rise scale of the District.
- The maximum height for Contributing Properties shall be the maximum height permitted for the District under the Town of Oakville's Zoning By-law in effect subject to amendments and variances that may be approved.
- 4.2.3.4.2 The height of an *addition* may exceed that of the historic portion of the *heritage building*, up to the maximum height stated above, providing all other applicable policies and guidelines in this document are met and the overall scale, massing and design of the *addition* is subordinate and compatible with the *heritage building*.

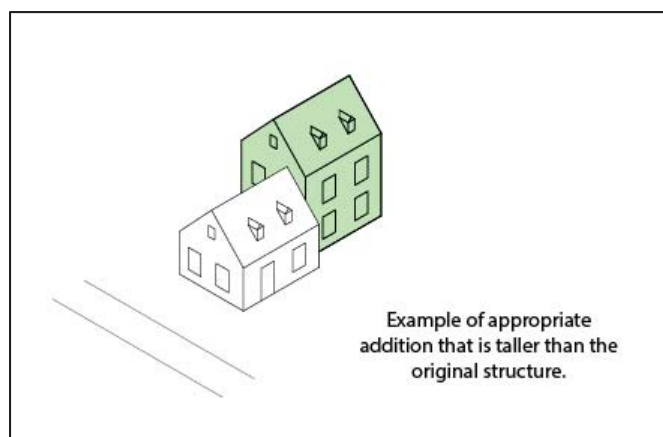


Figure 15: Guidelines for the scale and massing of additions to Contributing Properties.

#### 4.2.3.5 Style

- 4.2.3.5.1 The design of an *addition* should reflect the architectural style of the *heritage building*, in terms of roof form, massing, materials, and other architectural features, such as windows and entrances. Compatible variations of the architectural style of the *heritage building* may be permitted for *additions*.
- 4.2.3.5.2 Contemporary or non-traditional styles may be permitted for additions, providing they meet the guidelines of Standard 11 of the *Standards and Guidelines for the Conservation of Historic Places in Canada* as described in Section 3.1, respect the guidelines for additions to Contributing Properties and do not negatively impact the *heritage character* of the District.

#### 4.2.3.6 Roofs

- 4.2.3.6.1 Protect and maintain historic roof forms and roof features, including dormers, chimneys, eaves, and other features related to specific architectural styles. (See *Appendix C – Architectural Style Guide*)
- 4.2.3.6.2 The roof form of an *addition* shall be physically and visually compatible with that of the *heritage building*.
- a. Gable roofs and hipped roofs are the most appropriate roof forms for the District.
  - b. Mansard roofs and gambrel roofs are not appropriate for the District.
  - c. While not appropriate for entire structures or large *additions*, flat roofs and shed roofs may be permitted for small *additions*, where compatible with the form and architectural style of the *heritage building*.
- 4.2.3.6.3 Roofing materials used on *additions* shall be physically and visually compatible with the roofing materials of the main roof of the *heritage building*.
- a. Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will not be permitted. Membranes will only be considered on flat roofs.
  - b. Aluminum or PVC soffits and fascia will not be permitted.
- 4.2.3.6.4 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- a. Skylights, roof ventilation equipment, satellite dishes, plumbing vents and other stacks may be permitted on *additions*, providing they are located on secondary or rear elevations and are not visible from *public realm*.
  - b. Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
  - c. The form, materials and colours of eavestroughs and downspouts shall not distract from or negatively impact the architectural style of the *heritage building*.
  - d. Flashing should be coloured to match the wall against which it is located.

#### 4.2.3.7 Dormers

4.3.3.7.1 Protect and maintain historic dormers.

4.3.3.7.2 New dormers may be permitted on *additions* to *heritage buildings*, only where they are compatible with the architectural style and form of the *heritage building* and the *addition*.  
(See *Appendix C – Architectural Style Guide*)

- a. Scale new dormers to complement the design and scale of the roof, windows, and any existing dormers on the *heritage building*.

##### Best Practices - Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

#### 4.2.3.8 Windows

4.2.3.8.1 Protect and maintain the placement, orientation, shape and size of historic window openings and features.

- 4.2.3.8.2 Windows located on an *addition* to a *heritage building* shall be compatible, in terms of alignment, proportions, design and materials, with the rhythm of bays and windows on the *heritage building*.
- a. Where casement, double-hung, and other traditionally-operable window styles are used on *additions*, they shall be operable.
  - b. Blank windowless walls shall not be permitted.
  - c. Consider the historic solid-to-void ratios and the rhythm of windows and bays. In the District, this void ratio has ranged from 15% to 35%, with the exception of sun rooms or conservatories.
  - d. Windows shall be wood. Aluminum-clad wood windows may be permitted, providing they effectively replicate wood windows.
  - e. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District. They do not adequately replicate wood windows in their detailing, finishes, profiles and colour; their sashes, frames and mouldings are often much flatter in appearance.
  - f. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.

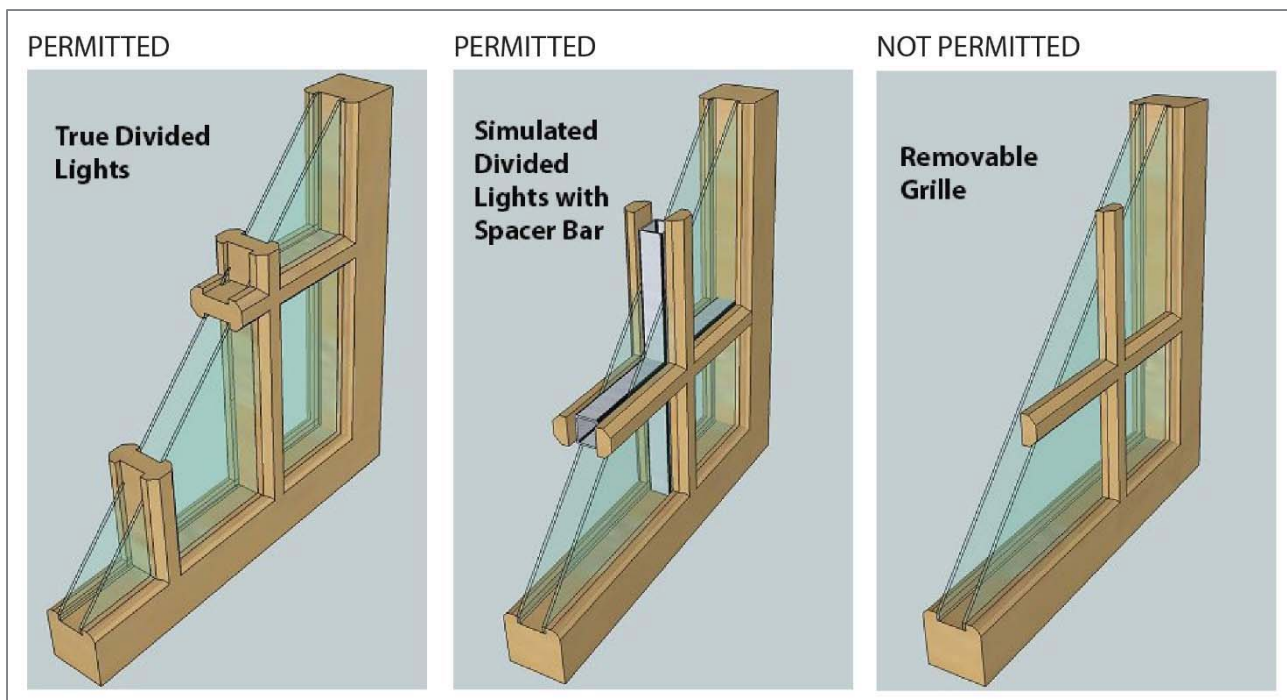


Figure 16: Muntin options (image source: <http://www.home-style-choices.com/window-construction.html>).

#### 4.2.3.9 Shutters

4.2.3.9.1 Protect and maintain historic shutters.

- 4.2.3.9.2 Shutters may be permitted on *additions* to Contributing Properties only where they are physically and visually compatible with the architectural style and form of the *heritage building* and of the *addition*. (see Appendix C – Architectural Style Guide)
- Attach shutters to the window casing rather than the wall. Provide hinges and hooks to allow shutters to be functional.
  - Design shutters in a style appropriate to the architectural style of the *heritage building*, including paneled or louvered styles. Louvers may be fixed or operable.
  - The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.
  - Wooden shutters shall be painted in a colour appropriate for the materiality and colours of the *heritage building* and the *addition*.

#### 4.2.3.10 Entrances

4.2.3.10.1 Protect and maintain the placement, size and orientation of historic entrance openings.

- The removal or obstruction of historic entrances shall not be permitted.

- 4.2.3.10.2 Entrances located on an *addition* to a *heritage building* shall be compatible, in terms of their location, alignment, proportions, design and materials, with the architecture of the *heritage building*, as exemplified by the existing entrances and rhythm of bays.
- New entrances shall be subordinate to the primary historic entrance, in terms of location and design.

- b. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.
- c. Wood is the most appropriate material for screen doors. Aluminum and steel screen doors may be considered on a case-by-case basis.
- d. Sliding doors and other doors that do not swing shall not be permitted on elevations of *additions* that are visible from the *public realm*.

#### 4.2.3.11 Porches and Porticos

- 4.2.3.11.1 Protect and maintain historic porches and porticos and their features, including posts, brackets, railings, steps and roofs.
- 4.2.3.11.2 New porches and porticos may be permitted on *additions* to *heritage buildings*, providing they are in a style that is appropriate for the architectural style of the *addition* and the *heritage building*, and are physically and visually compatible with the *heritage building* in terms of placement, orientation, design and materials.
  - a. Wood, metal and stone are the most appropriate materials for porches and porticos in the District. The use of composite and engineered wood will be considered on a case-by-case basis.

##### Best Practices – Porches and Porticos

When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

#### 4.2.3.12 Garages

*For the purposes of this document, new garages on Contributing Properties will be considered as 'Additions'. In addition to the policies listed below, all policies under Section 4.2.1 – General Guidelines and Section 4.2.3 - Additions to Contributing (Historic) Properties apply to new garages, as do all applicable requirements under the Town of Oakville's Zoning By-Law in effect subject to amendments and variances that may be approved.*

- 4.2.3.12.1 Both *attached* and detached garage forms may be permitted, providing they respond respectfully and appropriately to the shape of the lot and the architectural style and form of the *heritage building*. *Detached garages* are preferable.
- 4.2.3.12.2 New garages shall be located and massed so as to minimize their visibility from the *public realm*
  - a. Garages shall be lower in profile than the *heritage building*, and be complementary in design, materials and colour.

- b. Use landscaping treatments to shield garages from view. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*, for guidance on screening)
- c. Locate *attached garages* on rear or secondary elevations of the *heritage building*, minimizing the loss of *heritage fabric*. When located on side elevations, *attached garages* must be set back from the main elevation.
- d. *Integral garages* shall not be permitted on the main body of *heritage buildings*. They may be permitted in additions to *heritage buildings*.
- e. Locate *detached garages* to the rear or side of the *heritage building*, set back substantially from the main elevation.
- f. Garage doors and windows shall reflect the style of those on the *heritage building*.
- g. Garage doors should be single car width, with separated overhead doors in the case of a double vehicle garage.
- h. When applying these guidelines to proposals for new garages on corner lots, special consideration may be given in recognition of their visibility from the public realm.



Figure 17: Attached garage at 88 Second St. (left); detached garage at 390 Lakeshore Rd. E. (right).

#### 4.2.3.13 Utility and Service Equipment

- 4.2.3.13.1 Utility and service equipment shall not negatively impact the *heritage building* and shall be located so as to minimize their visibility from the *public realm*.
- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*)

#### 4.2.3.14 Exterior Walls

- 4.2.3.14.1 Protect and maintain historic architectural features of exterior walls, including cladding materials, exposed structural elements (such as pilasters and half-timbering) and decorative elements (such as articulated brickwork, quoining and date stones).
- 4.2.3.14.2 Exterior walls of *additions* to Contributing Properties shall be physically and visually compatible, in terms of materials, finishes, colours and detailing, with the exterior walls of the *heritage building*.
- a. Use exterior cladding materials that are physically and visually compatible with the *heritage building*, such as wood siding and shingles, red brick masonry and stucco.
  - b. Contemporary and/or non-traditional materials, such as metal panelling and glass (curtain walls) may be permitted as accents on a case by case basis, but not as the principal cladding of *additions*.
  - c. Stone and artificial stone materials shall not be permitted for the cladding of *additions*. These materials may be considered as a foundation or an accent material where appropriate with the architectural style of the *heritage building*.
  - d. Metal, vinyl and plastic composite siding shall not be permitted.
  - e. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breathe.
  - f. For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the *heritage building*.

## Town of Oakville Memorandum

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**To:** Heritage Oakville Advisory Committee  
**From:** Carolyn Van Sligtenhorst, Heritage Planner  
**Date:** June 21, 2022  
**Subject:** **Delegated Heritage Permits**

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The following heritage permits were issued by Heritage Planning staff from February 2022 to May 2022 in accordance with the Heritage Delegation By-law:

HP006/22-42.20N – 75 Navy Street

Replacement of non-historic windows on contemporary addition with new aluminum-clad wood windows.

HP007/22-42.20R – 250 Reynolds Street

Replacement of roof shingles and painting of trim, eaves, soffits, fascia and shutters.

HP010/22-42.20R – 21 Regency Court

Replacement non-historic garage door.

HP011/22-42.20K – 219 King Street

Painting the exterior of the house in a different colour.

HP012/22-42.20L – 159 Lakeshore Road East

Installation of a temporary display on the exterior of the ground floor windows.

HP013/22-42.20W – 349 William Street

Replacement of roof shingles, front railing and fencing, re-painting of the home's exterior and re-cladding of the chimney stack.

HP014/22-42.20W – 180 William Street

Make minor changes to the previously approved cabana by reducing the size and altering the fenestration design.

HP015/22-42.20W – 214 William Street

Underpinning and raising of existing foundation wall of rear pantry room.

HP018/22-42.20R – 248 Reynolds Street

Landscaping, including new rear patio.

**Subject: Delegated Heritage Permits**

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HP019/22-42.20R – 250 Reynolds Street

Replacement of vinyl siding and trim within roof gable with new cedar shingle cladding.

HP023/22-42.20N – 2441 Neyagawa Boulevard

Replacement of existing fascia sign and ground sign.

HP024/22-42.20W – 56 Water Street

Replacement of existing metal railing and deck boards on rear balcony.